

City of Madison
 Planning Division
 Madison Municipal Building, Suite 017
 215 Martin Luther King, Jr. Blvd.
 P.O. Box 2985
 Madison, WI 53701-2985
 (608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____
 Date received 3/16/26 9:25 a.m.
 Received by _____
 Aldermanic District _____
 Zoning District _____
 Urban Design District _____
 Submittal reviewed by _____
 Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 5817 Halley Way

Title: Capitol View Apartments

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested December 1st, 2021 April 29 2026

- New development Alteration to an existing or previously-approved development
- Informational Initial approval Final approval

3. Project Type

- Project in an Urban Design District
- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Signage

- Comprehensive Design Review (CDR)
- Signage Variance (i.e. modification of signage height, area, and setback)
- Signage Exception

Other

Please specify _____

4. Applicant, Agent, and Property Owner Information

Applicant name Scott Frank
Street address 719 Jupiter Dr
Telephone 608.663.6800

Company Oak Park Place
City/State/Zip Madison, WI 53718
Email sfrank@oakparkplace.com

Project contact person Bradley R Servin
Street address 5100 Eastpark Blvd, Suite 310
Telephone 608.254.6181

Company Architectural Design Consultants, Inc
City/State/Zip Madison, WI 53718
Email b.servin@adcidesign.com

Property owner (if not applicant) _____
Street address _____ **City/State/Zip** _____
Telephone _____ **Email** _____

5. Required Submittal Materials

- Application Form
- Letter of Intent
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development Plans (Refer to checklist on Page 4 for plan details)
- Filing fee
- Electronic Submittal*
- Notification to the District Alder
 - Please provide an email to the District Alder notifying them that you are filing this UDC application. Please send this as early in the process as possible and provide a copy of that email with the submitted application.

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

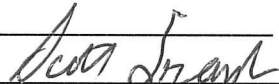
Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Jessica Vaughn, Chris Wells, Jenny Kirchgatter on Jan 7, 2026.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Scott Frank Relationship to property Owner
 Authorizing signature of property owner  Date March 2, 2026

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information that should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**** All plans must be legible, including the full-sized landscape and lighting plans (if required)**

2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

4. Comprehensive Design Review (CDR) and Variance Requests (*Signage applications only*)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Illustration of the proposed signage that meets Ch. 31, MGO compared to what is being requested.
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

CAPITOL VIEW AT OAK PARK

Letter of Intent

To: The City of Madison Planning Office

The attached submittal was originally submitted in 2021 and received approval from the Common Council on January 12, 2022. In the aftermath of that approval, the project was placed on hold due to the impacts of the COVID outbreak, rising interest rates, and increasing inflation. The developer has since revisited and refined the building program and is now prepared to move forward. Following recent discussions with UDC Coordinator Jessica Vaughn and City Planners Chris Wells and Jenny Kirchkatter, we have been advised that the proposed modifications will require resubmittal to the UDC, as well as a resubmittal to Planning as a minor alteration. The site plan, landscape plan, building footprint, and exterior materials remain essentially the same. As a result of adding amenities to the first floor. Units have been relocated to the second and third floor increasing the building floor area mass. The minor modifications for which we are seeking approval are:

- Unit quantity and mix
 - 2021 Approval included a total of 94 units (52 two bedrooms & 42 one bedrooms)
 - Current submittal includes 97 units (96 two bedroom units and 1 one bedroom guest suite)
- Modifications to balcony
 - Modifications from a mix of one bedroom units and two bedroom units required modifications to balcony location throughout the plan. Dimensions of balconies remains relatively the same (8' x 15')
- Exterior window locations
 - In General typical unit windows have remained the same dimensionally. Placement of windows reflects the unit floor plan modifications.
- Exterior material composition
 - Exterior material modifications were made to reduce the amount of wood grained aluminum siding. Exterior Materials still consist of the previously submitted palette
 - Horizontal Engineered Wood Siding (Deep Granite)
 - Vertical Board & Batten Engineered Wood Siding (Snowscape White)
 - Horizontal Aluminum Siding (Dark Cherry)
 - Fond Du Lac Stone Veneer (Hamilton Dimensional)
- Relocated main entry
 - The Main Entrance to the building has been relocated from the Southeast corner of property (intersection of Gemini Dr & North Star Dr) to the interior corner along the share drive easement.
- Expanded amenities.
 - 117 climate controlled underground parking stalls,
 - Climate controlled bicycle parking common
 - gathering room with kitchen
 - pub
 - outdoor patio
 - roof top community room and terrace
 - fitness room
 - pickleball courts
 - Outdoor grilles

Capitol View at Oak Park, located in Grandview Commons, is an age restricted apartment complex to be marketed toward older adults. The density of 96 apartment and condominium units is consistent with the GDP for the proposed site. The proposal conforms to both the Grandview Commons overall development plan & the Town Center plan. We have discussed the modifications with Veridian and they have given their approval of the design.

The unchanged project goal is to offer a quality constructed and architecturally interesting housing alternative for older adults in this part of Madison.

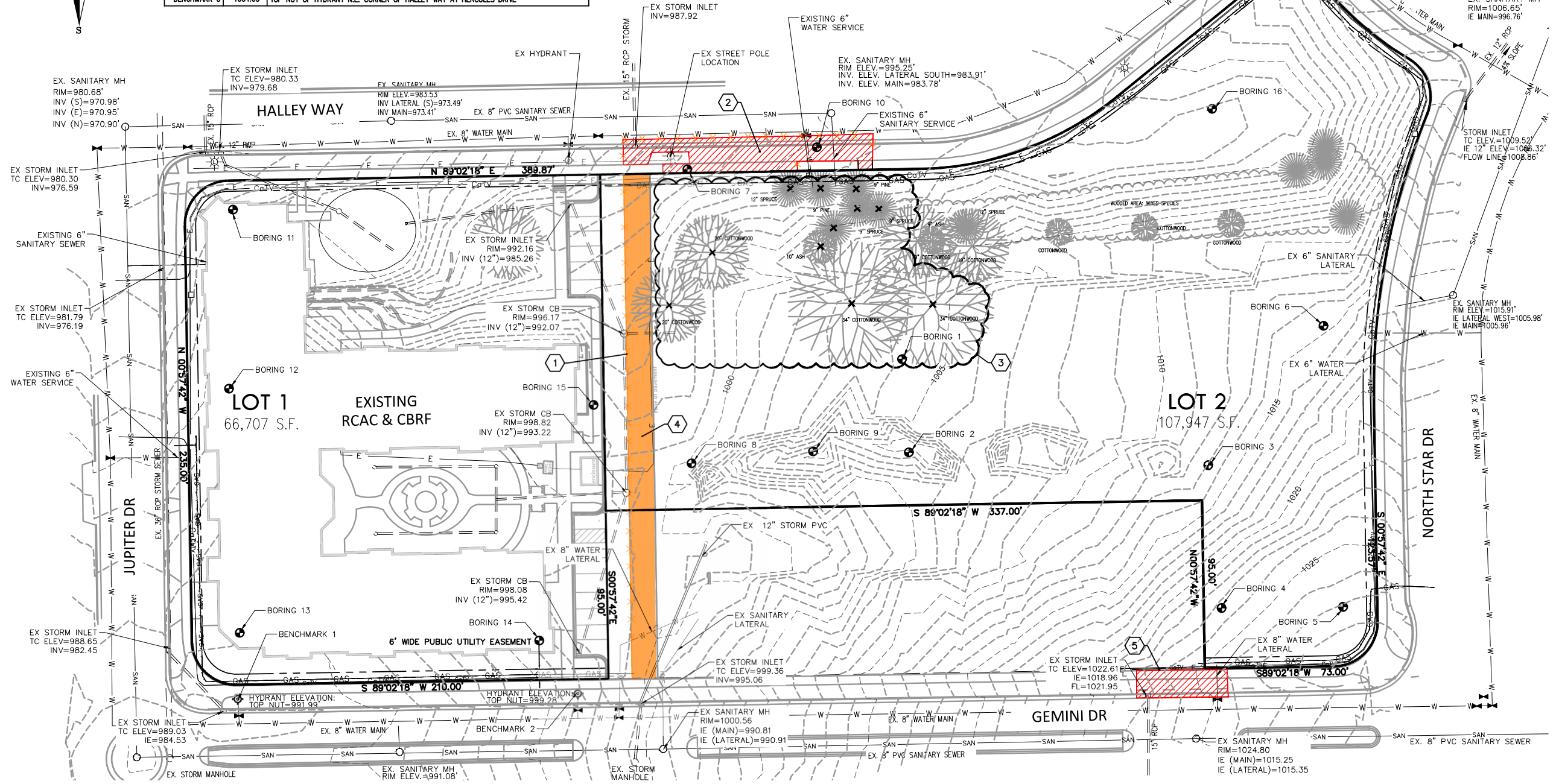
1. The name of the project: Capitol View at Oak Park
2. Construction schedule: Spring 2026 Spring Start Construction (anticipated)
3. Description of existing conditions: Vacant infill lots in multi-family area of Grandview Commons
4. Owner: Jupiter Drive Investors, LLC – Contact: Scott Frank
5. Contractor: To be determined
6. Architect: Architectural Design Consultants, Inc. – Contact: Bradley R Servin, AIA
7. Landscape Architect: Landscape Architecture Contact: Joe Hanauer
8. Civil Engineer: Professional Engineering – Contact: Roxanne Johnson
9. Owner Representative: Hayden Frank
10. Uses of Building: Market rate apartments ranging in the size from 712 SF to 2,042 SF. The unit mix will include, 1 Guest Suite, 2 bedroom 2 bath; 2 bedroom 2 bath with den; and 2 bedroom 2.5 bath with den. The project will have covered parking for 117 cars, bicycle parking & common amenities include a gathering room with kitchen + coffee station, pub, outdoor patio, roof top community room and terrace, fitness room, and secure storage.
11. Total footprint: 208,856 SF
12. Square footage (acreage) of the site: 2.28 acres – 99,232 SF
13. Total number of dwelling units = 97 units (96 standard and one guest suite)
14. Trash Removal: Each unit owner will take their trash to a central collection point in the building. A private trash hauler will pick up trash on a regular basis.
15. Snow removal and maintenance for project: will be hired out to a private firm; therefore no equipment will be stored at the property

January 21, 2026



BENCHMARKS		
No.	ELEVATION	LOCATION
BENCHMARK 1	991.99'	TOP NUT OF HYDRANT, N.W. CORNER OF GEMINI DRIVE AT JUPITER DRIVE
BENCHMARK 2	999.28'	TOP NUT OF HYDRANT, NORTH SIDE OF GEMINI DRIVE, 230' EAST OF JUPITER DRIVE
BENCHMARK 3	1004.69'	TOP NUT OF HYDRANT N.E. CORNER OF HALLEY WAY AT HERCULES DRIVE

NOTE:
 RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS



LEGEND

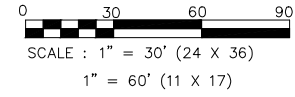
- | | | | |
|-----------|-----------------------|---|-----------------------------------|
| — W — W — | WATER | ☼ | LIGHT POLE |
| — G — G — | GAS UNDERGROUND | ▶ | WATER GATE VALVE OR GAS VALVE BOX |
| — S — S — | STORM SEWER | ⊙ | MANHOLE |
| — SAN — | SANITARY SEWER | ⊙ | HYDRANT |
| — T — T — | TELEPHONE UNDERGROUND | | |
| — E — E — | ELECTRIC UNDERGROUND | | |
| — CoTV — | CABLE TV | | |

PLAN KEY

- 1 SAW CUT EX ASPHALT DRIVEWAY
- 2 REMOVE AND REPLACE EXISTING CURB & GUTTER, PAVEMENT, SIDEWALK & PART OF DRIVEWAY APRON
- 3 REMOVE TREES — CLEAR AND GRUB
- 4 REMOVE EXISTING PAVEMENT
- 5 SAWCUT EXISTING CURB FOR NEW DRIVEWAY APRON, REMOVE SIDEWALK & REPLACE STORM CASTING

DEMOLITION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY DIGGERS HOTLINE PRIOR TO START OF DEMOLITION.
2. CONTRACTOR TO DISPOSE OF ALL MATERIALS OFF SITE, UNLESS DIRECTED OTHERWISE.
3. ALL MATERIALS, UTILITIES, AND PAVEMENT DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR SHALL PROTECT ALL EXISTING PUBLIC AND PRIVATE FACILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICAL, WATER, SANITARY, SIDEWALKS, PAVING, ETC.) THAT IS TO REMAIN.
5. REMOVAL OF AN ASPHALTIC SURFACE, WHERE AN ABUTTING ASPHALTIC SURFACE IS TO REMAIN IN PLACE, SHALL REQUIRE SAW CUTTING AN EDGE.



REVISIONS	DATE

CLIENT
OAK PARK PLACE

PROJECT
CAPITOL VIEW APARTMENTS

MADISON, WI

DRAWN BY
K. JOHNSON
 CHECKED BY
R. JOHNSON
 DATE
03.02.2026
 JOB NUMBER
24-102

VOLUME / BID SET

SHEET NAME
SITE PLAN

SHEET NUMBER

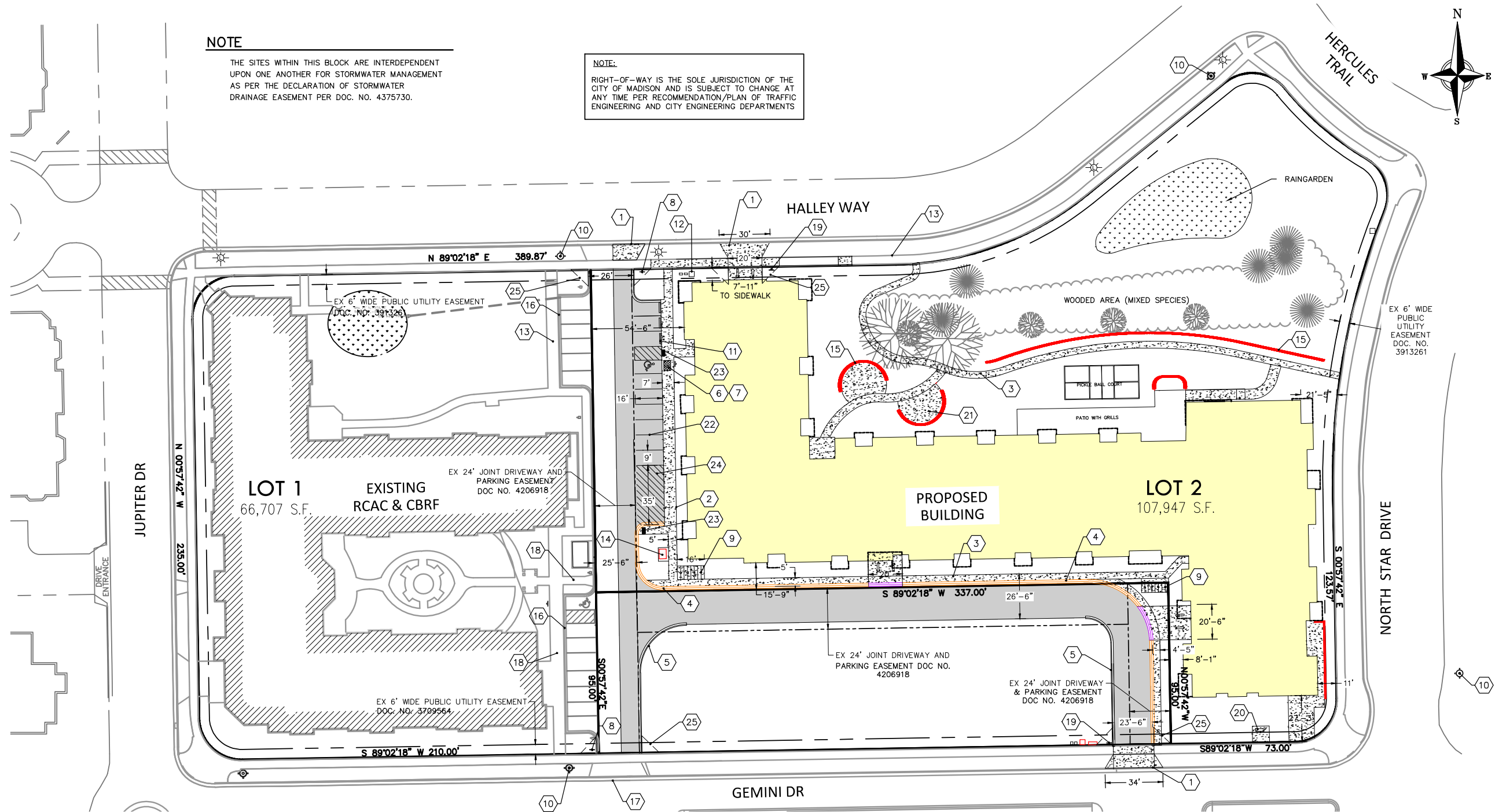
C200

NOTE

THE SITES WITHIN THIS BLOCK ARE INTERDEPENDENT UPON ONE ANOTHER FOR STORMWATER MANAGEMENT AS PER THE DECLARATION OF STORMWATER DRAINAGE EASEMENT PER DOC. NO. 4375730.

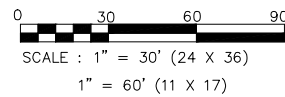
NOTE:

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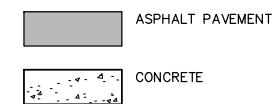


PLAN KEY

- | | | |
|--|--|--|
| 1 NEW DRIVEWAY APPROACH IN ACCORDANCE WITH M.G.O. 10.08 (F). CONTRACTOR TO OBTAIN PERMIT FROM CITY TO WORK IN THE RIGHT-OF-WAY | 9 BIKE RACK TO BE DERO PART# BH-FE-EPX BIKE RACKS SURFACE MOUNT POWDER COAT FINISH | 18 ACCESS TO EX. PUBLIC SIDEWALK |
| 2 THICKENED EDGE SIDEWALK | 10 EX HYDRANT | 19 7' HIGH STOP SIGN |
| 3 SIDEWALK | 11 PRECAST CURB STOP, TYP | 20 BENCH, BY OWNER |
| 4 24" MOUNTABLE CURB | 12 EX UTILITY PEDESTALS | 21 OUTDOOR PATIO, TYP. |
| 5 18" CURB & GUTTER | 13 EX SIDEWALK | 22 4" PAVEMENT STRIPING WITH TWO COATS OF TRAFFIC GRADE LATEX PAINT, TYP |
| 6 VAN ACCESSIBLE STALL, TYP. | 14 TRANSFORMER PAD | 23 ACCESSIBLE CURB RAMP W/ DETECTABLE WARNING STRIP |
| 7 VAN ACCESSIBLE PARKING SIGN, TYP. | 15 RETAINING WALL, TYP | 24 LOADING ZONE - PAVEMENT STRIPING |
| 8 EX 7' HIGH STOP SIGN | 16 EX CURB AND GUTTER | 25 VISION TRIANGLE, TYP. |
| | 17 EX DRIVEWAY APRON | |



PAVEMENT KEY



SITE INFORMATION

SITE ADDRESS: 5817 HALLEY WAY
 LEGAL DESCRIPTION: LOT 2 OF CERTIFIED SURVEY MAP NO. 12324 AS RECORDED IN VOL. 76, PG 226, OF C.S.M.'S AS DOC. NO. 4377275, IN THE SE 1/4 AND THE SW 1/4 OF THE NW 1/4 OF SECTION 11, T7N, R10E, CITY OF MADISON, DANE COUNTY, WISCONSIN
 SITE ACREAGE TOTAL: 107,947 SF (2.48 ACRES)
 NUMBER OF BUILDING STORIES = 4
 BUILDING HEIGHT = 56'-3"
 BUILDING AREA = 208,856 SF (41,582 SF FOOTPRINT)
 TYPE OF CONSTRUCTION: VA
 NUMBER OF EXTERIOR PARKING STALLS: 10 (1 HC)
 NUMBER OF UNDERGROUND PARKING STALLS: 117 (7 HC)

TOTAL NUMBER OF PARKING STALLS: 127 (8 HC)
 101 INTERIOR
 16 EXTERIOR
 EXISTING IMPERVIOUS AREA = 5,330 SF
 PROPOSED IMPERVIOUS AREA = 58,914 SF
 IMPERVIOUS SURFACE % = 54.6%

REVISIONS	DATE

CLIENT
OAK PARK PLACE

PROJECT
CAPITOL VIEW APARTMENTS

MADISON, WI

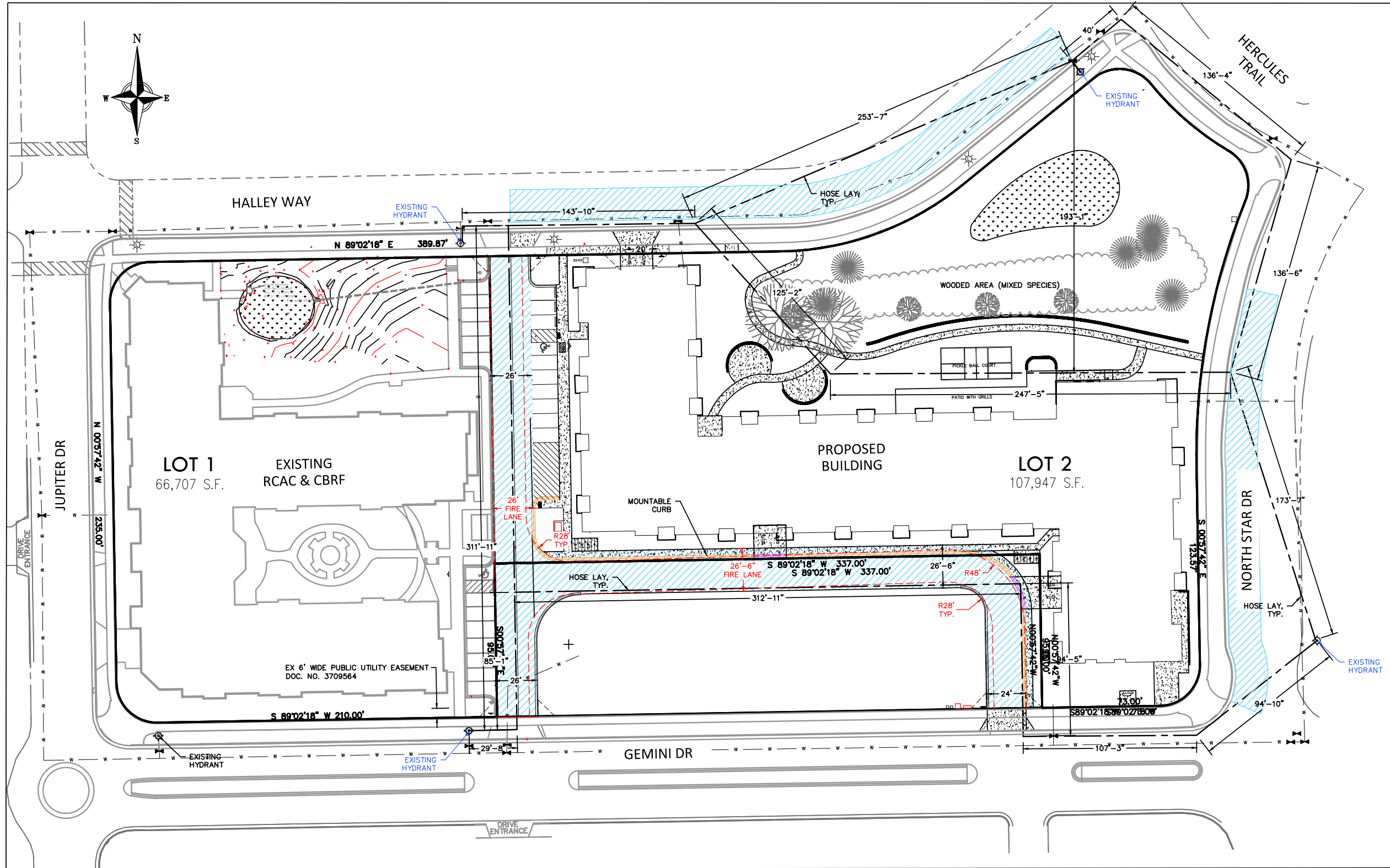
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K. JOHNSON
 CHECKED BY
R. JOHNSON
 DATE
03.02.2026
 JOB NUMBER
24-102

VOLUME / BID SET

SHEET NAME
FIRE ACCESS PLAN

SHEET NUMBER

C201



KEY



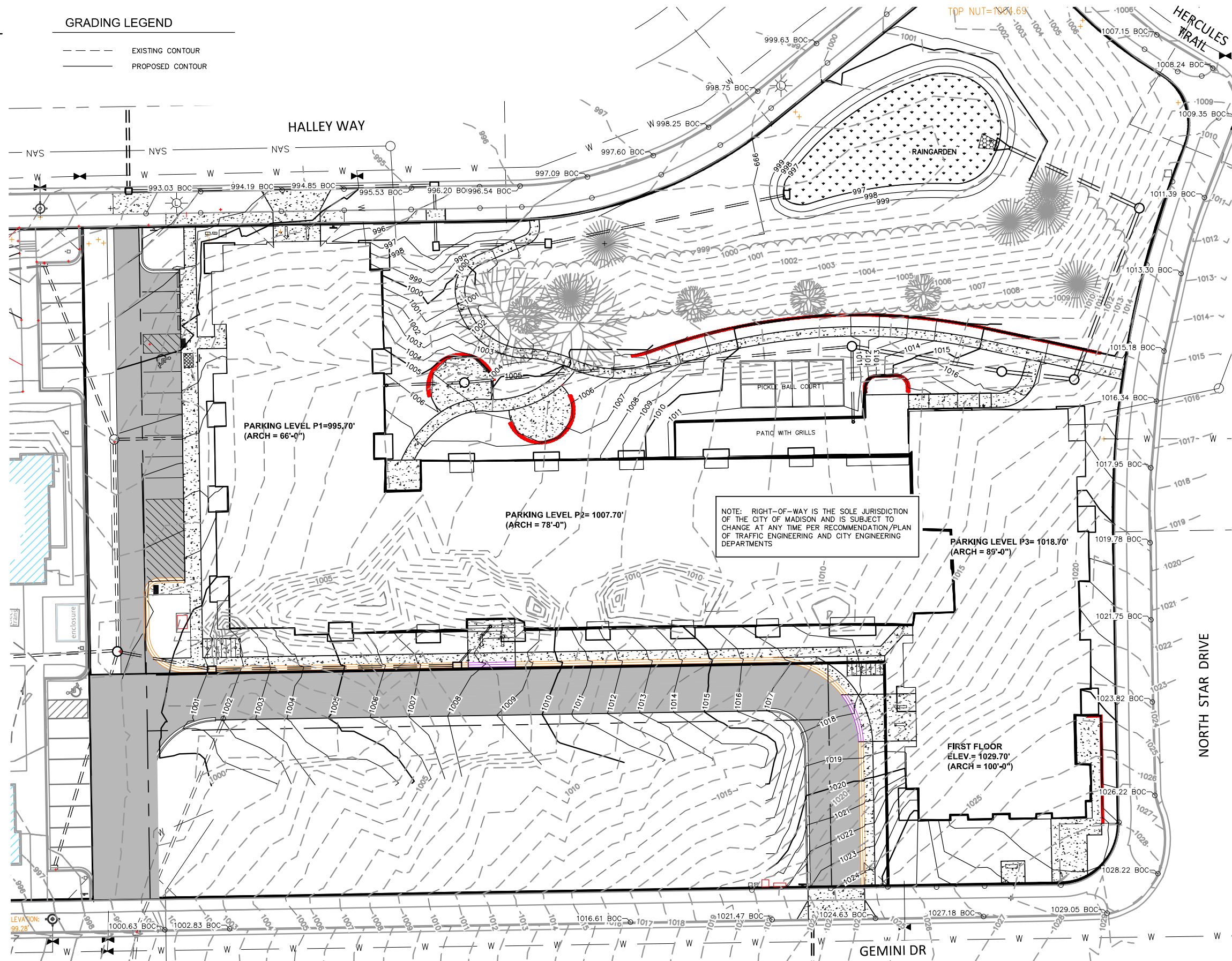
SCALE : 1" = 30' (24 X 36)
 1" = 60' (11 X 17)

GRADING NOTES

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
3. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.
4. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.
5. ALL LAWN AND PLANTING AREAS WHICH HAVE BEEN COMPACTED DUE TO CONSTRUCTION SHALL BE LOOSENEED PRIOR TO ADDITION OF TOPSOIL.

GRADING LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR



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0 20 40
 SCALE: 1" = 20' (24 X 36)
 1" = 40' (11 X 17)

REVISIONS	DATE

CLIENT
OAK PARK PLACE

PROJECT
CAPITOL VIEW APARTMENTS

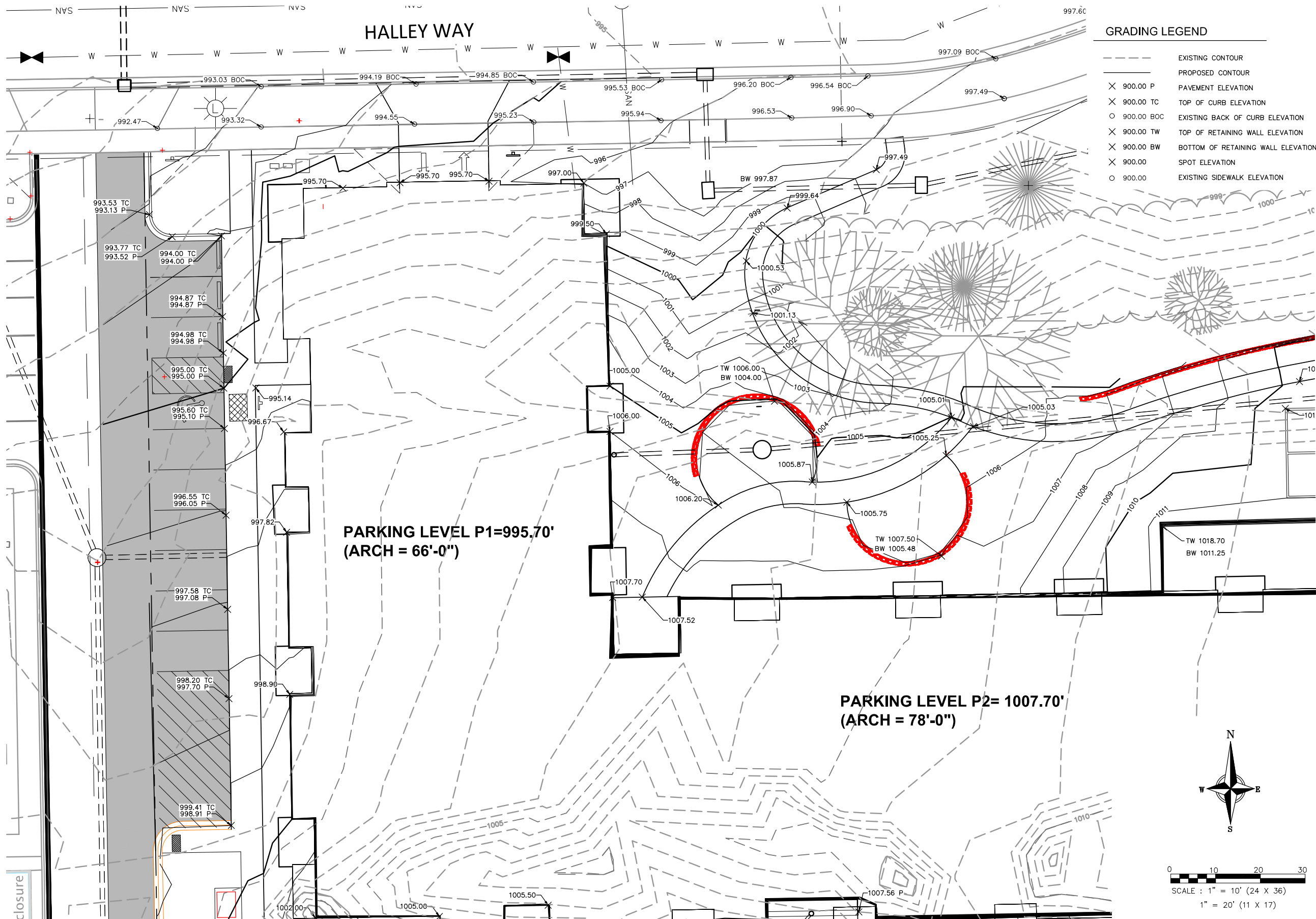
MADISON, WI

DRAWN BY
 K. JOHNSON
 CHECKED BY
 R. JOHNSON
 DATE
 03.02.2026
 JOB NUMBER
 24-102
 VOLUME / BID SET

SHEET NAME
GRADING PLAN

SHEET NUMBER
C300

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GRADING LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- × 900.00 P PAVEMENT ELEVATION
- × 900.00 TC TOP OF CURB ELEVATION
- 900.00 BOC EXISTING BACK OF CURB ELEVATION
- × 900.00 TW TOP OF RETAINING WALL ELEVATION
- × 900.00 BW BOTTOM OF RETAINING WALL ELEVATION
- × 900.00 SPOT ELEVATION
- 900.00 EXISTING SIDEWALK ELEVATION

REVISIONS	DATE

CLIENT
OAK PARK PLACE

PROJECT
CAPITOL VIEW APARTMENTS

MADISON, WI

DRAWN BY
K. JOHNSON
 CHECKED BY
R. JOHNSON
 DATE
03.02.2026
 JOB NUMBER
24-102

VOLUME / BID SET

SHEET NAME
GRADING PLAN - NW AREA

SHEET NUMBER

C301

REVISIONS	DATE

CLIENT
OAK PARK PLACE

PROJECT
CAPITOL VIEW APARTMENTS

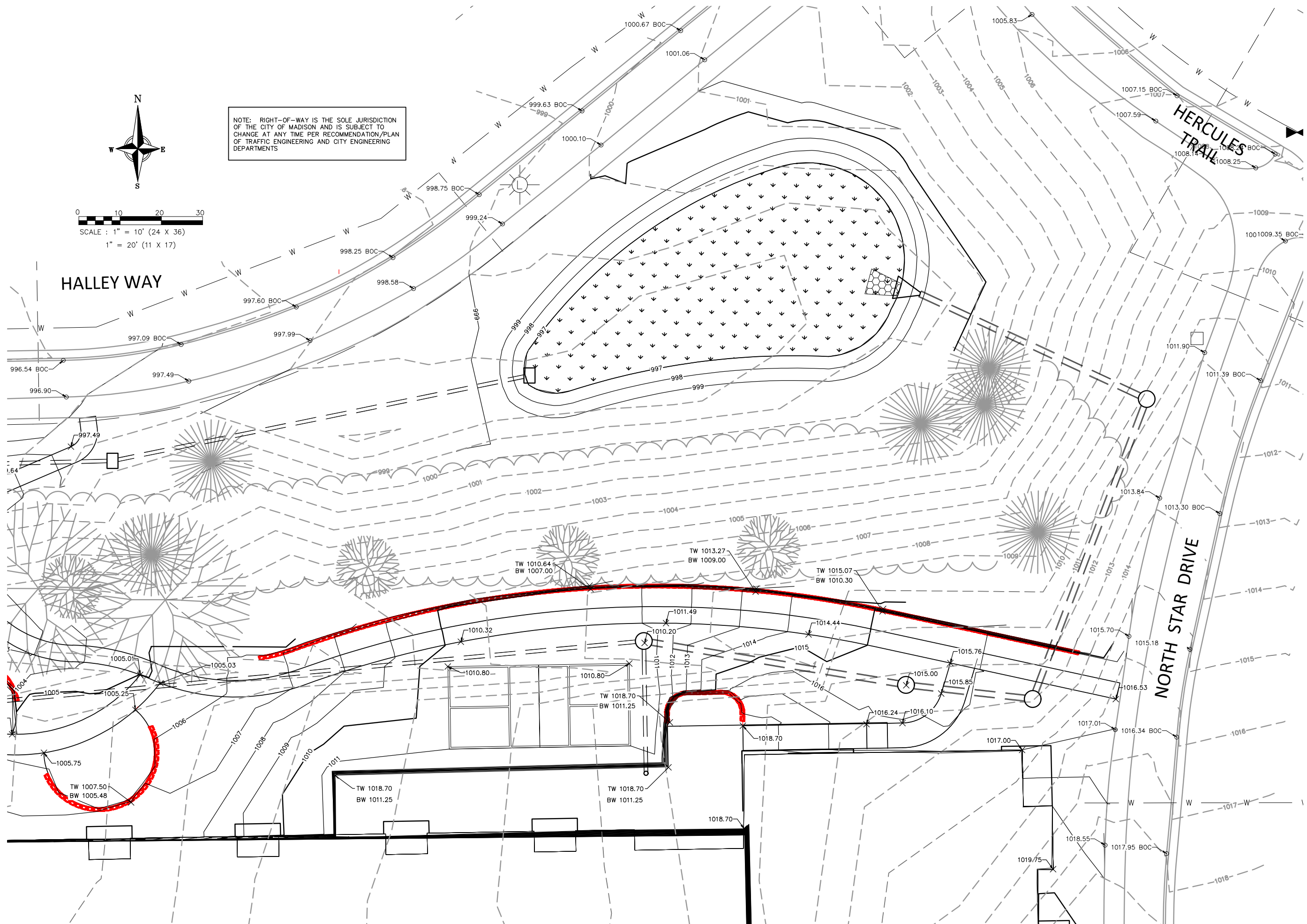
MADISON, WI

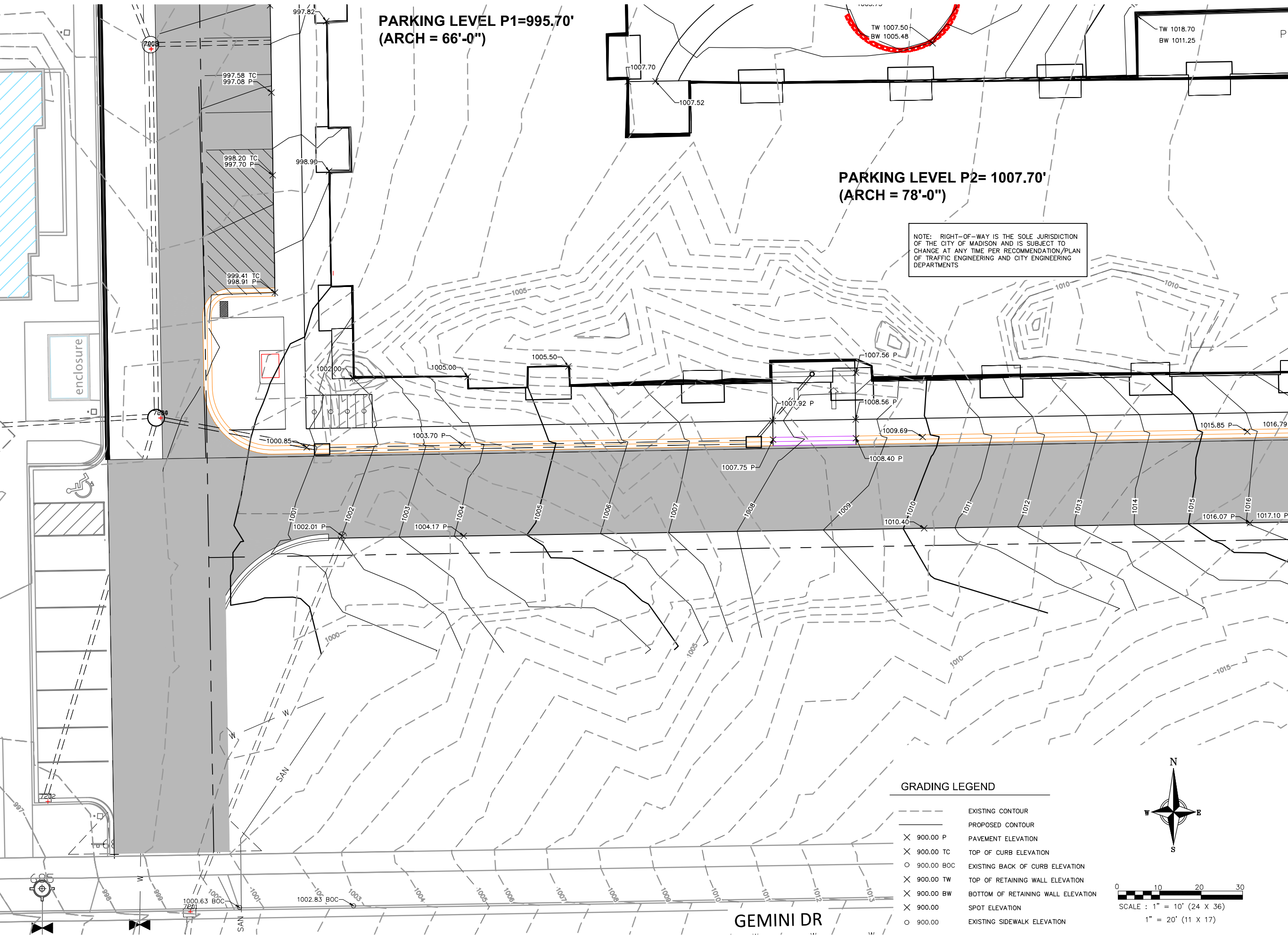
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K. JOHNSON
 CHECKED BY
R. JOHNSON
 DATE
03.02.2026
 JOB NUMBER
24-102
 VOLUME / BID SET

SHEET NAME
GRADING PLAN - NE CORNER

SHEET NUMBER

C302





REVISIONS	DATE

CLIENT
OAK PARK PLACE

PROJECT
CAPITOL VIEW APARTMENTS

MADISON, WI

DRAWN BY
 K. JOHNSON
 CHECKED BY
 R. JOHNSON
 DATE
 03.02.2026
 JOB NUMBER
 24-102
 VOLUME / BID SET

SHEET NAME
GRADING PLAN - SW AREA

SHEET NUMBER

C303

REVISIONS	DATE

CLIENT
OAK PARK PLACE

PROJECT
CAPITOL VIEW APARTMENTS

MADISON, WI

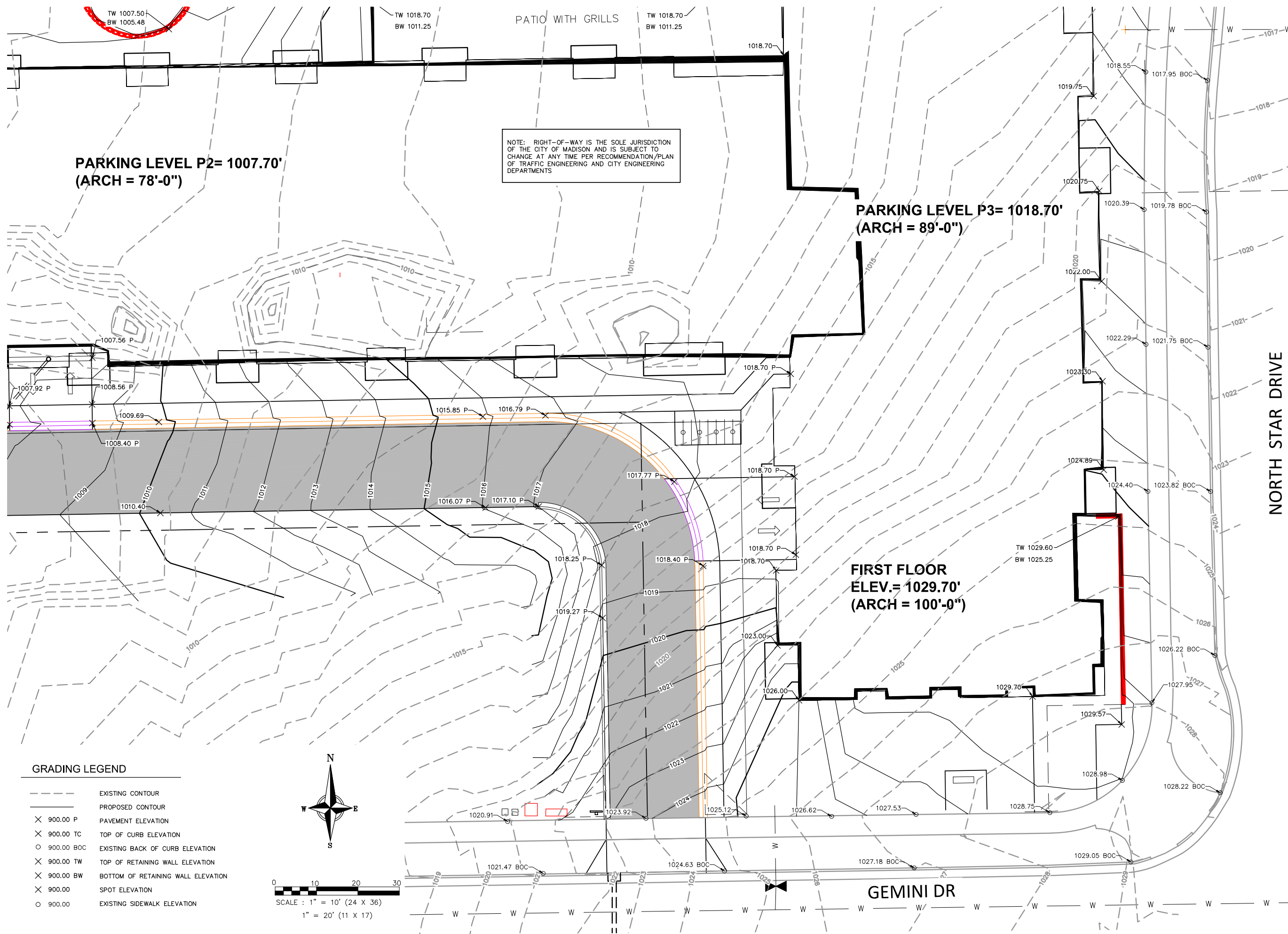
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K. JOHNSON
 CHECKED BY
R. JOHNSON
 DATE
03.02.2026
 JOB NUMBER
24-102

VOLUME / BID SET

SHEET NAME
GRADING PLAN - SE AREA

SHEET NUMBER

C304



PARKING LEVEL P2= 1007.70'
(ARCH = 78'-0")

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PARKING LEVEL P3= 1018.70'
(ARCH = 89'-0")

FIRST FLOOR
ELEV.= 1029.70'
(ARCH = 100'-0")

GRADING LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- X 900.00 P PAVEMENT ELEVATION
- X 900.00 TC TOP OF CURB ELEVATION
- O 900.00 BOC EXISTING BACK OF CURB ELEVATION
- X 900.00 TW TOP OF RETAINING WALL ELEVATION
- X 900.00 BW BOTTOM OF RETAINING WALL ELEVATION
- X 900.00 SPOT ELEVATION
- O 900.00 EXISTING SIDEWALK ELEVATION



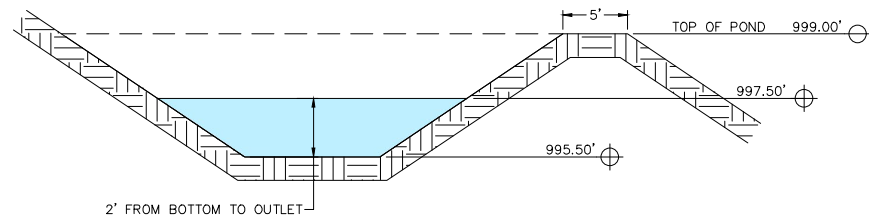
0 10 20 30
 SCALE : 1" = 10' (24 X 36)
 1" = 20' (11 X 17)

EROSION CONTROL NOTES

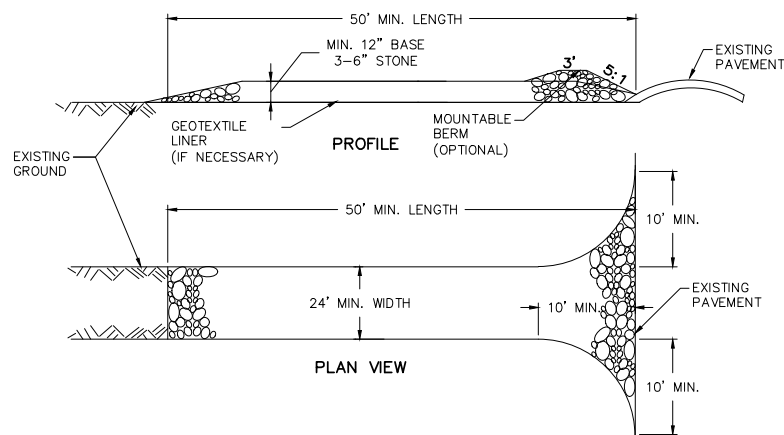
1. THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF LAND DISTURBING CONSTRUCTION ACTIVITIES UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL AND STORMWATER ORDINANCE AND THE APPROPRIATE WISCONSIN DNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. THE VILLAGE RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
3. CLEANING. RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY.
4. RESTORATION. RESTORATION SHALL BE COMPLETED AS NOTED IN THE CONSTRUCTION SCHEDULE UNLESS OTHERWISE AUTHORIZED BY THE CITY.
5. INSPECTION. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND A DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
6. STONE TRACKING PAD. BEFORE BEGINNING CONSTRUCTION, CONTRACTOR SHALL INSTALL A STONE TRACKING PAD AT EACH POINT WHERE VEHICLES ENTERS/EXITS THE CONSTRUCTION SITE. STONE TRACKING PADS SHOULD BE AT LEAST 24 FEET WIDE AND 50 FEET LONG, AND CONSTRUCTED OF 3-6 INCH WASHED STONE WITH A DEPTH OF AT LEAST 12 INCHES. ON SITES WITH CLAY SOILS, STONE TRACKING PADS MUST BE UNDERLAIN WITH A GEOTEXTILE LINER TO PREVENT THE STONE FROM SINKING INTO THE SOIL.
7. INLET PROTECTION. ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH FRAMED INLET PROTECTION MEETING ASTM D8057-17 REQUIREMENTS. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT.
8. EROSION MAT. AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 4H:1V SHALL BE STABILIZED WITH WISCONSIN DOT CLASS 1, URBAN, TYPE B, EROSION MAT OR WISCONSIN DOT CLASS 2, TYPE B, COCONUT FIBER EROSION MAT AS NOTED.
9. TEMPORARY EROSION CONTROL. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
10. STABILIZATION. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
11. TOPSOIL. A MINIMUM OF 6 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.
12. SEEDING. SEED MIXTURE SHALL BE APPLIED AT A RATE OF 3.5 LBS PER 1,000 SF OF AREA OR AS NOTED ON THE LANDSCAPE PLAN.
13. STOCKPILES. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
14. POLYMER. BARE SOILS TO BE EXPOSED OVER WINTER SHALL BE SPRAYED WITH POLYMER IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1050.

KEY

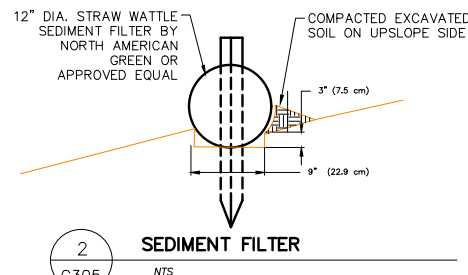
WISCONSIN DOT CLASS 1, URBAN, TYPE B, EROSION MAT



3 TEMPORARY SEDIMENT TRAP DETAIL
 C301 NTS



1 STONE TRACKING PAD
 C305 NTS



2 SEDIMENT FILTER
 C305 NTS



CONSTRUCTION SCHEDULE

INSTALL EROSION CONTROL MEASURES: MAY 1, 2026
 BEGIN GRADING FOR BUILDING FOUNDATIONS ONLY (USLE FLOW PATH 1): MAY 2, 2026
 INSTALL SEDIMENT TRAP AND BEGIN PARKING LOT GRADING (USLE FLOW PATH 2): MAY 15, 2026
 PLACE BASE COURSE IN PARKING LOT: JUNE 22, 2026
 PLACE SEED & EROSION MAT ON DISTURBED AREAS (USLE FLOW PATH 3): SEPTEMBER 1, 2026
 REMOVED SEDIMENT FROM SEDIMENT TRAP AND CONSTRUCT BIORETENTION AREA: MAY 20, 2027
 FINISH CONSTRUCTING BIORETENTION AREA: MAY 30, 2027
 VEGETATION ESTABLISHED: JULY 30, 2027

0 30 60 90
 SCALE : 1" = 30' (24 X 36)
 1" = 60' (11 X 17)



REVISIONS	DATE

CLIENT
OAK PARK PLACE

PROJECT
CAPITOL VIEW APARTMENTS

MADISON, WI

DRAWN BY
 K. JOHNSON
 CHECKED BY
 R. JOHNSON
 DATE
 03.02.2026
 JOB NUMBER
 24-102

VOLUME / BID SET

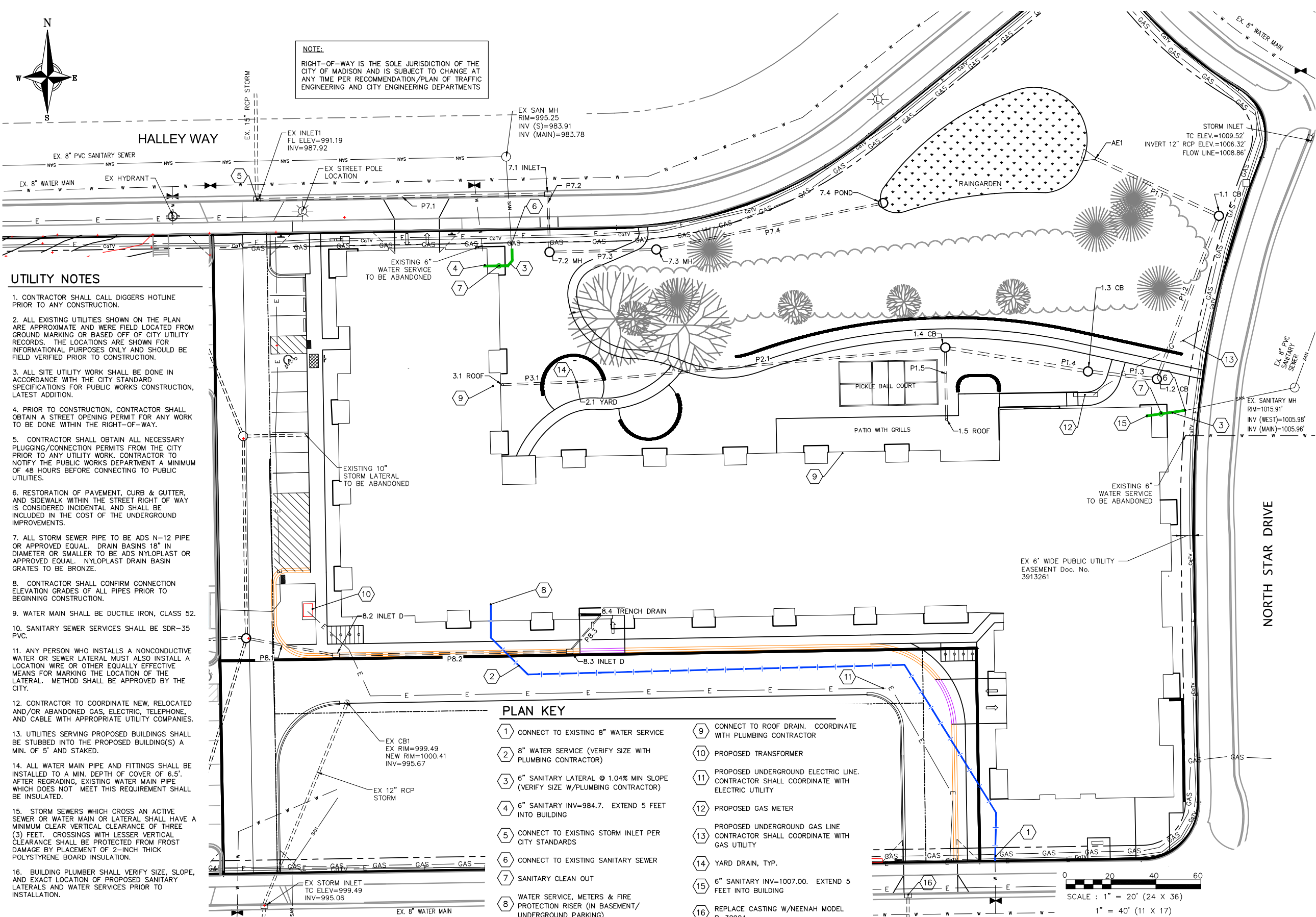
SHEET NAME
EROSION CONTROL PLAN

SHEET NUMBER

C305



NOTE:
 RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS

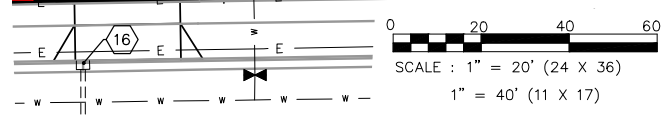


UTILITY NOTES

1. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
2. ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKING OR BASED OFF OF CITY UTILITY RECORDS. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
3. ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST ADDITION.
4. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.
5. CONTRACTOR SHALL OBTAIN ALL NECESSARY PLUGGING/CONNECTION PERMITS FROM THE CITY PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
6. RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
7. ALL STORM SEWER PIPE TO BE ADS N-12 PIPE OR APPROVED EQUAL. DRAIN BASINS 18" IN DIAMETER OR SMALLER TO BE ADS NYLOPLAST OR APPROVED EQUAL. NYLOPLAST DRAIN BASIN GRATES TO BE BRONZE.
8. CONTRACTOR SHALL CONFIRM CONNECTION ELEVATION GRADES OF ALL PIPES PRIOR TO BEGINNING CONSTRUCTION.
9. WATER MAIN SHALL BE DUCTILE IRON, CLASS 52.
10. SANITARY SEWER SERVICES SHALL BE SDR-35 PVC.
11. ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY THE CITY.
12. CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
13. UTILITIES SERVING PROPOSED BUILDING(S) SHALL BE STUBBED INTO THE PROPOSED BUILDING(S) A MIN. OF 5' AND STAKED.
14. ALL WATER MAIN PIPE AND FITTINGS SHALL BE INSTALLED TO A MIN. DEPTH OF COVER OF 6.5'. AFTER REGRADING, EXISTING WATER MAIN PIPE WHICH DOES NOT MEET THIS REQUIREMENT SHALL BE INSULATED.
15. STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSINGS WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.
16. BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.

PLAN KEY

- | | |
|--|--|
| 1 CONNECT TO EXISTING 8" WATER SERVICE | 9 CONNECT TO ROOF DRAIN. COORDINATE WITH PLUMBING CONTRACTOR |
| 2 8" WATER SERVICE (VERIFY SIZE WITH PLUMBING CONTRACTOR) | 10 PROPOSED TRANSFORMER |
| 3 6" SANITARY LATERAL @ 1.04% MIN SLOPE (VERIFY SIZE W/PLUMBING CONTRACTOR) | 11 PROPOSED UNDERGROUND ELECTRIC LINE. CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY |
| 4 6" SANITARY INV=984.7. EXTEND 5 FEET INTO BUILDING | 12 PROPOSED GAS METER |
| 5 CONNECT TO EXISTING STORM INLET PER CITY STANDARDS | 13 PROPOSED UNDERGROUND GAS LINE. CONTRACTOR SHALL COORDINATE WITH GAS UTILITY |
| 6 CONNECT TO EXISTING SANITARY SEWER | 14 YARD DRAIN, TYP. |
| 7 SANITARY CLEAN OUT | 15 6" SANITARY INV=1007.00. EXTEND 5 FEET INTO BUILDING |
| 8 WATER SERVICE, METERS & FIRE PROTECTION RISER (IN BASEMENT/ UNDERGROUND PARKING) | 16 REPLACE CASTING W/NEENAH MODEL R-3290A |



REVISIONS	DATE

CLIENT
OAK PARK PLACE

PROJECT
CAPITOL VIEW APARTMENTS

MADISON, WI

DRAWN BY
 K. JOHNSON
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 R. JOHNSON
 DATE
 03.02.2026
 JOB NUMBER
 24-102
 VOLUME / BID SET

SHEET NAME
UTILITY PLAN

SHEET NUMBER

C400

STRUCTURE TABLE

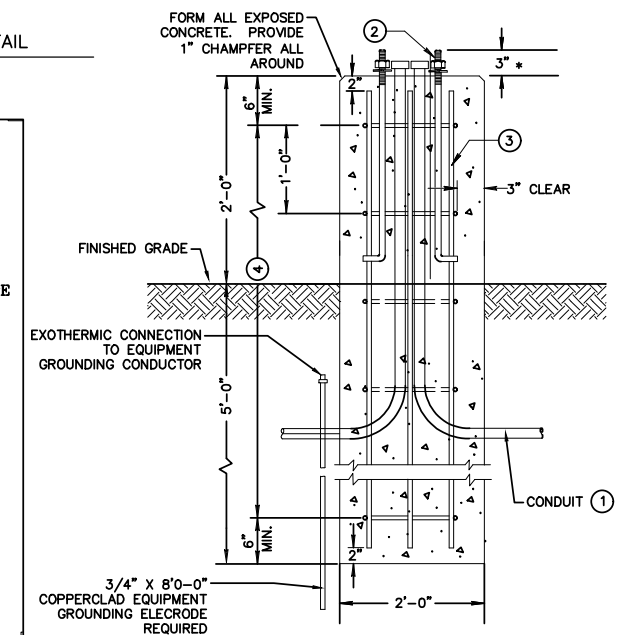
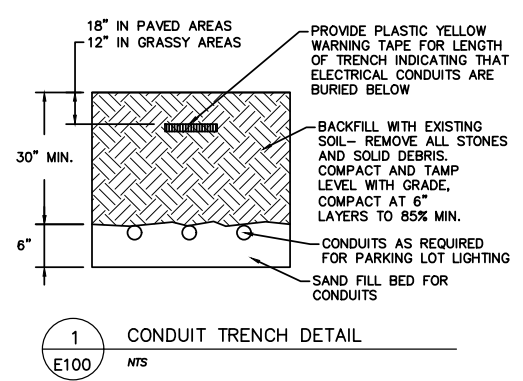
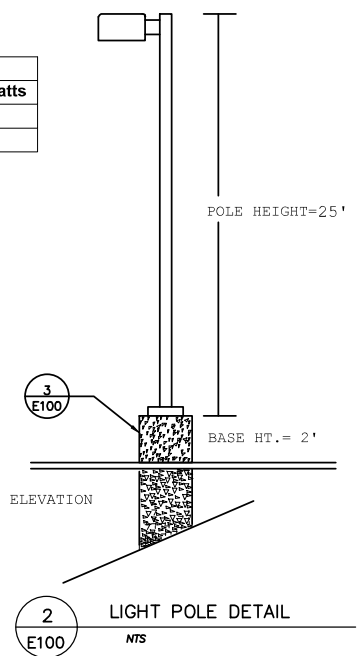
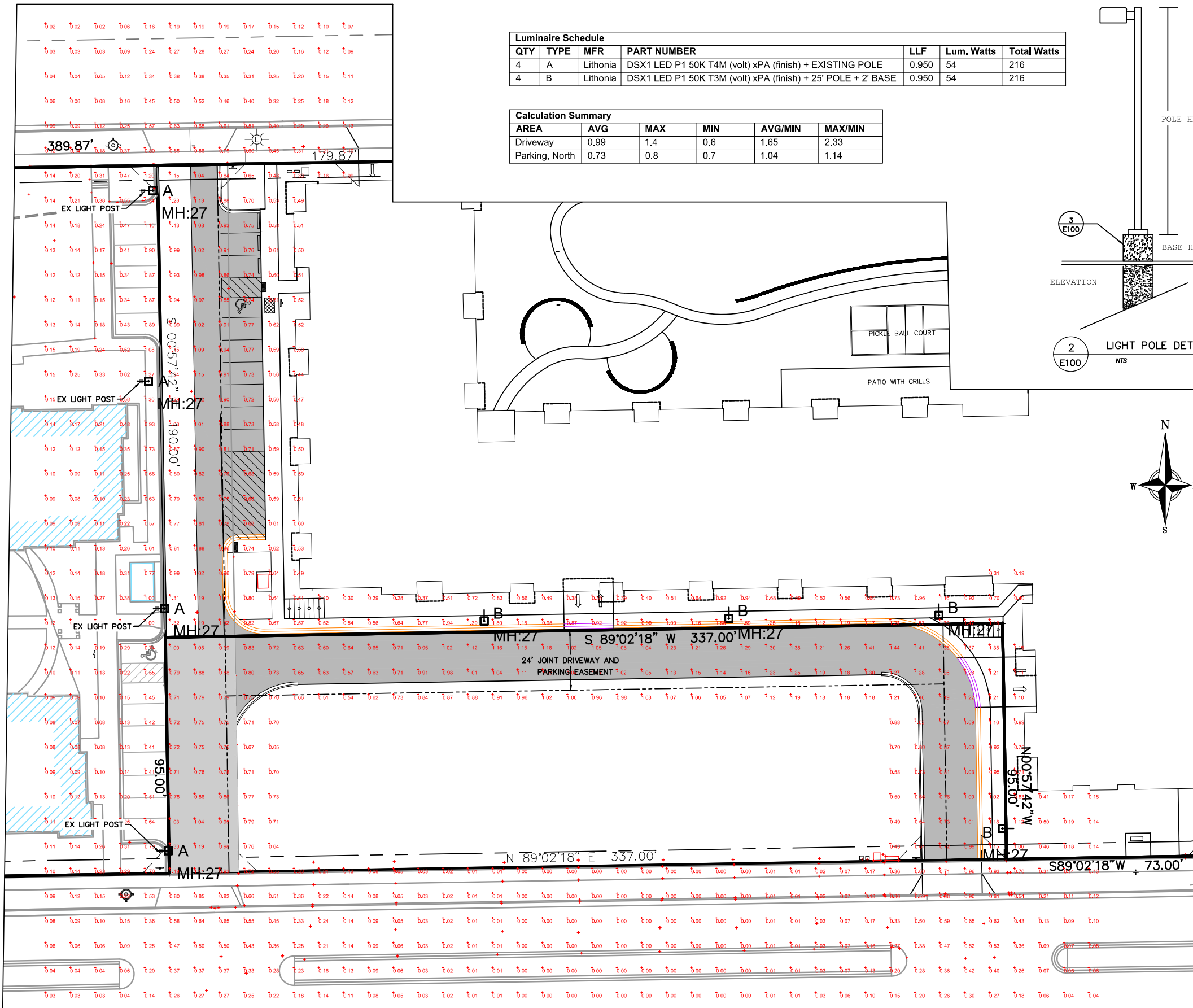
STRUCTURE NAME:	SIZE	TOP OF CASTING	PIPES IN:	PIPES OUT	CASTING:
1.1 CB	4-FT DIA. CB	1010.00	P1.2, 15" REINFORCED CONCRETE PIPE INV IN =1001.08	P1.1, 15" REINFORCED CONCRETE PIPE INV OUT =1000.00	NEENAH R-2050
1.2 CB	4-FT DIA. CB	1016.51	P1.3, 15" REINFORCED CONCRETE PIPE INV IN =1001.28	P1.2, 15" REINFORCED CONCRETE PIPE INV OUT =1001.20	NEENAH R-2050
1.3 CB	4-FT DIA. CB	1015.00	P1.4, 15" REINFORCED CONCRETE PIPE INV IN =1001.55	P1.3, 15" REINFORCED CONCRETE PIPE INV OUT =1001.50	NEENAH R-2050
1.4 CB	4-FT DIA. CB	1010.27	P2.1, 10" INV IN =1002.04 P1.5, 10" INV IN =1003.20	P1.4, 15" REINFORCED CONCRETE PIPE INV OUT =1002.00	NEENAH R-2050
1.5 ROOF	CONNECT TO ROOF DRAIN	1018.70		P1.5, 10" INV OUT =1004.50	CONNECT TO ROOF DRAIN
2.1 YARD	8" BASIN	1005.96	P3.1, 10" INV IN =1003.27	P2.1, 10" INV OUT =1003.20	8" GRATE
3.1 ROOF	CONNECT TO ROOF DRAIN	1006.30		P3.1, 10" INV OUT =1003.50	CONNECT TO ROOF DRAIN
7.1 INLET	2X3-FT	995.75	P7.2, 10" INV IN =990.65	P7.1, 12" INV OUT =990.65	NEENAH R-3067
7.2 MH	3-FT DIA. CB	996.01	P7.3, 10" INV IN =990.90	P7.2, 10" INV OUT =990.90	NEENAH R-1550
7.3 MH	3-FT DIA. CB	998.50	P7.4, 10" INV IN =991.34	P7.3, 10" INV OUT =991.34	NEENAH R-1550
7.4 POND	3-FT DIA. CB	997.50		P7.4, 10" INV OUT =992.31	HAALA INDUSTRIES CG36TM
8.1 EX CB	EXISTING CB	998.85	P8.1, 10" INV IN =993.00		ADJUST CASTING RIM HEIGHT
8.2 INLET D	2X3-FT	1001.50	P8.2, 10" INV IN =997.00	P8.1, 10" INV OUT =997.00	NEENAH R-3290A
8.3 INLET D	2X3-FT	1007.67	P8.3, 6" INV IN =1003.24	P8.2, 10" INV OUT =1003.24	NEENAH R-3290A
8.4 TRENCH DRAIN	20' LONG	1007.63		P8.3, 6" INV OUT =1004.32	ZURN Z886-8606-HD-DGE
AE1	12" RCP A.E.	1000.02	P1.1, 15" REINFORCED CONCRETE PIPE INV IN =998.50		
EX INLET1	EX STRUCTURE	992.56	P7.1, 12" INV IN =988.25		

PIPE TABLE

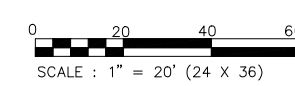
NAME	SIZE	LENGTH	SLOPE	MATERIAL	START INVERT ELEVATION	END INVERT ELEVATION
P1.1	15"	61'	2.48%	ADS N-12	1000.00'	998.50'
P1.2	15"	78'	0.15%	ADS N-12	1001.20'	1001.08'
P1.3	15"	31'	0.70%	ADS N-12	1001.50'	1001.28'
P1.4	15"	65'	0.70%	ADS N-12	1002.00'	1001.55'
P1.5	10"	33'	4.05%	ADS N-12	1004.50'	1003.20'
P2.1	10"	166'	0.70%	ADS N-12	1003.20'	1002.04'
P3.1	10"	34'	0.70%	ADS N-12	1003.50'	1003.27'
P7.1	12"	130'	1.85%	RCP	990.65'	988.25'
P7.2	10"	26'	0.97%	ADS N-12	990.90'	990.65'
P7.3	10"	48'	0.92%	ADS N-12	991.34'	990.90'
P7.4	10"	104'	0.94%	ADS N-12	992.31'	991.34'
P8.1	10"	41'	9.82%	ADS N-12	997.00'	993.00'
P8.2	10"	105'	5.99%	ADS N-12	1003.24'	997.00'
P8.3	6"	22'	5.00%	ADS N-12	1004.32'	1003.24'

Luminaire Schedule						
QTY	TYPE	MFR	PART NUMBER	LLF	Lum. Watts	Total Watts
4	A	Lithonia	DSX1 LED P1 50K T4M (volt) xPA (finish) + EXISTING POLE	0.950	54	216
4	B	Lithonia	DSX1 LED P1 50K T3M (volt) xPA (finish) + 25' POLE + 2' BASE	0.950	54	216

Calculation Summary					
AREA	AVG	MAX	MIN	AVG/MIN	MAX/MIN
Driveway	0.99	1.4	0.6	1.65	2.33
Parking, North	0.73	0.8	0.7	1.04	1.14



- THE MINIMUM DEPTH OF CONDUIT EXITING THE CONCRETE BASE AND INSTALLED BELOW THE TRAVELED WAY SHALL BE 24 INCHES. THE MINIMUM DEPTH OF CONDUIT EXITING THE CONCRETE BASE THAT IS NOT INSTALLED BELOW THE TRAVELED WAY SHALL BE 18 INCHES. THE MAXIMUM DEPTH OF ALL CONDUIT SHALL BE 36 INCHES EXCEPT WITH WRITTEN APPROVAL BY THE ENGINEER.
- ANCHOR BOLTS PER MANUFACTURER'S INSTRUCTIONS
- (6) NO.4 X 4'-8" BAR STEEL REINFORCEMENT.
- (5) NO.4 X 5'-1" BAR STEEL REINFORCEMENT @ 1'-0" C-C.



REVISIONS	DATE

CLIENT
OAK PARK PLACE

PROJECT
CAPITOL VIEW APARTMENTS

MADISON, WI

DRAWN BY
K. JOHNSON
 CHECKED BY
R. JOHNSON
 DATE
03.02.2026
 JOB NUMBER
24-102
 VOLUME / BID SET

SHEET NAME
LIGHTING PLAN

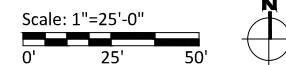
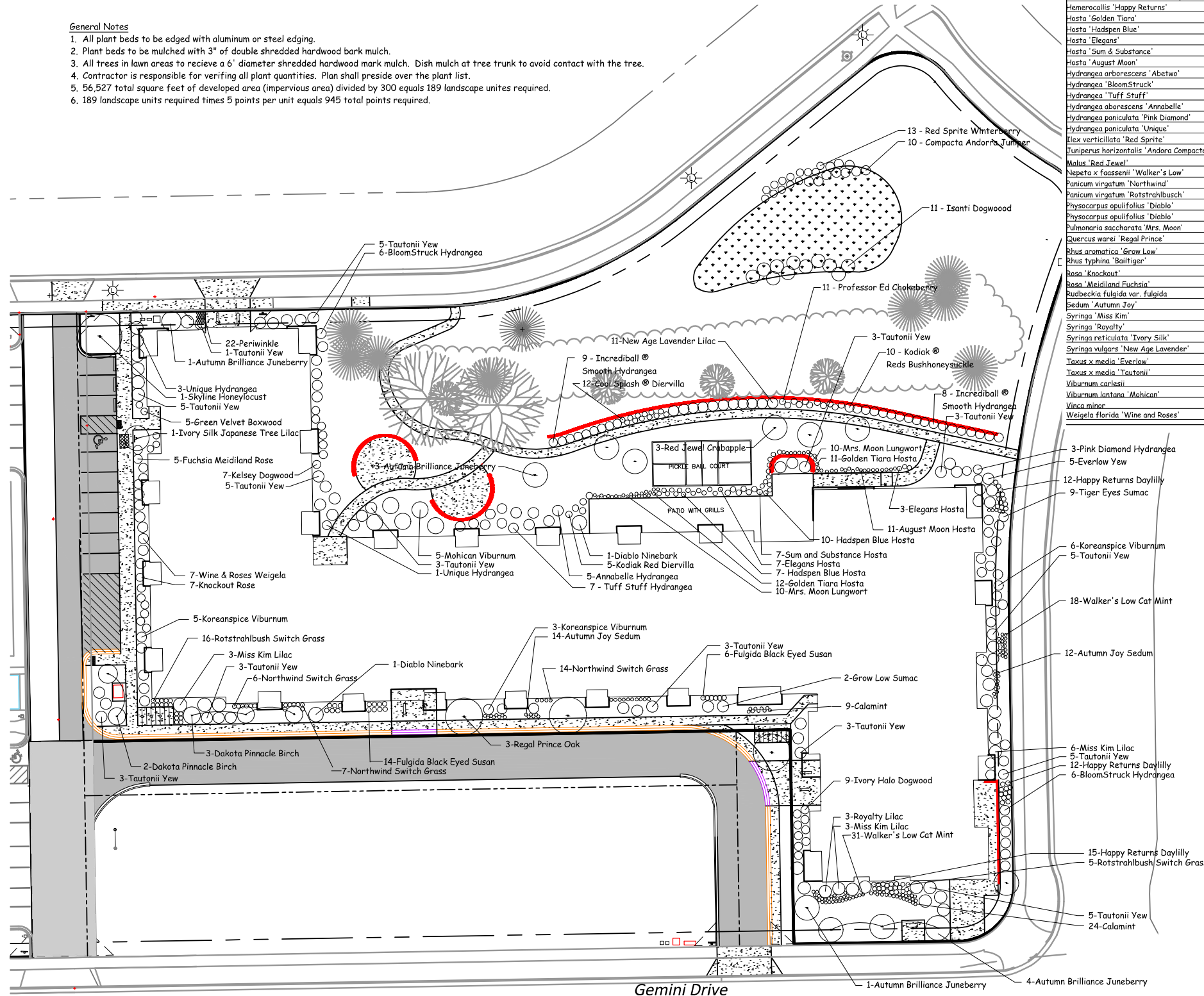
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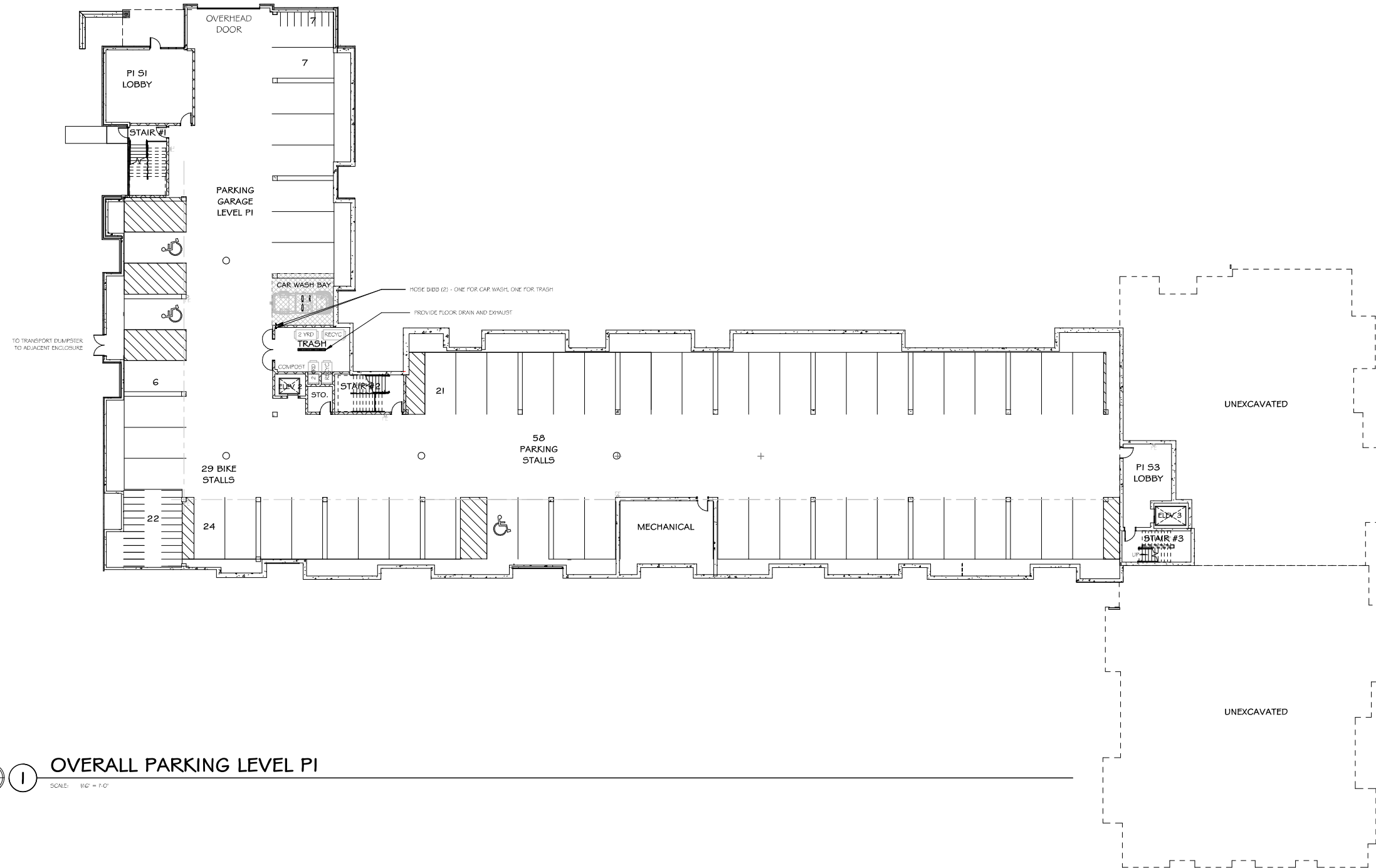
E100

PLANT LIST					
Latin Name	Common Name	Quantity	Scheduled Size	Points Per Plant	Total Points
Existing Plants					
	Existing Overstory Trees	10		35	350
	Existing Evergreen Trees	7		15	105
				Existing Points:	455
Proposed Plants					
Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Juneberry	9	2in BB	15	135
Aronia melanocarp 'Professor Ed'	Professor Ed Chokeberry	11	#3	2	22
Betula platyphylla 'Fargo'	Dakota Pinnacle Birch	5	2' BB	15	75
Buxus x sempervirens 'Green Velvet'	Green Velvet Boxwood	5	#2	3	15
Calamintha nepeta 'Montrose White'	Calamint	33	4.5in Pot	2	66
Cornus alba 'Baibala'	Ivory Halo Dogwood	9	18-24in	2	18
Cornus sericea 'Tsanti'	Tsanti Dogwood	11	2-3ft	2	22
Cornus sericea 'Kelsey'	Kelsey Dogwood	7	3-4ft	2	14
Diervilla sp. Cool Splash®	Cool Splash® Diervilla	12	#3	2	24
Diervilla sp. Kodiak Red	Kodiak Red Bush Honeysuckle	15	#3	2	30
Eleditsia triacanthos inermis 'Skyline'	Skyline Honeylocust	1	3in BB	35	35
Hemerocallis 'Happy Returns'	Happy Returns Daylily	39	4.5in Pot	2	78
Hosta 'Golden Tiara'	Golden Tiara Hosta	23	#1	2	46
Hosta 'Hadsphen Blue'	Hadsphen Blue Hosta	17	#1	2	34
Hosta 'Elegans'	Elegans Hosta	10	#1	2	20
Hosta 'Sum & Substance'	Sum & Substance Hosta	7	#1	2	14
Hosta 'August Moon'	August Moon Hosta	9	#1	2	18
Hydrangea arborescens 'Abetwo'	Incrediball Hydrangea	18	#3	2	36
Hydrangea 'BloomStruck'	BloomStruck Hydrangea	12	#1 Grade	2	24
Hydrangea 'Tuff Stuff'	Tuff Stuff Hydrangea	5	#1 Grade	2	10
Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	10	#1 Grade	2	20
Hydrangea paniculata 'Pink Diamond'	Pink Diamond Hydrangea	3	18in	2	6
Hydrangea paniculata 'Unique'	Unique Hydrangea	11	2ft	2	22
Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	13	24"	2	26
Juniperus horizontalis 'Andora Compacta'	Compacta Andorra Juniper	10	#3	2	20
Malus 'Red Jewel'	Red Jewel Crabapple	3	2in BB	15	45
Nepeta x faassenii 'Walker's Low'	Walker's Low Cat Mint	49	4.5in Pot	2	98
Panicum virgatum 'Northwind'	Northwind Switch Grass	27	1 Gal	2	54
Panicum virgatum 'Rotstrahlbusch'	Rotstrahlbusch Switch Grass	21	1 Gal	2	42
Physocarpus opulifolius 'Diablo'	Diablo Ninebark	2	2-3ft	2	4
Physocarpus opulifolius 'Diablo'	Diablo Ninebark	20	2.5in Pot	2	40
Pulmonaria saccharata 'Mrs. Moon'	Mrs. Moon Lungwort	2	2-3ft	2	4
Quercus warei 'Regal Prince'	Regal Prince Oak	3	2in BB	15	45
Rhus aromatica 'Grow Low'	Grow Low Sumac	2	15-18in	2	4
Rhus typhina 'Bailtiger'	Tiger Eyes Sumac	9	2-3ft	2	18
Rosa 'Knockout'	Knockout Rose	7	2 Gal	2	14
Rosa 'Meidiland Fuchsia'	Fuchsia Meidiland Rose	5	2 Gal	2	10
Rudbeckia fulgida var. fulgida	Fulgida Black Eyed Susan	20	4.5in Pot	2	40
Sedum 'Autumn Joy'	Autumn Joy Sedum	26	4.5in Pot	2	52
Syringa 'Miss Kim'	Miss Kim Lilac	12	2-3ft	2	24
Syringa 'Royalty'	Royalty Lilac	3	3-4ft	2	6
Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1	2in BB	15	15
Syringa vulgaris 'New Age Lavender'	New Age Lavender Lilac	11	2 Gal	2	22
Taxus x media 'Everlow'	Everlow Yew	5	#5	3	15
Taxus x media 'Tautonii'	Tautonii Yew	52	#5	3	156
Viburnum carlesii	Koreanspice Viburnum	14	#5	2	28
Viburnum lantana 'Mahican'	Mahican Viburnum	10	3ft	2	20
Vinca minor	Periwinkle	22	2.5in Pot	0	0
Weigela florida 'Wine and Roses'	Wine & Roses Weigela	7	2ft	2	14
				Proposed Points:	1600
				Total Points:	2055

General Notes

- All plant beds to be edged with aluminum or steel edging.
- Plant beds to be mulched with 3" of double shredded hardwood bark mulch.
- All trees in lawn areas to receive a 6' diameter shredded hardwood mulch. Dish mulch at tree trunk to avoid contact with the tree.
- Contractor is responsible for verifying all plant quantities. Plan shall preside over the plant list.
- 56,527 total square feet of developed area (impervious area) divided by 300 equals 189 landscape units required.
- 189 landscape units required times 5 points per unit equals 945 total points required.





OVERALL PARKING LEVEL P1

SCALE: 1/8" = 1'-0"

REVISIONS	DATE

PRELIMINARY
 NOT FOR CONSTRUCTION

CLIENT
OAK PARK PLACE

PROJECT
CAPITOL VIEW APARTMENTS

MADISON, WI

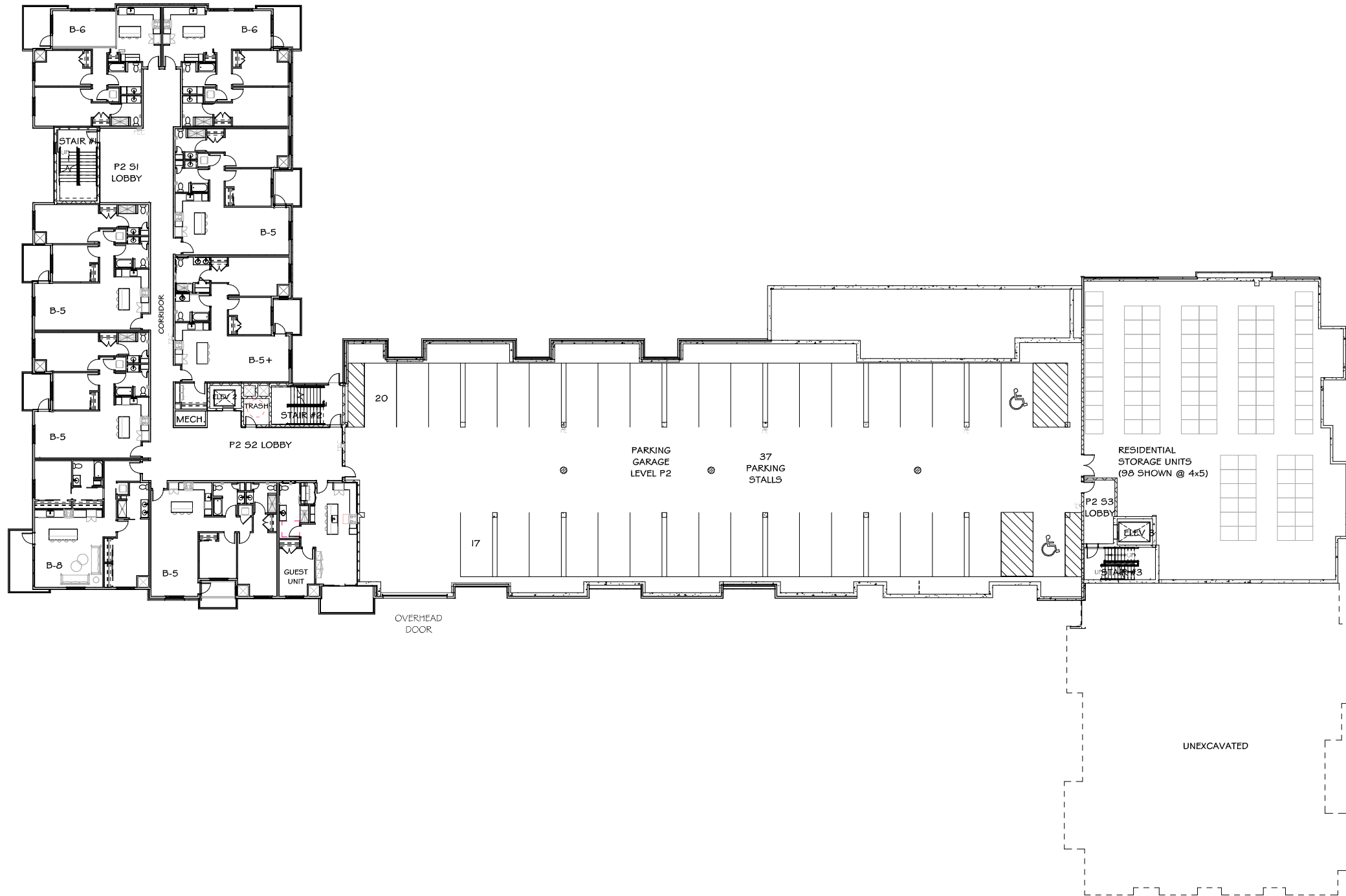
DRAWN BY
 J. OLSON / N. RAPPEL
 CHECKED BY
 B. SERVIN / J. GRAHAM
 DATE
 12.15.2025
 JOB NUMBER
 24-102

BID SET | VOLUME

SHEET NAME
OVERALL PARKING LEVEL P1

SHEET NUMBER

A100



REVISIONS	DATE

**PRELIMINARY
NOT FOR CONSTRUCTION**

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OAK PARK PLACE

PROJECT
**CAPITOL VIEW
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MADISON, WI

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J. OLSON / N. RAPPEL
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B. SERVIN / J. GRAHAM
 DATE
12.15.2025
 JOB NUMBER
24-102

BID SET | VOLUME

SHEET NAME
OVERALL PARKING LEVEL P2

SHEET NUMBER

A101

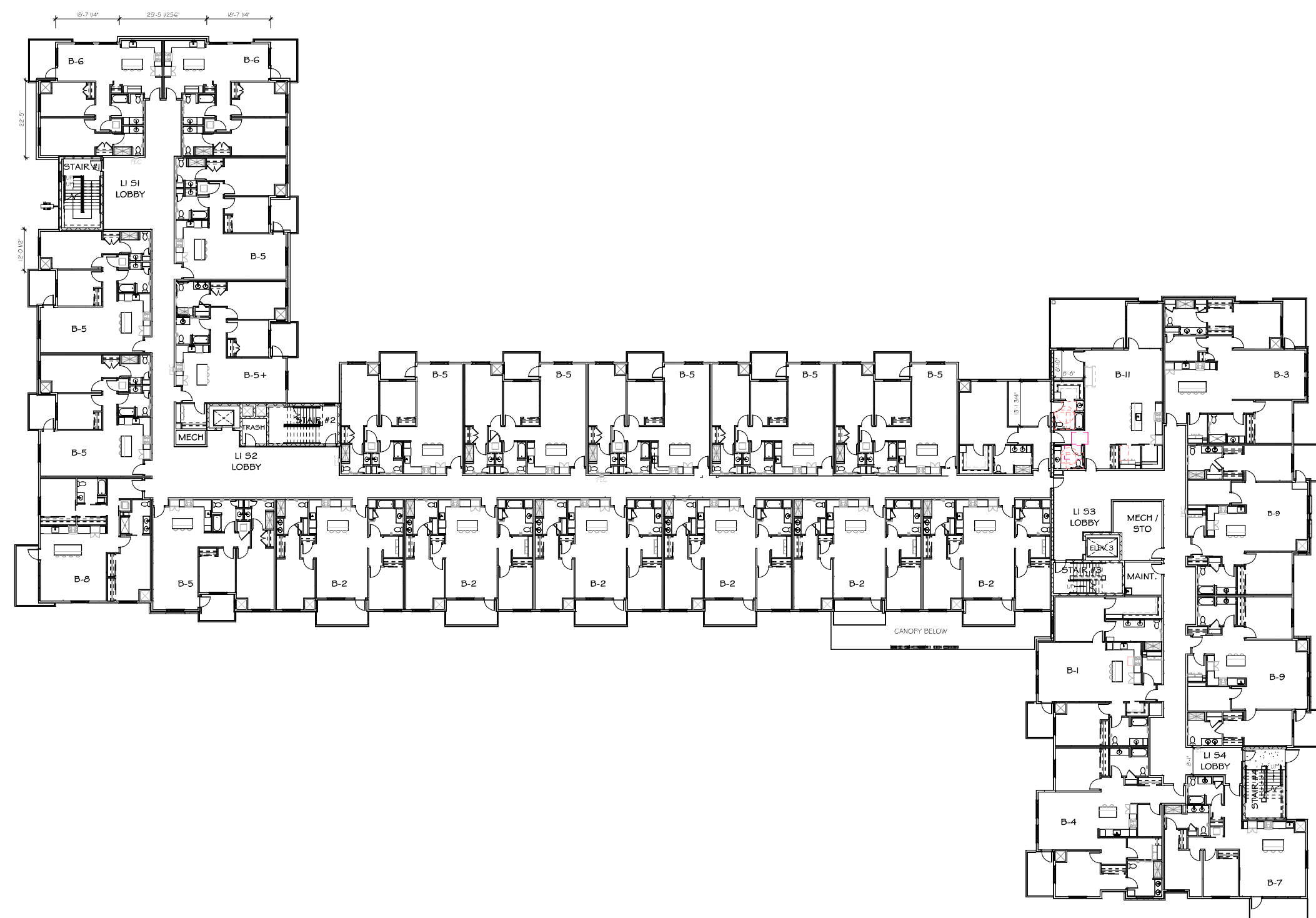


OVERALL PARKING LEVEL P2

SCALE: 1/8" = 1'-0"

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OVERALL SQUARE FOOTAGES	
OVERALL FLOOR	SQUARE FOOTAGE (SF)
PARKING LEVEL 1	26,971 SF
PARKING LEVEL 2	34,372 SF
PARKING LEVEL 3	39,333 SF
FIRST FLOOR	39,166 SF
SECOND FLOOR	39,166 SF
THIRD FLOOR	3,654 SF
TOTAL	210,699 SF



REVISIONS	DATE

PRELIMINARY
NOT FOR CONSTRUCTION

CLIENT
OAK PARK PLACE

PROJECT
CAPITOL VIEW APARTMENTS

MADISON, WI

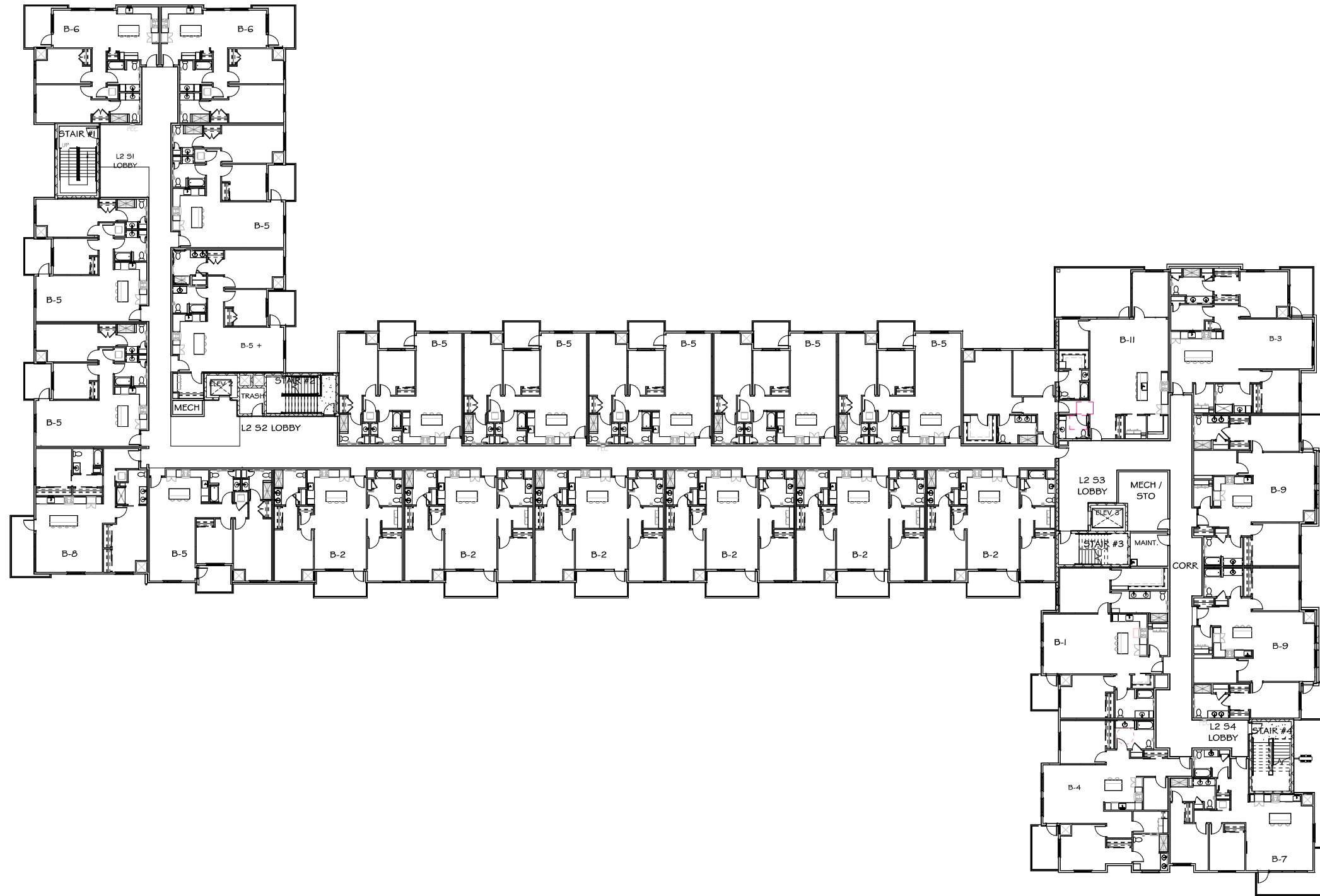
DRAWN BY
J. OLSON / N. RAPPEL
CHECKED BY
B. SERVIN / J. GRAHAM
DATE
12.15.2025
JOB NUMBER
24-102
BID SET | VOLUME

SHEET NAME
OVERALL FIRST FLOOR PLAN

SHEET NUMBER

A103

OVERALL FIRST FLOOR
SCALE: 1/8" = 1'-0"



REVISIONS	DATE

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CAPITOL VIEW APARTMENTS

MADISON, WI

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J. OLSON / N. RAPPEL
CHECKED BY
B. SERVIN / J. GRAHAM
DATE
12.15.2025
JOB NUMBER
24-102

BID SET | VOLUME

SHEET NAME
OVERALL SECOND FLOOR PLAN

SHEET NUMBER

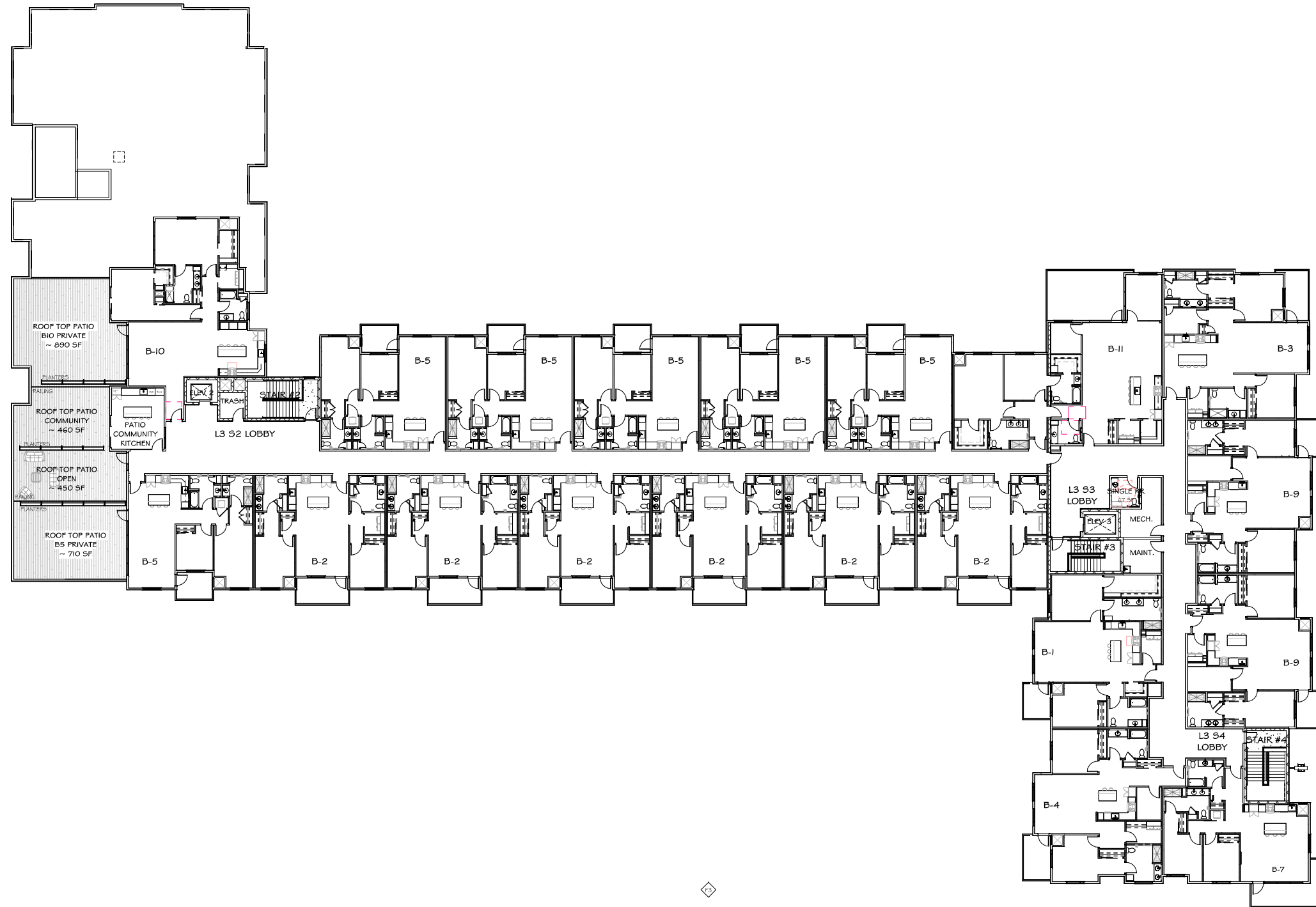
A104



OVERALL SECOND FLOOR

SCALE: 1/8" = 1'-0"

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OVERALL THIRD FLOOR

SCALE: 1/8" = 1'-0"

REVISIONS DATE

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MADISON, WI

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J. OLSON / N. RAPPEL
CHECKED BY
B. SERVIN / J. GRAHAM
DATE
12.15.2025
JOB NUMBER
24-102

BID SET | VOLUME

SHEET NAME
OVERALL THIRD FLOOR PLAN

SHEET NUMBER

A105



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

REVISIONS	DATE

PRELIMINARY
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CAPITOL VIEW APARTMENTS

MADISON, WI

DRAWN BY
B. SERVIN
CHECKED BY
B. SERVIN
DATE
03-19-2026
JOB NUMBER
24-102
BID SET | VOLUME

SHEET NAME
EXTERIOR ELEVATIONS

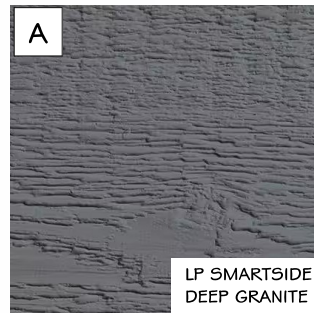
SHEET NUMBER

A400



NORTH - MATERIAL TAGS

SCALE: 3/32" = 1'-0"



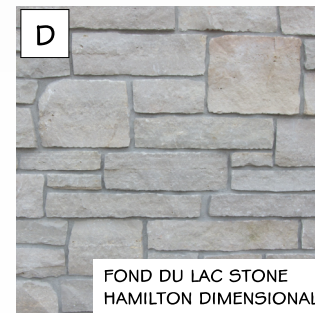
COMPOSITE SIDING + TRIM



COMPOSITE SIDING + TRIM

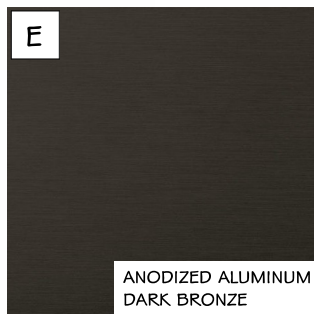


ALUMINUM SIDING



STONE VENEER

FINISH LEGEND		
BOX	MATERIAL / DESCRIPTION	MANUFACTURER / COLOR
A	HORIZONTAL LAP SIDING	LP SMART SIDE / DEEP GRANITE
B	VERTICAL BOARD & BATTEN	LP SMART SIDE / SNOWSCAPE WHITE
C	HORIZONTAL ALUMINUM SIDING	LONGBOARD ALUMINUM SIDING / DARK CHERRY
D	NATURAL STONE VENEER	FOND DU LAC / HAMILTON DIMENSIONAL
E	ANODIZED ALUMINUM	DARK BRONZE
F	LIMESTONE SKULCAP	INDIANA LIMESTONE / STANDARD GRAY



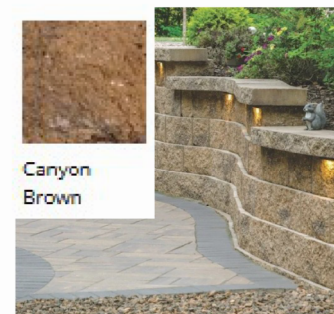
WINDOWS | RAILINGS



METAL COPINGS | FASCIA COVERS



STONE SILL



**RETAINING WALLS
COUNTY MATERIALS
SPLIT FACE INTEGRITY WALL SYSTEM**





CAPITOL VIEW APARTMENTS @ OAK PARK PLACE

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NORTH WEST - PERSPECTIVE

02.26.2026





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NORTH EAST - PERSPECTIVE

02.26.2026

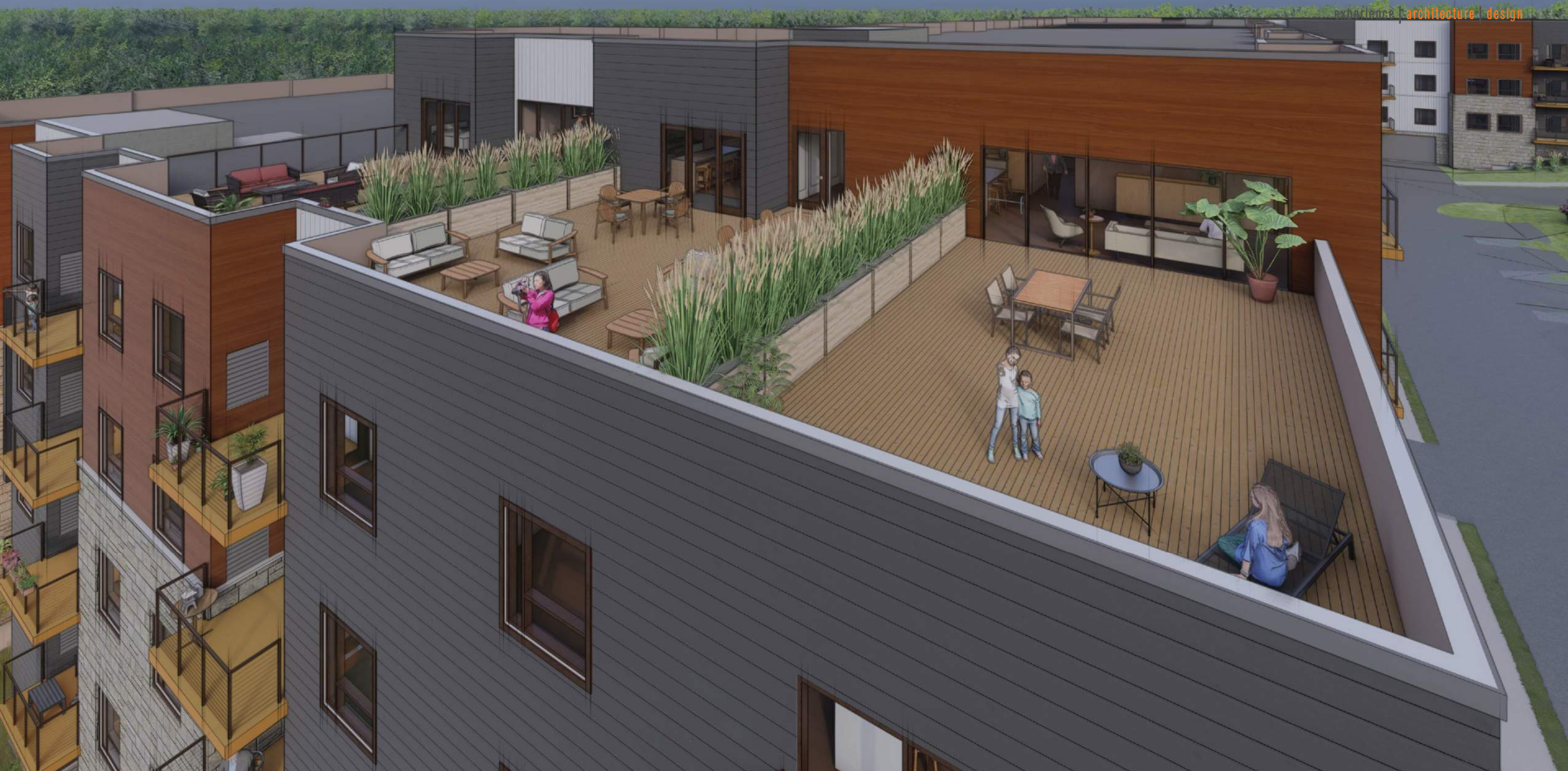


CAPITOL VIEW APARTMENTS @ OAK PARK PLACE

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PATIO - PERSPECTIVE

02.26.2026



CAPITOL VIEW APARTMENTS @ OAK PARK PLACE

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ROOFTOP PATIO - PERSPECTIVE

02.26.2026