



City of Madison

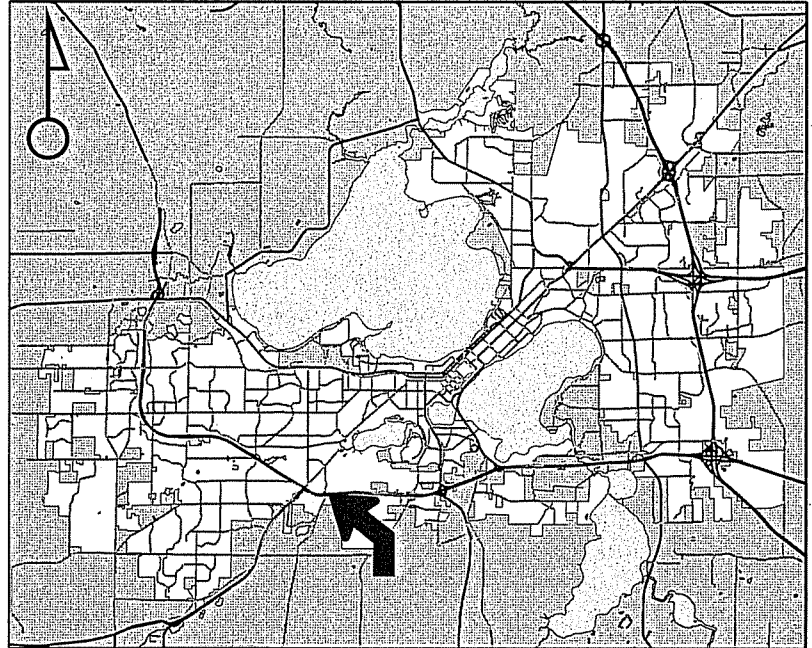
Proposed Rezoning and Conditional Use

Location
 1612 Seminole Highway
 Applicant
 Mike Franklin/
 Jim Vincent - Designed by Jim Vincent
 From: TR-C2 To: NMX

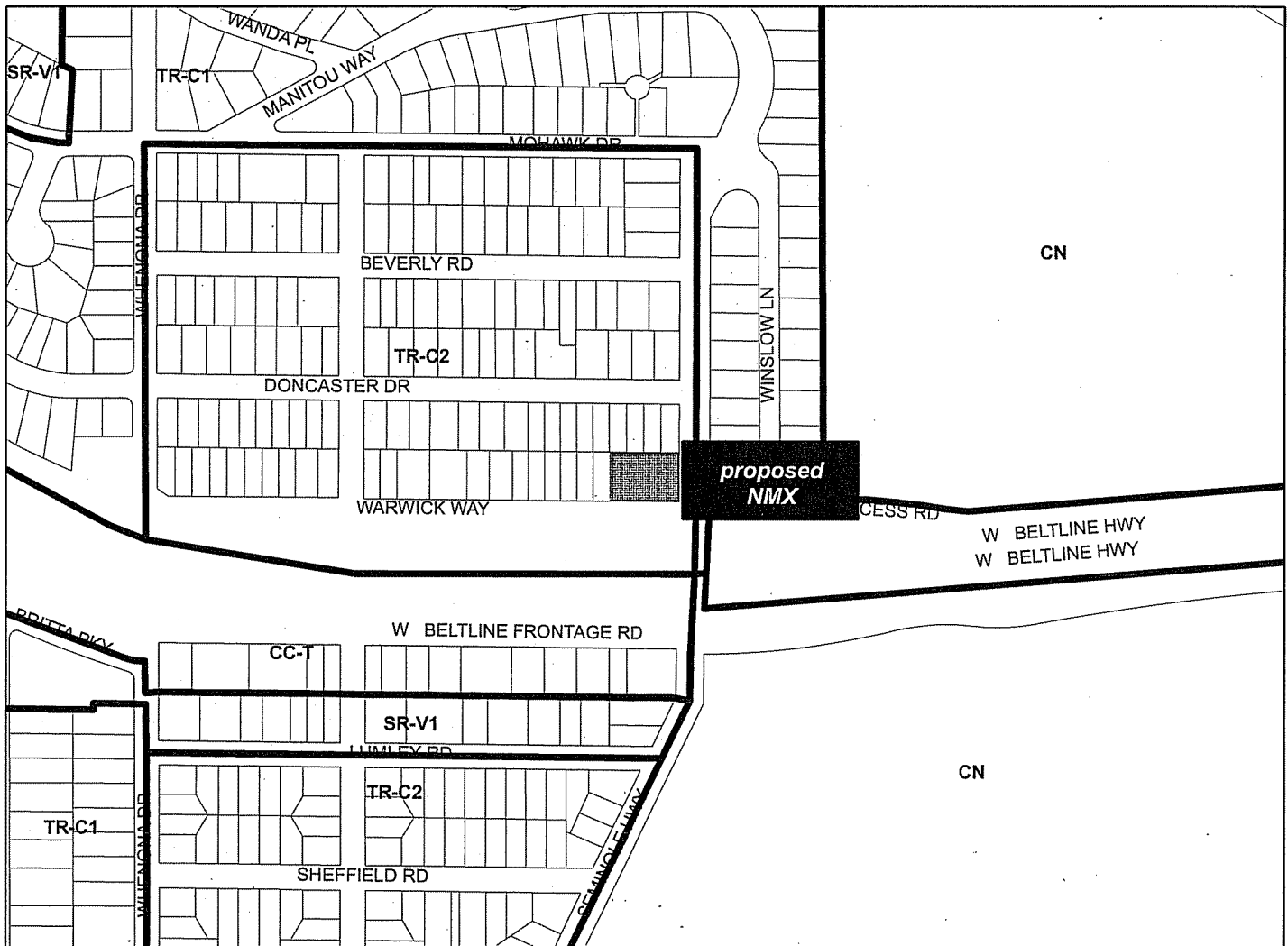
Existing Use
 Restaurant-Tavern

Proposed Use
 Provide conforming zoning for restaurant-tavern and approve existing outdoor eating area

Public Hearing Date
 Plan Commission
 07 March 2016
 Common Council
 15 March 2016

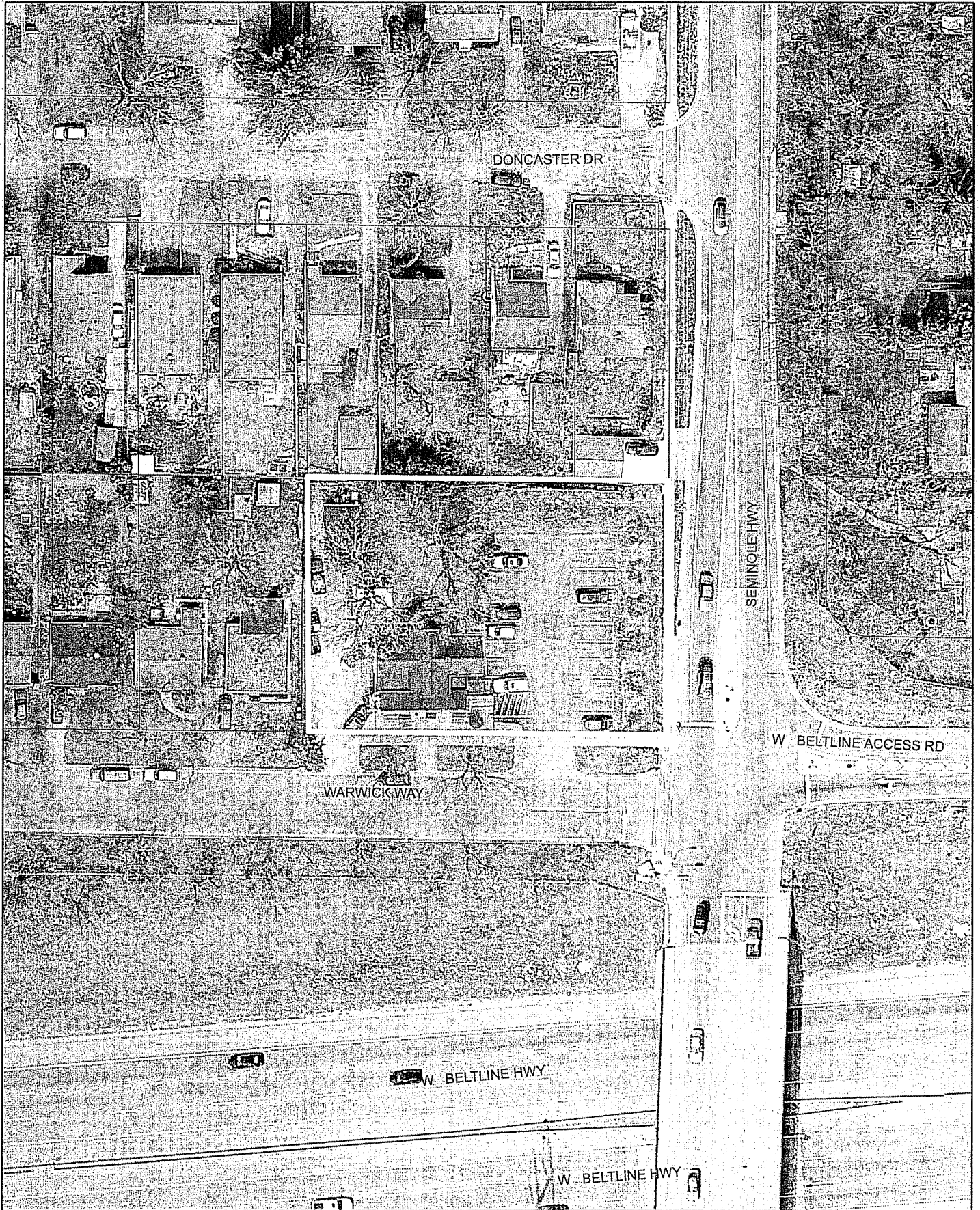


For Questions Contact: Jessic Vaughn at: 267-8733 or jvaughn@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 29 February 2016





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid 000 Receipt No. 011629-
 Date Received 1/6/16 0006
 Received By JFK
 Parcel No. 0709-324-1131-0
 Aldermanic District 10-Maurice Cheeks
 Zoning District TR-C2
 Special Requirements WP-10
 Review Required By:
 Urban Design Commission Plan Commission
 Common Council Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 1612 Seminole Hwy, Madison, WI 53711
Project Title (if any): Patio Permit

2. **This is an application for (Check all that apply to your Land Use Application):**

- Zoning Map Amendment from TR-C2 to WMC
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Mike Franklin Company: _____
Street Address: 1612 Seminole Hwy, City/State: Madison, WI Zip: 53711
Telephone: (608) 444-2332 Fax: () Email: badgertavern@yahoo.com

Project Contact Person: Jim Vincent Company: Designed by Jim Vincent
Street Address: 223 S. Midvale Blvd. City/State: Madison, WI Zip: 53705
Telephone: (608) 213 1665 Fax: () Email: bigliogo@charter.net

Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Restaurant-Tavern & outdoor eating patio
 Development Schedule: Commencement upon approval Completion 2 days after approval

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Jay Date: _____ Zoning Staff: Matt Date: _____

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant MICHAEL FRANKLIN Relationship to Property: OWNER

Authorizing Signature of Property Owner [Signature] Date 1/6/16

Jan. 6, 2016

Chair
City of Madison Planning Commission
Madison Municipal Building
210 Martin Luther King Blvd.
Madison, WI

Dear Planning Commission Chair and Members:

We recently perched the property previously called "Tony Franks" on 1612 Seminol Hwy., did refurbishing, and reopened as the Badger Tavern. We operate with the same hours and liquor license approvals as the previous operation.

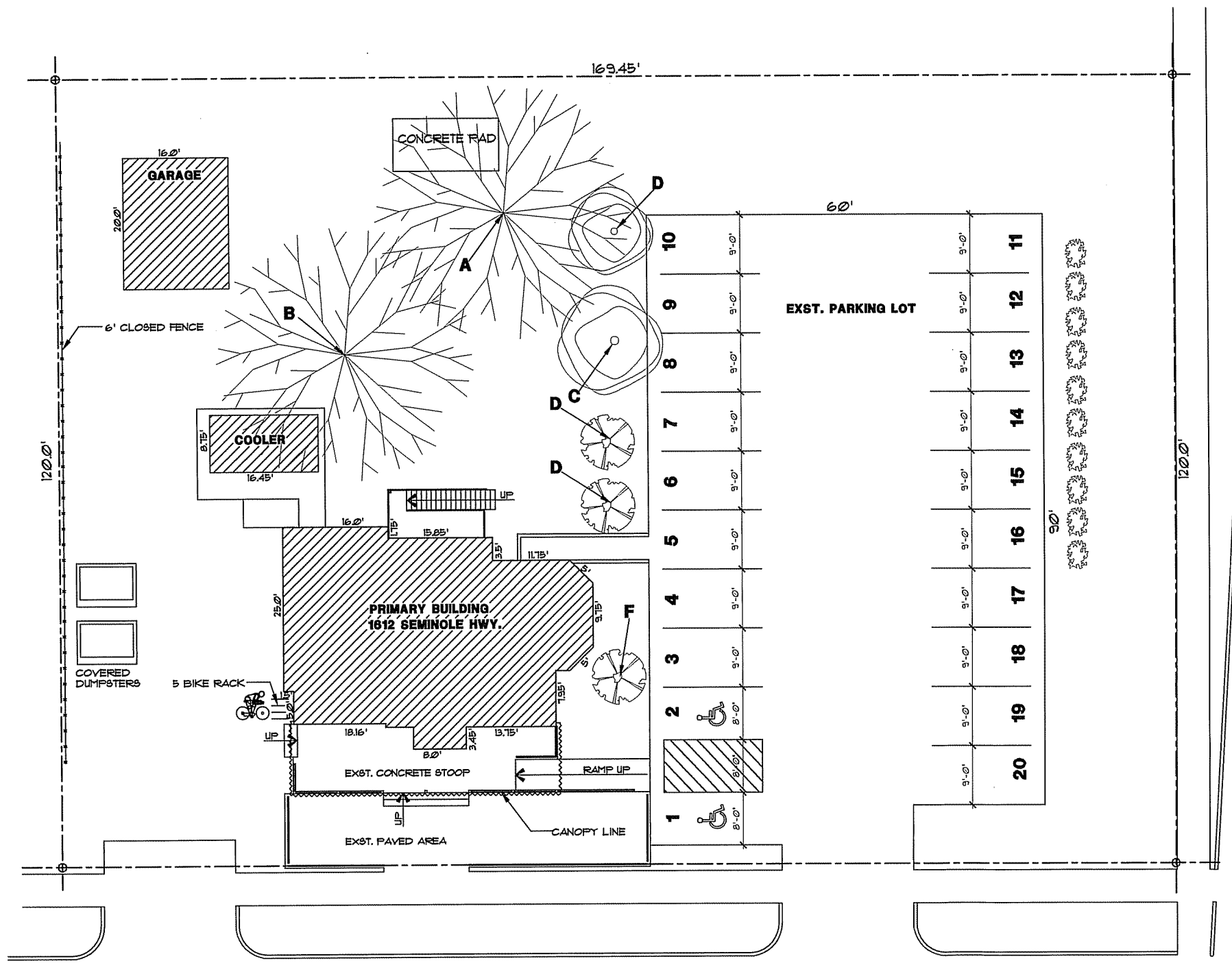
With approval of the conditional use we would have a total capacity of 99 persons. Our hours of operation are ~~10:00~~ am to 2:00 am Sunday through Thursday and ~~10:00~~ am through 2:30 am Friday and Saturday. We currently employ 6 fulltime and 15 part time people. Our parking lot has a capacity of 17 standard and 2 accessible spaces as well as 3 employee parking spaces and one garage space.

We are requesting that the zoning be changed to conform to current ordinances and have our front area allowed for outdoor seating until 10:00 pm.

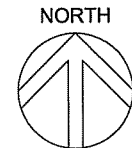
Thank you for your consideration,

Mike Franklin, and employees





WARWICK WAY



SITE PLAN

SCALE: 1"=20'-0"

SITE INFORMATION BLOCK	
1612 SEMINOLE HWY. PARCEL# 070932411310	
MARLBOROUGH HEIGHTS LOTS 4, 5, 6 & 7, BLOCK 3	
ZONING CLASS	TR-C2, WP-10
LOT SIZE	20,334 SQ FT
IMPERVIOUS	9,682 SQ FT
PERVIOUS	11,652 SQ FT
BUILDING CLASS	WOOD FRAME
TOTAL BUILDING AREA	1,956 SQ FT
BASEMENT	691 SQ FT
USE	RESTAURANT
CUSTOMER AREA	596 SQ FT

TREE SCHEDULE		
NO.	SIZE	SPECIES
A	64"	HARD MAPLE
B	36"	OAK
C	5"	CEDAR
D	4"	ARBOR VITAE
E	5"	CEDAR
F	6"	JUNIPER

DRAWING INDEX	
NO.	DRAWING
C-1	SITE PLAN
A-1	PATIO PLAN
A-2	1st FLOOR PLAN
A-3	BSMT. ATTIC PLANS
A-4	ELEVATIONS
A-5	ELEVATIONS
A-6	

OWNER INFORMATION
 MIRK 3 LLC DBA BADGER TAVERN
 1612 SEMINOLE HWY.
 MADISON WI 53711
 608 286 1450
 badgertavern@yahoo.com
 OWNER AGENT, MIKE FRANKLIN
 608 444 2332

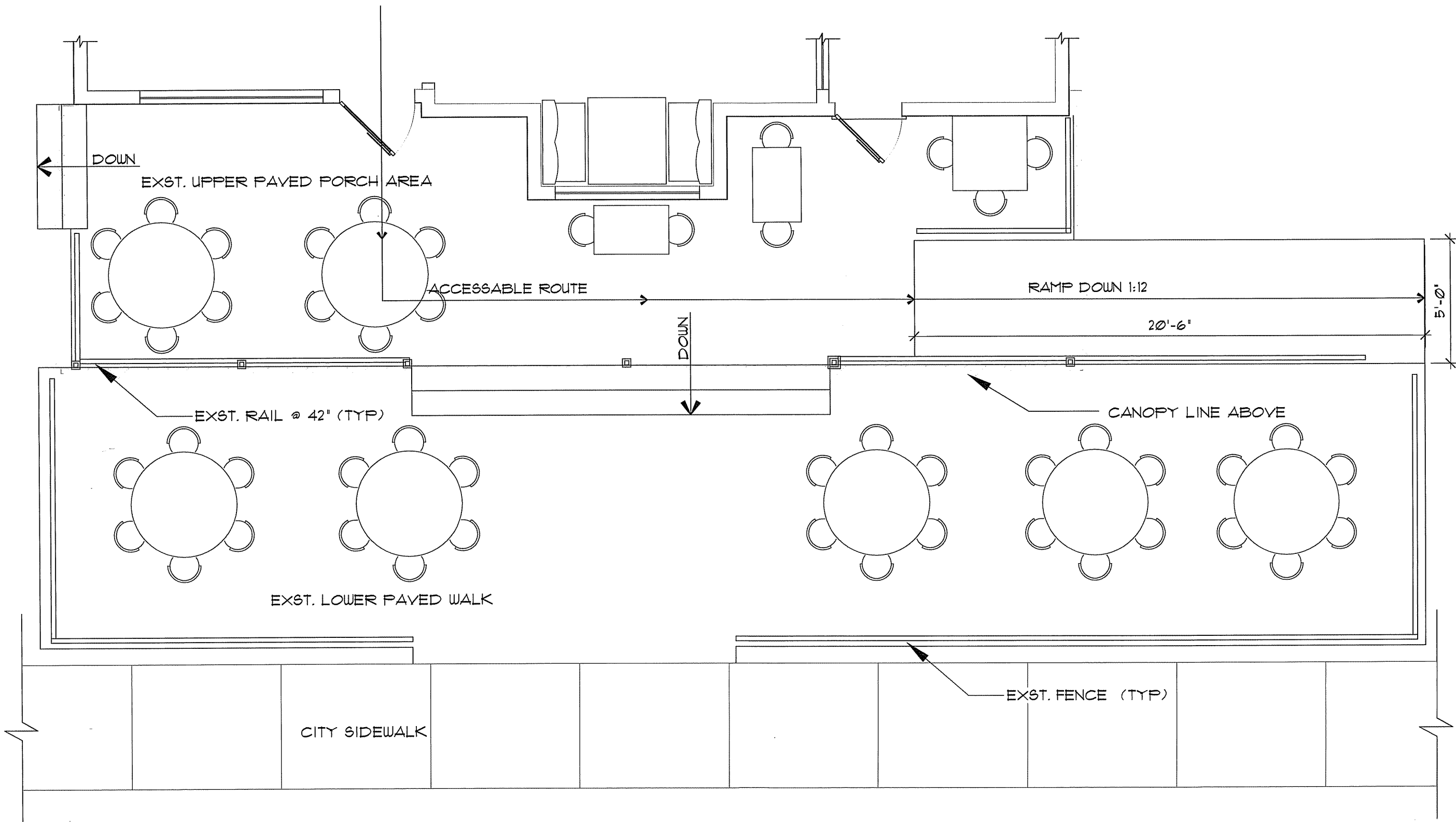
221 SOUTH MIDVALE BLVD.
 MADISON, WI 53705
 (608) 213-1665
 digilog@earthlink.net
Designed by
 Jim Vincent

SITE PLAN
BADGER TAVERN
 1612 SEMINOLE HIGHWAY
 MADISON • WISCONSIN

DRAFTED BY	JV
CHECKED BY	JV
DRAWING STATUS	PRELIMINARY
PROGRESS	
REVIEW	
FINAL	
REVISION NO. - DATE:	

DATE: AUG. 16, '14
 PROJ. NO: 1421
 SHEET NUMBER

C-1



NORTH

PATIO PLAN
 SCALE: 1/4" = 1'-0"

221 SOUTH MIDVALE BLVD.
 MADISON, WI 53705
 (608) 213-1665
 biglogo@charter.net

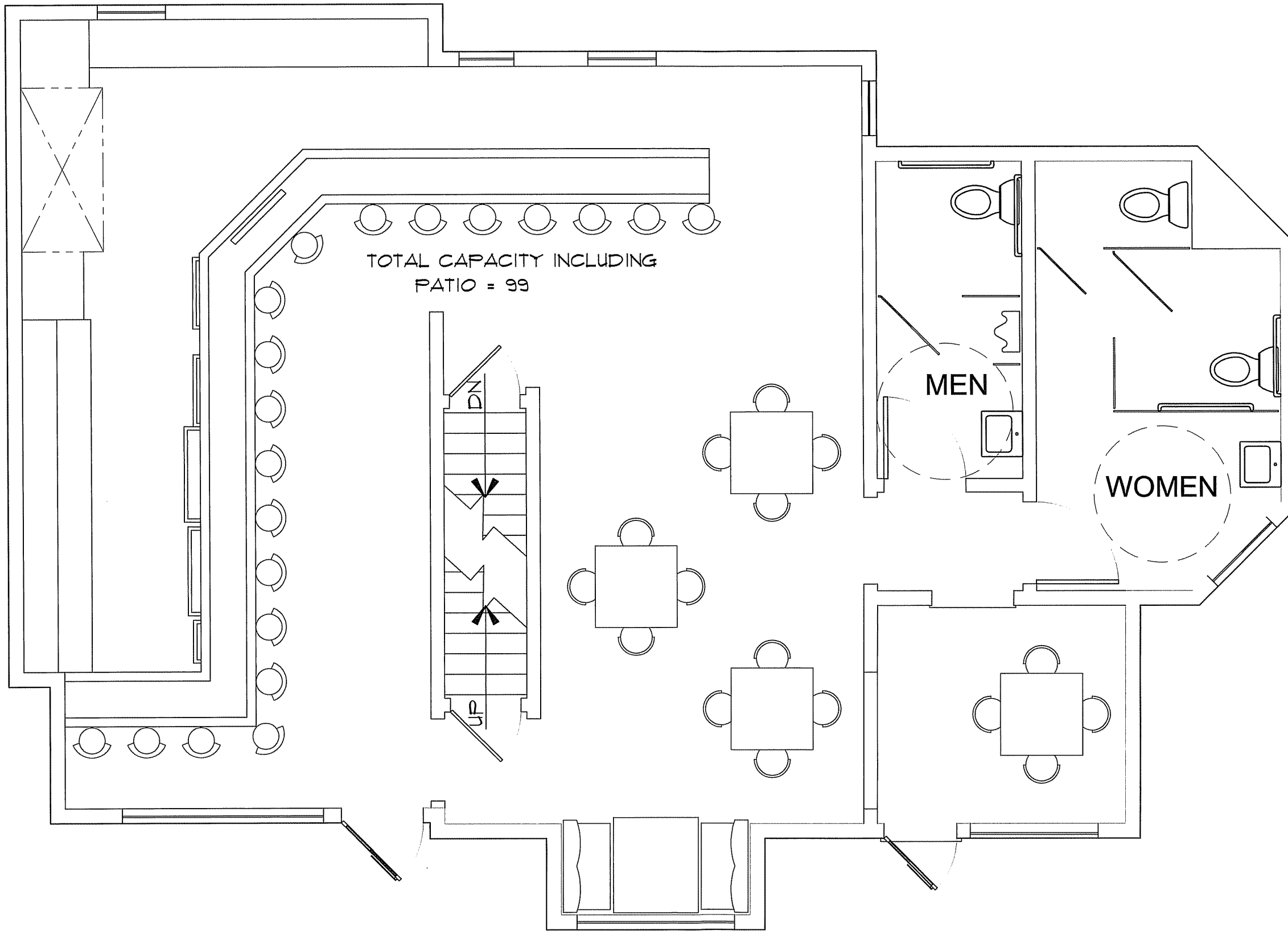
Designed by
Jim Vincent

PATIO PLAN
BADGER TAVERN
 1612 SEMINOLE HIGHWAY
 MADISON • WISCONSIN

DRAFTED BY	JV
CHECKED BY	JV
DRAWING STATUS	PRELIMINARY
PROGRESS	PROGRESS
REVIEW	REVIEW
FINAL	FINAL
REVISION NO.	DATE

DATE: DEC. 16, '15
 PROJ. NO: 1421
 SHEET NUMBER

A-1



1st FLOOR PLAN

SCALE: 1/4" = 1'-0"

TOTAL CAPACITY INCLUDING
PATIO = 99

MEN

WOMEN

221 SOUTH MIDVALE BLVD.
MADISON, WI 53705
(608) 213-1665
biglogocharacter.net

Designed by
Jim Vincent

FIRST FLOOR PLAN

BADGER TAVERN
1612 SEMINOLE HIGHWAY
MADISON • WISCONSIN

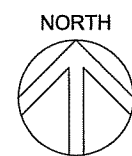
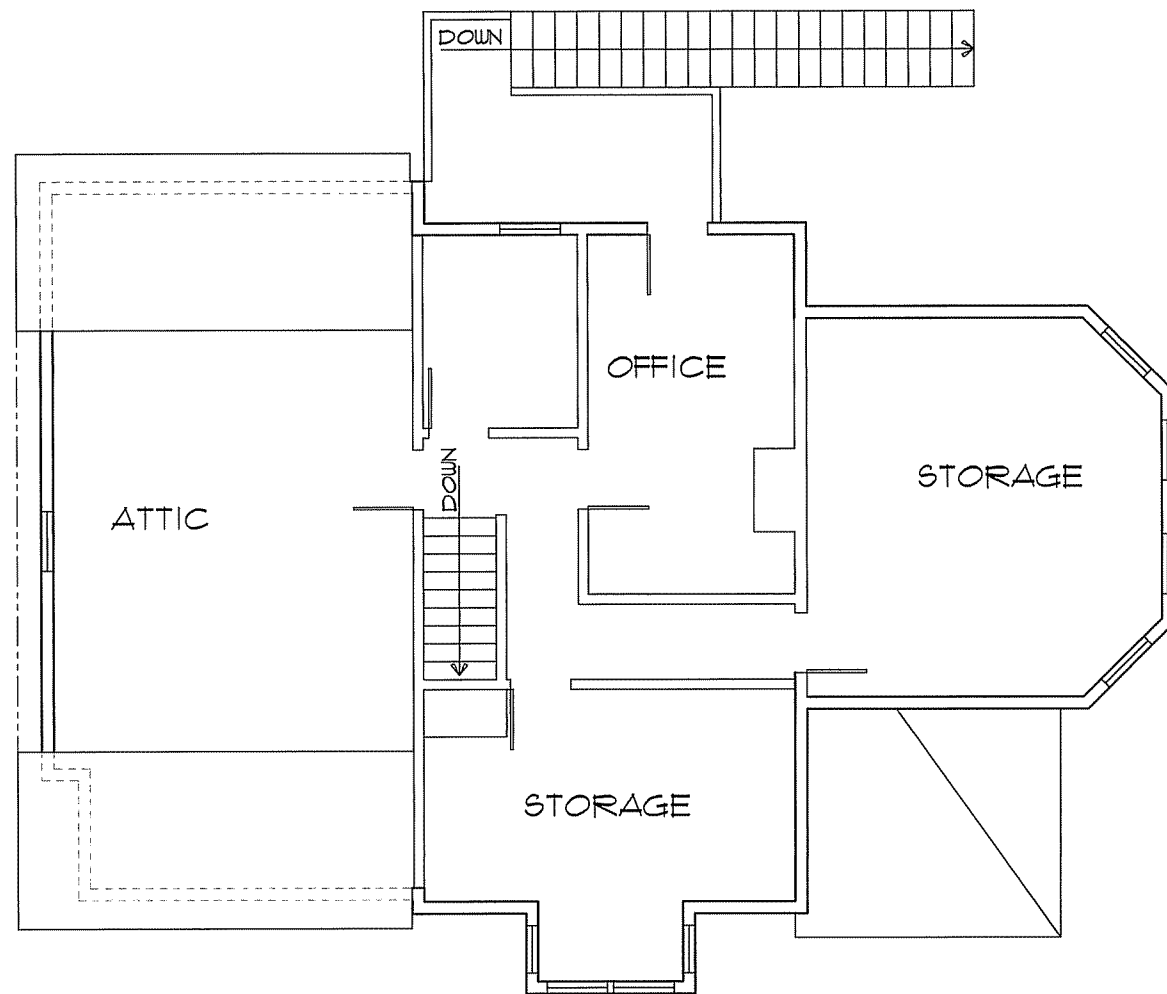
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CHECKED BY	JV
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PROGRESS	
REVIEW	
FINAL	
REVISION NO. - DATE:	///

DATE: DEC. 16, '15

PROJ. NO: 1421

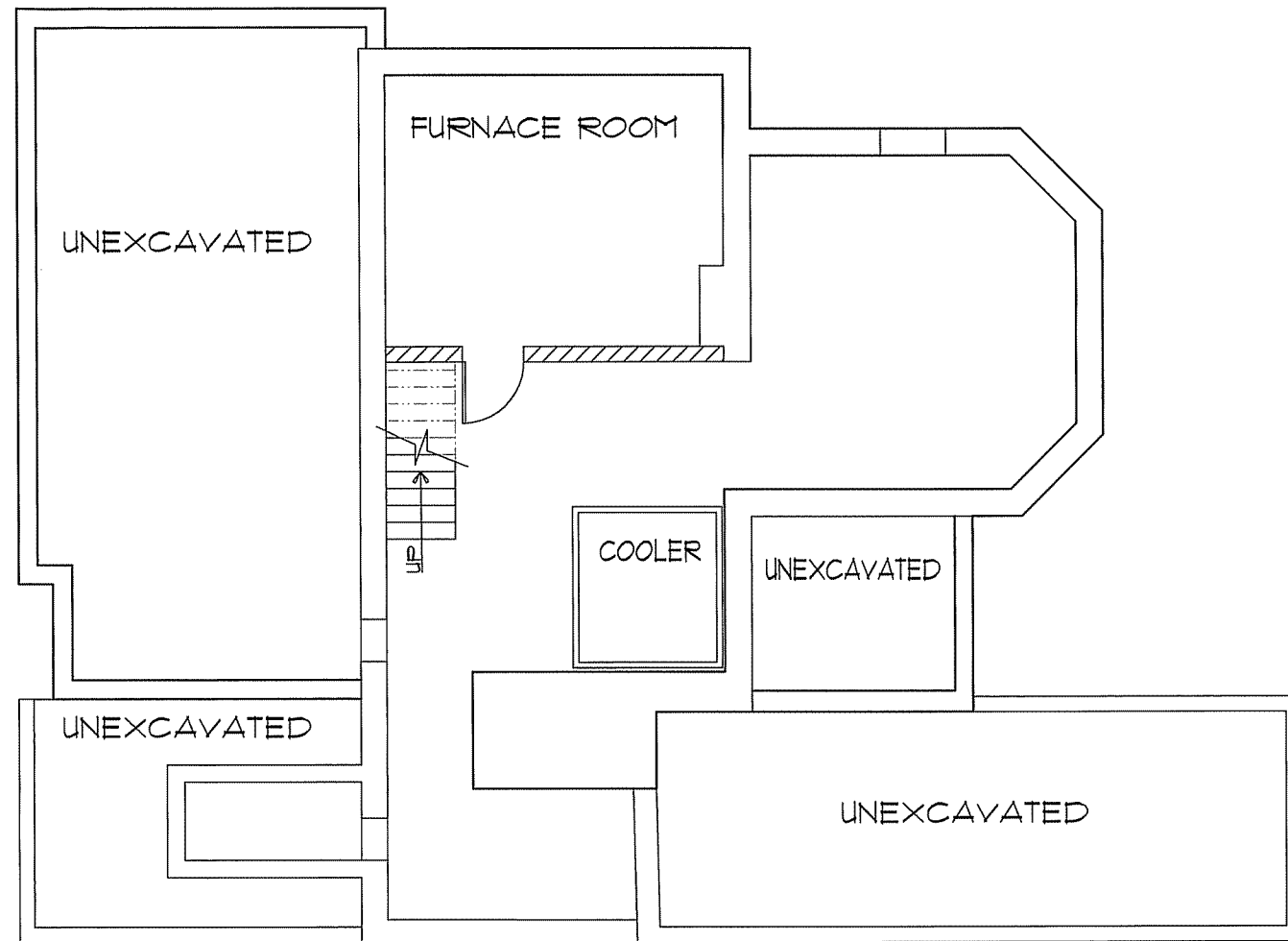
SHEET NUMBER

A-2



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



BASEMENT PLAN

SCALE: 1/8" = 1'-0"

221 SOUTH MIDVALE BLVD.
MADISON WI 53705
(608) 213-1665
biglogocharter.net

Designed by
Jim Vincent

BSMT. ATTIC PLANS
BADGER TAVERN
1612 SEMINOLE HIGHWAY
MADISON • WISCONSIN

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CHECKED BY: JV	
DRAWING STATUS	
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REVIEW	
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REVISION NO. - DATE:	///

DATE: DEC. 16, '15

PROJ. NO: 1421

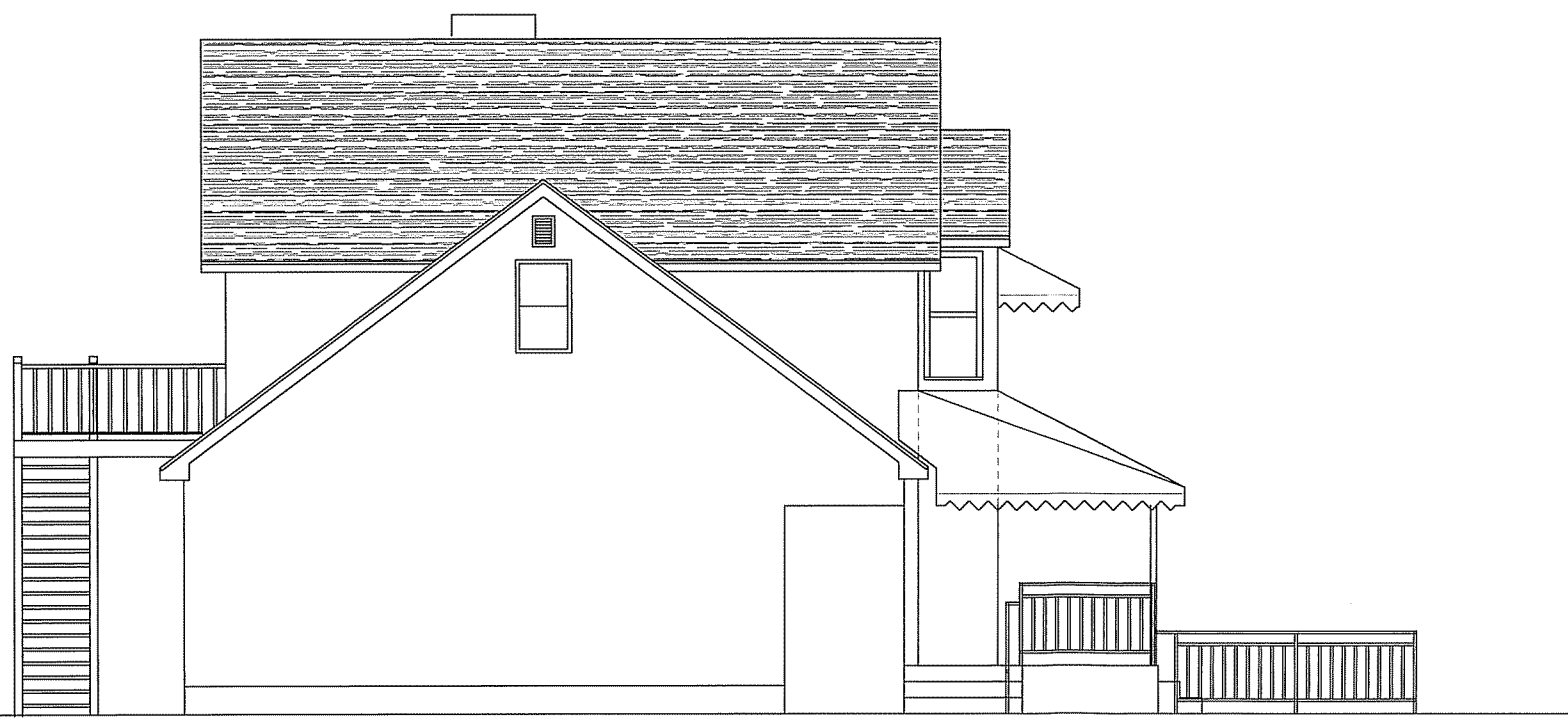
SHEET NUMBER

A-3



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

221 SOUTH MIDVALE BLVD.
MADISON, WI 53705
(608) 213-1665
biglogo@charter.net

Designed by
Jim Vincent

ELEVATIONS

BADGER TAVERN
1612 SEMINOLE HIGHWAY
MADISON • WISCONSIN

DRAFTED BY: JV	
CHECKED BY: JV	
DRAWING STATUS:	
PRELIMINARY	
PROGRESS	
REVIEW	
FINAL	<input checked="" type="checkbox"/>
REVISION NO. - DATE:	///

DATE: DEC. 16, '15

PROJ. NO: 1421

SHEET NUMBER

A-4



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

221 SOUTH MIDVALE BLVD.
MADISON, WI 53705
(608) 213-1665
biglogo@charter.net

Designed by
Jim Vincent

ELEVATIONS

BADGER TAVERN
1612 SEMINOLE HIGHWAY
MADISON • WISCONSIN

DRAFTED BY	JV
CHECKED BY	JV
DRAWING STATUS	PRELIMINARY
PROGRESS	PROGRESS
REVIEW	REVIEW
FINAL	FINAL
REVISION NO. - DATE:	///

DATE: DEC. 16, '15

PROJ. NO: 1421

SHEET NUMBER

A-5