

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____
Legistar # _____

DATE SUBMITTED: <u>12/30/13</u>	Action Requested
UDC MEETING DATE: <u>1/8/14</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PLEASE PRINT!

PLEASE PRINT!

PROJECT ADDRESS: 9414 Silicon Prairie Pkwy

ALDERMANIC DISTRICT: _____

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
John McKenzie Knothe & Bruce Architects
723 Bear Claw Way _____
Madison, WI 53705 see below

CONTACT PERSON: Randy Bruce
Address: 7601 University Ave Ste. 201
Middleton WI 53562
Phone: 608-836-8690
Fax: _____
E-mail address: vbruce@knothebruce.com

- TYPE OF PROJECT:
(See Section A for:)
- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
 - Planned Residential Development (PRD)
 - New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
 - School, Public Building or Space (Fee may be required)
 - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
 - Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other conditional use

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



MINERAL POINT ROAD (C.T.H. "S")

SILICON PRAIRIE BUSINESS PARK
SOUTH POINT ROAD

2645.30'
S0°47'52"W

CARDINAL GLENN CONDOMINIUM

SILICON PRAIRIE PARKWAY
LOT 159
CARDINAL GLENN
LOT 158
LOT 119
LOT 120
CARDINAL GLENN

O.L. 1
734816 Sq. Ft.

LOT AREA = 9.95 ACRES

286 UNITS
WET DETENTION BASIN

"EXISTING BUILDINGS TO BE RAZED" PER DOC. NO. 4089593

NO VEHICULAR ACCESS TO MINERAL POINT ROAD PER PLAT OF CARDINAL GLENN

Silicon Prairie Parkway
Site Plan
December 30, 2013

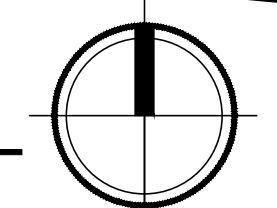
KNOTHE & BRUCE
architects

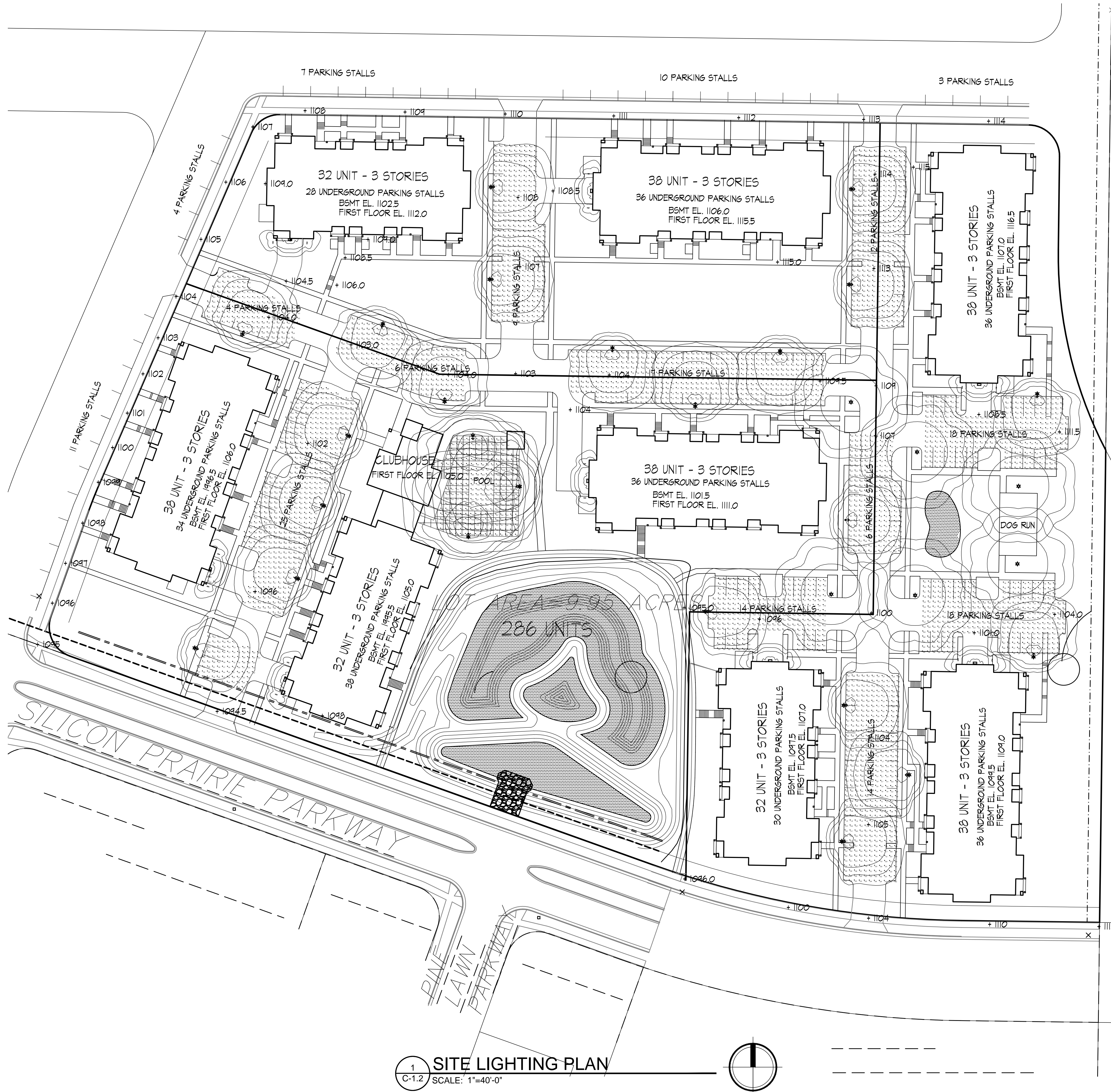
SITE INDEX SHEET	
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C-1.2	SITE LIGHTING PLAN
C-1.3	FIRE DEPARTMENT ACCESS PLAN
C-3.0	GRADING & EROSION CONTROL PLAN
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18	ELEVATIONS - BUILDING #7
19	ELEVATIONS - BUILDING #5 AND #8
20	ELEVATIONS - BUILDING #3
21	ELEVATIONS - BUILDING #1 AND #6

SITE DEVELOPMENT STATISTICS	
LOT AREA	436,263 S.F./9.95 ACRES
DWELLING UNITS	286 D.U.
LOT AREA/D.U.	1,525 S.F./D.U.
DENSITY	28.7 UNITS/ACRE
BUILDING HEIGHT	3 STORIES + LOFT
GROSS FLOOR AREA	
38 UNIT	45,951 S.F.
32 UNIT	38,473 S.F.
32 UNIT W/ CLUBHOUSE	41,794 S.F.
(excluding underground parking)	
FLOOR AREA RATIO	0.8
UNIT MIX	
38 UNIT	
STUDIO	4
ONE BEDROOM	18
TWO BEDROOM	8
STUDIO LOFT	2
TWO BEDROOM LOFT	6
TOTAL	38
32 UNIT AND 32 UNIT WITH CLUBHOUSE	
STUDIO	4
ONE BEDROOM	14
TWO BEDROOM	8
STUDIO LOFT	2
TWO BEDROOM LOFT	4
TOTAL	32
VEHICLE PARKING	
SURFACE	142
UNDERGROUND	280
TOTAL	422
BIKE PARKING	
FLOOR STALL, SURFACE	64
WALL HUNG, UNDERGROUND	64
FLOOR STALL, UNDERGROUND	207
TOTAL	335
USABLE OPEN SPACE	
GROUND LEVEL	131,110 S.F.
DECKS/PATIOS(6'x10')	17,160 s.f. x 75% = 12,870 S.F.
TOTAL	143,980 S.F. (503 S.F./UNIT)



1 SITE PLAN
C-1.1 SCALE: 1"=40'-0"





LIGHTING SCHEDULE

Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Lumens	Mounting
□	A	8	RUUD LIGHTING	E8405	RECTANGULAR SECURITY / DEEP SHIELDED	50WATT MH	E8507.IES	3060	8'-0" ABOVE GRADE ON SIDE OF BUILDING
⬆	B	21	RUUD LIGHTING	MAC410SBL	12" AREA CUTOFF / W/BACK LT. SHIELD	100 WATT MH	MAC417SBL.ies	9500	16'-0" POLE ON 2'-0" TALL CONC. BASE
⬆	C	6	RUUD LIGHTING	QV410	16" QUADRATE VERTICAL / TYPE V	100 WATT MH	QV417.ies	9500	16'-0" POLE ON 2'-0" TALL CONC. BASE
⬆	D	3	RUUD LIGHTING	AC440SBL	16" AREA CUTOFF / W/BACK LT. SHIELD	400 WATT MH, REDUCED ENVELOPE LAMP	MAC417SBL.ies	36000	20'-0" POLE ON ON 2'-0" CONC. BASE. ENSURE LAMP IS WITHIN PERIMETER POOL FENCING

LIGHTING STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING	+	1.2 fc	9.7 fc	0.3 fc	32.3:1	4.0:1
POOL	+	9.0 fc	17.1 fc	3.0 fc	5.7:1	3.0:1

REVISIONS
Conditional Use Submittal - November 6, 2013

PROJECT TITLE
CARDINAL PRAIRIE

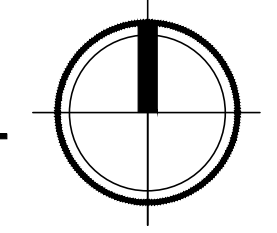
SHEET TITLE
SITE LIGHTING PLAN

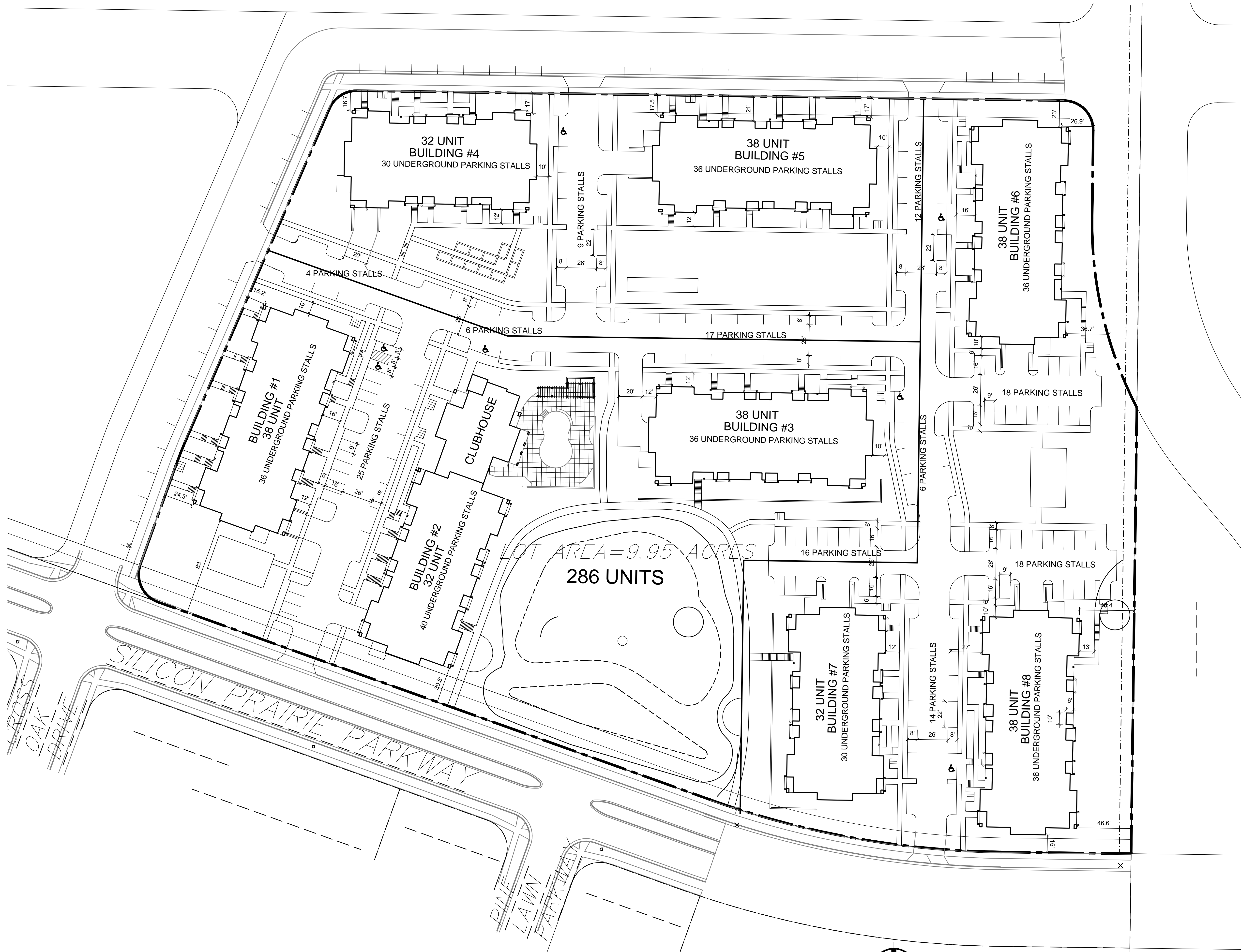
SHEET NUMBER

C-1.2

PROJECT NO. **1302**
© 2013 Knothe & Bruce Architects

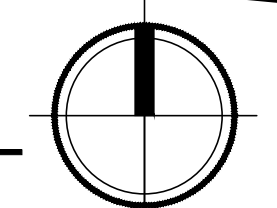
1 SITE LIGHTING PLAN
C-1.2 SCALE: 1"=40'-0"

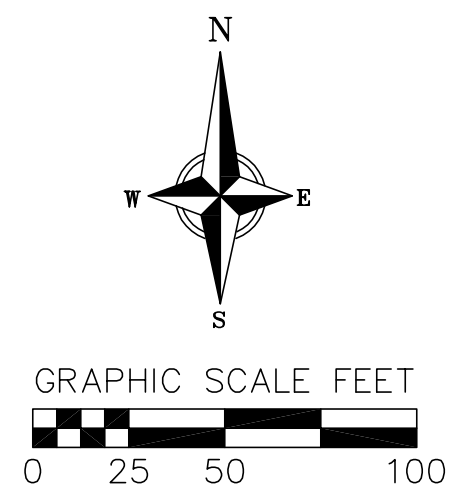




 = 26' WIDE AERIAL APPARATUS FIRE LANE PARALLEL TO ONE ENTIRE SIDE OF A BUILDING AND WITHIN 30'.

1 SITE PLAN
C-1.1 SCALE: 1"=40'-0"





TOPOGRAPHIC SYMBOL LEGEND

- ▣ EXISTING CURB INLET
- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER MAIN VALVE

TOPOGRAPHIC LINEWORK LEGEND

- SAN — SAN — EXISTING SANITARY SEWER LINE (SIZE NOTED)
- ST — ST — EXISTING STORM SEWER LINE (SIZE NOTED)
- WH — WH — EXISTING WATER MAIN (SIZE NOTED)
- B20 — — EXISTING MAJOR CONTOUR
- 818 — — EXISTING MINOR CONTOUR
- G — G — EXISTING GAS LINE

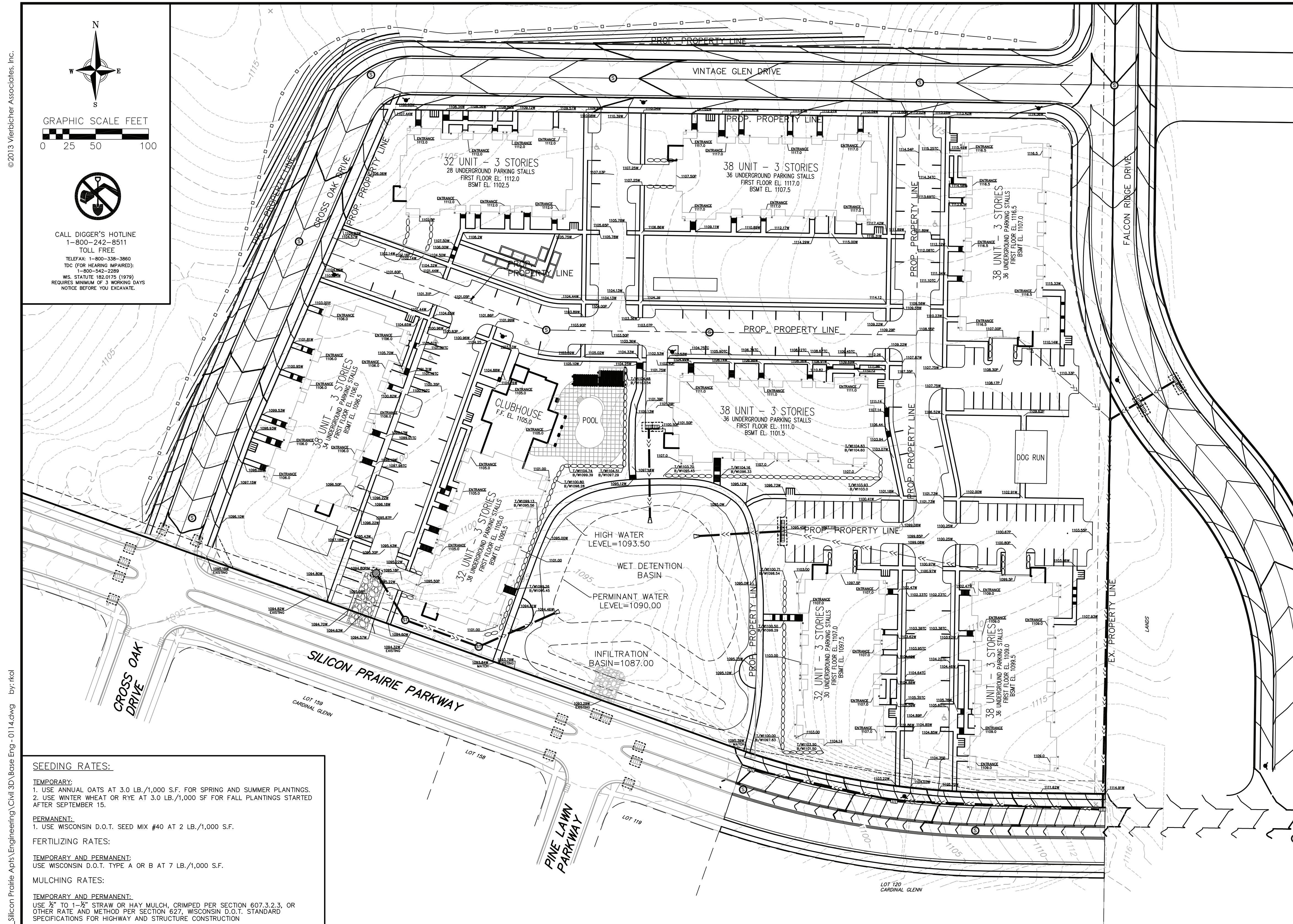
vierbicher
 planners | engineers | advisors
 REEDSBURG - MADISON - PRAIRIE DU CHIEN
 999 Founer Drive, Reedburg, Wisconsin 53171
 Phone: (815) 846-8332 Fax: (815) 846-8338

Existing Conditions Plan
 Silicon Prairie Apartments
 City of Madison
 Dane County, Wisconsin

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	11/06/13		
2	12/05/13		

SCALE:
 1" = 50' (24x36)
 1" = 100' (11x17)

DATE: 12/5/13
 DRAFTER: JDOY
 CHECKED:
 PROJECT NO.: 130114
 SHEET: 1 OF 3
 DWG. NO.: C-2.0



GRADING & EROSION CONTROL LEGEND

- 820- EXISTING MAJOR CONTOURS
- 818- EXISTING MINOR CONTOURS
- 820 PROPOSED MAJOR CONTOURS
- 818 PROPOSED MINOR CONTOURS
- SILT FENCE
- LIMITS OF DISTURBANCE
- ⊙ PROPOSED STORM MANHOLE
- ⊙ PROPOSED STORM CATCH BASIN
- ⊙ EXISTING SPOT ELEVATIONS
- ⊙ PROPOSED SPOT ELEVATIONS
- ⊙ INLET PROTECTION
- ▭ TRACKING PAD
- ▭ PROPERTY BOUNDARY
- ▭ PROPOSED BUILDING OUTLINE
- ▭ PROPOSED CURB AND GUTTER
- ▭ PROPOSED CONCRETE
- ▭ PROPOSED ASPHALT PAVEMENT
- ▭ EXISTING CONCRETE
- ▭ EXISTING ASPHALT PAVEMENT

ABBREVIATIONS

- C - TOP OF CURB
- P - EDGE OF SIDEWALK
- FF - FINISHED FLOOR
- TS - TOP OF STAIRS
- BS - BOTTOM OF STAIRS
- TW - TOP OF WALL
- BW - BOTTOM OF WALL

SITE CONSTRUCTION NOTES:

- CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE. SEE SHEET C-X-X FOR DETAILS.
- CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
- CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, OR RIGHT-OF-WAY PERMITS.
- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
- ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT 53B2364).
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.

CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE AND TRACKING PAD.
- INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.
- STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS.
- ROUGH GRADE SITE FOR BUILDING PADS, DRIVES AND WALKS.
- CONSTRUCT UNDERGROUND UTILITIES.
- INSTALL INLET PROTECTION ON NEW INLETS.
- CONSTRUCT WALKS, DRIVES, CURB AND GUTTER AND LOADING AREA.
- FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH.
- REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED.

SEEDING RATES:

TEMPORARY:

- USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
- USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

TEMPORARY AND PERMANENT:

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:

USE 2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

EROSION CONTROL MEASURE NOTES:

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, AND TYPE D INLET PROTECTION) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY OF MADISON. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE

ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WisDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.

7. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
8. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.

9. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
11. RESTORATION (SEED, FERTILIZER AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
12. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR TO SEEDING.
13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
15. EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.

16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
19. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
20. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
21. THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
22. IF THE TERRACE IN THE R/W IS TO BE DISTURBED, CONTRACTOR SHALL CONSIDER PLACING STONE/MULCH TO MINIMIZE RUNOFF.
23. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT 53B2364).

vierbicher
engineers | planners
advisors

REEDSBURG - MADISON - WAUWATOSA - WAUKESHA - WAUNAKEE - WAUKESHA
999 Frontier Drive, Suite 201, Waubesa, Wisconsin 53177
Phone: (608) 824-6532 Fax: (608) 824-6530

GRADING AND EROSION CONTROL PLAN

SILICON PRAIRIE APARTMENTS

CITY OF MADISON

DANE COUNTY, WISCONSIN

NO.	DATE	REVISIONS	REMARKS
1	11/06/13	CITY SUBMITTAL	
1	12/20/13	UDC SUBMITTAL	

SCALE:
1" = 50' (24x36)
1" = 100' (11x17)

DATE: 11/05/13

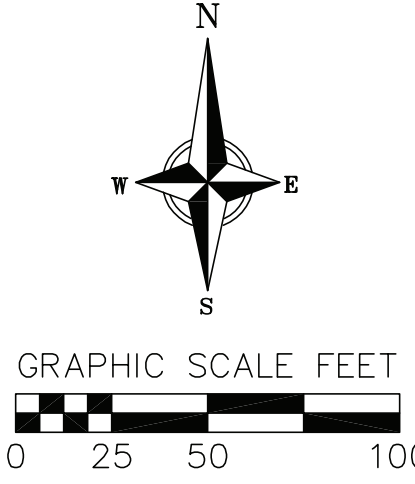
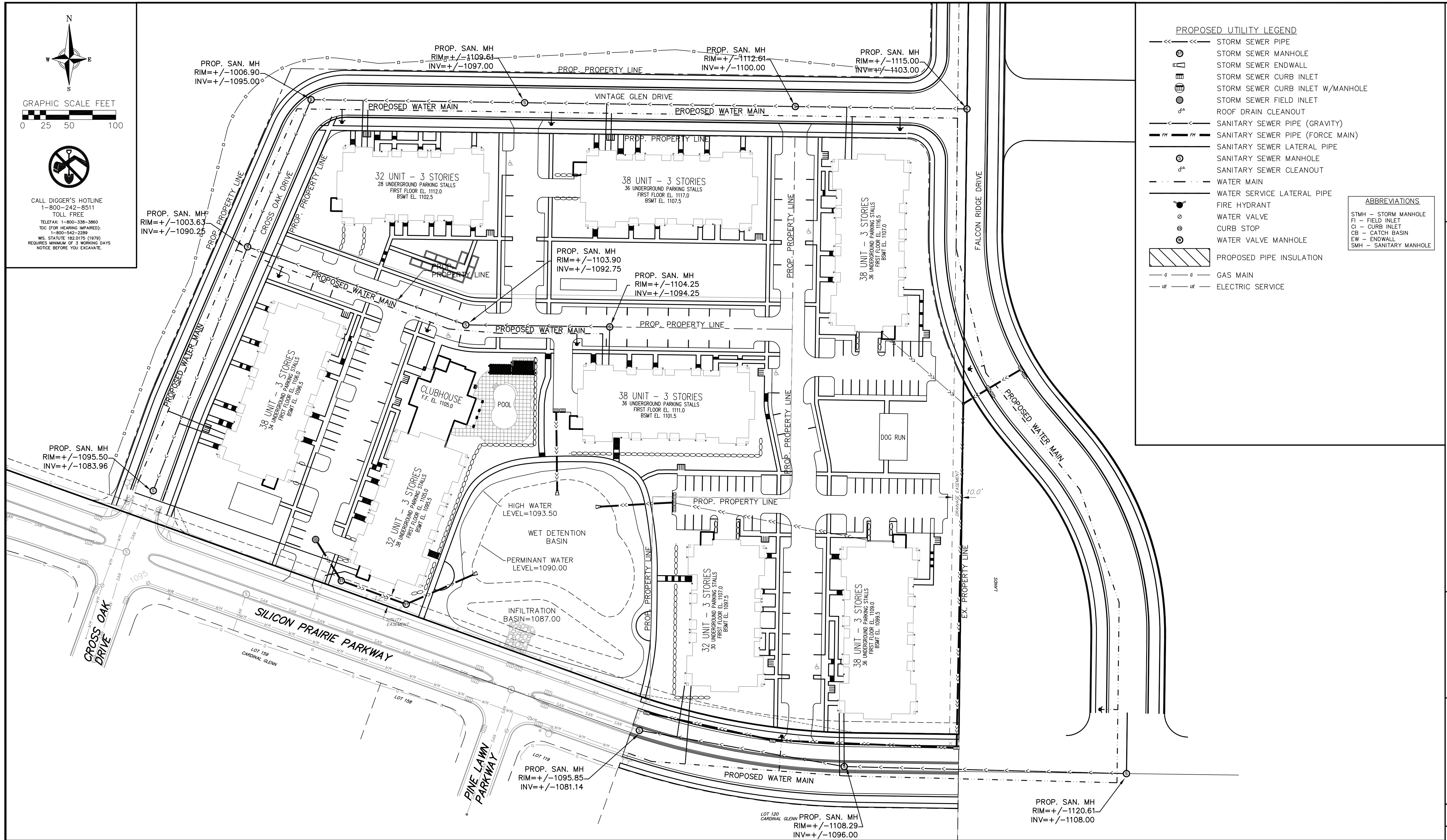
DRAFTER: JDOY

CHECKED:

PROJECT NO.: 130114

SHEET: 2 OF 3

DWG. NO.: C-3.0



CALL DIGGER'S HOTLINE
1-800-242-8511
TOLL FREE
TELEFAX: 1-800-338-3860
TDC (FOR HEARING IMPAIRED):
1-800-542-2289
WIS. STATUTE 192.0178 (0179)
REQUIRES MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE.

PROPOSED UTILITY LEGEND

- >--- STORM SEWER PIPE
- >--- STORM SEWER MANHOLE
- >--- STORM SEWER ENDWALL
- >--- STORM SEWER CURB INLET
- >--- STORM SEWER CURB INLET W/MANHOLE
- >--- STORM SEWER FIELD INLET
- >--- ROOF DRAIN CLEANOUT
- >--- SANITARY SEWER PIPE (GRAVITY)
- >--- SANITARY SEWER PIPE (FORCE MAIN)
- >--- SANITARY SEWER LATERAL PIPE
- >--- SANITARY SEWER MANHOLE
- >--- SANITARY SEWER CLEANOUT
- >--- WATER MAIN
- >--- WATER SERVICE LATERAL PIPE
- >--- FIRE HYDRANT
- >--- WATER VALVE
- >--- CURB STOP
- >--- WATER VALVE MANHOLE
- >--- PROPOSED PIPE INSULATION
- >--- GAS MAIN
- >--- ELECTRIC SERVICE

ABBREVIATIONS

- SMH - STORM MANHOLE
- FI - FIELD INLET
- CI - CURB INLET
- CB - CATCH BASIN
- EW - ENDWALL
- SMH - SANITARY MANHOLE

- UTILITY NOTES:**
- PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(d).
 - SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
 - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(11)(h) AND COMM 82.40(8)(k).
 - EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(8)(b).
 - NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
 - SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
 - CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
 - PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
 - ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
 - CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
 - EXISTING WATER AND SANITARY LATERALS MUST BE PROPERLY ABANDONED PER CITY REQUIREMENTS.
 - CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
 - THE DEVELOPER SHALL INSTALL THE 3M™ ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5" BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
 - ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
 - PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT 5382364).
 - ALL DAMAGE TO THE PAVEMENT ON MONROE STREET AND KNICKERBOCKER STREET ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
 - CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

vierbicher
engineers | advisors
planners | architects
REEDSBURG • MADISON • PRAIRIE DU CHIEN
999 Fourier Drive, Suite 201, Madison, Wisconsin 53717
Phone: (608) 824-6522 Fax: (608) 824-6528

UTILITY PLAN
SILICON PRAIRIE APARTMENTS
CITY OF MADISON
DANE COUNTY, WISCONSIN

REVISIONS NO.	DATE	REMARKS
1	11/06/13	CITY SUBMITTAL
2	12/20/13	UDC SUBMITTAL

SCALE	AS SHOWN
	1" = 100' (11X17)
DATE	11/05/13
DRAFTER	JDOY
CHECKED	
PROJECT NO.	130114
SHEET	3 OF 3
DWG. NO.	C-4.0



4387 Schwarz Rd.
Middleton, WI 53562
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FAX: (608) 827-9402
WEB: www.olsontoon.com

Landscape Development for
SILICON PRAIRIE APARTMENTS
Preliminary Treescape Plan
Madison, Wisconsin

Date: 11/6/13
Scale: 1" = 80'-0"
Designer: mm
Job #

Seal
To protect against legal liability,
the plans presented herein are
submitted as "drafts" and should not be
used as "construction documents" unless
approved by the Landscape
Designer. This is not an original
document unless stamped in
red, as ORIGINAL.

Revisions:
12.27.13 mm

Reference Name:
Silicon Prairie Apartments

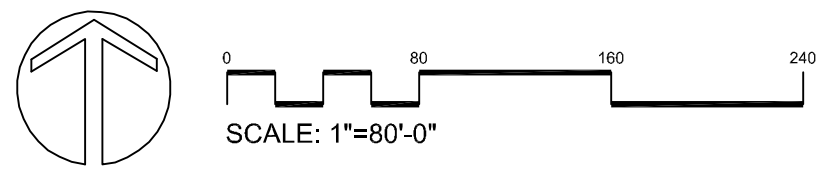
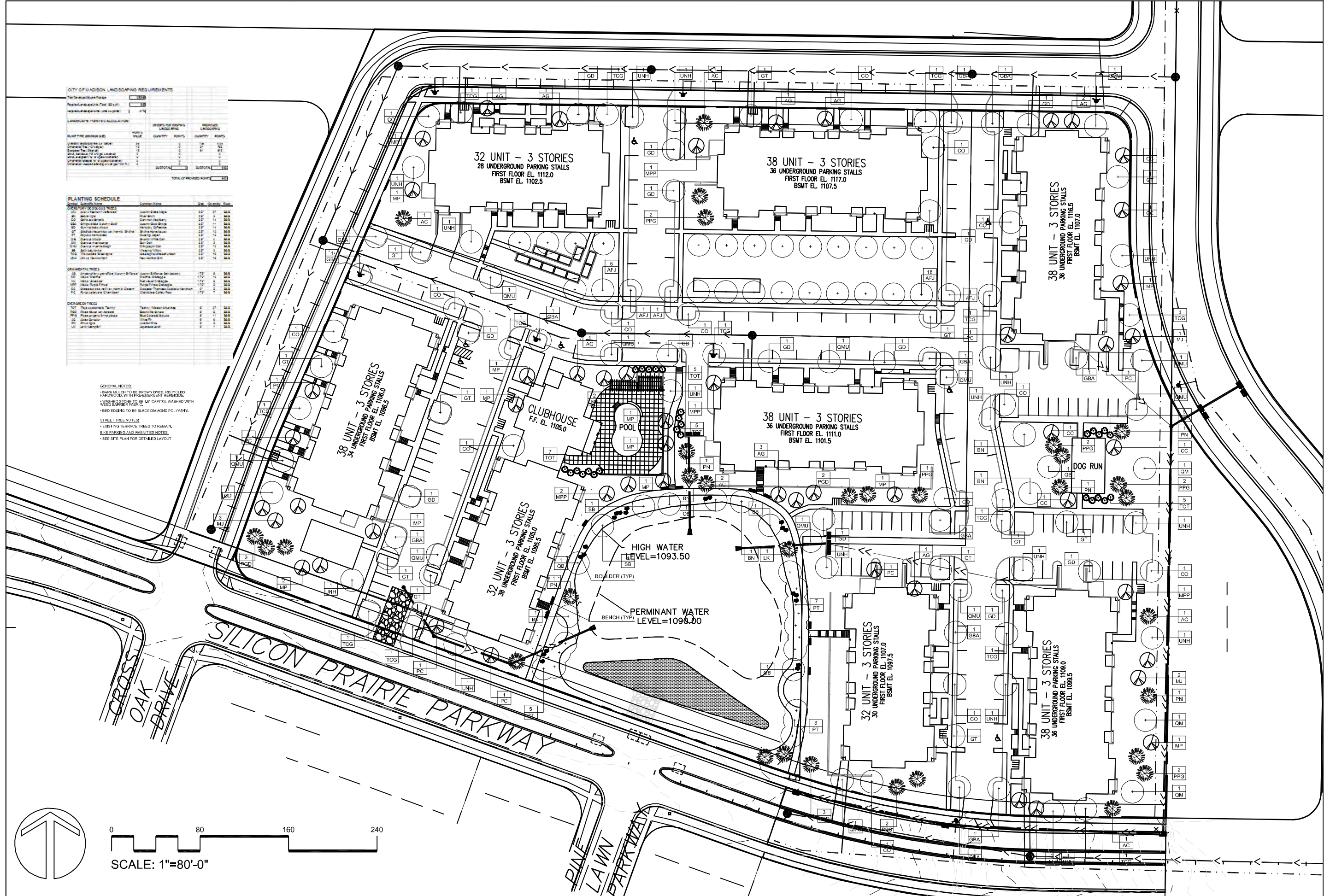
CITY OF MADISON LANDSCAPING REQUIREMENTS

PLANT SPECIES	QUANTITY	POINTS	QUANTITY	POINTS
UNH	1	10	1	10
CO	1	5	1	5
AG	1	2	1	2
GT	1	1	1	1
MP	1	1	1	1
PPG	1	1	1	1
PC	1	1	1	1
GBA	1	1	1	1
UNH	1	10	1	10
CO	1	5	1	5
AG	1	2	1	2
GT	1	1	1	1
MP	1	1	1	1
PPG	1	1	1	1
PC	1	1	1	1
GBA	1	1	1	1

PLANTING SCHEDULE

Plant Name	Quantity	Notes
UNH	1	10' x 10' x 10'
CO	1	6' x 6' x 6'
AG	1	4' x 4' x 4'
GT	1	2' x 2' x 2'
MP	1	1' x 1' x 1'
PPG	1	1' x 1' x 1'
PC	1	1' x 1' x 1'
GBA	1	1' x 1' x 1'

- GENERAL NOTES:
- BARK MULCH TO BE BROWN DYED RECYCLED HARDWOOD WITH PRE-EMERGENT HERBICIDE
 - WASHED STONE TO BE 1/2" CANTON, WASHED WITH WEED BARRIER FABRIC
 - BED EDGING TO BE BLACK GRANITE POLY-VINYL
- STREET TREE NOTES:
- EXISTING TERRACE TREES TO REMAIN
- SEE PLANNING AND ANNOTATED NOTES:
• SEE SITE PLAN FOR DETAILED LAYOUT



TALL DECIDUOUS SHRUBS			
<i>Cornus stolonifera</i> 'Bailey'	Bailey Red Twigg'd Dogwood	36"	Cont.
<i>Eucrymus alatus</i> 'Compactus'	Compact Burningbush	36"	Cont.
<i>Viburnum lantana</i> 'Mohican'	Mohican Viburnum	36"	Cont.
<i>Syringa meyeri</i> 'Palibin'	Palibin Lilac	36"	Cont.

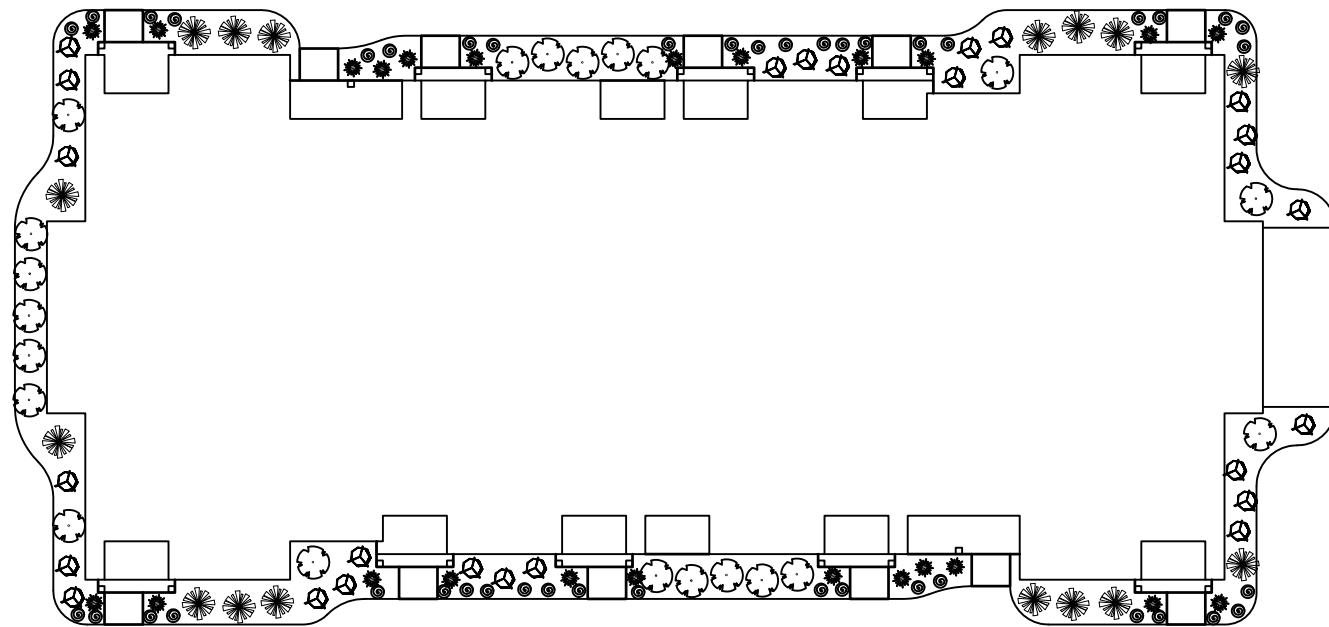
MEDIUM DECIDUOUS SHRUBS			
<i>Cornus sericea</i> 'Alleman's Compact'	Alleman's Compact Dogwood	24"	Cont.
<i>Hydrangea macrophylla</i> 'All Summer Beauty'	All Summer Beauty Hydrangea	24"	Cont.
<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Hydrangea	24"	Cont.
<i>Aronia melanocarpa</i> variety <i>etata</i>	Glossy Black Chokeberry	24"	Cont.
<i>Rosa</i> 'Radrazz'	Knock Out Rose	24"	Cont.
<i>Ita virginica</i> 'Henry's Game'	Virginia Sweetshpre	24"	Cont.
<i>Weigela florida</i> 'Alexandra'	Wine and Roses Weigela	24"	Cont.

LOW DECIDUOUS SHRUBS			
<i>Forsythia viridissima</i> 'Bronxensis'	Bronxensis Dwarf Forsythia	18"	Cont.
<i>Weigela florida</i> 'Minuet'	Minuet Weigela	18"	Cont.
<i>Spiraea japonica</i> 'Neon Flash'	Neon Flash Spiraea	18"	Cont.
<i>Spiraea japonica</i> 'Shirobana'	Shirobana Spiraea	18"	Cont.

MEDIUM EVERGREEN SHRUBS			
<i>Taxus x media</i> 'Tauntoni'	Taunton Yew	24"	Cont.

LOW EVERGREEN SHRUBS			
<i>Juniperus horizontalis</i> 'Prince of Wales'	Creeping Juniper	12"	Cont.
<i>Juniperus sabin</i> 'Mini Arcadia'	Mini Arcadia Juniper	12"	Cont.

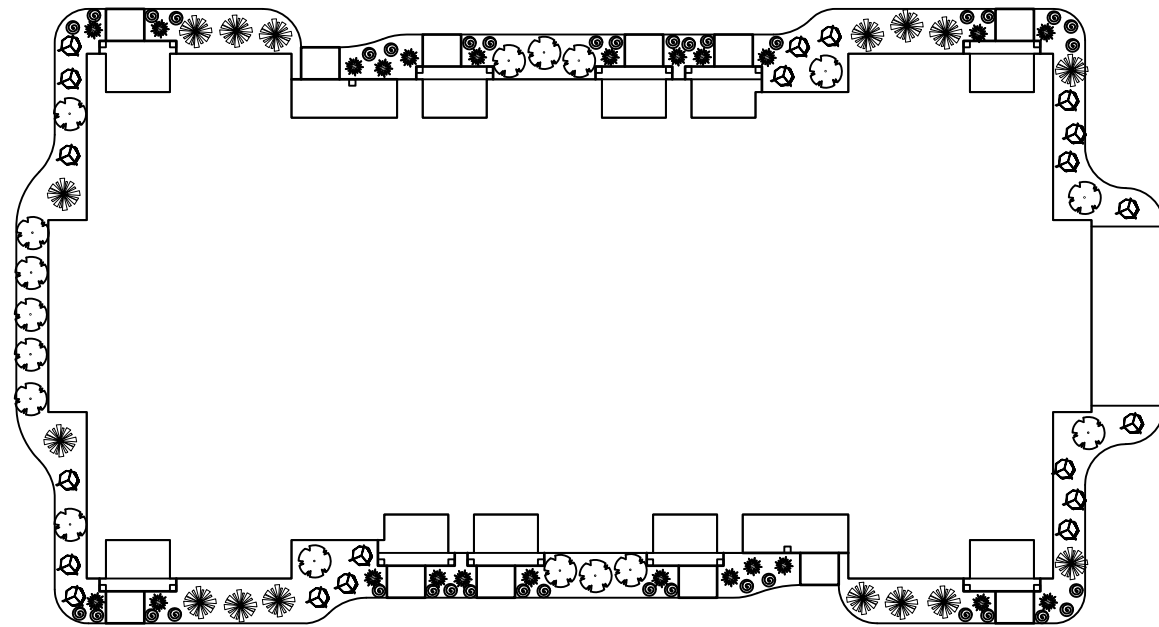
PERENNIALS AND ORNAMENTAL GRASSES			
<i>Sedum</i> 'Autumn Joy'	Autumn Joy Sedum	#1	Cont.
<i>Astilbe x arendsii</i> 'Fanal'	Fanal Astilbe	#1	Cont.
<i>Gallardia x grandiflora</i> 'Coblin'	Coblin Blanketflower	#1	Cont.
<i>Pennisetum alopecuroides</i> 'Hameln'	Hameln Dwarf Fountain Grass	#1	Cont.
<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Reed Grass	#1	Cont.
<i>Hosta</i> 'Krossa Regal'	Krossa Regal Hosta	#1	Cont.
<i>Achillea</i> 'Paprika'	Paprika Yarrow	#1	Cont.
<i>Hemerocallis</i> 'Pardon Me'	Pardon Me Daylily	#1	Cont.
<i>Geranium</i> 'Rozanne'	Rozanne Geranium	#1	Cont.
<i>Coreopsis verticillata</i> 'Zagreb'	Zagreb Coreopsis	#1	Cont.



TYPICAL 38 UNIT FOUNDATION PLANTING PLAN



SCALE: 1"=30'-0"

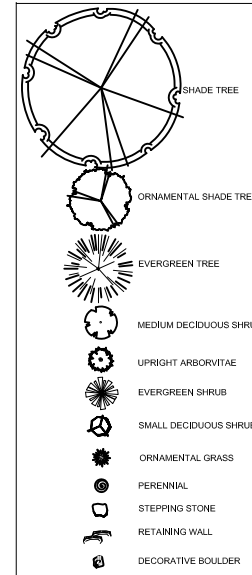


TYPICAL 32 UNIT FOUNDATION PLANTING PLAN



SCALE: 1"=30'-0"

PLANT KEY



PRELIMINARY PLANTING PLAN FOR SUBMITTAL ONLY
 NOT FOR CONSTRUCTION



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Landscape Development for
SILICON PRAIRIE APARTMENTS
 Typical Foundation Planting Plan
 Madison, Wisconsin

Date: 11/6/13
 Scale: 1" = 30'-0"
 Designer: mm
 Job #

Seal:
 To protect against legal liability,
 the plans presented herein are
 "schematic," and should not be
 outsourced as "fieldable" or
 "construction documents" unless
 approved by the Landscape
 Designer. This is not an original
 document unless stamped in
 red, as ORIGINAL.

Revisions:
 12.27.13 mm

Reference Name:
 Silicon Prairie Apartments



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CONSULTANT

REVISIONS
Conditional Use Submittal - November 6, 2013
Resubmittal - October 5, 2013

PROJECT TITLE
CARDINAL
PRAIRIE

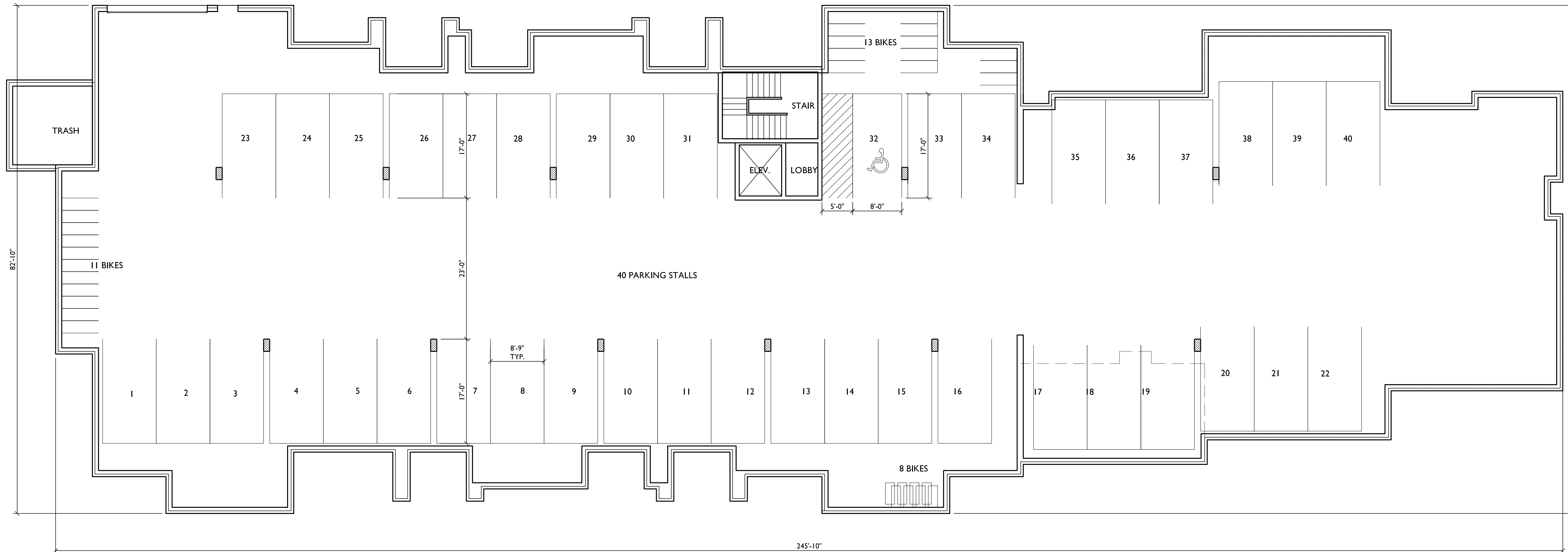
SHEET TITLE
BASEMENT
PLAN
BUILDING #2

SHEET NUMBER

1

PROJECT NO. 1302

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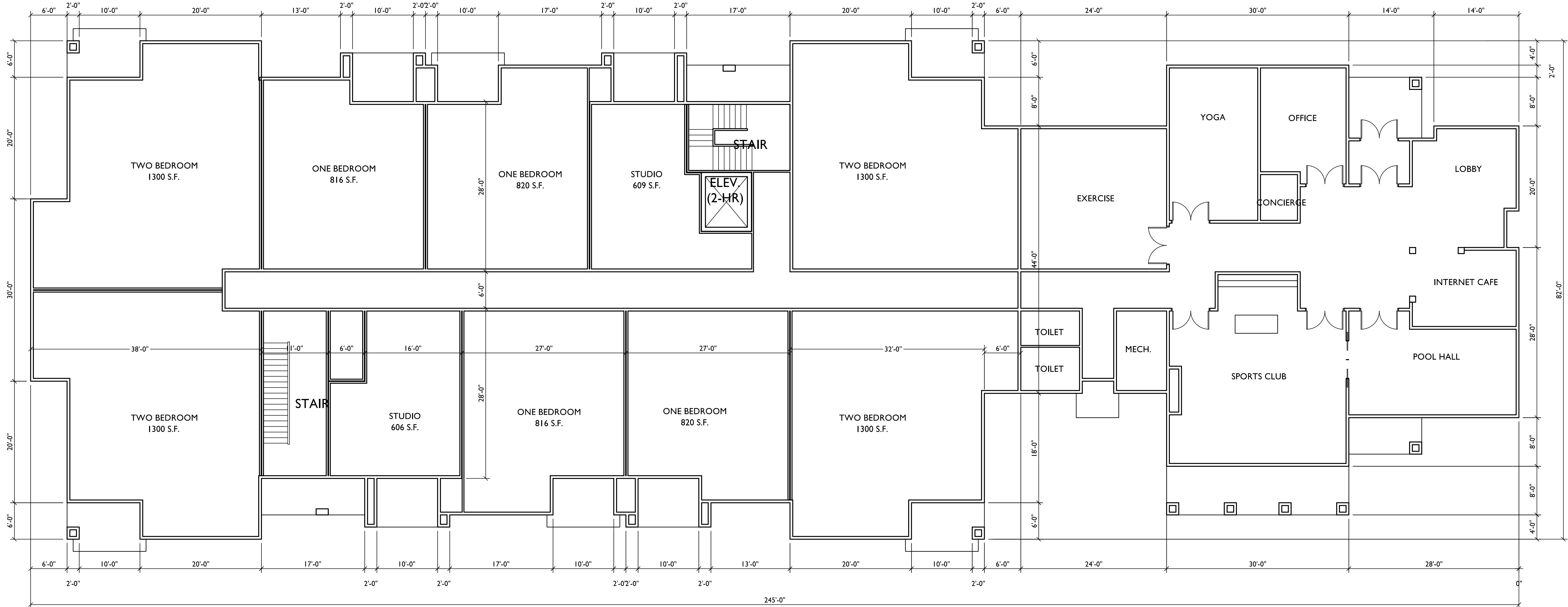
1 BASEMENT PLAN
1 SCALE: 1/8"=1'-0"



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PROJECT TITLE
**CARDINAL
PRAIRIE**

SHEET TITLE
**FIRST FLOOR
PLAN
BUILDING #2**

SHEET NUMBER

2

PROJECT NO. **1302**

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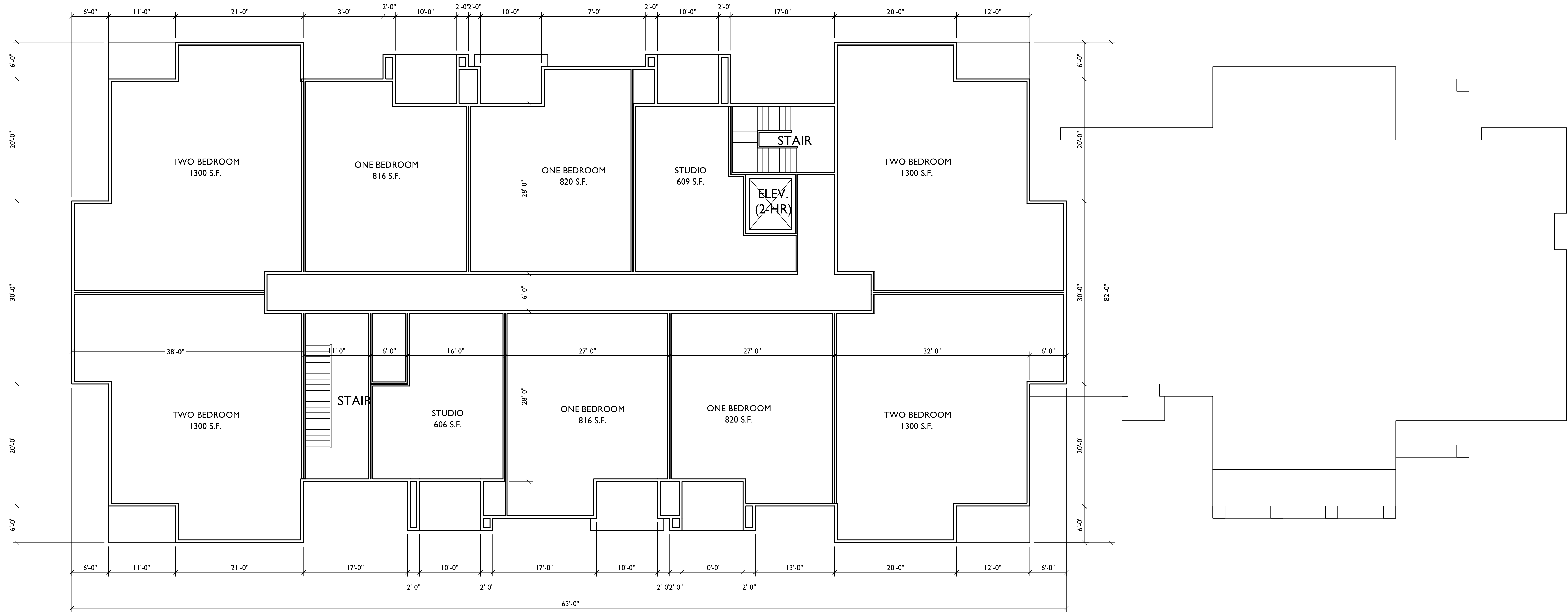
FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



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PROJECT TITLE
**CARDINAL
PRAIRIE**

SHEET TITLE
**SECOND FLOOR
PLAN
BUILDING #2**

1
3 **SECOND FLOOR PLAN**
SCALE: 1/8"=1'-0"

SHEET NUMBER

3

PROJECT NO. **1302**

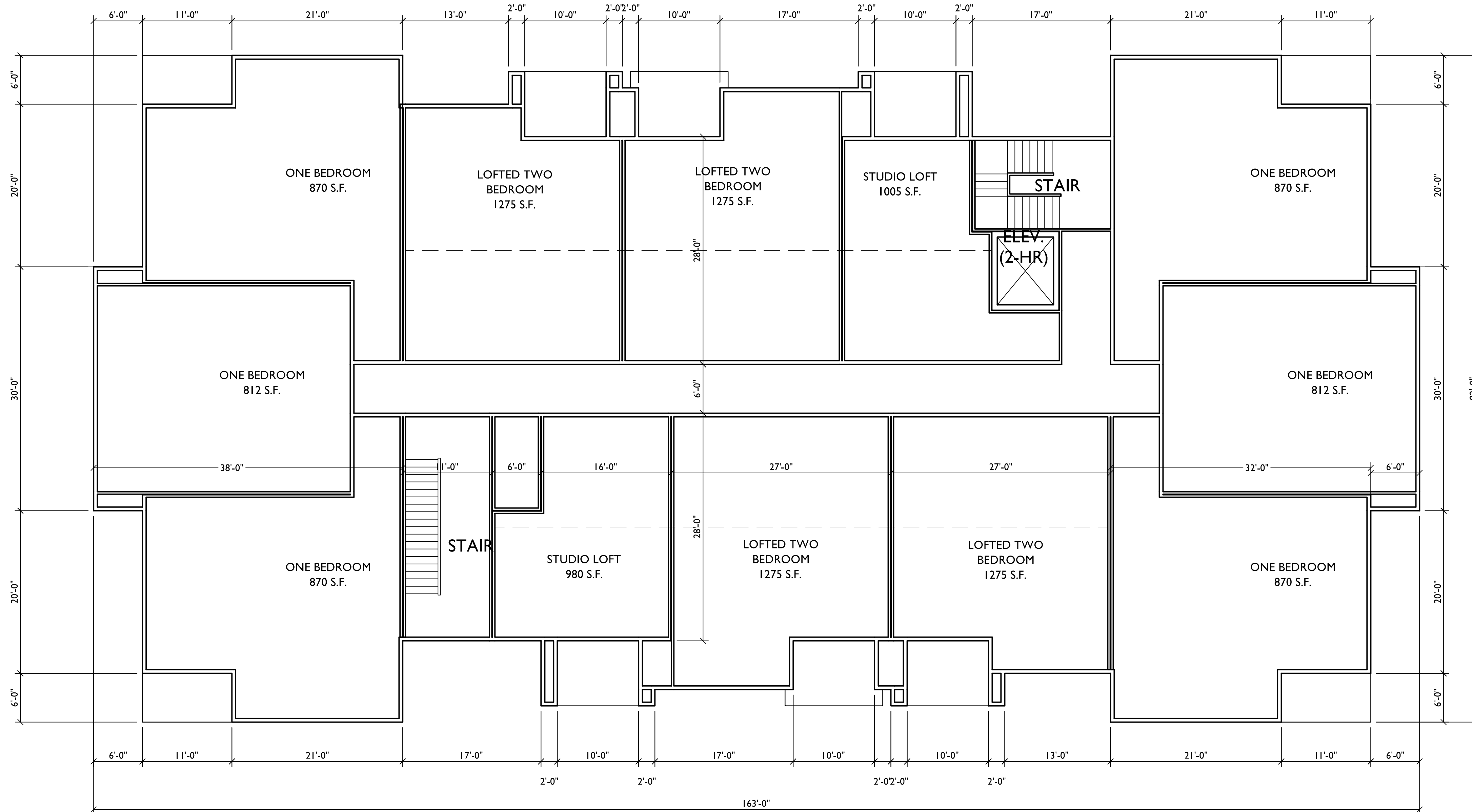
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Resubmittal - October 5, 2013

PROJECT TITLE
**CARDINAL
PRAIRIE**

SHEET TITLE
**THIRD FLOOR
PLAN
BUILDING #2**

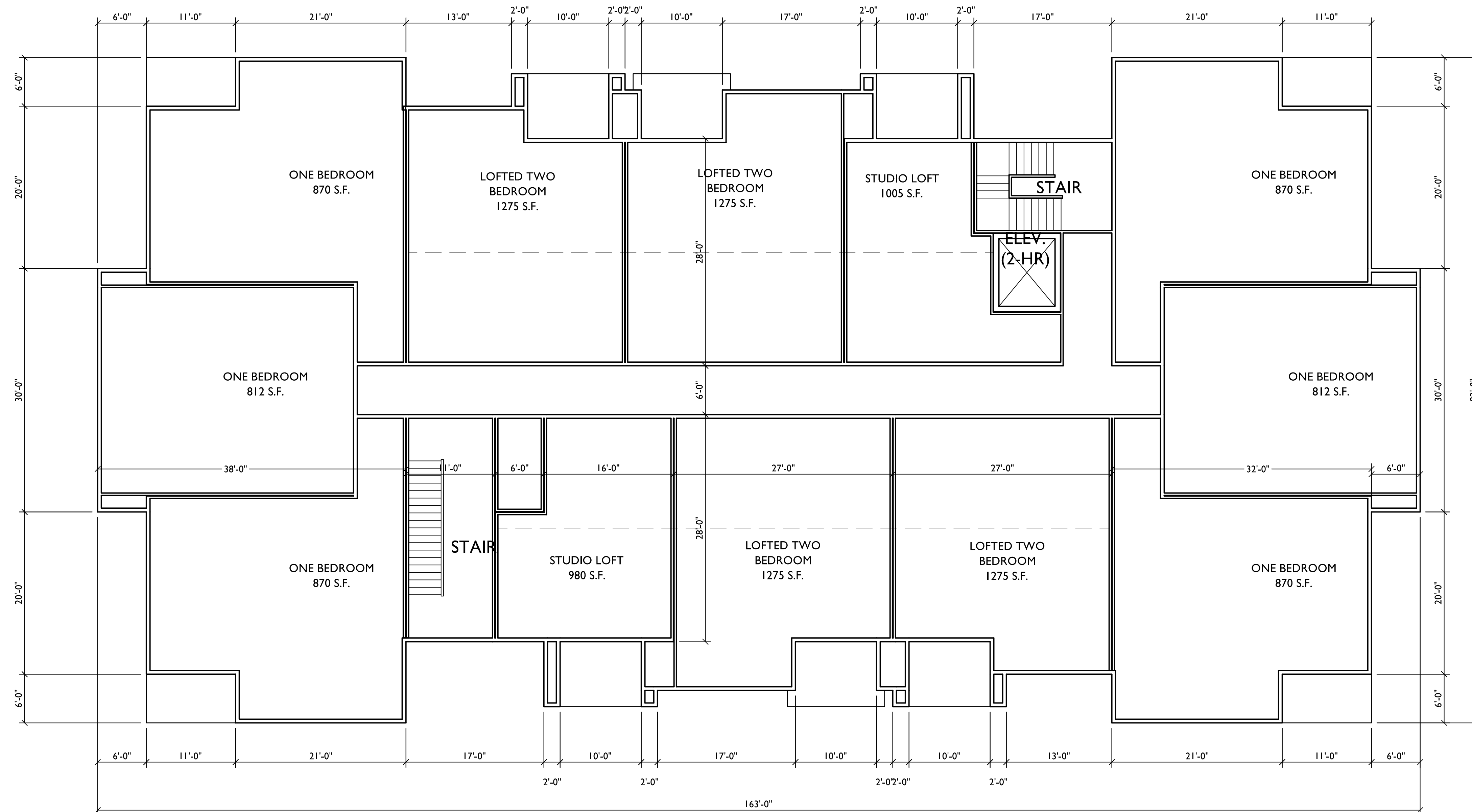
THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"

SHEET NUMBER

4

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PROJECT TITLE

**CARDINAL
PRAIRIE**

SHEET TITLE

**LOFT FLOOR
PLAN
BUILDING #2**

SHEET NUMBER

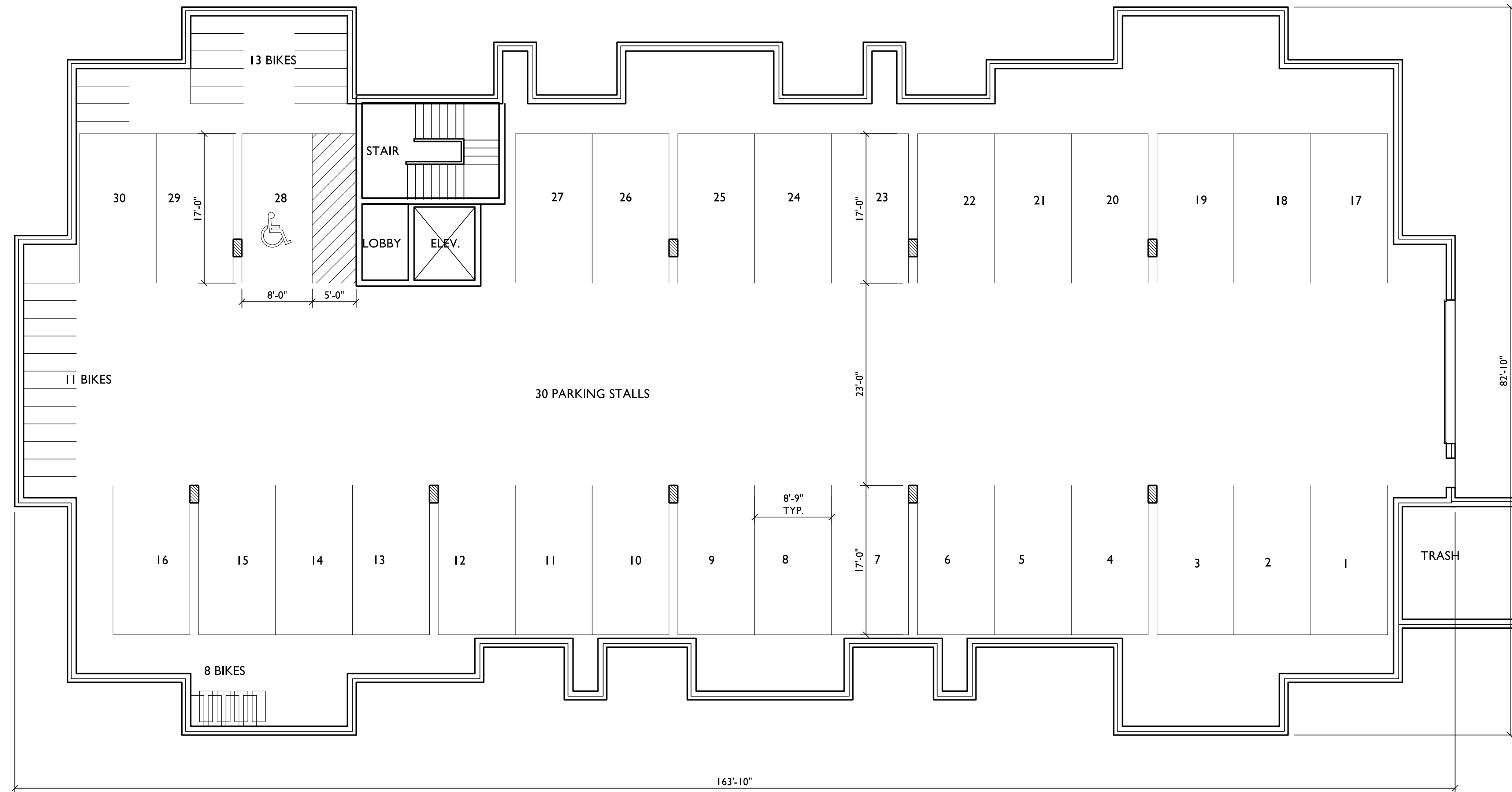
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PROJECT NO.

1302

LOFT FLOOR PLAN

SCALE: 1/8"=1'-0"



BASEMENT PLAN
SCALE: 1/8"=1'-0"



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PROJECT TITLE
CARDINAL
PRAIRIE

SHEET TITLE
FIRST FLOOR
PLAN
32 UNIT
BLDG #4 & #7

SHEET NUMBER

7

PROJECT NO. 1302

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1
7 FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



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PROJECT TITLE
CARDINAL
PRAIRIE

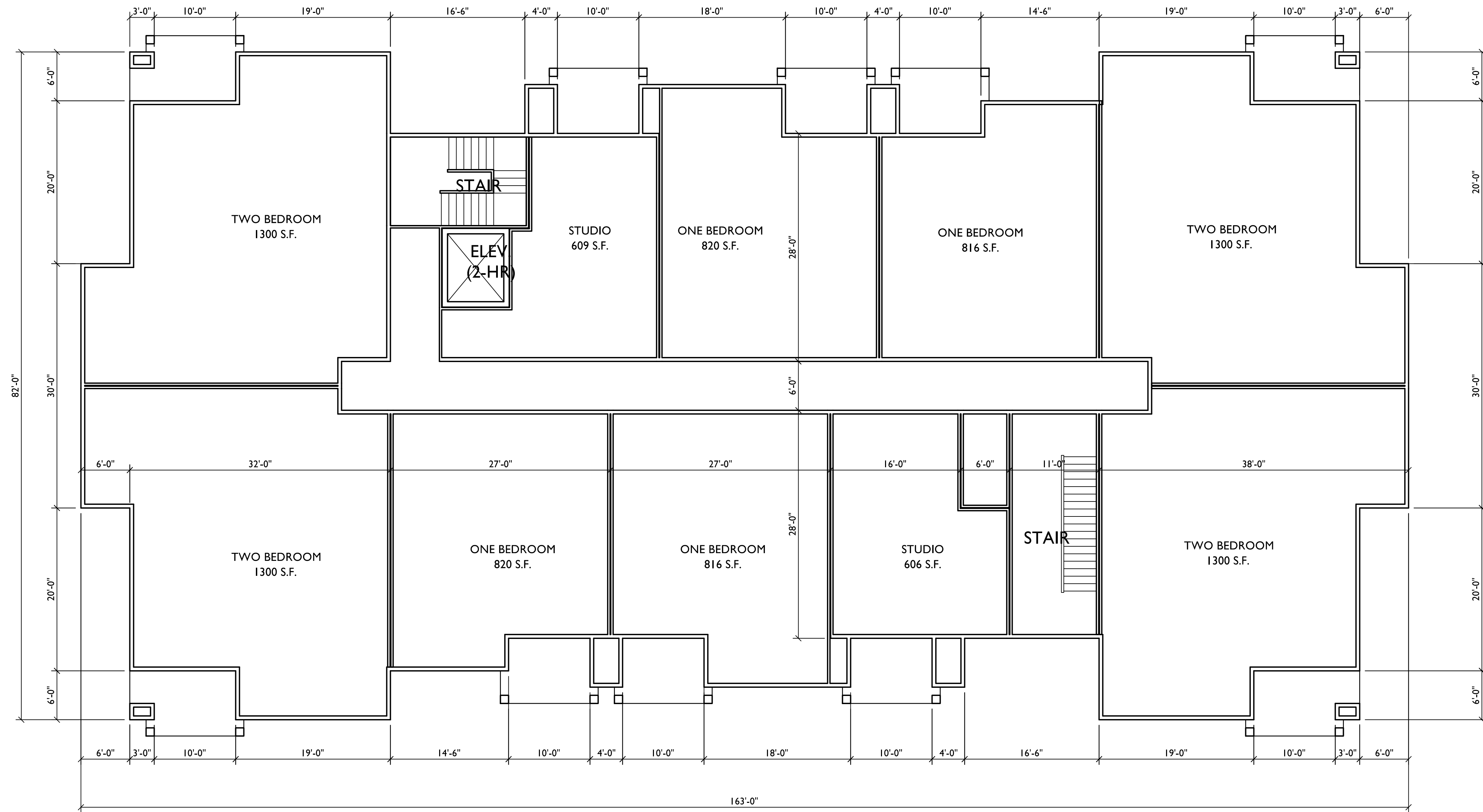
SHEET TITLE
SECOND FLOOR
PLAN
32 UNIT
BLDG #4 & #7

SHEET NUMBER

8

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1
8 SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



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PROJECT TITLE
CARDINAL
PRAIRIE

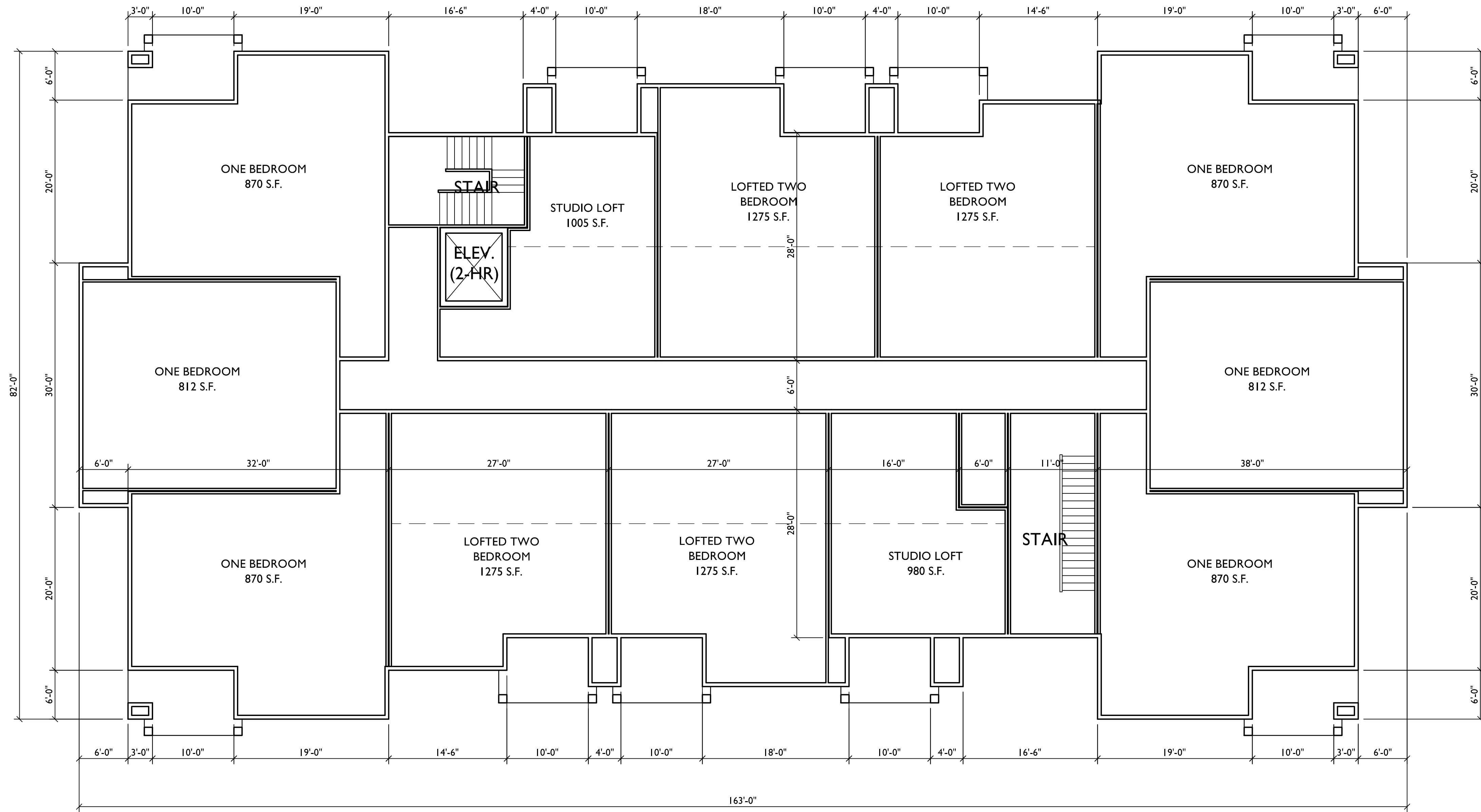
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THIRD FLOOR
PLAN
32 UNIT
BLDG #4 & #7

SHEET NUMBER

9

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1
9 THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"



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PROJECT TITLE
CARDINAL
PRAIRIE

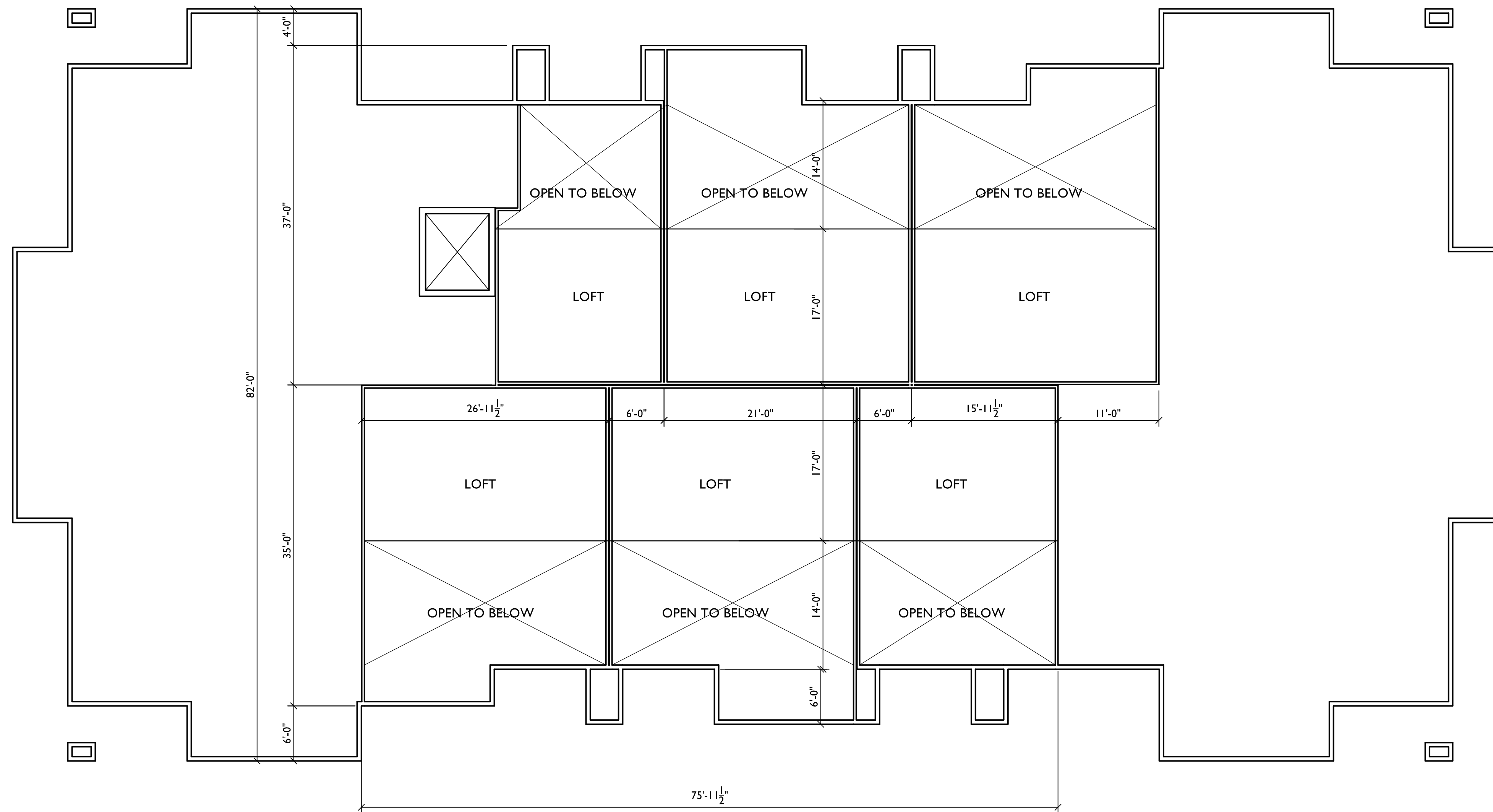
SHEET TITLE
LOFT FLOOR
PLAN
32 UNIT
BLDG #4 & #7

SHEET NUMBER

10

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1
10 LOFT FLOOR PLAN
SCALE: 1/8"=1'-0"



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PROJECT TITLE
CARDINAL
PRAIRIE

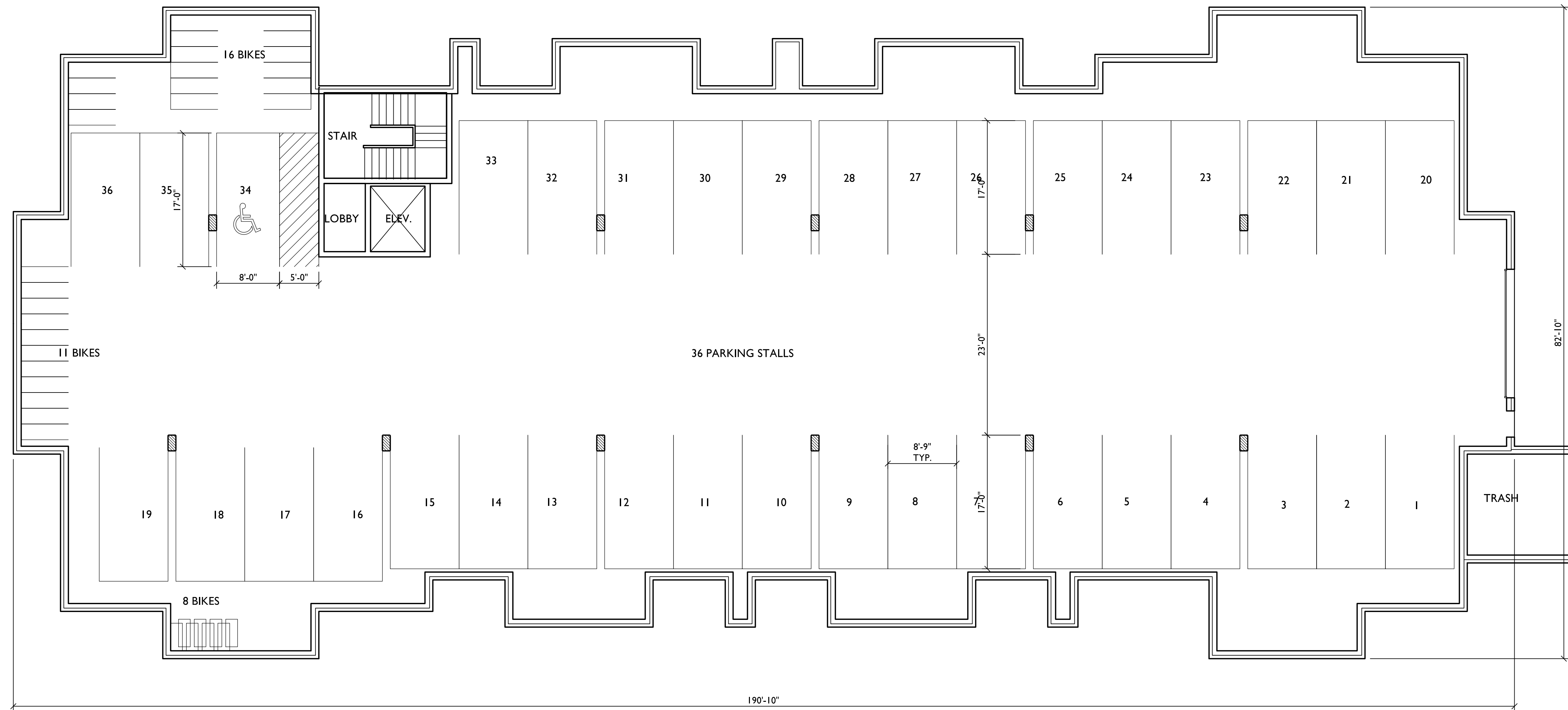
SHEET TITLE
BASEMENT
PLAN
38 UNIT
BLDG #1,3,5,6,8

SHEET NUMBER

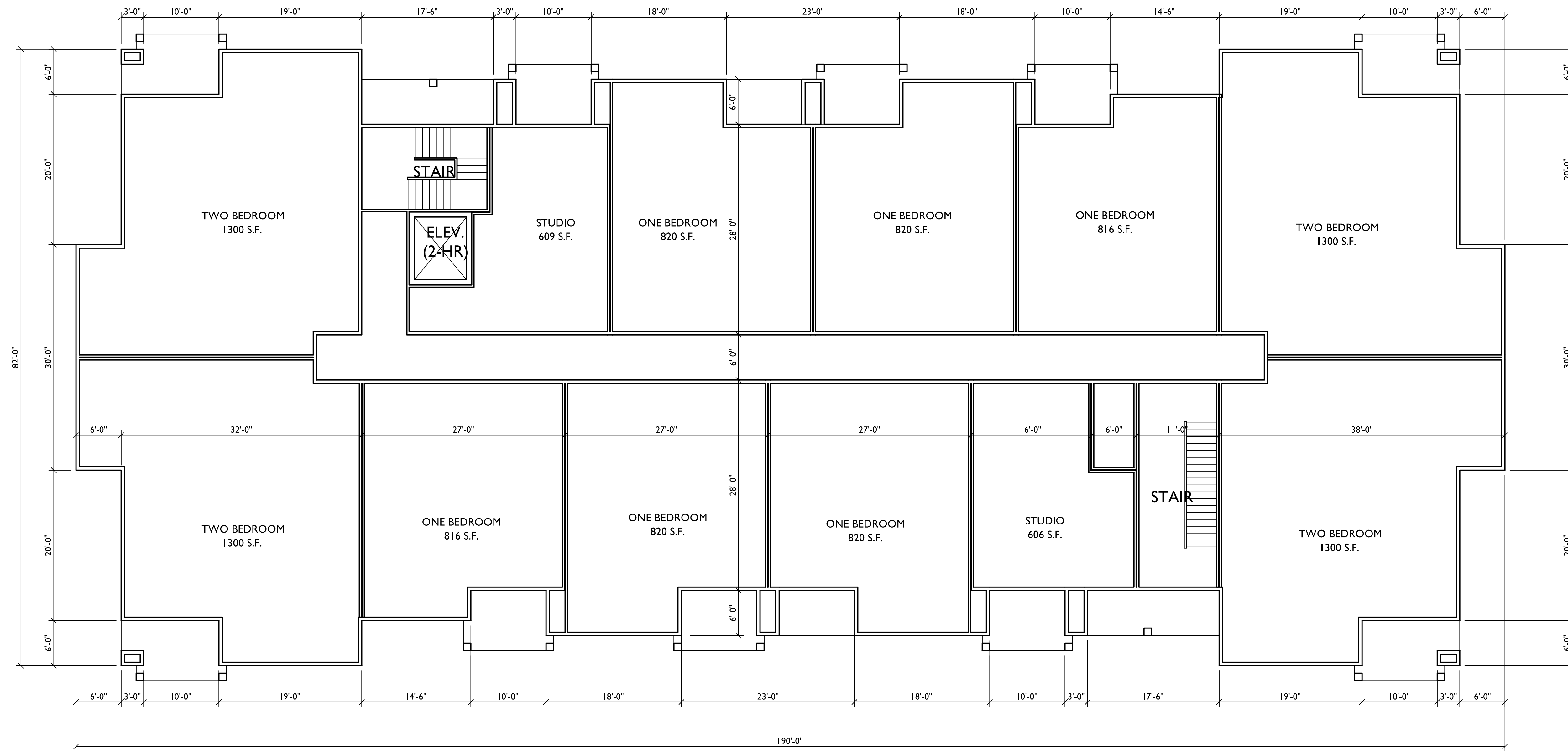
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1
11 BASEMENT PLAN
SCALE: 1/8"=1'-0"



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PROJECT TITLE
CARDINAL
PRAIRIE

SHEET TITLE
FIRST FLOOR
PLAN
38 UNIT
BLDG #1,3,5,6,8

SHEET NUMBER

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FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



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PROJECT TITLE
CARDINAL
PRAIRIE

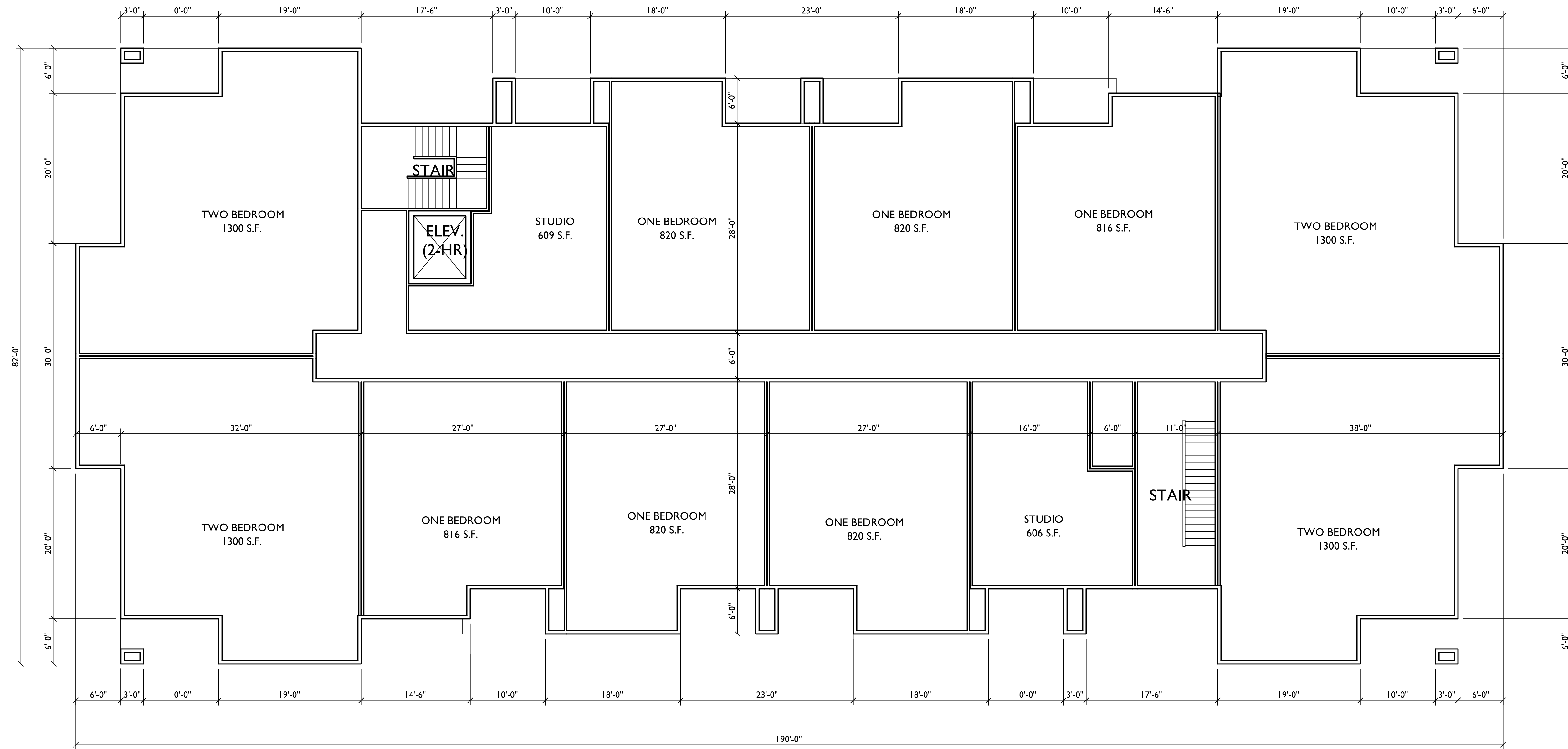
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SECOND FLOOR
PLAN
38 UNIT
BLDG #1,3,5,6,8

SHEET NUMBER

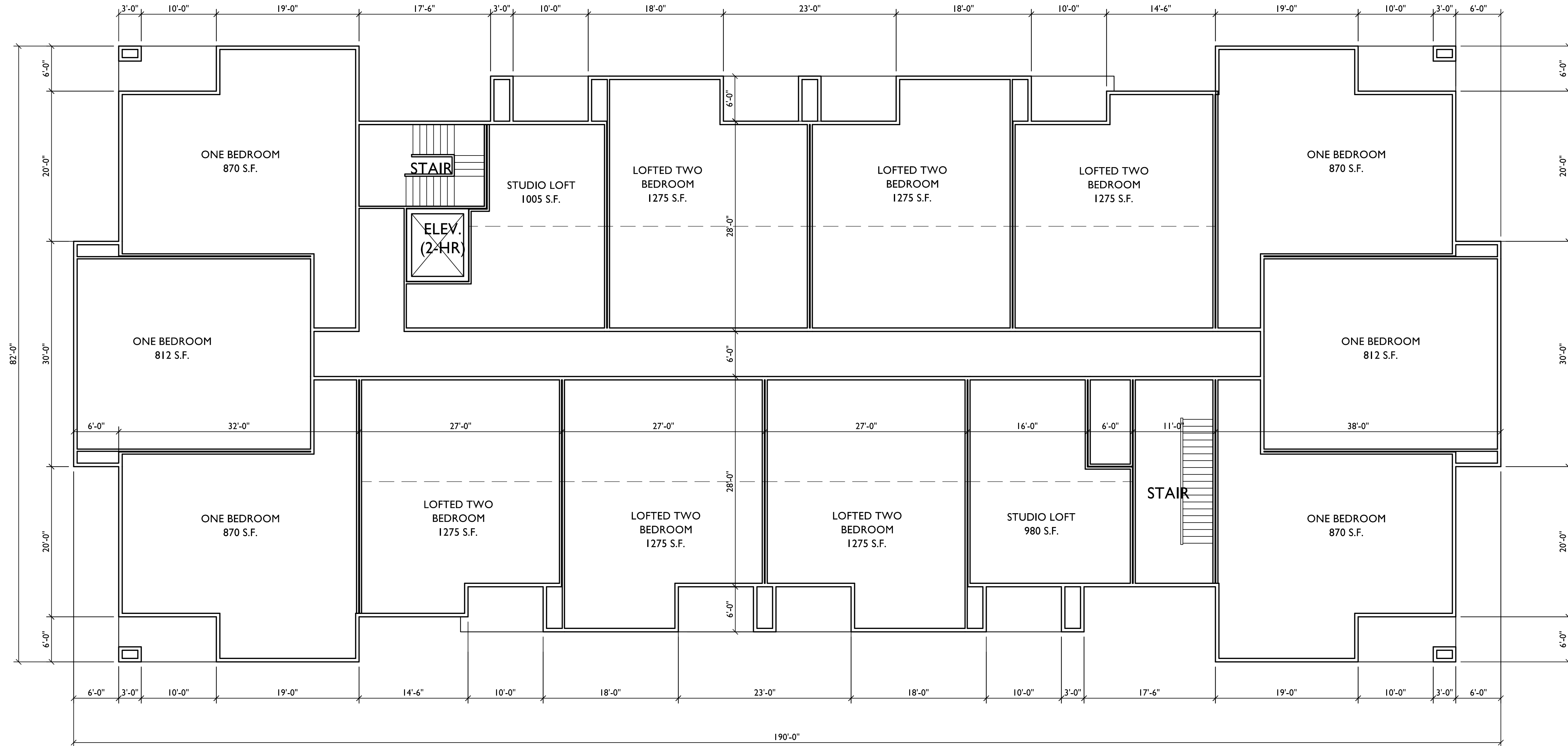
13

PROJECT NO. 1302

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1
13 SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"



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PROJECT TITLE
**CARDINAL
PRAIRIE**

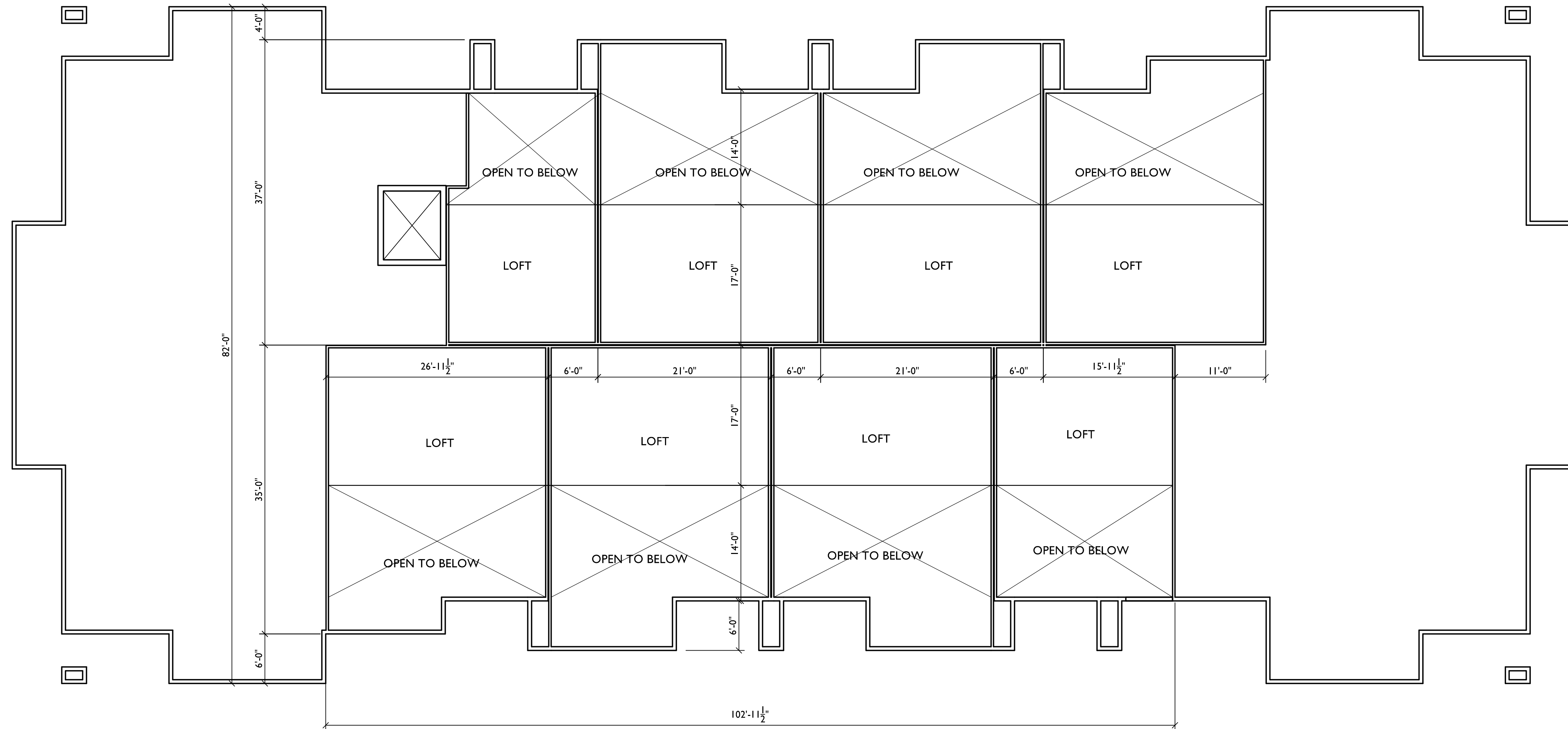
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**LOFT FLOOR
PLAN
38 UNIT
BLDG #1,3,5,6,8**

SHEET NUMBER

15

PROJECT NO. **1302**

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LOFT FLOOR PLAN
SCALE: 1/8"=1'-0"



1 EAST ELEVATION
SCALE: 1/8"=1'-0"



- TYPICAL MATERIALS
ASPHALT SHINGLES
- COMPOSITE BOARD AND BATTEN
- ALUMINUM RAILING
COMPOSITE SIDING
- PRECAST SILL
- STONE VENEER

2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



3 NORTH ELEVATION
SCALE: 1/8"=1'-0"



4 WEST ELEVATION
SCALE: 1/8"=1'-0"

TYPICAL MATERIALS
ASPHALT SHINGLES

ALUMINUM RAILING

COMPOSITE SIDING

PRECAST SILL

STONE VENEER



1 FRONT ELEVATION
SCALE: 1/8"=1'-0"



2 SIDE ELEVATION
SCALE: 1/8"=1'-0"



3 SIDE ELEVATION
SCALE: 1/8"=1'-0"



4 REAR ELEVATION
SCALE: 1/8"=1'-0"



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REVISIONS
Conditional Use Submittal - November 6, 2013
Resubmittal - October 5, 2013

PROJECT TITLE
**CARDINAL
PRAIRIE**

SHEET TITLE
**ELEVATIONS
BUILDING #7**

SHEET NUMBER

18

PROJECT NO. **1302**

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TYPICAL MATERIALS

ASPHALT SHINGLES

ALUMINUM RAILING

COMPOSITE SIDING

COMPOSITE PANELS AND TRIM

PRECAST SILL

STONE VENEER



1
18 **FRONT ELEVATION**
SCALE: 1/8"=1'-0"



2
18 **SIDE ELEVATION**
SCALE: 1/8"=1'-0"



3
18 **SIDE ELEVATION**
SCALE: 1/8"=1'-0"



4
18 **REAR ELEVATION**
SCALE: 1/8"=1'-0"



- TYPICAL MATERIALS
- ASPHALT SHINGLES
- COMPOSITE BOARD AND BATTEN
- ALUMINUM RAILING
- COMPOSITE SIDING
- STANDING SEAM METAL ROOF
- PRECAST SILL
- STONE VENEER

1
19 **FRONT ELEVATION**
SCALE: 1/8"=1'-0"



2
19 **SIDE ELEVATION**
SCALE: 1/8"=1'-0"



3
19 **SIDE ELEVATION**
SCALE: 1/8"=1'-0"



4
19 **REAR ELEVATION**
SCALE: 1/8"=1'-0"



1
20 **FRONT ELEVATION**
SCALE: 1/8"=1'-0"



2
20 **SIDE ELEVATION**
SCALE: 1/8"=1'-0"



3
20 **SIDE ELEVATION**
SCALE: 1/8"=1'-0"



4
20 **REAR ELEVATION**
SCALE: 1/8"=1'-0"

TYPICAL MATERIALS
ASPHALT SHINGLES

ALUMINUM RAILING

COMPOSITE SIDING

COMPOSITE PANELS AND TRIM

PRECAST SILL

STONE VENEER



1 FRONT ELEVATION
SCALE: 1/8"=1'-0"



2 SIDE ELEVATION
SCALE: 1/8"=1'-0"



3 SIDE ELEVATION
SCALE: 1/8"=1'-0"



4 REAR ELEVATION
SCALE: 1/8"=1'-0"



BLdg #5



BLdg #7

Silicon Prairie Parkway

Elevations

December 30, 2013