

**AFFIDAVIT OF MAILING**


STATE OF WISCONSIN     )  
  ) ss.  
COUNTY OF DANE         )

Lesley Parker, being first duly sworn on oath, deposes and says that:

Legistar No. 75570

1. She is an Program Assistant I with the Office of the City Engineer, City of Madison, Dane County, Wisconsin, and did on the 11th day of April, placed in envelopes addressed to each interested owner of respective parcels as indicated by attached letters; a true and correct copy of the notice of assessments for the project titled Approving Plans, Specifications, And Schedule of Assessments for **RESURFACING 2023 – ASSESSMENT DISTRICT**

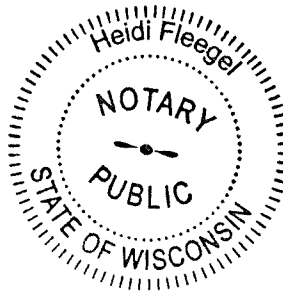
2. She did and delivered the envelopes to the custody of the Dane County Printing and Services Division, 210 Martin Luther King, Jr. Blvd., in the City of Madison, Dane County Wisconsin, for postage and depositing in the United States Mail.

  
\_\_\_\_\_  
Lesley Parker

Subscribed and sworn to before me  
this 11<sup>TH</sup> day of April, 2023

  
\_\_\_\_\_

Heidi Fleegel  
Notary Public, State of Wisconsin  
My Commission expires: April 28, 2026





## Finance Department

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Room 406  
210 Martin Luther King, Jr. Boulevard  
Madison, Wisconsin 53703-3345  
PH 608 266 4671  
FAX 608 267 8705  
[finance@cityofmadison.com](mailto:finance@cityofmadison.com)

Dear Property Owner:

The City of Madison has levied a special assessment on your property as shown on the enclosed Common Council resolution. This is an estimated assessment. When construction has been completed, the actual cost of the improvement will be determined. The amount of the assessment will then be adjusted accordingly, and a formal bill sent to you. The final bill will be equal to or less than the estimate unless you authorize additional work.

When you receive the bill, there are two options for payment: (1) the entire amount may be paid without interest by October 31 of the year you receive the bill (usually the next calendar year after the actual construction); or (2) if not paid in full by October 31, the assessment may be paid in installments with one equal part of the assessment plus interest included on your tax bill at the end of each year. Interest on each installment is calculated at four percent (4.0%) per year. In the first year of the assessment, interest is calculated only from the date of bill.

There may be situations, such as selling or refinancing your property, where you will be required at the closing to pay the estimated assessment before the work is completed. If the final amount is more than the estimate, any payments you have made will be credited and a bill sent out for the difference. If the final bill is less, any overpayment of principal and interest will be refunded. Refunds will be issued to the owner of record at the time of refund unless you provide the Finance Department with other refund instructions separate from the payment itself.

If your gross annual income is less than \$62,600 (for a single person, more for a family) and you live on the property where the work is done, you may qualify for a loan to pay the assessment. For information on the loan criteria, call (608) 266-4223.

We hope this letter will assist you in understanding the special assessment payment procedure. If you have any questions, please contact the City Finance Department, Room 406, 210 Martin Luther King, Jr. Blvd. or call (608) 266-4008.

Sincerely,

David Schmiedicke  
Finance Director

Enclosure



Legislation Details (With Text)

**File #:** 75570      **Version:** 1      **Name:** Approving Plans, Specifications, And Schedule Of Assessments For Resurfacing 2023 - Assessment District.

**Type:** Resolution      **Status:** Passed

**File created:** 1/11/2023      **In control:** Engineering Division

**On agenda:** 2/7/2023      **Final action:** 2/7/2023

**Enactment date:** 2/10/2023      **Enactment #:** RES-23-00078

**Title:** Approving Plans, Specifications, And Schedule Of Assessments For Resurfacing 2023 - Assessment District. (2nd, 4th, 6th, 10th, 14th)

**Sponsors:** BOARD OF PUBLIC WORKS

**Indexes:**

**Code sections:**

**Attachments:** 1. Schedule of Assessments.pdf, 2. Street List 2023.pdf, 3. Jan0623 Mailing Affidavit.pdf, 4. 2023 resurf.pdf, 5. bpw presentation summary 2023.pdf, 6. Resurfacing 2023--Beltline Frontage Rd Pavement Marking Plan.pdf, 7. Resurfacing 2023--East Washington Ave Pavement Marking Plan.pdf

Date	Ver.	Action By	Action	Result
2/7/2023	1	COMMON COUNCIL	Adopt and Close the Public Hearing	Pass
1/18/2023	1	BOARD OF PUBLIC WORKS	RECOMMEND TO COUNCIL TO ADOPT - PUBLIC HEARING	Pass
1/11/2023	1	Engineering Division	Refer	

**Fiscal Note**

The proposed resolution approves plans, specifications, and a schedule of assessments for Resurfacing 2023 - Assessment District at an estimated cost of \$2,034,894. The total includes \$48,919 in assessments. The City cost is \$1,985,975. Funding is available in the Engineer project for pavement management and in the Sewer and Water operating budgets. No additional appropriation is required.

**Title**

Approving Plans, Specifications, And Schedule Of Assessments For Resurfacing 2023 - Assessment District. (2nd, 4th, 6th, 10th, 14th)

**Body**

The Board of Public Works and the City Engineer having made reports of all proceedings in relation to the improvement of Resurfacing 2023 - Assessment District pursuant to a resolution of the Common Council, Resolution No. RES-22-00780, ID No. 74434, adopted 11/28/2022, which resolution was adopted thereto, and the provisions of the Madison General Ordinances and the Wisconsin Statutes in such case made and provided, and the Common Council being fully advised.

**BE IT RESOLVED:**

1. That the City at large is justly chargeable with and shall pay the sum of \$1,985,975 of the entire cost of said improvement.
2. That for those eligible property owners requesting construction of a rain garden in the public right-of-way adjacent to their property shall execute the necessary waiver of special assessments on forms provided by the City Engineer;
3. That the sum assigned to each separate parcel, as indicated on the attached schedule of assessment, is hereby specially assessed upon each such parcel.
4. That the Common Council determines such special assessments to be reasonable.

5. That the work or improvement be carried out in accordance with the reports as finally approved.
6. That such work or improvement represents an exercise of the police power of the City of Madison.
7. That the plans & specifications and schedule of assessments in the Report of the Board of Public Works and the Report of the City Engineer for the above named improvement be and are hereby approved.
8. That the Board of Public Works be and is hereby authorized to advertise for and receive bids for the said improvements.
9. That the due date by which all such special assessments shall be paid in full is October 31<sup>st</sup> of the year in which it is billed, or,
10. That such special assessments shall be collected in eight (8) equal installments, with interest thereon at 4.0 percent per annum, except those special assessments paid in full on or before October 31<sup>st</sup> of that year.
11. That the Mayor and City Clerk are hereby authorized to accept dedication of lands and/or easements from the Developer/Owner for public improvements located outside of existing public fee title or easement right-of-ways.

#### INSTALLMENT ASSESSMENT NOTICE

Notice is hereby given that a contract has been (or is about to be) let for Resurfacing 2023 - Assessment District and that the amount of the special assessment therefore has been determined as to each parcel of real estate affected thereby and a statement of the same is on file with the City Clerk; it is proposed to collect the same in eight (8) installments, as provided for by Section 66.0715 of the Wisconsin Statutes, with interest thereon at 4.0 percent per annum; that all assessments will be collected in installments as above provided except such assessments on property where the owner of the same has paid the assessment to the City Treasurer on or before the next succeeding November 1st.

#### NOTICE OF APPEAL RIGHTS

"Pursuant to Sec.4.09(14), Madison General Ordinances, as authorized by Sec. 66.0701(2), Wisconsin Statutes, any person against whose land a special assessment has been levied by this resolution has the right to appeal therefrom in the manner prescribed in Sec. 66.0703(12), Wisconsin Statutes, within forty (40) days of the day of the final determination of the Common Council, said date being the date of adoption of this resolution."

**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>154 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
\$ 0.00	\$ 1675.52	\$ 0.00	\$ 0.00	\$ 0.00	\$ 1675.52

PROJECT LOCATION: 1 N Pinckney St

PARCEL: 0709-133-3001-8

Owner:  
ONE NORTH PINCKNEY ASSOC  
LTD PARTNERSHIP  
10 E DOTY ST # 300  
MADISON, WI 53703-5120

**PLEASE NOTE: THIS IS NOT A BILL**

**Please read enclosed letter.**

**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>66 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
<i>\$ 0.00</i>	<i>\$ 718.08</i>	<i>\$ 0.00</i>	<i>\$ 0.00</i>	<i>\$ 0.00</i>	<i>\$ 718.08</i>

PROJECT LOCATION: 1 N Webster St

PARCEL: 0709-133-3120-6

Owner:  
202 E WASHINGTON LLC  
PO BOX 620994  
MIDDLETON, WI 53562-0994

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RESURFACING 2023 –ASSESSMENT DISTRICT**

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<i>0 SF</i>	<i>264 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
\$ 0.00	\$ 2872.32	\$ 0.00	\$ 0.00	\$ 0.00	\$ 2872.32

PROJECT LOCATION: 1 S Butler St

PARCEL: 0709-133-2501-9

Owner:  
CITY OF MADISON PARKING  
BRAYTON LOT  
PO BOX 2986  
MADISON, WI 53701-2986

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**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>264 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
<i>\$ 0.00</i>	<i>\$ 43.13</i>	<i>\$ 0.00</i>	<i>\$ 0.00</i>	<i>\$ 0.00</i>	<i>\$ 43.13</i>

PROJECT LOCATION: 110 E Main St

PARCEL: 0709-133-5607-2

Owner:  
TENNEY LLC  
10 E DOTY ST STE 300  
MADISON, WI 53703-0000

**PLEASE NOTE: THIS IS NOT A BILL**

**Please read enclosed letter.**



**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>264 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
<i>\$ 0.00</i>	<i>\$ 71.88</i>	<i>\$ 0.00</i>	<i>\$ 0.00</i>	<i>\$ 0.00</i>	<i>\$ 71.88</i>

PROJECT LOCATION: 110 E Main St

PARCEL: 0709-133-5606-4

Owner:  
TENNEY LLC  
10 E DOTY ST STE 300  
MADISON, WI 53703-0000

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**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>264 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
\$ 0.00	\$ 537.65	\$ 0.00	\$ 0.00	\$ 0.00	\$ 537.65

PROJECT LOCATION: 110 E Main St

PARCEL: 0709-133-5605-6

Owner:  
TENNEY LLC  
10 E DOTY ST STE 300  
MADISON, WI 53703-0000

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RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>264 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
<i>\$ 0.00</i>	<i>\$ 8.63</i>	<i>\$ 0.00</i>	<i>\$ 0.00</i>	<i>\$ 0.00</i>	<i>\$ 8.63</i>

PROJECT LOCATION: 110 E Main St

PARCEL: 0709-133-5604-8

Owner:  
PINCKNEY INVESTMENT  
GROUP LLC  
10 E DOTY ST STE 300  
MADISON, WI 53703-0000

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**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>264 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
<i>\$ 0.00</i>	<i>\$ 40.25</i>	<i>\$ 0.00</i>	<i>\$ 0.00</i>	<i>\$ 0.00</i>	<i>\$ 40.25</i>

PROJECT LOCATION: 110 E Main St

PARCEL: 0709-133-5603-0

Owner:  
PINCKNEY INVESTMENT  
GROUP LLC  
10 E DOTY ST STE 300  
MADISON, WI 53703-0000

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**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>264 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
<i>\$ 0.00</i>	<i>\$ 241.51</i>	<i>\$ 0.00</i>	<i>\$ 0.00</i>	<i>\$ 0.00</i>	<i>\$ 241.51</i>

PROJECT LOCATION: 110 E Main St

PARCEL: 0709-133-5602-2

Owner:  
BLOCK 102 PARKING LLC  
10 E DOTY ST STE 300  
MADISON, WI 53703-0000

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RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>264 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
<i>\$ 0.00</i>	<i>\$ 1932.10</i>	<i>\$ 0.00</i>	<i>\$ 0.00</i>	<i>\$ 0.00</i>	<i>\$ 1932.10</i>

PROJECT LOCATION: 110 E Main St

PARCEL: 0709-133-5601-4

Owner:  
PINCKNEY INVESTMENT  
GROUP LLC  
10 E DOTY ST STE 300  
MADISON, WI 53703-0000

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**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>98 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
\$ 0.00	\$ 1066.24	\$ 0.00	\$ 0.00	\$ 0.00	\$ 1066.24

PROJECT LOCATION: 120 E Washington Ave

PARCEL: 0709-133-3020-8

Owner:  
ONE NORTH PINCKNEY ASSOC  
10 E DOTY ST # 300  
MADISON, WI 53703-0000

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**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>264 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
\$ 0.00	\$ 2872.32	\$ 0.00	\$ 0.00	\$ 0.00	\$ 2872.32

PROJECT LOCATION: 201 E Washington Ave

PARCEL: 0709-133-2801-3

Owner:  
STATE BLDG COMM  
7TH FLR  
101 E WILSON ST  
MADISON, WI 53703-0000

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**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>198.5 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
\$ 0.00	\$ 2159.68	\$ 0.00	\$ 0.00	\$ 0.00	\$ 2159.68

PROJECT LOCATION: 212 E Washington Ave

PARCEL: 0709-133-3103-2

Owner:  
10 WEST FAMILY LTD  
PARTNERSHIP  
401 N CARROLL ST  
MADISON, WI 53703-0000

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RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>66 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
<i>\$ 0.00</i>	<i>\$ 718.08</i>	<i>\$ 0.00</i>	<i>\$ 0.00</i>	<i>\$ 0.00</i>	<i>\$ 718.08</i>

PROJECT LOCATION: 302 E Washington Ave

PARCEL: 0709-133-2408-7

Owner:  
BUTLER PLAZA LLC  
21 N BUTLER ST  
MADISON, WI 53703-0000

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RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>34 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
\$ 0.00	\$ 369.92	\$ 0.00	\$ 0.00	\$ 0.00	\$ 369.92

PROJECT LOCATION: 308 E Washington Ave

PARCEL: 0709-133-2409-5

Owner:  
EISENBERG TRUST, S & P  
M & K EISENBERG TRUST  
PO BOX 1069  
MADISON, WI 53701-0000

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**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>32 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
\$ 0.00	\$ 348.16	\$ 0.00	\$ 0.00	\$ 0.00	\$ 348.16

PROJECT LOCATION: 310 E Washington Ave

PARCEL: 0709-133-2410-2

Owner:  
ST JOHNS LUTHERAN CHURCH  
322 E WASHINGTON AVE  
MADISON, WI 53703-2834

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**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>132 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
\$ 0.00	\$ 1436.16	\$ 0.00	\$ 0.00	\$ 0.00	\$ 1436.16

PROJECT LOCATION: 322 E Washington Ave

PARCEL: 0709-133-2411-0

Owner:  
ST JOHNS LUTHERAN CHURCH  
322 E WASHINGTON AVE  
MADISON, WI 53703-2834

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**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

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<i>0 SF</i>	<i>60 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
\$ 0.00	\$ 652.80	\$ 0.00	\$ 0.00	\$ 0.00	\$ 652.80

PROJECT LOCATION: 401 E Washington Ave

PARCEL: 0709-133-1904-6

Owner:  
401 E WASHINGTON LLC  
33 E MAIN ST # 500  
MADISON, WI 53703-0000

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RESURFACING 2023 –ASSESSMENT DISTRICT**

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<i>0 SF</i>	<i>39 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
\$ 0.00	\$ 424.32	\$ 0.00	\$ 0.00	\$ 0.00	\$ 424.32

PROJECT LOCATION: 405 E Washington Ave

PARCEL: 0709-133-1903-8

Owner:  
HANWASH PROPERTIES LLC  
33 E MAIN ST # 500  
MADISON, WI 53703-0000

**PLEASE NOTE: THIS IS NOT A BILL**

**Please read enclosed letter.**

**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>199 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
\$ 0.00	\$ 2165.34	\$ 0.00	\$ 0.00	\$ 0.00	\$ 2165.34

PROJECT LOCATION: 408 E Washington Ave

PARCEL: 0709-133-2016-8

Owner:  
WASH HAUS DEVELOPMENT LLC  
8301 MACHINE DR # 102  
MADISON, WI 53717-0000

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**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>49.5 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
<i>\$ 0.00</i>	<i>\$ 538.56</i>	<i>\$ 0.00</i>	<i>\$ 0.00</i>	<i>\$ 0.00</i>	<i>\$ 538.56</i>

PROJECT LOCATION: 409 E Washington Ave

PARCEL: 0709-133-1902-0

Owner:  
BACHLEITNER, JOAN  
EDWARD GLOVER  
1427 MORRISON ST  
MADISON, WI 53703-0000

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**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>49.5 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
\$ 0.00	\$ 538.56	\$ 0.00	\$ 0.00	\$ 0.00	\$ 538.56

PROJECT LOCATION: 415 E Washington Ave

PARCEL: 0709-133-1901-2

Owner:  
MOD HUB LLC  
% BIRWOOD PROPERTY MGMT  
3165 E WASHINGTON AVE  
MADISON, WI 53704-0000

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**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>64 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
\$ 0.00	\$ 696.32	\$ 0.00	\$ 0.00	\$ 0.00	\$ 696.32

PROJECT LOCATION: 2009 W Beltline Hwy

PARCEL: 0709-343-0402-6

Owner:  
VOYOS CAPITAL PROJECTS  
LLC  
3001 W BELTLINE HWY # 202  
MADISON, WI 53713-0000

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**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>896 SF</i>	<i>283.12 LF</i>	<i>0 SF</i>	<i>16 SY</i>	<i>0 SF</i>	
\$ 4999.68	\$ 3080.35	\$ 0.00	\$ 247.52	\$ 0.00	\$ 8327.55

PROJECT LOCATION: 2101 W Beltline Hwy

PARCEL: 0709-343-0110-5

Owner:  
PJB CORP  
PO BOX 1526  
MADISON, WI 53701-1526

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**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>1157 SF</i>	<i>957.25 LF</i>	<i>0 SF</i>	<i>8 SY</i>	<i>0 SF</i>	
<b>\$ 6456.06</b>	<b>\$ 10414.88</b>	<b>\$ 0.00</b>	<b>\$ 123.76</b>	<b>\$ 0.00</b>	<b>\$ 16994.70</b>

PROJECT LOCATION: 2301 W Beltline Hwy

PARCEL: 0709-343-0502-4

Owner:  
BAXTER TRUST, PATRICK J  
PATRICK J BAXTER  
350 S HAMILTON ST # 905  
MADISON, WI 53703-0000

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**NOTICE OF SPECIAL ASSESSMENT  
RESURFACING 2023 –ASSESSMENT DISTRICT**

Remove & Replace 7" Concrete Apron @ \$5.58/ Square Foot (SF)	Resurfacing @ \$10.88/Linear Foot (LF)	Remove & Replace 5" Concrete Sidewalk @ \$5.19/ Square Foot (SF)	Remove & Replace Asphalt Drive @ \$15.47/ Square Yard (SY)	New 7" Concrete Driveway Apron @ \$8.14/ Square Foot (SF)	<b>Total Estimated Assessment</b>
<i>0 SF</i>	<i>135 LF</i>	<i>0 SF</i>	<i>0 SY</i>	<i>0 SF</i>	
\$ 0.00	\$ 1468.80	\$ 0.00	\$ 0.00	\$ 0.00	\$ 1468.80

PROJECT LOCATION: 2501 W Beltline Hwy

PARCEL: 0709-343-1001-5

Owner:  
ARBOR GATE DEVELOPMENT  
LLC  
3001 W BELTLINE HWY # 202  
MADISON, WI 53713-0000

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