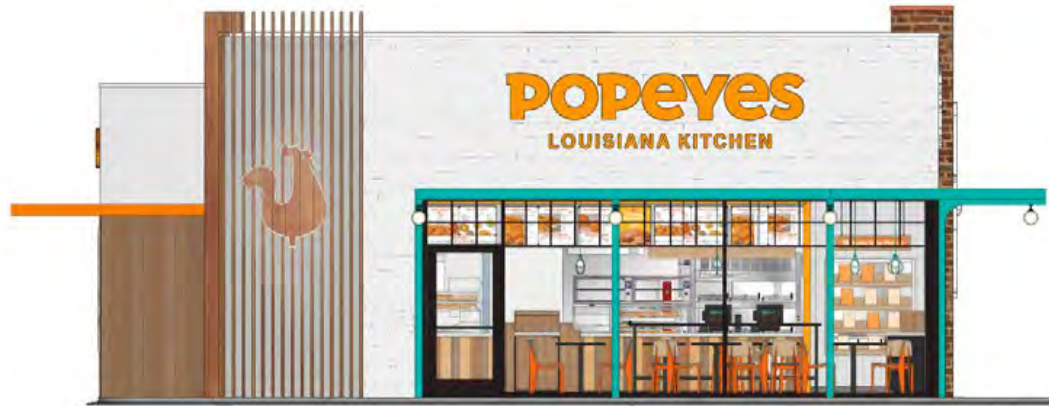


EXTERIOR DESIGN

POPEYES LOUISIANA KITCHEN



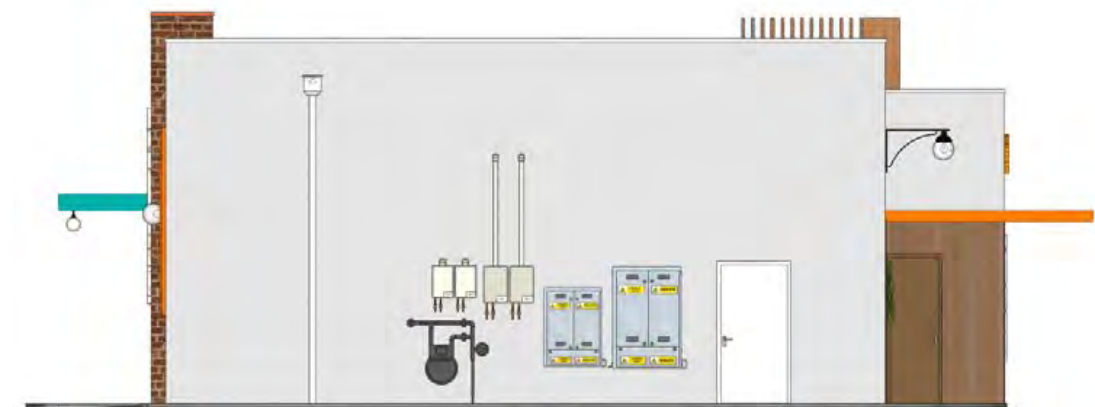
Front Elevation



Side Elevation



Drive-Thru Elevation

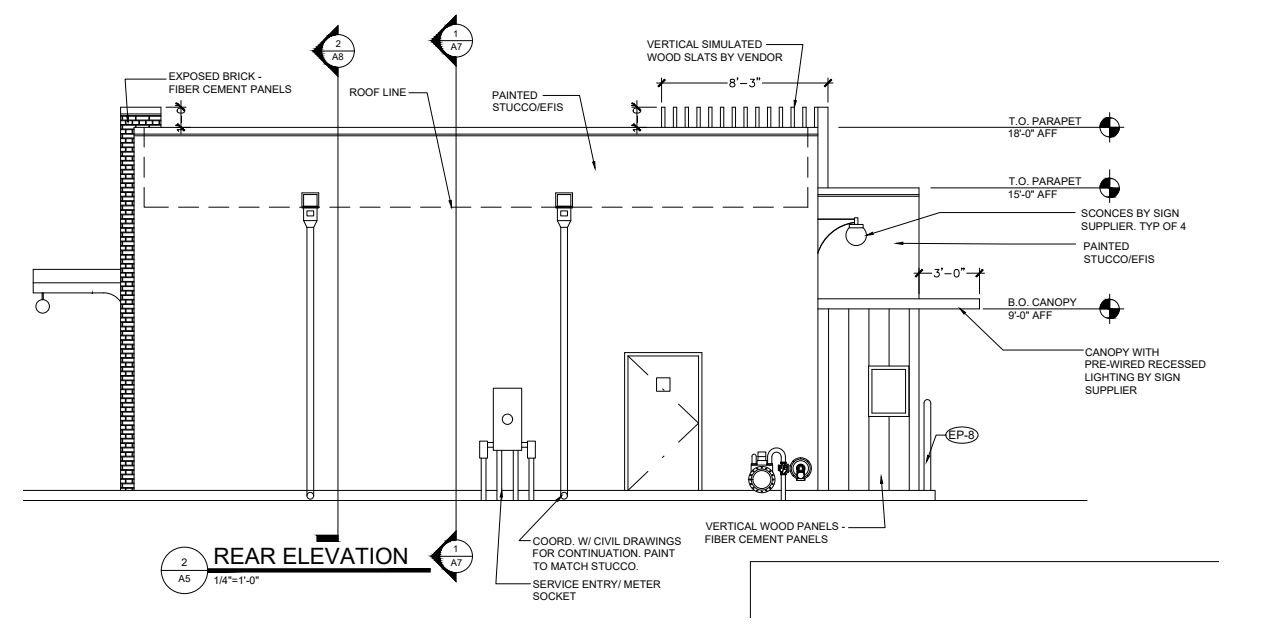
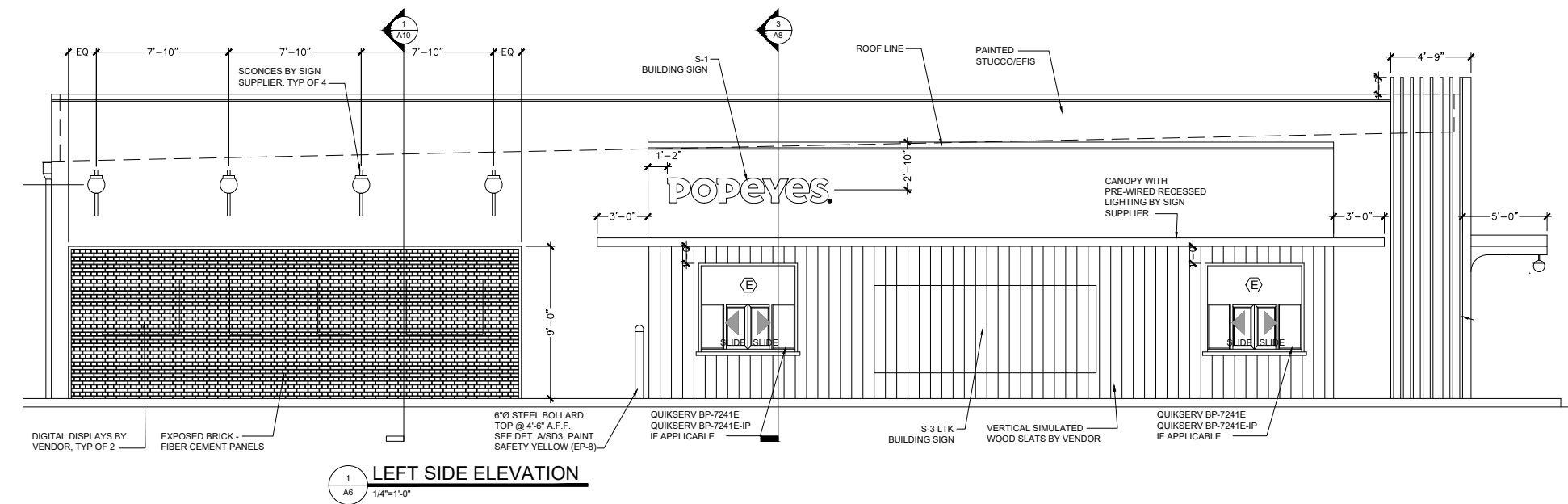
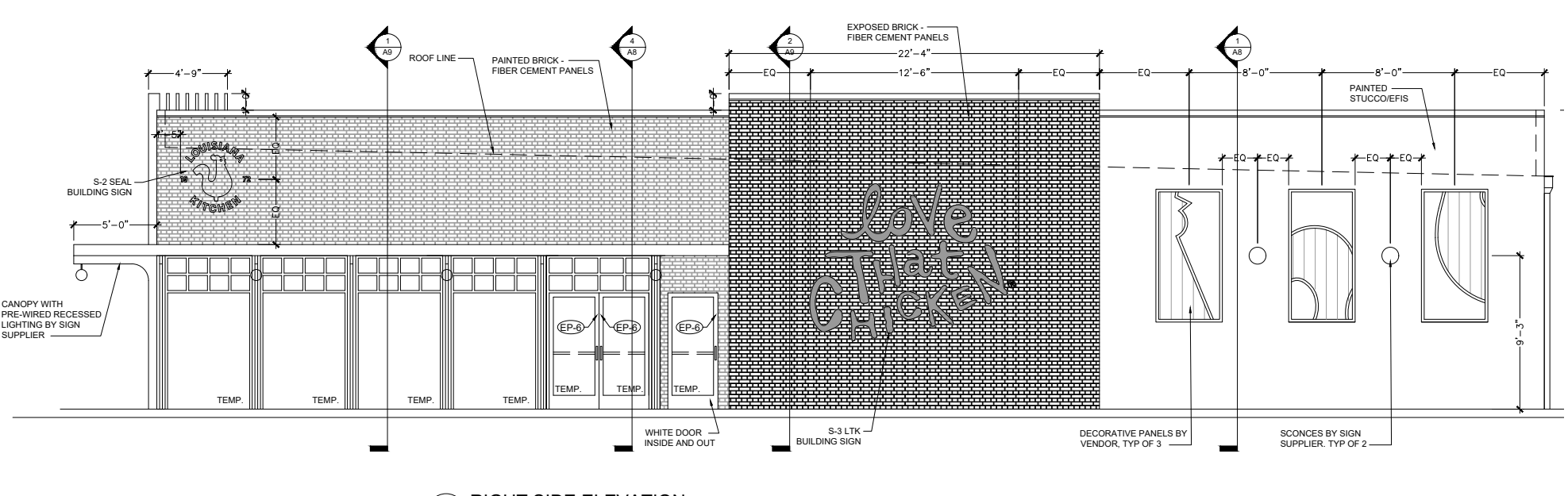
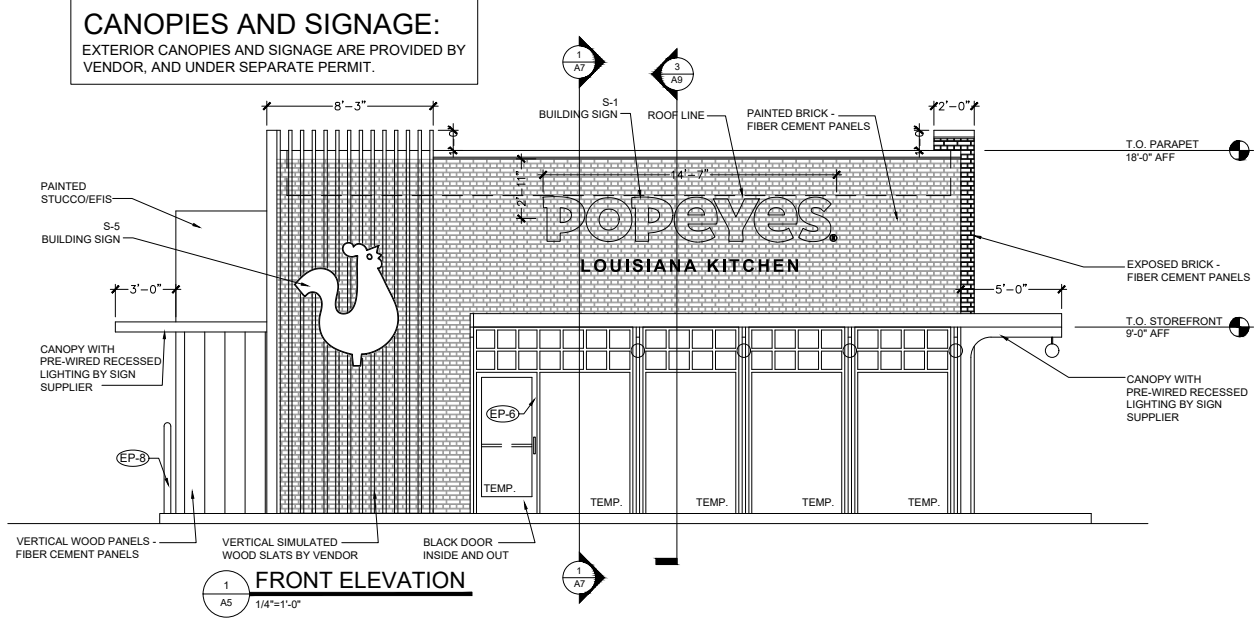


Back Elevation

EXTERIOR DESIGN

POPEYES LOUISIANA KITCHEN

CANOPIES AND SIGNAGE:
EXTERIOR CANOPIES AND SIGNAGE ARE PROVIDED BY VENDOR, AND UNDER SEPARATE PERMIT.



EXTERIOR DESIGN

POPEYES LOUISIANA KITCHEN



EXTERIOR DESIGN

POPEYES LOUISIANA KITCHEN



EXTERIOR DESIGN

POPEYES LOUISIANA KITCHEN



EXTERIOR DESIGN

POPEYES LOUISIANA KITCHEN





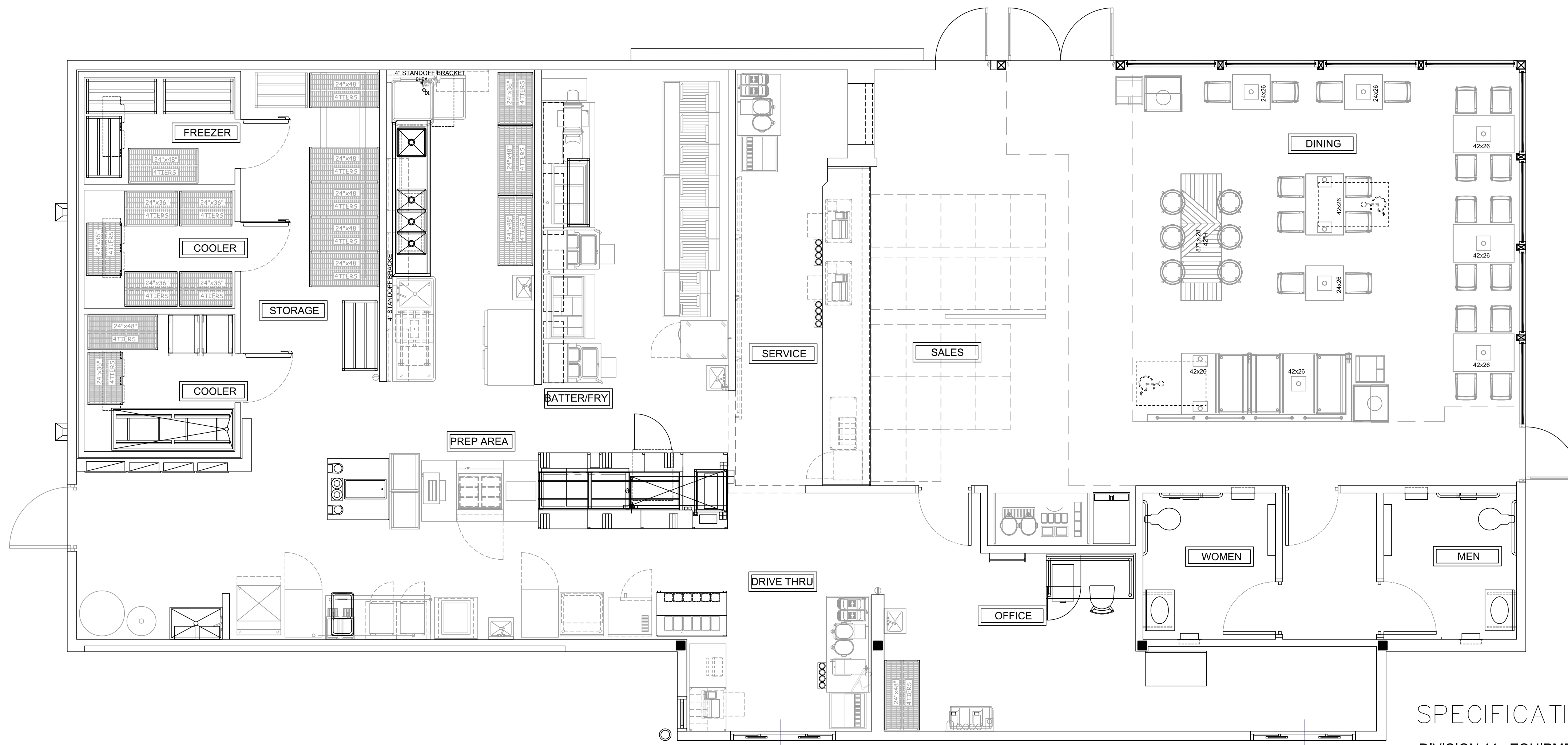
ARCHITECTURE
LAND PLANNING
INTERIOR ARCHITECTURE
LANDSCAPE ARCHITECTURE
10100 ORLAND PARKWAY SUITE 110
ORLAND PARK, ILLINOIS 60467
(708) 799-4400
WWW.LINDENGROUPINC.COM

**POPEYE'S LOUISIANA KITCHEN
2136 - CLASSIC PROTOTYPE
MADISON, WISCONSIN**
LOUISIANA KITCHEN PLK DESIGN STANDARDS - JUNE 2021 RELEASE
36 SEATS / DUAL-LINE HIGH PRODUCTION



REVISIONS

DATE:-
EQ1
EQUIPMENT PLAN
CHECKED:



1 EQUIPMENT PLAN
EQ1 1/4"=1'-0"

SPECIFICATIONS

DIVISION 11: EQUIPMENT

GENERAL PROVISIONS

- SCOPE: COORDINATE WITH THE INSTALLATION OF ALL EQUIPMENT ITEMS SHOWN ON PLANS AND SCHEDULED IN EQUIPMENT SCHEDULE (EXCEPT AS NOTED AS INSTALLED BY KITCHEN CONTRACTOR) WHICH ARE FURNISHED BY THE OWNER OR UNDER SEPARATE CONTRACT. EQUIPMENT SCHEDULE LISTS TRADES RESPONSIBLE FOR FURNISHING, INSTALLING AND FINAL CONNECTION.
- SUBMISSIONS: PROVIDE THE OWNER, AT THE COMPLETION OF THIS CONTRACT, WITH AN "OWNER'S MANUAL" SO LABELED. THE MANUAL SHALL CONSIST OF A THREE-RING LOOSE-LEAF BINDER CONTAINING ALL PRINTED MATTER SUCH AS: GUARANTEE CARDS, CLEANING INSTRUCTIONS, NOTICES TO OWNER, OPERATING MANUALS, SERVICE AGENTS AND MAINTENANCE INSTRUCTIONS THAT MAY BE CONTAINED IN THE SHIPPING CARTON OF EQUIPMENT AND SPECIALTIES.
- DELIVERY AND STORAGE: RECEIVE, UNLOAD, AND SAFEGUARD THE EQUIPMENT. COORDINATE SHIPPING TIME WITH OWNER.
- PROTECTION AND CLEANING: SURFACES SHALL BE CLEANED BEFORE FINAL INSPECTION.

MATERIALS

- SEE EQUIPMENT SCHEDULE

PERFORMANCE

- INSTALL EQUIPMENT ACCORDING TO NFPA 96 AND MANUFACTURER'S INSTRUCTIONS, PROVIDE FACTORY AUTHORIZED START & ADJUSTMENT.

DIVISION 12: FURNISHINGS

GENERAL PROVISIONS

- SCOPE: COORDINATE INSTALLATION OF ARTWORK, SEATING, FREE-STANDING CABINETS AND SHELVING, WINDOW TREATMENT, FLOOR MATS, AND ACCESSORIES WHICH ARE FURNISHED UNDER SEPARATE CONTRACT TO THE OWNER. IF REQUESTED THROUGH THE CONTRACT, INSTALL DECOR, SEATING, FREE-STANDING CABINETS AND SHELVING, WINDOW TREATMENT, FLOOR MATS AND/OR ACCESSORIES.
- NOTES: DETAILS AND MATERIALS SHOWN ON THE APPROVED DECOR DRAWINGS CONFLICTING WITH THE STANDARD PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY PRIOR TO COMMENCEMENT OF THE INSTALLATION. VERIFICATION OF ADA COMPLIANCE WILL BE NECESSARY.
- DELIVERY AND STORAGE: RECEIVE AND SAFEGUARD OWNER SUPPLIED ITEMS ON THE JOB SITE IF REQUESTED.

PERFORMANCE

- INSTALLATION: PREPARE SURFACES TO RECEIVE THESE MATERIALS AND COOPERATE WITH THE INSTALLATION OF DECOR MATERIALS AS SHOWN ON THE DECOR DRAWINGS.

NOTES

SYMBOL

TEXT EQUIPMENT No.

- IT IS THE RESPONSIBILITY OF THE G.C. TO COORDINATE DELIVERY, UNCRATING, POSITIONING, FINAL HOOK-UP AND REMOVAL OF TRASH OF ALL OWNER SUPPLIED KITCHEN EQUIPMENT.
- ALL KITCHEN EQUIPMENT TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
- DECOR ITEMS SUPPLIED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR.
- FOR DINING ROOM FURNITURE, SEE DECOR PACKAGE, CONTACT DECOR VENDOR FOR DETAILS.

INTERIOR SIGN PACKAGE-BY G.C.

AREA	SIGN NAME	QTY	MOUNTING LOCATION	COMMENTS	
FRONT OF HOUSE	HOURS OF OPERATION	2	CUSTOMER ENTRANCE DOORS, 48" AFF	MOUNT ON WINDOW NEXT TO DOOR, IF POSSIBLE	
	DOOR TRAFFIC FLOW SIGNS				
	IN	2	CUSTOMER ENTRANCE DOORS, 48" AFF	MOUNT DIRECTLY ABOVE PUSH BAR OF ENTRANCE DOORS	
	OUT	2	CUSTOMER ENTRANCE DOORS, 48" AFF	MOUNT DIRECTLY ABOVE PUSH BAR OF ENTRANCE DOORS	
	LOBBY FLOW SIGN	2	SITS ON TOP OF SERVICE COUNTER	3 SIDED SIGN, "ORDER HERE", "PAY HERE", "NEXT REGISTER"	
	QUEUEING LINE FLOW SIGN	1	TOP OF QUEUEING LINE POLE	2 SIDED SIGN, "ENTER HERE", "PLEASE COME AGAIN"	
	RESTROOM SIGNS			HANDICAPPED	
	"HANDICAP WOMEN"	1	EXTERIOR OF WOMEN'S RESTROOM DOOR, 60" AFF	MOUNT TO CENTER LINE OF SIGN	
	"HANDICAP MEN"	1	EXTERIOR OF MEN'S RESTROOM DOOR, 60" AFF	MOUNT TO CENTER LINE OF SIGN	
	"RESTROOMS"	1	VISIBLE TO CUSTOMERS IN DINING AREA, 60" AFF	MOUNT TO CENTER LINE OF SIGN	
	"EMPLOYEES MUST WASH HANDS..."	2	INTERIOR OF BOTH RESTROOMS DOOR, 60" AFF		
	"NO SMOKING"	5	DINING ROOM		
	"EMPLOYEES ONLY"	1	ENTRANCE BETWEEN KITCHEN AND DINING ROOM		
	TEA URN SIGNS				
	"UNSWEETENED TEA"	1	HANGS ON DISPENSER	2 SIDED SIGN	
	"SWEETENED TEA"	1	HANGS ON DISPENSER	2 SIDED SIGN	
	"WATER"	1	HANGS ON DISPENSER	2 SIDED SIGN	
	BACK OF HOUSE	BIN DECALS			
		"FLOUR"	1	PLACE ON FLOUR BIN	STICKER APPLICATION
		"RICE"	1	PLACE ON RICE BIN	STICKER APPLICATION
"FILTER"		1	PLACE ON FILTER POWDER BIN	STICKER APPLICATION	
3 COMPARTMENT SINK DECALS					
"WASH"		1	PLACE ON BACK SPLASH OVER APPROPRIATE SINK	STICKER APPLICATION	
"RINSE"		1	PLACE ON BACK SPLASH OVER APPROPRIATE SINK	STICKER APPLICATION	
"FILTER"		1	PLACE ON BACK SPLASH OVER APPROPRIATE SINK	STICKER APPLICATION	
"HOT USE CAUTION"		6	MICROWAVE WINDOW, OVEN, PRODUCT DISPLAY AREAS	STICKER APPLICATION	
"MUST BE 18..."		4	FRYER, FILTER, MARINATOR, (IF APPLICABLE)		
SECURITY SIGNS	FRYER LABELS (1, 2, 3, 4, 5, 6)	1	PLACE ON APPROPRIATE FRYER	STICKER APPLICATION	
	"STOP! ALL VENDORS MUST..."	1	EXTERIOR OF BACK DOOR, 60" AFF		
	"WARNING! ONLY MANAGERS..."	1	EXTERIOR OF BACK DOOR, 48" AFF		
	"MANAGERS... ACCESS TO SAFE"	1	EXTERIOR OF BACK DOOR, 48" AFF		
	"CHEMICAL STORAGE ONLY"	1	ON OR OVER AREA TO STORE CHEMICALS	MOUNT TO SHELVING UNIT OR WALL	
OTHER	HANDICAP PARKING SIGN	2	DESIGNATED PARKING SPOT (S) 84" TO BOT. OF SIGN		

NOTES:

- FLOOR MATS SHOULD BE PLACED IN THE AREAS DESCRIBED BELOW:
ENTRY WAY MATS: 3M NOMAD, AVAILABLE SIZES 3'x5' OR 4'x6'
KITCHEN FLOOR MATS: MATRIX 'GRIP ROCK'
LOCATIONS:
-INSIDE WALK-IN COOLER (3'-0" x 5'-6")
-OUTSIDE THE WALK-IN COOLER (3'-0" x 4'-0")
-ICE MACHINE (3'-0" x 4'-0")
-3 COMPARTMENT SINK (3'-0" x 7'-6")
-CONDIMENT COUNTER (3'-0" x 8'-10")
- EQUIPMENT SUBSTITUTIONS REQUIRE POPEYES PRE-APPROVAL
SUBMIT CUT SHEETS TO POPEYES DEPARTMENT

SEATING

SEATS:	71
GROUPS:	21
RATIO:	3.4

SQUARE FOOTAGE

KITCHEN (NET):	1,278
WALK-IN (NET):	185
DINING/RESTROOM (NET):	1,545
TOTAL (NET) :	3,008
TOTAL (GROSS) :	3,149

NOT FOR CONSTRUCTION

POPEYES MADISON, WI

6831 ODANA RD
MADISON, WI

ARC DESIGN
RESOURCES INC.

5291 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303

www.arcdesign.com
Design Firm License No. 2411-11

GENERAL NOTES

- The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. Neither the engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the engineer inspects and controls the physical construction on a contemporary basis at the site.
- The contractor, by agreeing to perform the work, agrees to indemnify and hold harmless the owner, the engineer, the City, and all agents and assigns of those parties, from all suits and claims arising out of the performance of said work, and further agrees to defend or otherwise pay all legal fees arising out of the defense of said parties.
- In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, or near the construction site. The contractor is responsible for maintaining adequate signs, barricades, fencing, traffic control devices and measures, and all other measures that are necessary to protect the safety of the site at all times.
- Maintain access for vehicular and pedestrian traffic as required for other construction activities. Use traffic control devices to include temporary striping, flagmen, barricades, warning signs, and warning lights shall be in accordance with current MUTCD and WisDOT standards.
- All phases of the site work for this project shall meet or exceed industry standards and requirements set forth by the owner's "Description of Work", the City of Madison, the State of Wisconsin, and this plan set.
- The City of Madison must be notified at least two (2) working days prior to the commencement or resumption of any work.
- The contractor shall coordinate all permit and inspection requirements with responsible local, state, and federal agencies. The contractor shall include the costs of this coordination and all inspection fees in the bid price.
- All work performed by the contractor shall come with a warranty against defects in workmanship and materials. This warranty period shall run concurrent with the required warranty periods the owner must provide to each local government agency, as a condition of the permit.
- The contractor will be held solely responsible for and shall take precautions necessary to avoid property damage to adjacent properties during the construction of this project.
- All structures, inlets, pipes, swales, roads and public egresses must be kept clean and free of dirt and debris at all times.
- Any field tiles encountered during construction shall be recorded showing size, location, and depth by the contractor, and either reconnected and rerouted or connected to the storm sewer system. The owner shall be notified immediately upon encountering any tile.
- The contractor shall field verify the elevations of the benchmarks prior to commencing work. The contractor shall also field verify the location and elevation of existing pipe inverts, curb or pavement where matching into existing work. The contractor shall field verify horizontal control by referencing property corners to known property lines. Notify the engineer of discrepancies in either vertical or horizontal control prior to proceeding.
- All elevations are on NAVD 88 datum.
- Parking areas designated as A.D.A. and all sidewalk shall be compliant with state and local A.D.A. requirements.
- Tactile warning plates per WisDOT specifications shall be placed at all locations where sidewalk that is to be replaced intersects public roads and at locations indicated in this plan set.
- The contractor shall verify the location of all utilities in the field prior to construction. This includes sanitary sewer, water main, storm sewer, gas, telephone, electric, cable, and other utilities, if any. The Diggers Hotline number is 1-800-242-8511. Property corners shall be carefully protected until they have been referenced by a Professional Land Surveyor.
- The contractor shall keep careful measurements and records of all construction and shall furnish the Engineer, the Owner and the Village with record drawings in a digital format compatible with AutoCAD Release 14 upon completion of his work.
- Any excess dirt or materials shall be placed by the contractor onsite at the owner's direction or as indicated on the plans.
- Notify the owner and the City of Madison of any existing wells. Obtain permit from the Wisconsin DNR. Cap and abandon wells in accordance with local, state, and federal regulations.
- Finish grade shall in all areas not specifically reserved for storm water management shall drain freely. No ponding shall occur. Tolerances to be observed will be measured to the nearest 0.04 of a foot for paved surfaces and 0.10 of a foot for unpaved areas.

VICINITY MAP



INDEX OF SHEETS

SHEET NUMBER	SHEET TITLE
C00	COVER
C01	GENERAL NOTES
C02	SWPPP PLAN
C03	REMOVALS PLAN
C04	LAYOUT PLAN
C05	GRADING PLAN WEST
C06	GRADING PLAN EAST
C07	DRAINAGE PLAN
C08	UTILITY PLAN
C09	POPEYES' DETAILS
C10	POPEYES' DETAILS
C11	DETAILS
C12	DETAILS
C12	CITY OF MADISON DETAILS
C13	CITY OF MADISON DETAILS
C14	WISDOT DETAILS
L01	LANDSCAPING PLAN

APPROVAL

CITY OF MADISON, WI
STATE OF WISCONSIN DSPS (PLUMBING)
STATE OF WISCONSIN DNR (NOTICE OF INTENT)

DATE

PENDING
PENDING
PENDING



CALL DIGGERS HOTLINE BEFORE
YOU DIG
CALL 811 OR 1-800-242-8511

OWNER:

ABYGROUPS

ABY MOHAMED
200 S FRONTAGE RD STE 330
BURR RIDGE, IL 60527
(847) 208-5656

ENGINEER:



5291 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303

www.arcdesign.com
Design Firm License No. 2411-11

UTILITY OFFICIALS

PUBLIC WORKS DEPARTMENT:

CITY OF MADISON
PUBLIC WORKS DEPARTMENT
210 MARTIN LUTHER KING JR. BLVD.
MADISON, WI 53703
(608) 267-8815

PUBLIC WORKS INSPECTION:

CITY OF MADISON
PUBLIC WORKS DEPARTMENT
210 MARTIN LUTHER KING JR. BLVD.
MADISON, WI 53703
(608) 267-8815

SEWER DISTRICT:

MADISON METROPOLITAN SEWERAGE DISTRICT
1610 MOORELAND RD.
MADISON, WI 53713
(608) 222-1201

WATER DEPARTMENT:

MADISON WATER UTILITY
119 E. OLIN AVE.
MADISON, WI 53713
(608) 226-4651

TELEPHONE:

AT&T
(855) 496-1228

CABLE TELEVISION:

SPECTRUM
2936 S. FISH HATCHERY RD.
FITCHBURG, WI 53711
(866) 874-2389

ELECTRIC:

MADISON GAS & ELECTRIC
133 S. BLAIR ST.
MADISON, WI 53703
(608) 252-7222

GAS:

MADISON GAS & ELECTRIC
133 S. BLAIR ST.
MADISON, WI 53703
(608) 252-7222

PROJECT NAME
OWNER'S NAME

**POPEYES
MADISON, WI**

6831 ODANA RD
MADISON, WI
DANE COUNTY

ABYGROUPS
200 S FRONTAGE RC STE 330
BURR RIDGE, IL 60527
(847) 208-5656

CONSULTANTS

ISSUED FOR	DATE
1. AGENCY REVIEW	10/27/2021
2. ---	---
3. ---	---
4. ---	---
5. ---	---
6. ---	---
7. ---	---
8. ---	---
9. ---	---
10. ---	---
11. ---	---
12. ---	---

REVISIONS	DATE
1. ---	---
2. ---	---
3. ---	---
4. ---	---
5. ---	---
6. ---	---

SHEET TITLE

COVER

DRAWN	KG
CHECKED	LND
PM	RCS

PROJECT NUMBER
SHEET NUMBER

19055

C00

WDRN EROSION CONTROL NOTES

WDRN Notes. Should conflicts be found between notes in the plans and these WDRN Notes, WDRN Notes shall govern.

- Post WDRN certificate of permit coverage on site and maintain until construction activities have ceased, the site is stabilized, and a Notice of Termination is filed with WDRN.
- Keep a copy of the current erosion control plan on site throughout the duration of the project.
- Submit plan revisions or amendments to the WDRN at least 5 days prior to field implementation.
- Contractor is responsible for routine site inspections at least once every 7 days and within 24 hours after a rainfall event of 0.5 inches or greater. Keep inspection reports on-site and make them available upon request.
- Inspect and maintain all installed erosion control practices until the contributing drainage area has been stabilized.
- When possible, preserve existing vegetation (especially adjacent to surface waters), minimize land-disturbing construction activity on slopes of 20% or more, minimize soil compaction, and preserve topsoil.
- Refer to the WDRN stormwater construction technical standards at http://dnr.wi.gov/topic/stormwater/standards/const_standards.html.
- Install perimeter erosion controls and rock tracking pad construction entrance(s) (Temporary Stone Construction Entrance) prior to any land-disturbing activities, including clearing and grubbing. Use WDRN Technical Standard Stone Tracking Pad and Tire Washing #1057 for rock construction entrances.
- Install inlet protection prior to land-disturbing activity in the contributing drainage area and/or immediately upon inlet installation. Comply with WDRN Technical Standard Storm Drain Inlet Protection for construction sites #1060.
- Stage construction grading activities to minimize the cumulative exposed area. Conduct temporary grading for erosion control per WDRN Technical Standard Temporary Grading Practices for Erosion Control #1067.
- Notify the City of Madison, WI and WDRN if dewatering is scheduled on area of soil and/or groundwater contamination, or if dewatering will occur from a high capacity well (70 gpm or more). Dewater only after the appropriate WDRN dewatering discharge permit has been obtained.
- Provide anti-slope protection and maintain non-erosive flow during dewatering. Limit pumping rates to either (a) the sediment basin/trap discharge rate, or (b) the basin design release rate with the correctly fitted hose and geotextile filter bag. Perform dewatering of accumulated surface runoff in accordance with WDRN Technical Standard De-Watering #1061.
- Install and maintain silt fencing per WDRN Technical Standard Silt Fence #1056. Remove sediment from behind silt fences and sediment barriers before sediment reaches a depth that is equal to one-half of the fence and/or barrier height.
- Repair breaks and gaps in silt fences and barriers immediately. Replace decomposing straw bales (typical bale life is 3 months). Locate, install, and maintain straw bales per WDRN Technical Standard Ditch Checks #1062.
- Install and maintain filter socks in accordance with WDRN Technical Standard Interim Manufactured Perimeter Control and Slope Interruption Products #1071.
- Immediately stabilize stockpiles and surround stockpiles as needed with silt fence or other perimeter control if stockpiles will remain inactive for 7 days or longer.
- Immediately stabilize all disturbed areas that will remain inactive for 14 days or longer. Between September 15 and October 15, stabilize with mulch, tackifier, and a perennial seed mixed with winter wheat, annual oats, or annual rye, as appropriate for region and soil type October 15 through cold weather; stabilize with a polymer and dormant seed mix, as appropriate for region and soil type.
- Stabilize areas of final grading within 7 days of reaching final grade.
- Sweep/clean up all sediment/dirt that moves off-site due to construction activity or storm events before the end of the same workday or as directed by the City of Madison, WI. Separate swept materials (soils and trash) and dispose of appropriately.
- Contractor is responsible for controlling dust per WDRN Technical Standard Dust Control on Construction Sites #1068.
- Properly dispose of all waste and unused building materials (including garbage, debris, cleaning wastes, or other construction materials) and do not allow these materials to be carried by runoff into the receiving channel.
- Coordinate with the design engineer and WDRN to update the land disturbance permit to indicate the anticipated or likely disposal locations for any excavated soils or construction debris that will be hauled off-site for disposal. The deposited or stockpiled material needs to include perimeter sediment control measures (such as silt fence, hay bales, fiber socks, or compacted earthen berms).
- For non-channelized or flow disturbed or constructed flows, provide class 1, type A for slopes erosion control matting. Select erosion matting from appropriate matrix in WISDOT's WISDOT Product Acceptability List (PAL); install and maintain per WDRN Technical Standard Non-Channel Erosion Mat #1052.
- For channelized flow on disturbed or constructed areas, provide class 1, type B erosion control matting. Unless otherwise specified on the plans, select erosion matting from appropriate matrix in WISDOT's WISDOT Product Acceptability List (PAL); install and maintain per WDRN Technical Standard Channel Erosion Mat #1053.
- Make provisions for watering during the first 8 weeks following seeding or planting of disturbed areas whenever more than 7 consecutive days of dry weather occur.
- Install additional erosion and sediment control measures (such as temporary sediment basins, ditch checks, erosion control matting, silt fencing, filter socks, watties, swales, etc.), or as directed by the City of Madison, WI or WDRN.
- The contractor is responsible for complying with all applicable WDRN remediation and waste management requirements for handling and disposing of contaminated materials. Site-specific information for areas with known or suspected soil and/or groundwater contamination can be found on WDRN's Bureau of Remediation and Redevelopment Tracking System (BRRTS) public database at: <http://dnr.wi.gov/botw/>
- Refer to the SWPPP binder if there is a discharge of sediment and/or other contaminants. A spill plan is required if there is potential to discharge contaminants to waters of the state.

SANITARY SEWER NOTES

- Sanitary Sewer shall be constructed in accordance with the following:
 - Department of Safety and Professional Services (SPS), Chapter 382 Design, Construction, Installation, Supervision, Maintenance and Inspection of Plumbing (State of Wisconsin), dated December 2015, and all revisions and supplements thereto.
 - All applicable state and local plumbing codes including (but not limited to) the City of Madison, WI for water and sewer (see C02 General Notes).
 - Additional details and requirements provided in the contract documents, including this plan set.Where criteria of the aforementioned specifications conflict, the more stringent criteria shall be implemented.
- Contact all public and private utility companies 48 hours prior to any excavation. Cost of replacement or repair of existing utilities damaged as a result of the contractor's operation shall be the contractor's responsibility.
- The contractor shall field verify the elevations of the benchmarks prior to commencing work. The contractor shall also field verify location, elevation and size of existing utilities, and verify floor, curb or pavement elevations where matching into existing work. The contractor shall field verify horizontal control by referencing shown coordinates to known property lines. Notify engineer of discrepancies in either vertical control prior to proceeding with work.
- Install cleanouts and manholes in accordance with the standard details in this plan set and with the aforementioned standard specifications. The contractor shall adjust all cleanouts and manhole castings to final grade as defined in this plan set.
- Cap ends of any conduits installed and mark ends.
- All sanitary sewers under and within two feet of any existing or proposed pavement shall be backfilled with granular backfill material meeting Wisconsin standard specifications (Section 209/AASHTO T27).
- Sanitary sewer services shall be 6" or 4", as designated on plans, PVC SDR 35 in accordance with ASTM D-3034. All services shall be sloped from the main at 1% minimum unless otherwise noted.
- Infiltration testing.
 - It is the intent of this title to secure a sewer system with a minimum amount of infiltration. The maximum allowable infiltration shall not exceed two hundred gallons per inch of diameter of sewer per mile per twenty-four hour day at any time for any section of the system. The joints shall be tight and any joint with visible leakage or leakage in excess of that specified above shall be repaired at the developer's expense.
 - The repair must be of a permanent nature and of a quality equal to initial work which is constructed in conformance with the applicable specifications.
 - Immediately after backfilling, the entire length of the sewer trench, including stubs, shall be inundated to normal ground water level or eighteen inches above the top of sewer pipe, whichever is higher. At that time, infiltration tests shall be made to determine compliance with the allowable infiltration criteria. To measure the amount of infiltration, the contractor shall furnish, install, and maintain a v-notch shape crested weir in a metal frame tightly secured at the lower end of each sewer test section as directed by the City of Madison, WI engineer or his/her authorized representative. The City of Madison, WI engineer or his/her authorized representative will check the infiltration by measuring the flow over curbs or weirs, when infiltration is demonstrated to be within the allowable limits, the contractors shall remove such weirs.
- Exfiltration testing. If during the construction of the sewer system the engineer shall determine that it is impractical to obtain a proper infiltration test, then a test for watertightness shall be made by bulkheading the sewer at the lower end of the section and filling the sewer with water to a depth of 18 inches above the top of the sewer in the manhole at the upper end of the section. Leakage will then be measured amount of water added to maintain the above described level at a maximum allowable exfiltration rate of two hundred gallons per inch of diameter of sewer per mile per twenty-four hour day at any time for any section of the system.
- Air testing. In lieu of infiltration or exfiltration testing, the City of Madison, WI engineer may permit air testing in accordance with ASTM C-828.
- Deflection testing for flexible conduit
 - All sanitary sewer lines shall be deflection-tested after 30 days following final backfill operations.
 - If the deflection test is to be run using a rigid ball or mandrel, it shall have a diameter equal to 95% of the base diameter of the pipe as established in proposed ASTM D-3034. The test shall be performed without mechanical devices.
 - Wherever possible and practical, the testing shall initiate at the downstream lines and proceed towards the upstream lines.
 - Maximum allowable pipe deflection is 5%, where deflection is found to be in excess of 5% of the original pipe diameter, the contractor shall excavate to the point of excess deflection and carefully compact around the point excess deflection was found. The line shall then be retested for deflection. However, should after the initial testing the deflection of the pipe be found to be greater than the original size of the pipe, the pipe shall be replaced.
- As per State of Wisconsin SPS 382.30(2)(c), Materials for sanitary building sewer pipe shall conform to one of the standards listed in Table 384.30-3.

CITY OF MADISON NOTES

- THE DEVELOPER SHALL REPLACE ALL CURB & GUTTER AND SIDEWALK THAT IS DAMAGED OR DETERMINED TO BE IN UNSATISFACTORY CONDITION.
- ALL GUTTERS SHALL DRAIN WITH A MINIMUM GRADES OF 0.5% TOWARD STORM SEWER LINES.
- ALL DISTURBED TERRACE AREAS SHALL BE RESTORED WITH 6-INCHES OF TOP SOIL AND SEED UNLESS DIRECTED OTHERWISE ON THE PLAN OR BY THE CITY CONSTRUCTION ENGINEER.
- TYPICAL PAVEMENT CROSS SLOPES SHALL BE 2% AND TERRACES SHALL SLOPE AT A 4% GRADE TOWARD THE GUTTER.
- THE CROSS SLOPE OF SIDEWALKS AND BARRIER FREE SIDEWALK CURB RAMPS SHALL BE 1.5%. THE LONGITUDINAL GRADE OF BARRIER FREE SIDEWALK CURB RAMPS SHALL NOT EXCEED 8.33%. ALL SIDEWALK RAMPS SHALL BE CONSTRUCTED ACCORDING TO S.D.D. 3.03. AT ALL OTHER LOCATIONS THE LONGITUDINAL GRADE OF SIDEWALKS SHALL NOT EXCEED 5.0 % OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER NOR BE LESS THAN 0.5% AND SHALL DRAIN TOWARD STORM SEWER LINES. CONCRETE TERRACE SHALL BE INSTALLED BETWEEN THE SIDEWALK AND THE BACK OF CURB AT SIDEWALK LOW POINTS WHICH CANNOT OTHERWISE BE DRAINED DIRECTLY TO THE GUTTER. SIDE SLOPES WITHIN TEN FEET OF A PUBLIC SIDEWALK SHALL NOT EXCEED 4:00:1. ALL SIDEWALK AND SIDEWALK RAMP ELEVATIONS AND GRADES SHALL BE FIELD VERIFIED AND SET TO COMPLY WITH THE CITY OF MADISON STANDARD SPECIFICATIONS AND THE A.D.A. GUIDELINES.
- OBTAIN A PRINT OUT OF THE ALIGNMENT FROM THE CITY ENGINEER PRIOR TO STAKING THIS PROJECT.
- CURB STATION AND OFFSETS SHALL BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED. CURB ELEVATIONS SHALL BE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED.
- POWER POLES AND OTHER OBSTRUCTIONS SHALL BE MOVED TO PROVIDE 2 FEET MINIMUM OF CLEAR DISTANCE FROM ANY FACE OF CURB OR EDGE OF SIDEWALK.
- ANY INFORMATION SHOWN ON THIS PLAN WHICH IS NOT PART OF THIS RIGHT-OF-WAY PROJECT, IS PRELIMINARY AND NOT FOR CONSTRUCTION.
- THERE MAY BE EXISTING UTILITIES OR OTHER FEATURES WHICH ARE EITHER SHOWN OR SHOWN INCORRECTLY ON THIS PLAN. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY ALL UTILITIES AND TOPOGRAPHY WHICH MAY AFFECT THE CONSTRUCTION OF THESE IMPROVEMENTS.
- ALL PERMANENT SIGNING AND POSTING WILL BE DETERMINED AND PROVIDED BY THE TRAFFIC ENGINEERING DIVISION, FOLLOWING CONSTRUCTION OF THESE IMPROVEMENTS.
- THE DEVELOPER SHALL PROVIDE, INSTALL AND MAINTAIN ALL STREET END BARRICADES, SIGNING AND TRAFFIC CONTROL, AS REQUIRED BY THE CITY TRAFFIC ENGINEER.
- THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN FOR REVIEW TO THE CITY TRAFFIC ENGINEERING DIVISION AT LEAST 10 WORKING DAYS PRIOR TO WORK BEGINNING. THE TRAFFIC CONTROL PLAN SHALL COMPLY WITH ALL MUTCD REQUIREMENTS. WORK SHALL NOT PROCEED UNTIL THE TRAFFIC CONTROL PLAN HAS BEEN APPROVED. THE TRAFFIC CONTROL PLAN MAY BE LIMITED TO: LANE CLOSURE RESTRICTIONS, PEAK HOUR WORKING RESTRICTIONS, ACCESS REQUIREMENTS, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PHASING WORK AS NECESSARY TO MEET THE REQUIREMENTS OF THE APPROVED TRAFFIC CONTROL PLAN.
- PAVEMENT SAWCUTS AND FINAL PAVEMENT PATCHING LIMITS SHALL BE AS DIRECTED BY THE CITY CONSTRUCTION ENGINEER. SAWCUTS AND LIMITS SHOWN ON THE PLAN ARE BASED ON ANTICIPATED DISTURBANCE AND THE PATCHING CRITERIA BUT SHALL BE CONSIDERED APPROXIMATE. ALL PAVEMENT PATCHING SHALL BE PER THE CITY'S PATCHING CRITERIA.
- NO TREES, EXCEPT THOSE SHOWN ON THE PLANS, SHALL BE REMOVED. IT IS EXPECTED THAT CONSTRUCTION WILL BE STAGED SUCH THAT EXISTING TREES THAT ARE TO REMAIN WILL BE PRESERVED. ANY REQUESTED TREE REMOVALS FOR CONSTRUCTION SHALL BE REVIEWED IN FURTHER DETAIL WITH CITY FORESTRY, AND, IF A TREE REMOVAL PERMIT WILL BE GRANTED, IT WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE IT CAN BE ISSUED. THE ADDITIONAL TIME IS REQUIRED TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN. CITY FORESTRY WILL ISSUE A REMOVAL PERMIT FOR ALL TREE REMOVALS IN THE RIGHT OF WAY IDENTIFIED ON PLANS. CONTACT CITY FORESTRY AT 266-4816 TO OBTAIN THE STREET TREE REMOVAL PERMIT.
- CONTACT CITY FORESTRY AT 266-4816 TO OBTAIN A PERMIT PRIOR TO PLANTING AND ALSO PRIOR TO INSTALLATION OF TREE GRATES. TREE GRATES WILL REQUIRE EXCAVATION TO CONFIRM THAT THERE ARE NO CONFLICTS THAT WOULD PREVENT TREE PLANTINGS. NOTICE PRIOR TO OTHER PLANTINGS IS NECESSARY TO SCHEDULE INSPECTION OF THE NURSERY STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER.

EARTHWORK NOTES

- Boring samples have been taken at the proposed construction site and a boring report has been supplied with the construction documents.
 - Unsuitable materials:
 - Assume that unsuitable materials are encountered and the replacement of these materials is required, this situation shall be handled as follows:
 - The site contractor shall notify the general contractor immediately. The project superintendent, prior to the undercutting being completed, shall approve any additional undercutting. The quantities shall be verified by the engineer as the additional removal is being completed.
 - If approved by the engineer, these materials shall be removed and replaced with compacted granular materials and compacted in accordance to required standards. The cost of this work shall be an extra to the contract, with the cost being adjusted by change order. Verify with bid documents.
 - If the site contractor is furnishing any off site materials, a representative sample of such materials shall be furnished to the general contractor's approved testing agency to determine a proctor.
 - These materials shall be placed as homogeneously as possible to facilitate accurate compaction and moisture testing.
 - Definition for materials:
 - "Organic material" is defined as material having an organic content in excess of 8% or as determined by the project owner's engineer.
 - Topsoil shall be friable and loamy (loam, sandy loam, silt loam, sandy clay loam, or clay loam).
 - Sand content shall generally be less than 70% by weight.
 - Clay content shall generally be less than 35% by weight.
 - Organic soils, such as peat or muck, shall not be used as topsoil.
 - Topsoil shall be relatively free from large roots, weeds, brush, or stones larger than 25 mm (1 inch). At least 90% shall pass the 2.00 mm (no. 10) sieve.
 - Topsoil pH shall be between 5.0 and 8.0. Topsoil organic content shall not be less than 1.5% by weight. Topsoil shall contain no substance that is potentially toxic to plant growth.
 - "Existing on-site material within moisture content limits" is defined as material of such a quality that the specified compaction can be met without any additional work other than "densifying" with a roller. Scarification and drying of this material will not need to be done prior to compaction.
 - "Existing on-site material NOT within moisture content limits" is defined as material with a high moisture content that can not meet specified compaction requirements without scarification and drying, chemical stabilization, etc. of this material prior to compaction.
 - "Unsuitable material" is defined as any materials that:
 - Cannot be utilized as "topsoil" (organic) for landscape areas.
 - Cannot be utilized as "engineered fill" regardless of moisture content and / or does not structurally meet the standards of the project owner's engineer's recommendations for "engineered fill".
 - Can be defined as natural materials or materials from "demolition" and / or excavated areas (i.e., materials that would not be suitable for "engineered fill").
 - "Off-site material" is defined as any materials that are brought from any area not indicated on this plan set.
 - "Trench backfill" shall be defined as any materials used for the purposes of backfilling any trench and / or any excavation requiring backfilling. Refer to "Standards for fill areas" to determine acceptable materials and procedures.
 - The term "strip and strip" as used herein shall mean the removal of all "organic materials" from a given area. The term "organic materials" is defined as material having an organic content over 8% based on ASTM D2974, or as defined by the owner's engineer.
 - Standards for cut areas:
 - A "cut area" is defined as any area where "engineered fill" is not required to bring the site to design subgrade elevation. Instead, excavation or "cutting" is required to achieve design subgrade elevation ("engineered fill" being defined as any material being "offsite material").
 - In "cut areas" the site contractor shall perform one of the following procedures at the discretion and in the presence of a representative of the owner's engineer and the project architect:
 - For exposed building or parking lot subgrades consisting primarily of granular soils, the exposed subgrade should be compacted / densified by at least one (1) pass of a smooth-drummed vibratory roller having a minimum gross weight of 10 tons.
 - For exposed building or parking lot subgrades consisting primarily of cohesive soils, the exposed subgrades should be proof-rolled with a fully-loaded six-wheel truck having a minimum gross weight of 25 tons. The maximum allowable deflection under the specified equipment shall be 1/2".
 - In the event that adequate stability of granular soils subgrades cannot be achieved by the procedures as outlined in item 1 above, or that deflections greater than 1/2" are observed during the "proof rolling" of cohesive soils subgrades (as outlined in item 2 above) additional corrective measures will be required. These measures could include, but not necessarily be limited to, scarification, moisture conditioning, re-compaction, undercutting and replacement with engineered fill or crushed stone (with or without geotextiles), or chemical stabilization.
 - It shall be considered as part of the scope of these documents (and thus part of this contractor's responsibility) to perform scarification and drying of the subgrade per Wisconsin Department of Transportation (WisDOT) standards (scarify a 16" depth for 3 days). If this does not work then additional drying measures shall be an extra to the contract.
 - Any proposed corrective measures by the contractor should be reviewed by the owner's engineer and the project architect. In the event that in the opinion of the owner's engineer and project architect "proof rolling" is not a good indicator of the subgrade stability, an alternative method shall be specified by the owner's engineer and / or the project architect.
- Standards for fill areas:
 - A "fill" area is defined as any area where material is required to adjust the existing elevation to a proposed subgrade elevation (these areas require installation of "engineered fill" to achieve design subgrade elevation). "Engineered fill" material can be defined as either "granular soil" or "soil" that is either from the construction site or is "offsite material". Materials having their origin from the construction site is referred to as "borrow". The composition and the compaction standards of the engineered fill for this project will be specified by owner's engineer and the project architect.
 - In "fill" areas, "borrow" materials are allowed to be utilized as engineered fill such that the site contractor compacts the "borrow" areas to the specified standards (for engineered fill and back filled areas)
 - Prior to placement of fill in areas below the design grade, the exposed subgrade should be observed by a representative of the owner's engineer to evaluate the adequate stripping has been performed. Additionally, the proof rolling or compacting procedures outlined in the "standards for cut areas" section of these notes should be performed. It is typical practice to proof roll (and densify if necessary) exposed subgrades prior to filling. If soft or unstable subgrades are observed, these areas should be stabilized or undercut. Minimum compaction standards are based upon a percentage of the fill or backfill material's maximum standard proctor dry density (ASTM D698). All engineered subgrades should meet the following minimum compaction:
 - Areas under foundations bases:
 - 95% standard proctor for all fill placed below foundation base elevation in the building area.
 - Areas under floor slabs and above foundations/footing bases:
 - 95% standard proctor for all fill placed more than 12 inches below final grade for support of floor slabs and above foundation base elevation in the building area.
 - 95% standard proctor for fill placed in the upper 12 inches of design subgrade below slabs. The granular fill under the floor slab should be compacted to a minimum of 95% standard proctor.
 - Areas under other construction:
 - 90% standard proctor for all fill placed more than 12 inches below passenger car pavement sections and 95% standard proctor for the top 12 inches.
 - Landscape areas:
 - 90% standard proctor for all fill placed in landscape areas. These areas should be brought to grade with "topsoil" to a depth of 12 inches in areas to be seeded, 6 inches in areas to be sodded, and 24 inches for all interior curbed landscape islands.
 - Base course portion of pavement sections:
 - 95% standard proctor for all base course materials that are part of a "pavement section".
 - The option of utilizing the modified proctor (ASTM D1557) in lieu of the specified standard proctor (ASTM D698) shall be at the discretion of the general contractor, contingent upon written approval by the architect and owner's engineer.
 - All backfill and fill materials shall be placed in lifts not greater than 8" in loose depth. Before compacting, moisten or aerate each layer as necessary to provide optimum moisture content. Compact each layer to required percentage of maximum density of the area.
- Finish grading:
 - The term "finish grading" as used herein shall be defined as that condition that areas not receiving a finish product such as parking areas, driveways, roadways, sidewalks, etc. Finish graded areas would generally be those areas receiving "landscaping" such as seed, sod, trees, bushes, mulch, etc.
 - The site contractor shall be responsible for "finish grading" the perimeter of the "construction site". The definition of the "construction site" is the area encompassing all disturbed areas that were disturbed as a result of the construction process relating to the general contract of which this site contract was part of.

GENERAL PAVING NOTES

- All pavement shall be constructed in accordance with the following:
 - Concrete pavement shall be constructed in accordance with the Wisconsin Department of Transportation (WisDOT) (Standard Specifications), latest edition, including all updates and standards thereto.
 - All applicable state and local plumbing codes including (but not limited to) the City of Madison, WI.
 - Additional details and requirements provided in the contract documents, including this plan set.
- All proposed pavement areas shall be stripped of all topsoil and unsuitable material and excavated or filled to within 0.10 feet of design subgrade.
- The subgrade of pavement areas shall be free of all unsuitable material and shall be compacted to a minimum 98 percent of Standard proctor density.
- The subgrade of areas below the original base material. Inspection and approval of the subgrade and subbase by the City of Madison, WI is required for any public improvements under the City of Madison, WI's jurisdiction. Notify the engineer at least 48 hours prior to finished subgrade preparation.
- The earthwork contractor shall be responsible for removal of spoil material from the underground contractors, preparing the roadway subgrade, proof rolled, placing topsoil to a minimum depth of 3 inches to finished grade in the parkways areas only, grading of drainage swales, and all other tasks as directed by the owner or engineer.
- The quantities contained in these documents are approximate and estimated, and are presented as a guide to the contractor in determining the scope of work. It is the Contractor's responsibility to determine all quantities and to become familiar with the site and soil conditions.
- The paving Contractor is responsible for the final subgrade preparation, proof rolling, the pavement base, binder, and surface, and all final clean-up and related work associated with the paving operation.
- The proposed pavement shall be of the type and thickness as specified in the engineering drawings, and constructed in strict conformance with the previously referenced WisDOT standard specifications and the City of Madison, WI.
- Areas of deficient paving, including compaction, smoothness, thickness, and asphalt mixture, shall be delineated, removed, and replaced in compliance with Specifications requirements unless corrected otherwise as directed and approved by the engineer.
- Field quality control tests specified herein will be conducted by the owner's Independent Testing Laboratory (ITL) at no cost to the contractor. Any testing and inspection resulting from the requirements of necessary permits by the City of Madison, WI or the State of Wisconsin shall be at the contractor's expense. The contractor shall perform additional testing as considered necessary by the contractor for assurance of quality control. Retesting required as a result of failed initial tests shall be at the contractor's expense.
 - Field testing shall be filled in accordance with the "Earthwork Notes" on this plan sheet.
 - Testing shall be performed on finished surface of each asphalt concrete course for smoothness, using 10' 0" straightedge applied parallel with, and at right angles to centerline of paved area. The following tolerances in 10 ft shall not be exceeded: Base Course Surface: 1/4-inch, Wearing Course Surface: 1/8-inch.
 - No ponding shall occur on paved surfaces. Refer to "General Notes" in this plan set.

DEMOLITION NOTES

- The contractor shall be responsible for the demolition and removal of all items that impede the proper placement of any items proposed by this plan set.
- The removal work shall include but not be limited to: obtaining all demolition permits required, removal of the existing trench, sealing of the existing water well(s), removal any septic system or dry wells (if any) and other items to complete the removals.
- The contractor shall remove all materials deemed unsuitable by the engineer within eight inches of the proposed building footprint to the depth that such unsuitable materials exist. Voids shall be filled in accordance with the "Earthwork Notes" on this plan sheet.
- Tree removal shall include the complete removal of all trees as indicated in the plan set.
- The contractor shall coordinate disconnection, removal, and relocation of the existing utilities with the appropriate utility companies. The contractor shall be responsible for all items that are levied by utility utility services, if required, to facilitate construction staging.
- Disposal of all materials shall comply with all local, state, and federal regulations. All waste material shall be disposed of off-site. The contractor shall be responsible for the removal of all materials from the site, including all associated permits and regulatory requirements.
- The contractor shall be familiar with the appropriate specifications for well abandonment, materials, procedures, and access to equipment required to properly seal wells (if any). The contractor shall be responsible to obtain, complete, and file the appropriate forms through the City of Madison, WI and the Wisconsin Department of Natural Resources (WDNR).
- The contractor shall maintain all existing utility services to adjacent lots. Interruption of services to adjacent lots shall not occur without proper approval. A minimum of 48 hours notice shall be given to the property owners prior to the connection of the new services. The contractor shall be responsible for costs associated with the connection of temporary utility services, if required, to facilitate construction staging.
- The contractor shall ensure that all existing parking, sidewalks, drives, etc., are free and clear of any construction activity and / or excavated and hauled material to ensure easy and safe pedestrian and vehicular traffic to and from adjacent sites.
- The contractor shall perform a full-depth saw cut along the perimeter of pavement removal that abuts existing pavement that is to remain.
- Any damage sustained by items that are to remain in place shall be repaired or replaced to the owner's satisfaction at no cost to the owner.

STORM SEWER NOTES

- Storm sewer shall be constructed in accordance with the following:
 - All applicable state and local storm sewer codes (but not limited to State of Wisconsin Facility Development Manual)
 - Concrete pavement shall be constructed in accordance with the Wisconsin Department of Transportation (WisDOT) (Standard Specifications), latest edition, including all updates and standards thereto.
 - Standards and requirements of the City of Madison, WI.
 - Additional details and requirements provided in the contract documents, including this plan set.Where criteria of the aforementioned specifications conflict, the more stringent criteria shall be implemented.
 - Material Specifications. All storm sewer system elements shall conform to the following specifications:
 - Sewer Pipe. All storm sewer pipe shall be HDPE unless otherwise specifically noted in this plan set. All sewer pipe shall meet the requirements of Section 608 Storm Sewers of the Wisconsin Department of Transportation's Standard Specifications.
 - Corrugated polyethylene pipes--ASTM D2321, SDR35
 - Bump pump service connection and storm sewer extension (4" and 6")--ABS sewer pipe or PVC sewer pipe ASTM D2751, SDR35, or ASTM D3034, SDR35, respectively.
 - Concrete sewer pipe (10" diameter and smaller), minimum Class 3, ASTM C14.
 - Reinforced concrete pipe (12" diameter and larger), circular reinforcement, minimum Class 3, wall B, ASTM C76.
 - Reinforced concrete arch culvert pipe--double line reinforcement, minimum Class 3, ASTM C506.
 - Reinforced concrete elliptical culvert pipe--minimum Class HE-III or VE-III, ASTM C507.
 - PVC underdrain pipe (4" and 6")--ASTM D2729, SDR35
 - Galvanized corrugated steel culvert pipe AASHTO M246, Type B, minimum wall thickness 14 gauge (shall only be used for culverts).
 - Sewer Pipe Joints.
 - ABS pipe--ASTM C443.
 - PVC pipe--ASTM D3212, push-on type, except underdrain pipe which shall have solvent welded joints.
 - Reinforced concrete pipe--ASTM C443 ("O" ring).
 - Reinforced arch or elliptical pipe--ASTM C877.
 - Casing Pipes. Steel pipe--ASTM A120, 3/8" minimum thickness.
 - Manholes and Catch Basins.
 - Precast reinforced concrete--ASTM C478.
 - Size:
 - For sewer eighteen inches in diameter or less, manhole shall have a forty-eight inches inside diameter.
 - For sewer twenty-one to thirty-six inches in diameter, manhole shall have a sixty inch inside diameter.
 - For sewer greater than thirty-six inches in diameter, manhole shall have an offset riser pipe of forty-eight inches inside diameter.
 - Adjustment: No more than two precast concrete adjusting rings with six inch maximum height adjustment shall be allowed.
 - Pipe and frame seals: All pipe connection openings shall be precast with resilient rubber watertight pipe to manhole sleeves or seals. External flexible watertight sleeves shall also extend from the manhole cone to the manhole frame.
 - Bottom sections: All bottom sections shall be monolithically precast including bases and invert flowlines.
 - Castings (Unless otherwise noted within the plans)
 - Manhole frames shall be cast in place unless otherwise specified as a "closed lid" in this plan set. Closed lid frame and covers shall be Neenah No. R-1772-E-embossed "STORM SEWER".
 - Manhole steps--Neenah No. R-1981-1.
 - Six inch curb and gutter inlet--Neenah No. R-3032.
 - Yard inlet--Neenah No. R-2579.
 - Parking lot inlet--Neenah No. R-2450.
 - Crushed Granular Bedding: Crushed gravel or crushed stone course aggregate--ASTM C33, Size No. 67.
- All end sections 24" and greater shall come equipped with trash grate and toe block in compliance with Wisconsin Department of Transportation standard. Inlet and frame seals shall be precast with resilient rubber gaskets before being lowered into the trench, piece by piece. Remove and replace defective, damaged or unusable pipe or pipe that has had its grade disturbed after laying. Protect open ends with a stopper to prevent earth or other material from entering the pipe during construction. Remove dirt, excess water, and other foreign materials from the interior of the pipe during the pipe laying progress.
- Install pipe in accordance with manufacturer's written recommendations.
- Commence installation at the lowest point for each segment of the route. Lay RCP with the groove or bell end upstream.
- Lay pipe to the required line and slope gradients with the necessary fittings, bends, manhole, risers and other appurtenances placed at the required location as noted on Drawings.
- All storm sewers under and within two feet of any existing or proposed pavement shall be backfilled with granular backfill material meeting Wisconsin standard specifications (WisDOT 17 Spec - Section 209/AASHTO T27).
- Compact backfill to 98 percent of maximum density in accordance with ASTM D698, (or 95 percent of maximum density, in accordance with ASTM D1557) obtained at optimum moisture as determined by AASHTO T180.
- Do not backfill trenches until required tests are performed and utility systems comply with and are accepted by applicable governing authorities.
- Backfill trenches to contours and elevations shown on the drawings.
- As per State of Wisconsin statutes SPS 382.30(11)(h), SPS 382.36(7)(d)10.a, and SPS 382.40(8)(k), a means to locate buried underground exterior non-metallic sanitary and storm sewers/ mains and water services/ mains must be provided with tracer wire or other methods in order to be located with the provisions of these code sections as per 182.0715(2) of these statutes.
- As per State of Wisconsin 384.30(3)(c), storm sewer building pipes shall conform to on of the standards listed in Table 384.30-6.

WATER UTILITY NOTES

- Water mains and services shall be constructed in accordance with the following:
 - Department of Safety and Professional Services (SPS), Chapter 382 Design, Construction, Installation, Supervision, Maintenance and Inspection of Plumbing (State of Wisconsin), dated December 2015, and all revisions and supplements thereto.
 - All applicable state and local plumbing codes.
 - Additional details and requirements provided in the contract documents, including this plan set.Where criteria of the aforementioned specifications conflict, the more stringent criteria shall be implemented.
 - Contact all public and private utility companies 48 hours prior to any excavation. Cost of replacement or repair of existing utilities damaged as a result of the contractor's operation shall be the contractor's responsibility.
 - All water mains and service pipes greater than 2" in diameter shall be Ductile Iron Pipe in accordance with C151, Class 52 in accordance with AWWA standard C150 and C104. Fittings shall comply with AWWA C110. Joints--mechanical and push-on shall comply with AWWA C111.
 - The minimum cover for all water main and water service pipe is 6" from finished grade or top of pipe.
 - All water mains under and within two feet of any existing or proposed pavement or curb shall be backfilled with WisDOT approved granular backfill material. Trench and backfill shall be placed in lifts not to exceed 12" compacted to 95% of maximum Standard proctor density.
 - All valves shall be butterfly Mueller model B3211-20 or gate Mueller model A-2370-20 valves with mechanical joints, resilient seat wedge type, with cast iron body, bronze mounted, bronze non-rising stem, double disc pattern, designed for 300 pounds working pressure meeting AWWA Standard C509. All valves shall be installed in accordance with the manufacturer's specifications.
 - Water main separation from storm and sanitary sewer shall conform to Wisconsin Administrative Code Chapter NR 811.
 - The water service pipe shall be 2" 0" Type K Copper tubing.
 - Connections to Existing Mains. All connections to the City of Madison, WI water distribution system shall be made under full water service pressure unless otherwise approved by the City of Madison, WI Engineer at locations approved by the City of Madison, WI Engineer.
 - Pressure Test.
 - As part of the construction, the water mains shall be pressure tested in accordance with Wisconsin standard specifications.
 - All newly laid pipe shall be subjected to a hydrostatic pressure of 150 pounds per square inch. Duration of each pressure test shall be for a period of not less than two hours. Each valved section of pipe shall be filled with water and the specified test pressure shall be applied by means of a pump connected to the pipe.
 - Before applying the specified test pressure, all air shall be expelled from the pipe. All leaks shall be repaired until tight. Any cracked or defective pipes, fittings, valves, or hydrants discovered in consequence of this pressure test shall be removed and replaced and the test repeated until satisfactory results are obtained.
- All testing shall be done after the installation of service lines. Suitable means shall be provided for determining the quantity of water lost by leakage under the specified test pressure in accordance with Wisconsin Administrative Code Chapter NR 811.
- Disinfection.
 - Water from the existing distribution system or other source of supply shall be controlled so as to flow slowly into the newly laid pipeline during the application of chlorine gas. The rate of chlorine mixture flow shall be in such proportion to the rate of water entering the pipe that the chlorine dose applied to the water entering the newly laid pipe shall be at least forty to fifty ppm, or enough to meet the requirements during the retention period. This may require as much as one hundred ppm of chlorine in the water left in the line after chlorination.
 - Valves shall be manipulated so that the strong chlorine solution in the line being treated will not flow back into the line supplying the water.
 - Treated water shall be retained in the pipe long enough to destroy all spore-forming bacteria. This retention period shall be at least twenty-four hours. After the chlorine-treated water has been retained for the required time, the chlorine residual at the pipe extremities and at other representative points shall be at least ten ppm.
 - In the process of chlorinating newly laid pipe, all valves or other appurtenances shall be operated while the pipeline is filled with the chlorinating agent.
 - All water mains and services shall be disinfected and tested according to the requirements of the Standards for Disinfecting Water Mains, AWWA C601. All disinfection shall be performed by an independent firm exhibiting experience in the methods and techniques of this operation, and shall be approved by the City of Madison, WI.
- Final Flushing and Testing.
 - Following disinfection, all treated water shall be thoroughly flushed from the newly laid pipeline at its extremities until the replacement water, throughout its length shall, upon test, be approved as safe water by the City of Madison, WI Engineer. This quality of water delivered by the new main should continue for a period of at least two full days as demonstrated by laboratory examination of samples taken from a tap located and installed in such a way as to prevent outside contamination. Samples should never be taken from an unsterilized hose or from a fire hydrant, because such samples seldom meet current bacteriological standards.
 - After disinfecting and flushing, water samples shall be collected by the contractor on two successive days, with notice given, so that the collection may be witnessed by the City of Madison, WI. Bacteriological sampling and analysis of the samples shall be performed by a laboratory approved by the Wisconsin Department of Public Health and the City of Madison, WI. Should the initial treatment result in an unsatisfactory bacterial test, the contractor shall be responsible for the cost of the re-treatment and the laboratory re-test and analysis. Results of the sampling and analysis shall be transmitted by the laboratory directly to the City of Madison, WI Engineer. Test results shall indicate the date the sample was collected, the date the analysis was made, the exact locations at which samples were taken, the firm submitting the sample, and the project at which the sample was collected. Such information shall be provided in order to insure that the system is bacteriologically safe.
- Record Drawings are required by the City of Madison, WI. The Contractor shall record measurements from property pins to the centers of the valve lids and curb boxes. Each measurement shall be parallel or perpendicular to the property line.
- Any areas where solid rock is encountered when laying the water main, approved bedding material shall be used.
- As per State of Wisconsin SPS 382.40(8)(b), exterior water supply piping setbacks and crossings shall be in accordance with sub. 2 to 7.
- As per State of Wisconsin SPS 384.30(4)(d), materials for water service and private water main shall conform to one of the standards listed in Table 384.30-7.

PAVEMENT MARKING NOTES

- Apply two (2) coats for all pavement markings.
- Material description: a fast drying, high riding marking paint for concrete, brick and bituminous surface. This product has been designed for painting centerlines and edgelines of highways, City crosswalks and stop zones, parking lots, traffic aisles, etc. Do not apply to temperatures below 50 F.



PROJECT NAME
OWNERS NAME

POPEYES
MADISON, WI

6831 ODANA RD
MADISON, WI
DANE COUNTY

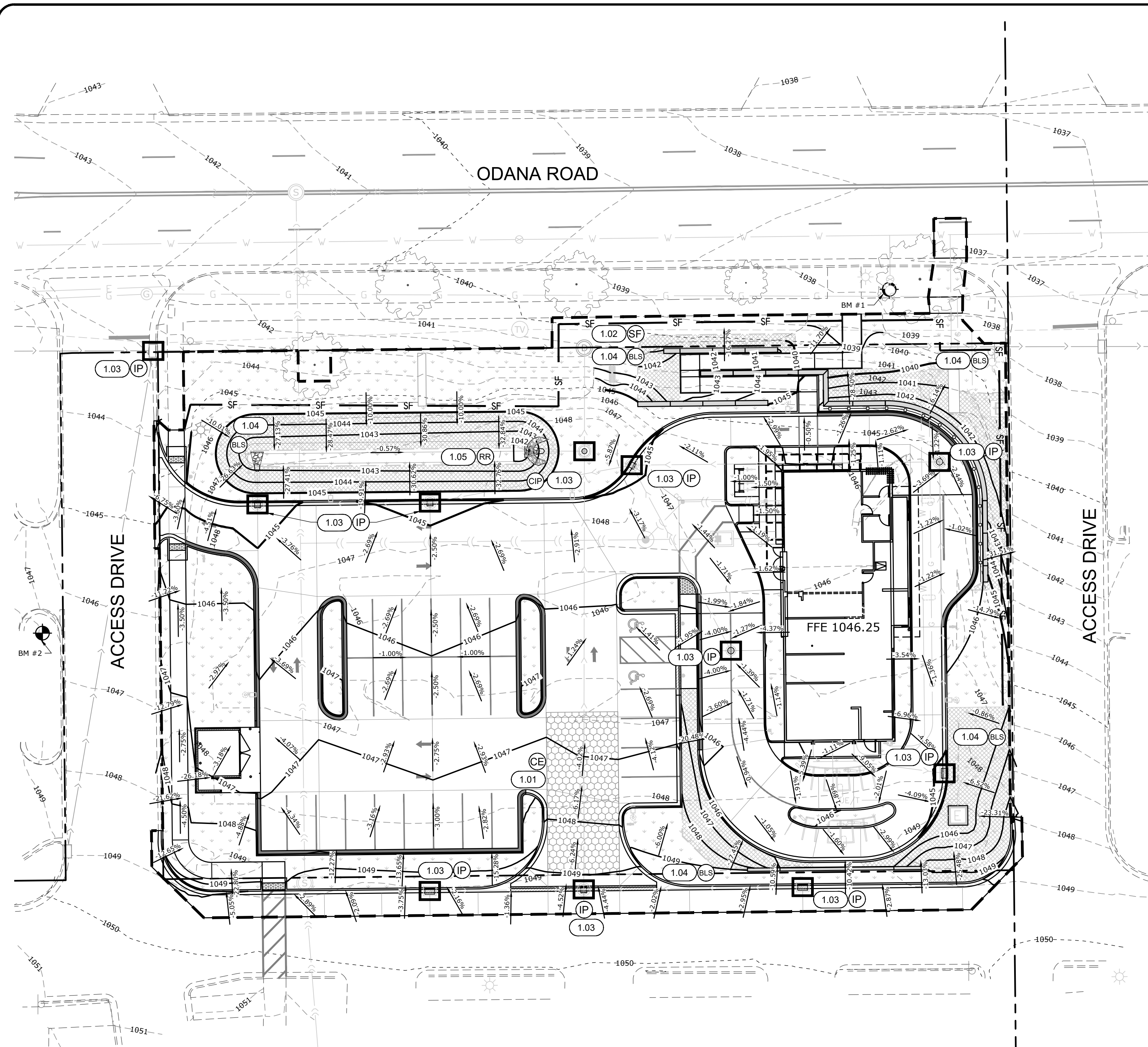
ABYGROUPS
200 S FRONTAGE RC STE 330
BURR RIDGE, IL 60527
(847) 208-5656

CONSULTANTS

ISSUED FOR

AGENCY REVIEW	DATE
1. ---	10/27/2021
2. ---	---
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REVISIONS	ITEM	DATE
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LEGEND

SEE SITE PLAN SET FOR EXISTING SYMBOLS	EROSION CONTROL LEGEND
--- PROPERTY LINE	1.01 CE [Symbol] TEMPORARY STONE CONSTRUCTION EXIT
- - - LIMITS OF DISTURBANCE	1.02 SF [Symbol] TEMPORARY SILT FENCE
- · - · - APPROXIMATE LIMITS OF GRADING	1.03 IP [Symbol] INLET PROTECTION PER STRUCTURE TYPE
→ EXISTING STORM SEWER	1.04 BLS [Symbol] SHORT TERM SLOPE EROSION CONTROL BLANKET DURING CONSTRUCTION ACTIVITIES
→ PROPOSED STORM SEWER	1.05 RR [Symbol] PERMANENT RIP RAP PAD - SEE CITY OF MADISON ENGINEERING DETAIL 5.4.4 RIP RAP AT APRON ENDWALLS
- · - · - PROPOSED CONTOUR LINE	
- - - EXISTING CONTOUR LINE	
— PROPOSED CURB AND GUTTER	
○ PROPOSED CATCH BASIN OR MANHOLE	
△ PROPOSED FLARED END SECTION	
1.6% DIRECTION OF OVERLAND FLOW AND SLOPE	
[Symbol] LANDSCAPED AREA	
X XX SEE SPECIFIC KEY NOTE ON THIS SHEET	

EROSION CONTROL REFERENCE NOTES

- 1.01 SEE CITY OF MADISON ENGINEERING STANDARD DETAIL DRAWING 1.07 CONSTRUCTION ENTRANCE ON SHEET C12 - CITY OF MADISON DETAILS. THE CONSTRUCTION EXIT SHALL BE A MINIMUM OF 12" IN WIDTH AND 50' FEET IN LENGTH FROM EXISTING PAVED SURFACE. ALL CONSTRUCTION TRAFFIC MUST UTILIZE CONSTRUCTION EXITS PER DETAIL TO ACCESS THE PUBLIC ROAD. DURING CONSTRUCTION, THE CONSTRUCTION EXITS MAY BE SHIFTED AT THE CONTRACTOR'S DISCRETION TO FACILITATE GRADING OPERATION. EXIT MUST TERMINATE AT EXISTING PAVED SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE RUNOFF FROM THE CONSTRUCTION EXIT IS DIRECTED BACK TOWARD THE SITE OR THAT THE RUNOFF IS CLEAR OF SEDIMENT.
- 1.02 SEE WISDOT SILT FENCE DETAIL SDD 889-6 AND INCLUDED ON SHEET C14 - WISDOT DETAILS. THE CONTRACTOR MAY PERMANENTLY REMOVE ANY PORTION OF THE PERIMETER SILT FENCE AFTER ESTABLISHMENT OF FINAL GRADE AND/OR FINAL STABILIZATION RENDERS THE RESPECTIVE PORTION OF THE PERIMETER SILT FENCE UPSTREAM OF A DISTURBANCE AND/OR INEFFECTIVE AS A BEST MANAGEMENT PRACTICE. ANY SUCH REMOVAL SHALL BE NOTED ON THE EROSION CONTROL SITE MAPS ALONG WITH UPSTREAM STABILIZATION AND GRADING CONDITIONS.
- 1.03 SEE WISDOT INLET PROTECTION TYPE A, B, C, AND D DETAIL SDD 8E10-2 OR SDD 8E8-3 AND INCLUDED ON SHEET C14 - WISDOT DETAILS OR CITY OF MADISON ENGINEERING STANDARD DETAIL 1.11 RIGID FRAME INLET PROTECTION ON SHEET C12 - CITY OF MADISON DETAILS. NO STRUCTURE SHALL BE ALLOWED TO BE PROTECTED WITH ANY MEASURE OTHER THAN THOSE DETAILED IN THIS SWPPP SITE MAP FOR MORE THAN 48 HOURS OR IF RAIN IS IMMINENT. STRUCTURES THAT WILL NOT RECEIVE A CASTING WITHIN 48 HOURS OF INSTALLATION SHALL RECEIVE INLET PROTECTION. UPON INSTALLATION OF THE GRATE, INLET PROTECTION SHALL BE INSTALLED RESPECTIVE TO THE TYPE OF GRATE. STRUCTURES WITH CLOSED LIDS WILL NOT REQUIRE PROTECTION FOLLOWING INSTALLATION OF LID. CONTRACTOR SHALL NOTE TIME STRUCTURE INSTALLATION (AND PROTECTION INSTALLATION, INCLUDING TYPES OF PROTECTION) ARE EMPLOYED. WHENEVER PIPE INSTALLATION IS HALTED FOR MORE THAN 24 HOURS OR WHEN RAIN IS IMMINENT, THE OPEN END SHALL BE PROTECTED WITH A TEMPORARY BULK HEAD. A 3/4" SHEET OF PLYWOOD THAT EXTENDS 6" BEYOND THE OUTSIDE DIAMETER OF THE PIPE SHALL BE PLACED AGAINST THE EXPOSED PIPE END. GRAVEL SHALL BE PLACED AGAINST THE PLYWOOD IN SUFFICIENT QUANTITY SO AS TO ENSURE THE TIGHTEST POSSIBLE SEAL. THE TRENCH SHALL BE DEWATERED PRIOR TO REMOVING THE BULKHEAD.
- 1.04 SEE CITY OF MADISON ENGINEERING STANDARD DETAIL DRAWING 1.02 EROSION MAT ON SHEET C12 - CITY OF MADISON DETAILS. SHORT TERM EROSION CONTROL FABRIC SHALL BE APPLIED TO ALL SLOPES 4:1 OR STEEPER THAN 4:1 PRIOR TO PERMANENT SEEDING. FOLLOW MANUFACTURER SPECIFICATIONS FOR INSTALLATION. CONTRACTOR SHALL NOTE ALL AREAS WHERE EROSION MAT HAS BEEN INSTALLED RELATIVE TO ASBUILT GRADES AND FURNISH THESE BOUNDARIES TO THE CIVIL ENGINEER UPON REQUEST. PERMANENT SEEDING SHOULD BE PLANTED AS SOON AS IT IS PRACTICAL TO ENSURE PROPER GERMINATION PRIOR TO TERMINATION OF PERMIT COVERAGE. THE CONTRACTOR SHALL PLANT PERMANENT SEEDING AS SPECIFIED ON THE LANDSCAPING PLAN AS SOON AS FINAL BASIN GRADES ARE ESTABLISHED AS SPECIFIED ON THE GRADING PLAN. SEE SITE LANDSCAPING PLAN FOR EXACT GROUND COVER TYPE AND LOCATION.
- 1.05 SEE CITY OF MADISON ENGINEERING STANDARD DETAIL DRAWING 5.4.4 RIP RAP AT APRON ENDWALLS ON SHEET C13 - CITY OF MADISON DETAILS.

STORMWATER OUTFLOW CONTRIBUTING AND RECEIVING WATERS

FROM SITE - DRAINAGE AREA "A" (0.97 ACRES) CONSISTING OF LANDSCAPED AREAS, PAVED AREAS AND ROOF TOP AREAS. ALL FLOWS TREATED BY PERIMETER AND INTERMEDIATE BMP'S AND TRANSPORTED VIA OVERLAND AND STORM SEWER. THIS DRAINAGE AREA ULTIMATELY DRAINS TO THE SOUTHEAST OF THE SITE WHERE IT LEAVES THE SITE VIA UNDERGROUND STORM SEWER IN THE ODANA ROAD RIGHT OF WAY.

TO RECEIVING WATERS - ULTIMATELY CONVEYED TO THE ROCK RIVER.

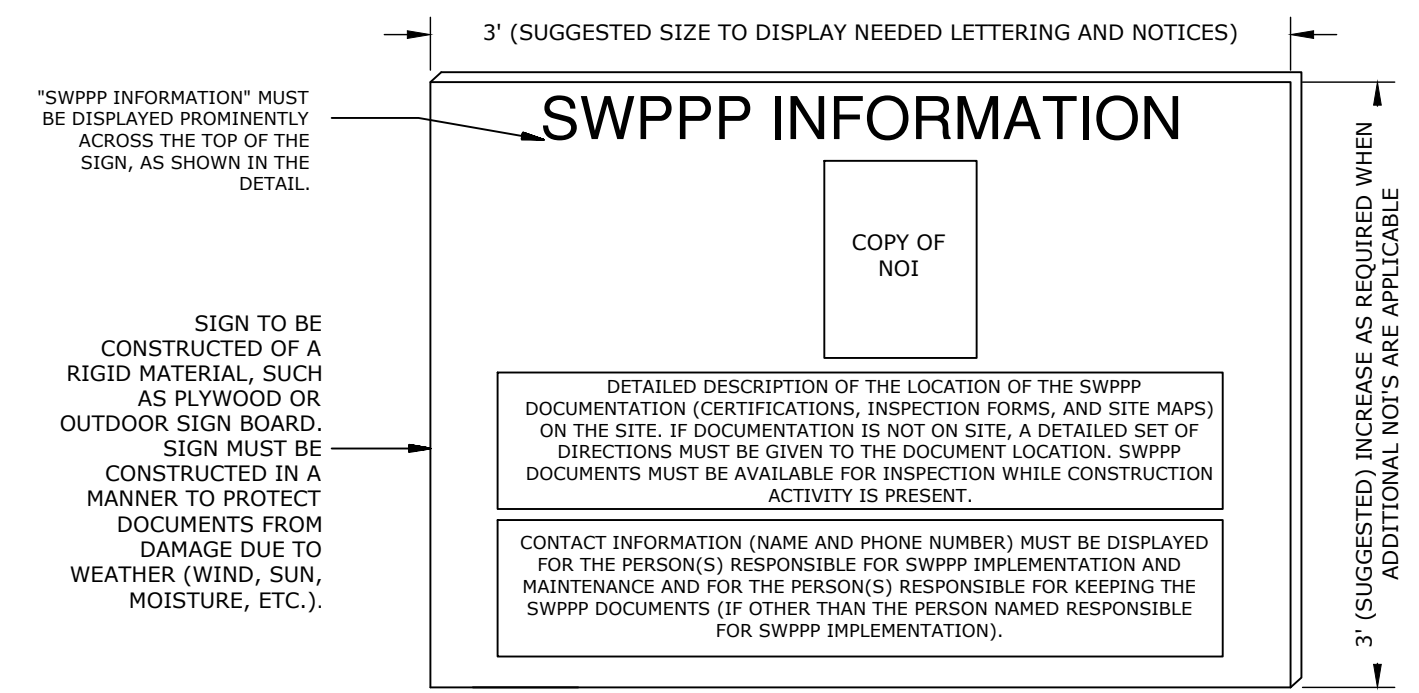
SITE ADDRESS OR INTERSECTION

SITE LOCATION, ADDRESS OR INTERSECTION CORNER IN DANE COUNTY, BEING A PORTION OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 7 NORTH, RANGE 8 EAST, OF THE THIRD PRINCIPAL MERIDIAN.
 LATITUDE: 43.05628°
 LONGITUDE: -89.50016°
 ADJACENT PROPERTIES: THE SITE IS BORDERED BY MULTI-TENANT COMMERCIAL BUILDINGS TO THE NORTH, EAST, AND SOUTH, AND A FAST FOOD RESTAURANT TO THE WEST.
 SITE TOPOGRAPHY: THE SITE GENERALLY SLOPES FROM THE SOUTH TO THE NORTH, WITH THE LOWEST POINTS BEING AT THE NORTHEAST CORNER OF THE SITE. THE EXISTING SITE SERVES AS A PARKING AREA WITH ASPHALT PARKING AREAS AND LANDSCAPED AREAS.
 RAINFALL INFORMATION: THE TOTAL AVERAGE ANNUAL RAINFALL FOR THE PROJECT AREA IS APPROXIMATELY 36 INCHES.
 POST CONSTRUCTION CONDITIONS: POST-CONSTRUCTION RUNOFF COEFFICIENT OF THE SITE: 64 (IMPERVIOUS C = 38, PERVIOUS C = 61).
 TOTAL SITE AREA: LIMITS OF SITE = 0.97 AC±
 LIMITS OF DISTURBANCE = 1.07 AC±
 SITE IMPERVIOUS AREA: 0.81 AC±
 SITE LANDSCAPED AREA: 0.36 AC±
 ENVIRONMENTAL PERMITS - OTHER THAN NPDES, STORMWATER AND/OR EROSION AND SEDIMENT CONTROL, WETLANDS-NONE
 THREATENED AND ENDANGERED SPECIES: THERE ARE NO KNOWN ISSUES RELATED TO THREATENED AND ENDANGERED SPECIES
 HISTORICAL PROPERTIES: THERE ARE NO KNOWN ISSUES RELATED TO HISTORICAL PRESERVATION

SEQUENCE OF CONSTRUCTION

1. PLACE SWPPP BOX ON SITE. SWPPP BOX SHALL CONTAIN A COPY OF THE LETTER OF COVERAGE AND ILLINOIS GENERAL PERMIT. SWPPP BOX SHALL CONSIST OF LARGE MAILBOX WITH THE LETTERS "SWPPP" ON THE SIDES. MAILBOX SHALL BE SUPPORTED BY A 4"x4" POST IN A 5-GALLON BUCKET OF CONCRETE. TO ALLOW THE BOX TO BE PORTABLE AND REUSABLE.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, ETC. DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
3. CONSTRUCT THE SILT FENCES ON THE SITE. INSTALL INLET PROTECTION DEVICES IN EXISTING STRUCTURES.
4. DEMOLISH BUILDINGS.
5. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENuded AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
6. CONSTRUCT TEMPORARY SEDIMENT TRAP AND INSTALL OUTLET CONTROL PROTECTION AND LEVEL SPREADER
7. INSTALL UTILITIES, UNDERDRAINS, AND STORM SEWERS. INSTALL INLET PROTECTION CONCURRENTLY.
8. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
9. PREPARE AREA OF SITE FOR PAVING FOR PARKING AREAS.
10. PAVE AREA OF SITE.
11. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
12. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED.)

SWPPP INFORMATION SIGN



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CONSULTANTS

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REVISIONS	DATE
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SHEET TITLE

SWPPP PLAN

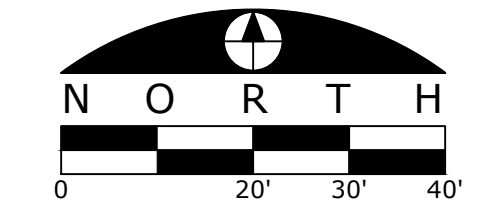
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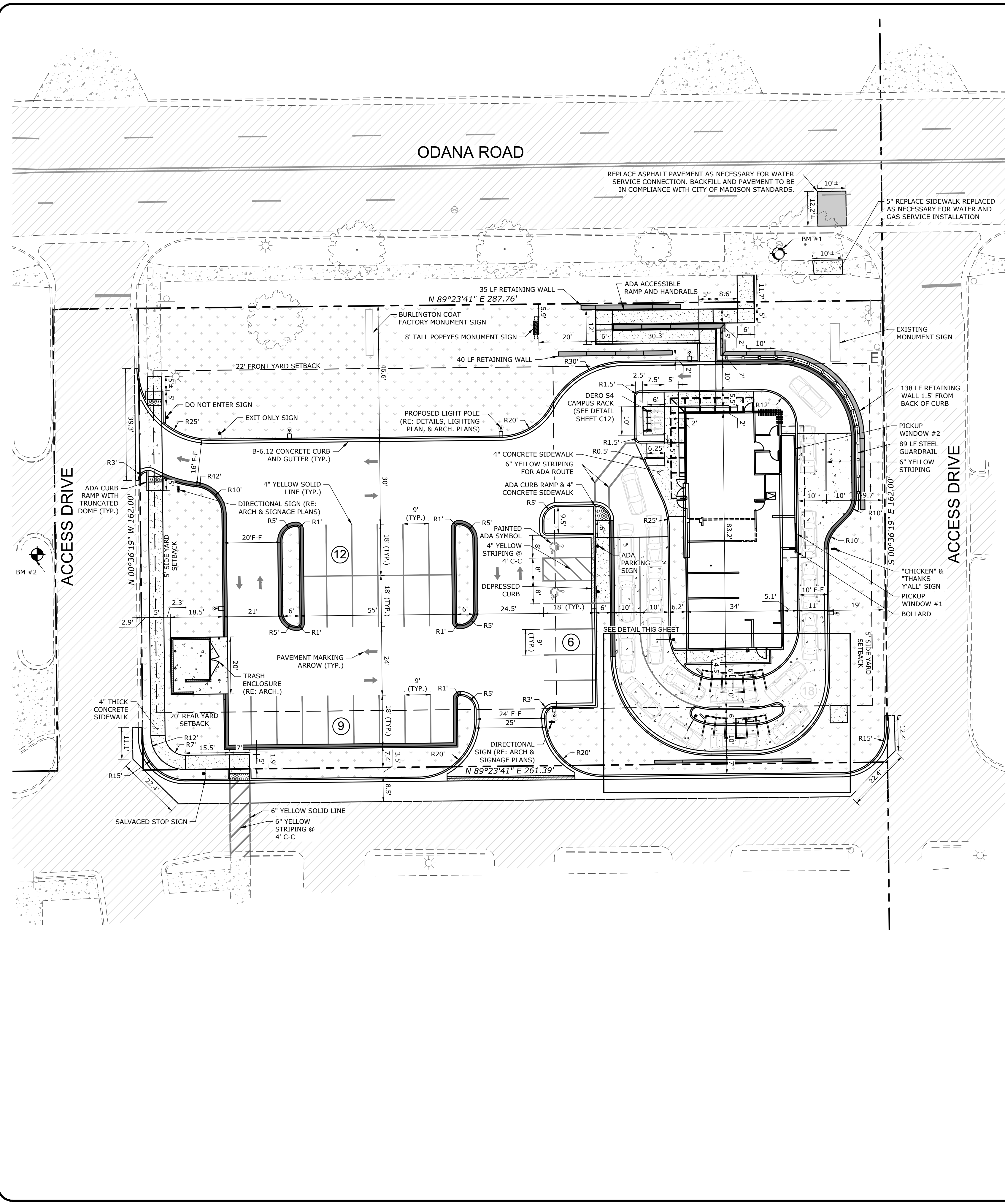
PROJECT NUMBER
SHEET NUMBER

19055

C02

BENCHMARKS (NAVD88 DATUM)	
BENCHMARK 1 X CUT ON SW BOLT OF FIRE HYDRANT LOCATED APPROXIMATELY 30' SOUTH OF CL OF ODANA ROAD AND 50' WEST OF THE CL OF THE ACCESS DRIVEWAY TO THE EAST OF THE SITE	1039.69
BENCHMARK 2 BOX CUT ON LIGHT POLE BASE LOCATED ON BURGER KING LOT, LOCATED APPROXIMATELY 22' WEST OF THE CL OF THE ACCESS DRIVEWAY TO THE WEST OF THE SITE	1049.38

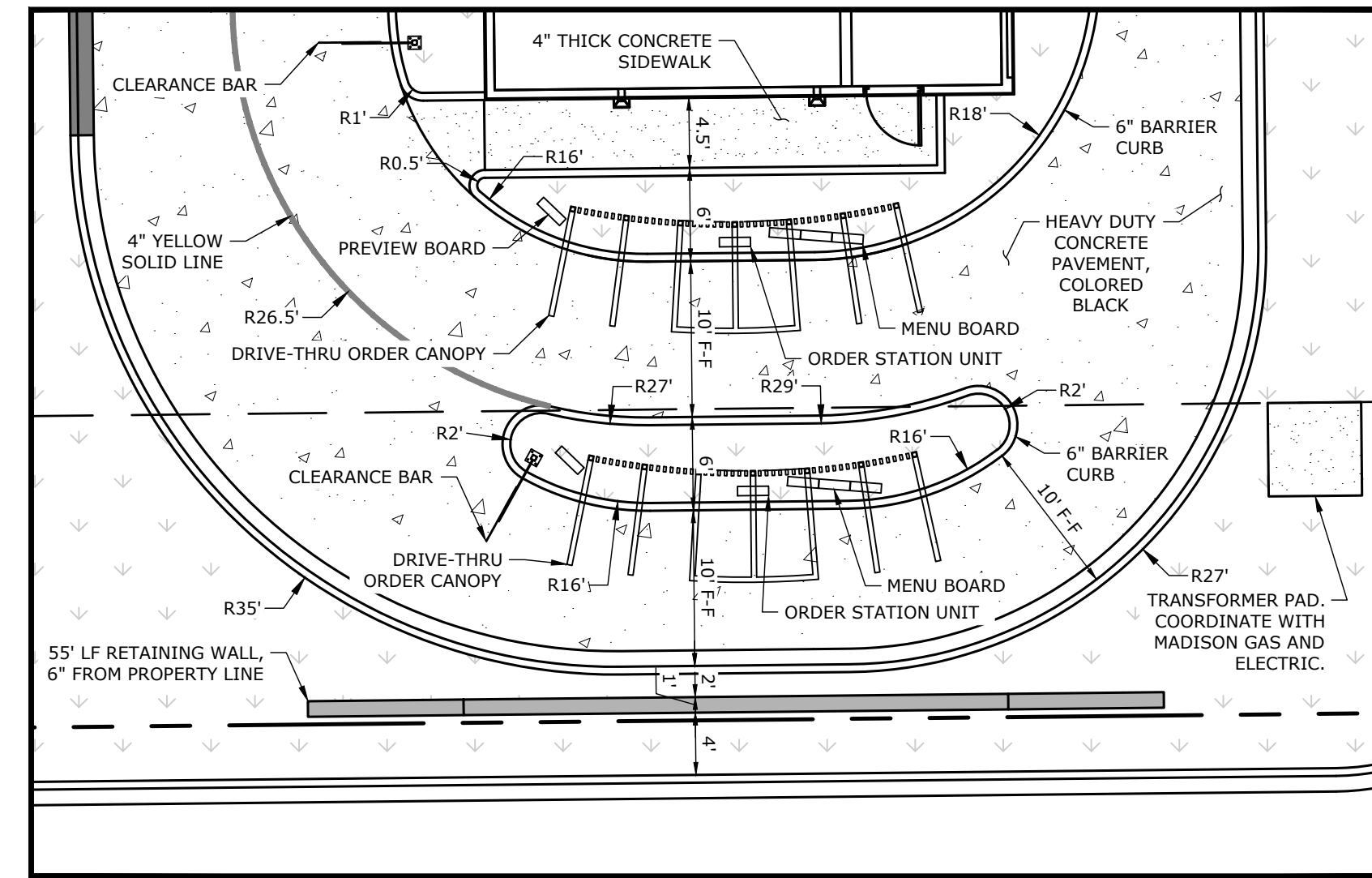




LEGEND

- PROPERTY LINE
- - - PROPOSED YARD SETBACK LINE
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVEMENT
- PROPOSED CONCRETE CURB AND GUTTER (B-6.12)
- PROPOSED TYPE B-6.12 CONCRETE CURB AND GUTTER (REJECTING)
- PROPOSED DEPRESSED CURB AND GUTTER
- PROPOSED 6" CONCRETE BARRIER CURB
- PROPOSED RETAINING WALL
- PROPOSED GUARDRAIL
- PROPOSED LIGHT POLE (SEE DETAILS, LIGHTING PLAN, AND ARCH. PLANS)
- EXISTING BENCHMARK
- EXISTING LIGHT POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING SIGN
- PROPOSED PARKING STALLS AND STRIPING
- PROPOSED ADA PARKING SPACE
- NUMBER OF PROPOSED PARKING SPACES IN A ROW
- PROPOSED 4" CONCRETE SIDEWALK
- PROPOSED HEAVY-DUTY CONCRETE PAVEMENT (SEE DETAIL)
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED LANDSCAPED AREA (SEE LANDSCAPING PLANS)
- EXISTING TREE

DETAIL - SCALE 1:10



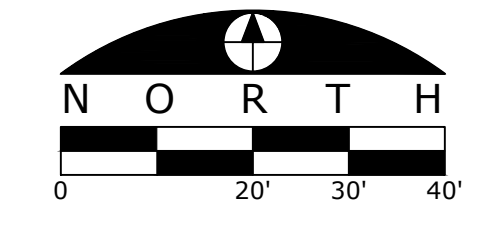
LAYOUT NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS, CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
2. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
4. SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
5. COORDINATE WORK WITHIN THE PRIVATE DRIVE AND ADJACENT LOT WITH THE PROPERTY OWNERS. COORDINATE WITH WITHIN THE ODANA ROAD RIGHT OF WAY WITH THE CITY OF MADISON, WI. TRAFFIC CONTROL SHALL CONFORM TO WISDOT STANDARDS FOR WORK WITHIN THE R.O.W.
6. ALL RADII ARE DIMENSIONED TO THE BACK OF CURB.
7. ALL CURBS AND GUTTER IS INTEGRAL TO PAVEMENT UNLESS NOTED OTHERWISE. REFER TO THE DETAIL SHEETS FOR CURB DETAILS.
8. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURBS AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.
9. ELECTRICAL CIRCUITRY TO SITE LIGHTING AND MONUMENT SIGN SHOWN ON ARCHITECTURAL PLANS.
10. FOR ALL PAVEMENT REMOVALS, THE MINIMUM WIDTH FROM THE EDGE OF THE CURB TO THE FULL-DEPTH SAW CUT IS 2'.
11. FOR ALL SIDEWALK REMOVALS, SAW CUT AT NEAREST JOINT. LIMITS OF SIDEWALK REMOVAL MAY VARY BASED ON JOINT LAYOUT.
12. FOR ALL PAVEMENT PATCHING WITHIN THE RIGHT OF WAY THE BACKFILL MATERIAL USED SHALL BE CONTROLLED LOW STRENGTH MATERIAL UP TO THE BOTTOM OF THE PAVEMENT. THE THICKNESS OF THE HMA PAVEMENT REPLACEMENT SHALL BE A MINIMUM OF THE SAME THICKNESS AS THE EXISTING PAVEMENT STRUCTURE. THE MIXES USED SHALL BE HMA BINDER AND SURFACE COURSE ACCORDING TO WISDOT AND CITY OF MADISON, WI STANDARDS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARATION, COORDINATION AND OBTAINING APPROVAL OF A TRAFFIC MANAGEMENT PLAN IF CLOSURES OF LANES EXCEED THE CRITERIA ESTABLISHED IN THE BDE MANUAL.

PARKING TABLE	
NUMBER OF PARKING STALLS REQUIRED (15% of maximum 70 persons occupancy)	11 (1 - A.D.A.)
NUMBER OF BICYCLE STALLS REQUIRED (5% of maximum 70 persons occupancy)	4
NUMBER OF PARKING STALLS ALLOWED (40% of maximum 70 persons occupancy)	28 (2 - A.D.A.)
NUMBER OF PARKING STALLS PROPOSED	27 (2 - A.D.A.)
NUMBER OF BICYCLE STALLS PROPOSED	4

SITE AREA TABLE	
LANDSCAPED AREA	15,388 SF (0.35 AC)
PAVED AREA	23,973 SF (0.55 AC)
GROSS BUILDING FLOOR AREA	2,984 SF (0.07 AC)
TOTAL SITE AREA	42,375 SF (0.972 AC)
% IMPERVIOUS AREA	63.6%

BENCHMARKS (NAVD88 DATUM)	
BENCHMARK 1 X CUT ON SW BOLT OF FIRE HYDRANT LOCATED APPROXIMATELY 30' SOUTH OF CL OF ODANA ROAD AND 50' WEST OF THE CL OF THE ACCESS DRIVEWAY TO THE EAST OF THE SITE	1039.69
BENCHMARK 2 BOX CUT ON LIGHT POLE BASE LOCATED ON BURGER KING LOT, LOCATED APPROXIMATELY 22' WEST OF THE CL OF THE ACCESS DRIVEWAY TO THE WEST OF THE SITE	1049.38



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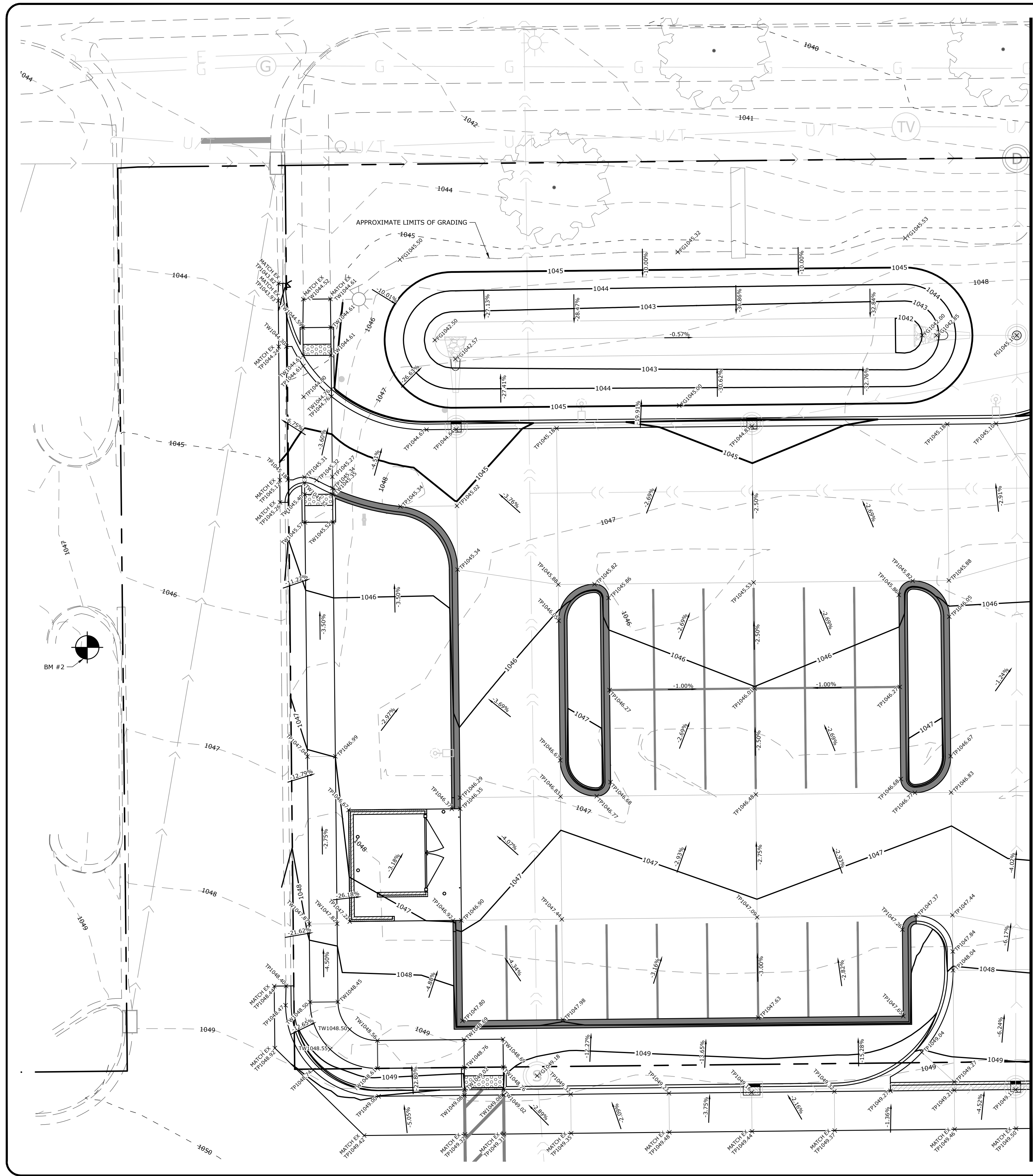
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LAYOUT PLAN

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PROJECT NUMBER
 SHEET NUMBER
19055
C04



SEE MATCH LINE SHEET C06 - GRADING PLAN EAST

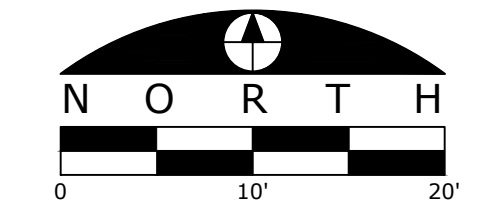
LEGEND

- PROPERTY LINE
- - - - - EXISTING CURB AND GUTTER
- - - - - EXISTING EDGE OF PAVEMENT
- ==== PROPOSED CONCRETE CURB AND GUTTER (8-6.12)
- ==== PROPOSED TYPE 8-6.12 CONCRETE CURB AND GUTTER (RECTIFYING)
- ==== PROPOSED DEPRESSED CURB AND GUTTER
- ==== PROPOSED 6" CONCRETE HEADER CURB
- ==== PROPOSED RETAINING WALL
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- PROPOSED GRADE BREAK LINE
- APPROXIMATE LIMITS OF GRADING
- PROPOSED CONTOUR LINE
- - - - - EXISTING CONTOUR LINE
- PROPOSED CATCH BASIN OR MANHOLE
- PROPOSED FLARED END SECTION
- 1.6% DIRECTION OF SHEET FLOW
- + TW000.00 TOP OF SIDEWALK ELEVATION
- + MATCH EX TW000.00 MATCH EXISTING TOP OF PAVEMENT ELEVATION
- + TP000.00 TOP OF PAVEMENT ELEVATION
- + MATCH EX TP000.00 MATCH EXISTING TOP OF PAVEMENT ELEVATION
- + FG000.00 FINISHED GRADE ELEVATION
- + TOW000.00 TOP OF WALL ELEVATION
- + BOW000.00 BOTTOM OF WALL ELEVATION
- ⊕ BENCHMARK

GRADING NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL OR VERTICAL CONTROL BY REFERENCING SHOWN COORDINATES OR ELEVATIONS TO HORIZONTAL OR VERTICAL CONTROL POINTS PRIOR TO PROCEEDING WITH WORK.
2. ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SODDED (OR SEEDED WHERE NOTED) AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
3. ALL STORM SEWER PIPE IS TO BE REINFORCED CONCRETE CULVERT PIPE CLASS IV UNLESS OTHERWISE NOTED. WHERE HDPE OR PVC PIPE IS LISTED AS ACCEPTABLE MATERIALS, PVC SDR 35, HDPE DOUBLE WALL (ADS N-12), OR PVC SCHEDULE 40 MAY BE USED AT THE CONTRACTOR'S DISCRETION.
4. THE MAXIMUM SLOPE RATIO ON CUT/FILL SLOPES IS 3.0 HORIZONTAL TO 1 VERTICAL.
5. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. CONTRACTOR SHALL SET ALL CLEANOUT, MANHOLE AND INLET CASTINGS, FIRE HYDRANTS AND VALVE BOXES TO FINISHED GRADE.
7. ALL PROPOSED PAVED AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO WITHIN 0.10 FEET OF DESIGN SUBGRADE.
8. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT THE CONCLUSION OF EACH WORKING DAY.

BENCHMARKS (NAVD88 DATUM)	
BENCHMARK 1 X CUT ON SW BOLT OF FIRE HYDRANT LOCATED APPROXIMATELY 30' SOUTH OF CL OF ODANA ROAD AND 50' WEST OF THE CL OF THE ACCESS DRIVEWAY TO THE EAST OF THE SITE	1039.69
BENCHMARK 2 BOX CUT ON LIGHT POLE BASE LOCATED ON BURGER KING LOT, LOCATED APPROXIMATELY 22' WEST OF THE CL OF THE ACCESS DRIVEWAY TO THE WEST OF THE SITE	1049.38



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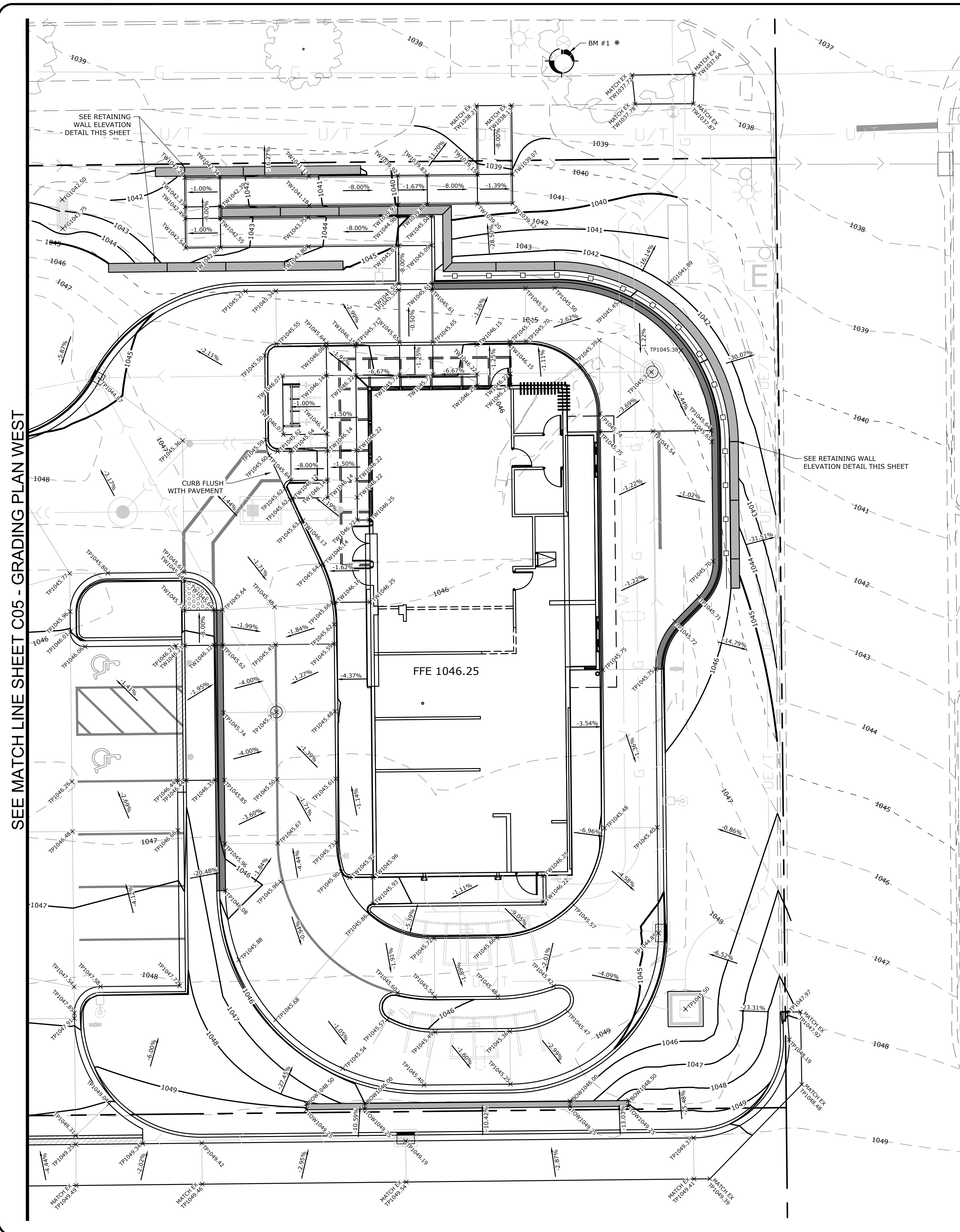
GRADING PLAN
WEST

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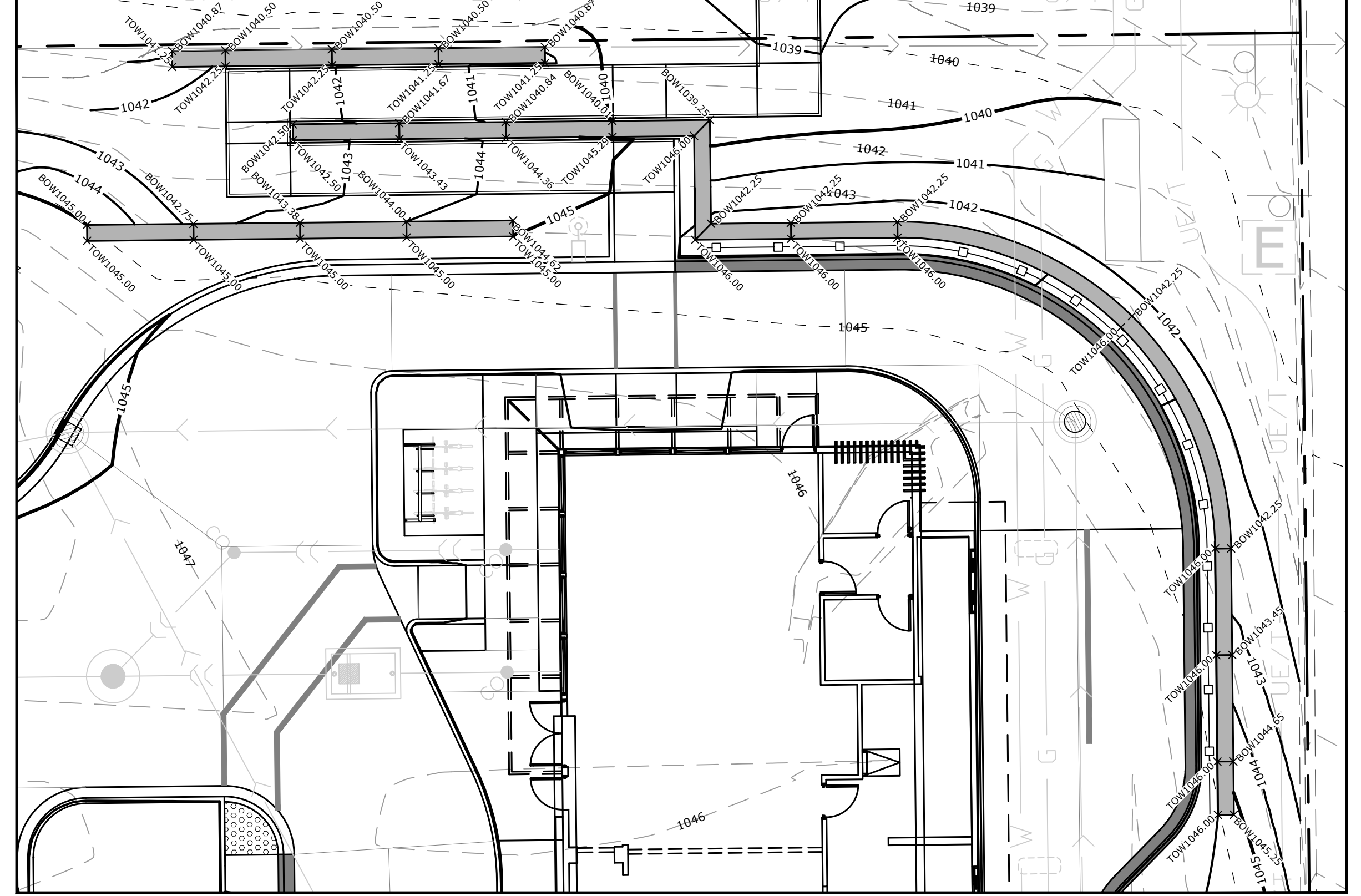
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C05



RETAINING WALL GRADING DETAIL - SCALE 1:10

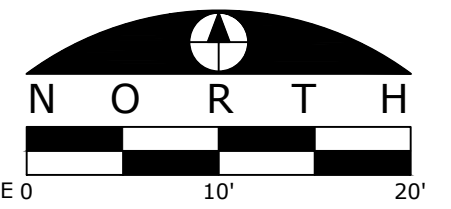


LEGEND

- PROPERTY LINE
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVEMENT
- PROPOSED CONCRETE CURB AND GUTTER (B-6.12)
- PROPOSED TYPE B-6.12 CONCRETE CURB AND GUTTER (REJECTING)
- PROPOSED DEPRESSED CURB AND GUTTER
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- PROPOSED STORM SEWER
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- 1.6% DIRECTION OF SHEET FLOW
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- BENCHMARK

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1. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS, CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL OR VERTICAL CONTROL BY REFERENCING SHOWN COORDINATES OR ELEVATIONS TO HORIZONTAL OR VERTICAL CONTROL POINTS PRIOR TO PROCEEDING WITH WORK.
2. ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SODDED (OR SEEDS WHERE NOTED) AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
3. ALL STORM SEWER PIPE IS TO BE REINFORCED CONCRETE CULVERT PIPE CLASS IV UNLESS OTHERWISE NOTED. WHERE HDPE OR PVC PIPE IS LISTED AS ACCEPTABLE MATERIALS, PVC SDR 35, HDPE DOUBLE WALL (ADS N-12), OR PVC SCHEDULE 40 MAY BE USED AT THE CONTRACTOR'S DISCRETION.
4. THE MAXIMUM SLOPE RATIO ON CUT/FILL SLOPES IS 3.0 HORIZONTAL TO 1 VERTICAL.
5. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. CONTRACTOR SHALL SET ALL CLEANOUT, MANHOLE AND INLET CASTINGS, FIRE HYDRANTS AND VALVE BOXES TO FINISHED GRADE.
7. ALL PROPOSED PAVED AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO WITHIN 0.10 FEET OF DESIGN SUBGRADE.
8. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT THE CONCLUSION OF EACH WORKING DAY.



BENCHMARKS (NAVD88 DATUM)	
BENCHMARK 1 X CUT ON SW BOLT OF FIRE HYDRANT LOCATED APPROXIMATELY 30' SOUTH OF CL OF ODANA ROAD AND 50' WEST OF THE CL OF THE ACCESS DRIVEWAY TO THE EAST OF THE SITE	1039.69
BENCHMARK 2 BOX CUT ON LIGHT POLE BASE LOCATED ON BURGER KING LOT, LOCATED APPROXIMATELY 22' WEST OF THE CL OF THE ACCESS DRIVEWAY TO THE WEST OF THE SITE	1049.38

ARC DESIGN
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Design Firm License No. 2411-11

PROJECT NAME
OWNER'S NAME

**POPEYES
MADISON, WI**

6831 ODANA RD
MADISON, WI
DANE COUNTY

ABYGROUPS
200 S FRONTAGE RC STE 330
BURR RIDGE, IL 60527
(847) 208-5656

CONSULTANTS

ISSUED FOR	DATE
1. AGENCY REVIEW	10/27/2021
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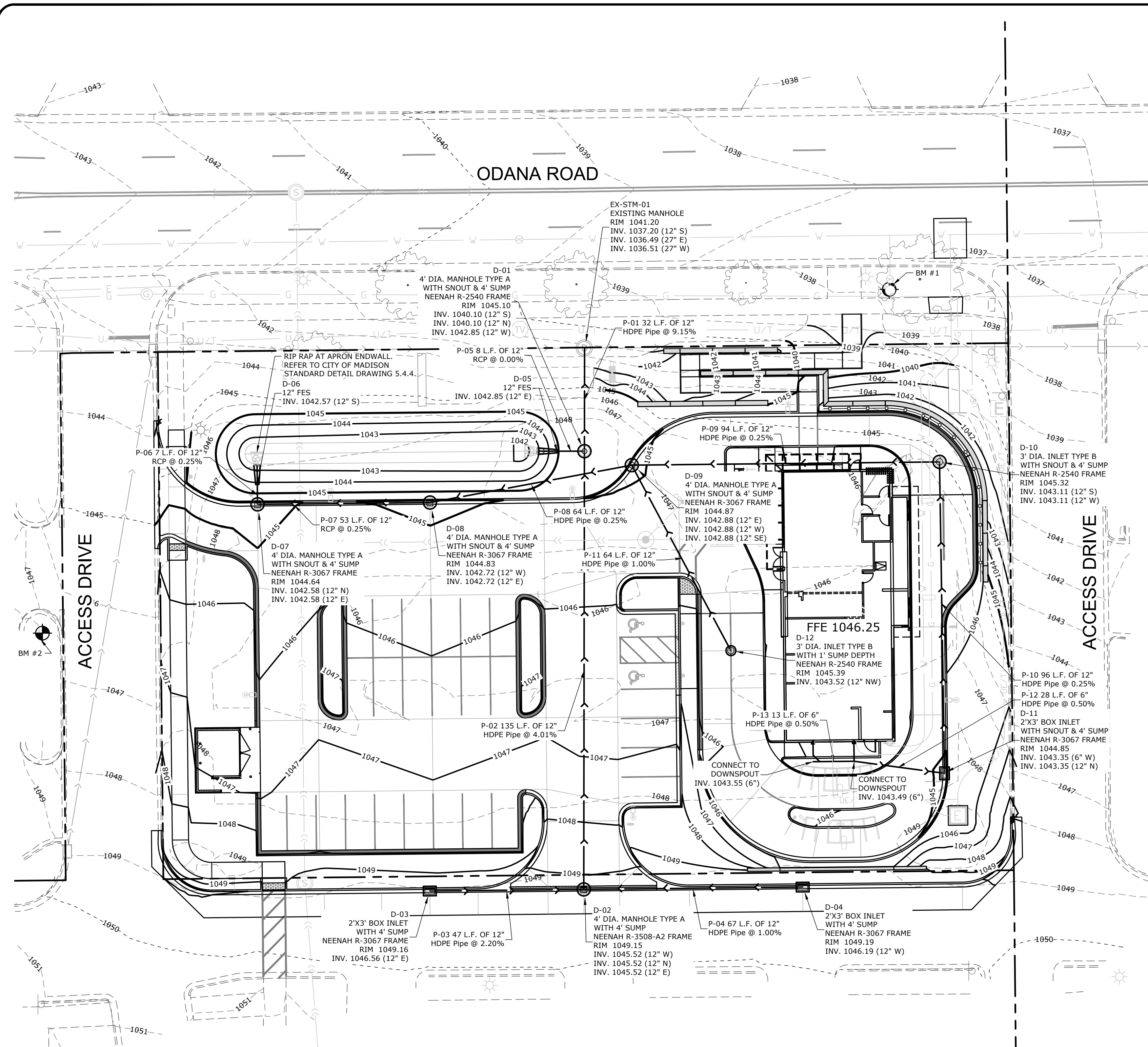
**GRADING PLAN
EAST**

DRAWN	KG
CHECKED	LND
PM	RCS

PROJECT NUMBER
SHEET NUMBER

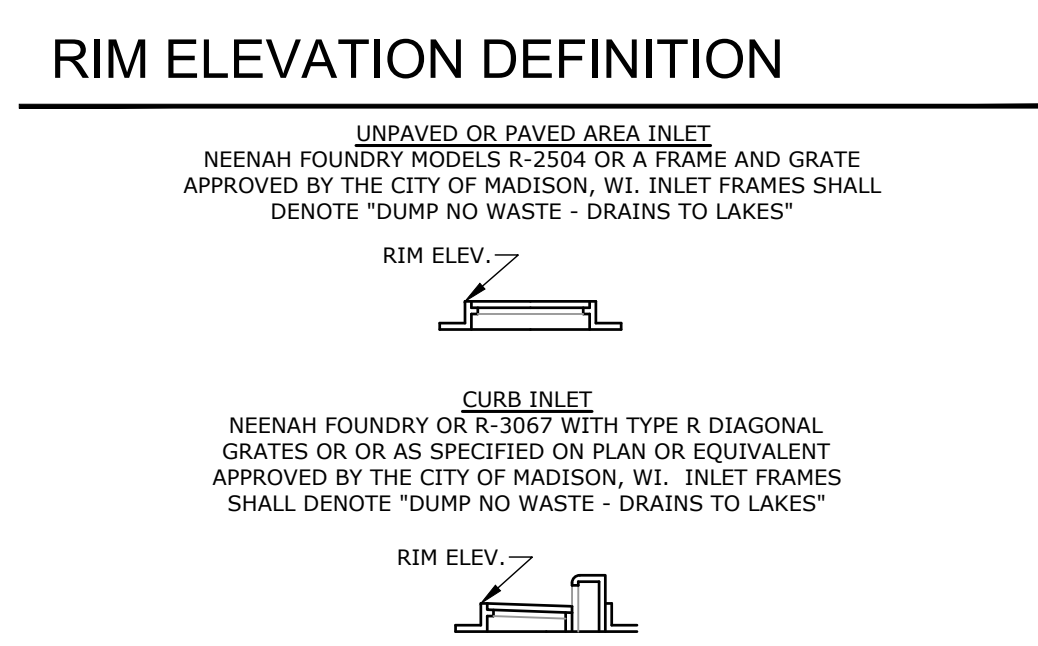
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C06



LEGEND

- PROPERTY LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- PROPOSED GRADE BREAK LINE
- PROPOSED CONTOUR LINE
- EXISTING CONTOUR LINE
- PROPOSED WATER SERVICE
- PROPOSED SANITARY SEWER
- PROPOSED GAS MAIN
- PROPOSED UNDERGROUND ELECTRIC SERVICE
- PROPOSED TELEPHONE SERVICE
- EXISTING MANHOLE OR CATCH BASIN
- PROPOSED CATCH BASIN OR MANHOLE
- PROPOSED CLEANOUT
- 1.6% DIRECTION OF SHEET FLOW



DELIVERY OF NEENAH STRUCTURES MAY HAVE LONG LEAD TIMES. EQUIVALENT STRUCTURES MAY BE SUBSTITUTED FOR ANY OF THE SPECIFIED NEENAH FRAMES IF APPROVED BY ENGINEER. CONTRACTOR TO SUBMIT REQUESTED SUBSTITUTION TO ENGINEER FOR APPROVAL.

REFER TO SHEET C12 - DETAILS FOR PRODUCT INSTALLATION AND SPECIFICATIONS FOR THE SNOOT BY BEST MANAGEMENT PRACTICES, INC.

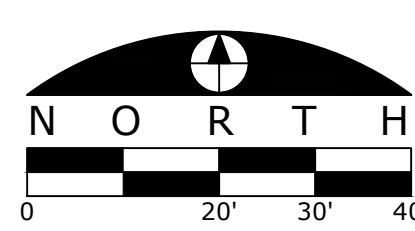
STORMWATER DETENTION

BOTTOM OF BASIN	1042.00'
TOP OF BASIN	1045.00'
10-YEAR HIGH-WATER LEVEL	1044.00'
10-YEAR STORAGE VOLUME	1,958 CF
100-YEAR HIGH-WATER LEVEL	1044.56'
100-YEAR STORAGE VOLUME	3,018 CF

REFER TO STORMWATER MANAGEMENT REPORT FOR PIPE SIZING CALCULATIONS, DETENTION POND AND RELEASE RATE CALCULATIONS, AND WATER QUALITY CALCULATIONS.

BENCHMARKS (NAVD88 DATUM)

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SHEET TITLE

DRAINAGE PLAN

DRAWN	KG
CHECKED	LND
PM	RCS

PROJECT NUMBER
SHEET NUMBER

19055

C07

ISSUED FOR

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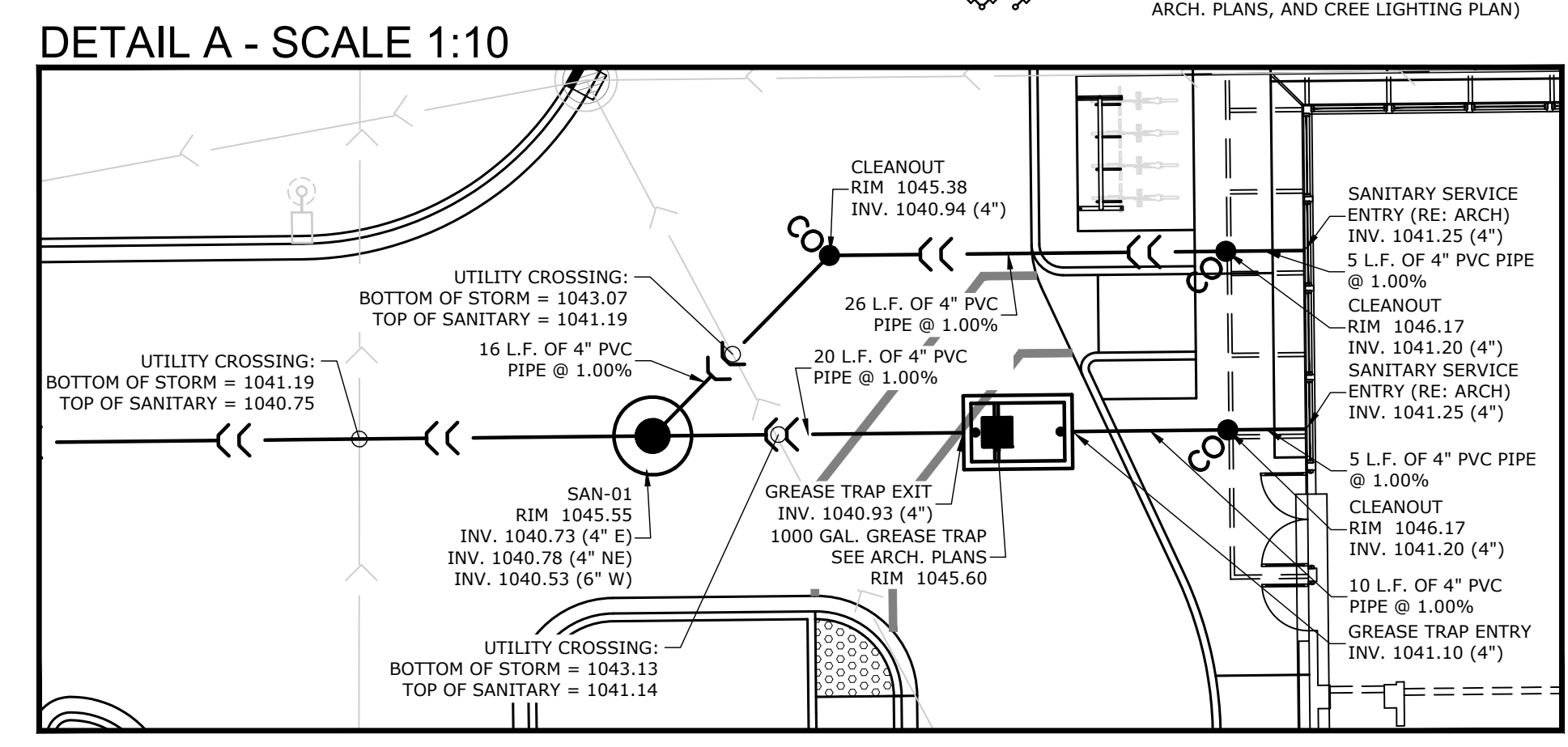
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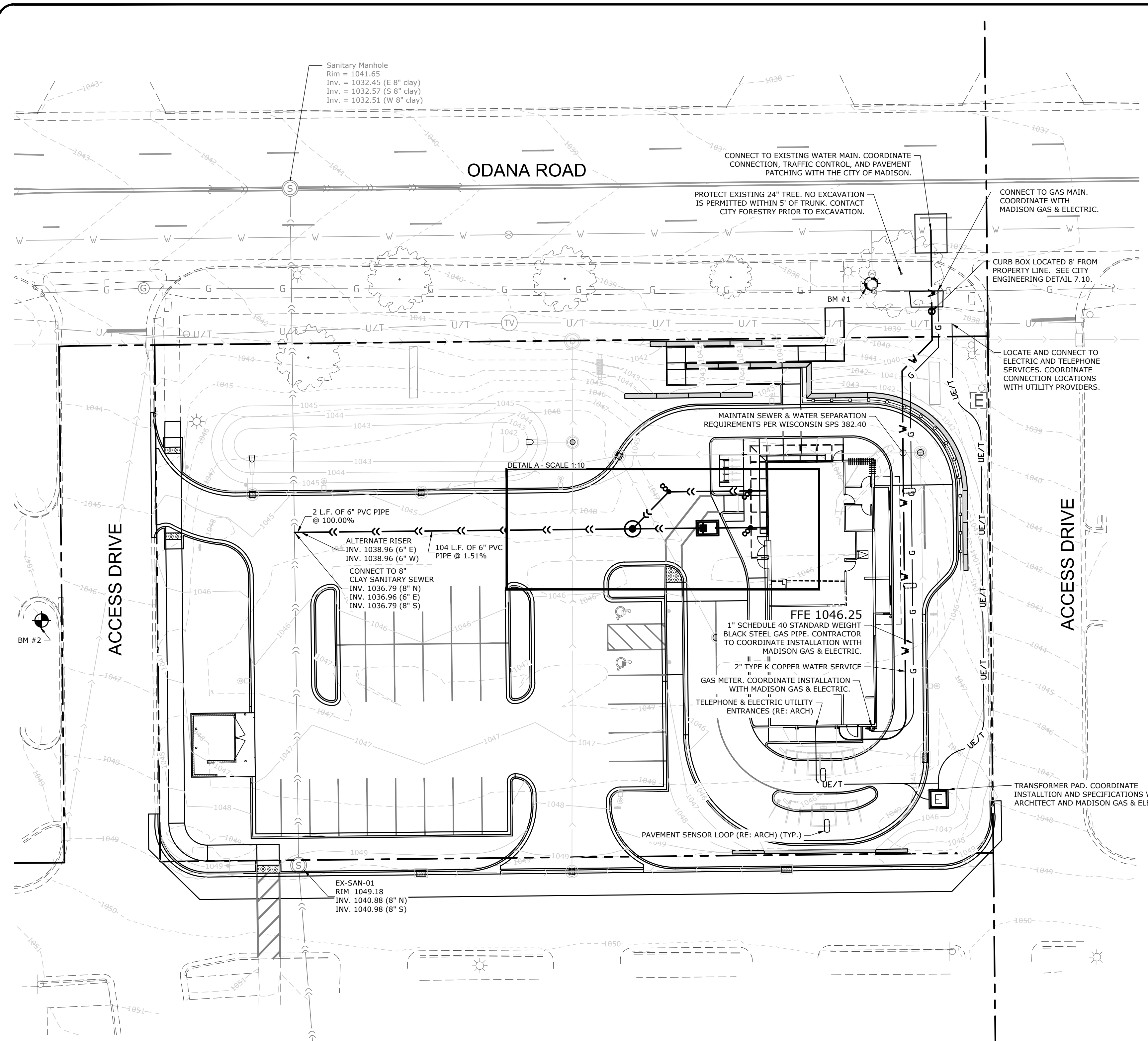
C08

LEGEND

---	PROPERTY LINE	⊠	PROPOSED TRANSFORMER
---	EXISTING CURB AND GUTTER	⊙	EXISTING FIRE HYDRANT ASSEMBLY
---	PROPOSED ACCEPTING CURB AND GUTTER	⊕	EXISTING WATER VALVE
---	EXISTING WATER MAIN	⊕	PROPOSED WATER SERVICE CURB BOX
---	PROPOSED WATER SERVICE	⊕	EXISTING MANHOLE OR CATCH BASIN
---	EXISTING SANITARY SEWER	⊕	PROPOSED SANITARY MANHOLE
---	PROPOSED SANITARY SEWER	⊕	PROPOSED SANITARY CLEANOUT
---	EXISTING STORM SEWER	⊕	PROPOSED GREASE TRAP (RE: ARCH. PLANS)
---	PROPOSED STORM SEWER	⊕	EXISTING GAS VALVE TO REMAIN
---	EXISTING GAS MAIN	⊕	EXISTING LIGHT POLE TO REMAIN
---	PROPOSED GAS MAIN	⊕	EXISTING LIGHT POLE TO BE REMOVED
---	EXISTING UNDERGROUND ELECTRIC SERVICE	⊕	EXISTING CABLE PEDESTAL TO REMAIN
---	PROPOSED UNDERGROUND ELECTRIC SERVICE	⊕	EXISTING ELECTRICAL PEDESTAL TO REMAIN
---	PROPOSED UNDERGROUND ELECTRIC & TELEPHONE SERVICE	⊕	EXISTING SANITARY SEWER TO REMAIN
---	EXISTING UNDERGROUND TELEPHONE SERVICE	⊕	PROPOSED LIGHT POLE (SEE DETAILS, ARCH. PLANS, AND CREE LIGHTING PLAN)
---	PROPOSED UNDERGROUND TELEPHONE SERVICE	⊕	
---	EXISTING OVERHEAD UTILITY LINES	⊕	

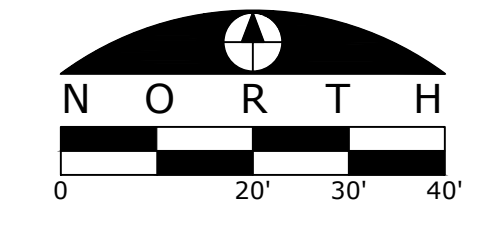


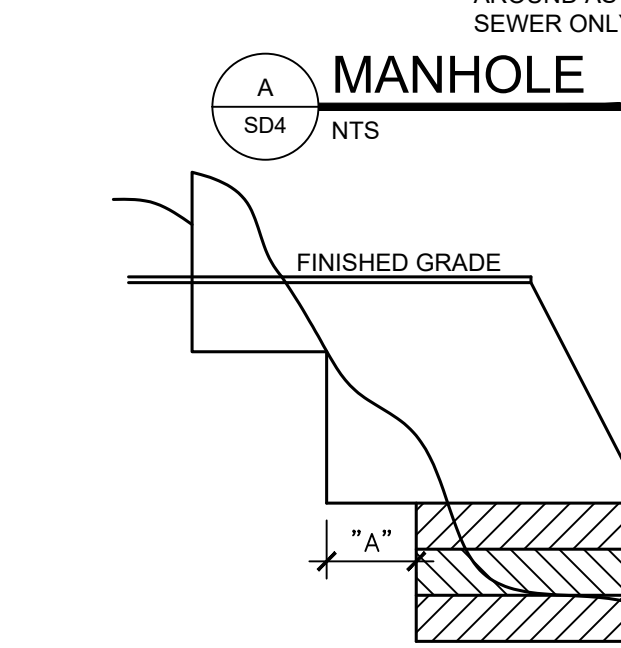
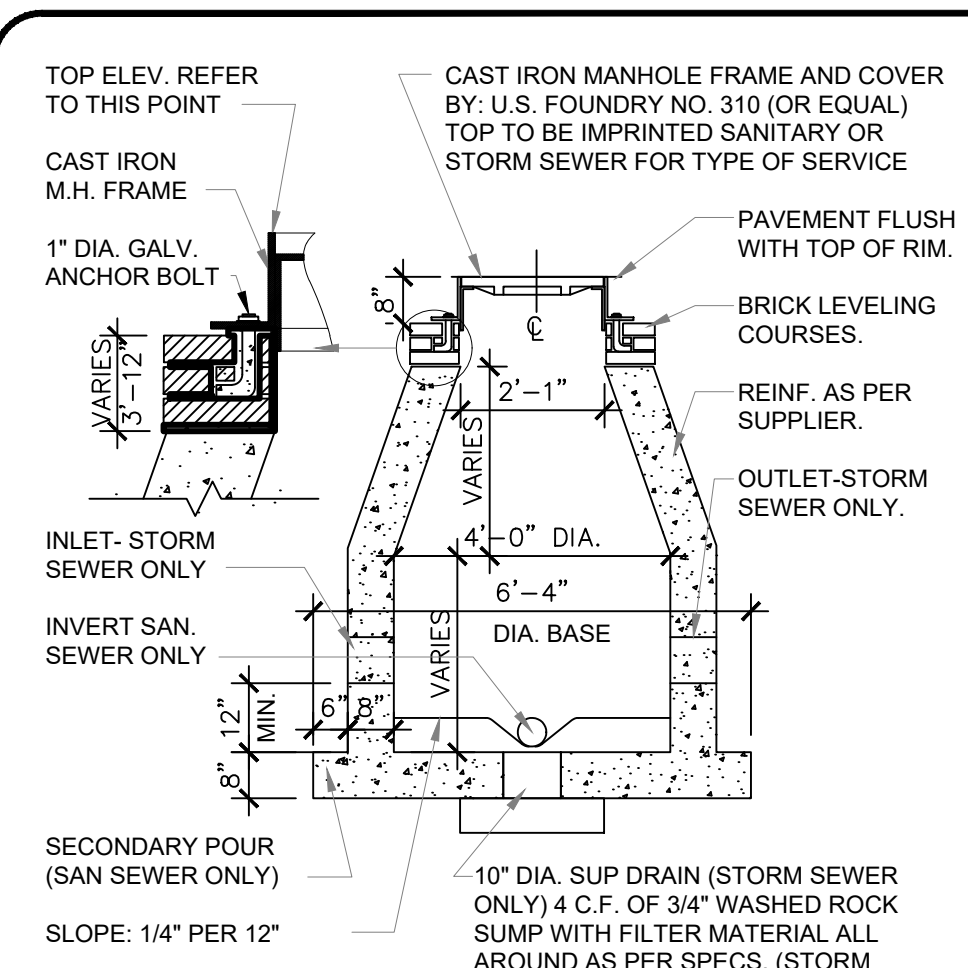
- UTILITY NOTES**
- THE CONTRACTOR SHALL PROVIDE PROPER SAFETY DEVICES IN ACCORDANCE WITH OSHA STANDARDS FOR ALL STAFF WORKING IN OPEN TRENCH CONDITIONS. TRENCH BOXES AND OTHER SHORING SHALL BE REQUIRED FOR ALL TRENCH WORK, IN THE RIGHT-OF-WAY, AND ON PRIVATE PROPERTY, WHILE THE SITE IS UNDER CONSTRUCTION.
 - ALL PRIVATE WATER MAINS CONSTRUCTED ON THE PROPERTY ARE TO BE CONSTRUCTED WITH MATERIALS THAT FOLLOW THE STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL REQUIREMENTS FOR PIPE MATERIAL AND OTHER WATER MAIN APPURTENANCES PRIOR TO THE START OF CONSTRUCTION.
 - EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK BY OTHERS, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
 - CONTACT ALL PUBLIC AND PRIVATE UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
 - THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL CONTROL PRIOR TO PROCEEDING WITH WORK.
 - REFER TO BUILDING PLANS FOR EXACT LOCATIONS OF NEW UTILITY ENTRIES.
 - CONTRACTOR SHALL SET ALL CLEANOUT, CASTINGS, AND VALVE BOXES TO FINISHED GRADE.
 - COORDINATE INSTALLATION OF THE WATER SERVICE WITH THE CITY OF MADISON. WATER SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF MADISON, WI STANDARDS.



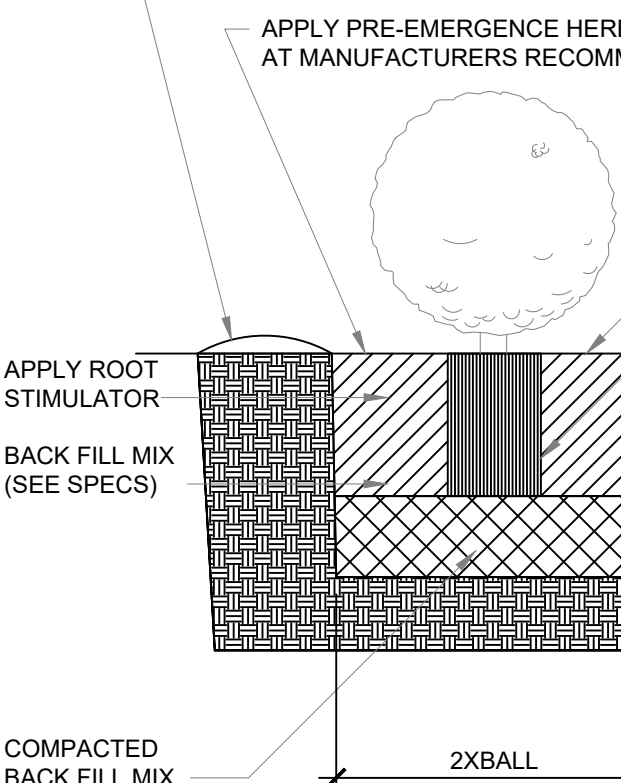
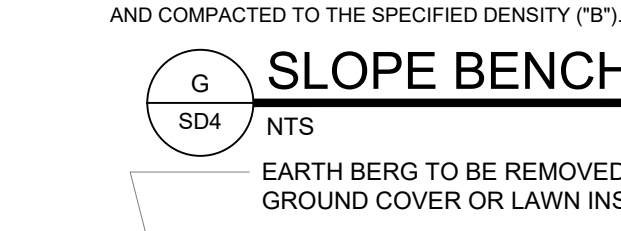
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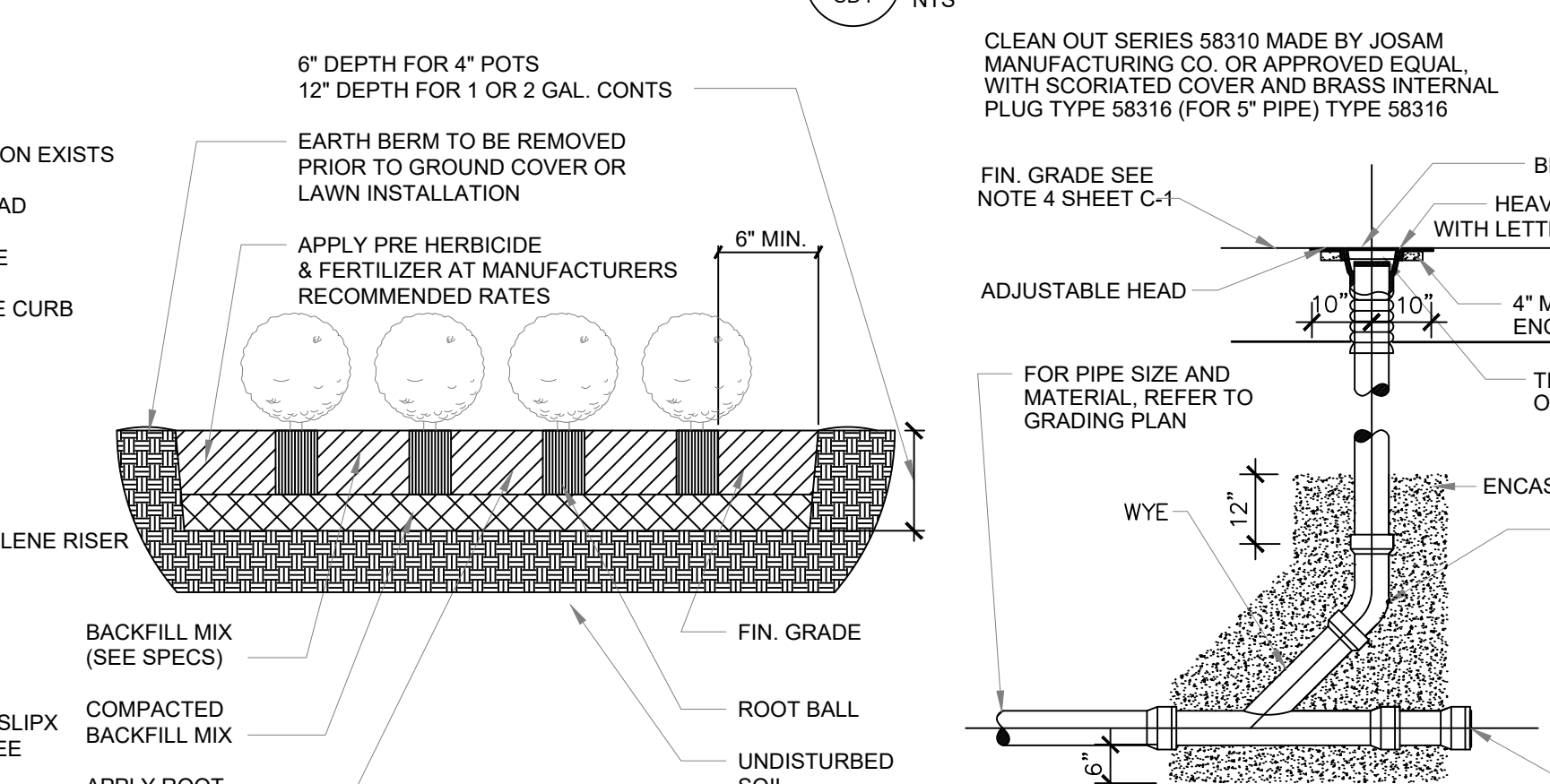
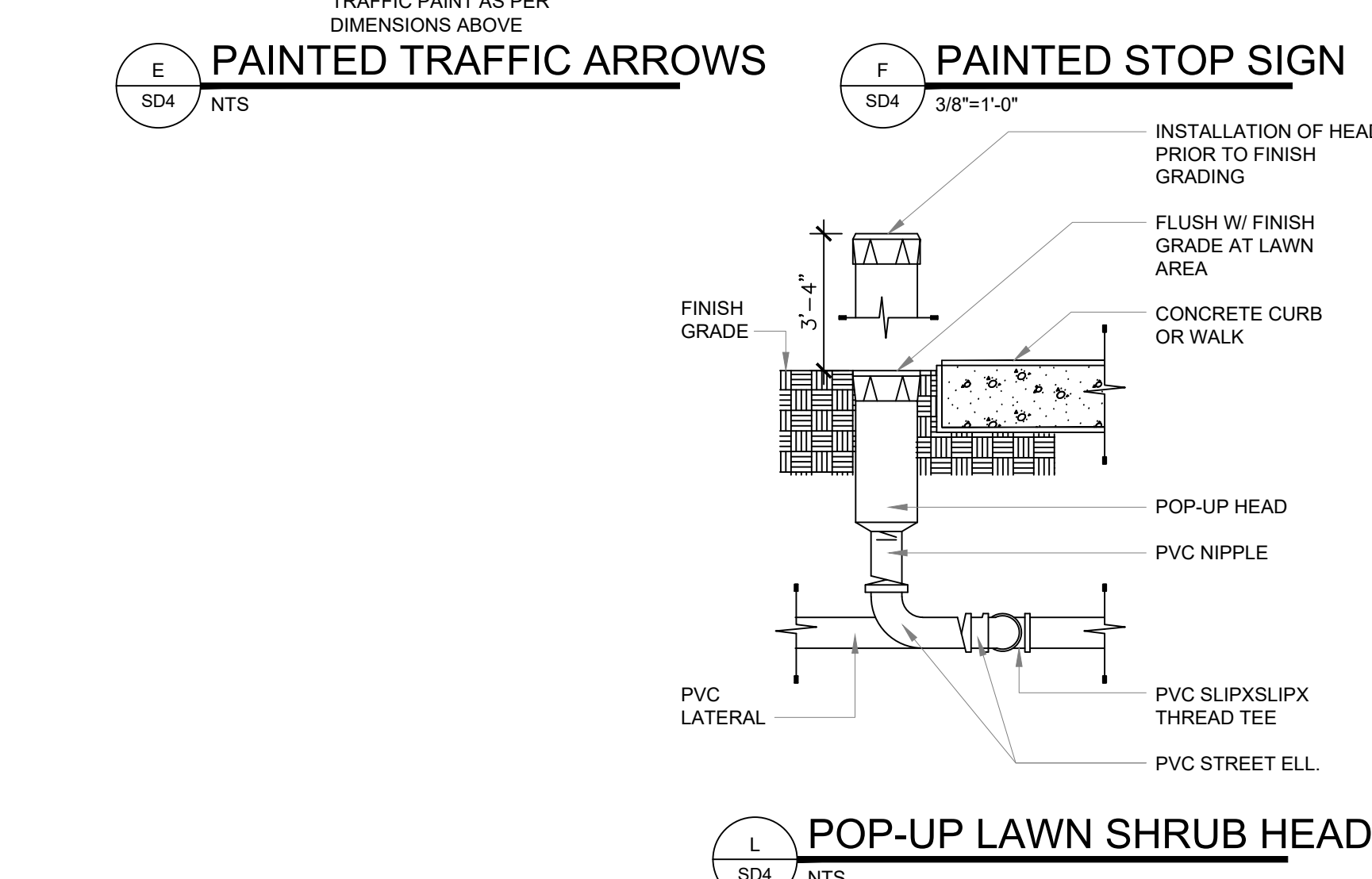
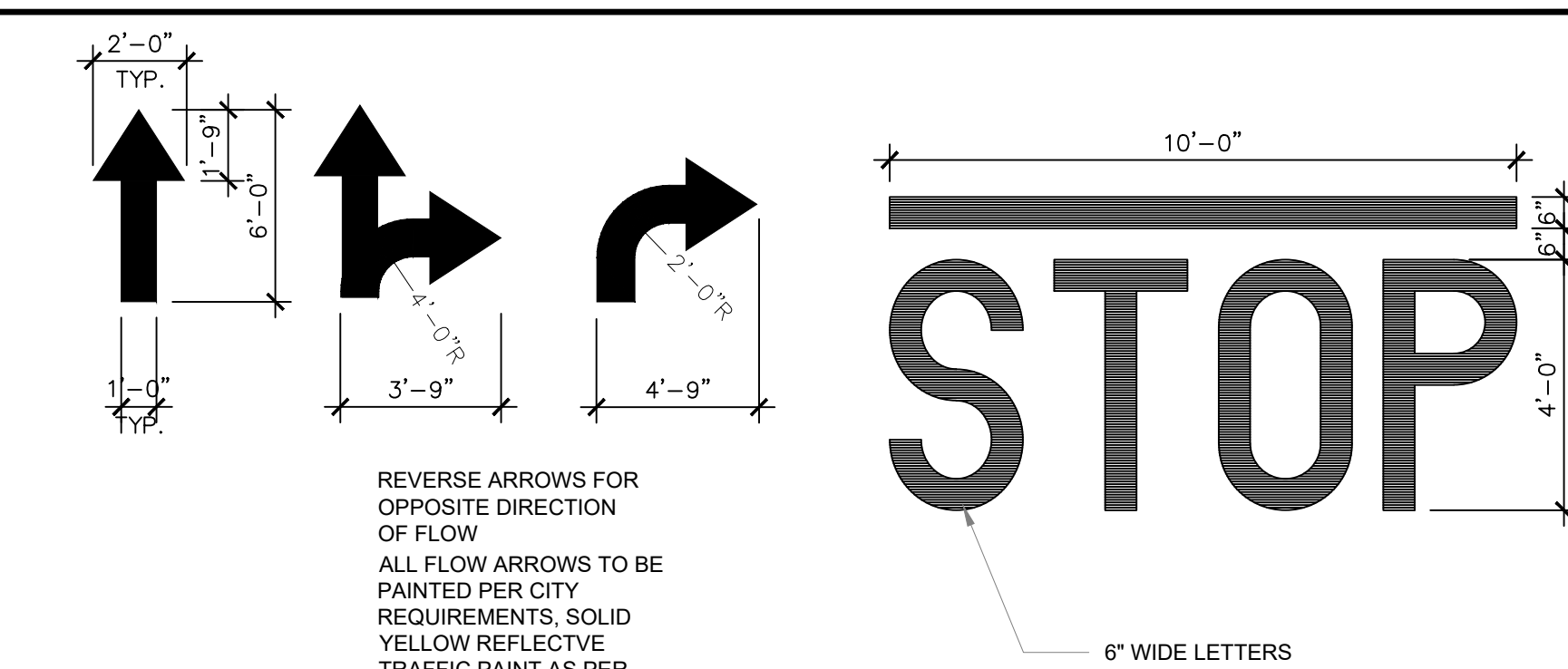
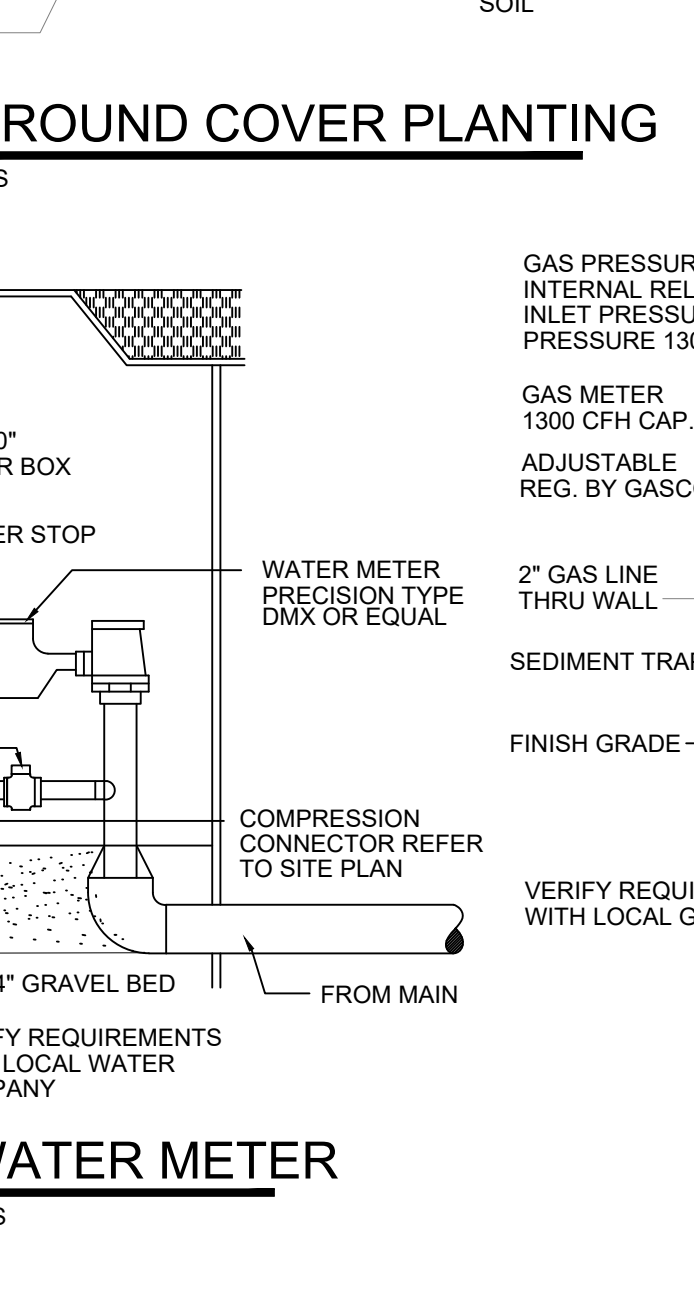
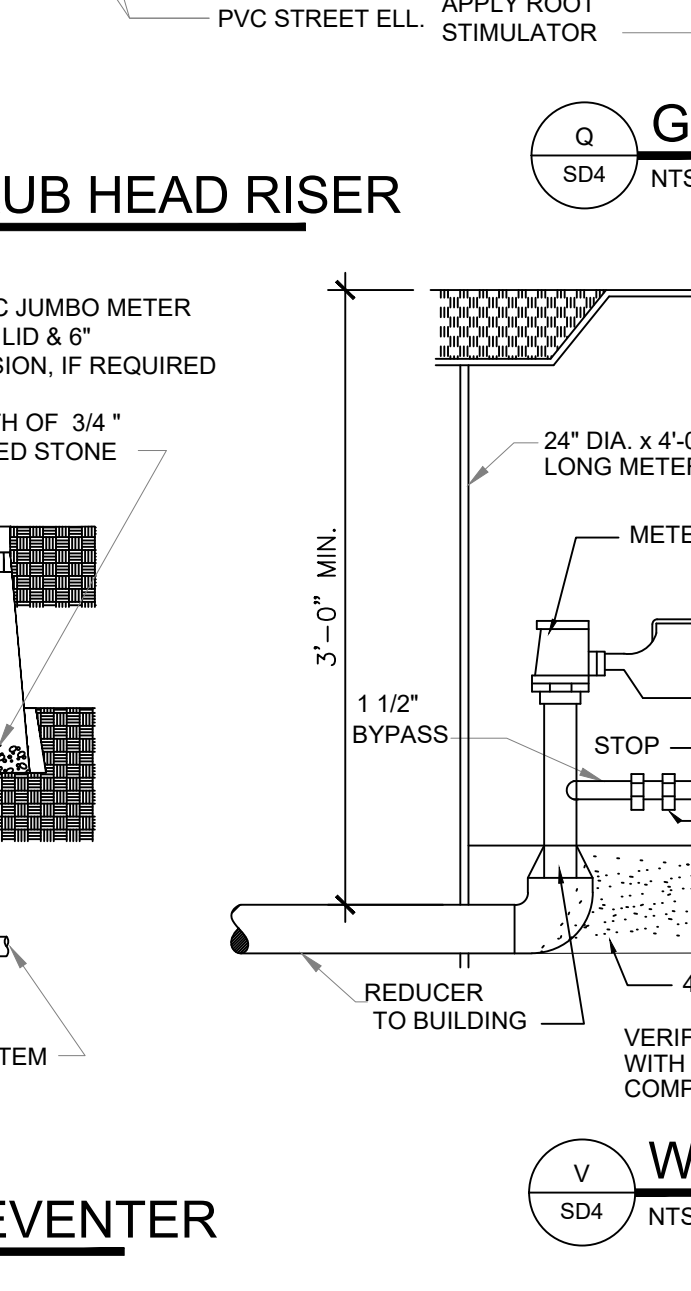
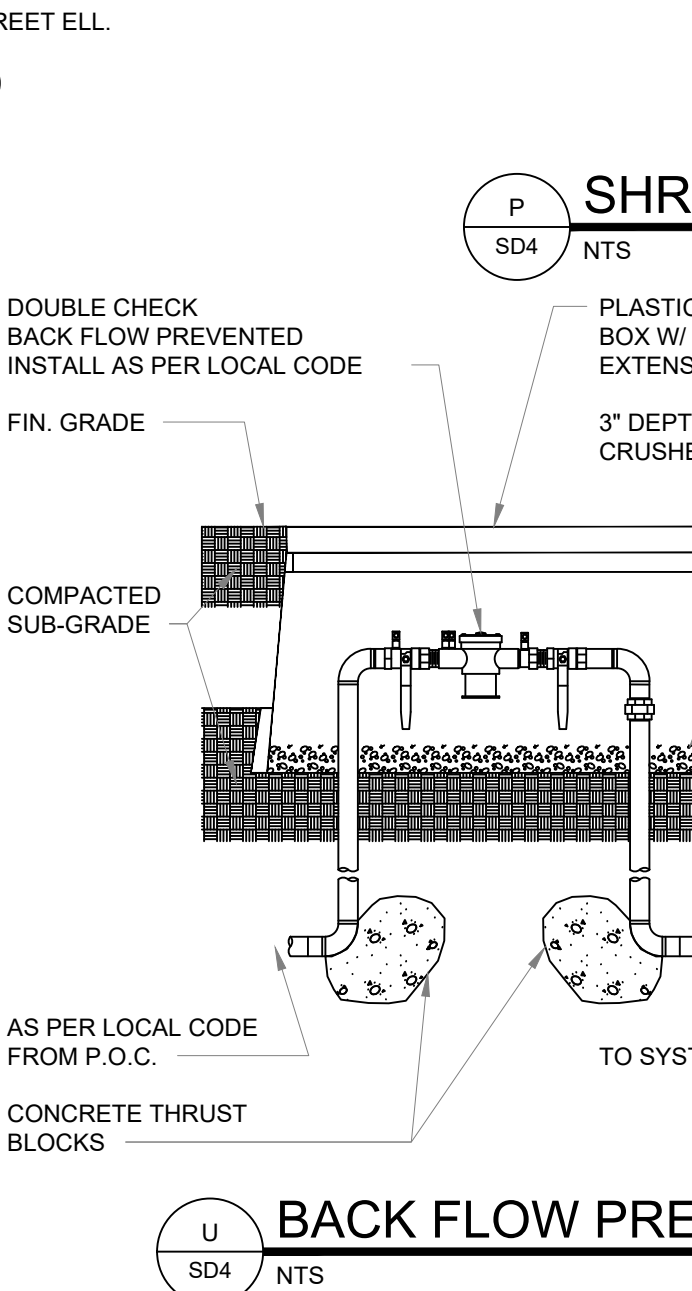
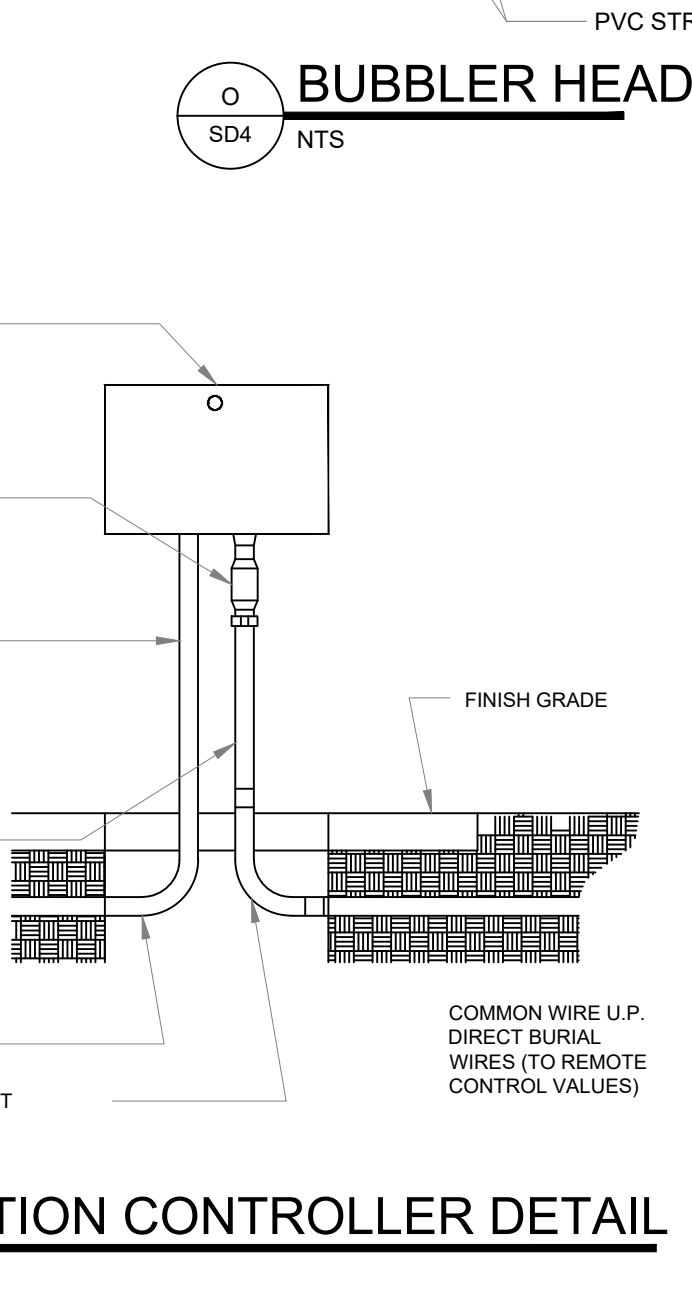
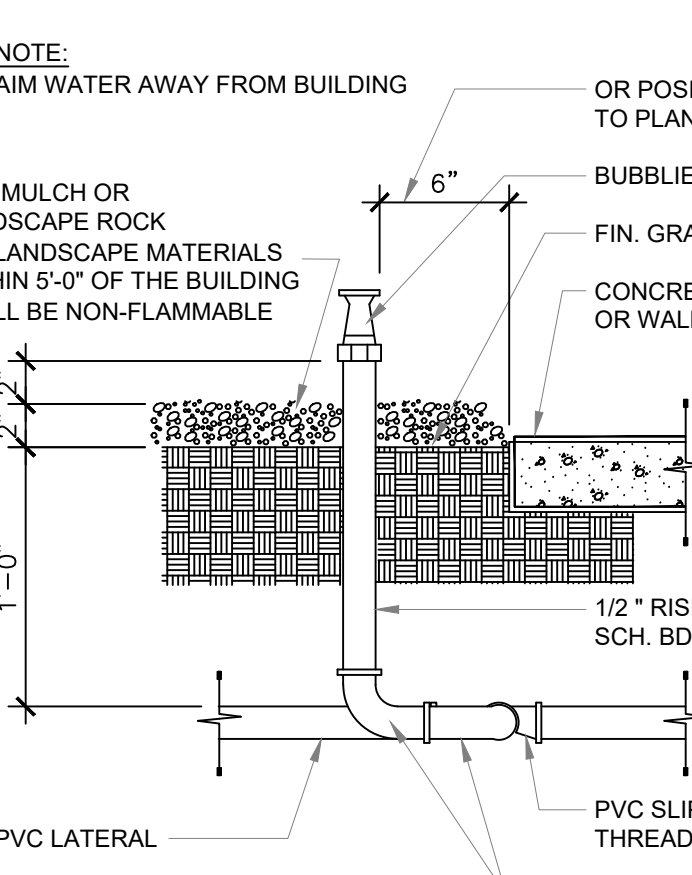
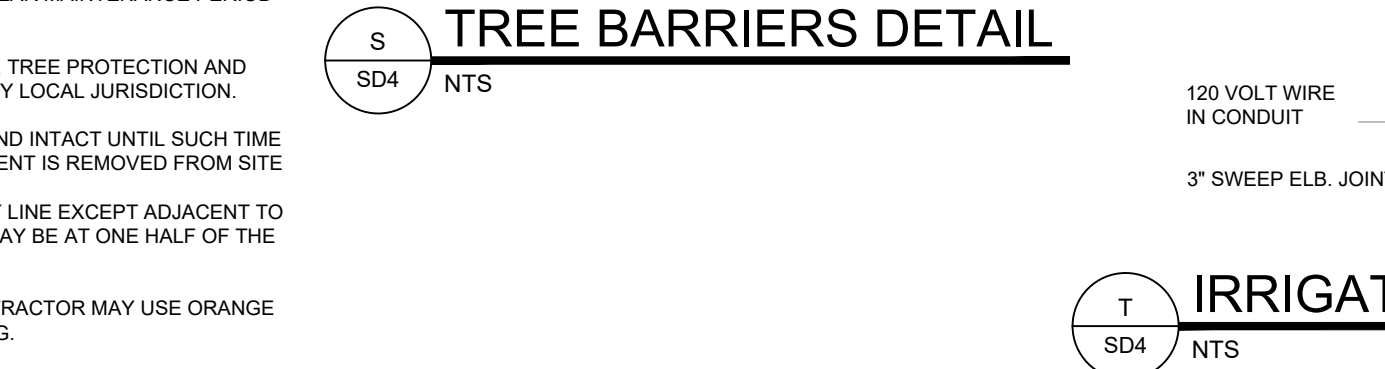
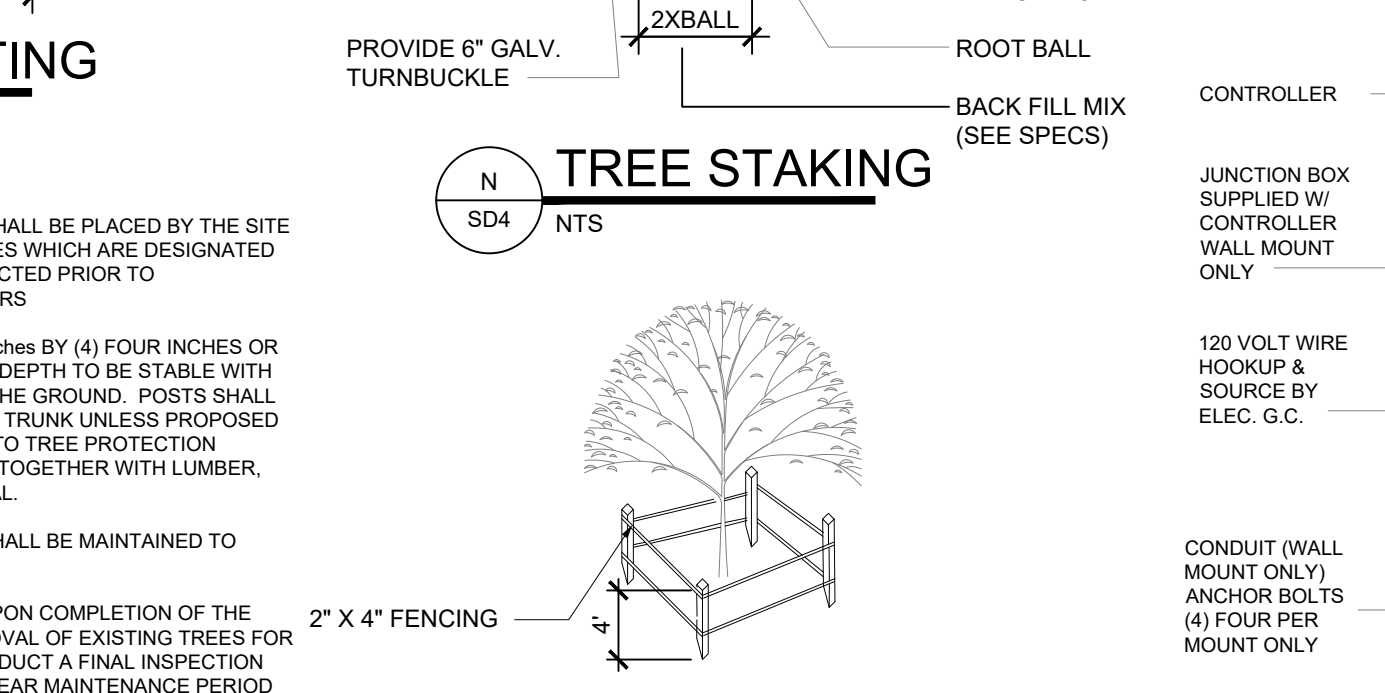
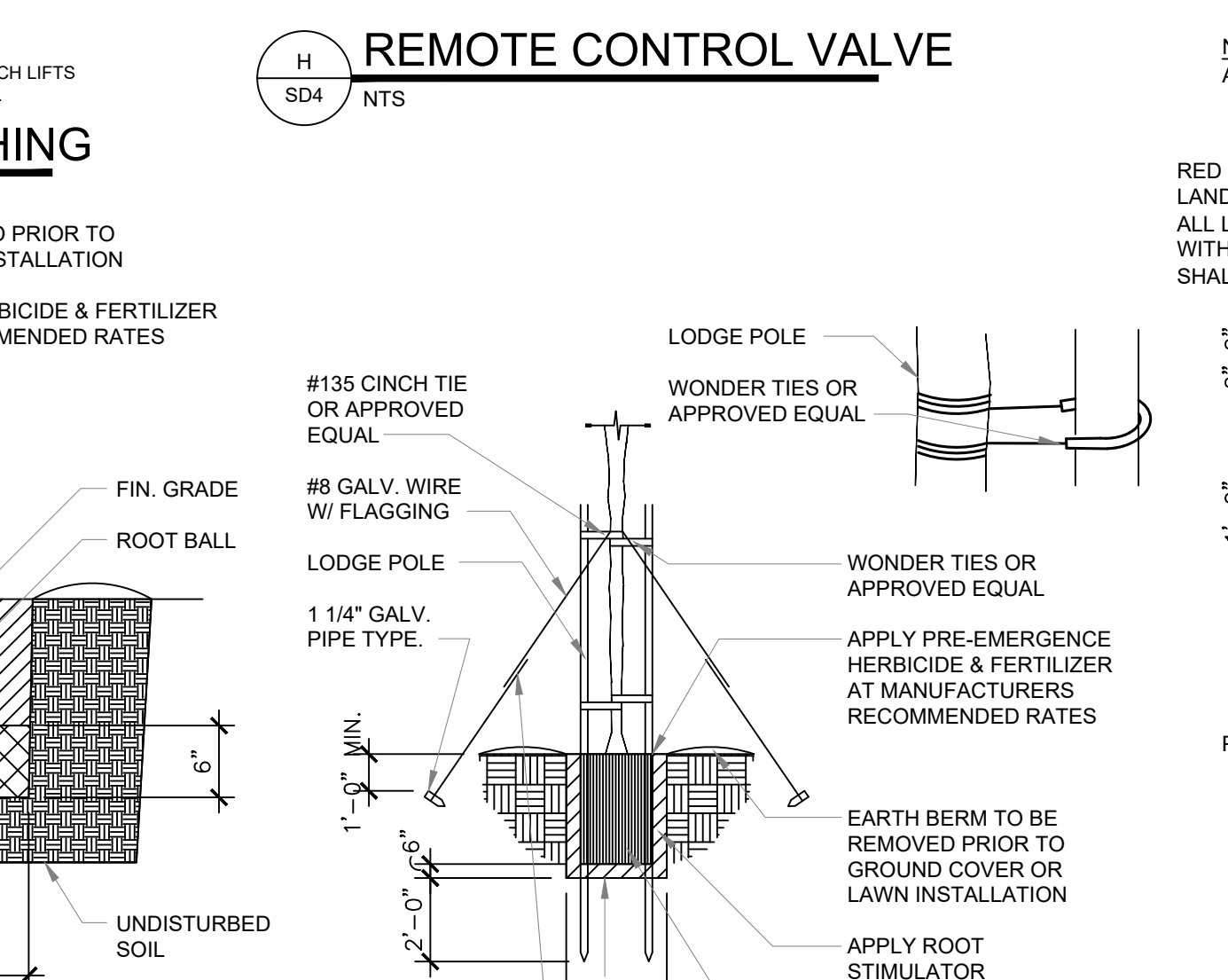
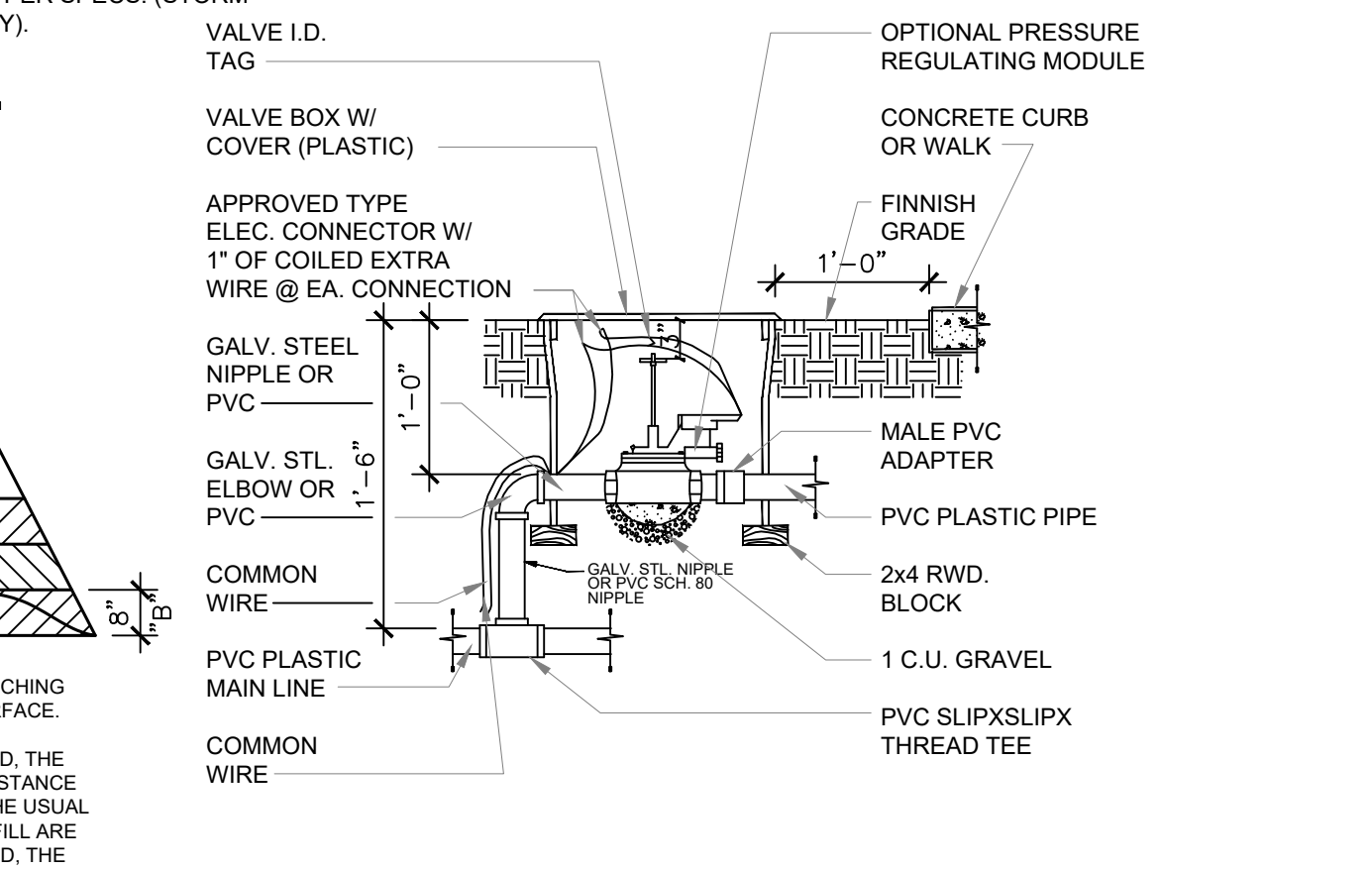




1. THE ABOVE DIAGRAM ILLUSTRATES A TYPICAL BENCHING FOR THE PLACEMENT OF A FILL ON A SLOPING SURFACE.
2. THE DIAGRAM SHOWS THAT BEFORE FILL IS PLACED, THE FIRST STEP IS CUT INTO THE SLOPE A MAXIMUM DISTANCE OF ABOUT 8 FEET ("A" ABOUT 3/4 THE WIDTH OF THE USUAL D-8 BULLDOZER BLADE). SUCCESSIVE LAYERS OF FILL ARE THEN PLACED. BEFORE THE FINAL LAYER IS PLACED, THE SECOND STEP IS CUT 8 FEET INTO THE SLOPE AND SUCCESSIVE LAYERS ARE AGAIN PLACED.
3. SELECT FILL MATERIAL SHOULD BE PLACED IN 8 INCH LIFTS AND COMPACTED TO THE SPECIFIED DENSITY ("B").



- TREE PROTECTION NOTES:**
1. DURING CONSTRUCTION PROTECTIVE BARRIERS SHALL BE PLACED BY THE SITE CONTRACTOR TO PREVENT DESTRUCTION OF TREES WHICH ARE DESIGNATED TO REMAIN. PROTECTIVE BARRIERS SHALL BE ERRECT PRIOR TO CONSTRUCTION OF ANY KIND ON THE SITE. BARRIERS
 2. SHALL CONSIST OF PROTECTIVE POSTS TWO (2) INCHES BY (4) FOUR INCHES OR LARGER. WOODEN POSTS PLANTED IN SUFFICIENT DEPTH TO BE STABLE WITH AT LEAST FOUR (4) FEET OF POST VISIBLE ABOVE THE GROUND. POSTS SHALL BE PLACED NO CLOSER THAN FIVE (5) FEET TO THE TRUNK UNLESS PROPOSED PAVING CONSTRUCTION WILL NOT AFFECT. REFER TO TREE PROTECTION BARRIER DETAIL. EACH SECTION SHALL BE LINKED TOGETHER WITH LUMBER, EROSION FABRIC, NET OR PLASTIC FENCE MATERIAL.
 3. PROPOSED GRADES AROUND TREES TO REMAIN SHALL BE MAINTAINED TO WITHIN (4) FOUR INCHES OF THE EXISTING GRADE.
 4. CONTRACTOR SHALL NOTIFY ZONING DIRECTOR UPON COMPLETION OF THE TREE PROTECTION BARRIERS AND PRIOR TO REMOVAL OF EXISTING TREES FOR A SITE INSPECTION. ZONING DIRECTOR SHALL CONDUCT A FINAL INSPECTION ONCE THE EXISTING TREES ARE REMOVED THE 1 YEAR MAINTENANCE PERIOD SHALL BEGIN AFTER FINAL INSPECTION APPROVAL.
 5. THE CONTRACTOR SHALL FOLLOW TREE REMOVAL, TREE PROTECTION AND GENERAL PLANTING REQUIREMENTS AS DEFINED BY LOCAL JURISDICTION.
 6. PROTECTIVE BARRIER'S SHALL REMAIN IN PLACE AND INTACT UNTIL SUCH TIME AS CONSTRUCTION IS COMPLETE AND ALL EQUIPMENT IS REMOVED FROM SITE
 7. BARRIERS SHALL BE PLACED AT THE TREE CANOPY LINE EXCEPT ADJACENT TO THE PROPOSED CONSTRUCTION AREA WHERE IT MAY BE AT ONE HALF OF THE CANOPY DISTANCE ON ONE SIDE ONLY
 8. WHERE PERMITTED BY LOCAL JURISDICTION, CONTRACTOR MAY USE ORANGE PLASTIC SAFETY FENCING IN LIE OF WOOD FENCING.



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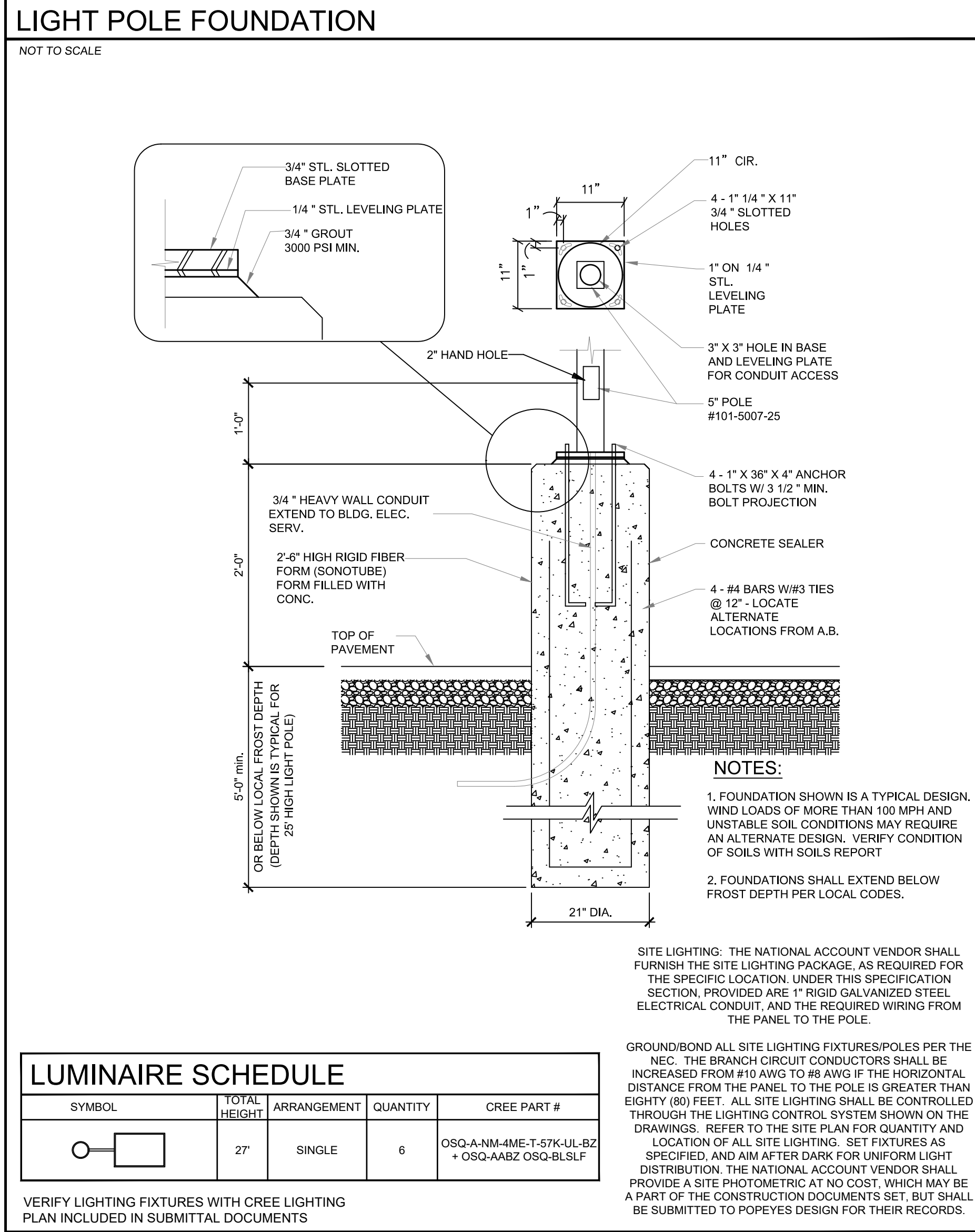
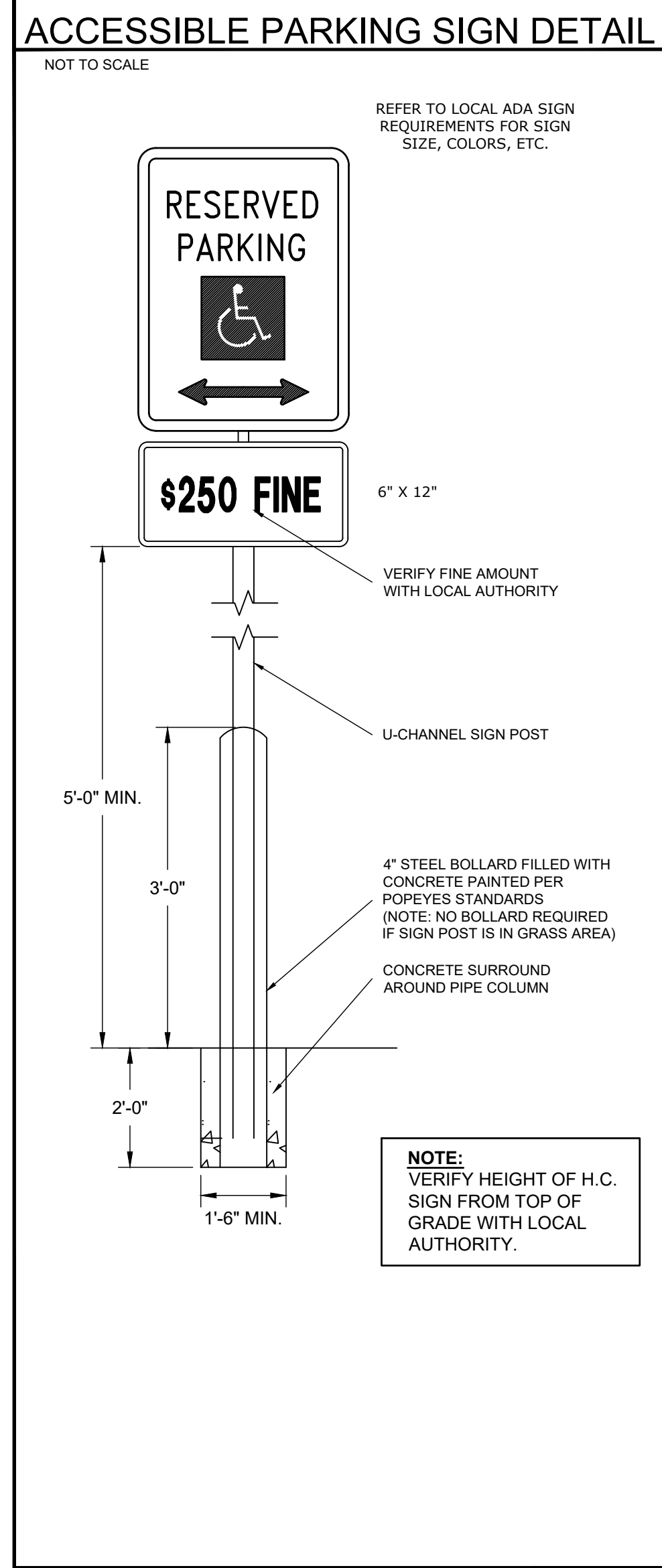
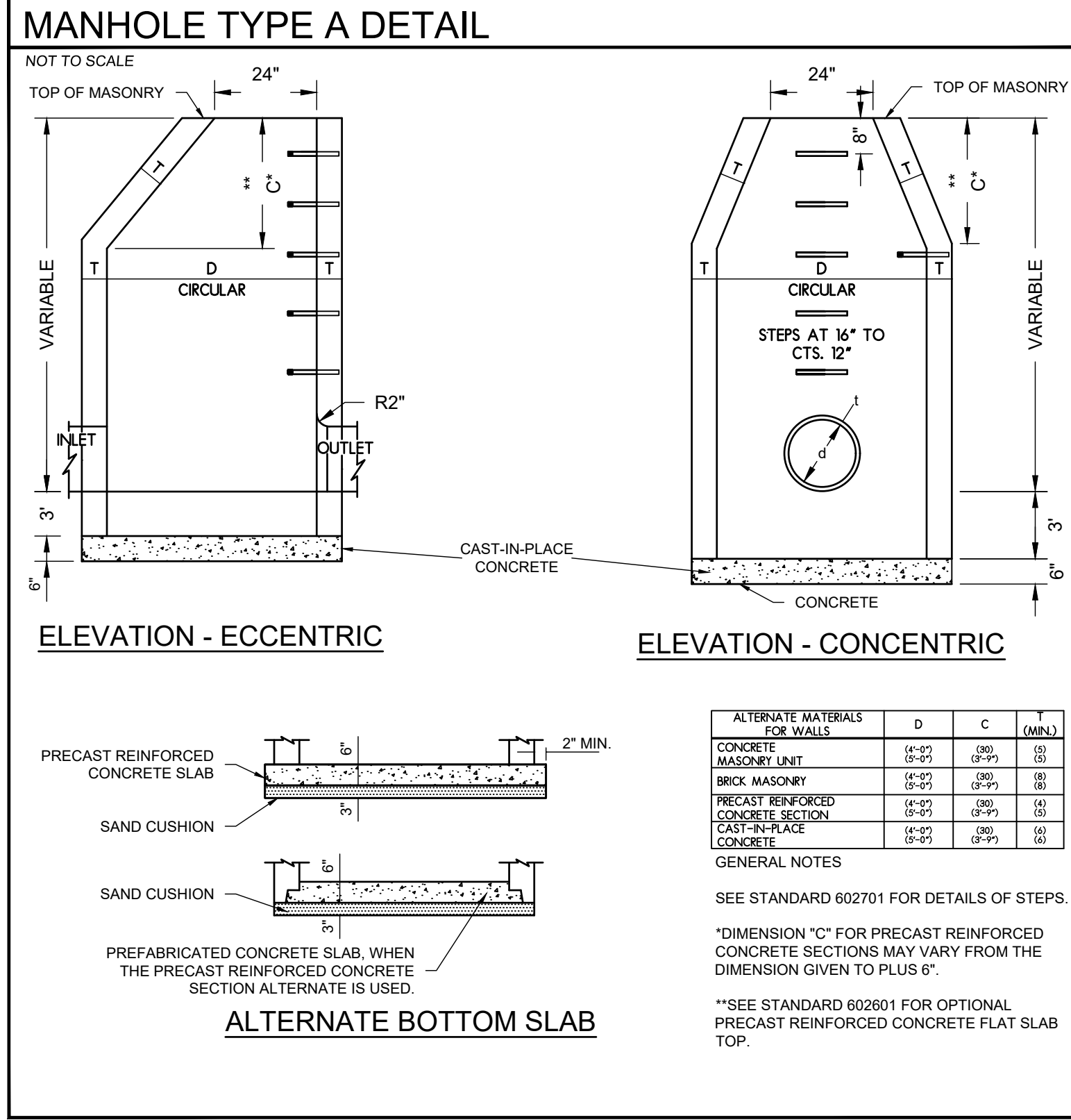
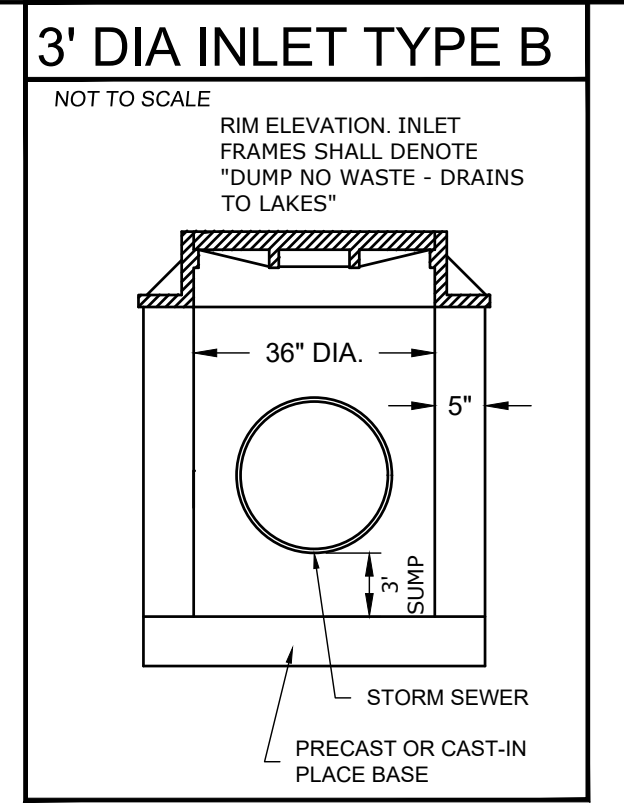
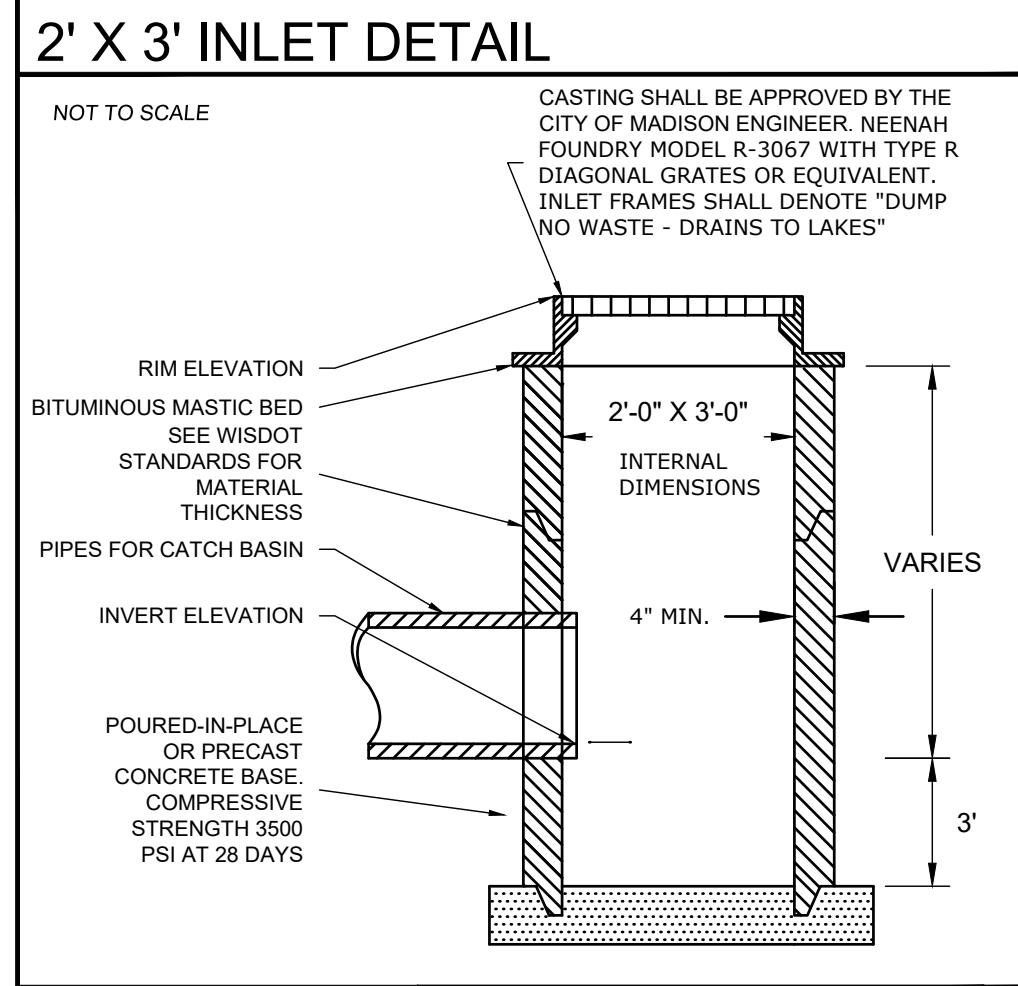
POPEYES' DETAILS

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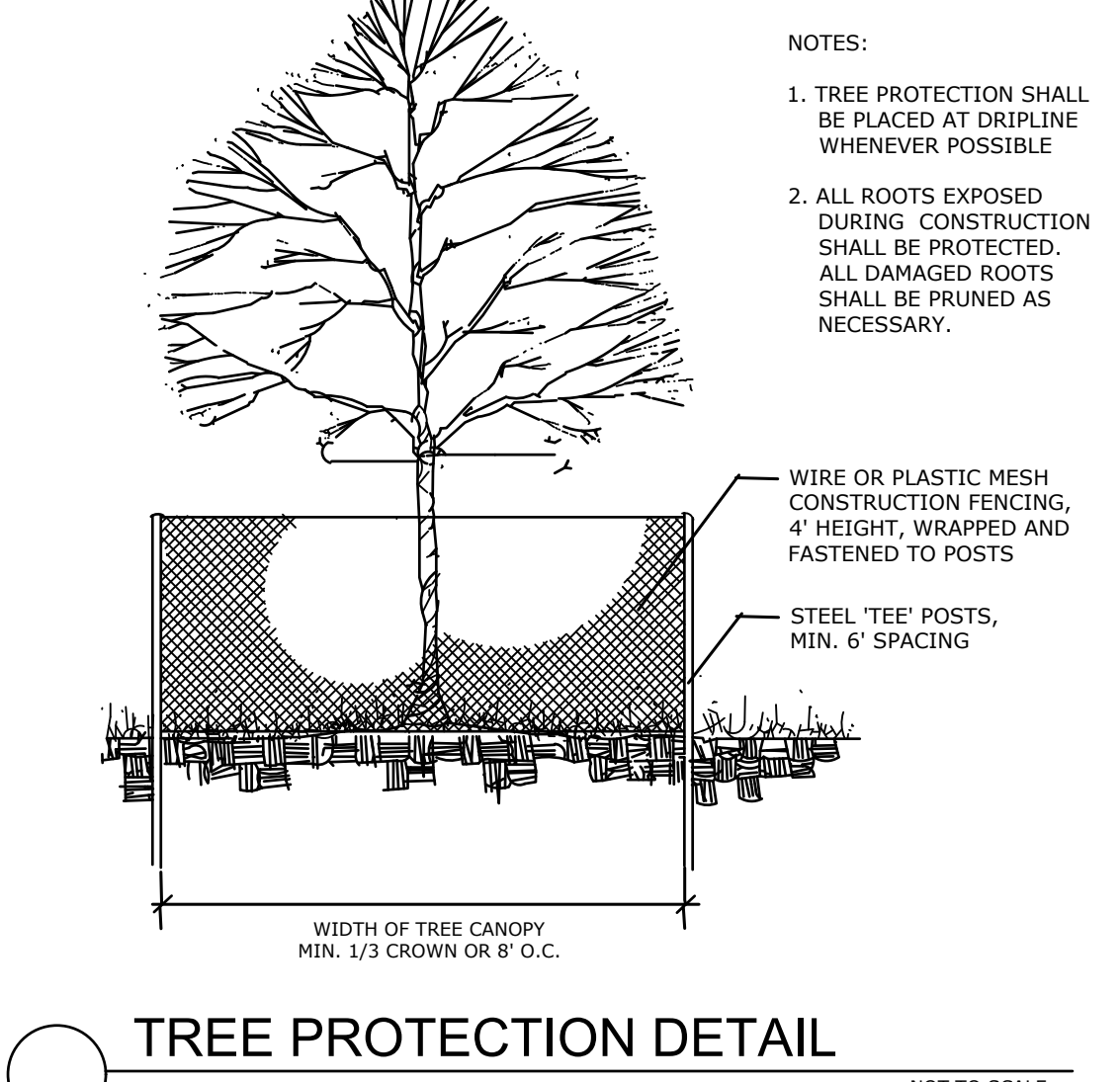
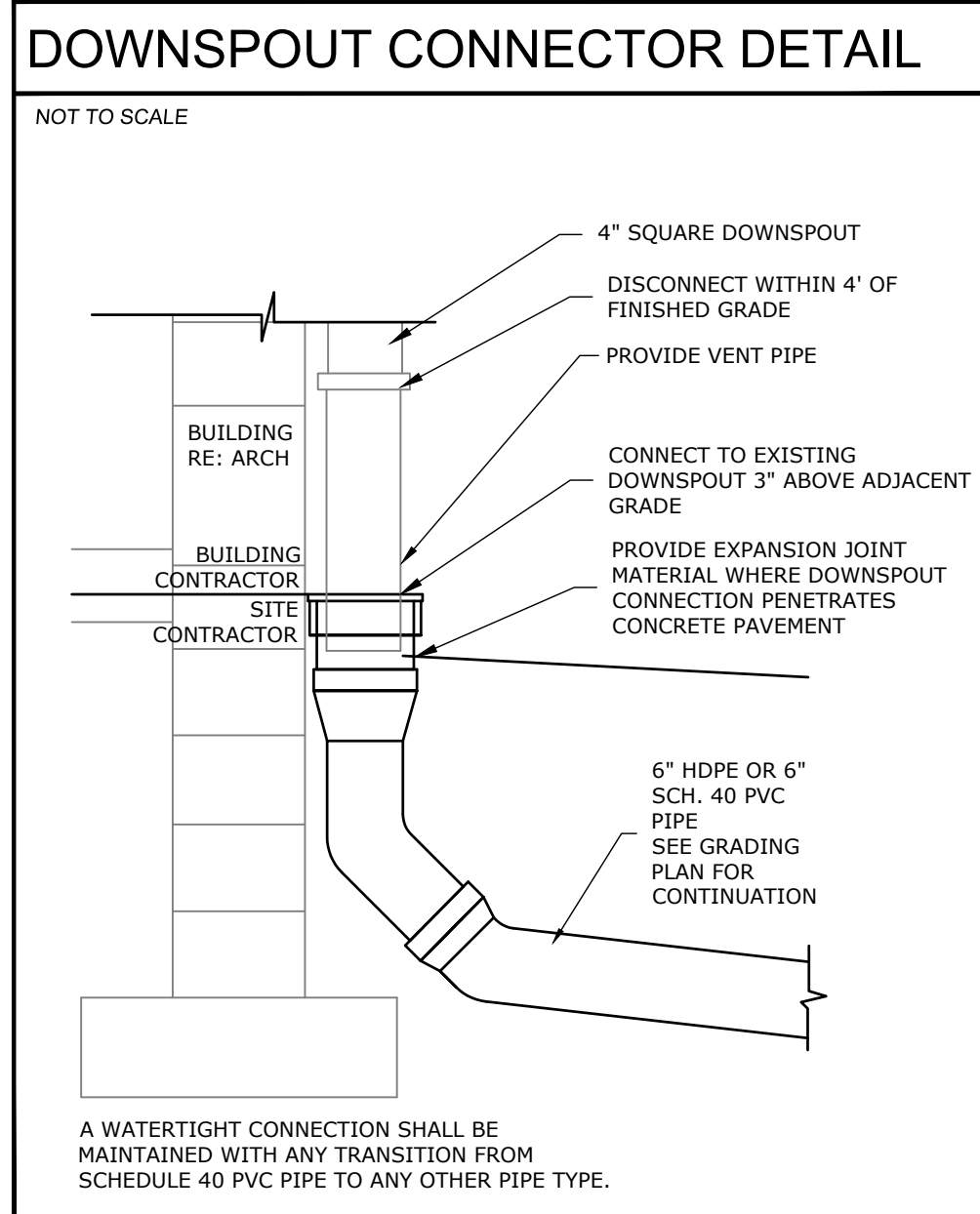
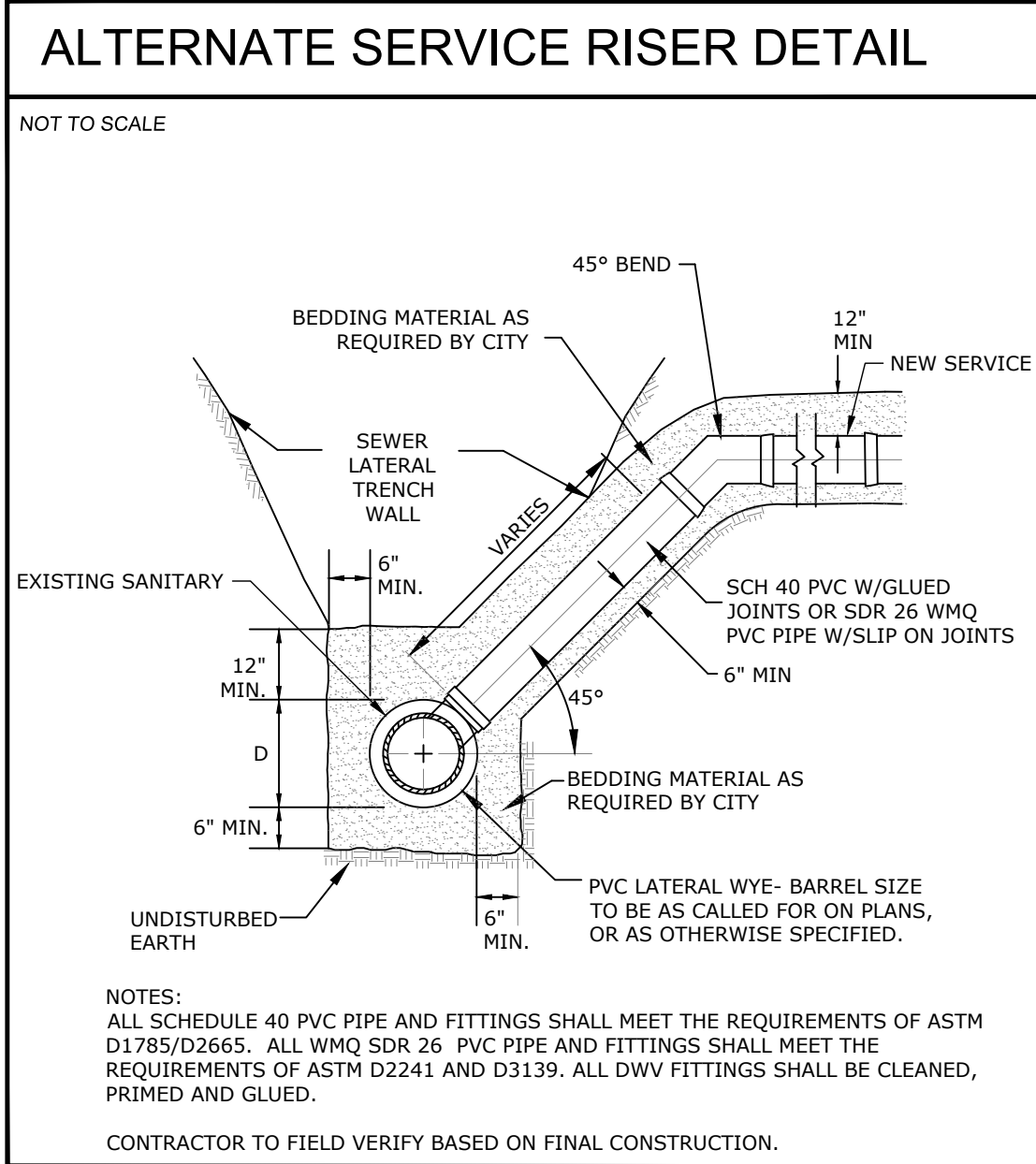
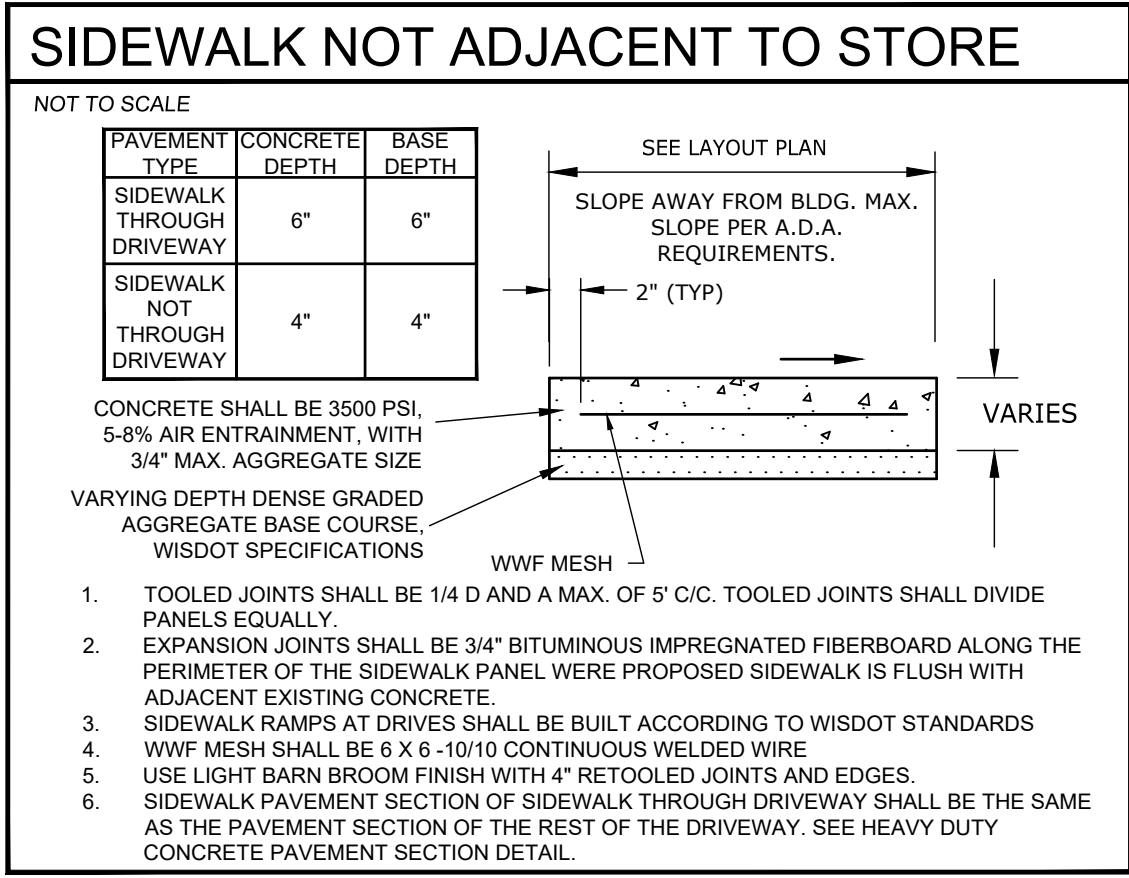
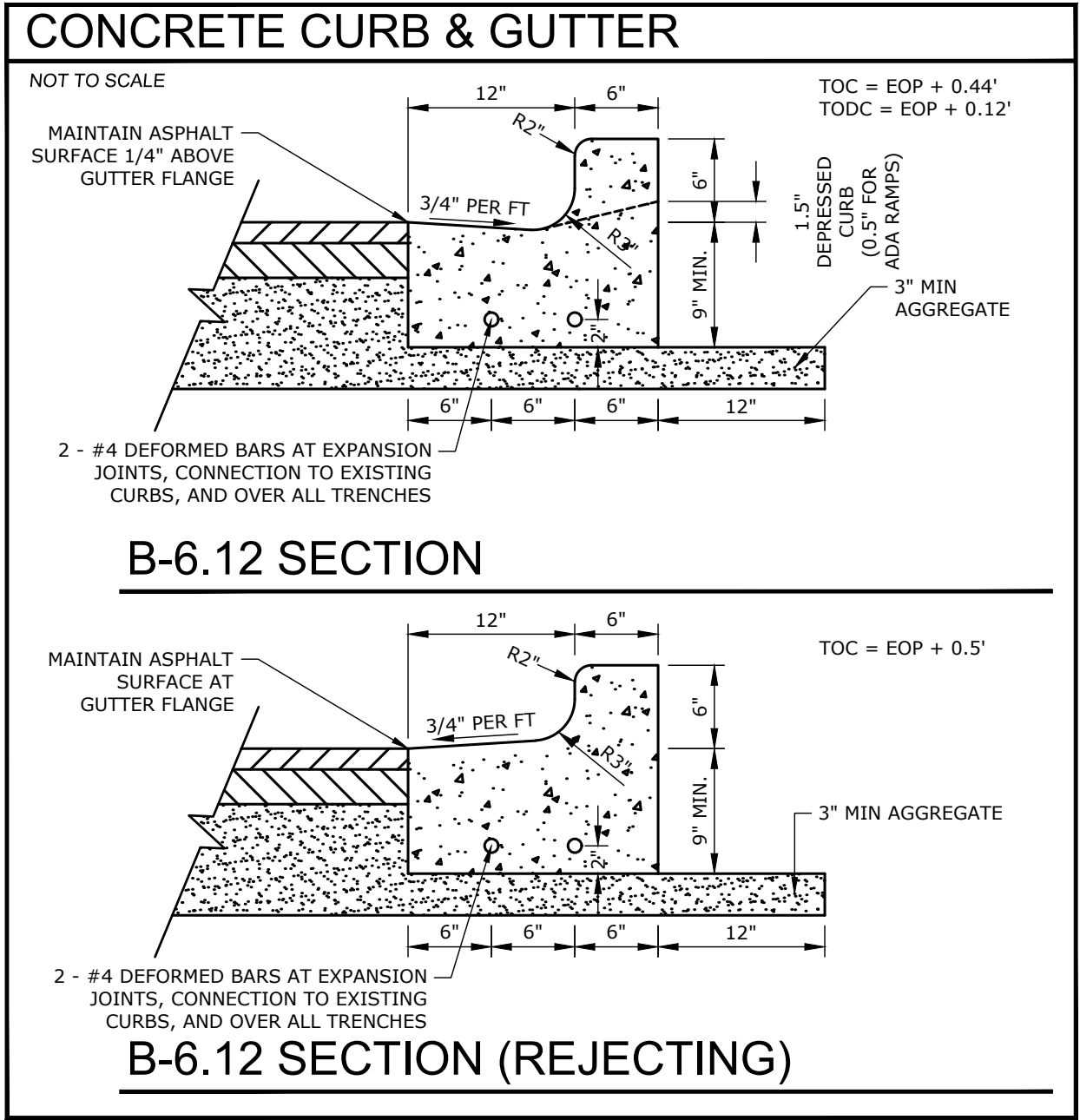
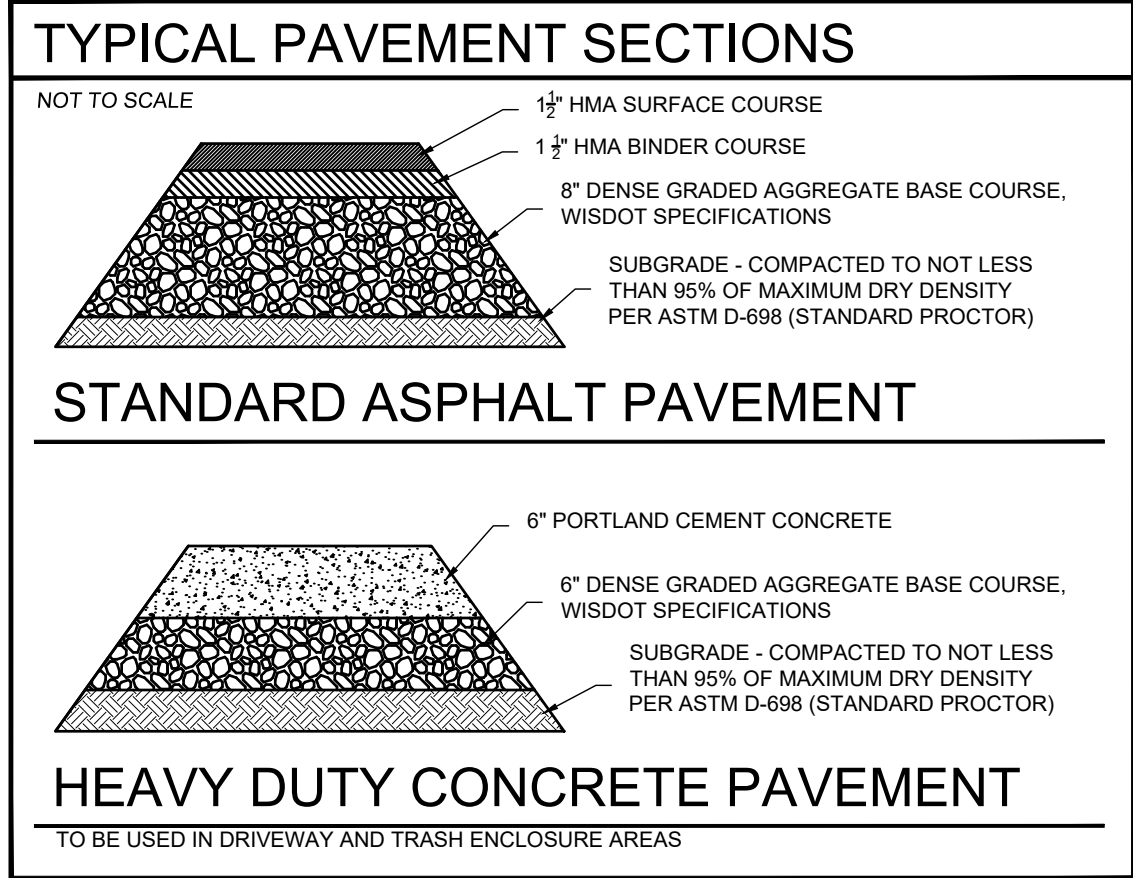
C10



LUMINAIRE SCHEDULE

SYMBOL	TOTAL HEIGHT	ARRANGEMENT	QUANTITY	CREE PART #
	27'	SINGLE	6	OSQ-A-NM-4ME-T-57K-UL-BZ + OSQ-AABZ OSQ-BLSLF

VERIFY LIGHTING FIXTURES WITH CREE LIGHTING PLAN INCLUDED IN SUBMITTAL DOCUMENTS



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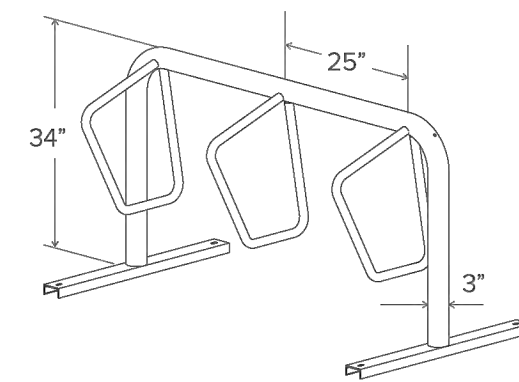
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C11

DERO S4 CAMPUS BICYCLE RACK



Submittal Sheet



CAPACITY 3-11 Bikes

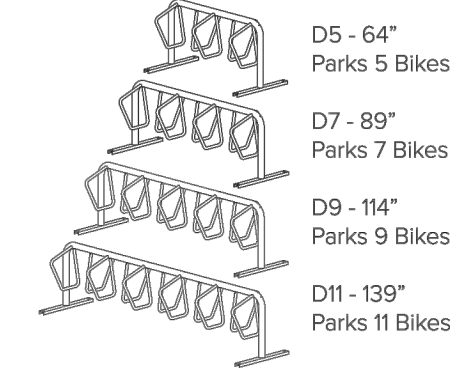
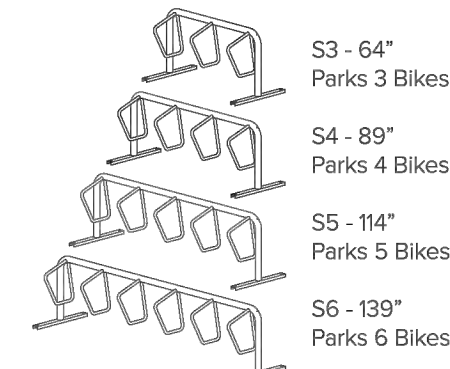
MATERIALS Centerbeam: 3" OD 7 gauge tube
Arms: 1.25" OD 11 gauge tube
All welds to be continuous MIG welds

FINISHES

- Galvanized**
An after fabrication hot dipped galvanized finish is our standard option.
- Powder Coat**
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGIC polyester powder coat
- Stainless**
Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.

MOUNT OPTIONS

- Surface**
Fork Mount has 34" x 3" channel feet and can be left freestanding or anchored to the ground. Tamper-resistant fasteners available upon request.
- In-Ground**
In-ground mount is embedded into concrete base. Specify in-ground mount for this option



REFER TO THE CITY OF MADISON, WI BIKE RACK REQUIREMENTS FOR BICYCLE PARKING SPACE SIZE, DESIGN AND INSTALLATION REQUIREMENTS.

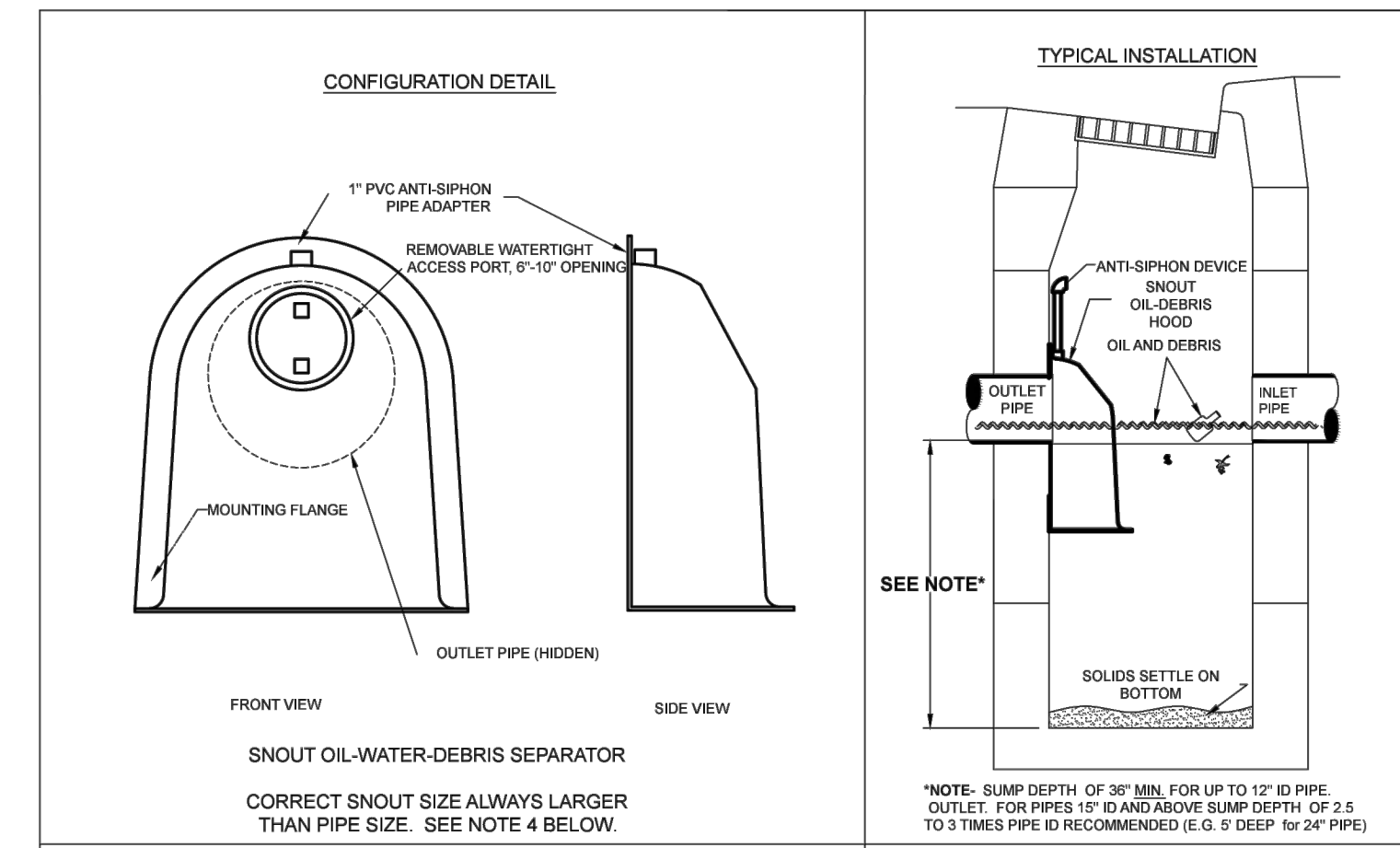
THE SARIS CITY RACK, MADRAX SPARTAN RACK, MADRAX SENTRY RACK, AND MADRAX SHARK RACK ARE ALSO ACCEPTABLE (MINIMUM FOUR SPACES).

ADJUSTMENTS TO THE BICYCLE PARKING AREA MAY BE REQUIRED TO MEET MINIMUM REQUIREMENTS IF A RACK OTHER THAN THE DERO CAMPUS RACK IS SELECTED. ADJUSTMENTS ARE TO BE MADE BY THE CONTRACTOR.

CONTACT ARTHUR ROSS, CITY OF MADISON, WI PEDESTRIAN-BICYCLE COORDINATOR AT (608) 266-6225 FOR QUESTIONS.

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SNOUT BY BEST MANAGEMENT PRACTICES, INC. SPECIFICATIONS

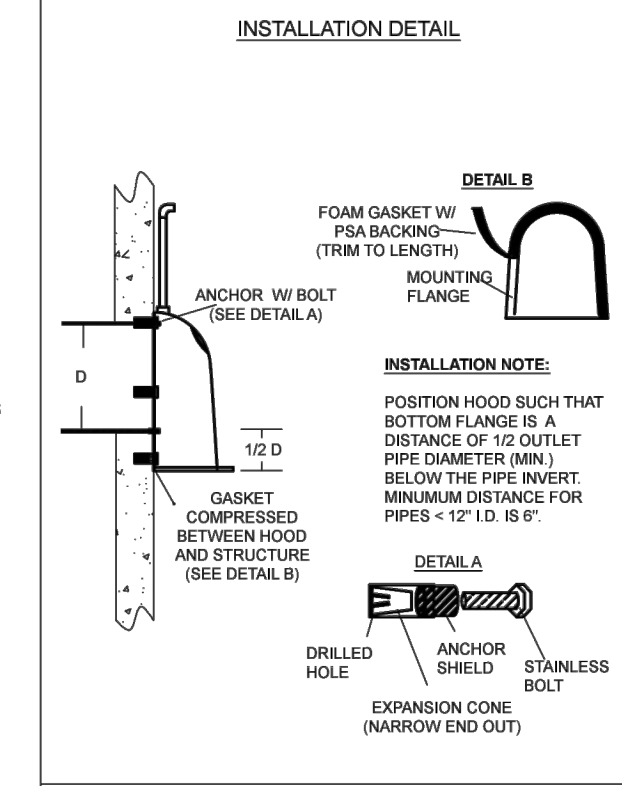


SNOUT OIL-WATER-DEBRIS SEPARATOR
CORRECT SNOUT SIZE ALWAYS LARGER THAN PIPE SIZE. SEE NOTE 4 BELOW.

NOTES:

- ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY: BEST MANAGEMENT PRODUCTS, INC. 9 MATHEWS DRIVE, UNIT A1-A2, EAST HADDAM, CT 06423. TOLL FREE: (800) 504-8008 OR (888) 434-0277. FAX: (877) 454-3197. WEB SITE: www.bmpic.com OR PRE-APPROVED EQUAL.
- ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125" LAMINATE THICKNESS.
- ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT PIPE AND ELBOW AS DRAWN. (SEE CONFIGURATION DETAIL).
- THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION. NOTE: THE CORRECT SNOUT SIZE WILL ALWAYS BE LARGER THAN NOMINAL PIPE SIZE (E.G. 12" ID PIPE REQS. 18 SERIES SNOUT OR LARGER).
- THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A MINIMUM DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 4" FOR PIPES <12" I.D.
- THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL AND PIPE SHALL BE FINISHED FLUSH TO WALL.
- THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 12" ACCORDING TO STRUCTURE CONFIGURATION.
- ALL STRUCTURE JOINTS SHALL BE WATERTIGHT.
- THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL).
- INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT. INSTALLATION KIT SHALL INCLUDE:
A. INSTALLATION INSTRUCTIONS
B. PVC ANTI-SIPHON VENT PIPE AND ADAPTER
C. OIL-RESISTANT CRUSHED CELL FOAM GASKET WITH PSA BACKING
D. 3/8" STAINLESS STEEL BOLTS
E. ANCHOR SHIELDS

US Patent # 6126817, 7951294, 7857966, 8512556
Canada Patent # 2285146, 2690156, 2690156 others pending



HOOD SPECIFICATION FOR CATCH BASINS AND WATER QUALITY STRUCTURES

DESCRIPTION	DATE	SCALE
OIL- DEBRIS HOOD SPECIFICATION AND INSTALLATION (TYPICAL)	01/08/20	NONE
DRAWING NUMBER		SP-SN

ARC DESIGN RESOURCES INC.

5281 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303

www.arcdesign.com
Design Firm License No. 2411-11

PROJECT NAME
OWNER'S NAME

**POPEYES
MADISON, WI**

6831 ODANA RD
MADISON, WI
DANE COUNTY

ABYGROUPS
200 S FRONTAGE RC STE 330
BURR RIDGE, IL 60527
(847) 208-5656

CONSULTANTS

ISSUED FOR

1.	AGENCY REVIEW	DATE
2.	---	10/27/2021
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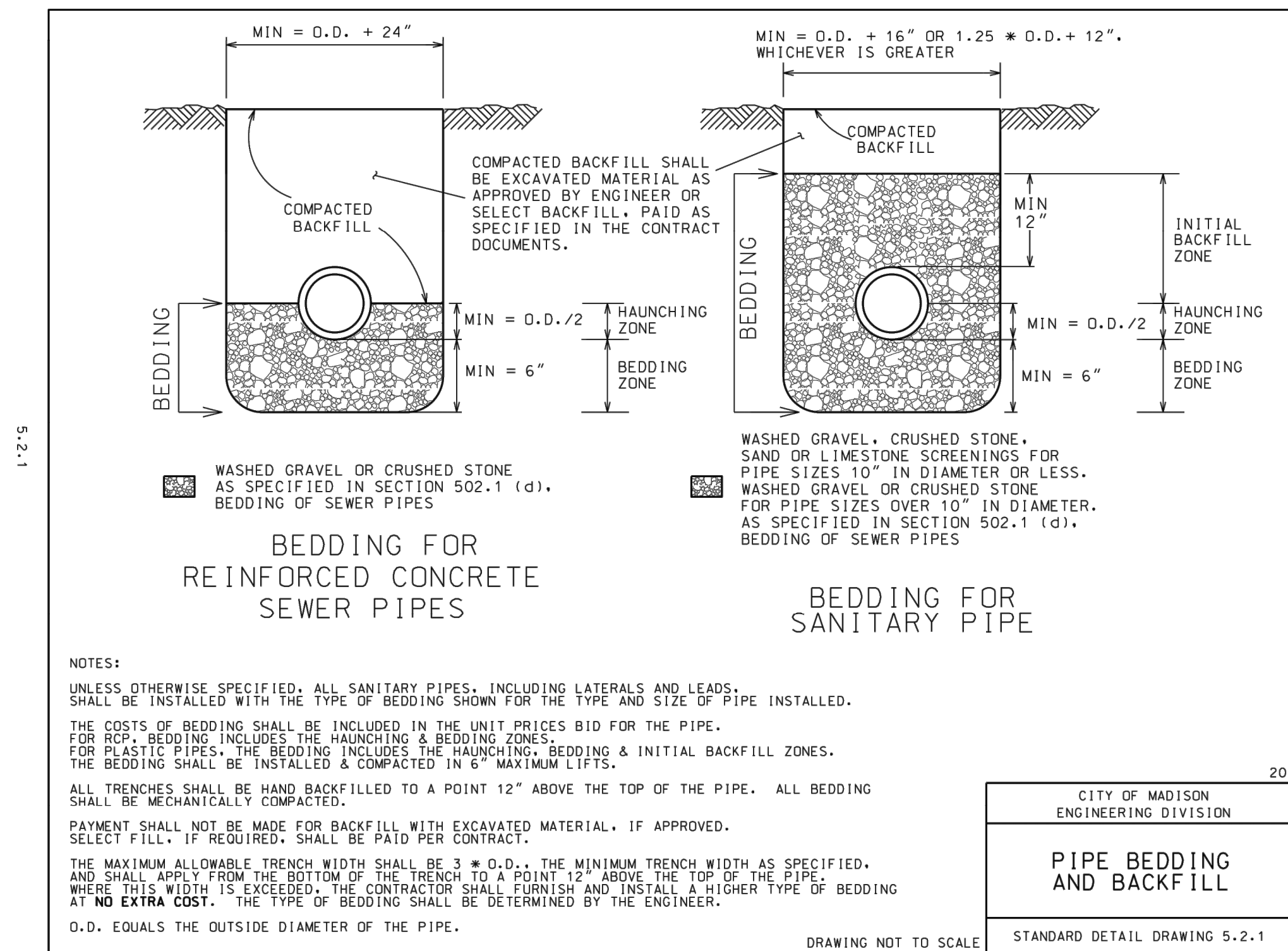
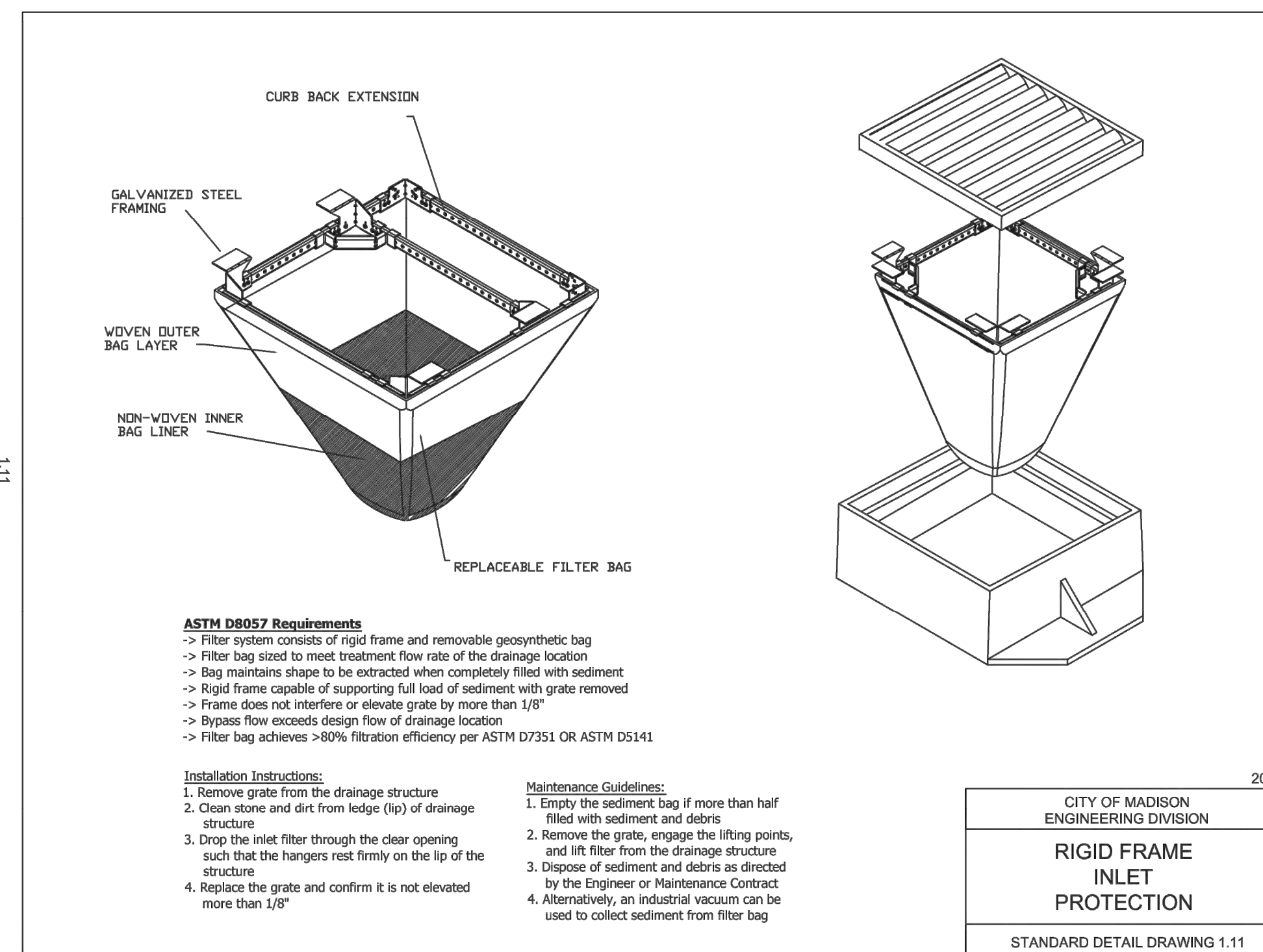
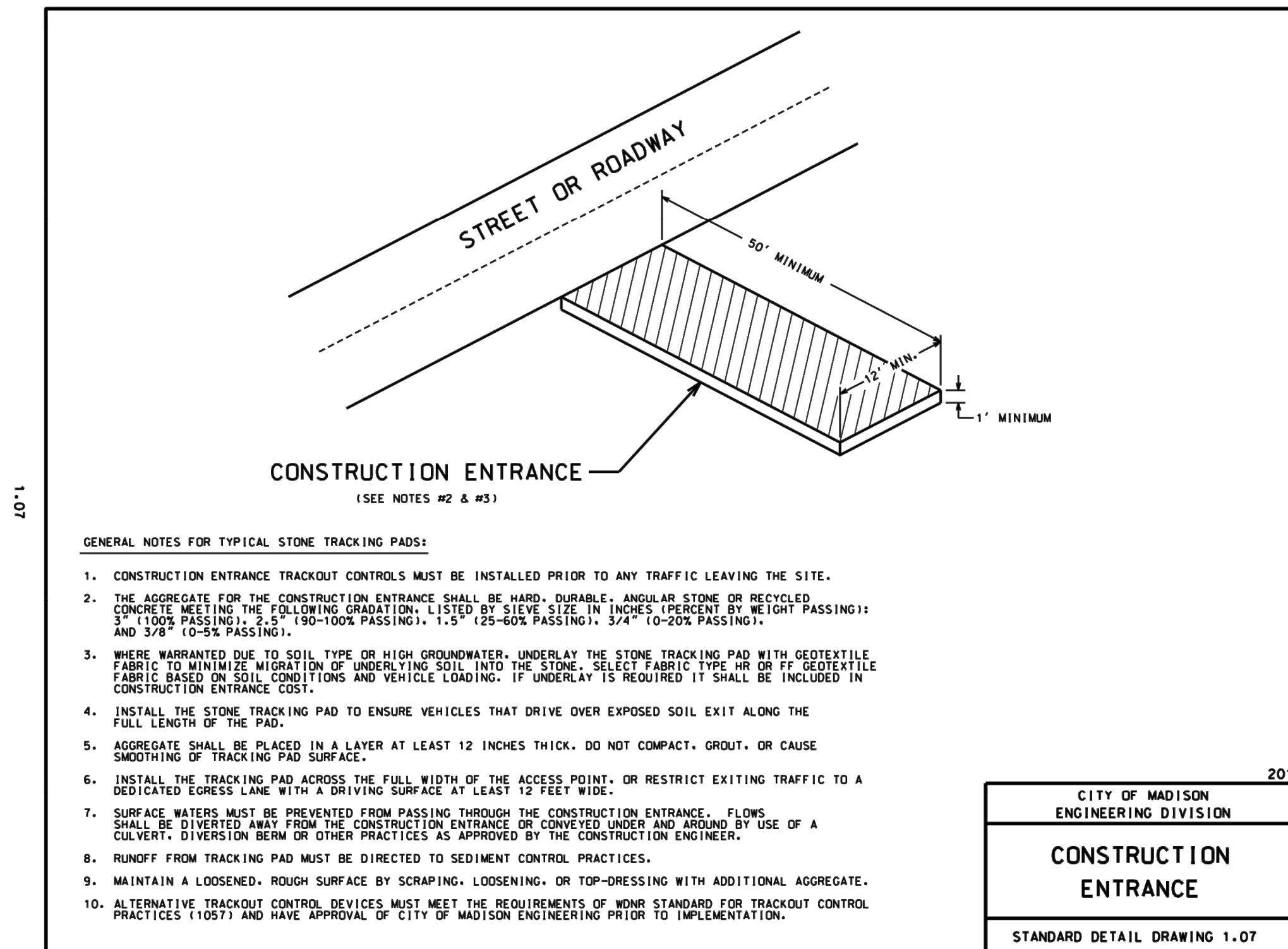
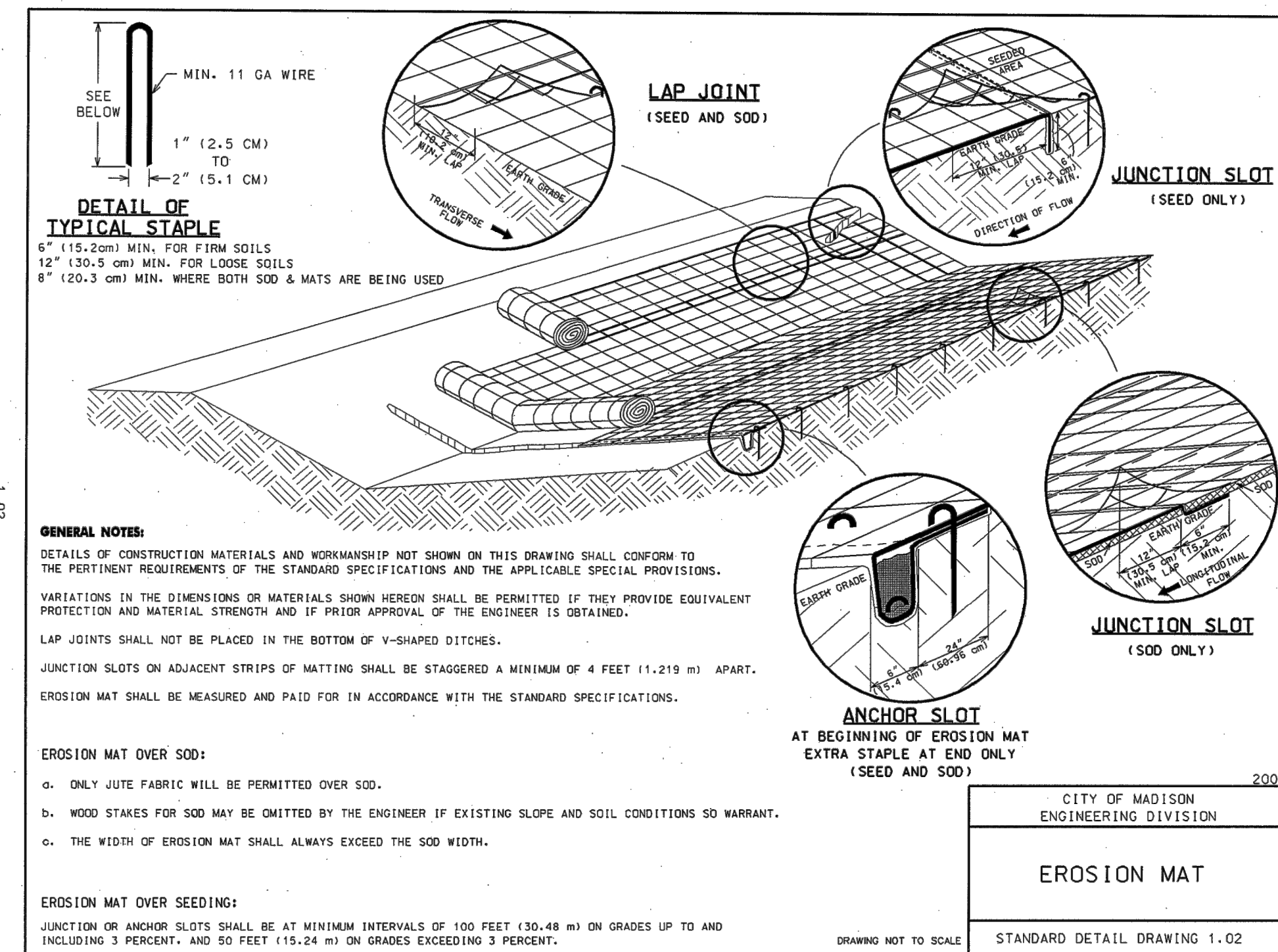
DETAILS

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CHECKED	LND
PM	RCS

PROJECT NUMBER
SHEET NUMBER

19055

C12



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 LOVES PARK, IL 61111
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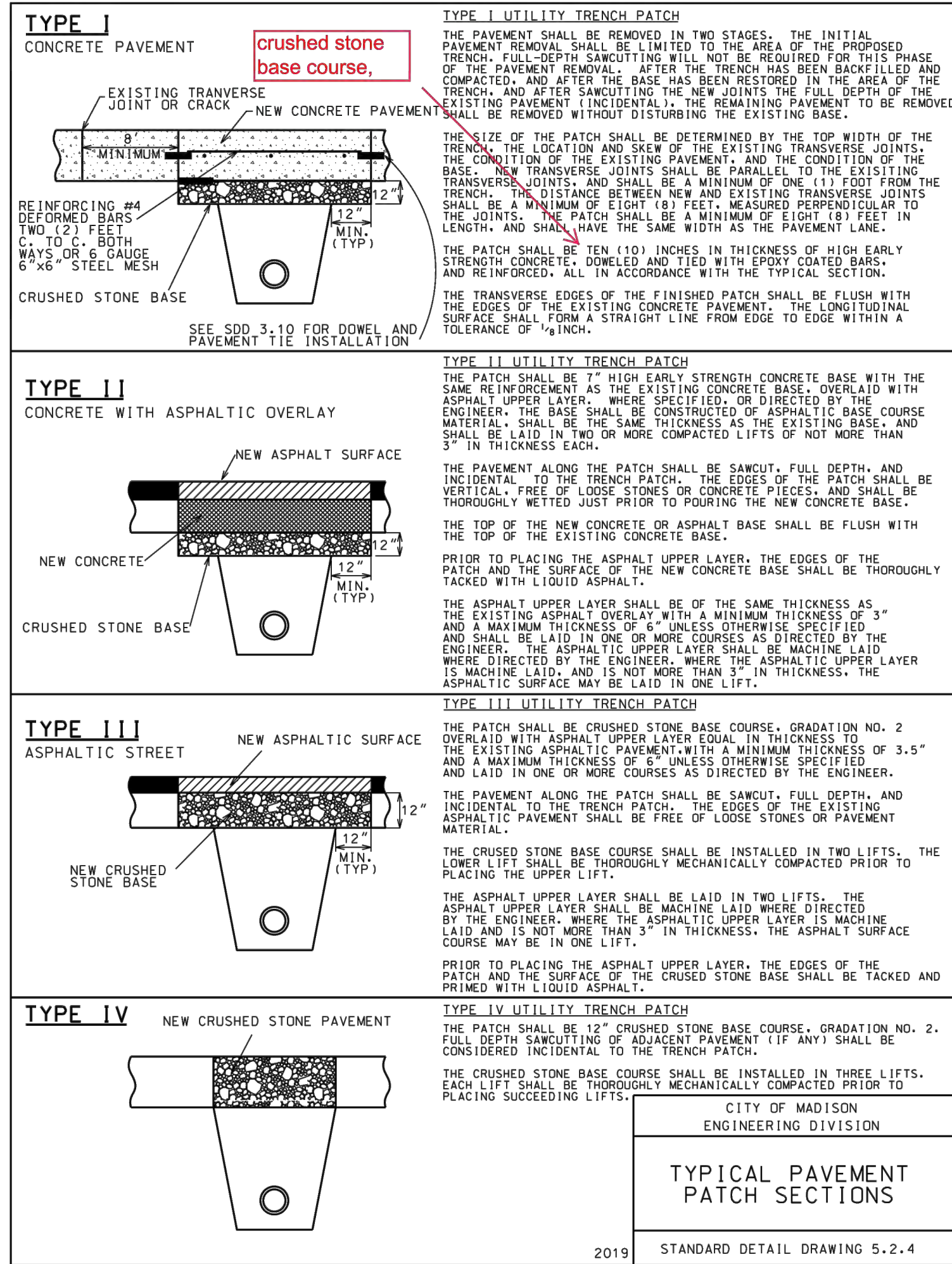
**CITY OF MADISON
 DETAILS**

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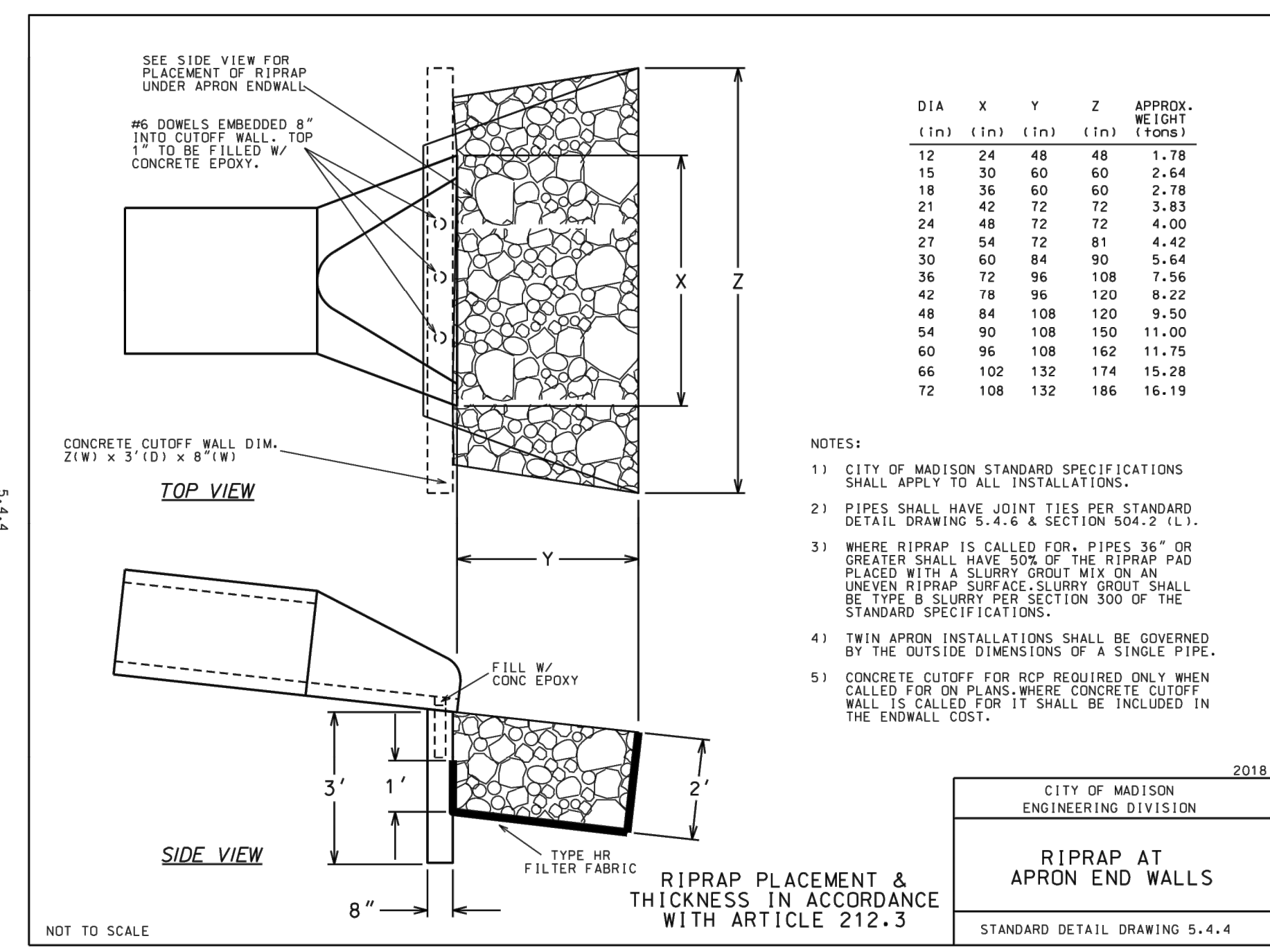
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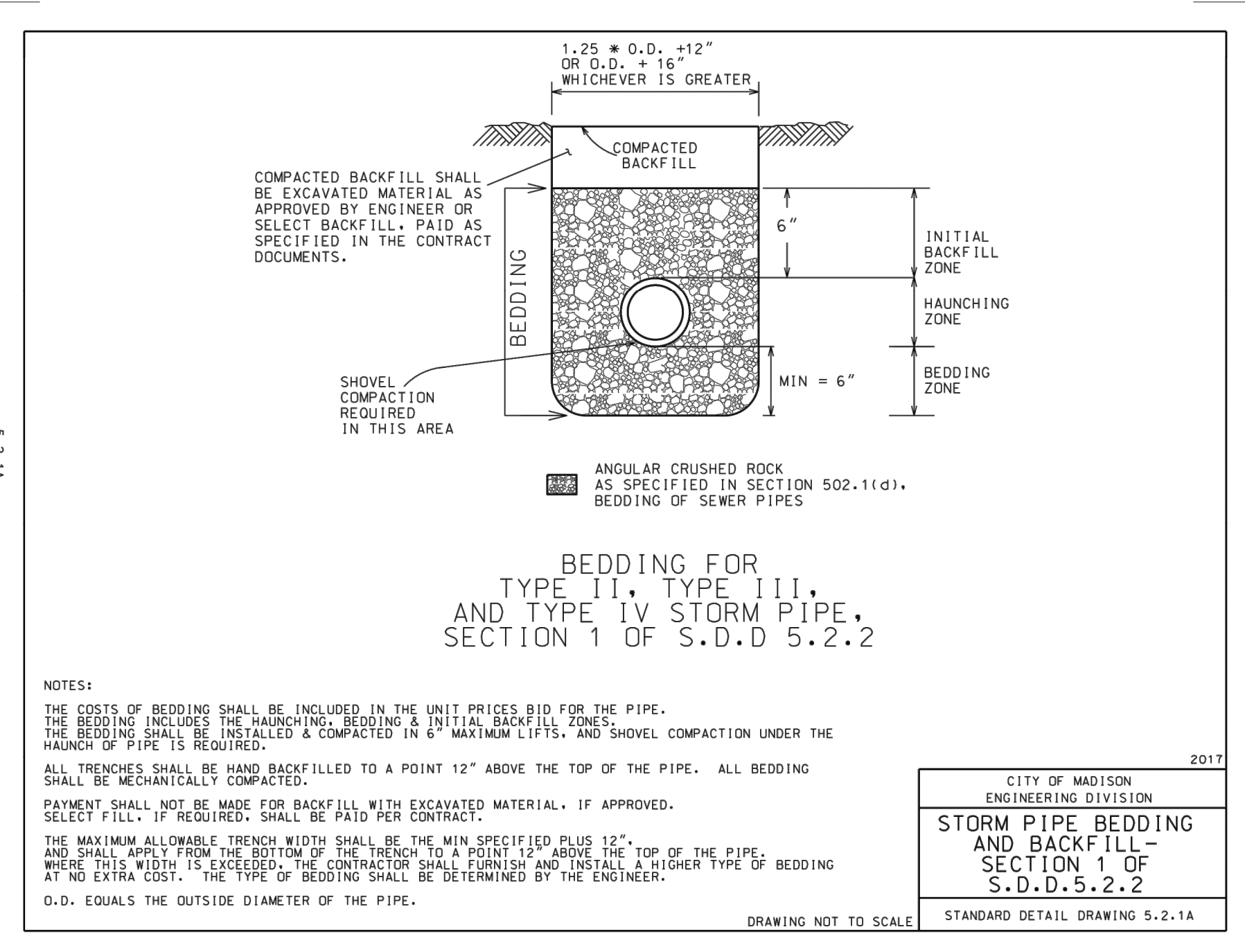
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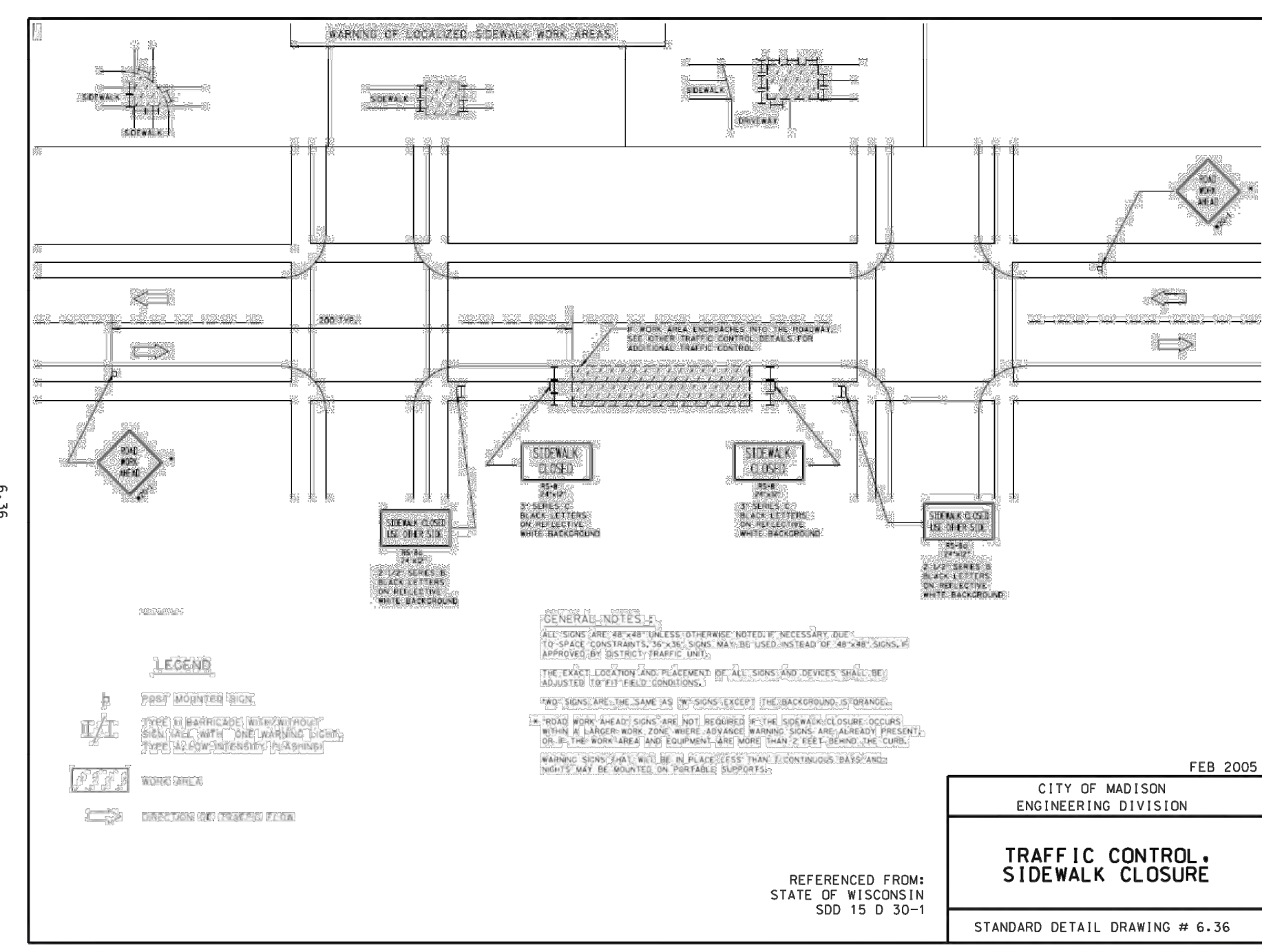
CITY OF MADISON
 ENGINEERING DIVISION
**TYPICAL PAVEMENT
 PATCH SECTIONS**
 2019 STANDARD DETAIL DRAWING 5.2.4



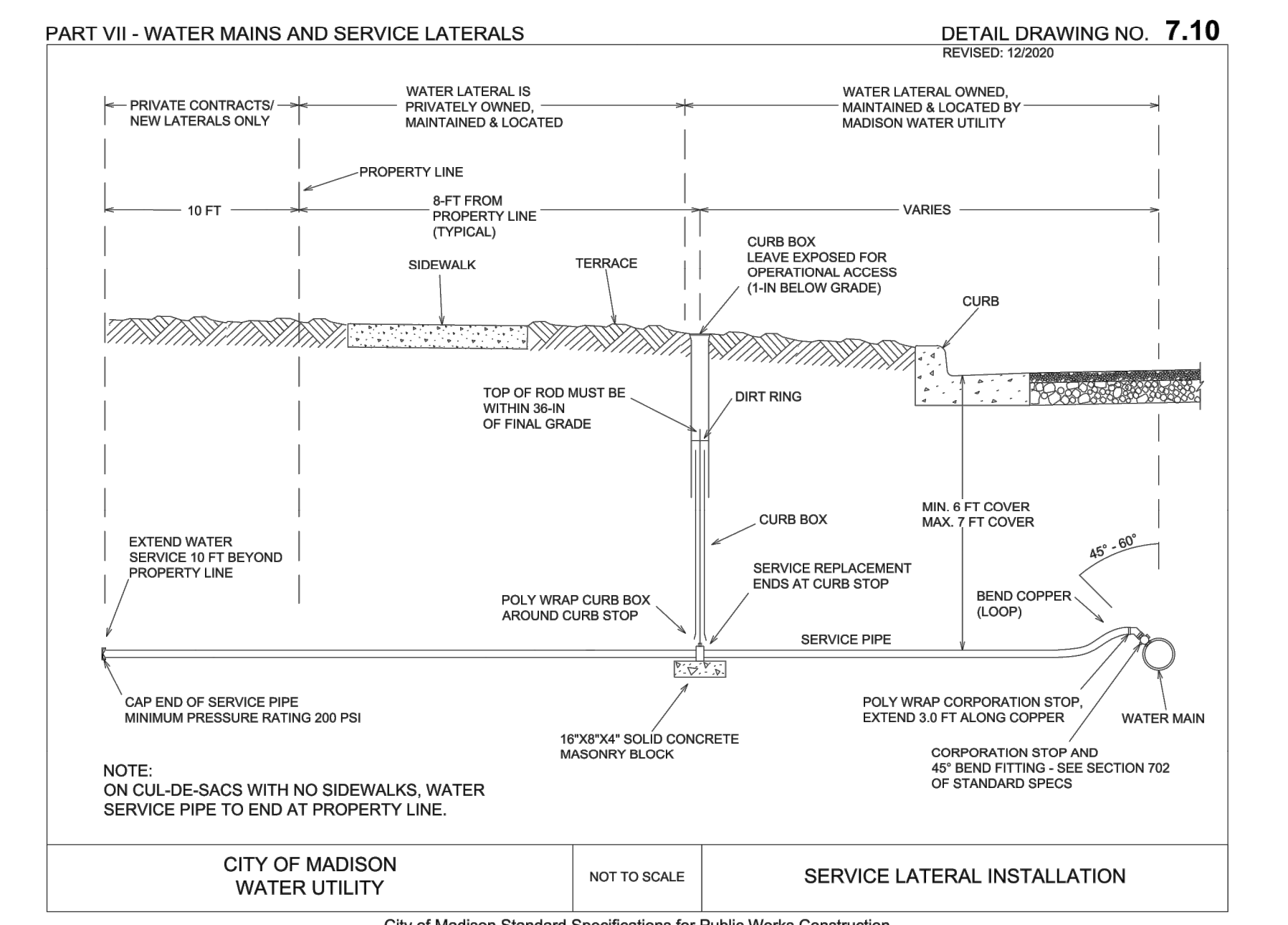
CITY OF MADISON
 ENGINEERING DIVISION
**RIPRAP AT
 APRON END WALLS**
 STANDARD DETAIL DRAWING 5.4.4



CITY OF MADISON
 ENGINEERING DIVISION
**STORM PIPE BEDDING
 AND BACKFILL -
 SECTION 1 OF
 S.D.D. 5.2.2**
 STANDARD DETAIL DRAWING 5.2.1A



CITY OF MADISON
 ENGINEERING DIVISION
**TRAFFIC CONTROL -
 SIDEWALK CLOSURE**
 REFERENCED FROM:
 STATE OF WISCONSIN
 SDD 15 D 30-1
 STANDARD DETAIL DRAWING # 6.36



CITY OF MADISON
 WATER UTILITY
 NOT TO SCALE
 SERVICE LATERAL INSTALLATION
 City of Madison Standard Specifications for Public Works Construction

**ARC DESIGN
 RESOURCES INC.**
 5281 ZENITH PARKWAY
 LOVES PARK, IL 61111
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 FAX: (815) 484-4303
 www.arodesign.com
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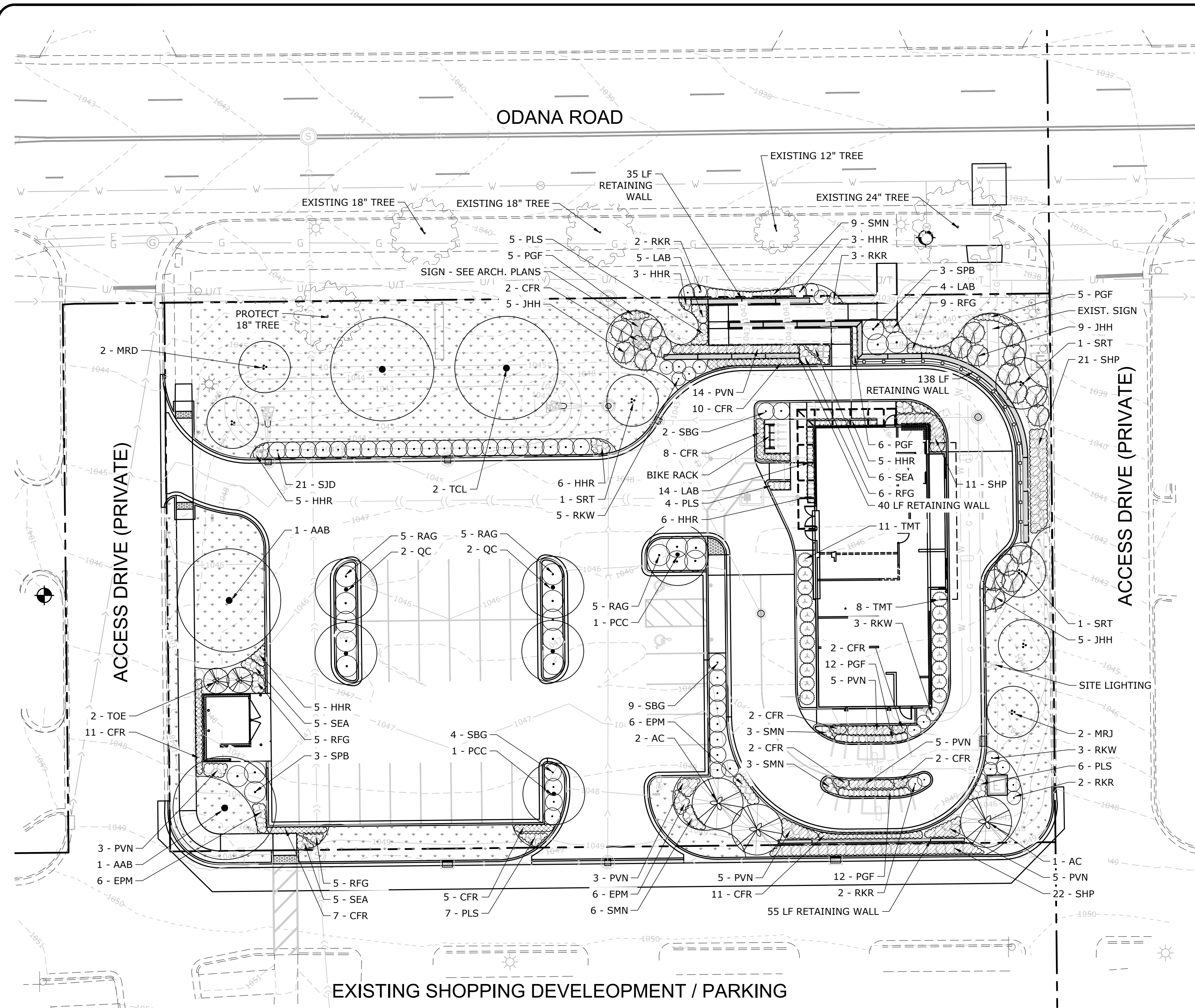
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**CITY OF MADISON
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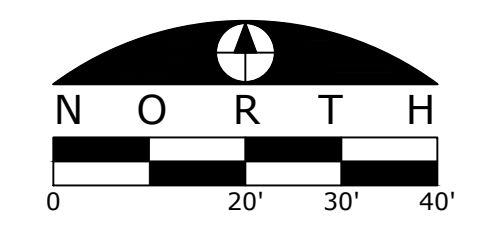
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PROJECT NUMBER
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**19055
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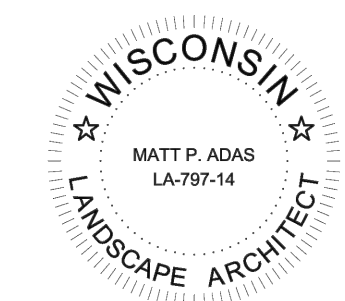
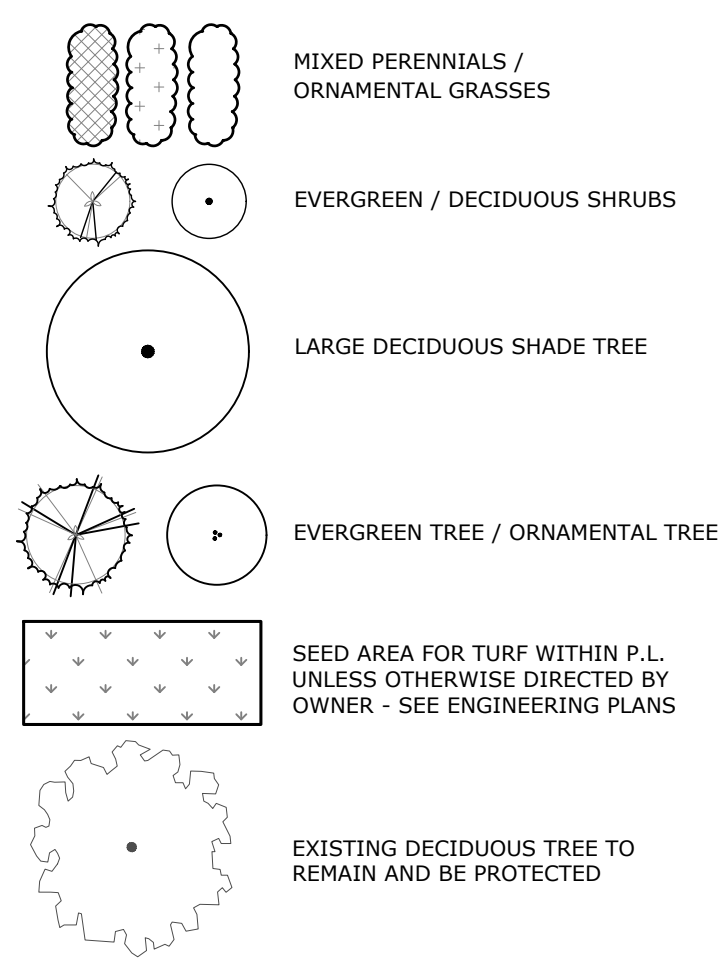


PLANT LIST

KEY	QTY	Botanical name COMMON NAME	SIZE	REMARKS
AAB	2	Acer x 'Autumn Brilliance' AUTUMN BRILLIANCE MAPLE	2.5"	
AC	3	Abies concolor WHITE FIR	6'	EVERGREEN
MRD	2	Malus x 'Ruby Daze' RUBY DAZE CRABAPPLE	7'	MULTI-STEMMED
MRJ	2	Malus x 'Red Jewel' RED JEWEL CRABAPPLE	7'	MULTI-STEMMED
PCC	2	Pyrus calleryana x 'Chanticleer' CHANTICLEER HERITAGE HYBRID PEAR	2.5"	NON-FRUITING HYBRID
QC	4	Quercus x 'Crimschmidt' CRIMSON SPIRE OAK	2.5"	COLUMNAR / HYBRID
SRT	3	Syringa reticulata JAPANESE TREE LILAC	7'	MULTI-STEMMED
TCL	2	Tilia cordata LITTLE LEAF LINDEN	2"	
TOE	2	Thuja occidentalis 'Emerald' EMERALD GREEN ARBORVITAE	5'	EVERGREEN - UPRIGHT
JHH	19	Juniperus horizontalis 'Hughes' HUGHES SPREADING JUNIPER	5 GAL	EVERGREEN
RAG	15	Rhus aromatica 'Gro Lo' GROW LOW FRAGRANT SUMAC	5 GAL	
RKR	9	Rosa x 'Radrazz' KNOCK OUT RED ROSE	5 GAL	HYBRID - REBLOOMING
RKW	11	Rosa x 'Radwhite' KNOCK OUT WHITE ROSE	5 GAL	HYBRID - REBLOOMING
SBG	15	Spiraea betulifolia 'Glow Girl' GLOW GIRL TOR SPIREA	24"	
SJD	21	Spiraea japonica 'Galen' GALEN DOUBLE-PLAY ARTISAN SPIREA	24"	
SPB	6	Syringa patula x 'Bloomingar' DWARF REBLOOMING KOREAN LILAC	24"	
TMT	19	Taxus media x 'Tauntonii' TAUNTON JAPANESE YEW	24"	EVERGREEN
CFR	62	Calamagrostis acutiflora 'Karl Forster' FEATHER REED GRASS	GAL	3'-0" O.C. - ORN. GRASS
EPM	18	Echinacea purpurea 'Magnus' PURPLE CONEFLOWER	GAL	2'-0" O.C. - PERENNIAL
HHR	33	Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILY	GAL	2'-0" O.C. - PERENNIAL
LAB	23	Lavandula angustifolia 'Balavurulu' BALAVURULU SUPER BLUE LAVANDER	GAL	2'-0" O.C. - PERENNIAL
PGF	40	Phlox x glaberrima 'Forever Pink' FOREVER PINK HYBRID PHLOX	GAL	2'-0" O.C. - PERENNIAL
PLS	22	Perovskia atriplicifolia 'Little Sprite' LITTLE SPRITE RUSSIAN SAGE	GAL	2'-0" O.C. - PERENNIAL
PVN	40	Panicum virgatum x 'Apache Rose' APACHE ROSE SWITCH GRASS	GAL	2'-6" O.C. - ORN. GRASS
RFG	25	Rudbeckia fulgida 'Goldsturm' BLACK-EYED SUSAN	GAL	2'-0" O.C. - PERENNIAL
SEA	16	Sedum x 'Autumn Joy' AUTUMN JOY SEDUM	GAL	2'-0" O.C. - PERENNIAL
SMN	21	Salvia nemorosa 'May Night' MAY NIGHT MEADOW SAGE	GAL	2'-0" O.C. - PERENNIAL
SHP	54	Sporobolus heterolepis PRAIRIE DROPSSEED	GAL	2'-6" O.C. - ORN. GRASS



LEGEND

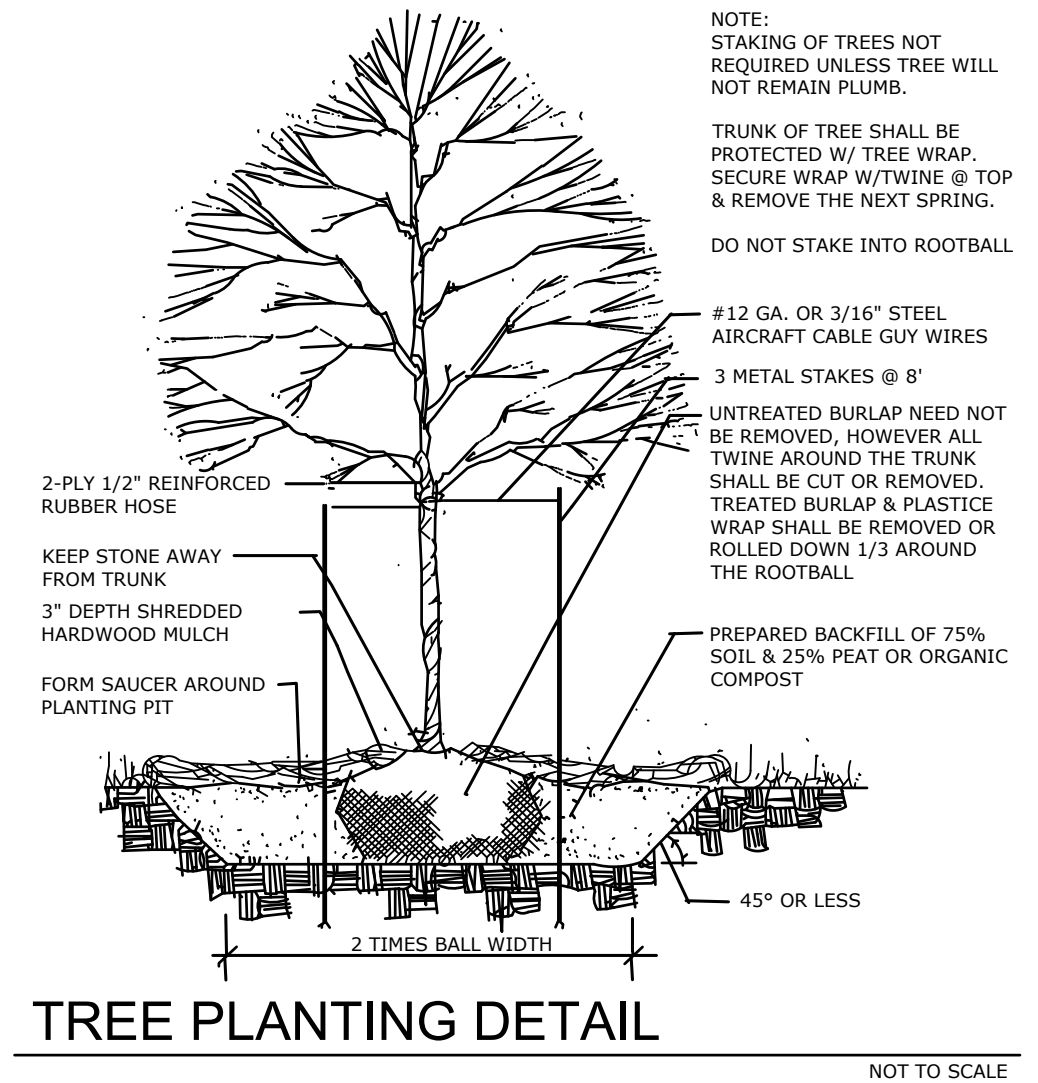


ZONING DATA

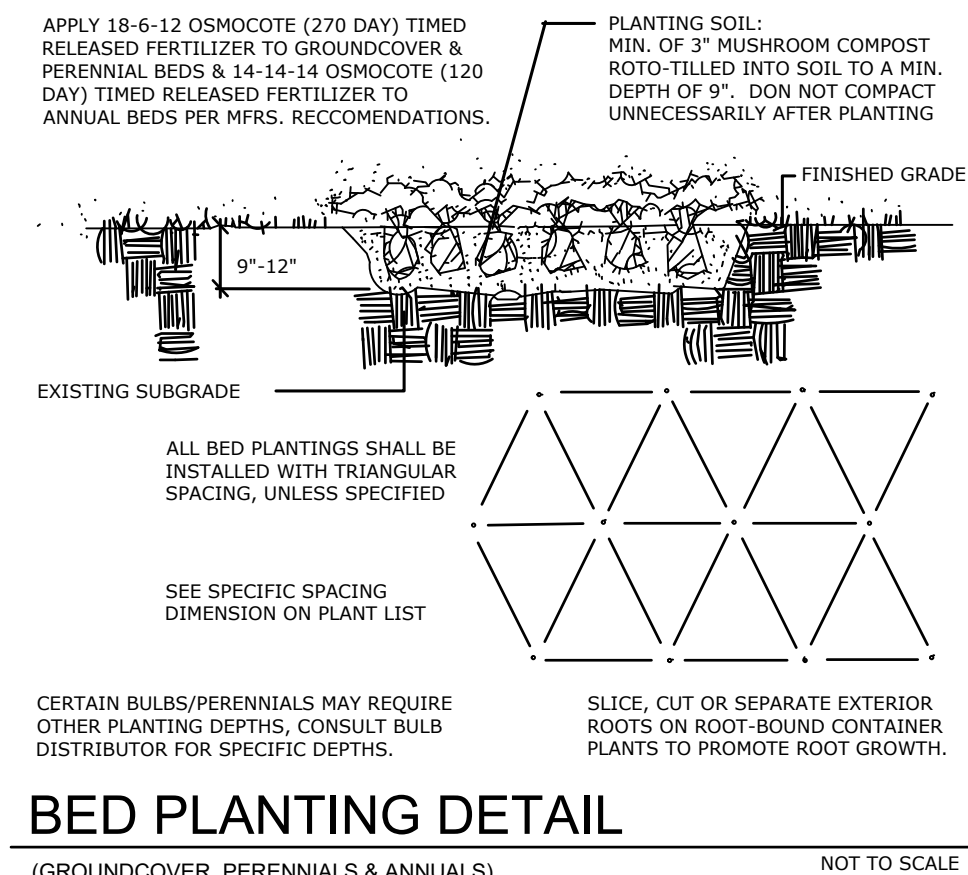
CATEGORY	AREA/QUANTITY	REQUIREMENT	PROVISION
DEVELOPED AREA LANDSCAPE	23,973 S.F. (0.55 ACRE) DEVELOPED AREA	400 POINTS - (5 POINTS PER 300 S.F. DEVELOPED AREA)	538 POINTS - TREES, SHRUBS, PERENNIALS & GRASSES
FRONTAGE LANDSCAPE	261 L.F. - ODANA RD.	9 TREES + 45 SHRUBS (1 TREE + 5 SHRUBS / 30 L.F. FRONTAGE)	9 TREES + 48 SHRUBS (2 SHADE TREES, 4 ORNAMENTAL TREES, 5 EXIST. TREES)
INTERIOR PARKING LOT LANDSCAPING	13,611 S.F. - PARKING LOT	681 S.F. - 5% OF PARKING LOT TO BE INTERIOR LANDSCAPE	861 S.F. - 6% OF PARKING LOT FOR INTERIOR LANDSCAPE AREA
FOUNDATION PLANTINGS	BUILDING FACADES	NO MIN. / MAX QUANTITY - REQUIRED ALONG ALL FACADES OR FOUNDATIONS NOT DIRECTLY ABUTTING SIDEWALK, ETC.	PLANTINGS ALONG ALL FACADES OR FOUNDATIONS NOT DIRECTLY ABUTTING SIDEWALK, ETC.
DISTRICT BOUNDARY SCREENING	N/A - SAME ZONING / USE	N/A - SAME ZONING / USE	N/A - SAME ZONING / USE

PLANTING NOTES

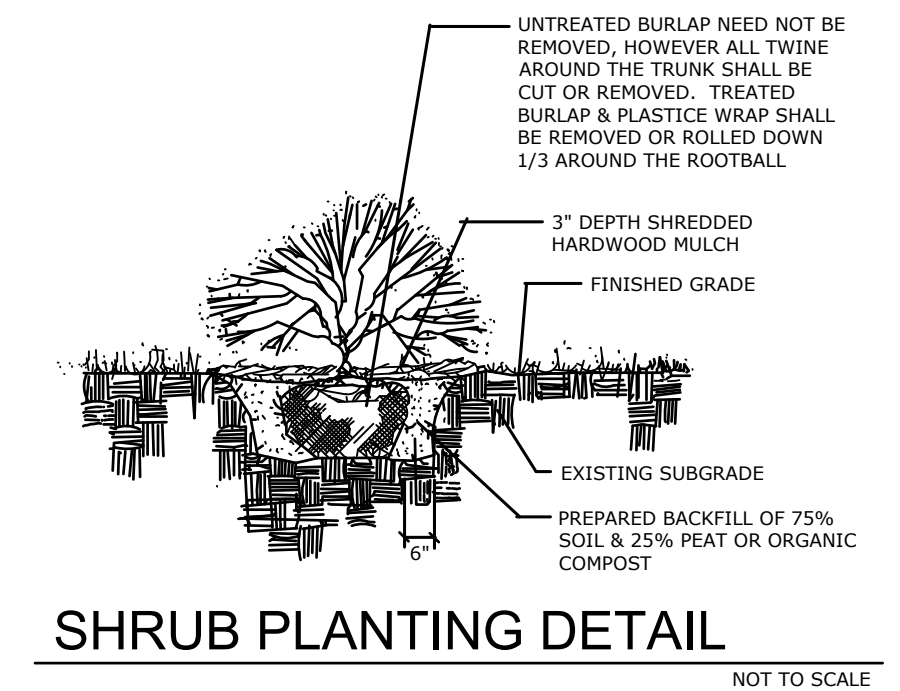
- Landscape Contractor (Contractor) shall make a site visit prior to bidding/construction to inspect the current site conditions and review proposed planting plan and related work. Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.
- Contractor shall verify locations of all underground utilities prior to beginning construction on his phase of work. Electric, gas, telephone, and cable television can be located by calling J.U.I.E. at '811'. For regional locating, contact 'Digger's Hotline'. Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to owner's representative prior to commencing work.
- Contractor is responsible for application and cost of all necessary building permits and code verifications. Submit copies of all documents to owner and landscape architect.
- Contractor shall grade entire site to correct surface irregularities in preparation for sod/seed. Roto-till, disc, drag, harrow or hand rake sub grade in all lawn areas and remove construction debris, foreign matter or stones larger than 2". Grading shall provide slopes which are smooth, continuous, free from depressions or ridges. Level, rake and roll as necessary to an even and true condition and obtain positive drainage in all areas. Finish grades shall meet the approval of owner prior to lawn installation.
- All disturbed areas should be brought to grade with "topsoil" to a depth of 6 inches in areas to be seeded or sodded, and 12 inches for all interior (curbed) landscape islands. All lawn areas are to be finished with mulch, straw mulch, seed, sod, etc. or as noted. All lawn areas to be watered until a healthy stand of grass is established. (see seed/sod notes for acceptance details).
- Quantity lists are supplied as a convenience; however, the contractor should verify all quantities. The drawings shall take precedence over the lists.
- Plantings may need to be adjusted in the field to accommodate utilities, easements, drainage ways, downspouts, etc.; however, quantities and sizes shall remain consistent with these plans.
- Size & grading standards of plant material shall conform to the latest addition of ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association. Plant material shall be nursery grown and be either balled and burlap or container grown.
- All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner.
- Any plant materials with damaged or crooked/distorted leaders, bark abrasion, sun scald, insect damage, etc. are not acceptable and will be rejected by Landscape Architect and/or Owner. Trees with multiple leaders will be rejected unless called for in the plant list as multi-trunk or clump.
- All plant material, especially trees, must be sourced within a fifty (50) mile radius of the subject property construction site.
- Upon inspection and acceptance of all landscape items by Landscape Architect and/or Owner the contractor shall assume maintenance responsibilities for a period of thirty (30) days, for all plant material, to include: watering, cultivating, weeding, pruning, mulching and spraying as necessary to keep plants free of insects and in a healthy, vigorous condition until responsibility is transferred to the owner (see below).
- All plant material shall be guaranteed for one (1) year after acceptance by landscape architect and/or owner. After the first thirty (30) days, the owner shall assume maintenance responsibilities as described (see above). Contractor shall replace without cost to owner any dead or unacceptable plants, as determined by the landscape architect at the end of one (1) year guarantee period. Contractor shall notify immediately, in writing, any concerns related to maintenance practices.
- All planting beds and tree saucers shall be mulched continuous with 3" depth shredded hardwood mulch, see planting details. All deciduous trees (shade / ornamental) that are not located in in a planting bed shall be mulched with a 3'-0" diameter circle. Evergreen trees and multi-stemmed ornamental trees shall be mulched to outer-most branches at the time of installation.
- Planting edge delineation at all planting bed lines and tree saucers shall require a minimum 4" depth "vee" shaped cultivated, spaded edge with a vertical face abutting all lawn areas and sloped to inside of planting bed continuous between lawn and mulched areas as indicated on plan.
- Contractor to seed all disturbed lawn areas. Seeded lawn to be a combination of bluegrass, perennial ryegrass and red fescue with the suggested following analysis by weight: 30% rugby Kentucky bluegrass, 20% park Kentucky bluegrass, 20% creeping red fescue, 20% scalds hard fescue, and 10% perennial ryegrass. Seed to be applied at a rate of 4 lbs. per 1,000 s.f.. All seeded lawn areas shall be covered with straw mulch or erosion control netting, consisting of hand or machine application at a rate of 2 ton per acre. Mulch shall be compact enough to reduce erosion of seed and topsoil but loose enough to allow air to circulate. Install per Method 1, Section 25.1, of the Standard Specifications for Road and Bridge Construction.
- All seeded turf areas shall be fertilized at installation with 6-20-20 analysis, at a rate of 6 lbs. per 1,000 s.f.. A second application of 21-7-14 to be applied at rate of 6 lbs. per 1,000 s.f. after the first cutting.
- Acceptance and guarantee notes shall apply to all seeded areas.
- Acceptance of grading and seed shall be by landscape architect and/or owner. Contractor shall assume maintenance responsibilities for a minimum of sixty (60) days or until second cutting, whichever is longer. Maintenance shall include watering, weeding, re-seeding (wash-offs) and other operations necessary to keep lawn in a thriving condition. Upon final acceptance, owner shall assume all maintenance responsibilities. After lawn areas have germinated, areas which fail to show a uniform stand of grass for any reason whatsoever shall be re-seeded repeatedly until all areas are covered with a satisfactory stand of grass. Minimum acceptance of seeded lawn areas may include scattered bare or dead spots, none of which are larger than one (1) square foot and when combined do not exceed 2% of total lawn area.



TREE PLANTING DETAIL
NOT TO SCALE



BED PLANTING DETAIL
(GROUND COVER, PERENNIALS & ANNUALS)
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

ARC DESIGN RESOURCES INC.
5281 ZENITH PARKWAY
LOVES PARK, IL 61111
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CONSULTANTS

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REVISIONS

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SHEET TITLE
LANDSCAPING PLAN

DRAWN	KG
CHECKED	LND
PM	RCS

PROJECT NUMBER
SHEET NUMBER
19055
L01



CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.142 Madison General Ordinance

Project Location / Address _____

Name of Project _____

Owner / Contact _____

Contact Phone _____ Contact Email _____

**** Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size
MUST be prepared by a registered landscape architect. ****

Applicability

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless **all** of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Calculations and Distribution

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and Zoning District.

- (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

- (b) **For lots larger than five (5) acres**, points shall be provided at five (5) points per three hundred (300) square feet for the first five (5) developed acres, and one (1) point per one hundred (100) square feet for all additional acres.

Total square footage of developed area _____

Five (5) acres = 217,800 square feet

First five (5) developed acres = 3,630 points

Remainder of developed area _____

Total landscape points required _____

- (c) **For the Industrial – Limited (IL) and Industrial – General (IG) districts**, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area _____

Total landscape points required _____

Tabulation of Points and Credits

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35				
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35				
Ornamental tree	1 1/2 inch caliper	15				
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10				
Shrub, deciduous	#3 gallon container size, Min. 12”-24”	3				
Shrub, evergreen	#3 gallon container size, Min. 12”-24”	4				
Ornamental grasses/ perennials	#1 gallon container size, Min. 8”-18”	2				
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.				
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200				
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per “seat”				
Sub Totals						

Total Number of Points Provided _____

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, as foundation plantings, or as general site landscaping. The total number of landscape points provided shall be distributed on the property as follows.

Total Developed Area

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and docking/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

Development Frontage Landscaping

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant materials.

Interior Parking Lot Landscaping

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the interior parking lot standards.

Foundation Plantings

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses.

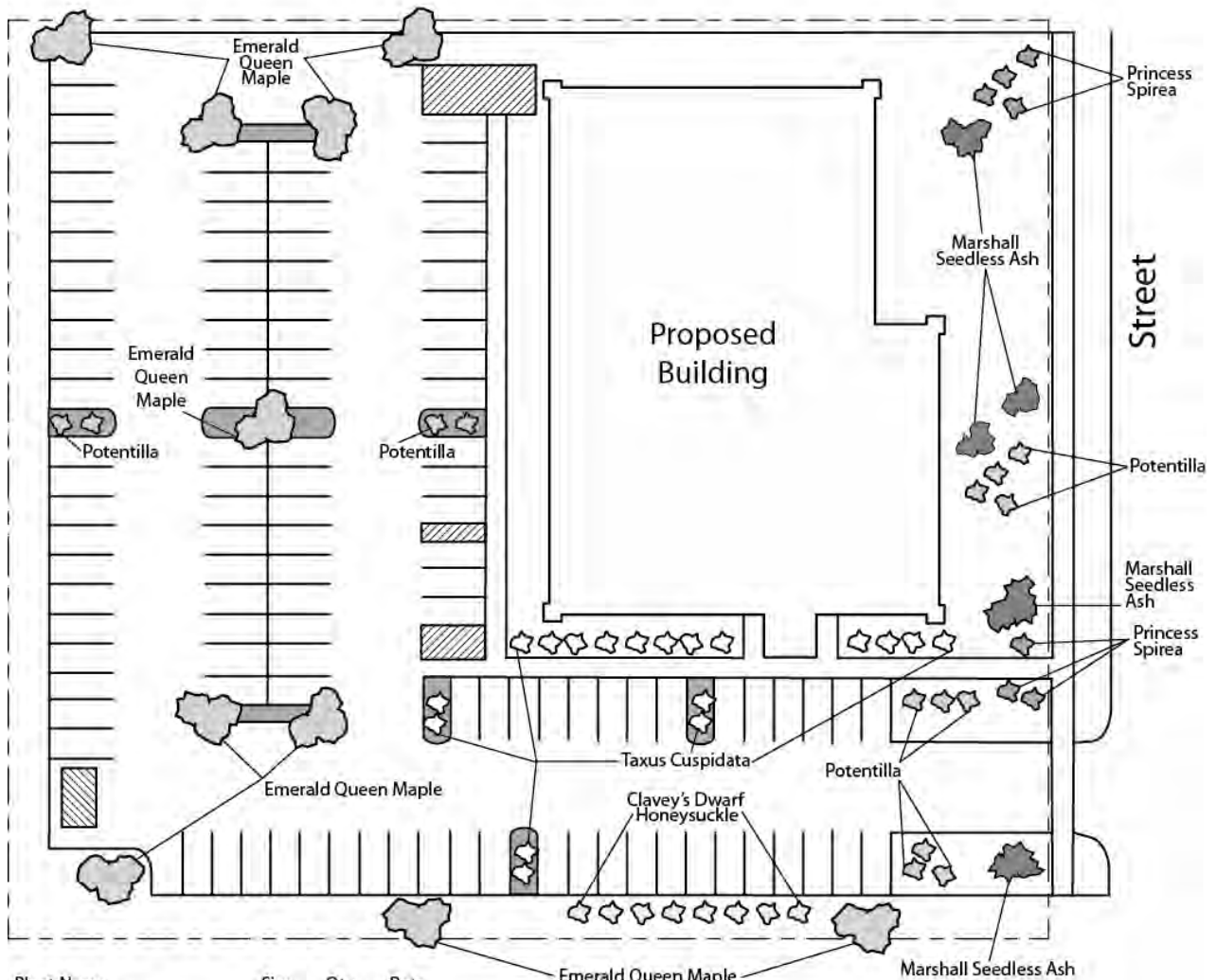
Screening Along District Boundaries

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts.

Screening of Other Site Elements

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site: refuse disposal areas, outdoor storage areas, loading areas, and mechanical equipment.

Example Landscape Plan



Plant Name	Size	Qty.	Pnts.
Emerald Queen Maple	2-2.5"	9	-
Marshall Seedless Ash	2-2.5"	4	450
Clavey's Dwarf Honeysuckle	1 Gal	8	24
Princess Spirea	1 Gal	7	21
Potentilla	1 Gal	10	30
Taxus Cuspidata	2 Gal	12	60
			TOTAL 585

Call City Zoning, 266-4551, with your questions about this type of plan

LANDSCAPE PLAN AND LANDSCAPE WORKSHEET INSTRUCTIONS

Refer to Zoning Code Section 28.142 LANDSCAPING AND SCREENING REQUIREMENTS for the complete requirements for preparing and submitting a Landscape Plan and Landscape Worksheet.

Applicability.

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and their accessory structures. The entire development site must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:

- (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten-(10) year period.
- (b) Gross floor area is only increased by ten percent (10%) during any ten-(10) year period.
- (c) No demolition of a principal building is involved.
- (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.

Landscape Plan and Design Standards.

Landscape plans shall be submitted as a component of a site plan, where required, or as a component of applications for other actions, including zoning permits, where applicable. Landscape plans for zoning lots greater than ten thousand (10,000) square feet in size must be prepared by a registered landscape architect.

- (a) Elements of the landscape plan shall include the following:
 1. Plant list including common and Latin names, size and root condition (i.e. container or ball & burlap).
 2. Site amenities, including bike racks, benches, trash receptacles, etc.
 3. Storage areas including trash and loading.
 4. Lighting (landscape, pedestrian or parking area).
 5. Irrigation.
 6. Hard surface materials.
 7. Labeling of mulching, edging and curbing.
 8. Areas of seeding or sodding.
 9. Areas to remain undisturbed and limits of land disturbance.
 10. Plants shall be depicted at their size at sixty percent (60%) of growth.
 11. Existing trees eight (8) inches or more in diameter.
 12. Site grading plan, including stormwater management, if applicable.
- (b) Plant Selection. Plant materials provided in conformance with the provisions of this section shall be nursery quality and tolerant of individual site microclimates.
- (c) Mulch shall consist of shredded bark, chipped wood or other organic material installed at a minimum depth of two (2) inches.

Landscape Calculations and Distribution.

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area, for the purpose of this requirement, is defined as that area within a single contiguous boundary which is made up of structures, parking driveways and docking/loading facilities, but **excluding** the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot.

- (a) Landscaping shall be distributed throughout the property along street frontages, within parking lot interiors, and as foundation plantings, or as general site landscaping.
- (b) Planting beds or planted areas must have at least seventy-five percent (75%) vegetative cover.
- (c) Canopy tree diversity requirements for new trees:
 1. If the development site has fewer than 5 canopy trees, no tree diversity is required.
 2. If the development site has between 5 and 50 canopy trees, no single species may comprise more than 33% of trees.
 3. If the development site has more than 50 canopy trees, no single species may comprise more than 20% of trees.

Development Frontage Landscaping.

Landscaping and/or ornamental fencing shall be provided between buildings or parking areas and the adjacent street(s), except where buildings are placed at the sidewalk. Landscape material shall include a mix of plant material meeting the following minimum requirements:

- (a) One (1) overstory deciduous tree and five (5) shrubs shall be planted for each thirty (30) lineal feet of lot frontage. Two (2) ornamental trees or two (2) evergreen trees may be used in place of one (1) overstory deciduous tree.
- (b) In cases where building facades directly abut the sidewalk, required frontage landscaping shall be deducted from the required point total.
- (c) In cases where development frontage landscaping cannot be provided due to site constraints, the zoning administrator may waive the requirement or substitute alternative screening methods for the required landscaping.
- (d) Fencing shall be a minimum of three (3) feet in height, and shall be constructed of metal, masonry, stone or equivalent material. Chain link or temporary fencing is prohibited.

Interior Parking Lot Landscaping.

The purpose of interior parking lot landscaping is to improve the appearance of parking lots, provide shade, and improve stormwater infiltration. **All parking lots with twenty (20) or more parking spaces** shall be landscaped in accordance with the following interior parking lot standards.

- (a) For new development on sites previously undeveloped or where all improvements have been removed, a minimum of eight percent (8%) of the asphalt or concrete area of the parking lot shall be devoted to interior planting islands, peninsulas, or landscaped strips. For changes to a developed site, a minimum of five percent (5%) of the asphalt or concrete area shall be interior planting islands, peninsulas, or landscaped strips. A planting island shall be located at least every twelve (12) contiguous stalls with no break or alternatively, landscaped strips at least seven (7) feet wide between parking bays.
- (b) The primary plant materials shall be shade trees with at least one (1) deciduous canopy tree for every one hundred sixty (160) square feet of required landscaped area. Two (2) ornamental deciduous trees may be substituted for one (1) canopy tree, but ornamental trees shall constitute no more than twenty-five percent (25%) of the required trees. No light poles shall be located within the area of sixty percent (60%) of mature growth from the center of any tree.
- (c) Islands may be curbed or may be designed as uncurbed bio-retention areas as part of an approved low impact stormwater management design approved by the Director of Public Works. The ability to maintain these areas over time must be demonstrated. (See Chapter 37, Madison General Ordinances, Erosion and Stormwater Runoff Control.)

Foundation Plantings.

Foundation plantings shall be installed along building facades, except where building facades directly abut the sidewalk, plaza, or other hardscape features. Foundation plantings shall consist primarily of shrubs, perennials, and native grasses. The Zoning Administrator may modify this requirement for development existing prior to the effective date of this ordinance, as long as improvements achieve an equivalent or greater level of landscaping for the site.

Screening Along District Boundaries.

Screening shall be provided along side and rear property boundaries between commercial, mixed use or industrial districts and residential districts. Screening shall consist of a solid wall, solid fence, or hedge with year-round foliage, between six (6) and eight (8) feet in height, except that within the front yard setback area, screening shall not exceed four (4) feet in height. Height of screening shall be measured from natural or approved grade. Berms and retaining walls shall not be used to increase grade relative to screening height.

Screening of Other Site Elements.

The following site elements shall be screened in compatibility with the design elements, materials and colors used elsewhere on the site, as follows:

- (a) Refuse Disposal Areas. All developments, except single family and two family developments, shall provide a refuse disposal area. Such area shall be screened on four (4) sides (including a gate for access) by a solid, commercial-grade wood fence, wall, or equivalent material with a minimum height of six (6) feet and not greater than seven (7) feet.
- (b) Outdoor Storage Areas. Outdoor storage areas shall be screened from abutting residential uses with a by a building wall or solid, commercial-grade wood fence, wall, year-round hedge, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (c) Loading Areas. Loading areas shall be screened from abutting residential uses and from street view to the extent feasible by a building wall or solid, commercial-grade wood fence, or equivalent material, with a minimum height of six (6) feet and not greater than seven (7) feet. Screening along district boundaries, where present, may provide all or part of the required screening.
- (d) Mechanical Equipment. All rooftop and ground level mechanical equipment and utilities shall be fully screened from view from any street or residential district, as viewed from six (6) feet above ground level. Screening may consist of a building wall or fence and/or landscaping as approved by the Zoning Administrator.

Maintenance.

The owner of the premises is responsible for the watering, maintenance, repair and replacement of all landscaping, fences, and other landscape architectural features on the site. All planting beds shall be kept weed free. Plant material that has died shall be replaced no later than the upcoming June 1.