



Location
312 North Hamilton Street

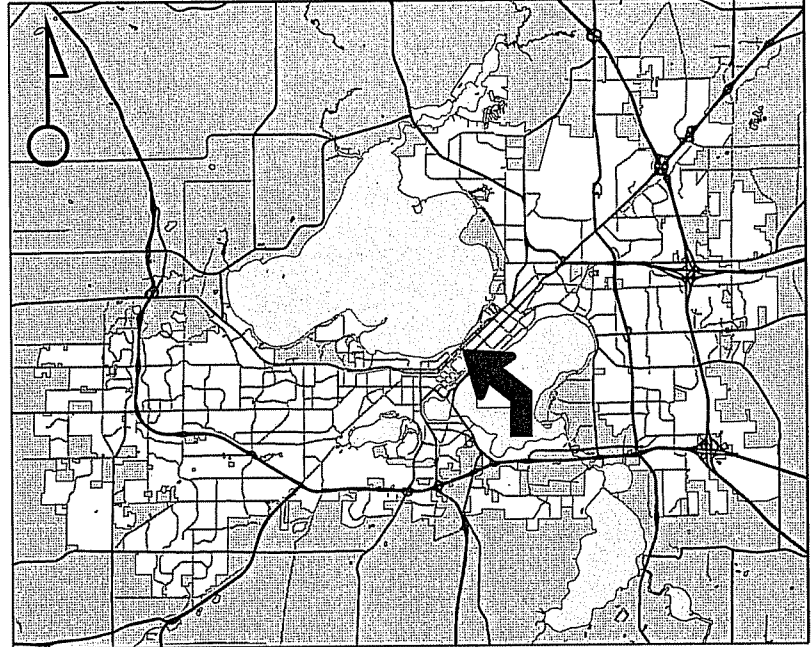
Project Name
Gobel Demolition

Applicant
Daniel Gobel

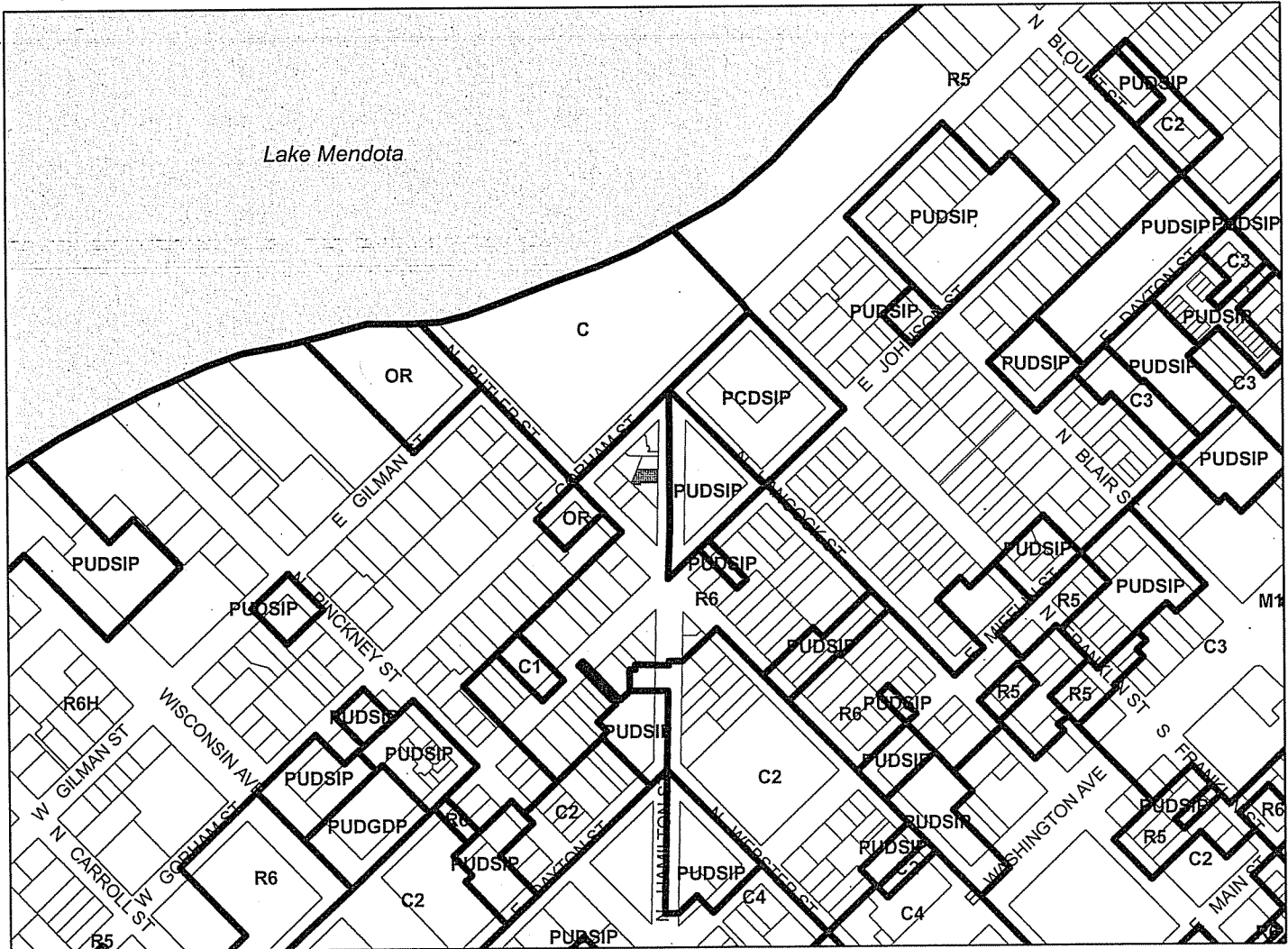
Existing Use
Single-family residence

Proposed Use
Demolish a single-family residence
and construct new residence

Public Hearing Date
Plan Commission
15 October 2012

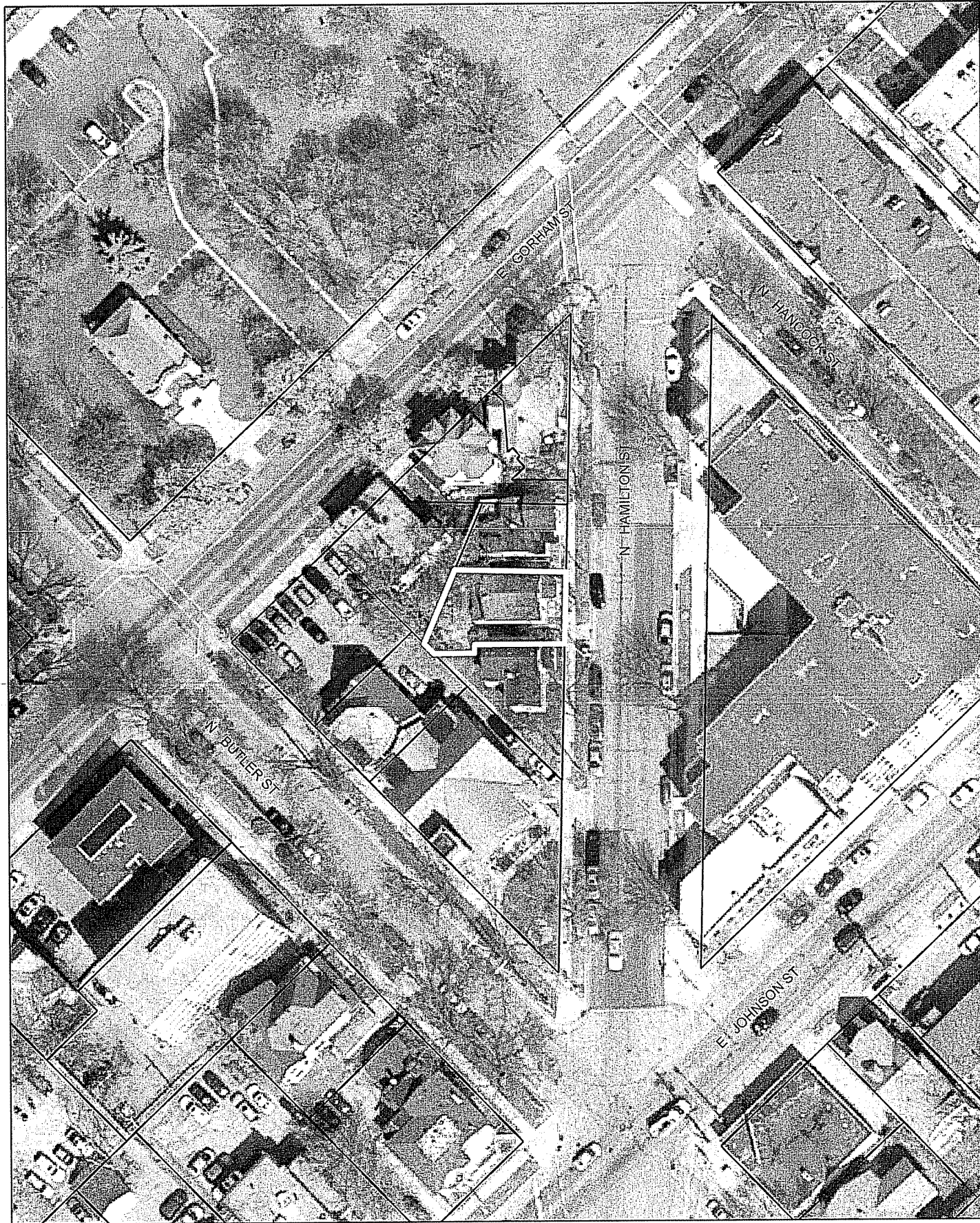


For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 02 October 2012





LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All Land Use Applications should be filed directly with the Zoning Administrator.

R OFFICE USE ONLY:	
Amt. Paid	# 650 ⁰⁰ Receipt No. 135352
Date Received	8/28/12
Received By	JJK
Parcel No.	0709-M4-0507-6
Aldermanic District	2 Bridget Mariani
GQ	existing CU
Zoning District	R6
For Complete Submittal	
Application	Letter of Intent <input checked="" type="checkbox"/>
IDUP	Legal Descript. <input checked="" type="checkbox"/>
Plan Sets	Zoning Text <input checked="" type="checkbox"/>
Alder Notification	Waiver <input type="checkbox"/>
Nbrhd. Assn Not.	Waiver <input type="checkbox"/>
Date Sign Issued	

1. Project Address: 312 NORTH HAMILTON STREET Project Area in Acres: .043
Project Title (if any): _____

2. This is an application for:

Zoning Map Amendment (check the appropriate box(es) in only one of the columns below)	
<input type="checkbox"/> Rezoning to a Non-PUD or PCD Zoning Dist.: Existing Zoning: _____ to _____ Proposed Zoning (ex: R1, R2T, C3): _____	<input type="checkbox"/> Rezoning to or Amendment of a PUD or PCD District: <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-SIP <input type="checkbox"/> Amended Gen. Dev. <input type="checkbox"/> Amended Spec. Imp. Plan
<input type="checkbox"/> Conditional Use	<input checked="" type="checkbox"/> Demolition Permit
<input type="checkbox"/> Other Requests (Specify): _____	

3. Applicant, Agent & Property Owner Information:

Applicant's Name: DANIEL GOBEL Company: _____
 Street Address: 1017 NICHOLS DRIVE City/State: RALEIGH NC Zip: 27605
 Telephone: (919) 332-2186 Fax: () Email: DANIEL.ARTHUR.GOBEL@GMAIL.COM
 Project Contact Person: DANIEL GOBEL Company: _____
 Street Address: _____ City/State: _____
 Telephone: () Fax: () Email: _____
 Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____



4. Project Information:

Provide a brief description of the project and all proposed uses of the site: DEMO EXISTING
SINGLE FAMILY RESIDENCE AND BUILD A NEW SINGLE FAMILY RESIDENCE.
 Development Schedule: Commencement FALL 2012 Completion FALL 2013

5. Required Submittals:

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **1 copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee: \$500.** See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

In Addition, The Following Items May Also Be Required With Your Application:

- For any applications proposing demolition or removal of existing buildings, the following items are required:
 - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
 - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
 - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
 - The site is located within the limits of NEIGHBORHOOD/DOWNTOWN Plan, which recommends: RESIDENTIAL USES for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30** days prior to filing this request:
 - List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:
BRIDGET MAMIALI APRIL 21ST 2012

NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.
 - Planning Staff: TIM PARKS Date: 4.21.12 Zoning Staff: MATT TUCKER Date: 4.21.12
- Check here if this project will be receiving a public subsidy.** If so, indicate type in your Letter of Intent.

The signer attests that this form is accurately completed and all required materials are submitted:

Printed Name DANIEL ARTHUR GOBEL Date 8.29.12
 Signature D & A Gobel Relation to Property Owner _____

Authorizing Signature of Property Owner D & A Gobel Date 8.29.12

August 24, 2012

Madison Plan Commission - Zoning
City of Madison
Madison Municipal Building Suite LL-100
215 Martin Luther King Jr. Blvd.
PO Box 2985
Madison, WI 53701-2985

Subject: Land Use Application – Letter of Intent

Zoning Department and Plan Commission:

Existing Conditions:

312 North Hamilton Street is a 4 bedroom single family residence located between East Gorham Street and East Johnson Street. The approximately 1,200 square foot structure sits on a 1,909 square foot lot. The structure has server structural damage due to the balloon framing shifting off a stone foundation and rotted wood structure framing members.

Proposed Improvements:

The improvements would be to remove this unsafe structure and provide a single family residence. The new structure would be 926 square feet and would be build within the 'right to build' zoning setbacks. The site would provide one parking stall for the residence.

Zoning:

R6

Site Area:

1,909 square feet

Owner and Architect:

Daniel Gobel
1017 Nichols Drive
Raleigh, NC 27605

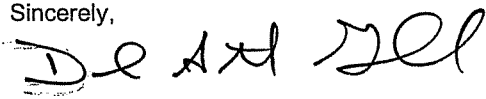
Contractor:

Robert Nelson - Heartwood Construction - 608.345.1531

Schedule:

Site - Fall 2012
Structure - Spring 2013
Interior/Site - Summer 2013
Complete - Fall 2013

Sincerely,



Daniel Gobel, AIA, NCARB, LEED AP B+D

312 North Hamilton Street
Madison, WI 53703

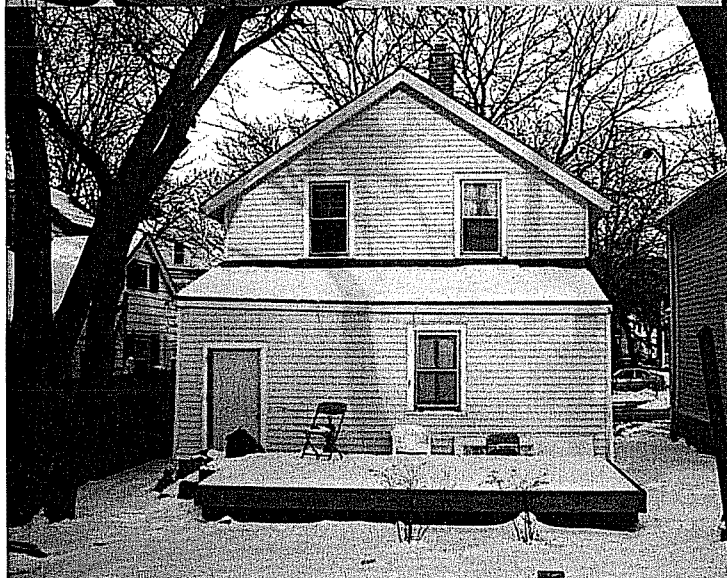
Single Family House
Exterior Photos of Buildings to Demo



Front/Side Elevation



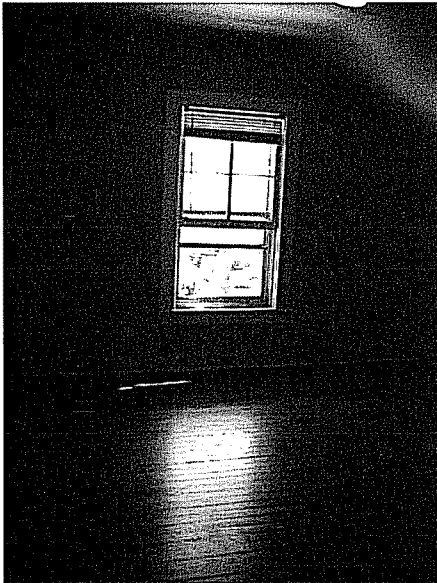
Side Elevation



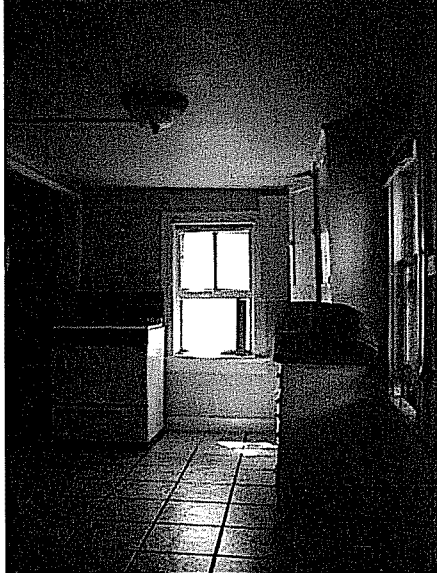
Back Elevation

312 North Hamilton Street
Madison, WI 53703

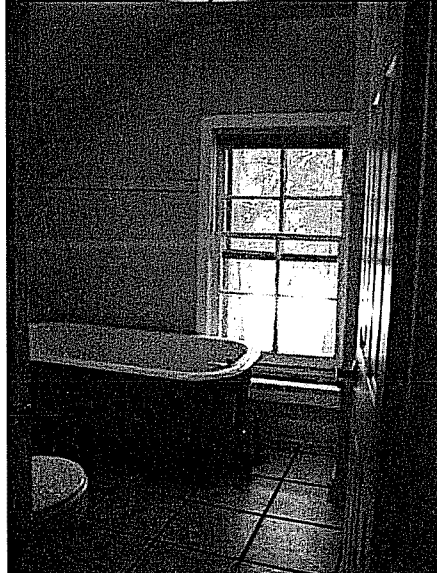
Single Family House
Interior Photos of Buildings to Demo



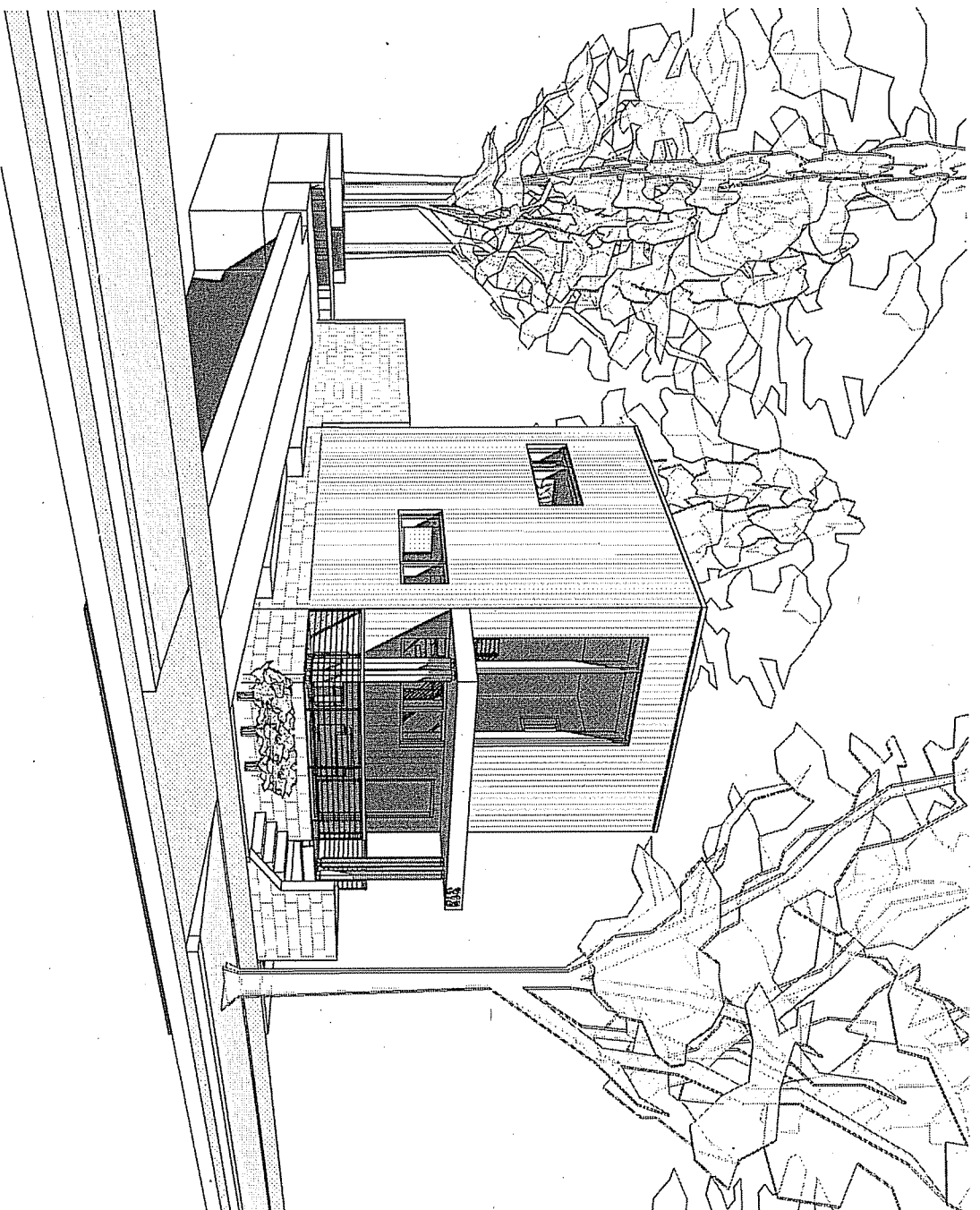
Bedroom



Kitchen



Bathroom



PROJECT
312 UC
 PROJECT LOCATION
 312 NORTH HAMILTON STREET
 MADISON, WI 53703

OWNER
 DANIEL GOBEL
 1017 NICHOLS DRIVE
 RALEIGH, NC 27605
 919.392.2186

LAND USE APPLICATION

Single Family Residence
 Zoned R-6
 Basement 370 sf
 First Level 370 sf
 Lot 186 sf
 Total 926 sf

Schedule:
 Site Fall 2012
 Structure Spring 2013
 Interior Site Summer 2013
 Complete Fall 2013

SHEET NUMBER	DRAWING TITLE	Sheet Discipline
A001	COVER	Design Set
A010	EXISTING SITE PLAN	Design Set
A011	DEVELOPMENT PLAN	Design Set
A012	FLOOR PLANS	Design Set
A013	FLOOR PLANS	Design Set
A014	FLOOR PLANS	Design Set
A015	EXTERIOR ELEVATIONS	Design Set
A016	EXTERIOR ELEVATIONS	Design Set

SHEET NAME
COVER
 SHEET #
A001
 DATE
 08/24/2012

16

16

PROJECT:
312 UC

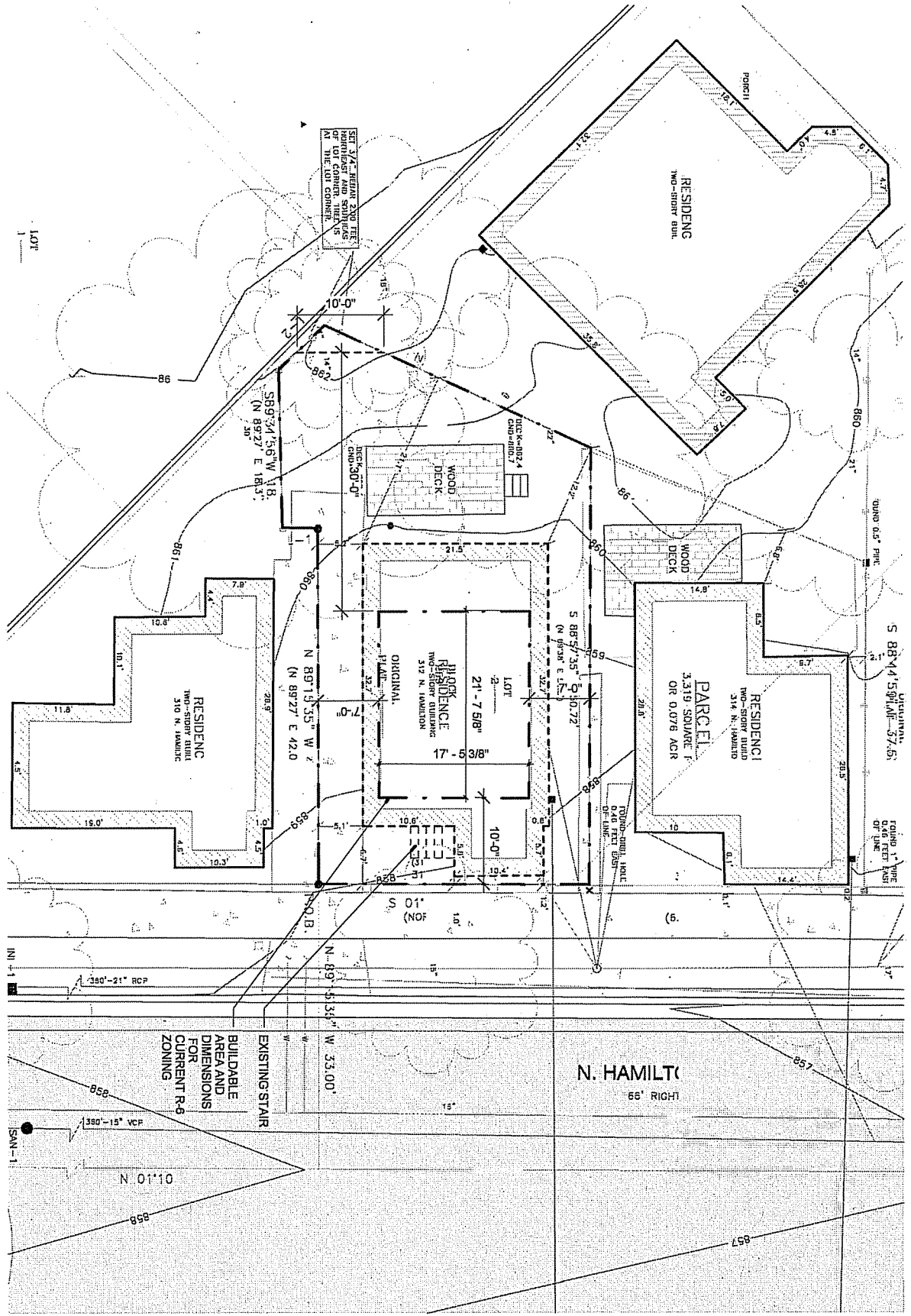
PROJECT LOCATION:
312 NORTH HAMILTON STREET
MADISON, WI 53703

OWNER:
DANIEL GAHEL
1077 NICHOLS DRIVE
RALEIGH, NC 27605
919.382.2185

ISSUE:
LAND USE
APPLICATION

SHEET TITLE:
EXISTING SITE
PLAN

SHEET: A010
DATE: 08/24/2012



SET 3/4" BEAR THE THE
HORIZONTAL AND VERTICALS
OF LOT CORNER AND TIE-INS
IN THE LOT CORNER.

1 SITE PLAN - EXISTING

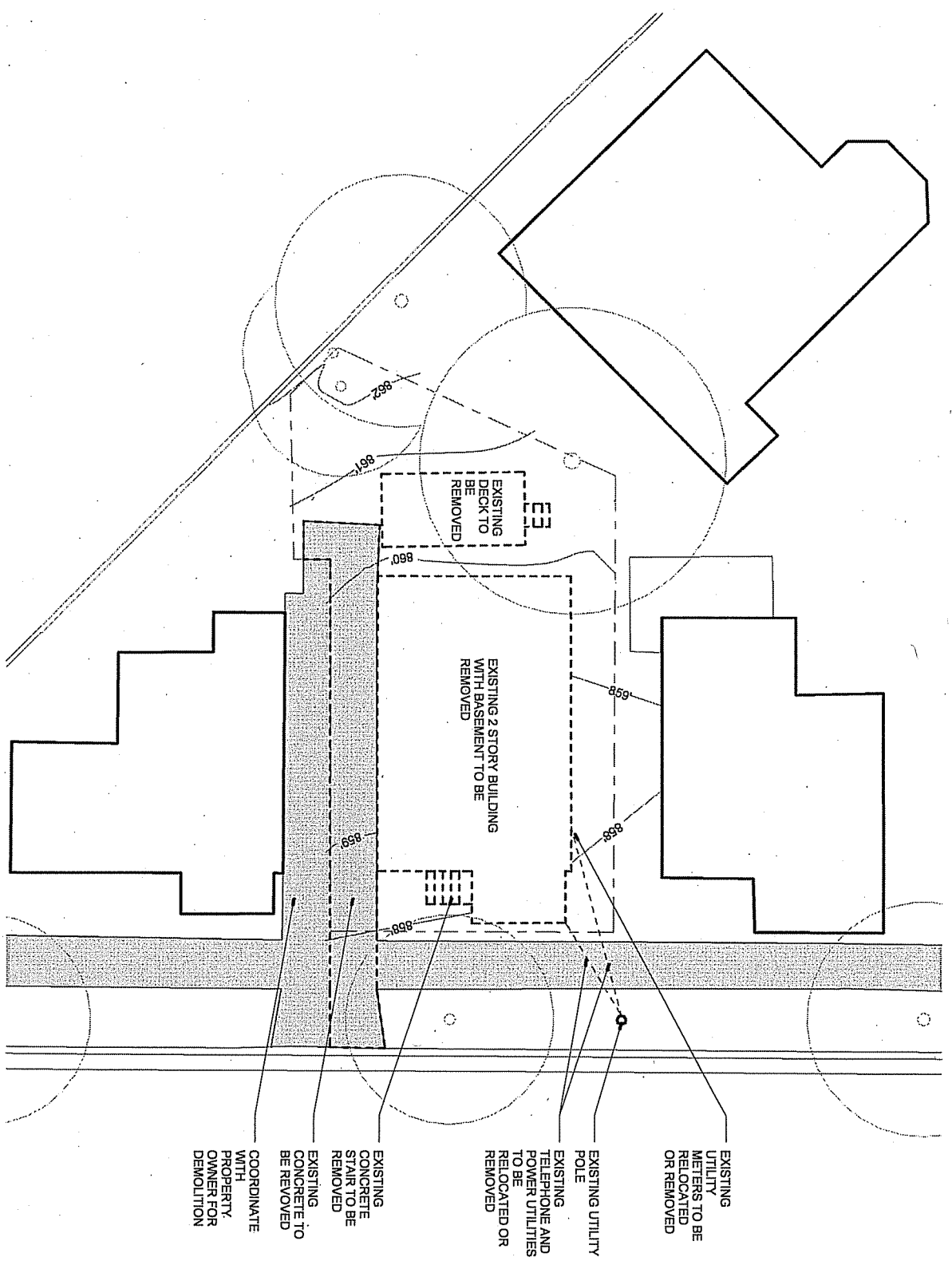
3/32" = 1'-0"

1 NORTH

16

PARCELS:
312 UC

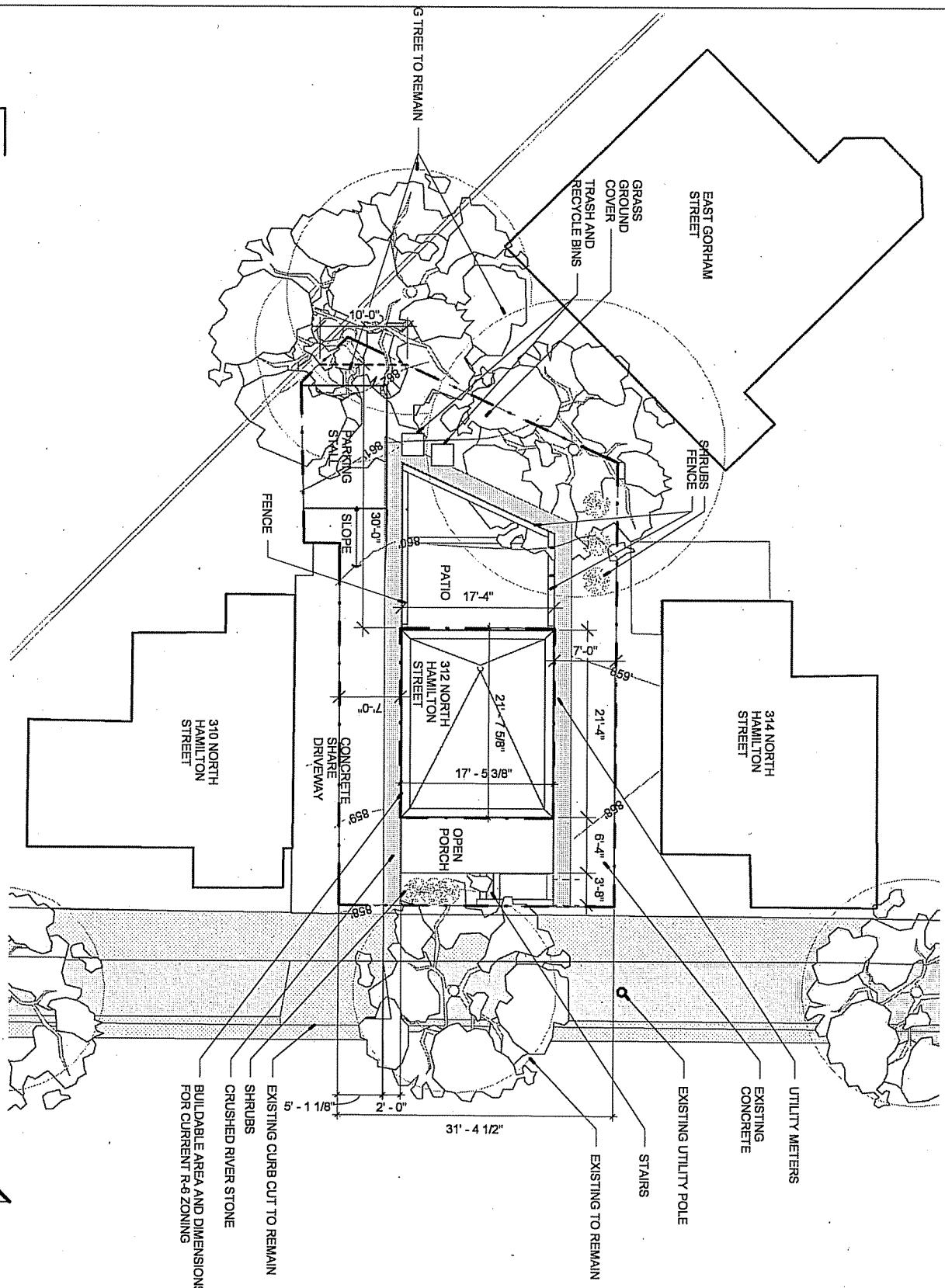
PROJECT LOCATION:
312 NORTH HAMILTON STREET
MADISON, WI 53703
OWNER:
DANIEL GOBEL
1017 NICHOLS DRIVE
RALEIGH, NC 27605
919.332.2185



1 SITE PLAN - DEMOLITION
3/32" = 1'-0"

1 NORTH

ISSUE:
LAND USE APPLICATION
SHEET NAME:
DEMOLITION PLAN
SHEET #:
A011
DATE:
08/24/2012



1 SITE PLAN - ARCHITECTURAL
 3/32" = 1'-0"

1 NORTH

PROJECT:
312 UC

PROJECT LOCATION:
 312 NORTH HAMILTON STREET
 MADISON, WI 53703
 OWNER:
 DANIEL GOBEL
 1017 NICHOLS DRIVE
 RALEIGH, NC 27605
 919.352.2188

ISSUE:
**LAND USE
 APPLICATION**
 SHEETNAME:
**ARCHITECTURAL
 CONCEPT SITE
 PLAN**

SHEET #:
A012
 DATE:
 08/24/2012

16

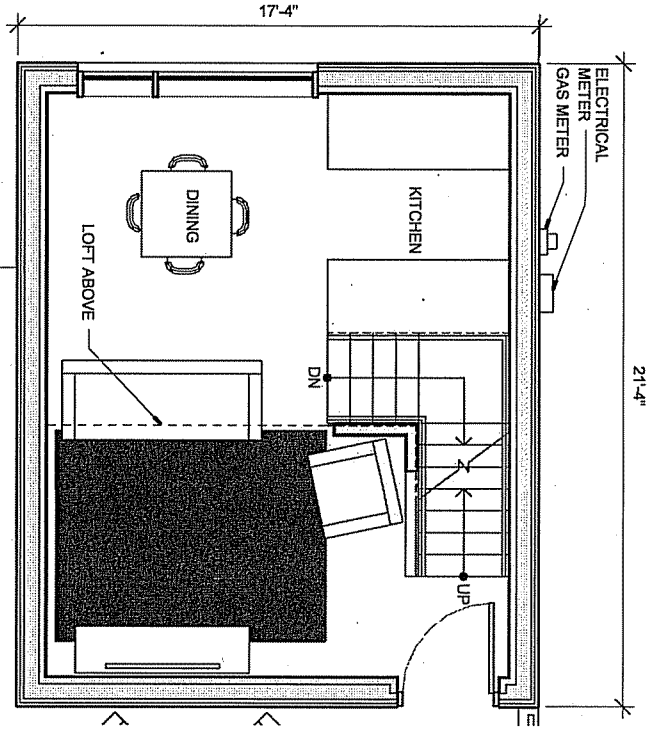
11

PROJECT
312 UC

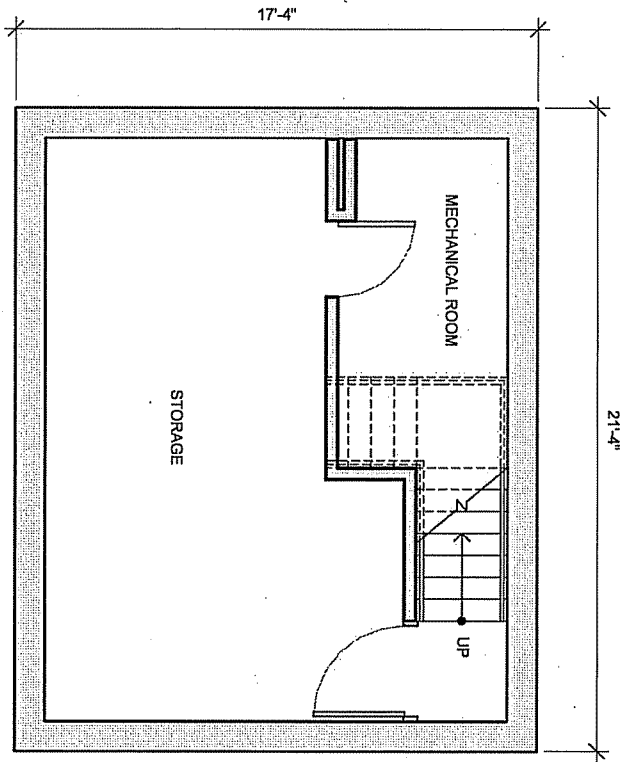
PROJECT LOCATION:
312 NORTH HAMILTON STREET
MADISON, WI 53703
OWNER:
DANIEL GOBEL
1017 NICHOLS DRIVE
RALEIGH, NC 27605
919.332.2188

GENERAL NOTES

- A. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- B. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- C. THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS & COORDINATE ALL CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, & PLUMBING ITEMS.
- D. THE GENERAL CONTRACTOR SHALL PREPARE ALL BLOCKING REQUIRED TO ANCHOR ALL WALL OR CEILING MOUNTED ITEMS, INCLUDING ROOF ACCESSORIES, TOILET CASEWORK, MILLWORK, HANDRAILS, AND DOOR STOPS.
- E. EQUIPMENT NOTED AS "NOT PART OF THE CONTRACT" WHERE INSTALLATION IS REQUIRED BY CONTRACTOR SHALL BE PART OF THE CONTRACTORS WORK AND SHALL BE COORDINATED WITH THE OWNER.
- F. ALL UTILITY DESIGNS ARE TO BE UNRESTRAINED UNLESS OTHERWISE NOTED.
- G. ALL DOORS SHALL BE LOCATED 6" FROM FACE OF NEAREST PARTITION TO THE HINGE SIDE, UNLESS OTHERWISE NOTED.
- H. ALL INTERIOR GYPSUM BOARD SHALL BE MOISTURE RESISTANT.
- I. ROOF SLOPE, CRICKET SLOPE, TAPERED INSULATION SLOPE EFFECTIVELY 1/4" PER FT., MIN. UNLESS OTHERWISE NOTED.



2 FLOOR PLAN - LEVEL 01
1/4" = 1'-0"



1 FLOOR PLAN - BASEMENT
1/4" = 1'-0"

SCALE
LAND USE APPLICATION
SHEET NO. A101
DATE 09/24/2012
FLOOR PLANS

1 NORTH

16

PROJECT:
312 UC

PROJECT LOCATION:
312 NORTH HAMILTON STREET
MADISON, WI 53703
OWNER:
DANIEL GOBEL
1017 NICHOLS DRIVE
RALEIGH, NC 27695
919.332.2186

GENERAL NOTES

A. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & FINISHES TO THE ARCHITECT.

B. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

C. THE GENERAL CONTRACTOR SHALL CONFIRM & COORDINATE ALL CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, & FINISHING ITEMS.

D. THE GENERAL CONTRACTOR SHALL PROVIDE ALL BLOCKING REQUIRED TO ANCHOR ALL WALL OR CEILING ITEMS TO THE STRUCTURE. ROOM ACCESSORIES, CASEWORK, MULTIVIEW, AND DOOR STOPS.

E. EQUIPMENT NOTED AS "NOT IN CONTRACT" IS NOT PART OF THE CONTRACT. WHERE INSTALLATION IS DOCUMENTED, THE INSTALLATION SHALL BE PART OF THE CONTRACTORS WORK AND SHALL BE IN ACCORDANCE WITH ALL CASES BLOCKING REQUIRED FOR ITEMS NOT IN CONTRACT AND COORDINATED WITH THE OWNER.

F. ALL UT. DESIGNS ARE TO BE UNRESTRAINED, UNLESS OTHERWISE NOTED.

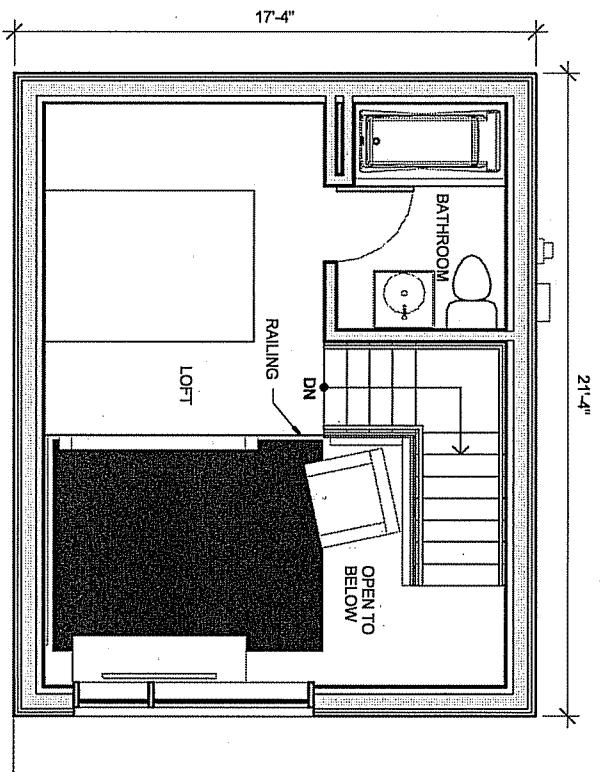
G. ALL DOORS SHALL BE LOCATED FROM FACE OF DOOR TO FACE OF DOOR INSIDE EDGE OF THE JAMB AT HINGE SIDE, UNO.

H. ALL INTERIOR GYPSUM BOARD IN EXTERIOR WALL ASSEMBLIES TO BE MOISTURE RESISTANT.

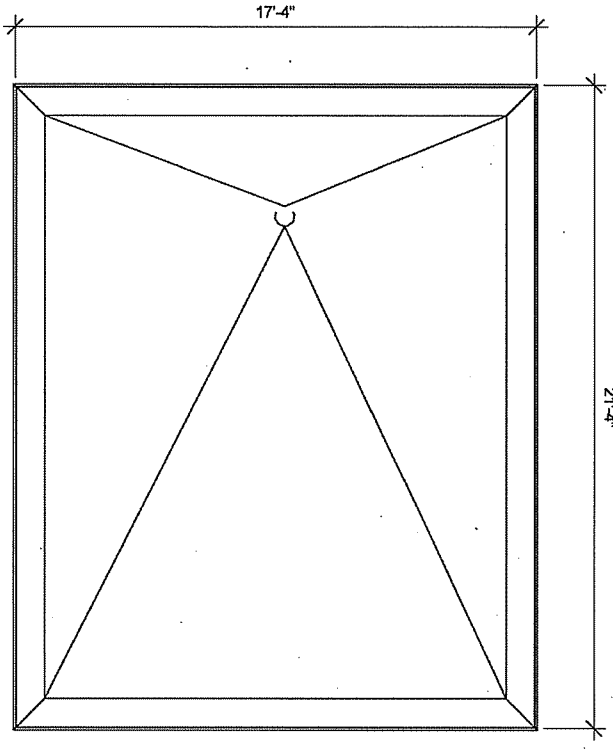
I. ROOF SLOPE, CRICKET SLOPE, TYPED INSULATION SHALL BE MINIMUM 1/4" PER FT. MIN UNO.

ISSUE
LAND USE APPLICATION
FLOOR PLANS

1
SHEET # **A102**
DATE **09/24/2012**
NORTH



1
FLOOR PLAN - LOFT
1/4" = 1'-0"



2
FLOOR PLAN - ROOF
1/4" = 1'-0"

16

PROJECT
312 UC

PROJECT LOCATION:
312 NORTH HAMILTON STREET
MADISON, WI 53703

OWNER:
DANIEL GOBEL
1017 NICHOLS DRIVE
RALEIGH, NC 27695
919.332.2186-5

THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & REPORT ANY DISCREPANCIES TO THE ARCHITECT:
B. ALL DIMENSIONS ARE TO FACE OF WALL UNLESS OTHERWISE NOTED.

C. THE GENERAL CONTRACTOR SHALL PROVIDE & COORDINATE ALL CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, & PLUMBING ITEMS.

D. THE GENERAL CONTRACTOR SHALL PROVIDE ALL BLOCKS REQUIRED TO ANCHOR ALL WALL OR CEILING MOUNTED ITEMS, INCLUDING ROOM ACCESSORIES, TOILET ROOM ACCESSORIES, HANDRAILS, AND DOOR STOPS.

E. EQUIPMENT NOTED AS NOT PART OF CONTRACT IS TO BE PROVIDED BY THE OWNER WHERE INSTALLATION IS REQUIRED BY CONTRACT.

F. ALL UTILITIES ARE TO BE UNRESTRAINED UNLESS OTHERWISE NOTED.

G. ALL DOORS SHALL BE LOCATED 6" FROM FACE OF NEAREST PARTITION TO THE HINGE SIDE UNLESS OTHERWISE NOTED.

H. ALL INTERIOR GRASSUM SHALL BE MOISTURE RESISTANT.

I. ROOF SLOPE CONCRETE SLOPE TYPED INSULATION SHALL BE MOISTURE RESISTANT.

J. ALL INTERIOR GRASSUM SHALL BE MOISTURE RESISTANT.

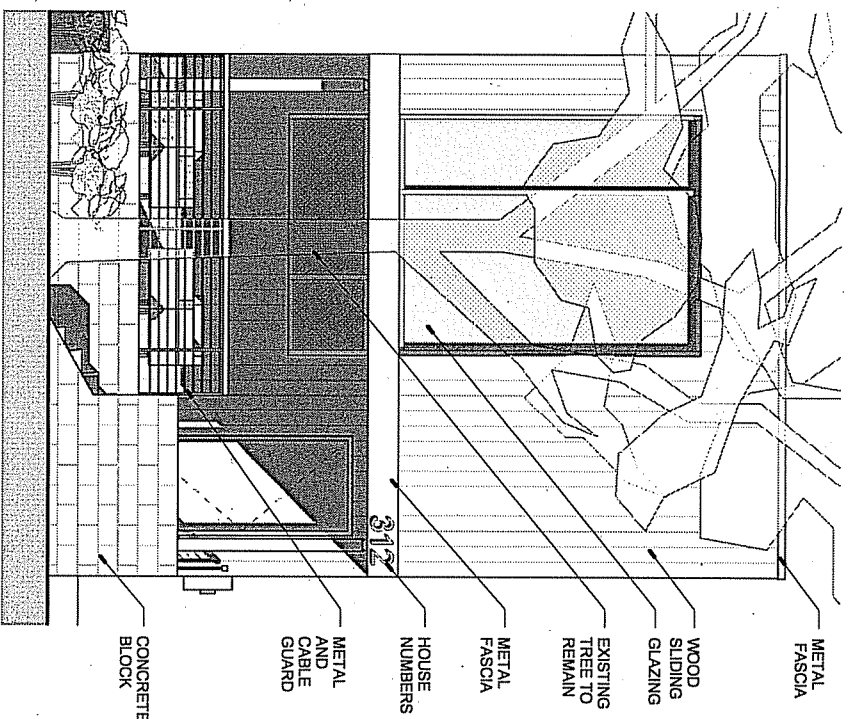
K. ALL INTERIOR GRASSUM SHALL BE MOISTURE RESISTANT.

L. ROOF SLOPE CONCRETE SLOPE TYPED INSULATION SHALL BE MOISTURE RESISTANT.

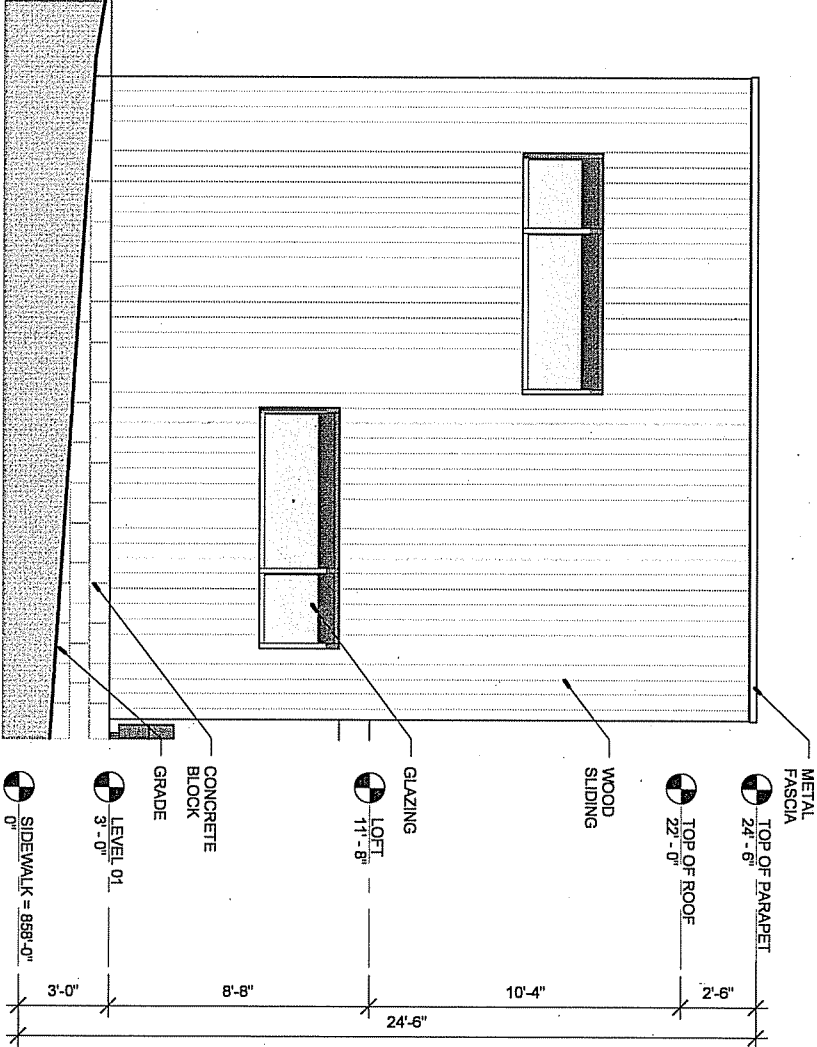
ISSUE
LAND USE APPLICATION
EXTERIOR ELEVATIONS

SHEET #
A201

DATE
08/24/2012



1 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"

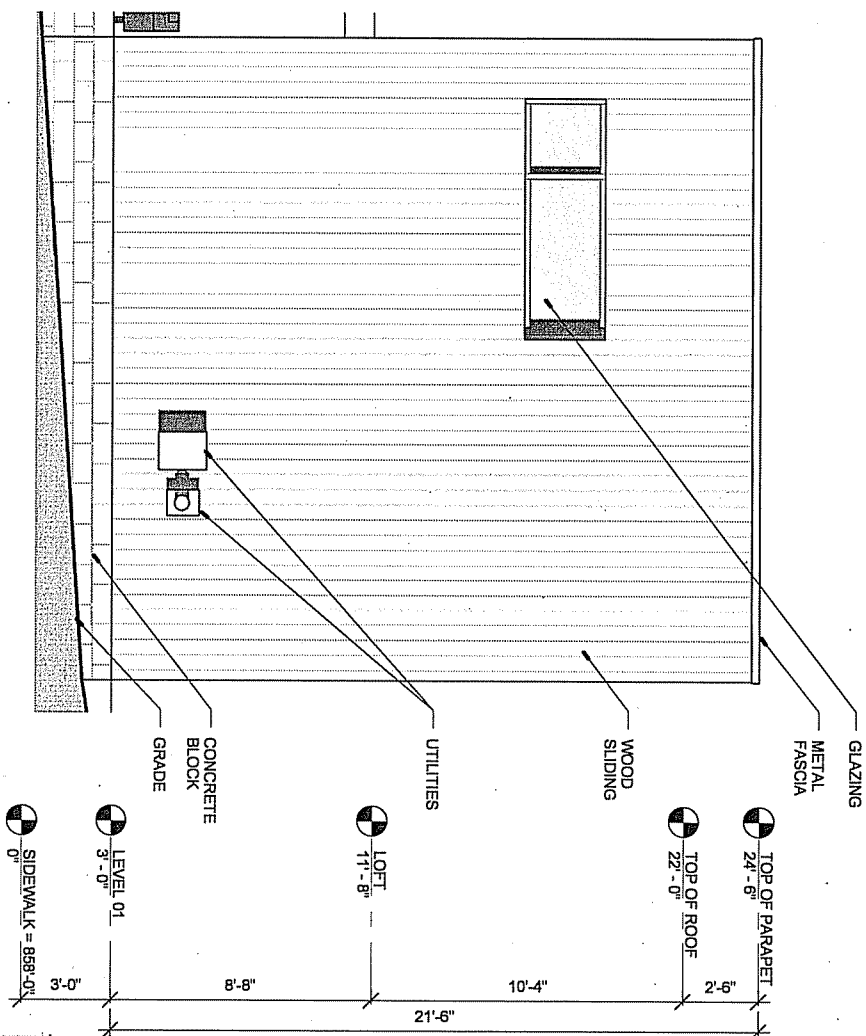
PROJECT:
312 UC

PROJECT LOCATION:
312 NORTH HAMILTON STREET
MADISON, WI 53703

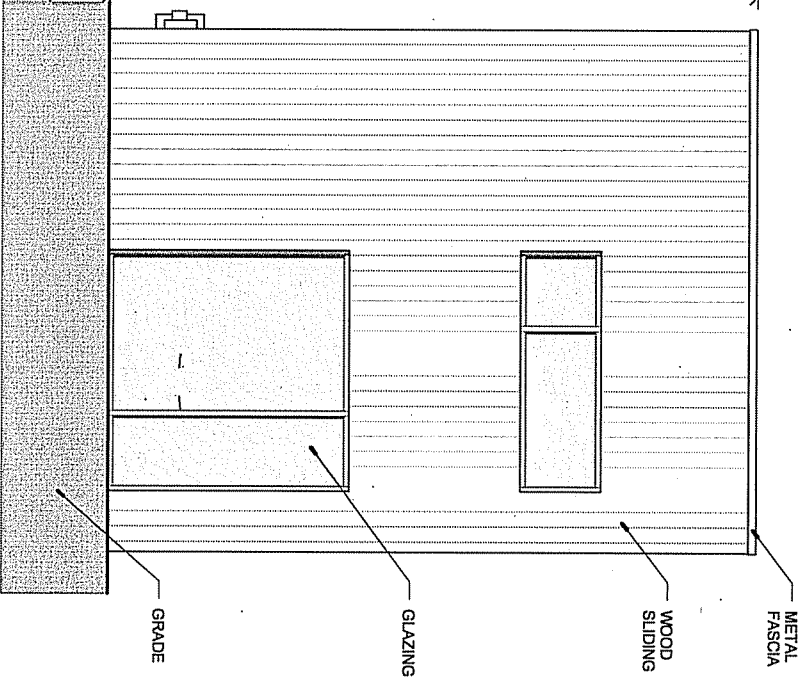
OWNER:
DANIEL GOBEL
1017 NICHOLS DRIVE
RALEIGH, NC 27605
919.392.2186

GENERAL NOTES:

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS & REPORT ANY DISCREPANCIES TO THE ARCHITECT.
2. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
3. THE GENERAL CONTRACTOR SHALL COORDINATE ALL CIVIL, ELECTRICAL, MECHANICAL, STRUCTURAL, & PLUMBING ITEMS.
4. THE GENERAL CONTRACTOR SHALL PROVIDE ALL BLOCKING REQUIRED TO ANCHOR ALL WALL OR CEILING MOUNTED ITEMS INCLUDING ROOM ACCESSORIES, CASEWORK, MILLWORK, FRAMING, AND DOOR SCHEDULES.
5. EQUIPMENT NOTED AS NOT PART OF THE CONTRACT WHERE INSTALLATION IS REQUIRED BY CONTRACTOR SHALL BE PART OF THE CONTRACTOR'S WORK AND SHALL BE COMPLETE. IN REQUIRED FOR ITEMS NOT IN CONTRACT SHALL BE BY THE CONTRACTOR AND COORDINATED WITH THE OWNER.
6. ALL IN DESIGN ARE TO BE UNRESTRAINED UNLESS OTHERWISE NOTED.
7. ALL DOORS SHALL BE LOCATED FROM FACE OF NEAREST PARTITION TO THE HINGE SIDE, UNLESS OTHERWISE NOTED.
8. ALL INTERIOR GYPSUM BOARD SHALL BE MOISTURE RESISTANT.
9. ROOF SLOPE CRICKET SLOPE TYPED INSULATION SHALL BE 1/4" PER 1" MIN. UNLESS OTHERWISE NOTED.



2
EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



1
EXTERIOR ELEVATION - WEST
1/4" = 1'-0"

ISSUE:
LAND USE APPLICATION
EXTERIOR ELEVATIONS

SHEET #:
A202

DATE:
08/24/2012