

# CITY OF MADISON

# Proposed Conditional Use

Location: 4841 Annamark Drive

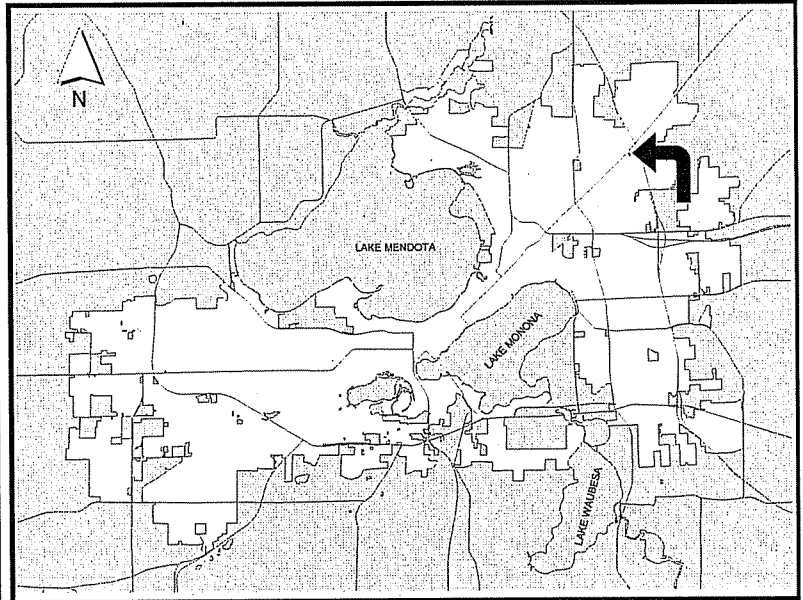
Project Name: Texas Roadhouse

Applicant: Raymond & Loraine Zeier/  
Jennifer Mowen - Greenberg Farrow

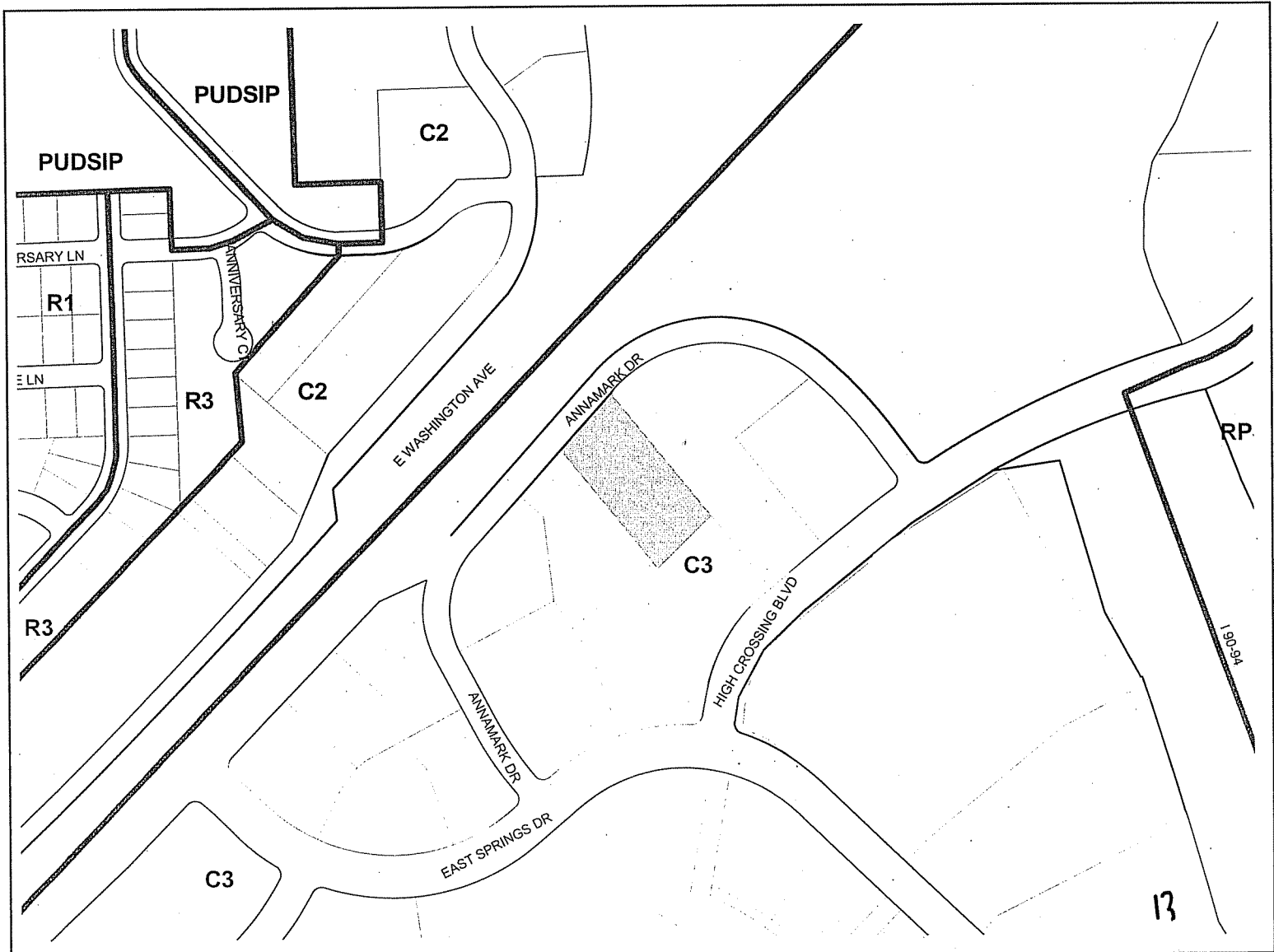
Existing Use: Vacant Land

Proposed Use: Restaurant on Planned  
Commercial Site

Public Hearing Date:  
Plan Commission 20 February 2006



For Questions contact: Pete Olson at: 267-1150 or polson@cityofmadison.com or City Planning at 266-4635

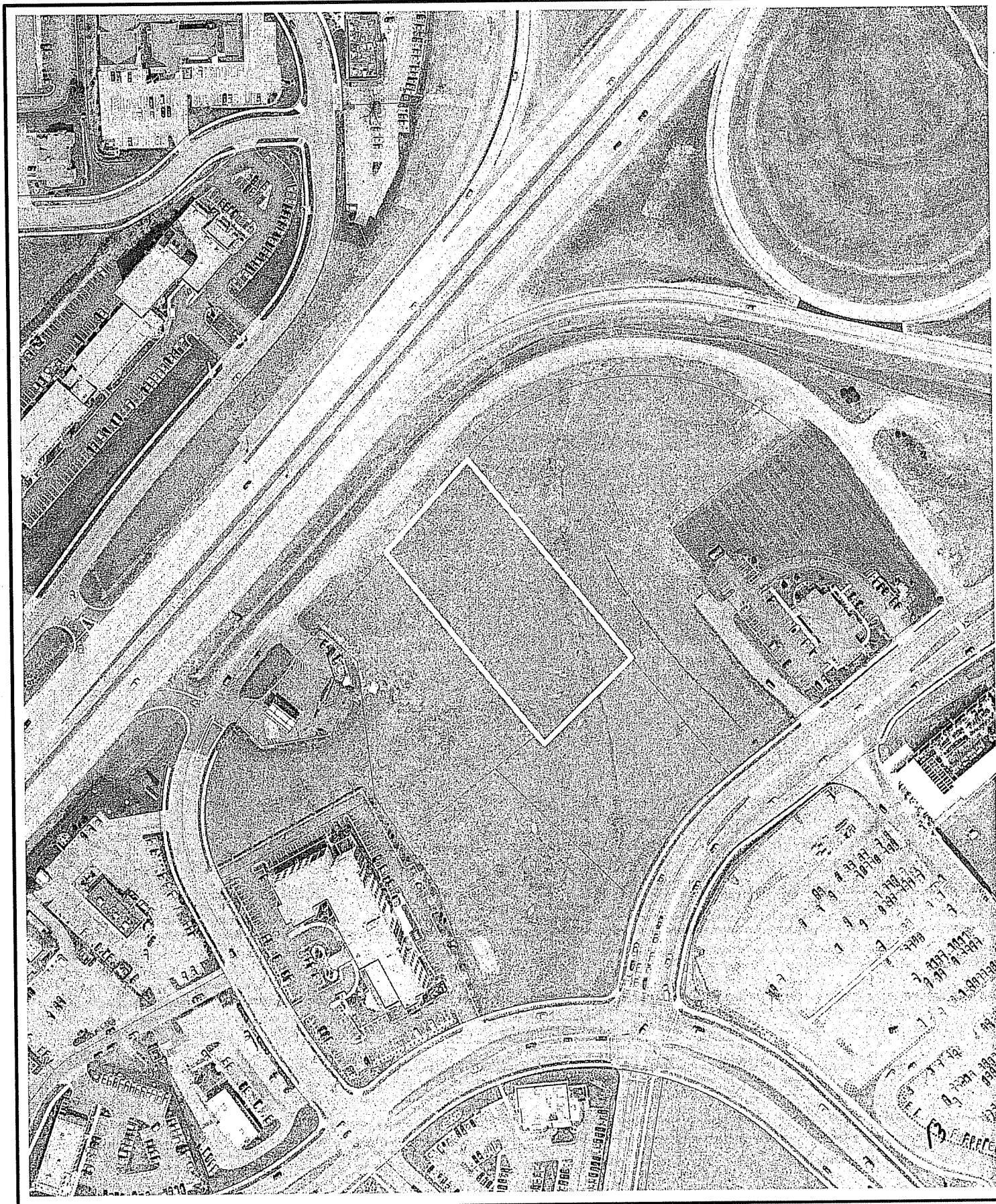


# 4841 Annamark Drive

0 100 Feet



*Date of Aerial Photography - April 2003*



# LAND USE APPLICATION

## Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
 PO Box 2985; Madison, Wisconsin 53701-2985  
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

### FOR OFFICE USE ONLY:

Amt. Paid \$ 650 Receipt No. 67131  
 Date Received 12-23-05  
 Received By RJT  
 Parcel No. 0810-272-0410-6  
 Aldermanic District 17, Santiago Rosas  
 GQ Eng hold  
 Zoning District C3  
**For Complete Submittal**  
 Application  Letter of Intent   
 IDUP N/A Legal Descript.   
 Plan Sets  Zoning Text N/A  
 Alder Notification  Waiver \_\_\_\_\_  
 Ngrhd. Assn Not. \_\_\_\_\_ Waiver \_\_\_\_\_  
 Date Sign Issued 12-23-05

1. **Project Address:** 4841 Annamark Drive **Project Area in Acres:** 2.234 ac.

**Project Title (if any):** Texas Roadhouse

2. **This is an application for:** (check at least one)

<input type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input type="checkbox"/> Rezoning from _____ to _____	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input checked="" type="checkbox"/> Conditional Use	<input type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

### 3. Applicant, Agent & Property Owner Information:

Applicant's Name: Jennifer Mowen Company: GreenbergFarrow/Agent for Texas Roadhouse

Street Address: 3455 Salt Creek Lane City/State: Arlington Heights. IL Zip: 60005

Telephone: (847) 788-9200 Fax: (847) 788-9537 Email: jmwowen@greenbergfarrow.com

Project Contact Person: Same as applicant Company: \_\_\_\_\_

Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ Email: \_\_\_\_\_

Property Owner (if not applicant): Raymond and Loraine Zeier C/O Annamark Group Z, LLC

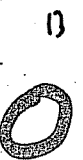
Street Address: 2211 North Stoughton Road City/State: Madison, WI Zip: 53704

### 4. Project Information:

Provide a general description of the project and all proposed uses of the site: New construction of a 7,135 SF sit-down restaurant (Texas Roadhouse) and associated parking and driveways.

Development Schedule: Commencement 4/10/06 Completion 8/28/06

CONTINUE →



**5. Required Submittals:**

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
  - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
  - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
  - **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.
- Filing Fee:** \$ 650.00 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

**IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:**

- For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

**FOR ALL APPLICATIONS:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

**6. Applicant Declarations:**

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
  - *The site is located within the limits of* The City of Madison Comprehensive *Plan, which recommends:*
  - (RC) Regional Commercial *for this property.*
- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than 30 days prior to filing this request:
  - *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*
  - Sent notice to Santiago Rosas, 17th District Alderperson on 11/01/05
  - If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.*
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.
  - Planner* Peter Olson *Date* 9/16/05 | *Zoning Staff* Kathy Voeck *Date* 9/16/05

*The signer attests that this form has been completed accurately and all required materials have been submitted:*

Printed Name JENNIFER M. MOUW Date 12/21/05

Signature Jennifer M. Mouw Relation to Property Owner AGENT FOR TEXAS ROADHOUSE

Authorizing Signature of Property Owner Annmark Group 244 Raymond C. Zier Date 12/20/05

By: Delaine C. Zier, members

3455 Salt Creek Lane  
Suite 100  
Arlington Heights, IL 60005  
t: 847 788 9200  
f: 847 788 9536



ATLANTA  
NEW YORK  
CHICAGO  
LOS ANGELES  
BOSTON  
DALLAS  
NEW JERSEY

December 21, 2005

Plan Commission Members  
City of Madison  
210 Martin Luther King, Jr. Blvd.  
Madison, WI 53704-3345

Re: Proposed Texas Roadhouse Restaurant

Dear Commissioners:

On behalf of my client Texas Roadhouse Inc. (TXRH), I would like to take this opportunity to introduce our proposal for construction of a new 7,135 square foot Texas Roadhouse sit-down restaurant to be located within the southwest quadrant of the East Washington Avenue / Interstate 39 interchange at 4841 Annamark Drive.

The Texas Roadhouse site is part of a larger commercial development entitled the "Zeier Planned Commercial Site." The approved concept plan, dated 10/12/04, has been included with this submission. Texas Roadhouse intends to lease approximately 1.688 acres and contractually they have the authorization to install the approximate 0.404-acre area labeled as "Offsite Construction Parking." This area will provide for a temporary cul-de-sac turnaround until the adjacent properties to the east are developed, at which time the cul-de-sac will be removed and the parking lot will be built out according to the concept plan.

Contractually, Texas Roadhouse is required to install the drive aisle between the TXRH and Krispy Kreme lots at the time of development of their lot. The property line dividing the TXRH and Krispy Kreme lots is located on the centerline of this drive aisle, and as such approximately 0.142 acres of this drive aisle will be located on the Krispy Kreme site. Therefore, TXRH will develop a total of 2.234 acres of land (1.688 acres strictly for their lease lot + 0.404 acres for the "Offsite Construction Parking" area + 0.142 acres for the portion of the drive aisle that is located off of their lease lot.)

The 1.688 acre TXRH lot is noted as Lot 2 on the Recorded "Certified Survey Map Lots 16, 17, And Part of 13, Regional East." A copy of this CSM has been included with this submission. The site is vacant and is relatively flat. A copy of the ALTA survey further denoting existing conditions has also been included with this submission.

115 parking stalls are proposed for the 1.688 acre TXRH lot. This is consistent with the approved concept plan. An additional 31 parking stalls are proposed in the "Offsite Construction Parking" area. A bike pad, sized to accommodate parking for 12 bicycles is proposed near the front door of the restaurant. An outdoor patio is also provided near the front entrance. A trash enclosure sized to accommodate three (3) roll-out trash bins and a loading area are provided adjacent to the service entrances near the southeast corner of the building.

Landscaping, site lighting, and exterior signage are designed to meet code. The City's Planning Department has indicated that Washington Avenue can be used to determine the maximum allowable amount of signage.

The occupancy load as determined by the building code is 287 occupants. Seating capacity is 239 seats, including the bar area, and the overall square footage of the building is broken down as follows:

Foyer	481.70 SF
Office	107.49 SF
Chemical Storage	9.50 SF
Mechanical Room	115.93 SF
Rest Rooms	358.53 SF
Coolers	416.67 SF
Waiting	250.93 SF
Bar	184.49 SF
Kitchen	1,965.43 SF
Dinning	3,083.80 SF
Dry Storage	160.53 SF
<b>TOTAL</b>	<b>7,135.00 SF</b>

*Square footages are approximate.*

In general, Texas Roadhouse's hours of operation are Monday thru Thursday from 4:00 PM to 10:00 PM, Friday from 4:00 PM to 11:00 PM, Saturday from 11:00 AM to 11:00 PM, and Sunday from 11:00 AM to 10:00 PM. Typically, 40 employees are required for the peak shift.

Texas Roadhouse desires to have all approvals and permits in hand with construction under way around the 1<sup>st</sup> of April 2006 with a Grand Opening scheduled for late August 2006. Per the City's request, a project contact list is also included with this submission.

On behalf of Texas Roadhouse, I look forward to a successful development in the City of Madison and appreciate your consideration of this project.

Respectfully,

Jennifer M. Mowen, ASLA



3455 Salt Creek Lane  
Suite 100  
Arlington Heights, IL 60005  
t: 847 788 9200  
f: 847 788 9536

# GreenbergFarrow

ATLANTA  
NEW YORK  
CHICAGO  
LOS ANGELES  
BOSTON  
DALLAS  
NEW JERSEY

January 30, 2006

Mr. Al Martin  
Dept. of Planning & Development  
Room LL-100  
City of Madison  
215 Martin Luther King, Jr. Blvd.  
Madison, WI 53701-2985  
Tel 608.267.8740, ext. 221

Project Texas Roadhouse Madison, WI  
Project # 20050922.2  
Re Resubmittal: Urban Design Review

Dear Mr. Martin,

On behalf of Texas Roadhouse, we hereby resubmit the attached "Application for Urban Design Commission Review and Approval" and fourteen (14) sets of the following plans/documents as requested:

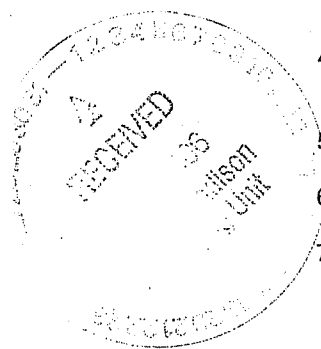
- 1) Location Map, dated 12/28/05, as prepared by GreenbergFarrow (8½x11)
- 2) Site Photo Board, dated 12/28/05, as prepared by GreenbergFarrow (11x17)
- 3) Recorded Certified Survey Map, Sheets 1 thru 4 of 4, dated 01/03/05, as prepared by D'Onofrio, Kottke & Associates (11x17)
- 4) Approved Concept Plan, dated 10/12/04, as prepared by Dimension IV Madison (11x17 copies)
- 5) ALTA Survey, dated 01/30/06, as prepared by D'Onofrio, Kottke & Associates (11x17)
- 6) Site Plan WI-50922A5, Sheets 1 & 2 of 2, dated 01/30/06, as prepared by GreenbergFarrow (11x17)
- 7) Civil Engineering Plans, Sheets C-0.0 thru C-7.1; as prepared by GreenbergFarrow
- 8) Landscape Plan L-1.0, L1.1 & L1.2, dated 01/30/06, as prepared by Schreiber/Anderson Associates (11x17)
- 9) Landscape Worksheet, revised
- 10) Building Elevations A2.1, dated 01/30/06, as prepared by GreenbergFarrow (11x17)
- 11) Building Elevations A2.2, dated 01/30/06, as prepared by GreenbergFarrow (11x17)
- 12) Floor Plan Exhibit A1.0, dated 12/21/05, as prepared by GreenbergFarrow (11x17)
- 13) Signage Exhibit Sheets 1, 2 & 3, dated 01/18/06, as prepared by Federal Heath Sign Company
- 14) Seating Plan Exhibit A1.1, dated 12/21/05, as prepared by GreenbergFarrow (11x17)
- 15) Site Lighting Cut Sheets Versalux, as prepared by USA Architectural Lighting; Texas Roadhouse Exterior Specification (Wall Lighting Type F12; Exterior Floodlighting Type F9A & Type F15; Exterior Decorative Lighting Type F16; and Exterior Soffit Recessed Lighting Type F18)
- 16) Letter addressed to Santiago Rosas, 17<sup>th</sup> District Alderperson, dated 11/01/05, as prepared by GreenbergFarrow
- 17) Letter of Intent to Plan Commission Members, dated 12/21/05, as prepared by GreenbergFarrow
- 18) Contact List, as prepared by GreenbergFarrow

Please note the following revisions to the documents listed above:

1. The photometric plan (Sheets C7.0 & C7.1 of the Civil Engineering Plan Set) has been revised to reduce the overall site lighting height from 27.5 ft. to 22.5 ft. (20' pole plus 2.5' base). Light levels have been adjusted accordingly and are more uniform throughout the site, thus reducing "hot spots."
2. Building exterior lighting has been revised to:
  - Eliminate the floodlights that up-light the roof and flags.
  - Eliminate the LED stripe that outlines the building.
3. Remaining building exterior lighting is as follows:
  - 100-175 watt MH wall packs at emergency exits (Cut Sheet "Type F12").

Mr. Al Martin  
Dept. of Planning & Development, City of Madison

Texas Roadhouse Madison, WI  
01/30/06  
2 of 2 pages



- 100 watt MH gooseneck fixtures (Cut Sheet "Type F16").
  - 100 watt metal halide (MH) recessed can lights in the exterior soffit (Cut Sheet "Type F18").
- All fixtures are positioned to accent the building façade and minimize spillage.
4. The signage exhibit has been revised to show that the exposed neon of the large wall sign is recessed within the "can." Also, the pylon sign and small wall sign above the entrance door were revised to be internally lit cabinets.
  5. The site plan has been revised to add permeable pavement for the fourteen (14) parking stalls by the detention area and six (6) spaces in the off-site parking area.
  6. The landscape plan has been revised to show additional plant material in the off-site parking area and a "detention mix" proposed in the detention basin area at the southern end of the site.
  7. The architectural elevations have been revised to:
    - Remove the U.S. and State of Texas flags.
    - Incorporate full height brick with stone wainscoting.
    - Incorporate architectural detailing such as accent banding, soldier courses and a trellis type structure along the east elevation.
    - Incorporate additional casements within the windows along the west elevation.

With this submission, we look forward to the February 8, 2006 Urban Design Review meeting. Please confirm that we are on the agenda as scheduled. Thank you for your continued help with this project. If you have any questions or require additional information, please contact me at 847.788.9200, ext. 225.

Sincerely,

Jennifer M. Mowen, ASLA  
Site Development Coordinator

Enclosures

Copies

Santiago Rosas, 17<sup>th</sup> District Alderperson (w/encl.) (via FedEx Standard)  
Peter Olson, City Planner, City of Madison (w/encl.) (via FedEx Standard)  
Kerri Smith, Texas Roadhouse (w/encl.) (via FedEx Standard)  
Raymond & Loraine Zieir, Annamark Group Z, LLC (w/encl.) (via FedEx Standard)  
John Frank, Lathrop & Clark LLP (w/encl.) (via FedEx Standard)  
Chris Thiel, Schreiber/Anderson Assoc. (w/encl.) (via FedEx Standard)  
Dave Behrens, GreenbergFarrow MW (w/encl.)  
Jennifer Mowen, GreenbergFarrow MW (w/encl.)  
Julie Wehmeyer, GreenbergFarrow MW (w/elev., site plan, signage)



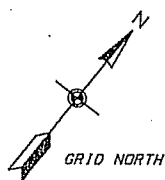
00071

# CERTIFIED SURVEY MAP

## LOTS 16, 17, AND PART OF 13, REGIONAL EAST

Located in the NE1/4 & SE1/4 of the NW1/4 of Section 27, T8N, R10E,  
City of Madison, Dane County, Wisconsin

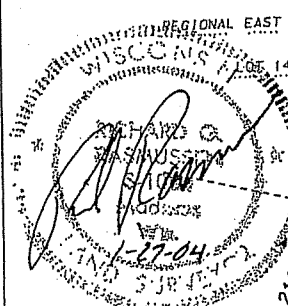
Scale 1" = 100'



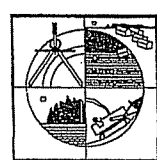
NW COR  
SEC. 27, T8N, R10E  
N 414,642.35  
E 2,185,349.87

W1/4 COR  
SEC. 27, T8N, R10E  
WISCONSIN STATE  
PLANE COORDINATES  
(SOUTH ZONE) ARE:  
N 411,990.75  
E 2,185,438.82  
PUBLISHED NAD 27  
COORDINATES  
WISCONSIN ZONE

LINE	BEARING	DISTANCE
A-6	S51°10'50"W	17.00'
B-6	N52°57'30"W	32.79'



- LEGEND**
- FOUND IRON STAKE
  - PLACED 3/4" x 24" SOLID ROUND IRON STAKE WEIGHING 1.50 lbs/ft.
  - CONCRETE MONUMENT W/ BRASS CAP
  - ( ) LOT CORNER ELEVATION



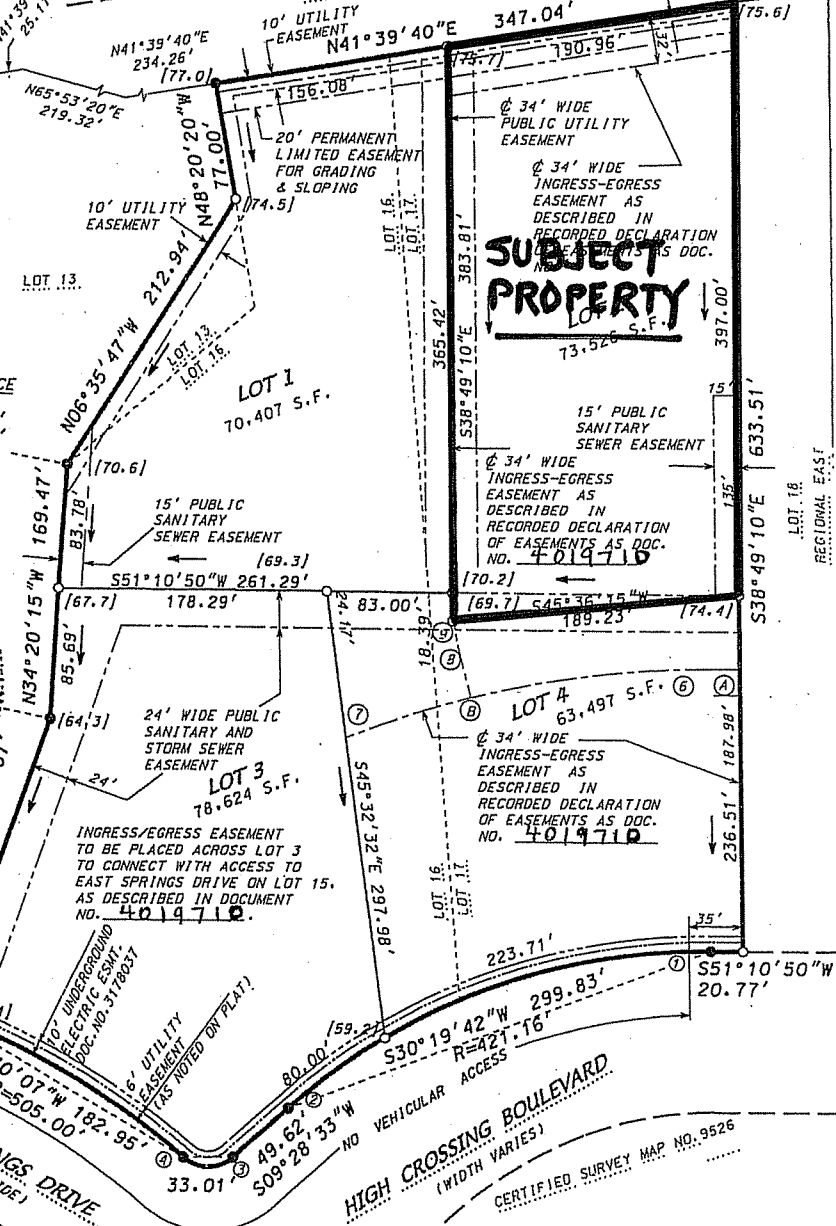
**D'ONOFRIO, KOTKE AND ASSOCIATES, INC.**  
7630 WESTWARD WAY  
MADISON, WISCONSIN 53717  
TEL: 608-833-7590  
FAX: 608-833-1089

EAST WASHINGTON AVENUE (U.S.H. 151)  
(WIDTH VARIES)

ANNAMARK DRIVE

NOTE:  
6' UTILITY NO VEHICULAR ACCESS  
EASEMENT TO USH 151.  
(AS NOTED (AS NOTED ON PLAT)  
ON PLAT)

**SUBJECT PROPERTY**



EAST SPRINGS DRIVE  
(170' WIDE)

HIGH CROSSING BOULEVARD  
(WIDTH VARIES)

- REV.: FEB. 4, 2004
- REV.: FEB. 6, 2004
- REV.: FEB. 16, 2004
- REV.: MAR. 31, 2004
- REV.: APR. 21, 2004
- REV.: SEP. 27, 2004
- REV.: OCT. 7, 2004
- REV.: DEC. 22, 2004
- REV.: JAN. 3, 2005

DATE: JAN. 27, 2004  
F.N.: 03-02-176  
C.S.M. NO. 11320  
DOC. NO. 4019709  
VOL. 68 SHEET 252

# GreenbergFarrow

4555 Salt Creek Ln., Suite 100  
 Arlington Heights, Illinois 60005  
 T: 847 788 8200 F: 847 788 9536

**PROJECT INFORMATION**  
 SITE AREA 1.888 ACRES  
 TEXAS ROADHOUSE

**BUILDING AREA**  
 TEXAS ROADHOUSE 7,135 SF

**PARKING SUMMARY**

USER	RATIO	SPACES PROVIDED	SPACES REQUIRED
TEXAS ROADHOUSE	1.0	115	83
OFFICE CONSTRUCTION PARKING	1.0	31	31

**PARKING RATIO PROVIDED** 16.2 SP/1,000 SF  
 \* 30% OF THE CAPACITY IN AREAS OF DRIVING/PARKING AREAS CAPACITY 27%

**ZONING CLASSIFICATION** CITY OF MADISON, WI  
 PLANNED COMMERCIAL C-3  
 PLANNED COMMERCIAL C-3  
 REQUIRED ZONING C-3  
 PLANNED COMMERCIAL C-3

**SIGNAGE REGULATIONS**  
 TBV

**LANDSCAPE REGULATIONS**  
 TBV

**BUILDING SETBACKS**  
 FRONT TBV  
 REAR TBV  
 SIDE RCAS

**LEGEND**

**EXISTING DEVELOPMENT**

**PROPOSED FUTURE DEVELOPMENT**

**PROPOSED PERMEABLE AREA**

**PROJECT NOTES**

1. THE CONCEPTUAL SITE PLAN IS FOR PLANNING PURPOSES ONLY. IT IS NOT A CONTRACT DOCUMENT. THE CONTRACT DOCUMENTS SHALL BE THE FINAL PLANS AND SPECIFICATIONS.  
 2. THE PLAN IS BASED ON A SITE CONCEPT PLAN BY GREENBERGFARROW DATED 01-28-04.  
 3. ALL CURB CUTS AND DRIVEWAYS SHALL BE SHOWN, EXISTING AND PROPOSED.  
 4. ALL UTILITIES SHALL BE SHOWN AS NOTED.  
 5. ALL UTILITIES SHALL BE SHOWN AS NOTED.  
 6. ALL UTILITIES SHALL BE SHOWN AS NOTED.  
 7. ALL UTILITIES SHALL BE SHOWN AS NOTED.  
 8. ALL UTILITIES SHALL BE SHOWN AS NOTED.  
 9. ALL UTILITIES SHALL BE SHOWN AS NOTED.  
 10. ALL UTILITIES SHALL BE SHOWN AS NOTED.

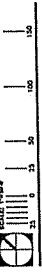
**REVISION RECORD**

NO.	DATE	DESCRIPTION
01	02/07/04	INITIAL RELEASE
02	02/17/04	REVISED PARKING SURVEY AND SURVEY
03	02/17/04	REVISED PARKING SURVEY AND SURVEY
04	02/17/04	REVISED PARKING SURVEY AND SURVEY
05	02/17/04	REVISED PARKING SURVEY AND SURVEY
06	02/17/04	REVISED PARKING SURVEY AND SURVEY
07	02/17/04	REVISED PARKING SURVEY AND SURVEY
08	02/17/04	REVISED PARKING SURVEY AND SURVEY
09	02/17/04	REVISED PARKING SURVEY AND SURVEY
10	02/17/04	REVISED PARKING SURVEY AND SURVEY

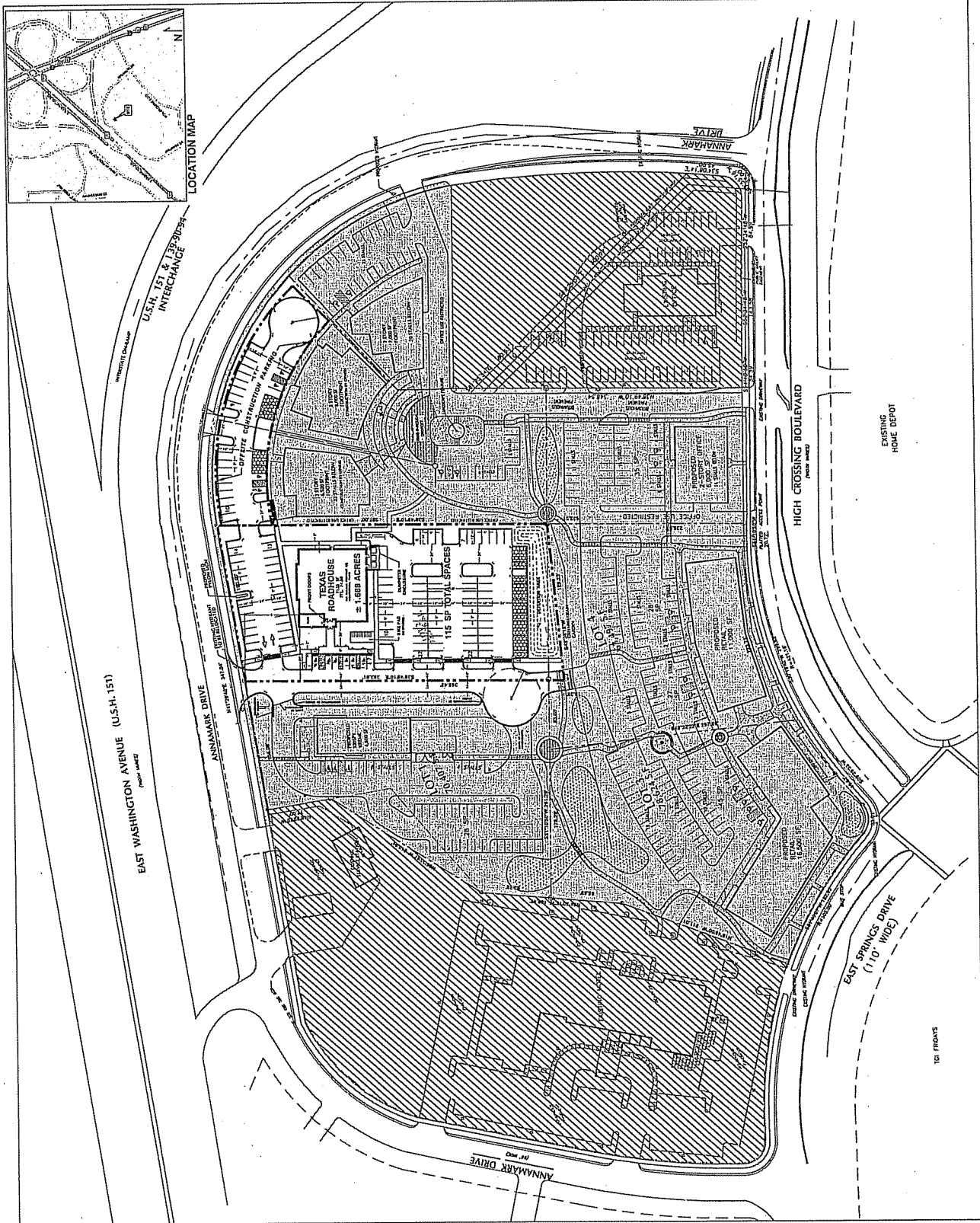


TEXAS ROADHOUSE  
 MADISON, WI

(SWO) US 151 (Washington Ave) & I-59  
 GFA PROJECT NUMBER 20050922A



**WI-50922A6**  
 SHEET 1 of 2



# GreenbergFarrow

2405 San Jacinto St., Suite 100  
 Dallas, Texas 75201  
 T: 847 788 9200 F: 847 788 9535

**PROJECT INFORMATION**  
 SITE AREA 1.688 ACRES  
 TEXAS ROADHOUSE

**BUILDING AREA**  
 TEXAS ROADHOUSE 7,135 SF

**PARKING SUMMARY**

USER	RATIO	SPACES	SPACES
TEXAS ROADHOUSE	REQUIRED	REQUIRED	PROVIDED
OFFSITE CONSTRUCTION PARKING <td>SEE NOTE*</td> <td>83</td> <td>115</td>	SEE NOTE*	83	115
PARKING RATIO PROVIDED		16.2 SF/1,000 SF	

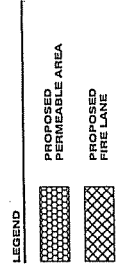
\* 30% OF THE CAPACITY IN PERSONS OF DINING/ BAR/ WAITING AREAS CAPACITY= 475

**ZONING CLASSIFICATION**  
 CITY OF WASHINGTON, TX  
 JURISDICTION PLANNING C-2-3: PLANNED COMMERCIAL  
 REQUIRED ZONING C-2-3: PLANNED COMMERCIAL

**SIGNAGE REGULATIONS**  
 TBV

**LANDSCAPE REGULATIONS**  
 TBV

**BUILDING SETBACKS**  
 FRONT TBV  
 SIDE TBV  
 REAR TBV



**PROJECT NOTES**

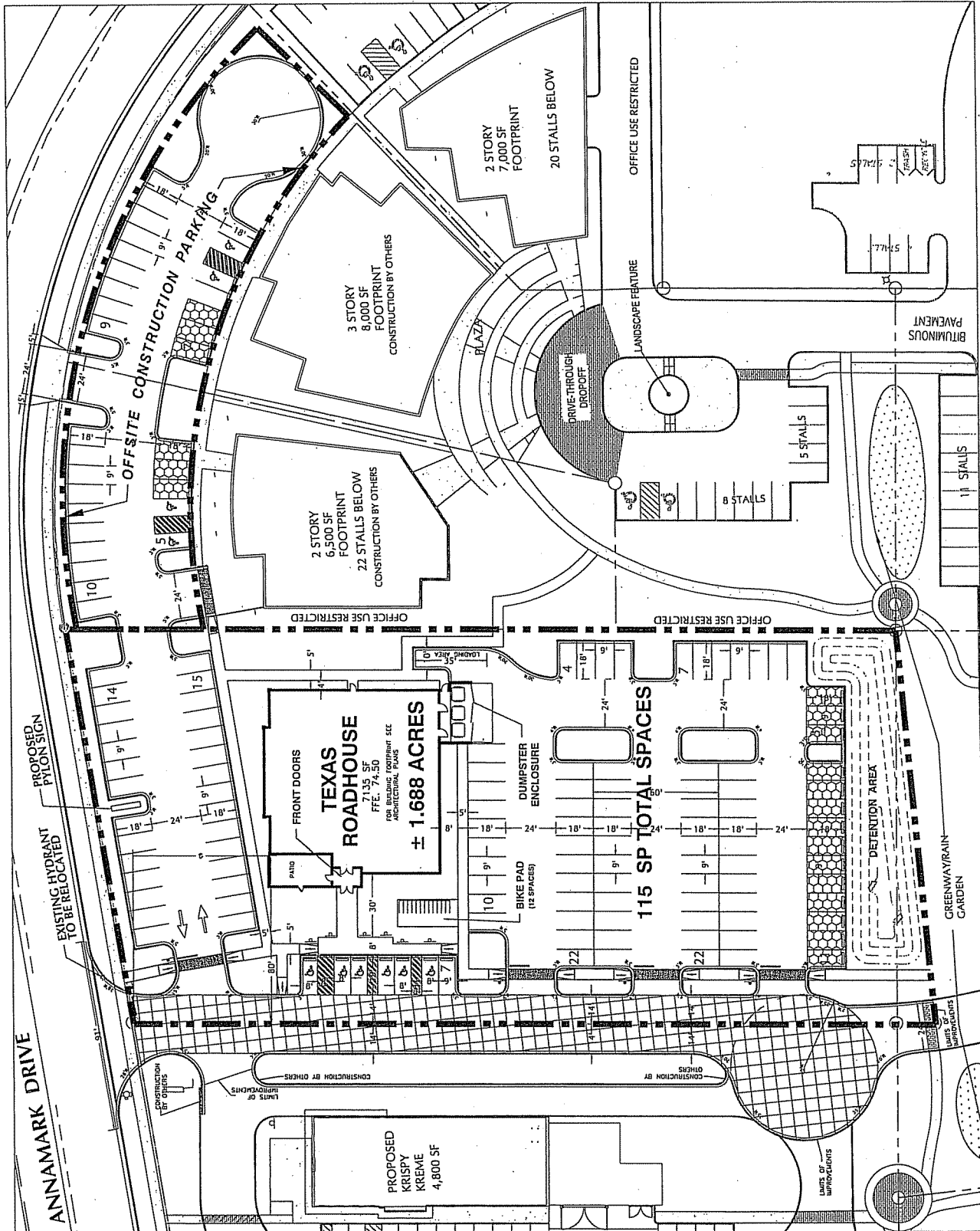
- THIS CONCEPTUAL SITE PLAN IS FOR PLANNING PURPOSES ONLY. THE FINAL DESIGN SHALL BE BASED ON THE FINAL CONCEPT PLAN BY GREENBERGFARROW. THE FINAL DESIGN SHALL BE BASED ON THE FINAL CONCEPT PLAN BY GREENBERGFARROW.
- ALL CURB CUTS AND TRAFFIC SIGNALS SHOWN, EXISTING AND PROPOSED, MUST BE REVIEWED.

**DRAWING REVISION RECORD**

NO.	DATE	DESCRIPTION
01	02/07/03	INITIAL RELEASE
02	02/10/03	REVISED PARKING SURVEY AND SURVEY
03	02/10/03	REVISED PARKING SURVEY AND SURVEY
04	02/10/03	REVISED PARKING SURVEY AND SURVEY
05	02/10/03	REVISED PARKING SURVEY AND SURVEY
06	02/10/03	REVISED PARKING SURVEY AND SURVEY

**TEXAS ROADHOUSE**  
 MADISON, WI  
 (SWO) US 151 (Washington Ave) & I-59  
 GFA PROJECT NUMBER 20050922-2

**WI-50922A6**  
 SHEET 2 OF 2



The undersigned has prepared the above drawings in accordance with the provisions of the Georgia Professional Engineers Act, Chapter 65, Title 47, Code of Official Code of Georgia Annotated, and the rules and regulations of the Board of Professional Engineers, State of Georgia, and the rules and regulations of the Board of Professional Land Surveyors, State of Georgia.

**REGISTERED PROFESSIONAL ENGINEER**  
 STATE OF GEORGIA  
 LICENSE NO. 10000  
 EXPIRES 12/31/2018

**REGISTERED PROFESSIONAL LAND SURVEYOR**  
 STATE OF GEORGIA  
 LICENSE NO. 10000  
 EXPIRES 12/31/2018

**PROFESSIONAL SEAL**

**PROFESSIONAL IN CHARGE**  
 NAME: [REDACTED]  
 TITLE: [REDACTED]  
 ADDRESS: [REDACTED]  
 QUALITY CONTROL: [REDACTED]  
 DRAWN BY: [REDACTED]  
 DATE: [REDACTED]

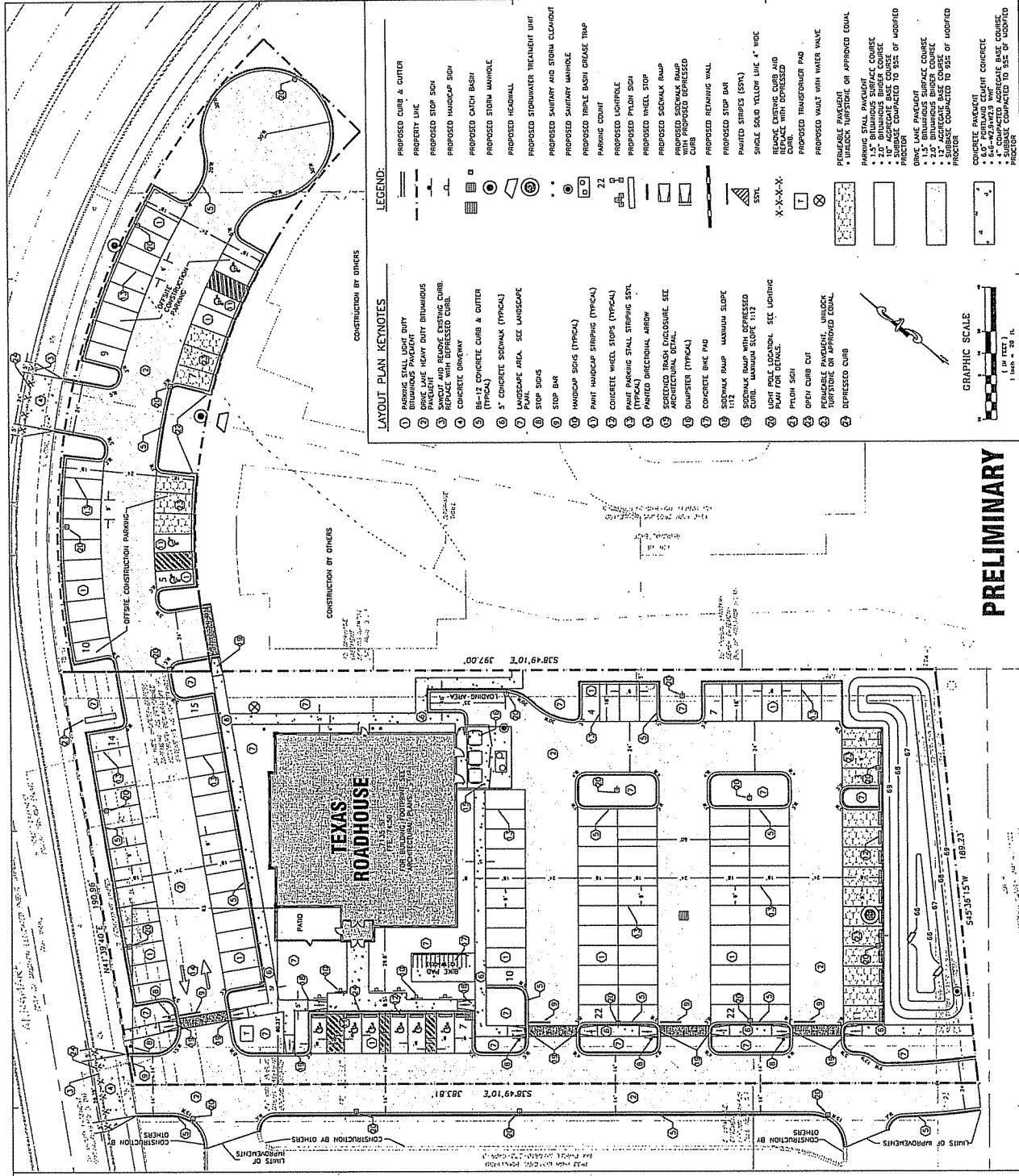
**PROJECT NAME**  
**TEXAS ROADHOUSE**

**LOCATION**  
**WISCONSIN**  
 (S10) US-151  
 WASHINGTON AVENUE  
 & P-39

**PROJECT NUMBER**  
 20058922.8

**SHEET TITLE**  
**LAYOUT PLAN**

**SHEET NUMBER**  
**C-2.0**



**GENERAL LAYOUT NOTES**

1. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

**PROJECT INFORMATION**

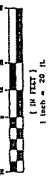
SITE ADDRESS: 4841 ANNAWAK DRIVE  
 WISCONSIN, WISCONSIN  
 TEXAS ROADHOUSE, SITE AREA 1.68 ACRES  
 OFFSITE PARKING SITE AREA 0.69 ACRES  
 TOTAL AREA 2.37 ACRES  
 # OF BUILDING STORES (HARD DRIVE): 1  
 BUILDING HEIGHT: 27.5 FT  
 TOTAL SQUARE FOOTAGE OF BUILDING: 7135 SF  
 USE OF PROPERTY: RESTAURANT  
 CAPACITY OF RESTAURANT: 230 SEATS  
 NUMBER OF BICYCLE STALLS: 12  
 PARKING STALLS: 109  
 HANDICAP ACCESSIBLE: 6  
 TOTAL TRAILER STALLS: 115  
 OFFSITE PARKING STALLS: 27  
 TOTAL OFFSITE PARKING STALLS: 31

**LEGEND**

PROPOSED CURB & CUTTER	PROPOSED STOP SIGN	PROPOSED HANDCAP SIGN	PROPOSED CATCH BASIN	PROPOSED STORM MANHOLE	PROPOSED HEADWALL	PROPOSED STORMWATER TREATMENT UNIT	PROPOSED SANITARY AND STORM CLEAROUT	PROPOSED SANITARY MANHOLE	PROPOSED TRIPLE BUSH GROUND TRIP	PARKING CHURN	PROPOSED LOUVER	PROPOSED PAVEN SIGN	PROPOSED WHEEL STOP	PROPOSED SIDEWALK RAMP	PROPOSED SIDEWALK RAMP CURB	PROPOSED DEPRESSED CURB	PROPOSED RETAINING WALL	PROPOSED STOP BAR	PAINTED STRIPES (SYL)	SINGLE SOLID YELLOW LINE 4" W/O SYL	SHOULDER MARKING PAINT AND REFLECTIVE WHITE CONCRETE CURB	PROPOSED TRANSFORMER PAD	PROPOSED VALVE WITH WATER VALVE	PERMEABLE PAVED SURFACE	BUFFER, UNPAVED, OR APPROVED EQUAL	PAVING STALL AS SURFACE COURSE	2.0" BITUMINOUS UNDER COURSE	2.0" BITUMINOUS UNDER COURSE	SUBGRADE COMPACTED TO 95% OF MODIFIED PROCTOR	DRIVE LANE PAVED/ASPHALT SURFACE COURSE	2.0" BITUMINOUS UNDER COURSE	2.0" BITUMINOUS UNDER COURSE	SUBGRADE COMPACTED TO 95% OF MODIFIED PROCTOR	CONCRETE PAVEMENT	6.0" PORTLAND CEMENT CONCRETE	4" COMPACTED AGGREGATE BASE COURSE	4" COMPACTED AGGREGATE BASE COURSE	PROCTOR
------------------------	--------------------	-----------------------	----------------------	------------------------	-------------------	------------------------------------	--------------------------------------	---------------------------	----------------------------------	---------------	-----------------	---------------------	---------------------	------------------------	-----------------------------	-------------------------	-------------------------	-------------------	-----------------------	-------------------------------------	---	--------------------------	---------------------------------	-------------------------	------------------------------------	--------------------------------	------------------------------	------------------------------	---	---	------------------------------	------------------------------	---	-------------------	-------------------------------	------------------------------------	------------------------------------	---------

**LAYOUT PLAN KEYNOTES**

1. FINISH FLOOR LEVEL
2. DRIVE LANE HEAVY DUTY BITUMINOUS
3. DRIVE LANE HEAVY DUTY BITUMINOUS
4. DRIVE LANE HEAVY DUTY BITUMINOUS
5. DRIVE LANE HEAVY DUTY BITUMINOUS
6. DRIVE LANE HEAVY DUTY BITUMINOUS
7. DRIVE LANE HEAVY DUTY BITUMINOUS
8. DRIVE LANE HEAVY DUTY BITUMINOUS
9. DRIVE LANE HEAVY DUTY BITUMINOUS
10. DRIVE LANE HEAVY DUTY BITUMINOUS
11. DRIVE LANE HEAVY DUTY BITUMINOUS
12. DRIVE LANE HEAVY DUTY BITUMINOUS
13. DRIVE LANE HEAVY DUTY BITUMINOUS
14. DRIVE LANE HEAVY DUTY BITUMINOUS
15. DRIVE LANE HEAVY DUTY BITUMINOUS
16. DRIVE LANE HEAVY DUTY BITUMINOUS
17. DRIVE LANE HEAVY DUTY BITUMINOUS
18. DRIVE LANE HEAVY DUTY BITUMINOUS
19. DRIVE LANE HEAVY DUTY BITUMINOUS
20. DRIVE LANE HEAVY DUTY BITUMINOUS
21. DRIVE LANE HEAVY DUTY BITUMINOUS
22. DRIVE LANE HEAVY DUTY BITUMINOUS



**PRELIMINARY**

**PROFESSIONAL SEAL**  
 PROJECT NUMBER: 200509273  
 SHEET NUMBER: C-3.0  
 DATE: 08/11/05  
 DRAWN BY: J. H. HARRIS  
 CHECKED BY: J. H. HARRIS  
 APPROVED BY: J. H. HARRIS  
 TITLE: GRADING AND DRAINAGE PLAN

**PROJECT NAME:** TEXAS ROADHOUSE  
**LOCATION:** MADISON WISCONSIN  
**OWNER:** (S)U, 105151 WASHINGTON AVENUE & 1430



**PROFESSIONAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL ARCHITECT:** J. H. HARRIS  
**PROFESSIONAL LANDSCAPE ARCHITECT:** J. H. HARRIS  
**PROFESSIONAL CIVIL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL ELECTRICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL MECHANICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL CHEMICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL METALLURGICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL INDUSTRIAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL AERONAUTICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL AGRICULTURAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL CIVIL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL ELECTRICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL MECHANICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL CHEMICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL METALLURGICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL INDUSTRIAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL AERONAUTICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL AGRICULTURAL ENGINEER:** J. H. HARRIS

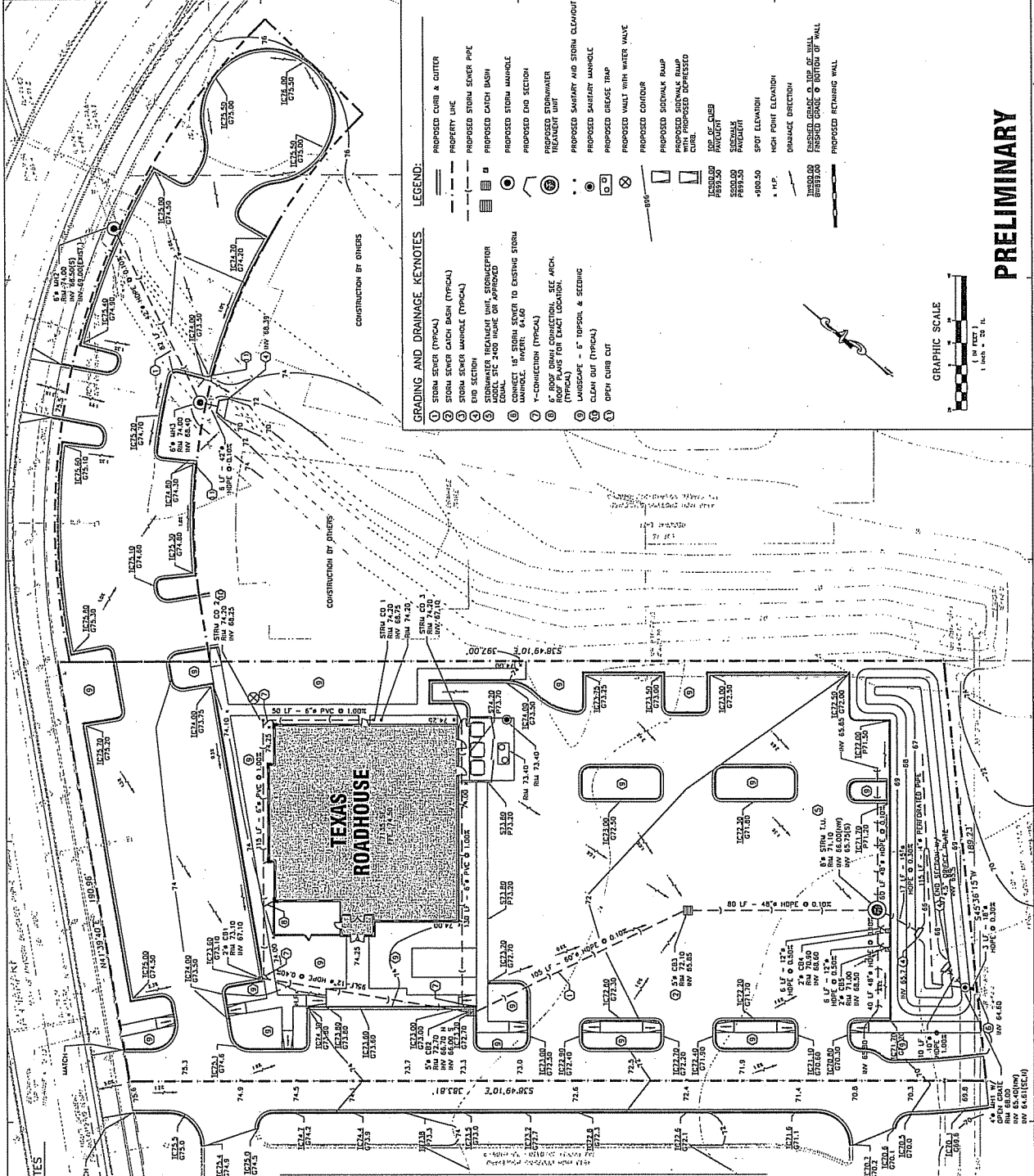
**PROFESSIONAL SEAL**  
 PROJECT NUMBER: 200509273  
 SHEET NUMBER: C-3.0  
 DATE: 08/11/05  
 DRAWN BY: J. H. HARRIS  
 CHECKED BY: J. H. HARRIS  
 APPROVED BY: J. H. HARRIS  
 TITLE: GRADING AND DRAINAGE PLAN

**PROFESSIONAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL ARCHITECT:** J. H. HARRIS  
**PROFESSIONAL LANDSCAPE ARCHITECT:** J. H. HARRIS  
**PROFESSIONAL CIVIL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL ELECTRICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL MECHANICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL CHEMICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL METALLURGICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL INDUSTRIAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL AERONAUTICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL AGRICULTURAL ENGINEER:** J. H. HARRIS

**PROFESSIONAL SEAL**  
 PROJECT NUMBER: 200509273  
 SHEET NUMBER: C-3.0  
 DATE: 08/11/05  
 DRAWN BY: J. H. HARRIS  
 CHECKED BY: J. H. HARRIS  
 APPROVED BY: J. H. HARRIS  
 TITLE: GRADING AND DRAINAGE PLAN

**PROFESSIONAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL ARCHITECT:** J. H. HARRIS  
**PROFESSIONAL LANDSCAPE ARCHITECT:** J. H. HARRIS  
**PROFESSIONAL CIVIL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL ELECTRICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL MECHANICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL CHEMICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL METALLURGICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL INDUSTRIAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL AERONAUTICAL ENGINEER:** J. H. HARRIS  
**PROFESSIONAL AGRICULTURAL ENGINEER:** J. H. HARRIS

**PROFESSIONAL SEAL**  
 PROJECT NUMBER: 200509273  
 SHEET NUMBER: C-3.0  
 DATE: 08/11/05  
 DRAWN BY: J. H. HARRIS  
 CHECKED BY: J. H. HARRIS  
 APPROVED BY: J. H. HARRIS  
 TITLE: GRADING AND DRAINAGE PLAN



**GENERAL GRADING AND DRAINAGE NOTES**

1. ALL GRADING AND SITE PREPARATION SHALL CONFORM WITH SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY LATEST CONSTRUCTION SPECIFICATIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY LATEST CONSTRUCTION SPECIFICATIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY LATEST CONSTRUCTION SPECIFICATIONS.
3. THE CONTRACTOR SHALL NOTIFY THE CITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CAREFULLY PRESERVE EXISTING UTILITIES, STRUCTURES, TREES AND SHRUBS. UNDEVELOPED ELEVATIONS ARE INDICATED BY DASHED LINES.
4. FIELD VERIFY LOCATIONS, SIZES AND IF APPLICABLE HEIGHTS OF EXISTING UTILITIES FOR APPROPRIATE CONNECTIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY LATEST CONSTRUCTION SPECIFICATIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY LATEST CONSTRUCTION SPECIFICATIONS.
5. MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PROTECT EXISTING AND PROPOSED DRAINAGE AREAS FROM OBSTRUCTION AND/OR DAMAGE. UNDEVELOPED ELEVATIONS ARE INDICATED BY DASHED LINES.
6. INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO CONSTRUCTION.
7. ALL EXCAVATIONS SHALL BE PROTECTED BY STRONG AND STRENGTHED TORSION, REMOVING EXISTING AND PROPOSED DRAINAGE AREAS FROM OBSTRUCTION AND/OR DAMAGE. UNDEVELOPED ELEVATIONS ARE INDICATED BY DASHED LINES.
8. ALL EXCAVATIONS SHALL BE PROTECTED BY STRONG AND STRENGTHED TORSION, REMOVING EXISTING AND PROPOSED DRAINAGE AREAS FROM OBSTRUCTION AND/OR DAMAGE. UNDEVELOPED ELEVATIONS ARE INDICATED BY DASHED LINES.
9. ALL EXCAVATIONS SHALL BE PROTECTED BY STRONG AND STRENGTHED TORSION, REMOVING EXISTING AND PROPOSED DRAINAGE AREAS FROM OBSTRUCTION AND/OR DAMAGE. UNDEVELOPED ELEVATIONS ARE INDICATED BY DASHED LINES.
10. ALL EXCAVATIONS SHALL BE PROTECTED BY STRONG AND STRENGTHED TORSION, REMOVING EXISTING AND PROPOSED DRAINAGE AREAS FROM OBSTRUCTION AND/OR DAMAGE. UNDEVELOPED ELEVATIONS ARE INDICATED BY DASHED LINES.
11. ALL EXCAVATIONS SHALL BE PROTECTED BY STRONG AND STRENGTHED TORSION, REMOVING EXISTING AND PROPOSED DRAINAGE AREAS FROM OBSTRUCTION AND/OR DAMAGE. UNDEVELOPED ELEVATIONS ARE INDICATED BY DASHED LINES.
12. ALL EXCAVATIONS SHALL BE PROTECTED BY STRONG AND STRENGTHED TORSION, REMOVING EXISTING AND PROPOSED DRAINAGE AREAS FROM OBSTRUCTION AND/OR DAMAGE. UNDEVELOPED ELEVATIONS ARE INDICATED BY DASHED LINES.
13. ALL EXCAVATIONS SHALL BE PROTECTED BY STRONG AND STRENGTHED TORSION, REMOVING EXISTING AND PROPOSED DRAINAGE AREAS FROM OBSTRUCTION AND/OR DAMAGE. UNDEVELOPED ELEVATIONS ARE INDICATED BY DASHED LINES.
14. ALL EXCAVATIONS SHALL BE PROTECTED BY STRONG AND STRENGTHED TORSION, REMOVING EXISTING AND PROPOSED DRAINAGE AREAS FROM OBSTRUCTION AND/OR DAMAGE. UNDEVELOPED ELEVATIONS ARE INDICATED BY DASHED LINES.
15. ALL EXCAVATIONS SHALL BE PROTECTED BY STRONG AND STRENGTHED TORSION, REMOVING EXISTING AND PROPOSED DRAINAGE AREAS FROM OBSTRUCTION AND/OR DAMAGE. UNDEVELOPED ELEVATIONS ARE INDICATED BY DASHED LINES.
16. ALL EXCAVATIONS SHALL BE PROTECTED BY STRONG AND STRENGTHED TORSION, REMOVING EXISTING AND PROPOSED DRAINAGE AREAS FROM OBSTRUCTION AND/OR DAMAGE. UNDEVELOPED ELEVATIONS ARE INDICATED BY DASHED LINES.
17. ALL EXCAVATIONS SHALL BE PROTECTED BY STRONG AND STRENGTHED TORSION, REMOVING EXISTING AND PROPOSED DRAINAGE AREAS FROM OBSTRUCTION AND/OR DAMAGE. UNDEVELOPED ELEVATIONS ARE INDICATED BY DASHED LINES.
18. ALL EXCAVATIONS SHALL BE PROTECTED BY STRONG AND STRENGTHED TORSION, REMOVING EXISTING AND PROPOSED DRAINAGE AREAS FROM OBSTRUCTION AND/OR DAMAGE. UNDEVELOPED ELEVATIONS ARE INDICATED BY DASHED LINES.
19. ALL EXCAVATIONS SHALL BE PROTECTED BY STRONG AND STRENGTHED TORSION, REMOVING EXISTING AND PROPOSED DRAINAGE AREAS FROM OBSTRUCTION AND/OR DAMAGE. UNDEVELOPED ELEVATIONS ARE INDICATED BY DASHED LINES.
20. ALL EXCAVATIONS SHALL BE PROTECTED BY STRONG AND STRENGTHED TORSION, REMOVING EXISTING AND PROPOSED DRAINAGE AREAS FROM OBSTRUCTION AND/OR DAMAGE. UNDEVELOPED ELEVATIONS ARE INDICATED BY DASHED LINES.
21. ALL EXCAVATIONS SHALL BE PROTECTED BY STRONG AND STRENGTHED TORSION, REMOVING EXISTING AND PROPOSED DRAINAGE AREAS FROM OBSTRUCTION AND/OR DAMAGE. UNDEVELOPED ELEVATIONS ARE INDICATED BY DASHED LINES.
22. ALL EXCAVATIONS SHALL BE PROTECTED BY STRONG AND STRENGTHED TORSION, REMOVING EXISTING AND PROPOSED DRAINAGE AREAS FROM OBSTRUCTION AND/OR DAMAGE. UNDEVELOPED ELEVATIONS ARE INDICATED BY DASHED LINES.
23. SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.

**PRELIMINARY**

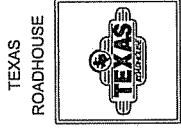




**GreenbergFarrow**  
 1755 The Exchange  
 4770 343 433 & 770 303 2333  
 Professional Seal

Revision: UDC  
 Date: 2/6/2006

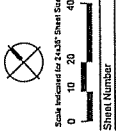
Project Name: TEXAS ROADHOUSE



4841 Annamark Drive  
 MADISON, WISCONSIN

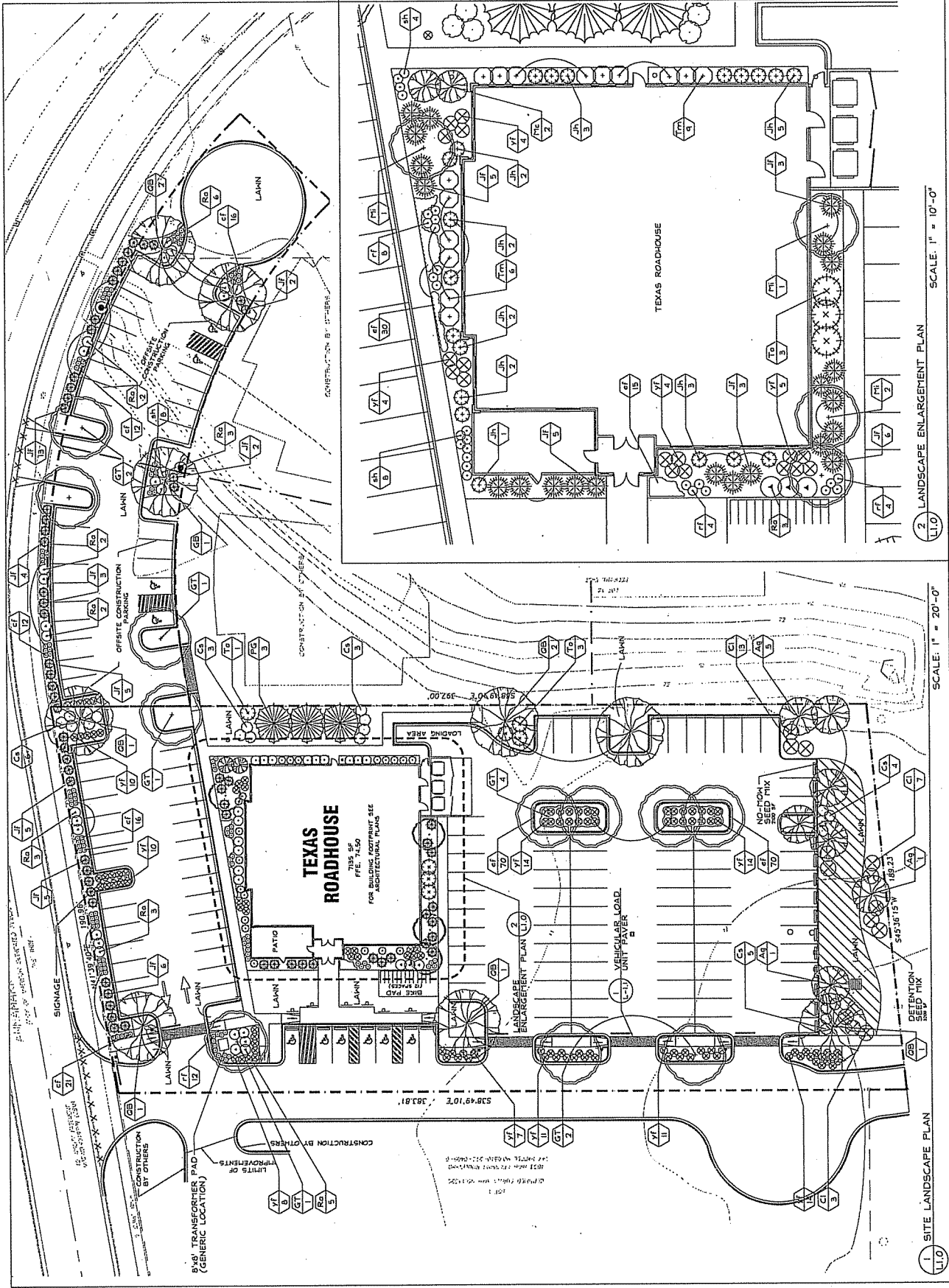
Drawn By: AW  
 Checked By: CT  
 File: PLS  
 Issued For: UDC  
 Issue Date: 02/15/2005  
 Project No.: 2141

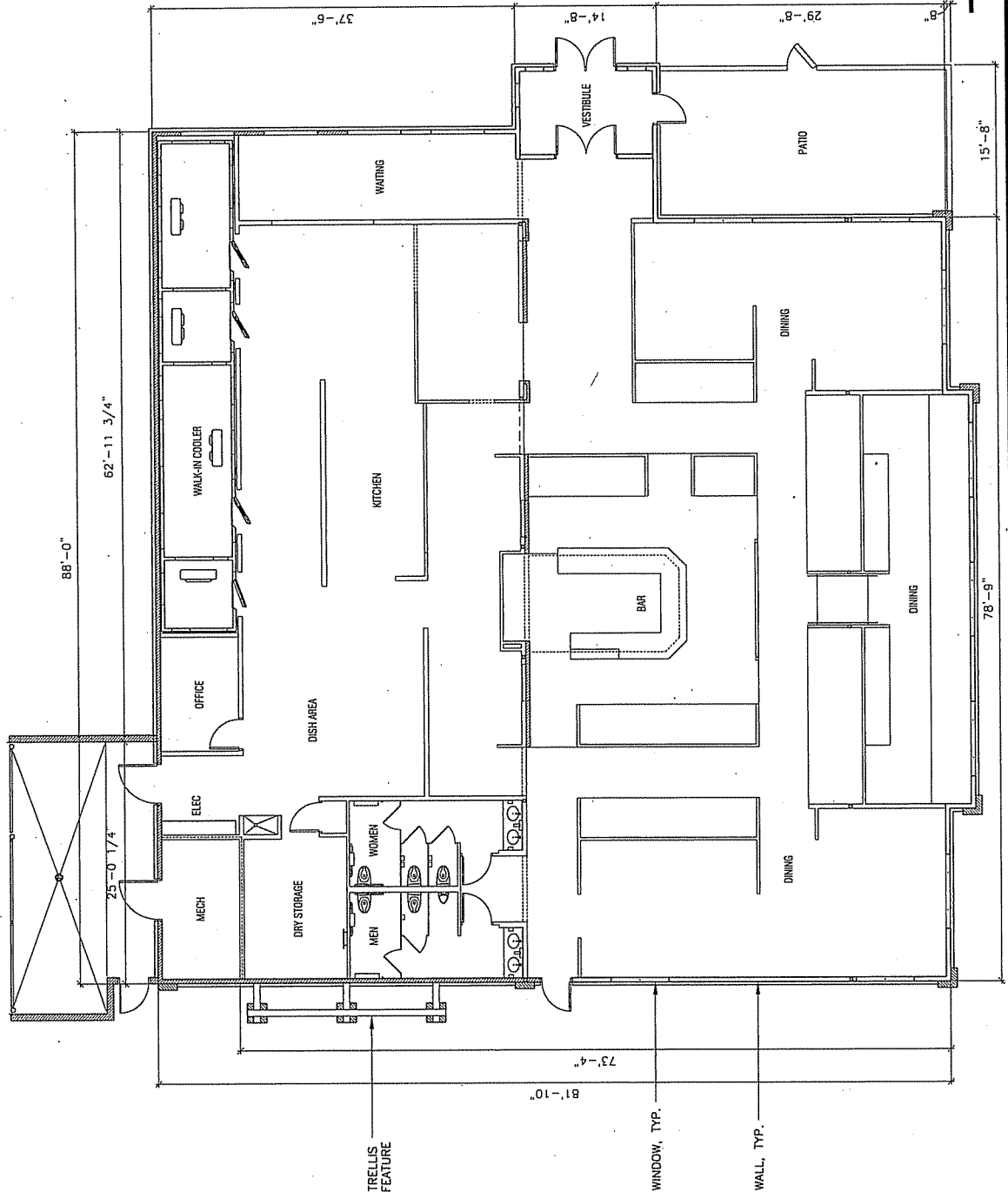
OPTION: LANDSCAPE LAYOUT PLAN



Scale Indicated for 24" x 36" Sheet Size  
 0 10 20 40  
 Sheet Number

**L-1.0**





**FLOOR PLAN**

SCALE: N.T.S.

CITY REVIEW: 11/09/05  
 CITY SUBMISSION: 12/21/05  
 CITY SUBMISSION: 02/08/06

**FLOOR PLAN EXHIBIT**

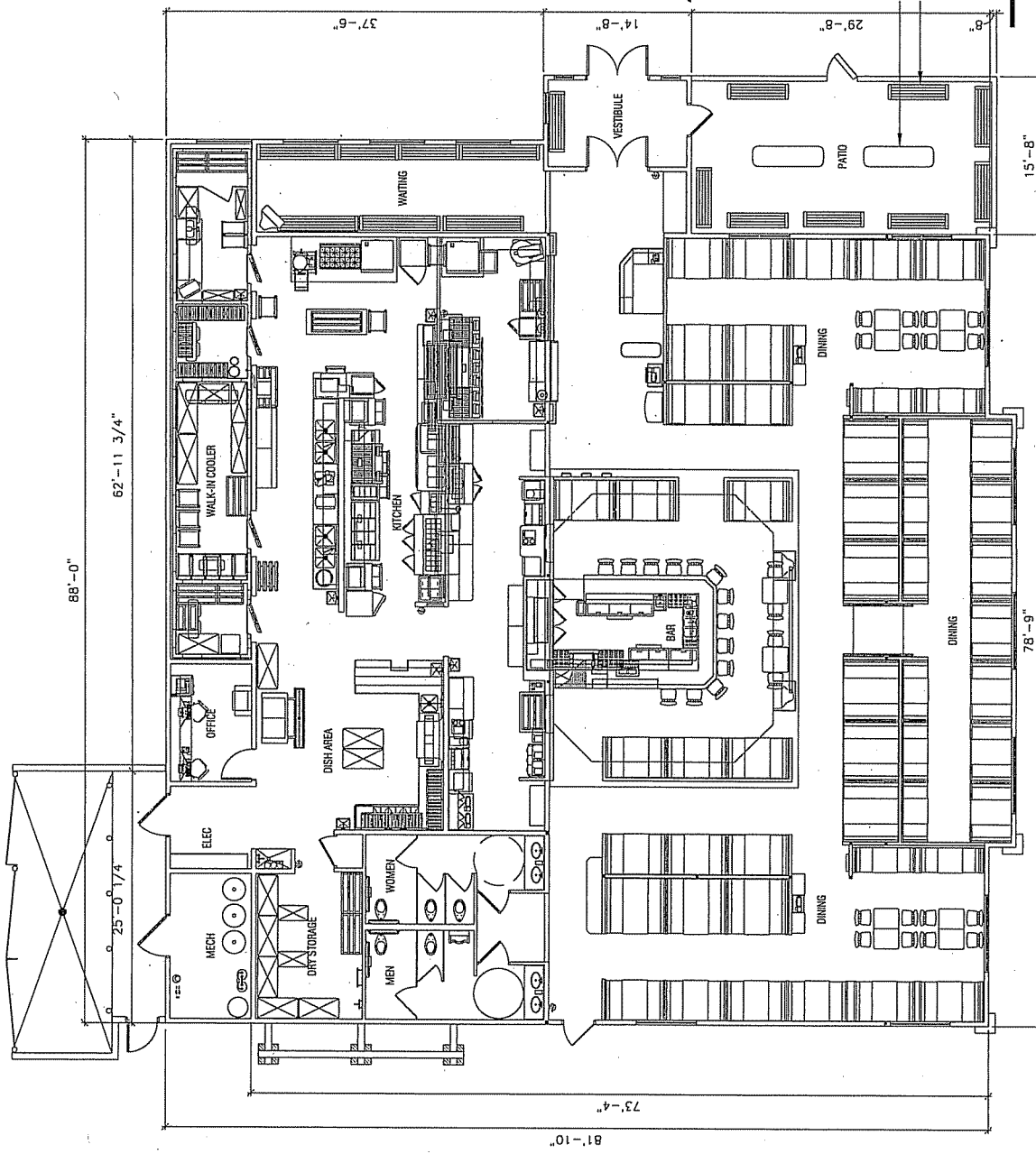
**TEXAS ROADHOUSE**  
 4841 ANNAMARK DRIVE  
 MADISON, WISCONSIN  
 20050922

**A1.0**



GENERAL CONTRACTOR  
 3442 S. 46th Street, Suite 101  
 Arlington Heights, Illinois 60004  
 P: 847.706.8200 F: 847.706.8204





**SEATING PLAN**

SCALE: N.T.S.

**TEXAS ROADHOUSE SEATING PLAN EXHIBIT**

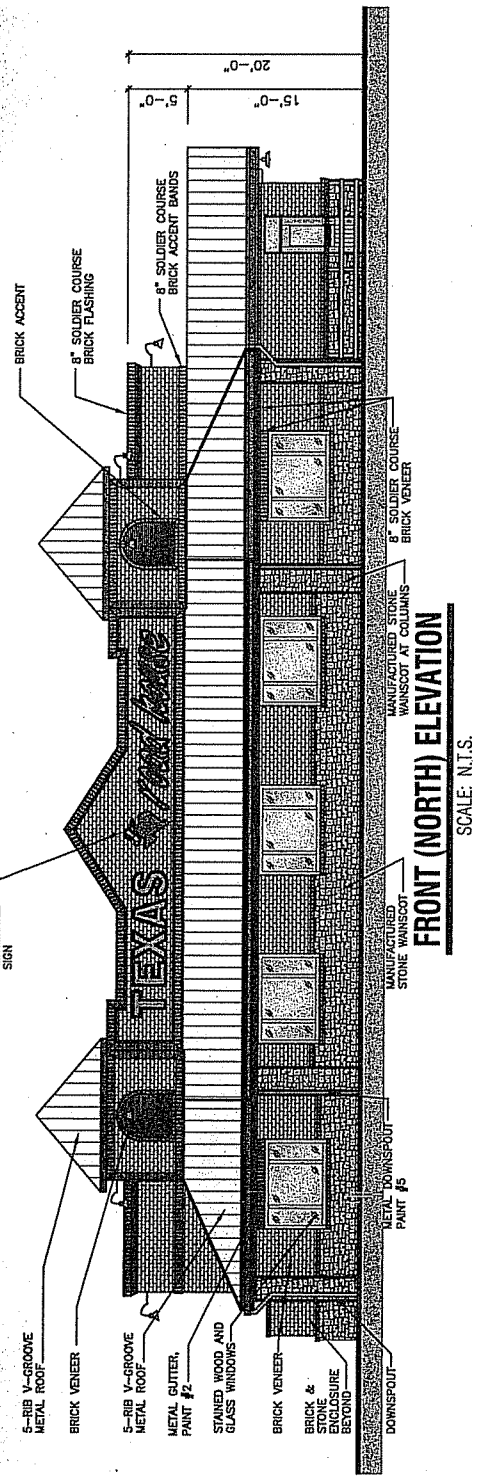
4841 ANNAMARK DRIVE  
MADISON, WISCONSIN  
20050922



5445 S. 48th Street, Suite 200  
Madison, WI 53748  
P: 608.263.2005 F: 608.263.5000

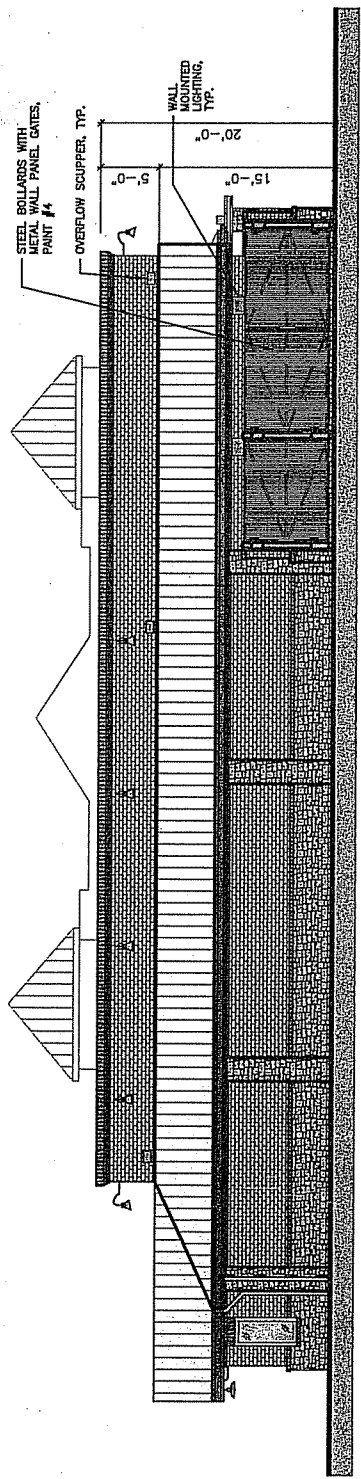
**A1.1**

CITY REVIEW: 1/10/05  
CITY SUBMISSION: 12/27/05  
CITY SUBMISSION: 02/09/06



**FRONT (NORTH) ELEVATION**

SCALE: N.T.S.



**REAR (SOUTH) ELEVATION**

SCALE: N.T.S.

EXTERIOR FINISH SCHEDULE	
BUILDING ITEMS	DESCRIPTION
WOOD & TRIM	PRE-STAINED CEDAR HENRY POOR LUMBER 3200 BEAGAN DRIVE LA FAYETTE, IN 47906 CONTACT: DOUG MILLER PHONE: 800-255-7913
FRONT ENTRANCE WOOD DOORS	AMTECO #510 STAIN FORMULA
FRONT ENTRANCE WOOD DOORS TRIM	AMTECO TWP510 STAIN FORMULA AND TWO COATS OF URETHANE
METAL FLASHING AND GUTTERS	PAINT #1: PORTER PAINTS #617 "EXTERIOR GLOSS" FINISH COLOR - DARK GREEN FORMULA: 2Y16Z2Y13J0Y10P1Y26Z2Y NOTE: TWO COATS BRUSH APPLIED (DO NOT SPRAY)
WOOD DOOR FRAME	PAINT #2: PORTER PAINTS #617 "EXTERIOR GLOSS" FINISH COLOR - DARK GREEN FORMULA: 2Y16Z2Y13J0Y10P1Y26Z2Y
STONE MANSCOT	PAINT #3: PORTER PAINTS #610 "EXTERIOR GLOSS" FINISH COLOR TO MATCH PRE-STAINED CEDAR - PRIMER/TWO FINISH COATS #614 BASE 1-14Z/2Y3M14Z8K4P2Y1V
BRICK #1 BRICK VENEER	HERITAGE STONE "OTTAWA DRystack" 4" THICK VENEER HERITAGE STONE 3819 OLD WHEELING RD. ZANESVILLE, OH 43701 PHONE: 740-450-4268
BRICK #2 BRICK ACCENTS	CHEROKEE SAFFORD BRICK COMPANY "PHOENIX" #143 OVERSIZE SAFFORD, NORTH CAROLINA 1-800-277-2700
METAL ROOF	ILLINOIS BRICK COMPANY "ST. LOUIS" MODULAR SIZE 3-1/2" x 2-1/4" x 7-5/8" OR EQUAL COLOR
DUMPSTER GATES, BOLLARDS, METAL DOORS & FRAMES	5 RIBBED V-GROOVED COLOR: GALVALUME
DOWNSPOUTS	PAINT #4: PORTER PAINTS "EXTERIOR GLOSS" BLACK - PRIMER/TWO FINISH COATS
WOOD SHUTTERS	PAINT #5: PORTER PAINTS "EXTERIOR GLOSS" FINISH COLOR TO MATCH BRICK
	PAINT #6: PORTER PAINTS "EXTERIOR GLOSS" BLACK - PRIMER/TWO FINISH COATS

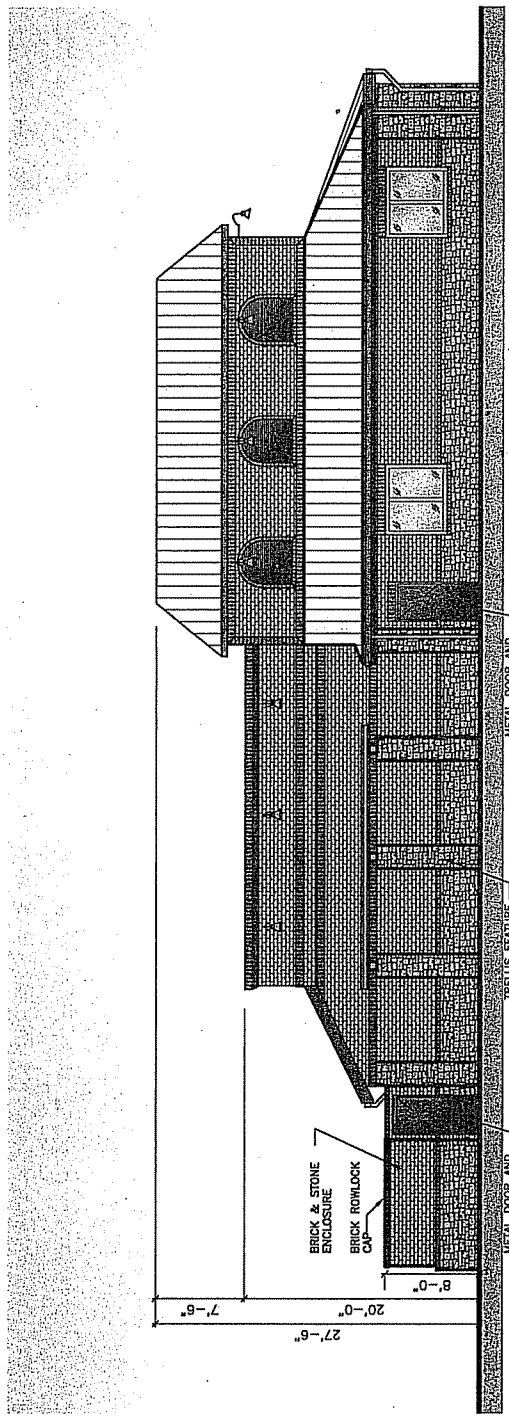
**DISCLAIMER**

NOTE:  
THE COLORS DEPICTED ON THESE ELEVATIONS ARE FOR GRAPHIC REPRESENTATION PURPOSES ONLY. PLEASE REFER TO MATERIAL BOARD FOR ACTUAL SAMPLE OF COLORS AND TEXTURES



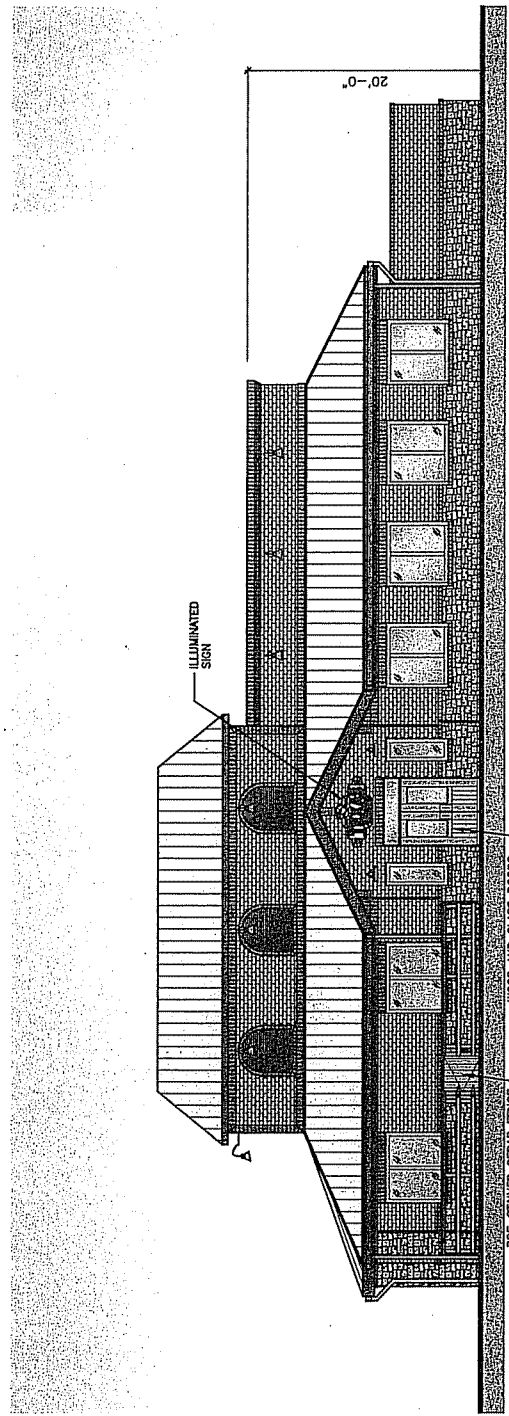
TEXAS ROADHOUSE ELEVATIONS  
4841 ANNAMARK DRIVE  
MADISON, WISCONSIN  
20050922

CITY REVIEW: 11/09/05  
CITY SUBMISSION: 12/21/05  
CITY REVIEW: 01/20/06  
CITY SUBMISSION: 01/30/06  
CITY REVIEW: 02/08/06



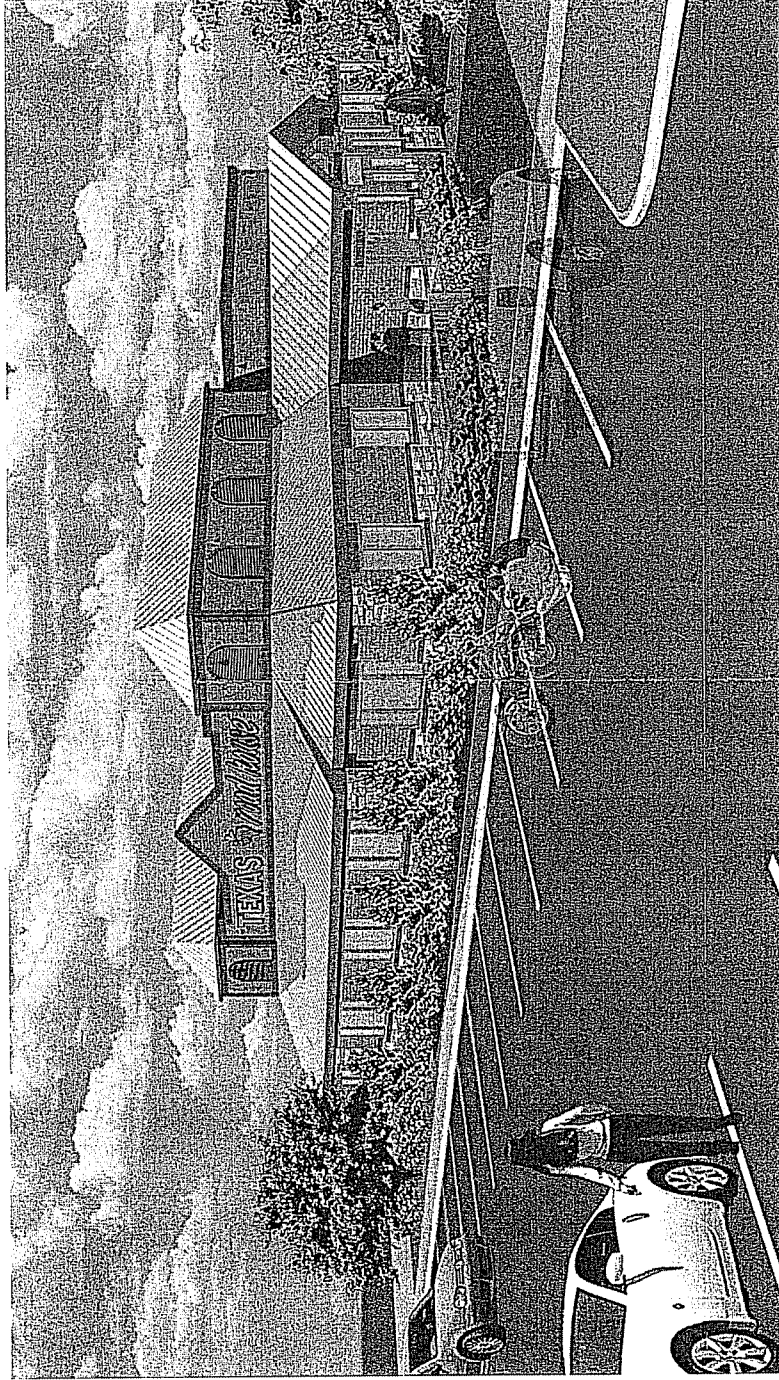
**LEFT (EAST) ELEVATION**

SCALE: N.T.S.



**RIGHT (WEST) ELEVATION**

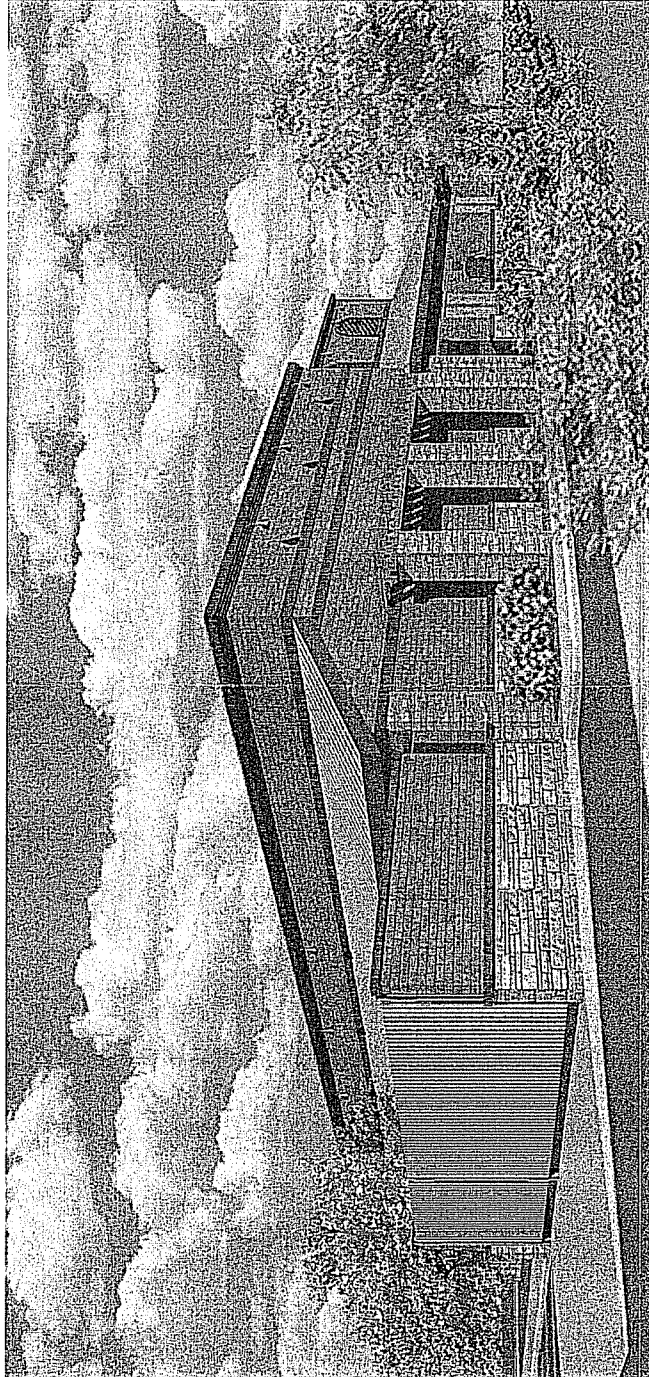
SCALE: N.T.S.



TEXAS ROADHOUSE | FRONT PERSPECTIVE

4841 ANNAMARK DRIVE  
MADISON, WISCONSIN  
537050922





**TEXAS ROADHOUSE | REAR PERSPECTIVE**

4841 ANNMARK DRIVE  
MADISON, WISCONSIN  
20050922

