

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____

Project # _____

03311

DATE SUBMITTED: <u>03-29-06</u>	Action Requested
UDC MEETING DATE: <u>04-05-06</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 5702 Raymond Road

ALDERMANIC DISTRICT: 20

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
MLG Capital (Meadowood) LLC The Redmond Company
13400 Bishop's Lane, Suite 100 w228 N745 Westmound Dr.
Brookfield, WI 53005 Waukesha, WI 53186

CONTACT PERSON: Tammy Mauer
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E-mail address: tmauer@theredmondco.com



TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

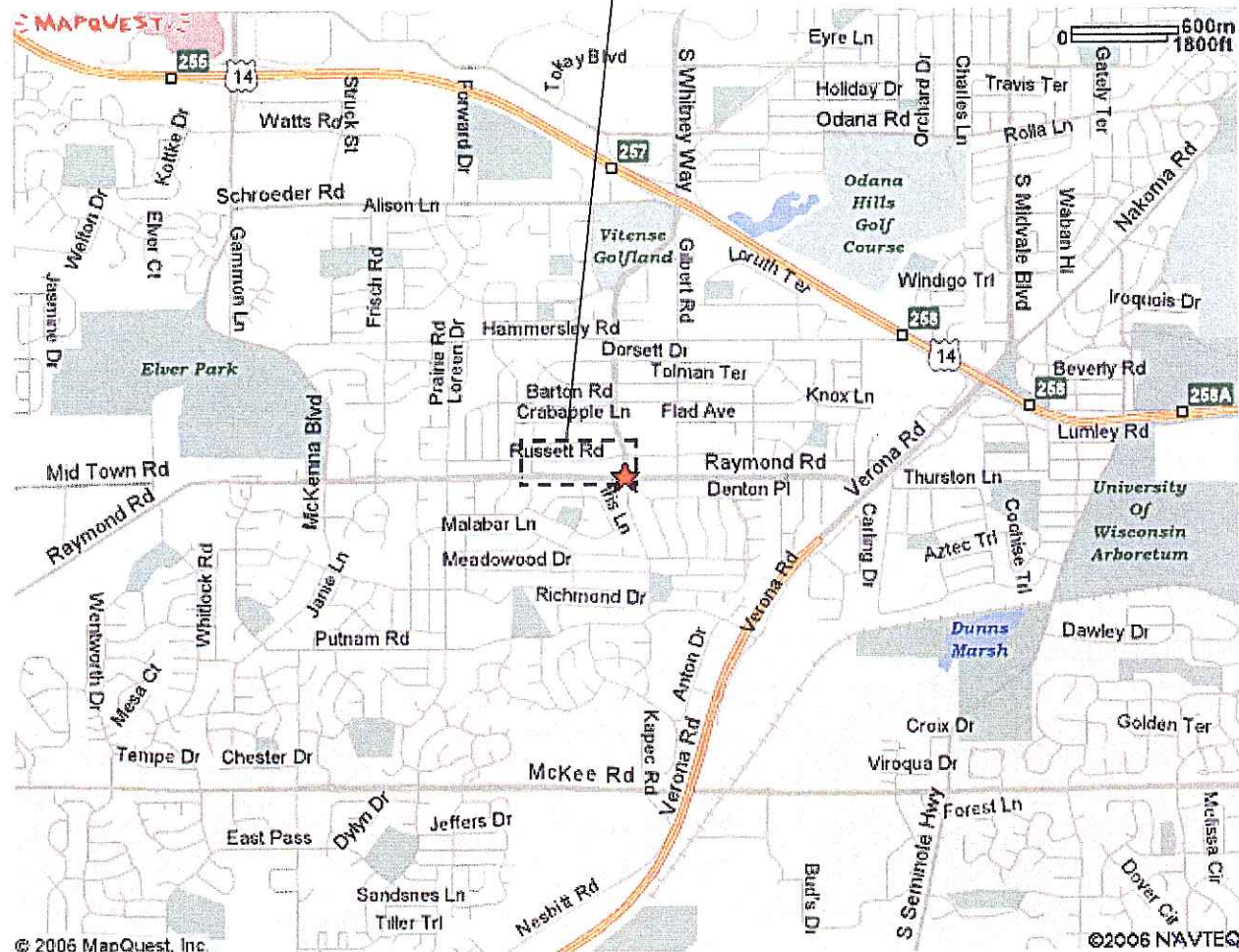
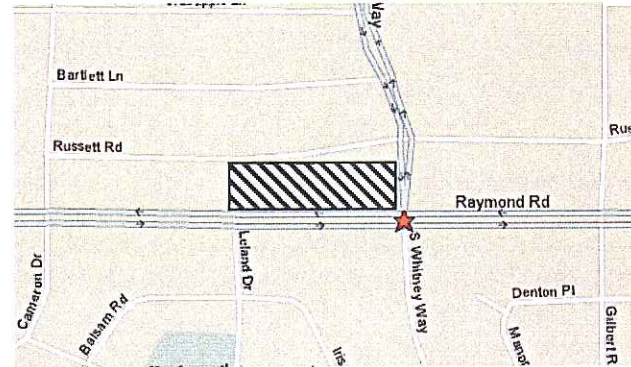
- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Meadowood Shopping Center

5702 Raymond Road
Madison, Wisconsin

Locator Map



SOUTH ELEVATION LOOKING WEST



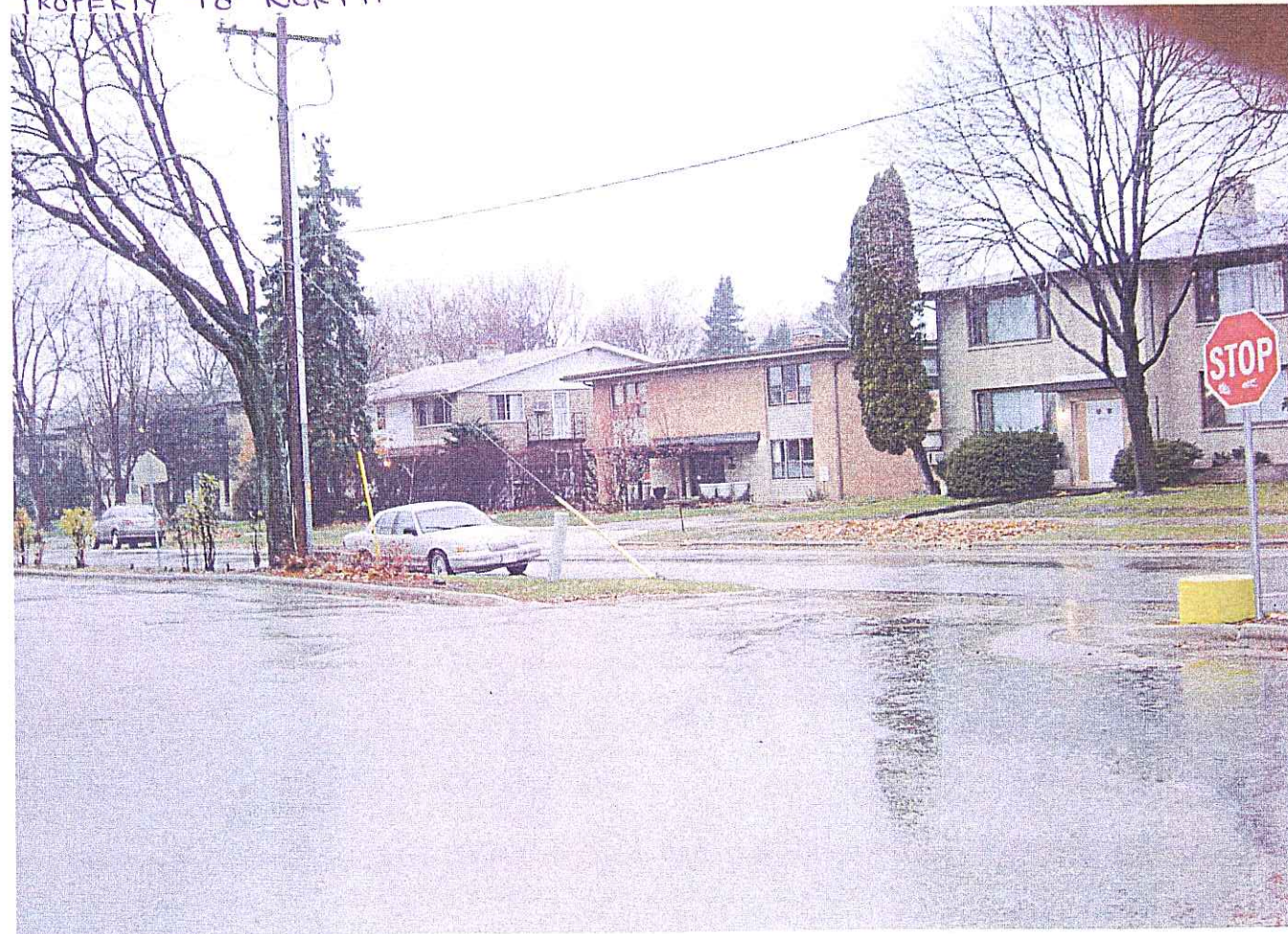
SOUTH ELEVATION LOOKING EAST



SOUTH ELEVATION



PROPERTY TO NORTH



EAST END OF LOT FACING NORTH



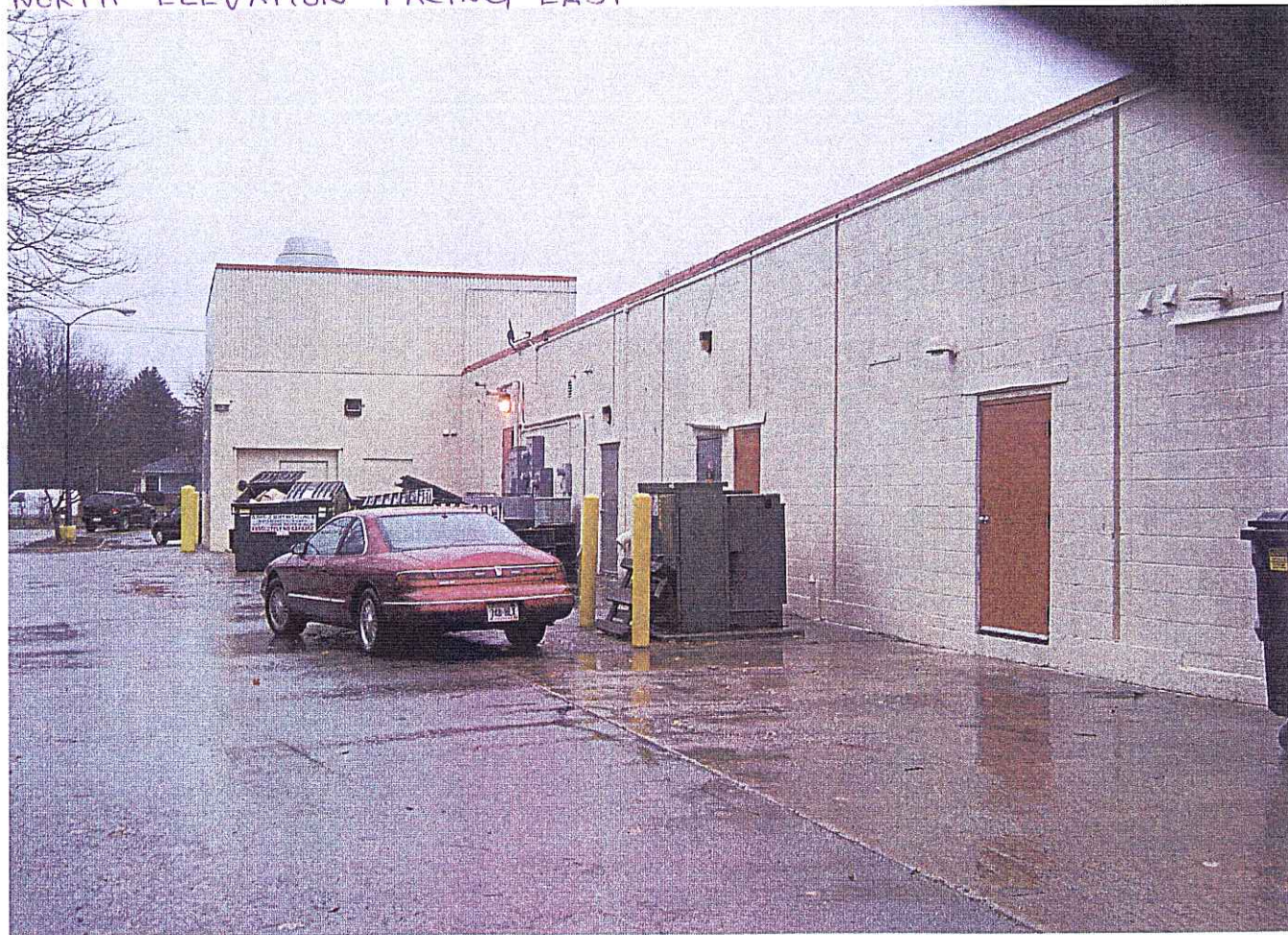
EAST END OF LOT FACING SOUTH



SOUTH ELEVATION OF TENANT FURTHEST WEST



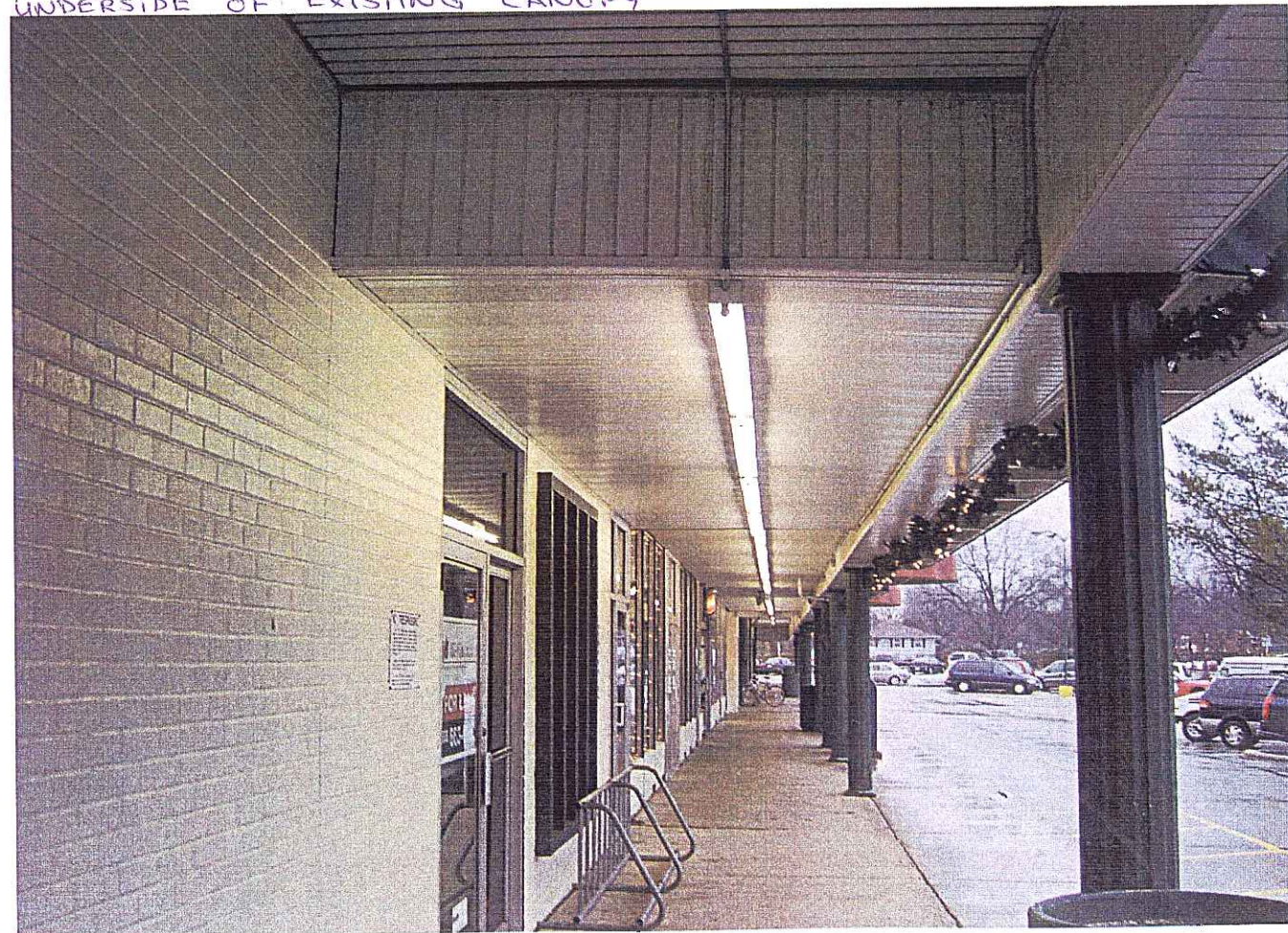
NORTH ELEVATION FACING EAST



NORTH ELEVATION LOOKING WEST



UNDERSIDE OF EXISTING CANOPY



Walgreens

PLAN COMMISSION SUBMITTAL MEADOWOOD PLAZA RAYMOND ROAD & WHITNEY WAY MADISON, WISCONSIN

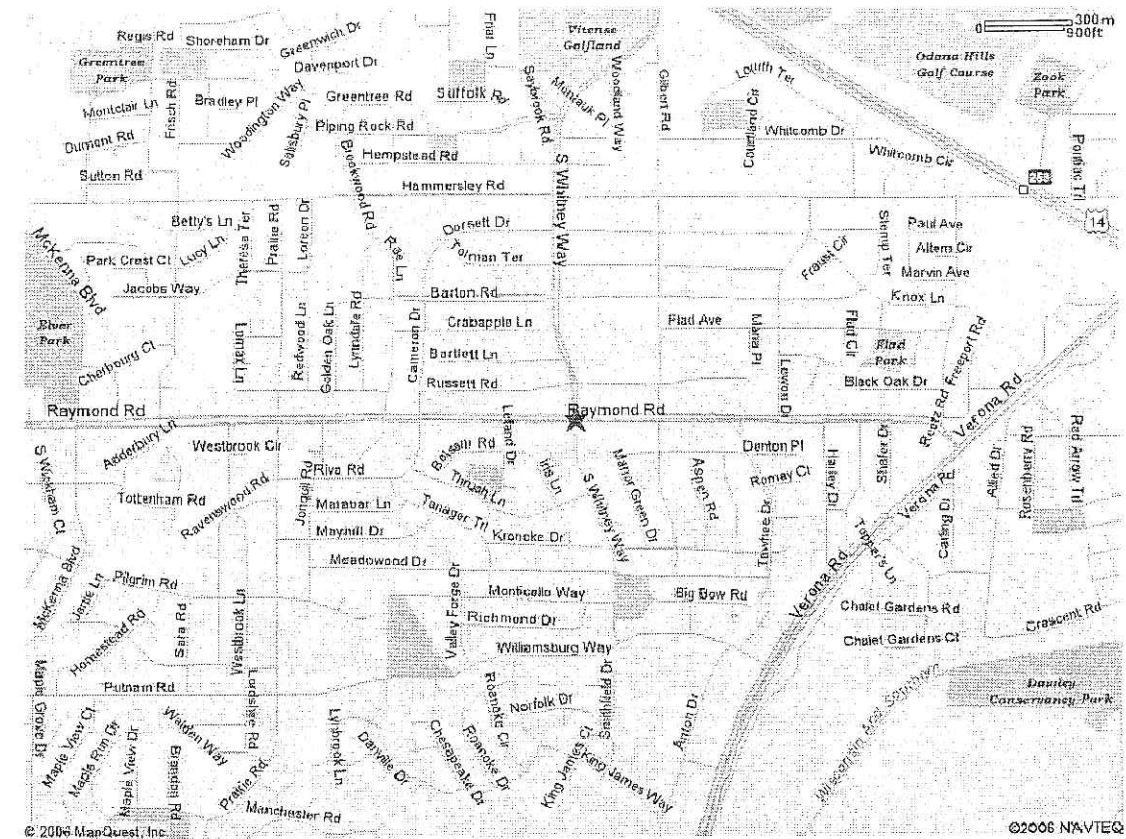
SUBMITTAL DATES:

SUBMITTAL 1 03-22-06

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COVER SHEET

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- C0.1 ADA ACCESSIBLE PARKING DATA
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- C3.2 DETAIL GRADING - EAST
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- C4.1 DETAILS
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- L1 LANDSCAPE PLAN
- A2.1 EXTERIOR ELEVATIONS
- A5.1 READER BOARD PYLON SIGN DETAILS (WALGREENS)
- A5.2 EXTERIOR SIGN DATA (WALGREENS)



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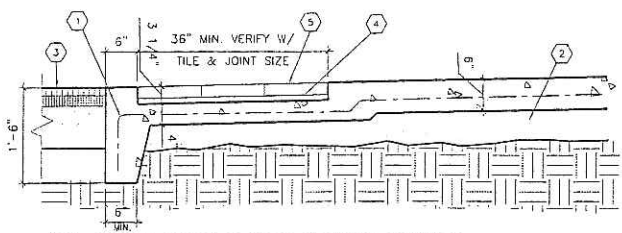
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CONTACT: STEVEN R. GARTMAN

WALGREENS
MEADOWOOD PLAZA
RAYMOND ROAD & WHITNEY WAY
MADISON, WI
PROJECT NO. 03P8-00

DRAWING/SPECIFICATIONS BY:
 WALGREENS' CONSULTANT
 LANDLORD'S CONSULTANT

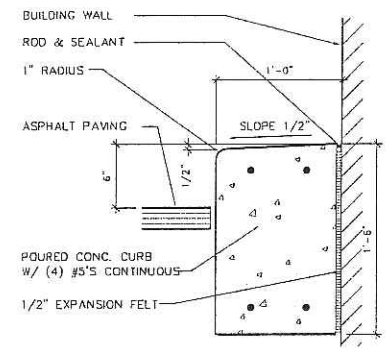
ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURKEY CONSTRUCTION)

STORE		BUILDING	
NEW	<input checked="" type="checkbox"/>	NEW	<input checked="" type="checkbox"/>
REMODELING	<input type="checkbox"/>	EXISTING	<input type="checkbox"/>
RELOCATION	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>		

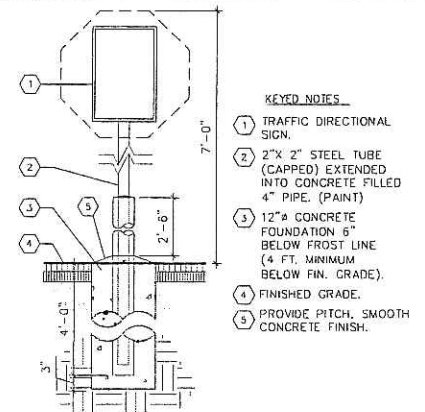


16 CURB RAMPS AND OTHER RAMPS
 3/4" = 1'-0"

- KEYED NOTES
- 6" x 6" #10 W.W.F.
 - 4" COMPACTED AGGREGATE BASE
 - PAVEMENT
 - GROUT BED
 - WAUSAU ADA (U4008 COLOR) PAVERS GROUTED AND SEALED

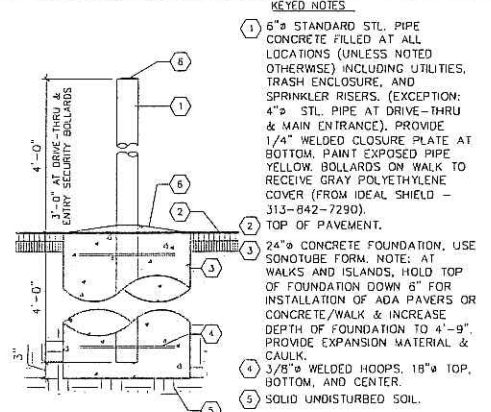


15 CURB @ BUILDING
 1 1/2" = 1'-0"



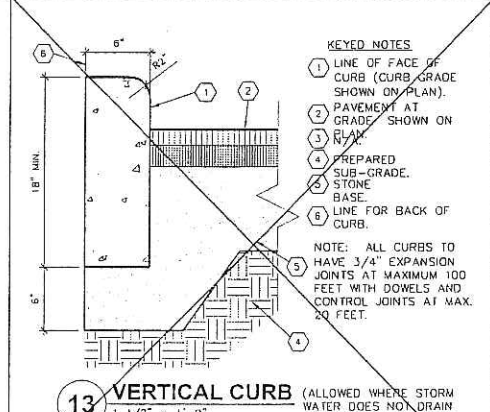
11 TRAFFIC DIRECTIONAL SIGN
 3/4" = 1'-0" (FREESTANDING)

- KEYED NOTES
- TRAFFIC DIRECTIONAL SIGN.
 - 2" x 2" STEEL TUBE (CAPPED) EXTENDED INTO CONCRETE FILLED 4" PIPE. (PAINT)
 - 12" CONCRETE FOUNDATION 6" BELOW FROST LINE (4 FT. MINIMUM BELOW FIN. GRADE).
 - FINISHED GRADE.
 - PROVIDE PITCH, SMOOTH CONCRETE FINISH.



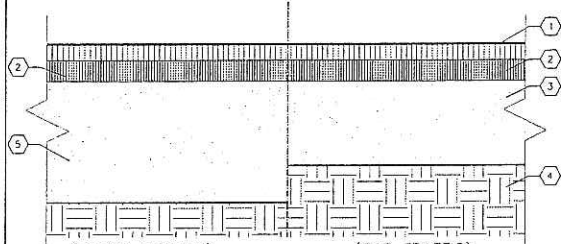
12 TYPICAL PIPE BOLLARD
 3/4" = 1'-0"

- KEYED NOTES
- 6" STANDARD STL. PIPE CONCRETE FILLED AT ALL LOCATIONS (UNLESS NOTED OTHERWISE) INCLUDING UTILITIES, TRASH ENCLOSURE, AND SPRINKLER RISERS. (EXCEPTION: 4" STL. PIPE AT DRIVE-THRU & MAIN ENTRANCE). PROVIDE 1/4" WELDED CLOSURE PLATE AT BOTTOM. PAINT EXPOSED PIPE YELLOW. BOLLARDS ON WALK TO RECEIVE GRAY POLYETHYLENE COVER (FROM IDEAL SHIELD - 313-842-7290).
 - TOP OF PAVEMENT.
 - 24" CONCRETE FOUNDATION. USE SONDUTUBE FORM. NOTE: AT WALKS AND ISLANDS, HOLD TOP OF FOUNDATION DOWN 6" FOR INSTALLATION OF ADA PAVERS OR CONCRETE/WALK & INCREASE DEPTH OF FOUNDATION TO 4'-9". PROVIDE EXPANSION MATERIAL & CAULK.
 - 3/8" WELDED HOOPS. 18" TOP, BOTTOM, AND CENTER.
 - SOLID UNDISTURBED SOIL.
 - PROVIDE PITCH, SMOOTH CONCRETE FINISH.



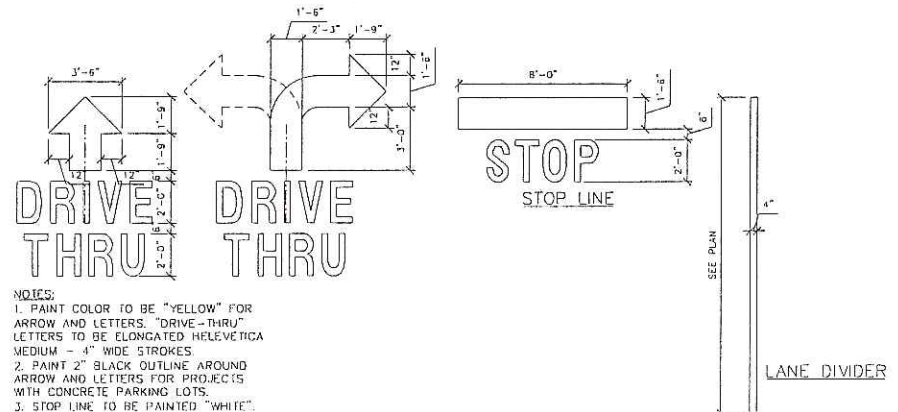
13 VERTICAL CURB
 1 1/2" = 1'-0"
 NOTE: ONLY USED WHERE INDICATED, SEE DRAWINGS FOR LOCATIONS

- KEYED NOTES
- LINE OF FACE OF CURB (CURB GRADE SHOWN ON PLAN).
 - PAVEMENT AT GRAD/ SHOWN ON PLAN.
 - PREPARED SUB-GRADE.
 - STONE BASE.
 - LINE FOR BACK OF CURB.
- NOTE: ALL CURBS TO HAVE 3/4" EXPANSION JOINTS AT MAXIMUM 100 FEET WITH DOWELS AND CONTROL JOINTS AT MAX. 20 FEET.



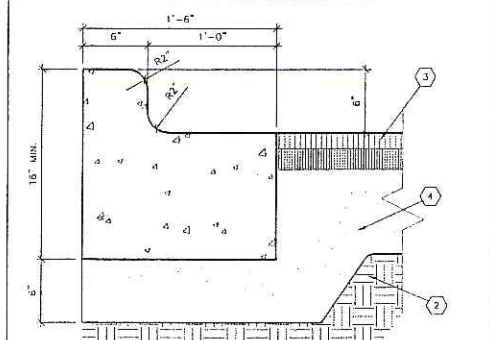
6 PAVEMENT SECTION DETAIL
 1 1/2" = 1'-0"

- KEYED NOTES
- 1 1/2" WEARING SURFACE OVER TACK COAT.
 - 2" BINDER COURSE OVER PRIME COAT.
 - 6" (MIN.) CLEAN, GRADED AND COMPACTED STONE (NO SLAG).
 - WELL-DRAINED SUB-GRADE (SUB-GRADE TO MODIFIED 95 PROCTOR MIN. COMPACTION).
 - 8" CLEAN, GRADED & COMPACTED STONE BASE (NO SLAG).
- NOTE: THIS PAVEMENT SECTION DETAIL REFLECTS MINIMUM REQUIREMENTS. ENGINEER TO DETERMINE DESIGN BASED ON GEO-TECHNICAL DATA OF SPECIFIC PROJECT AND WALGREENS DAILY TRAFFIC DESIGN REQUIREMENT.



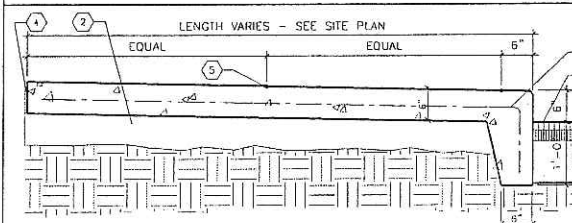
10 PAVEMENT PAINTING
 1/4" = 1'-0"

- NOTES:
- PAINT COLOR TO BE "YELLOW" FOR ARROW AND LETTERS. "DRIVE-THRU" LETTERS TO BE ELONGATED HELVEGICA MEDIUM - 4" WIDE STROKES
 - PAINT 2" BLACK OUTLINE AROUND ARROW AND LETTERS FOR PROJECTS WITH CONCRETE PARKING LOTS.
 - STOP LINE TO BE PAINTED "WHITE".



8 TYPICAL CURB & GUTTER
 1 1/2" = 1'-0"

- KEYED NOTES
- N/A
 - PREPARED SUB-GRADE.
 - PAVEMENT.
 - STONE BASE.
- NOTE: ALL CURBS TO HAVE 1/4" EXPANSION JOINTS AT MAXIMUM 100 FEET WITH DOWELS AND CONTROL JOINTS AT MAXIMUM 20 FEET.



7 TYPICAL PERIMETER SIDEWALK
 3/4" = 1'-0"

- KEYED NOTES
- N/A
 - 4" COMPACTED AGGREGATE BASE
 - PAVEMENT.
 - COMPRESSIBLE FILLER (3/4" MAXIMUM), CUT BACK AND PROMOTE SEALANT, TYPICAL AT ALL JOINTS WITH FILLER.
 - 1/4" TOOLED JOINT
 - 6" x 6" #10 W.W.F.

9 NOT USED

1	03-22-06	MADISON PLAN COMMISSION
NO.	DATE	DESCRIPTION
DOCUMENT ISSUES/BENCHMARKS		
STORE # 10573		
PROJECT NAME		
WALGREENS STORE		
RAYMOND ROAD & WHITNEY WAY		
MADISON, WI		
DRAWING TITLE		
CIVIL ENGINEERING REQUIREMENTS		
CADD PLOT:	SCALE: 1"=20'-0"	DRAWING NO.
VOID PLOT:	DRAWN BY: MPJ	C0.0
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 0578	OF DWGS.

EXTERIOR SITE AND PARKING AREA

AN ACCESSIBLE ROUTE OR PATH FROM THE PERIMETER OF THE SITE SERVING SIDEWALKS, PUBLIC STREETS OR PUBLIC TRANSPORTATION MUST BE PROVIDED TO WALGREENS ACCESSIBLE STORE ENTRANCE.

PREFERRED LOCATION FOR ACCESSIBLE ROUTE SHALL COINCIDE WITH PEDESTRIAN ACCESS TO CORNER. OTHERWISE, LOCAL ARCHITECT TO DETERMINE BEST LOCATION TO CONFORM TO SLOPE ALLOWANCES DEFINED BY A.D.A. VERIFY COMPLIANCE WITH MORE STRINGENT LOCAL CODES.

AN ACCESSIBLE ROUTE WILL BE A MINIMUM 36" WIDE, 60" IS WALGREENS STANDARD.

AN ACCESSIBLE ROUTE MAY CROSS OPEN PAVEMENT OR FOLLOW A RAMP AS REQUIRED BY SITE-SPECIFIC CONDITIONS. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE ACROSS OPEN PAVEMENT MUST NOT EXCEED 1:20, WITH A CROSS SLOPE NOT EXCEEDING 1:50. SLOPES EXCEEDING 1:20, BUT LESS THAN 1:12, CONSTITUTE RAMPS AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS, RISE AND RUN LIMITS) AS NOTED BELOW. NO RAMP SHALL HAVE A RUNNING SLOPE EXCEEDING 1:12, NOR HAVE A CROSS SLOPE EXCEEDING 1:50.

ACCESSIBLE SPACE REQUIREMENTS

TOTAL OFF STREET PARKING SPACES PROVIDED	NUMBER OF ACCESSIBLE PARKING SPACES REQUIRED
1-25	1
26-50	2
51-75	3
76-100	4
101-150	5
151-200	6
201-300	8
301-400	10
401-500	12
501-1000	2% OF TOTAL
OVER 1000	2% PLUS 1 FOR EACH 100 OVER 1000

THE ADA REQUIRES ONE VAN ACCESSIBLE PARKING SPACE WITH 96" ACCESS AISLE FOR ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NOT LESS THAN ONE.

ENTRANCE AREA DOORS

WALGREENS STANDARD ENTRANCE DOOR IS AN AUTOMATIC SLIDING DOOR SYSTEM DESIGNED TO COMPLY WITH ALL ACCESS CODES AND LAWS.

ENTRANCE DOORS AND ALL OTHER DOORS ALONG AN ACCESSIBLE ROUTE WILL HAVE A MINIMUM CLEAR OPENING OF 32".

THE EXTERIOR ENTRANCE AREA SHALL NOT HAVE IMPEDIMENTS TO ACCESSIBILITY SUCH AS CART BARRIERS OR "CART CORRALLS".

PROTECTIVE SECURITY BOLLARDS, IF USED IN THE ENTRANCE AREA, SHALL BE SPACED A MINIMUM OF 36" CLEAR BETWEEN BOLLARDS.

THRESHOLDS AT AUTOMATIC DOORS SHALL NOT EXCEED 1/4" IN HEIGHT OR 1/2" FOR OTHER TYPES OF DOORS. ALL THRESHOLDS SHALL BE BEVELED WITH A SLOPE OF NO GREATER THAN 1:2.

VESTIBULES

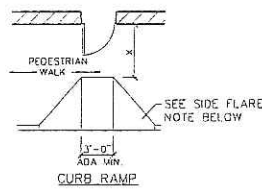
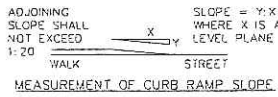
IF THE STORE HAS A VESTIBULE, THE MINIMUM SPACE BETWEEN THE OUTER DOOR AND THE INNER DOOR SHOULD BE 48" PLUS THE WIDTH OF ANY DOOR SWINGING INTO THE SPACE.

REVOLVING DOORS

IF THE STORE HAS A REVOLVING DOOR AT THE ENTRANCE, IT MUST HAVE AN ADJACENT "ACCESSIBLE" DOOR THE ADJACENT ACCESSIBLE DOOR MUST BE UNLOCKED AND USABLE WHEN THE REVOLVING DOOR IS UNLOCKED AND USABLE.

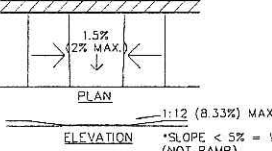
OBSTRUCTIONS

NO OBJECTS SHOULD PROTRUDE (EVEN TEMPORARILY) INTO THE MINIMUM CLEAR SPACE OF THE ACCESSIBLE ROUTES TO THE STORE ENTRANCE. THIS WOULD INCLUDE SHOPPING CARTS, SALES FIXTURES, VENDING MACHINES, DISPLAYS, OR OTHER BARRIERS.



"X" IS 60" MIN. AT AN OUT SWING DOOR WITH A SLOPE OF 1:50 (2%). MAXIMUM LEVEL SURFACE IS PREFERRED.

SIDE FLARE NOTE: (SEE REFERENCE DIAGRAM ABOVE). SIDE FLARES SHALL HAVE A MAXIMUM SLOPE OF 1:10 (10%), WHERE "X" IS LESS THAN 48". SIDE FLARE SLOPE SHALL BE 1:12 (8.33%) MAXIMUM, WHERE "X" IS LESS THAN 36". WALGREENS PREFERRED THE "IN-LINE" RAMP SHOWN BELOW.



"IN-LINE" RAMP

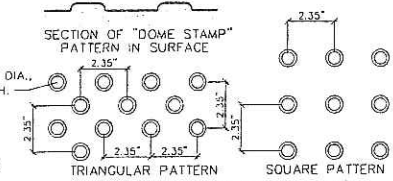
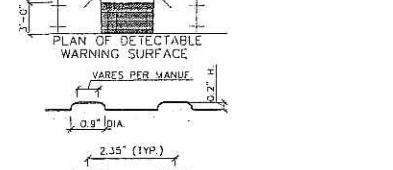
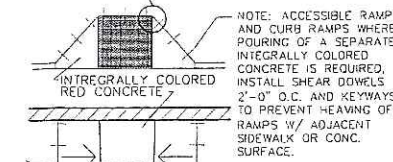
NOTES: A CURB RAMP(S) MUST BE PROVIDED ALONG AN ACCESSIBLE PATH FROM THE PARKING LOT TO WALGREENS CURBED SIDEWALK.

A CURB RAMP(S) MUST ALSO BE PROVIDED IN THE PARKING LOT AT ALL INTERMEDIATE AND PERIMETER CURBS ALONG THE ACCESSIBLE ROUTE CONNECTING TO PUBLIC SIDEWALKS.

A RAMP IS ANY SLOPE GREATER THAN 1:20 (5%) AND SHALL HAVE A MAXIMUM SLOPE OF 1:12 (8.33%). THE MAXIMUM SLOPE IS 1" OF RISE PER FOOT OF DISTANCE TRAVELED. ALL SLOPED AREAS OF THE RAMP ARE TO HAVE AN INTEGRAL RED COLOR.

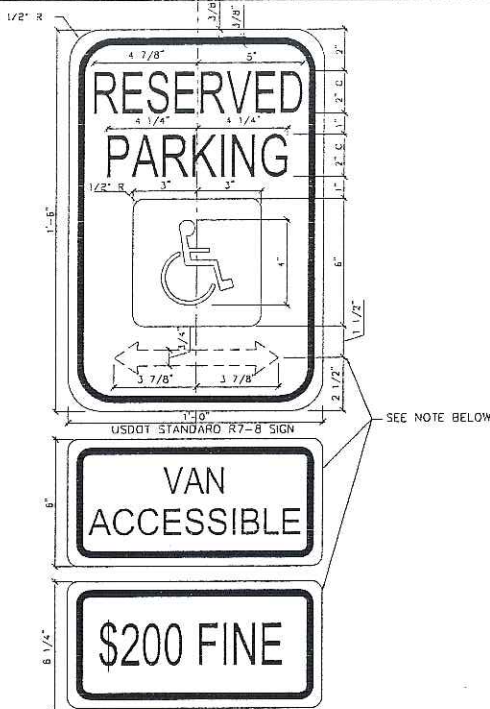
THE CLEAR WIDTH OF ANY RAMP IS A MINIMUM OF 36".

CURB RAMPS HAVE A MAXIMUM RISE OF 6" AND DO NOT REQUIRE HANDRAILS. ANY RAMP WITH GREATER THAN A 6" RISE SHALL HAVE HANDRAILS ON BOTH SIDES AND CURBED EDGE PROTECTION ON BOTH SIDES. EDGE PROTECTION CONSISTS OF CURBS, WALLS, RAILINGS, OR PROJECTING SURFACES THAT PREVENT PEOPLE FROM SLIPPING OFF THE RAMP. HANDRAIL DETAILS SHALL FOLLOW ACCESSIBLE GUIDELINES.



CURB RAMPS MUST HAVE A DETECTABLE WARNING FEATURE EXTENDING THE FULL WIDTH AND DEPTH OF THE RAMP (AND WALK "IN-LINE" RAMPS ONLY NEED DETECTABLE WARNINGS AT WALK/PARKING TRANSITION). THE DETECTABLE SURFACE MUST CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 INCHES. THE TEXTURE OF THE DETECTABLE WARNING FEATURE MUST CONTRAST WITH THE SURROUNDING SURFACES (EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT). SEE ABOVE.

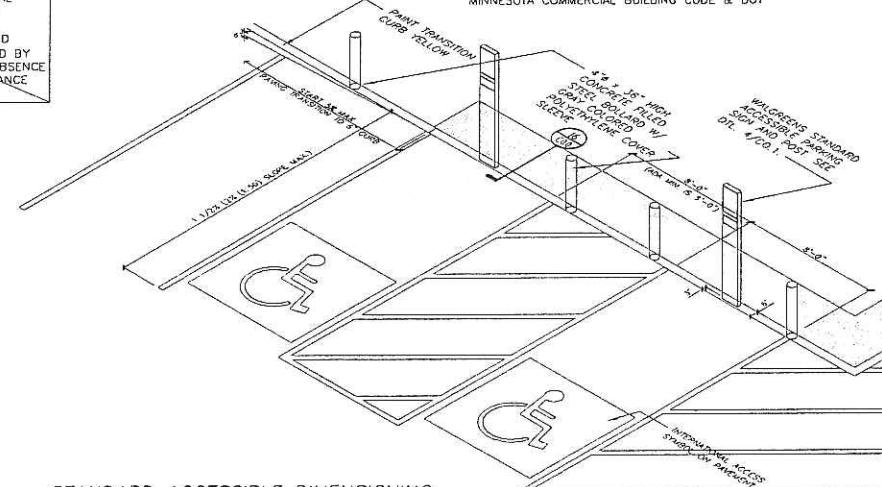
LOCAL JURISDICTION: THERE ARE LOCAL JURISDICTIONS (E.G. ILLINOIS, IAC 400.310, d. 7) THAT SPECIFICALLY REQUIRE DETECTABLE WARNINGS ON THE SIDE FLARES. THERE ARE LOCAL JURISDICTIONS THAT HAVE REDESIGNED DETECTABLE WARNINGS (E.G. EXPOSED CONTRASTING COLOR AGGREGATE, GROOVES IN A PARALLEL OR DIAMOND PATTERN ETC.). ACCESSIBILITY GUIDELINES DEFINED BY LOCAL ORDINANCE SHOULD SUPERSEDE IN THE ABSENCE OF A DEFINITION. FOLLOW ADAAG. VERIFY COMPLIANCE WITH MORE STRINGENT LOCAL CODES.



NOTE (R7-8a SIGN): THIS IS A STANDARD SIGN AND MAY BE ORDERED FROM ANY TRAFFIC SIGN SUPPLIER BY NUMBER. THE ARROW SHOULD BE OMITTED WHERE THERE IS ONLY ONE SPACE. THE ARROW MAY ALSO BE MADE TO POINT IN ONLY ONE DIRECTION. THE ARROW MAY ALSO BE REPLACED BY "TIME" SUCH AS 9 AM - 5 PM WHERE A PART-TIME RESTRICTION EXISTS. THE SIGN MUST BE SUPPLEMENTED WITH A "VAN ACCESSIBLE" SIGN AS APPLICABLE AND/OR AMOUNT OF THE FINE FOR ILLEGALLY PARKING IN THE RESERVED SPACE(S) A MUNICIPALITY MAY IMPOSE. CONFIRM WITH LOCAL REGULATIONS.

2 ACCESSIBILITY SIGNAGE

NOTE: ACCESSIBILITY SIGNAGE SHALL COMPLY WITH MINNESOTA COMMERCIAL BUILDING CODE & DOT



STANDARD ACCESSIBLE DIMENSIONING

A U.S. DEPARTMENT OF TRANSPORTATION R7-8 (RESERVED PARKING) AND SUPPLEMENTAL SIGNS AS NOTED ABOVE MUST BE MOUNTED ON A PERMANENT POST NO LOWER THAN FOUR FEET FROM THE PAVEMENT. THE POST MUST BE MOUNTED IN THE CENTER OF THE 8 FOOT WIDE ACCESSIBLE PARKING SPACE, NO MORE THAN 5 FEET FROM THE FRONT OF THE PARKING SPACE. SEE ILLUSTRATION ABOVE.

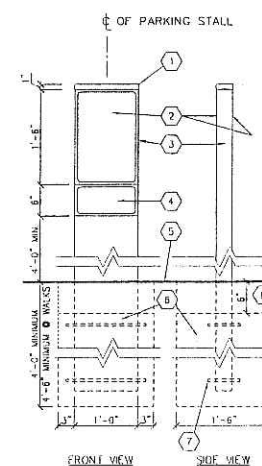
NOTES: EACH ACCESSIBLE PARKING SPACE IS TO BE A MINIMUM OF 8 FEET WIDE AND HAVE A 96" MINIMUM ACCESS AISLE FOR VANS OR 60" ACCESS AISLE FOR CARS ADJACENT TO THE SPACE. THE ACCESS AISLE MAY BE ON EITHER THE DRIVER'S SIDE OR THE PASSENGER'S SIDE OF THE ACCESSIBLE SPACE. THIS APPLIES TO 45, 60, AND 90° PARKING.

ACCESSIBLE PARKING SPACES ARE TO BE LOCATED AS CLOSE TO THE STORE ENTRANCE AS POSSIBLE AND SHALL BE IDENTIFIED WITH A SIGN.

ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH A SLOPE OF 1:122 (2% MAXIMUM) (EXAMPLE: 1.92 INCHES MAX. VERTICAL IN 8 FEET HORIZONTAL) OR 1:50 IN ALL DIRECTIONS. THIS INCLUDES BOTH "RUNNING SLOPES" AND "CROSS SLOPES".

EACH PARKING SPACE ACCESS AISLE MUST CONNECT TO A COMMON LEVEL WITH AN ACCESSIBLE ROUTE. I.E., EACH ACCESS AISLE NEXT TO A PARKING SPACE MUST HAVE A CURB RAMP AT THE WALGREENS STORE FRONT SIDEWALK OR GLEND TO A LEVEL WALKWAY LEADING TO THE WALGREENS ENTRANCE.

ACCESSIBLE PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE STORE ENTRANCE. THE ACCESS AISLE SHALL BE DESIGNATED WITH HIGH QUALITY YELLOW DIAGONAL SURFACE PAINT STRIPING. RAMPS MUST NOT EXTEND OUT FROM THE CURB INTO THE ACCESS AISLE OF ANY ACCESS PARKING SPACE. ADA ALLOWS TWO PARKING SPACES TO SHARE AN ACCESS AISLE.



4 ACCESSIBLE PARKING SIGN AND POST (FREE-STANDING)

3/4" = 1'-0"

- KEYED NOTES**
- 1 PRE-FABRICATED WELDED CAP W/ STAINLESS STEEL SCREWS.
 - 2 STANDARD USDOT R7-8 SIGN (BOTH SIDES).
 - 3 2"x12"x3/16" STEEL TUBE, PAINT ENAMEL WHITE (FILL WITH CONCRETE).
 - 4 SUPPLEMENTAL SIGNS, "VAN ACCESSIBLE" AND/OR \$-FINE AS APPLICABLE. (CHECK WITH LOCAL MUNICIPALITY FOR SIGNAGE REQUIREMENTS).
 - 5 FINISHED GRADE.
 - 6 18"Ø CONCRETE FOUNDATION BELOW FROST LINE (4'-0" MINIMUM)
 - 7 3/8"Ø WELDED HOOPS OR SIMILAR Ø TOP, BOTTOM & CENTER
 - 8 HOLD CONCRETE FOUNDATION DOWN 8" AT SIDEWALKS ONLY. POUR SIDEWALKS OR INSTALL ADA PAVERS OVER TOP. PROVIDE EXPANSION MATERIAL AROUND TUBE & CAULK

3 ACCESSIBLE PARKING - SIZE AND MARKINGS

THE NALBION GROUP ARCHITECTS
 338 North Milwaukee St.
 Suite 503
 Milwaukee, WI 53202
 414.223.3330
 414.223.3340 fax
 www.nalbionarch.com

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS' CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

NO.	DATE	DESCRIPTION
1	03-22-06	MADISON PLAN COMMISSION
DOCUMENT ISSUES/BENCHMARKS		
STORE # 10573		
PROJECT NAME		
WALGREENS STORE		
RAYMOND ROAD & WHITNEY WAY		
MADISON, WI		
DRAWING TITLE		
A.D.A. ACCESSIBLE PARKING DATA		
CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	DRAWN BY: MPJ	C0.1
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 0578-00	OF DWGS.

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 DRAWINGS/SPECIFICATIONS BY:
 WALGREEN'S CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREEN'S CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE		BUILDING	
NEW	<input checked="" type="checkbox"/>	NEW	<input checked="" type="checkbox"/>
REMODELING	<input type="checkbox"/>	EXISTING	<input type="checkbox"/>
RELOCATION	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>		

LEGEND

- PROPERTY CORNER FOUND, 1/4" REBAR
- PROPERTY CORNER FOUND, CHISELED CROSS
- CONTROL POINT
- POST
- STREET SIGN
- WATER OR GAS VALVE
- FIRE HYDRANT
- UTILITY MANHOLE
- STORM SEWER INLET
- UTILITY POLE WITH CUT WIRE
- UTILITY PEDESTAL
- BUILDINGS
- PROPERTY LINE
- PLATTED LINE
- EASEMENT LINE
- SECTION LINE
- RIGHT-OF-WAY LINE
- SANITARY SEWER
- WATER LINE
- STORM SEWER
- UNDERGROUND ELECTRICAL POWER
- OVERHEAD ELECTRICAL POWER
- UNDERGROUND FIBER OPTIC
- UNDERGROUND TELEPHONE
- UNDERGROUND CABLE
- GAS MAIN
- FENCE
- CONCRETE CURB & GUTTER
- PAVEMENT EDGE
- INDEX CONTOUR
- INTERMEDIATE CONTOUR

NOTES

1. BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE SOUTH LINE OF LOTS 2 AND 3 OF T19N R18E S31E RECORDED AS N 89°55'37" E.
2. TOPOGRAPHIC AND UTILITY SURVEY PERFORMED BY JENKINS SURVEY & DESIGN, INC. THE WEEKS OF SEPTEMBER 28, 2004 AND FEBRUARY 28, 2006.
3. ELEVATIONS FOR THIS SURVEY AND MAP ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83). SITT BENCHMARK IS A BRASS CAP IN CONCRETE MONUMENT MARKING THE SOUTHWEST CORNER OF SECTION 31, T7N, R9E, ELEVATION=1026.86.
4. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFACE FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS, DIGGERS TICKET NO. 20050901834.
5. LOCATION OF SANITARY SEWER, STORM SEWER AND WATER MAIN IS BASED ON CITY OF MADISON RECORDS AND DIGGERS HOTLINE FIELD MARKINGS.
6. LOCATION OF ELECTRIC AND GAS FACILITIES IS BASED ON MADISON GAS & ELECTRIC RECORDS AND SURFACE FEATURES ONLY. DIGGERS HOTLINE FIELD MARKINGS WERE INSUFFICIENT AT THE TIME OF FIELD SURVEY.
7. LOCATION OF TELECOMMUNICATION FACILITIES IS BASED ON DIGGERS HOTLINE FIELD MARKINGS ONLY.
8. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE AT 1.800.242.8511.
9. THIS SITE LIES IN ZONE-C (AREAS OF MINIMAL FLOODING) AS SHOWN ON FIRM COMMUNITY PANEL NUMBER 58025C0411F, EFFECTIVE DATE: JUNE 17, 2003.
10. THIS PARCEL IS ZONED C1 AND C2 (COMMERCIAL) PER THE CITY OF MADISON, NO FRONT, SIDE OR REAR SETBACKS.
11. SPOT ELEVATIONS ALONG CURB ARE REFERENCE TO TOP OF CURB.

LEGAL DESCRIPTION (FURNISHED)

LOT ONE (1), CERTIFIED SURVEY MAP NO. 7987 RECORDED IN VOLUME 42 OF CERTIFIED SURVEY MAPS, PAGES 221-224, AS DOCUMENT NO. 2712521, LOCATED IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

PARCEL A

LOTS TWO (2) AND THREE (3) OF CERTIFIED SURVEY MAP 7987 RECORDED IN VOLUME 42 OF CERTIFIED SURVEY MAPS, PAGES 221-224, AS DOCUMENT NO. 2712521, LOCATED IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, DAVE W. JENKINS, REGISTERED LAND SURVEYOR, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

DAVE W. JENKINS, S-2555
 REGISTERED LAND SURVEYOR

NOTES CORRESPONDING TO SCHEDULE B - SECTION 2 EXCEPTIONS (LOTS 2 AND 3)

1. SANITARY SEWER EASEMENT TO THE CITY OF MADISON RECORDED IN VOL. 404 OF REC'D, PAGE 40, AS #1093114; MODIFIED BY AFFIDAVIT RECORDED IN VOL. 7581 OF RECORDS, PAGE 50, AS #1918878. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
2. PERMANENT STORM SEWER EASEMENT TO THE CITY OF MADISON RECORDED IN VOL. 604 OF REC'D, PAGE 42, AS #1093115. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
3. PARTY WALL AGREEMENT RECORDED IN VOL. 423 OF REC'D, PAGE 498, AS #1128233 AND AS SHOWN ON CERTIFIED SURVEY MAP NO. 7987. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
4. RESTRICTIVE COVENANTS RECORDED IN VOL. 17654 OF RECORDS, PAGE 18 AS # 2318721. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
5. RIGHT-OF-WAY GRANT UNDERGROUND ELECTRIC TO MADISON GAS AND ELECTRIC COMPANY RECORDED IN VOL. 30037 OF RECORDS, PAGE 73, AS #2681241, AND AS SHOWN ON THE CERTIFIED SURVEY MAP. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
6. DRAINAGE EASEMENT AGREEMENT RECORDED IN VOL. 31116 OR RECORDS, PAGE 70, AS #271252. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
7. RECIPROCAL EASEMENT AGREEMENT RECORDED IN VOL. 31116 OR RECORDS, PAGE 70, AS #271254. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
8. SANITARY SEWER LATERAL EASEMENT RECORDED AS #3288390. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
9. UTILITY EASEMENT OVER THE NORTHERLY 10 FEET OF THE INSURED PREMISES - AS SHOWN ON THE CERTIFIED SURVEY MAP. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
10. INGRESS-EGRESS EXISTS BETWEEN LOTS 1, 2 AND 3. SEE RECIPROCAL EASEMENT AGREEMENT - AS SHOWN ON THE CERTIFIED SURVEY MAP. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY BUT IS NOT GRAPHIC IN NATURE AND IS NOT PLOTTED HEREON.
11. PUBLIC OR PRIVATE RIGHTS IN THAT PART OF THE INSURED PREMISES WHICH MAY BE Laid OUT OR USED FOR HIGHWAY PURPOSES OR RIGHTS OF WAY. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY BUT IS NOT GRAPHIC IN NATURE AND IS NOT PLOTTED HEREON.

NOTES CORRESPONDING TO SCHEDULE B - SECTION 2 EXCEPTIONS (LOT 1)

1. NOTE AS SHOWN ON CERTIFIED SURVEY MAP NO. 7987, INGRESS-EGRESS EXISTS BETWEEN LOTS 1, 2 AND 3. SEE RECIPROCAL EASEMENT AGREEMENT THIS ITEM DOES AFFECT THE SUBJECT PROPERTY BUT IS NOT GRAPHIC IN NATURE AND IS NOT PLOTTED HEREON.
2. APPARENT ENCROACHMENT OF GAS PUMP ISLAND INTO STORM SEWER EASEMENT AS DEPICTED ON RECORDED CERTIFIED SURVEY MAP NO. 7987, GAS PUMP ISLAND NO LONGER EXISTS.
3. PERMANENT STORM SEWER EASEMENT TO THE CITY OF MADISON RECORDED IN VOL. 404 OF REC'D, PAGE 42, AS #1093115. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
4. DRAINAGE EASEMENT AGREEMENT RECORDED IN VOL. 31116 OR RECORDS, PAGE 70, AS #271252. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY BUT IS A BLANKET EASEMENT AND IS NOT PLOTTED HEREON.
5. RECIPROCAL EASEMENT AGREEMENT RECORDED IN VOL. 31116 OF RECORDS, PAGE 70, AS #271254. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY BUT IS A BLANKET EASEMENT AND IS NOT PLOTTED HEREON.
6. SANITARY SEWER LATERAL EASEMENT RECORDED AS #3288390. THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.

ENCROACHMENTS

1. APPARENT WATER MAIN EASEMENT FROM CITY OF MADISON WATER DEPT. GIS MAP.

SANITARY SEWER MANHOLES

STRUCT. ID	R/W	ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1		1046.33	E	1036.05	8"	CLAY
SAN-2		1043.17	W	1037.79	8"	CLAY
SAN-3		1043.00	N	1035.42	6"	CLAY
SAN-4		1041.59	E	1033.47	6"	CLAY
SAN-5		1044.84	N	1033.89	8"	CLAY
SAN-6		1043.33	NW	1035.37	6"	CLAY

STORM SEWER INLETS

INLET ID	R/W	ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
INL-1		1041.22	S	1037.04	18"	RCP
INL-2		1044.01	SE	1040.79	6"	PVC
INL-3		1041.29	S	1038.92	18"	RCP

CONTROL POINTS

CONTROL POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP-1	9399.24	10000.00	1040.34	RBR
CP-2	10231.17	10000.56	1042.13	RBR
CP-101	10104.22	10244.23	1047.55	600 NAL
CP-102	10051.78	10780.98	1047.72	PK NAL
CP-103	10020.91	10859.29	1049.60	500 NAL
CP-104	10326.91	10714.23	1048.03	500 NAL
CP-1882	10238.92	10166.18	1043.78	600 NAL

BENCHMARKS

BENCH MARK	ELEVATION	DESCRIPTION
BM-1	1026.88	SW CORNER SECTION 31 T7N R9E BRASS CAP IN WATER BOX
BM-2	1046.48	SOUTH 1/4 CORNER SECTION 31 T7N R7E BRASS CAP IN MONUMENT BOX

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BEARING
1-2	241.20'	1529.50'	10°23'59"	120.94'	240.88'	N 84°58'29.5" E
LOT 3	60.10'	1328.50'	0°23'59"	30.18'	60.30'	N 88°52'29" E
LOT 2	180.90'	1328.50'	0°24'29"	89.59'	180.90'	N 87°02'29" W
3-4	26.09'	15.00'	99°17'53"	17.76'	22.92'	S 50°24'33.5" E
5-6	23.24'	15.00'	90°40'00"	17.76'	21.34'	S 44°44'23" W

JSD
 JENKINS SURVEY & DESIGN, INC.
 151 Horizon Drive, Suite 101, Verona, WI 53593, (608) 848-5060
 222 W22831 Nancy Court, Suite J, Waukesha, WI 53188, (262) 513-0666

Although every effort has been made in preparing these plans and checking them for accuracy, the contractor and subcontractors must check all details and dimensions of their work and be responsible for the same.

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ITEM	DATE
Drawn: WET	01-02-06
Checked: R/W	01-02-06
Approved: DW	03-22-06
City of Madison Submittal	03-22-06

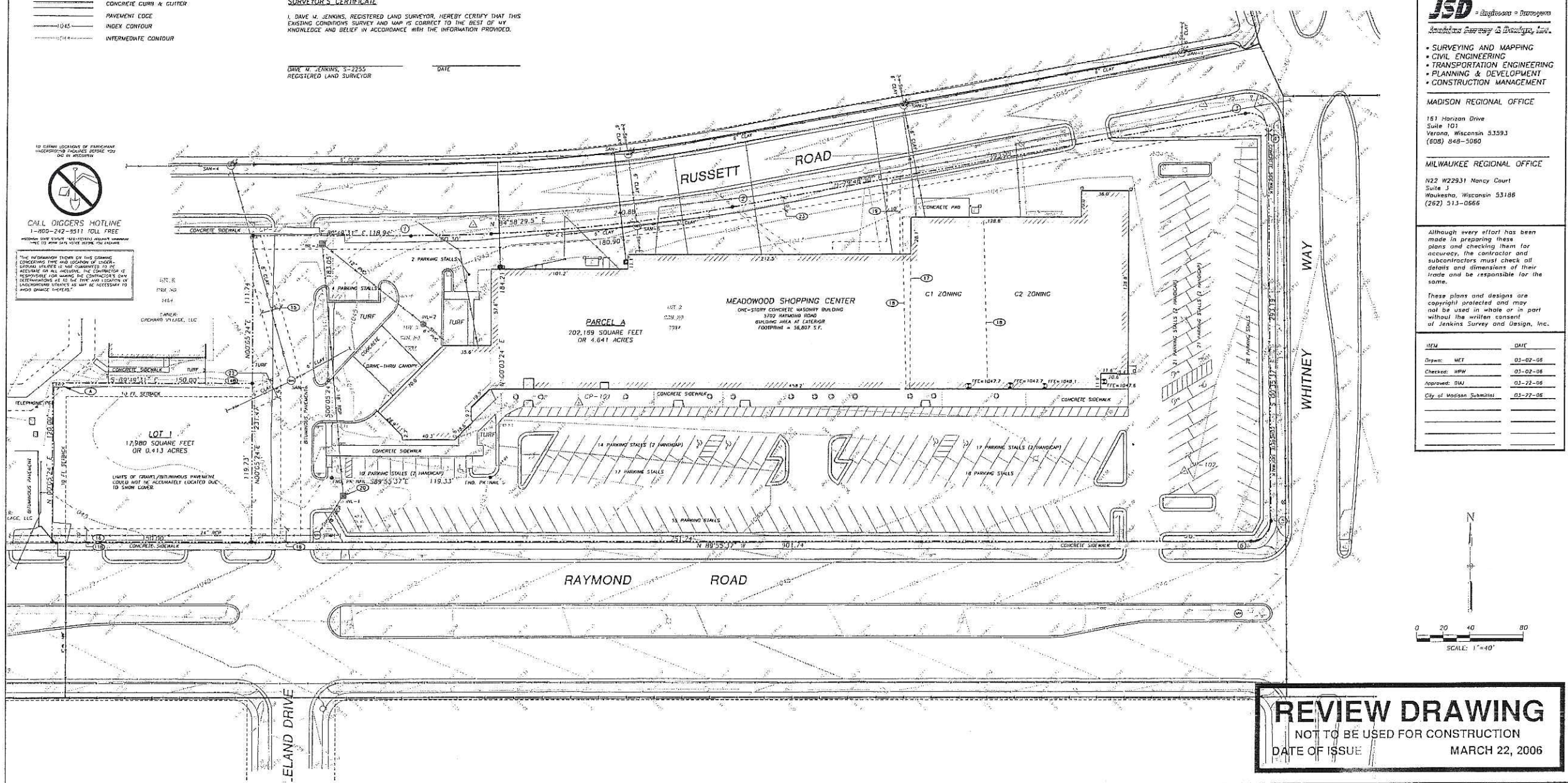
REVIEW DRAWING
 NOT TO BE USED FOR CONSTRUCTION
 DATE OF ISSUE: MARCH 22, 2006

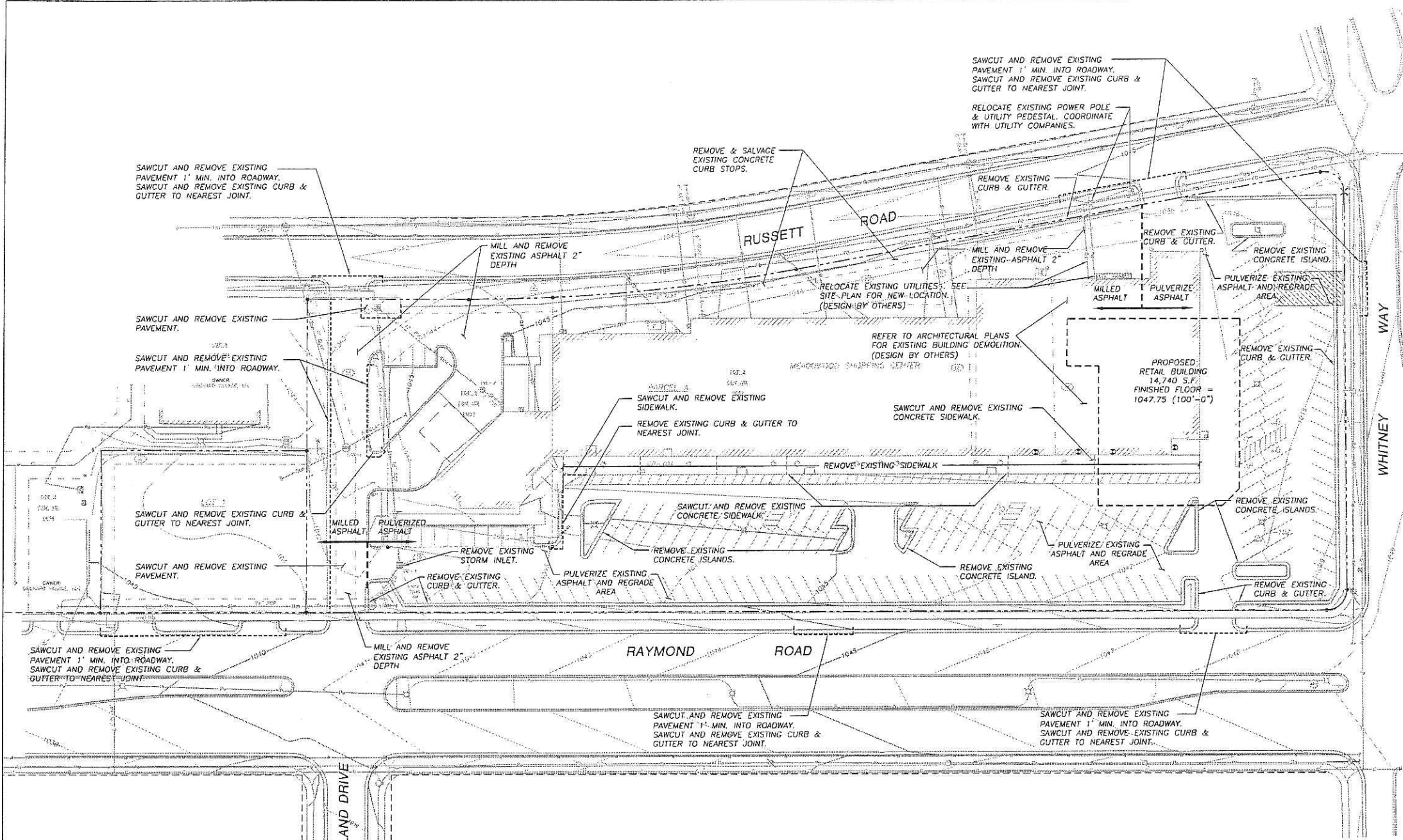
NO.	DATE	DESCRIPTION
1	03-22-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS

STORE # 10573
 PROJECT NAME
WALGREENS STORE
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI
 DRAWING TITLE

EXISTING CONDITIONS SURVEY		
CADD PLOT:	SCALE:	DRAWING NO.
VOID PLOT:	DRAWN BY:	C-10
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO.:	0578-00
		OF DWGS.





JSD *Engineering & Construction*
Surveying, Mapping & Design, Inc.

• SURVEYING AND MAPPING
 • CIVIL ENGINEERING
 • TRANSPORTATION ENGINEERING
 • PLANNING & DEVELOPMENT
 • CONSTRUCTION MANAGEMENT

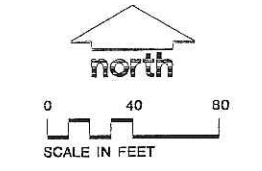
MADISON REGIONAL OFFICE
 161 Horizon Drive
 Suite 101
 Verona, Wisconsin 53593
 (608) 848-3060

MILWAUKEE REGIONAL OFFICE
 N22 W22931 Nancy Court
 Suite 3
 Waukesha, Wisconsin 53186
 (262) 313-0666

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REV	DATE
Drawn: MET	03-02-06
Checked: MPW	03-02-06
Approved: DJJ	03-22-06
City of Madison Submittal	03-22-06



LEGEND (PROPOSED)

---	PROPERTY LINE
---	BUILDING LINE
-1046-	1 FOOT CONTOUR
-1045-	5 FOOT CONTOUR
---	SAWCUT

- GENERAL NOTES**
- REFER TO SHEET C-1.0 FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION.
 - ALL WORK IN THE ROW AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE STORM WATER MANAGEMENT TECHNICAL STANDARDS (REFERRED TO AS BMP'S). IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
 - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO BMP'S.
 - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
 - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
 - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
 - INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MADISON.
 - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
 - EROSION CONTROL FOR UTILITY CONSTRUCTION: (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.)
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
 - APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMLIARIC.
 - ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS.
 - ALL SLOPES EXCEEDING 20% SHALL BE STAKED WITH EROSION CONTROL FABRIC.

- SITE DEMOLITION NOTES**
- ALL VEGETATION TO REMAIN SHALL BE PROPERLY PROTECTED. PROTECTION TO REMAIN IN PLACE UNTIL COMPLETION OF PROJECT.
 - REFER TO SHEETS A0.1 AND C-3.0 FOR SITE IMPROVEMENT LOCATIONS AND DIMENSIONS.
 - ALL EXCESS MATERIAL SHALL BE DISPOSED OF OFFSITE.
 - EROSION CONTROL MEASURES MAY BE TEMPORARILY MOVED FOR SITE DEVELOPMENT AND REPLACED AT THE END OF THE WORK DAY. (RAIN DAY EXCLUDED)
 - ALL EXISTING LIGHT POLES LOCATED IN THE PARKING LOT SHALL BE REMOVED.

- GRADING AND SEEDING NOTES**
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH CITY OF MADISON REQUIREMENTS.
 - CONTRACTOR TO USE A SEEDING RATE OF 1.5 LBS. PER 1000 S.F. FOR TURF AREAS.
 - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED.
 - CONTRACTOR SHALL SCARIFY ALL COMPACTED PERVIOUS AREAS PRIOR TO SEEDING AND MULCHING.
 - CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.

THE ARCHITECTS
 338 North Milwaukee St.
 Suite 503
 Milwaukee, WI 53202
 414.223.3330
 414.223.3340 fax
 www.albionarch.com

THE ARCHITECTS GROUP

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

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REV	DATE
Drawn: MET	03-02-06
Checked: MPW	03-02-06
Approved: DJJ	03-22-06
City of Madison Submittal	03-22-06

NO.	DATE	DESCRIPTION
1	03-22-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS

STORE # 10573

PROJECT NAME
WALGREENS STORE
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI

DRAWING TITLE
SITE DEMOLITION PLAN

CADD PLOT:	SCALE:	DRAWING NO.
VOID PLOT:	DRAWN BY:	C-2.0
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO.	0578-00
	OF DWGS	

REVIEW DRAWING
 NOT TO BE USED FOR CONSTRUCTION
 DATE OF ISSUE MARCH 22, 2006

Although every effort has been made in preparing these plans and checking them for accuracy, the contractor and subcontractors must check all details and dimensions of their trade and be responsible for the same.

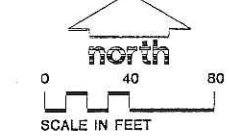
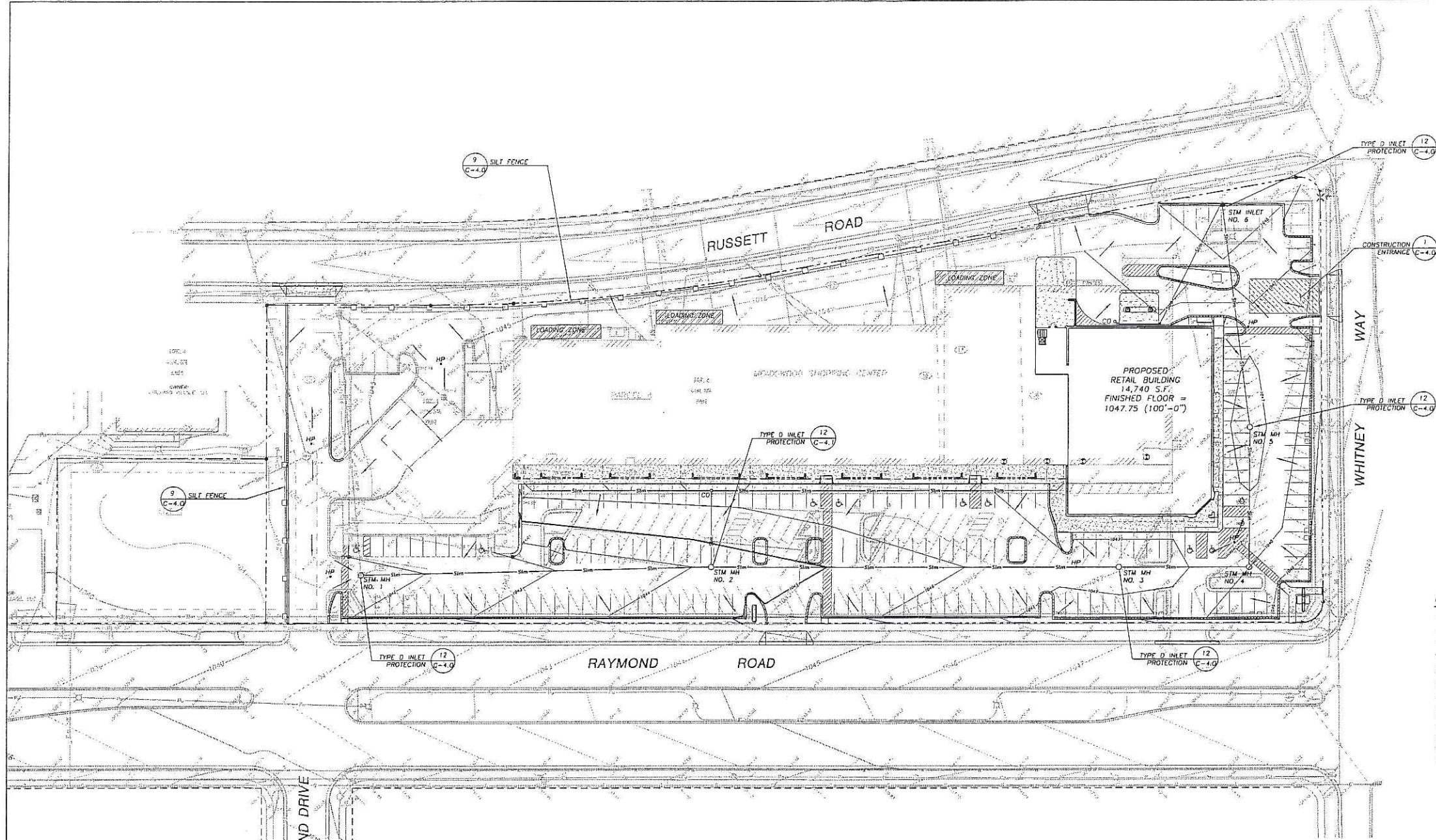
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ITEM	DATE
Drawn: MCT	03-02-06
Checked: MPW	03-02-06
Approved: DMJ	03-22-06
City of Madison Submitted	03-22-06

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE		BUILDING	
NEW	<input checked="" type="checkbox"/>	NEW	<input checked="" type="checkbox"/>
REMODELING	<input type="checkbox"/>	EXISTING	<input type="checkbox"/>
RELOCATION	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>		



LEGEND (PROPOSED)

---	PROPERTY LINE
---	BUILDING LINE
---	1 FOOT CONTOUR
---	5 FOOT CONTOUR
---	30" REJECT CURB & GUTTER
---	30" STANDARD CURB & GUTTER
---	18" STANDARD CURB & GUTTER
---	CONCRETE PAVEMENT
---	BITUMINOUS PAVEMENT (E-0.3)
---	CONSTRUCTION ENTRANCE
---	PAVEMENT STRIPING
• (1047.00)	SPOT ELEVATION
○ CO	CLEAN OUT
EP	EDGE OF PAVEMENT
IC	TOP OF CURB
SW	TOP OF SIDEWALK
---	DRAINAGE FLOW

GENERAL NOTES

- REFER TO SHEET C-1.0 FOR EXISTING CONDITIONS NOTES AND LEGEND.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION.
- ALL WORK IN THE ROW AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.

CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE STORM WATER MANAGEMENT TECHNICAL STANDARDS (REFERRED TO AS BMP'S). IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO BMP'S.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
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- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
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- ALL SLOPES EXCEEDING 20% SHALL BE STAKED WITH EROSION CONTROL FABRIC.

UTILITY NOTES

- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLANS BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
- GRAVELLARY BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS AND SHOULD INCLUDE CURB & GUTTER, SIDEWALK, TOPSOIL, FERTILIZER, SEEDING AND MULCHING.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISCONSIN DOT, DCDM, AND DNR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 • EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 • OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAX FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 • VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 • NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 • NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH THE CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER LATERALS, WATERMAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL NOTIFY CITY OF MADISON PUBLIC WORKS A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.

PAVING NOTES

- ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION," APPLICABLE TO THE CITY OF MADISON ORDINANCES.
- MINIMUM PAVEMENT DESIGN TO BE DETERMINED BY GEOTECHNICAL ENGINEER BASED UPON GEOTECHNICAL REPORT.

GRADING AND SEEDING NOTES

- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH CITY OF MADISON REQUIREMENTS.
- CONTRACTOR TO USE A SEEDING RATE OF 2 LBS. PER 1000 S.F. FOR TURF AREAS.
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED.
- CONTRACTOR SHALL SCARIFY ALL COMPACTED PERVIOUS AREAS PRIOR TO SEEDING AND MULCHING.
- CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.

REVIEW DRAWING
 NOT TO BE USED FOR CONSTRUCTION
 DATE OF ISSUE MARCH 22, 2006

NO.	DATE	DESCRIPTION
1	03-22-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS

STORE # 10573
 PROJECT NAME
WALGREENS STORE
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI
 DRAWING TITLE
EROSION CONTROL & GRADING PLAN

CADD PLOT:	SCALE:	DRAWING NO.
VOID PLOT:	DRAWN BY:	C-3.0
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO.	OF DWGS.
	0578-00	

JSD ENGINEERING & ARCHITECTURE
 Jenkins Survey & Design, Inc.

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- CIVIL ENGINEERING
- TRANSPORTATION ENGINEERING
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- CONSTRUCTION MANAGEMENT

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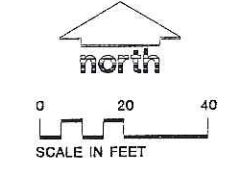
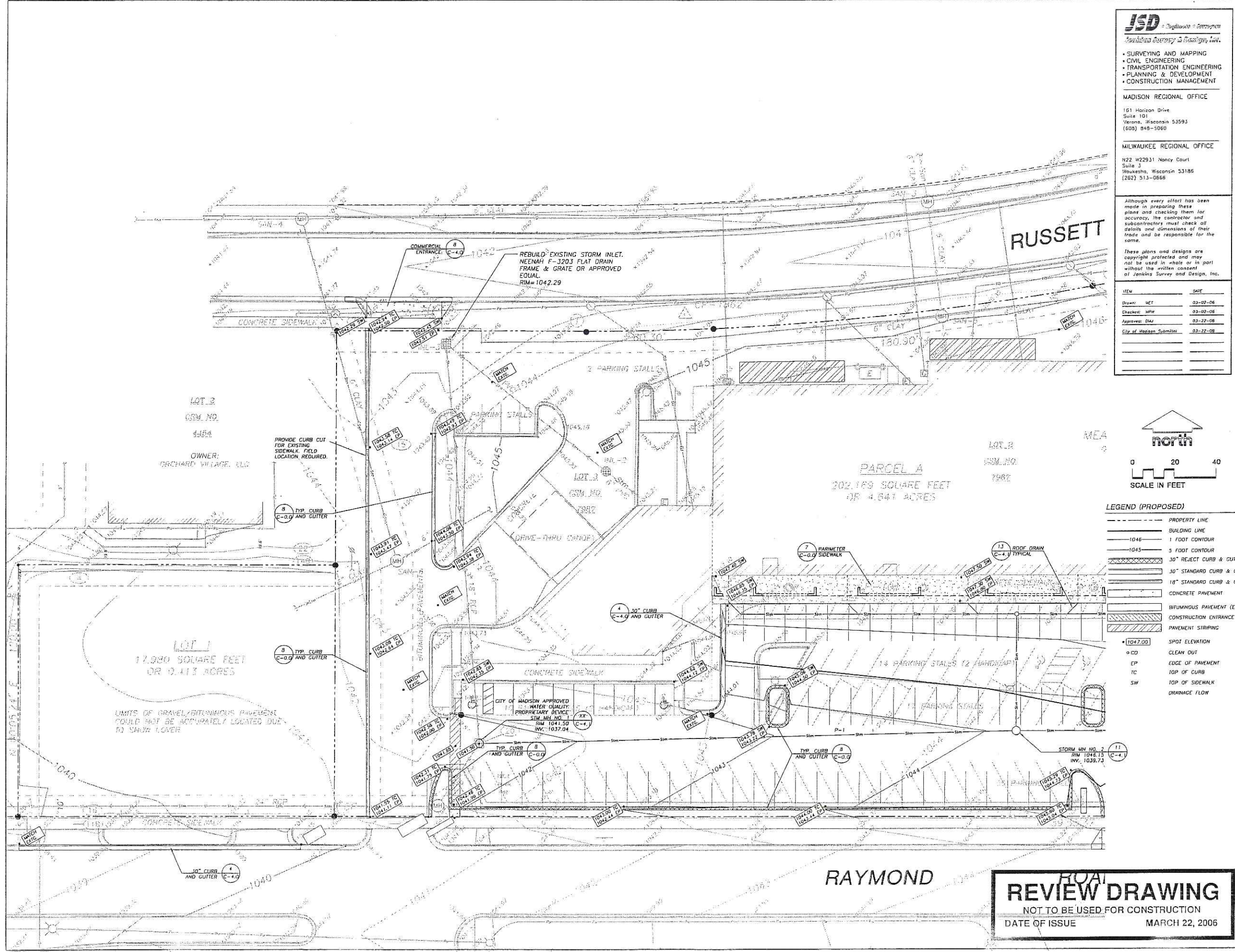
ITEM	DATE
Drawn: MET	03-02-06
Checked: JPH	03-02-06
Approved: DJM	03-22-06
City of Madison Submitted	03-22-06

THE ARCHITECTS
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DRAWINGS/SPECIFICATIONS BY:
 WALGREENS CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE		BUILDING	
NEW	<input checked="" type="checkbox"/>	NEW	<input checked="" type="checkbox"/>
REMODELING	<input type="checkbox"/>	EXISTING	<input type="checkbox"/>
RELOCATION	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>		



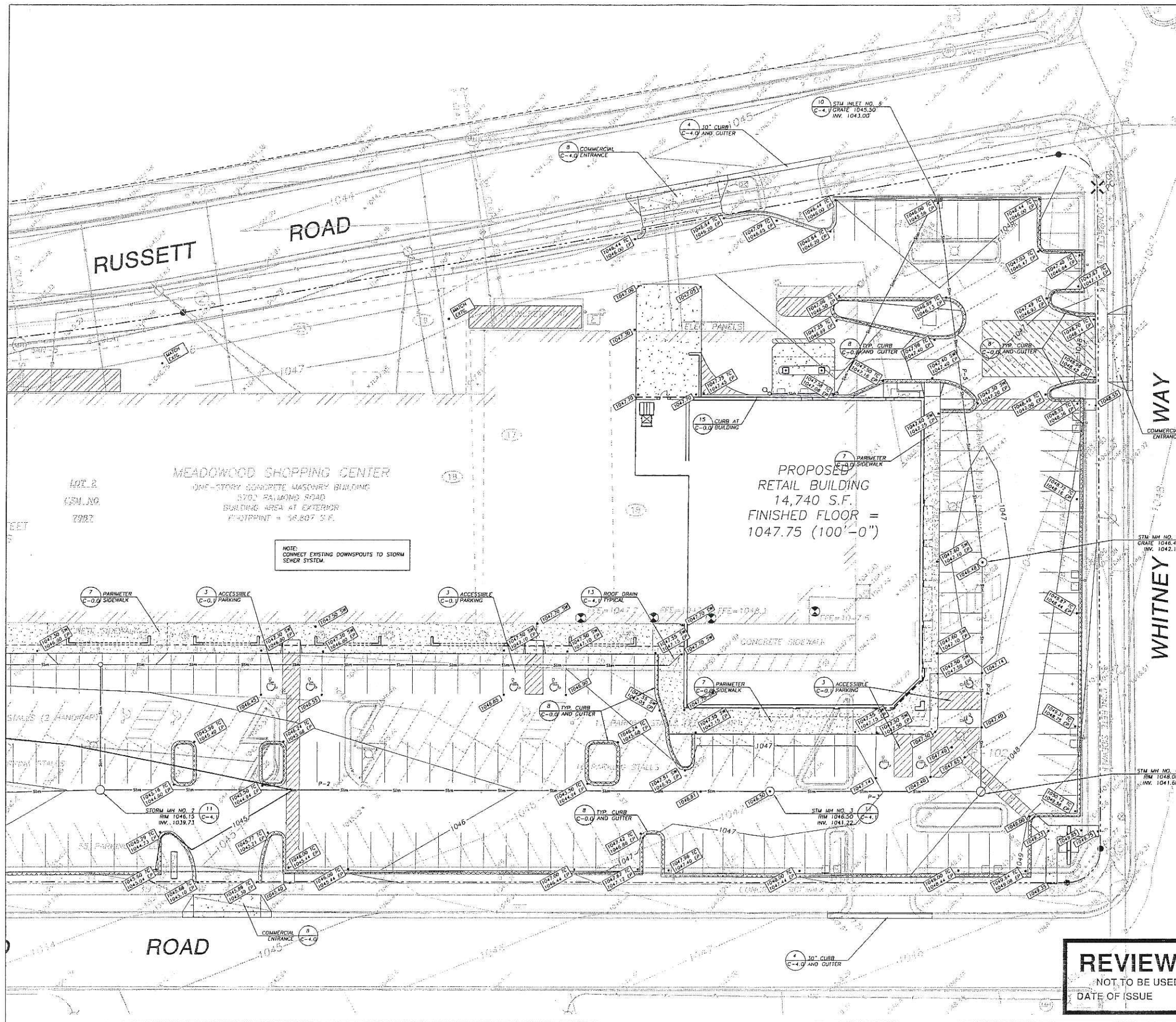
- LEGEND (PROPOSED)**
- PROPERTY LINE
 - - - BUILDING LINE
 - 1046 1 FOOT CONTOUR
 - 1045 5 FOOT CONTOUR
 - 30" REJECT CURB & GUTTER
 - 30" STANDARD CURB & GUTTER
 - 18" STANDARD CURB & GUTTER
 - CONCRETE PAVEMENT
 - BITUMINOUS PAVEMENT (E-0.3)
 - CONSTRUCTION ENTRANCE
 - PAVEMENT STRIPING
 - 1047.00 SPOT ELEVATION
 - CD CLEAN OUT
 - EP EDGE OF PAVEMENT
 - TC TOP OF CURB
 - SW TOP OF SIDEWALK
 - DRAINAGE FLOW

NO.	DATE	DESCRIPTION
1	03-22-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS
 STORE # 10573
 PROJECT NAME
WALGREENS STORE
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI
 DRAWING TITLE

DETAIL GRADING-WEST		
CADD PLOT:	SCALE:	DRAWING NO.
VOID PLOT:	DRAWN BY:	C-3.1
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO.	OF DWGS.
	05/78-00	

REVIEW DRAWING
 NOT TO BE USED FOR CONSTRUCTION
 DATE OF ISSUE: MARCH 22, 2006



RUSSETT ROAD

WHITNEY WAY

MEADOWWOOD SHOPPING CENTER
 ONE-STORY CONCRETE MASONRY BUILDING
 5701 PALMWOOD ROAD
 BUILDING AREA AT EXTERIOR
 FOOTPRINT = 58,507 S.F.

PROPOSED RETAIL BUILDING
 14,740 S.F.
 FINISHED FLOOR =
 1047.75 (100'-0")

NOTE:
 CONNECT EXISTING DOWNSPOUTS TO STORM
 SEWER SYSTEM.

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 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORY BUILDING

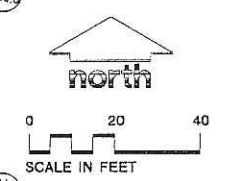
NEW REMODELING RELOCATION OTHERS

NEW EXISTING NEW SHELL ONLY

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ITEM	DATE
Drawn: MET	01-09-06
Checked: MFW	03-02-06
Approved: DMJ	03-22-06
City of Madison Submitted	03-22-06

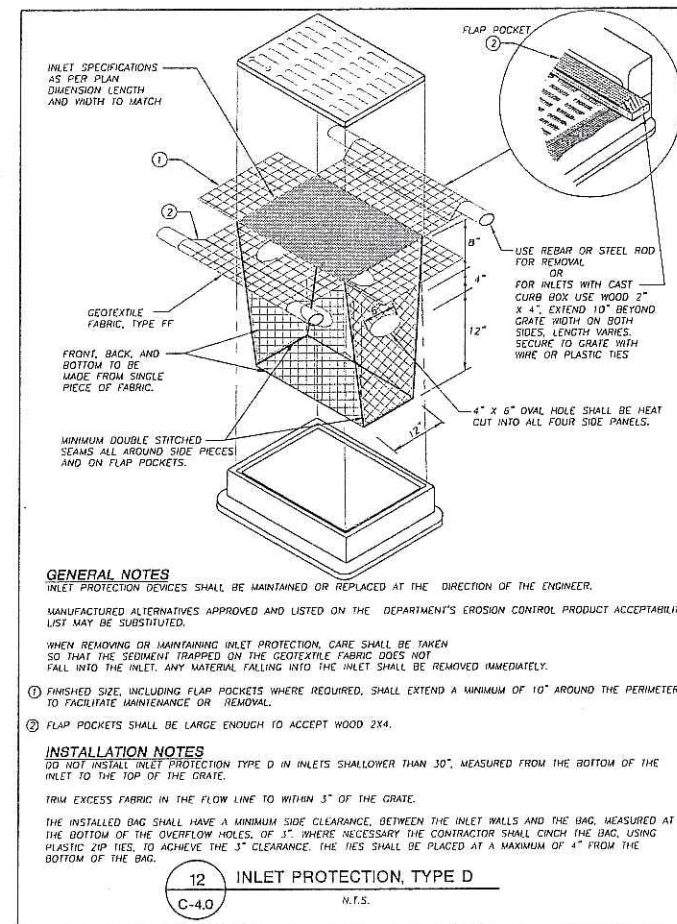
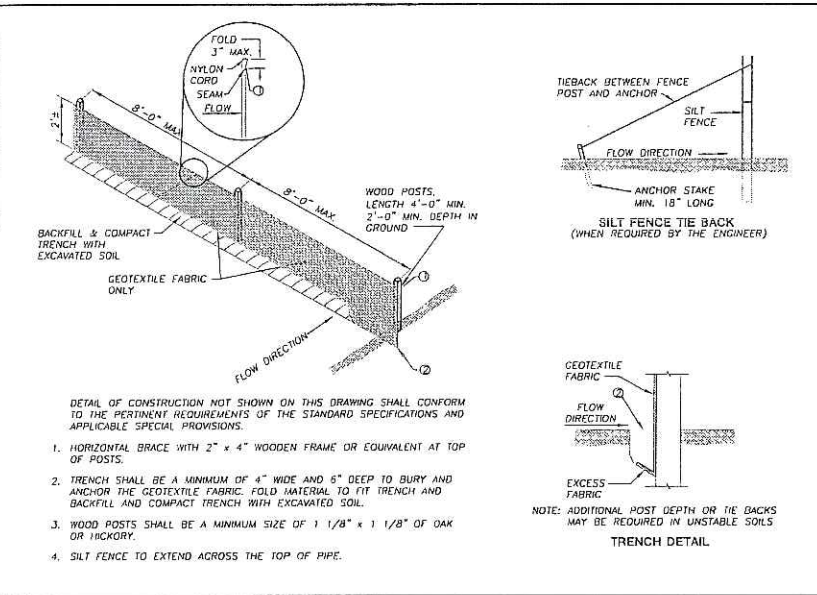
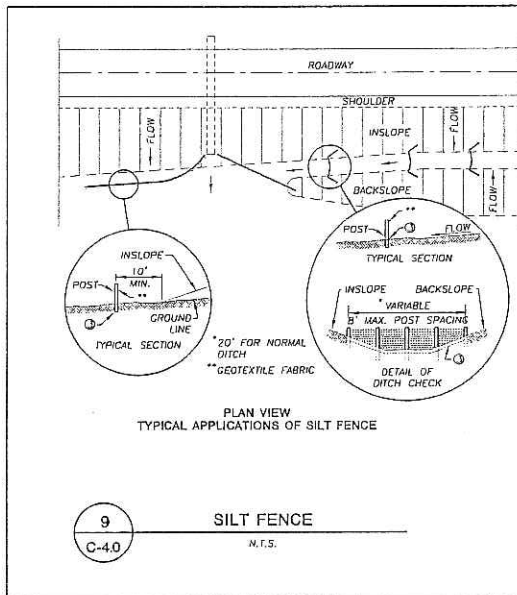
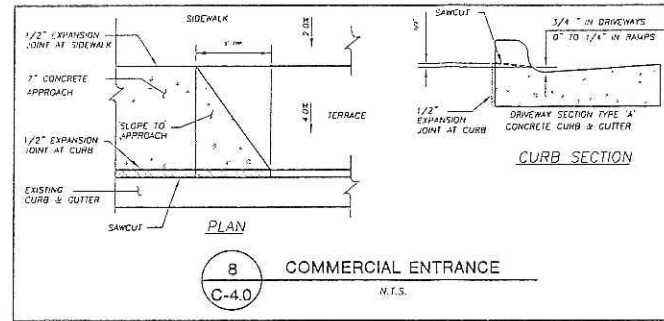
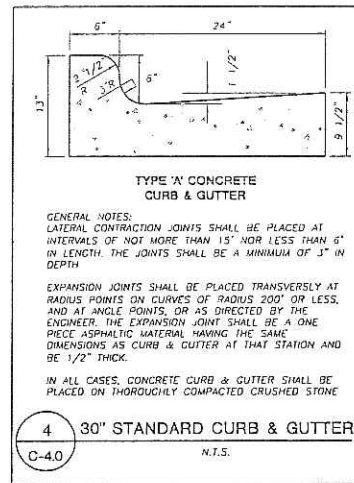
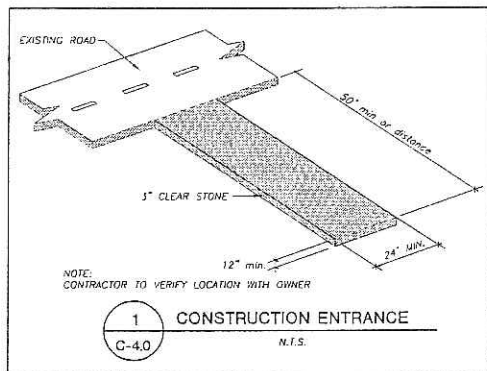


LEGEND (PROPOSED)

---	PROPERTY LINE
----	BUILDING LINE
-----	1 FOOT CONTOUR
-----	3 FOOT CONTOUR
-----	30" STANDARD CURB & GUTTER
-----	18" STANDARD CURB & GUTTER
-----	18" REJECT CURB & GUTTER
-----	CONCRETE PAVEMENT
-----	BITUMINOUS PAVEMENT (E-0.3)
-----	CONSTRUCTION ENTRANCE
-----	PAVEMENT STRIPING
• 1047.00	SPOT ELEVATION
○ CD	CLEAN DIRT
EP	EDGE OF PAVEMENT
TC	TOP OF CURB
SW	TOP OF SIDEWALK
---	DRAINAGE FLOW

REVIEW DRAWING
 NOT TO BE USED FOR CONSTRUCTION
 DATE OF ISSUE: MARCH 22, 2006

NO.	DATE	DESCRIPTION
1	03-22-06	MADISON PLAN COMMISSION
DOCUMENT ISSUES/BENCHMARKS		
STORE # 10573		
PROJECT NAME		
WALGREENS STORE		
RAYMOND ROAD & WHITNEY WAY		
MADISON, WI		
DRAWING TITLE		
DETAIL GRADING-EAST		
CADD PLOT:	SCALE:	DRAWING NO.
VOID PLOT:	DRAWN BY:	C-3.2
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO.	
	0578-00	OF DWGS.



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ITEM	DATE
Drawn: UET	03-02-06
Checked: WPH	03-02-06
Approved: DMJ	03-22-06
City of Waukesha Submitter	03-22-06

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ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

IN OTHER LOCATIONS OF PARTICIPATING UNIVERSITIES/AGENCIES OFFERS ARE 50% DISCOUNT

CALL DIGGERS HOTLINE
1-800-242-2511 TOLL FREE

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REVIEW DRAWING
NOT TO BE USED FOR CONSTRUCTION
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NO.	DATE	DESCRIPTION
1	03-22-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS

STORE # 10573
PROJECT NAME
WALGREENS STORE
RAYMOND ROAD & WHITNEY WAY
MADISON, WI

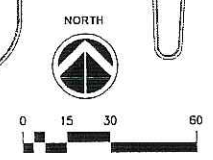
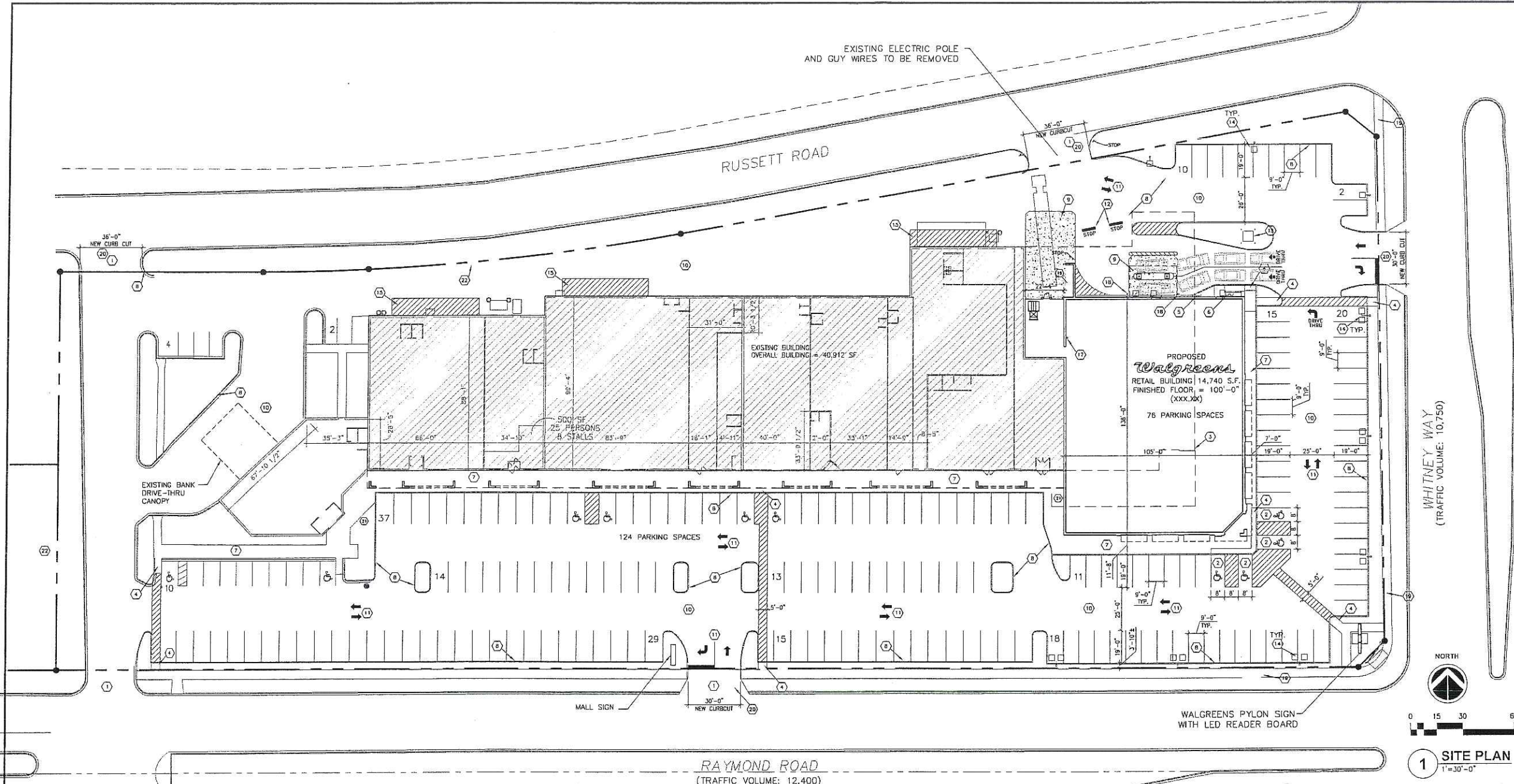
DRAWING TITLE
DETAILS

CADD PLOT:	SCALE:	DRAWING NO.
VOID PLOT:	DRAWN BY:	C-4.0
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO.	0578-00
		1" DWGS.

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ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	



1 SITE PLAN
 1"=30'-0"

GENERAL NOTES

- BEARINGS, DIMENSIONS AND EASEMENTS SHOWN HEREON ARE FOR REFERENCE ONLY. REFER TO PROJECT ALTA/ASCM LAND TITLE SURVEY FOR PROPERTY LEGAL DESCRIPTION AND VERIFICATION OF REFERENCED INFORMATION.
- REFER TO PROJECT ARCHITECTURAL DRAWINGS FOR DETAIL DIMENSIONS OF BUILDING, DRIVE-THRU AND STOREFRONT CANOPIES, RECEIVING AND REFUSE/RECYCLING PLATFORMS AND/OR ENCLOSURES AND CONCRETE WORK SURROUND BUILDING.
- ALL AREAS NOT OTHERWISE NOTED SHALL BE LANDSCAPED. REFER TO LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.

KEYED NOTES

- | | |
|---|--|
| (1) ACCESSIBLE ROUTE TO ENTRY | (16) TOTE ENCLOSURE |
| (2) ACCESSIBLE PARKING | (17) ROOF STORM LINE TO TIE INTO CITY STORM |
| (3) PARTIAL DEMOLITION OF EXISTING BUILDING | (18) CANOPY DOWNSPOUT TO TIE INTO CITY STORM |
| (4) PEDESTRIAN TACTILE WARNING SURFACE | (19) EXISTING SIDEWALK |
| (5) GAS METER | (20) CONCRETE CONSTRUCTED ENTRANCES |
| (6) ELECTRIC METER | (21) BIKE RACKS |
| (7) CONCRETE WALK | (22) RESERVED FOR FUTURE DEVELOPMENT |
| (8) CONCRETE CURB | (23) NO CURB |
| (9) CONCRETE PAVING | |
| (10) ASPHALT PAVING | |
| (11) PAVEMENT MARKINGS | |
| (12) TRAFFIC REGULATION SIGN FOR TEXT INDICATED | |
| (13) ELECTRICAL TRANSFORMER | |
| (14) LIGHT POLE | |
| (15) LOADING ZONE PAD | |

SITE DATA

EXISTING ZONING = C-2	
TOTAL SITE AREA	201,866 SF (4.6 ACRES)
BUILDING SETBACKS	
FRONT YARD	NONE REQUIRED
SIDE YARDS	NONE REQUIRED
REAR YARD	NONE REQUIRED
BUILDING INFORMATION	
# OF STORIES ABOVE GRADE	1 STORY
PROPOSED BUILDING HEIGHT	31'-2"
PROPOSED BUILDING AREA	55,652 SF
PARKING REQUIREMENTS	
REQUIRED PARKING SPACES: 1 SPACE PER 300 SF OF GROSS FLOOR AREA	185 SPACES
CAR PARKING SPACES PROPOSED	190 SPACES
HANDICAPPED PARKING SPACES PROPOSED	10 SPACES
TOTAL PARKING SPACES PROPOSED	200 SPACES
SIGNAGE REQUIREMENTS	
FREESTANDING PYLON SIGNS	
SETBACK	PENDING
ALLOWABLE AREA	PENDING
MAXIMUM HEIGHT	PENDING
WALL SIGNS	
MAXIMUM ALLOWABLE AREA	PENDING

NO.	DATE	DESCRIPTION
1	03-22-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS

STORE # 10573

PROJECT NAME
WALGREENS STORE
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI

DRAWING TITLE
SITE PLAN

CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	DRAWN BY:	A0.1
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 0578-00	OF DWGS.

SYMBOL	LABEL	QUANTITY	SIZE	ROOT	COMMON NAME	SCIENTIFIC NAME

TO BE DETERMINED BASED ON MADISON ORDINANCES

GENERAL NOTES

SITE CLEARING
REMOVE ALL EXISTING TREES AND VEGETATION PER SPECIFICATION SECTION 02190. EXCEPT THOSE AS NOTED ON PLAN.

DIGGING
CONTACT LOCAL DIGGER'S HOTLINE PRIOR TO DOING ANY DIGGING.

MULCHING
TREES AND SHRUBS TO RECEIVE A 3" LAYER OF SHREDDED HARDWOOD BARK WITH NO MORE THAN 1" OF MULCH AT THE BASE OF THE TREE OR SHRUB. PERENNIALS ARE TO RECEIVE 1" OF MULCH UNLESS OTHERWISE NOTED.

TREES IN LAWN AREA ARE TO RECEIVE A 4 FT. DIAMETER MULCHED TREE RING.

ALL LARGE PLANT BEDS TO RECEIVE LANDSCAPE EDGING.

SUBSTITUTIONS
SUBSTITUTIONS OF PLANT MATERIAL MUST BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT/DESIGNER.

PLANT MATERIAL
ALL PLANT MATERIAL WILL BE #1 STOCK IN ACCORDANCE WITH THE AMERICAN NURSERYMEN'S STANDARDS. ALL WOODY PLANT MATERIAL (EXCLUDING TRANSPLANTS) WILL BE GUARANTEED FOR 1 YEAR FROM PROJECT COMPLETION.

PLANTING

- A. ALL TREES ARE TO BE PLANTED IN HOLES 18" LARGER IN DIAMETER THAN THE ROOT BALL OF THE TREE. ALL SHRUBS ARE TO BE PLANTED IN HOLES 12" LARGER IN DIAMETER THAN THE ROOT BALL OF THE SHRUB.
- B. HOLES ARE TO BE BACKFILLED WITH A MIXTURE OF 2/3 ORIGINAL SOIL AND 1/3 PLANT STARTER. TYRAP WEED BARRIER TO BE USED IN ALL PLANT BEDS.
- C. TREES AND SHRUBS ARE TO BE PLANTED WITH FERTILIZER PACKETS.
- D. SHRUB GROUPINGS ARE TO BE EDGED WITH HEAVY DUTY POLY LAWN EDGING WHERE THE BED EDGES MEET TURF AREAS.
- E. STAKE ALL DECIDUOUS AND EVERGREEN TREES USING STURDY CEDAR STAKES, THREE PER TREE, AND NYLON "SEAT BELT" STRAPPING, FIRMLY ATTACHED.
- F. PERENNIAL AND ANNUAL BEDS ARE TO BE AMENDED WITH 2-3" OF PLANT STARTER, ROTOTILLED INTO A DEPTH OF 6".
- G. ALL AREAS DISTURBED BY LANDSCAPE CONSTRUCTION ARE TO BE SODED.

H. ALL OTHER PLANTING AREAS NOT MULCHED ARE TO BE SODED, INCLUDING R.O.W. AREAS. SOD SHALL CONSIST OF A DENSE, WELL-ROOTED NURSERY GROWN BLUEGRASS SOD, AND SHALL BE FREE FROM WEEDS AND UNDESIRABLE GRASSES. SOD SHALL BE LAID SMOOTHLY, EDGE TO EDGE, WITH STAGGERED JOINTS. AFTER LAYING, ROLL TO ENSURE GOOD CONTACT WITH THE SOIL.

J. SEE SPEC. SECTION 02900 - (LANDSCAPING/IMPROVEMENTS) FOR IRRIGATION SYSTEM INFORMATION. TO BE PROVIDED & INSTALLED UNDER LANDSCAPE CONTRACTORS CONTRACT.





K. IRRIGATION CONTRACTOR TO AVOID CROSSING EASEMENTS IF POSSIBLE. VERIFY ALL EASEMENT LOCATIONS PRIOR TO INSTALLING IRRIGATION LINES. IRRIGATION CONTRACTOR TO SUBMIT TO REDMOND AT LEAST FOUR (4) WEEKS PRIOR TO INSTALLATION A COMPLETE SUBMITTAL PACKAGE FOR APPROVAL. PROVIDE TO REDMOND TWO (2) AS-BUILT PLANS OF INSTALLED IRRIGATION SYSTEM.

NOTES:
SEE SPECIFICATION SECTION 02900 - LANDSCAPING/IMPROVEMENTS FOR ADDITIONAL REQUIREMENTS/INFORMATION.
PLAT OF SURVEY FOR THIS PROPERTY PROVIDED BY OTHERS. LANDSCAPE ARCHITECT TAKES NO RESPONSIBILITY FOR THE ACCURACY THEREOF AND NONE SHOULD BE ASSUMED.

CITY OF MADISON GENERAL LANDSCAPE ORDINANCE

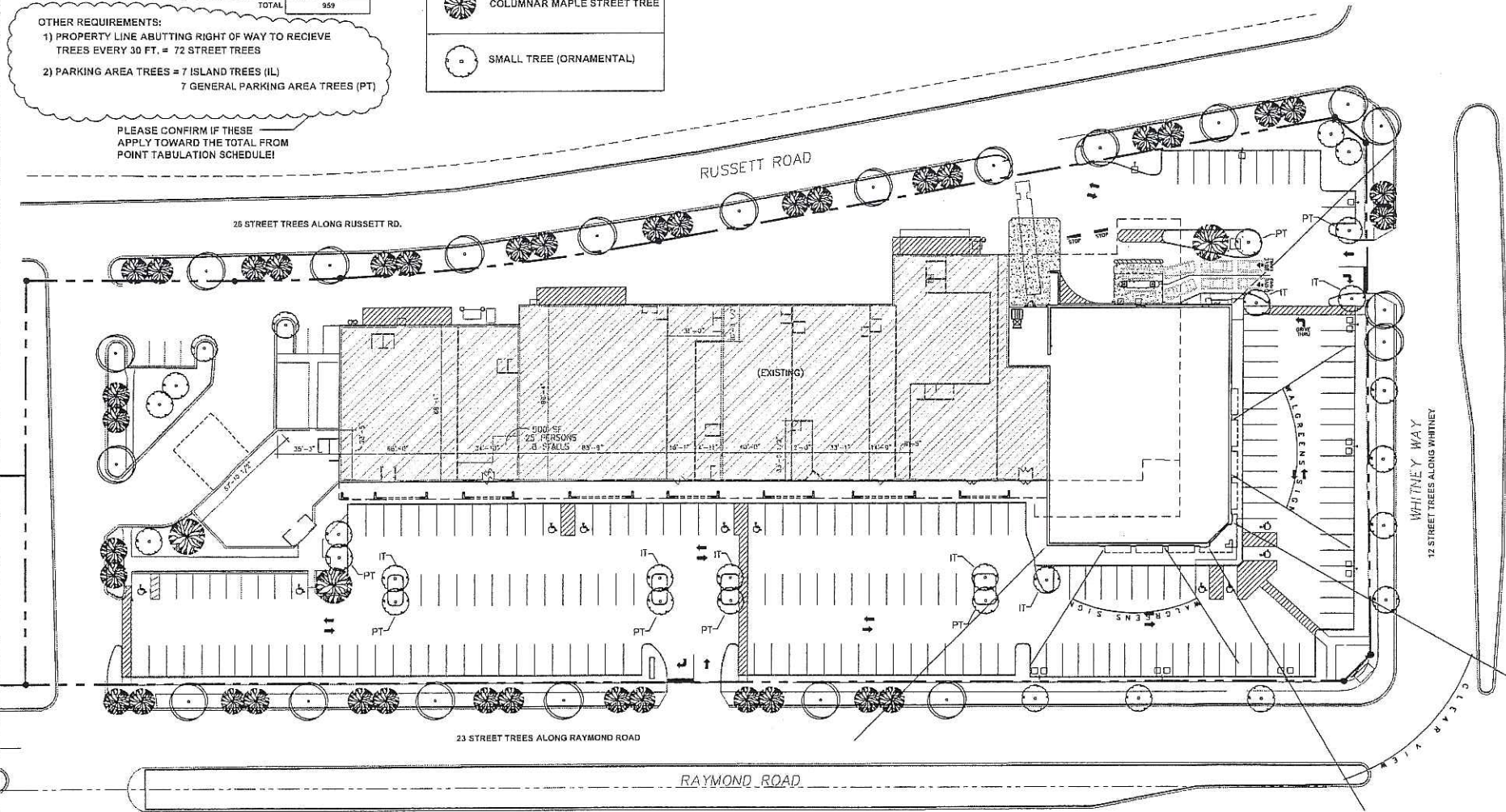
ELEMENT	PT. VALUE	QTY	PTS. ACHIEVED
CANOPY TREES 2" - 2 1/2" CALIPER	35	9	315
SMALL TREES 1 1/2" - 2" CALIPER	15	8	120
DECIDUOUS SHRUBS	3	100	300
EVERGREEN SHRUBS	2	112	224
TOTAL			959

TREE LEGEND

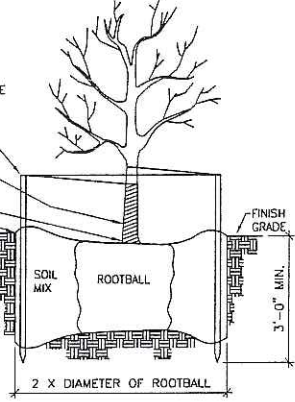
	LARGE DECIDUOUS TREE
	HONEY LOCUST
	COLUMNAR MAPLE STREET TREE
	SMALL TREE (ORNAMENTAL)

- OTHER REQUIREMENTS:**
- PROPERTY LINE ABUTTING RIGHT OF WAY TO RECEIVE TREES EVERY 30 FT. = 72 STREET TREES
 - PARKING AREA TREES = 7 ISLAND TREES (IL) 7 GENERAL PARKING AREA TREES (PT)

PLEASE CONFIRM IF THESE APPLY TOWARD THE TOTAL FROM POINT TABULATION SCHEDULE!

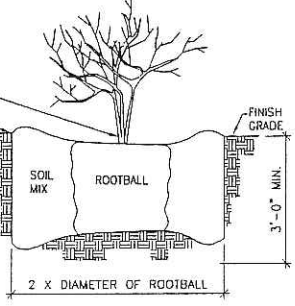


- TRIM ALL DEAD & DAMAGED BRANCHES
- SELECT BEST VIEWERS ANGLE, LIFT STOCK BY ROOTBALL & PLACE IN PLANTERS PIT
- SPRAY WITH ANTI-DESICCANT WAX
- WATER THOROUGHLY AT THE TIME OF PLANTING & THEREAFTER AS DIRECTED
- INSTALL 3 YEAR SLOW RELEASE FERTILIZER PACKETS IN ALL PLANTING HOLES, AS PER MANUFACTURERS INSTRUCTIONS/SPECIFICATIONS
- STAKE USING 6"-0" LONG 3" DIA CEDAR STAKES DRIVEN INTO GROUND TO A MIN. DEPTH OF 3'-0", 3 PER TREE AND NYLON "SEAT-BELT" STRAPPING FIRMLY ATTACHED UTILIZING SPIRAL NAIL
- TREE WRAP TO FIRST BRANCH
- CUT TIES AT TOP OF ROOTBALL PULL DOWN TOP 1/3 OF BURLAP AROUND ROOTBALL
- 3" SPECIFIED MULCH
- TOP OF ROOTBALL AT FINISH GRADE
- FORM 3" SAUCER TO ENIRCLE STOCK
- SOIL MIX: 2/3 EXISTING SOIL 1/3 PLANT STARTER MIX
- LOOSEN SUBSOIL WITH PICK TO ENSURE POROSITY
- REST BALL OF TREE ON FIRM BORE OF SUBSOIL TO INSURE THAT TREE DOES NOT LOWER WITH SOIL SETTLEMENT



2 TREE PLANTING DETAIL

- TRIM ALL DEAD & DAMAGED BRANCHES
- SELECT BEST VIEWERS ANGLE, LIFT STOCK BY ROOTBALL & PLACE IN PLANTERS PIT
- SPRAY WITH ANTI-DESICCANT WAX
- WATER THOROUGHLY AT THE TIME OF PLANTING & THEREAFTER AS DIRECTED
- INSTALL 3 YEAR SLOW RELEASE FERTILIZER PACKETS IN ALL PLANTING HOLES, AS PER MANUFACTURERS INSTRUCTIONS/SPECIFICATIONS
- CUT TIES AT TOP OF ROOTBALL PULL DOWN TOP 1/3 OF BURLAP AROUND ROOTBALL
- 3" SPECIFIED MULCH
- TOP OF ROOTBALL AT FINISH GRADE
- FORM 3" SAUCER TO ENIRCLE STOCK
- SOIL MIX: 2/3 EXISTING SOIL 1/3 PLANT STARTER MIX
- LOOSEN SUBSOIL WITH PICK TO ENSURE POROSITY
- REST BALL OF TREE ON FIRM BORE OF SUBSOIL TO INSURE THAT TREE DOES NOT LOWER WITH SOIL SETTLEMENT



3 SHRUB PLANTING DETAIL

1 LANDSCAPE PLAN
1" = 30'-0"



ARCHITECTS
338 North Milwaukee St.
Suite 503
Milwaukee, WI 53202
414.223.3330
www.dlbionarch.com

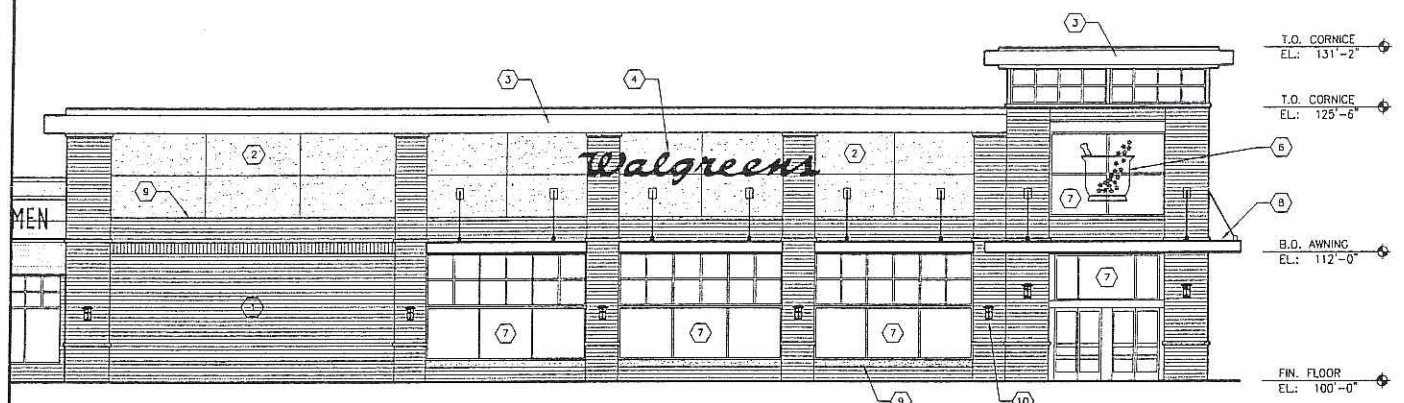
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DRAWINGS/SPECIFICATIONS BY:
 WALGREENS' CONSULTANT
 LANDLORD'S CONSULTANT

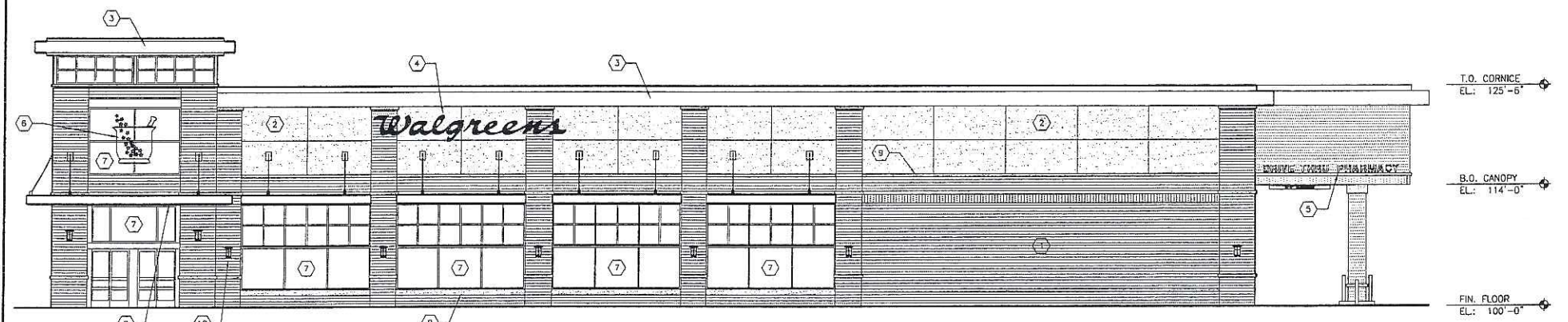
ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

NO.	DATE	DESCRIPTION
1	03-22-05	MADISON PLAN COMMISSION
DOCUMENT ISSUES/BENCHMARKS		
STORE # 10573		
PROJECT NAME		
WALGREENS STORE		
RAYMOND ROAD & WHITNEY WAY		
MADISON, WI		
DRAWING TITLE		
LANDSCAPE PLAN		
CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	DRAWN BY:	L1
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO.	OF DWGS.
	0578-00	



1 WALGREENS ENTRY
SCALE: 1/8" = 1'-0"



2 WALGREENS ENTRY
SCALE: 1/8" = 1'-0"



3 CENTRAL TOWER
SCALE: 1/8" = 1'-0"



4 FLANKING ENTRY
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS KEYED NOTES	
DESCRIPTION	
1	UTILITY SIZE FACE BRICK
2	SMOOTH-FACED MANUFACTURED LIMESTONE OR EIFS
3	PREFINISHED SHEET METAL COPING, GUTTERS, AND DOWNSPOUTS
4	RED "WALGREENS" SCRIPT SIGN, INTERNALLY ILLUMINATED. SEE DETAILS ON SHEET AS.2
5	INDIVIDUAL LETTER SIGN, SEE SHEET AS.2
6	WALGREENS NEON GRAPHIC BEYOND. SEE DETAIL ON SHEET AS.2
7	GLAZING SYSTEM
8	SUNSCREENS W/ BRACKETS
9	STONE SILL (TYP.)
10	WALL SCIENCE

THE ALBION GROUP ARCHITECTS
 338 North Milwaukee St.
 Suite 503
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STORE		BUILDING	
NEW	<input checked="" type="checkbox"/>	NEW	<input checked="" type="checkbox"/>
REMODELING	<input type="checkbox"/>	EXISTING	<input type="checkbox"/>
RELOCATION	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>		



5 FULL FACADE
SCALE: 1" = 40'

NO.	DATE	DESCRIPTION
1	03-22-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS
 STORE # 10573

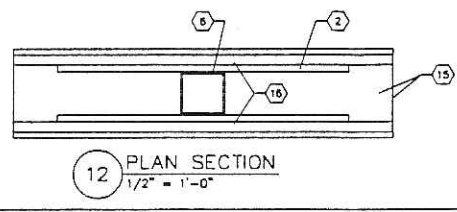
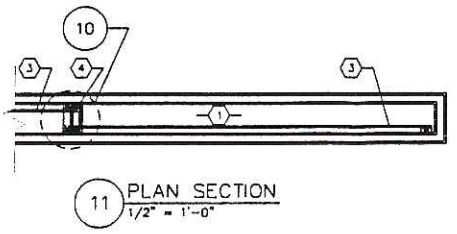
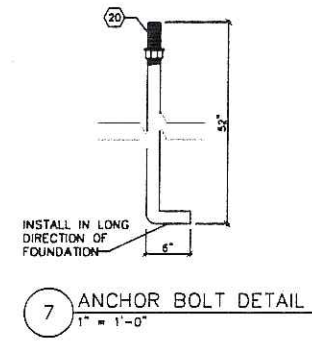
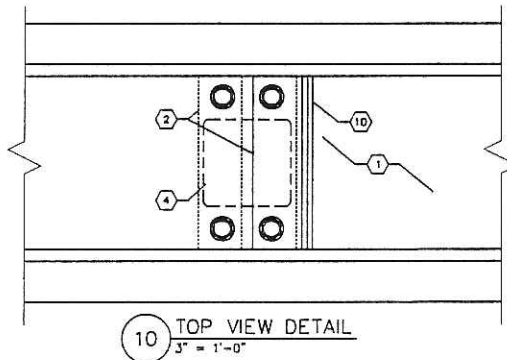
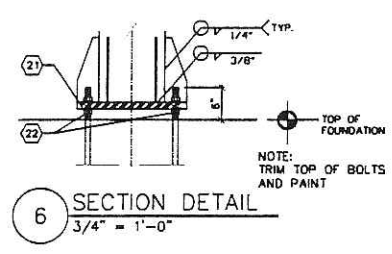
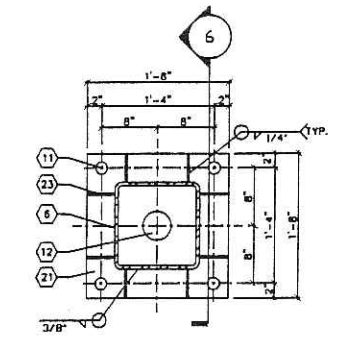
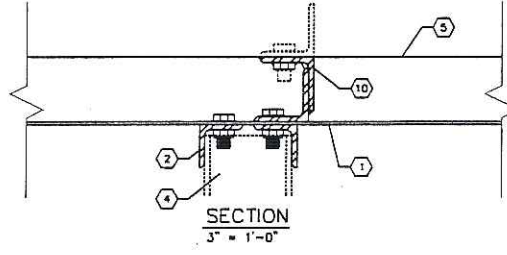
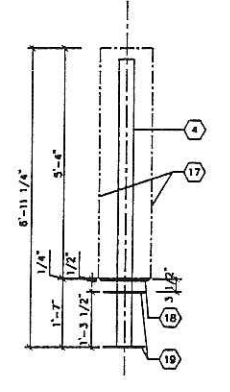
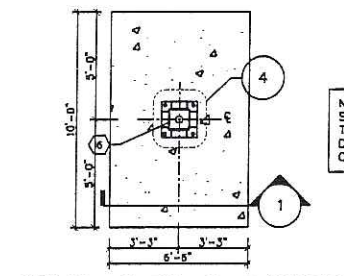
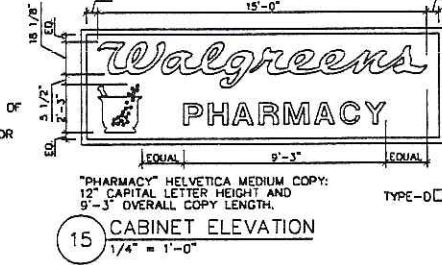
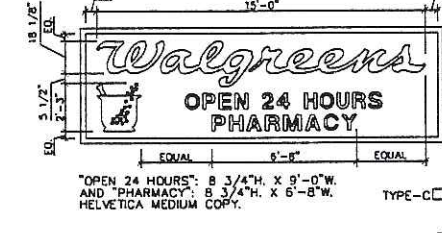
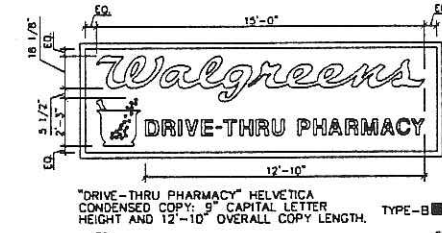
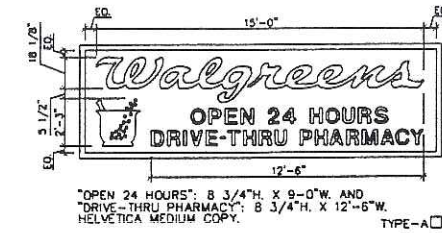
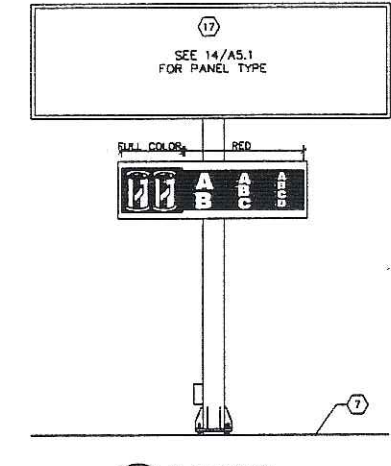
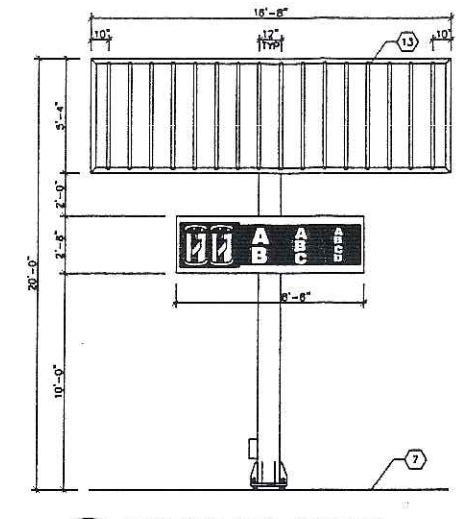
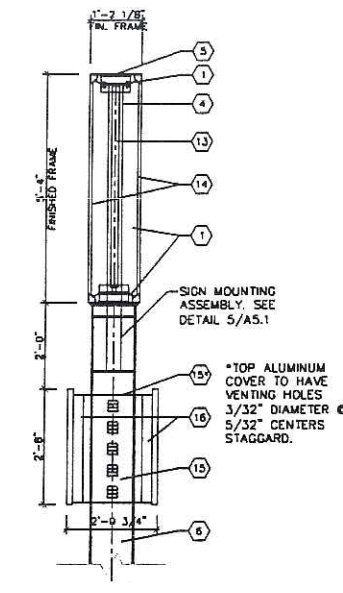
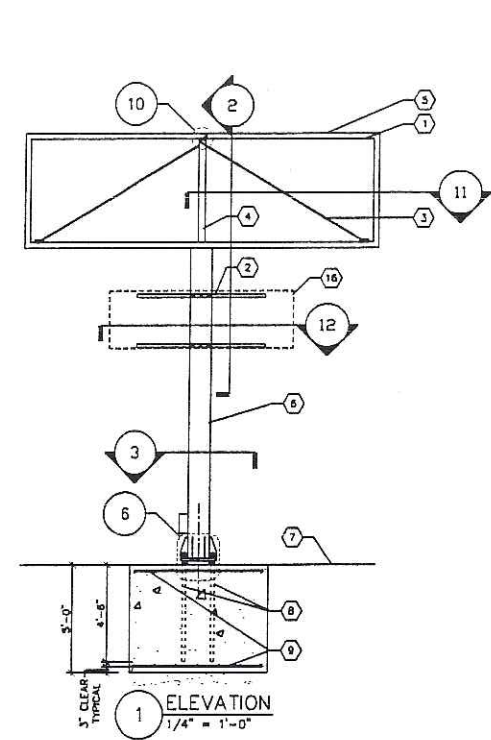
PROJECT NAME
WALGREENS STORE
 RAYMOND ROAD & WHITNEY WAY
 MADISON, WI

EXTERIOR ELEVATIONS		
CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	DRAWN BY: GAF	A2.1
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO. 0578-00	OF DWGS.

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS' CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input type="checkbox"/>	NEW <input type="checkbox"/>
REMODELING <input type="checkbox"/>	EXISTING <input type="checkbox"/>
RELOCATION <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS <input type="checkbox"/>	

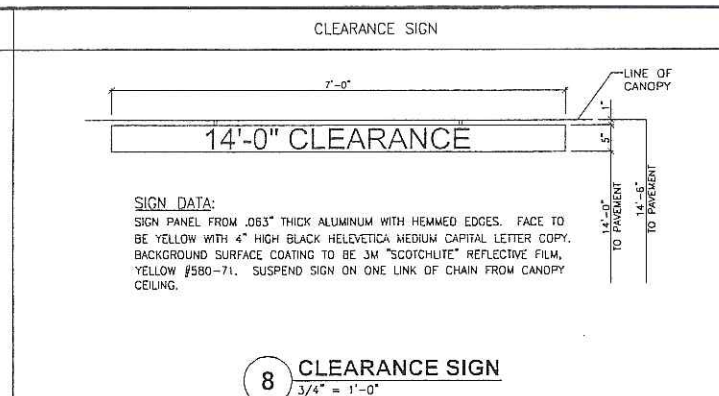
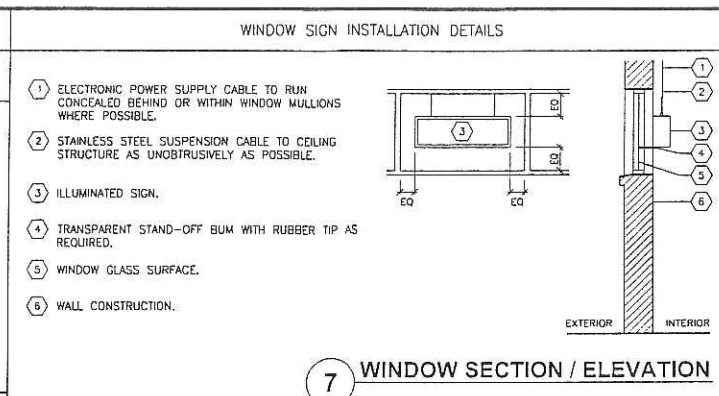
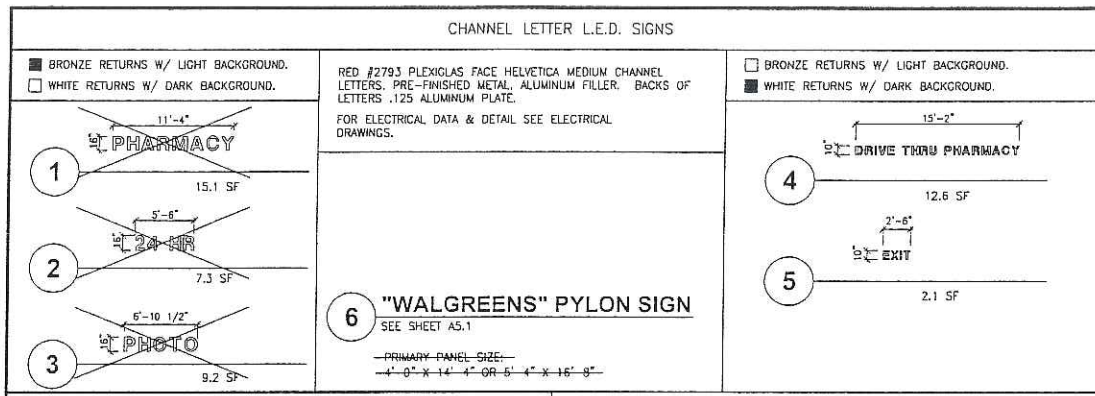


KEYED NOTES	
1	EXTRUDED ALUMINUM FRAME.
2	ANGLE 2" X 2" X 1/4".
3	3/8" DIAMETER SAG ROD.
4	4" X 4" TUBE POST.
5	PRECOATED ALUMINUM SHEET METAL COVER.
6	12" X 12" X 1/2" STEEL TUBE COLUMN.
7	TOP OF FOUNDATION.
8	(4) 1 3/4" DIAMETER ANCHOR BOLTS WITH 3/8" STEEL WASHERS (TYPICAL) SEE DETAIL 7/AS.1.
9	#6 BARS TOP AND BOTTOM 12" O.C. EACH WAY (TYPICAL).
10	ANGLE 2 1/2" X 2 1/2" X 1/4".
11	1 15/16" ROUND HOLE FOR 1 3/4" DIAMETER ANCHOR BOLTS. (4) WITH 3/8" STEEL WASHERS.
12	4" ROUND HOLE FOR ELECTRICAL CONDUIT.
13	LAMPS 60" TYPICAL 13" ON CENTER (16) REQUIRED.
14	SIGN FACE.
15	BREATHER PANEL (COVER).
16	LED READER BOARD PANELS MOUNTED ON EACH SIDE OF THE PYLON.
17	PRIMARY SIGN PANEL.
18	13" X 13" X 1/2" CAP PLATE.
19	11 1/4" X 11 1/4" X 1/4" PLATE.
20	6" THREADED END.
21	20" X 20" X 1 3/4" STEEL BASE PLATE.
22	LEVELING NUTS AND WASHERS.
23	(8) 1/2" X 4" X 12" STEEL GUSSET PLATES.

COLORS		STRUCTURAL GENERAL NOTES	
STRUCTURE	CABINETS/RETAINERS: PFM DARK BRONZE COLUMNS: DARK BRONZE	1)	ALL ALUMINUM SURFACES IN CONTACT WITH STEEL SHALL RECEIVE ONE COAT OF BITUMASTIC PAINT.
FACES	PRIMARY PANEL: 3M PANAFLEX SIGN FACE WITH #B30-53 "CARDINAL RED" BACKGROUND #B30-36 "BLUE" MORTAR AND PESTLE; WHITE STARS AND COPY. THE MORTAR AND PESTLE SYMBOL: 2'-3" OVERALL SYMBOL HEIGHT AND 2'-0" OVERALL SYMBOL WIDTH. "WALGREENS" EXTENDED SCRIPT COPY: 18 3/8" CAPITAL AND 12 3/8" LOWER CASE LETTER HEIGHTS. 25 3/8" OVERALL COPY HEIGHT, 15'-0" OVERALL COPY LENGTH. LED READERBOARD PANEL OPTIONS: <input checked="" type="checkbox"/> 5 RES. COLOR/7 RES. RED (PREFERRED OPTION): TWO SINGLE-FACED DISPLAYS, CONSTRUCTED FROM NOMINAL 8 1/2" X 8 1/2" STANDARD TILES ON THE 3/8" LEFT FULL COLOR SECTION AND 11" X 11" STANDARD TILES ON THE 3/8" RIGHT RED SECTION LED PIXELS. THE 2'-8" CABINET HEIGHT ALLOWS ONE TO EIGHT LINES OF COPY, HIGH RESOLUTION WITH SHADING. <input type="checkbox"/> FULL RED: TWO SINGLE-FACED DISPLAYS, CONSTRUCTED FROM NOMINAL 11" X 11" STANDARD TILES WITH RED LED PIXELS. THE 2'-8" CABINET HEIGHT ALLOWS ONE TO EIGHT LINES OF COPY, HIGH RESOLUTION WITH SHADING.	2)	ALL STRUCTURAL STEEL SHALL BE ASTM A-36.
		3)	ALL STRUCTURAL STEEL SHALL COMPLY WITH THE AISC MANUAL, LATEST EDITION.
		4)	ALL STEEL SHALL RECEIVE ONE SHOP COAT OF RUST INHIBITIVE PAINT.
		5)	TOTAL SIGN WEIGHT = 2300 LB. (INCLUDING ALL STRUCTURAL SUPPORT MEMBERS).
		6)	DESIGN WIND PRESSURE = 30 LB./SQ. FT.
		7)	MINIMUM CONCRETE STRENGTH TO BE 3000 P.S.I.
		8)	REINFORCEMENT STEEL TO BE ASTM A-615 GR 60.
		9)	ALLOWABLE SOIL PRESSURE 2500 P.S.F.
		10)	SIGN AND FOUNDATION MUST CONFORM TO LOCAL BUILDING CODES, WIND AND SOIL REQUIREMENTS.

DOCUMENT ISSUES/BENCHMARKS		
STORE # 10573		
PROJECT NAME		
WALGREENS STORE		
RAYMOND ROAD & WHITNEY WAY		
MADISON, WI		
DRAWING TITLE		

READER BOARD PYLON SIGN DETAILS(126 SQ. FT.)		
CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	DRAWN BY:	A5.1
RELEASED TO CONSTRUCTION:	REVIEWED BY:	
	PROJECT NO.	OF DWGS.
	0578-00	



COMING SOON! ONE HOUR Photo Lab

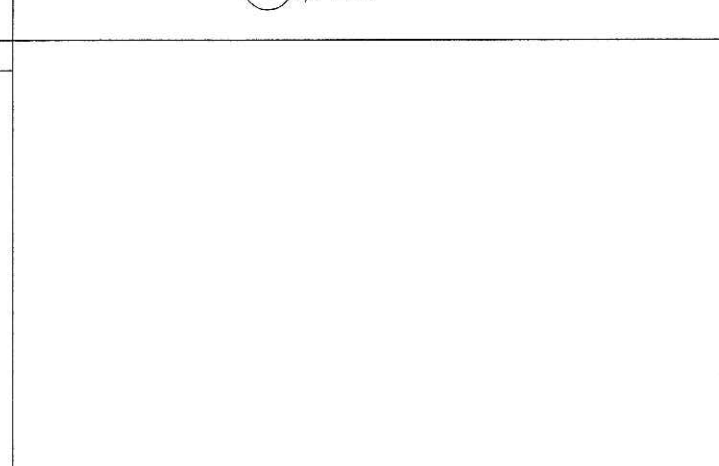
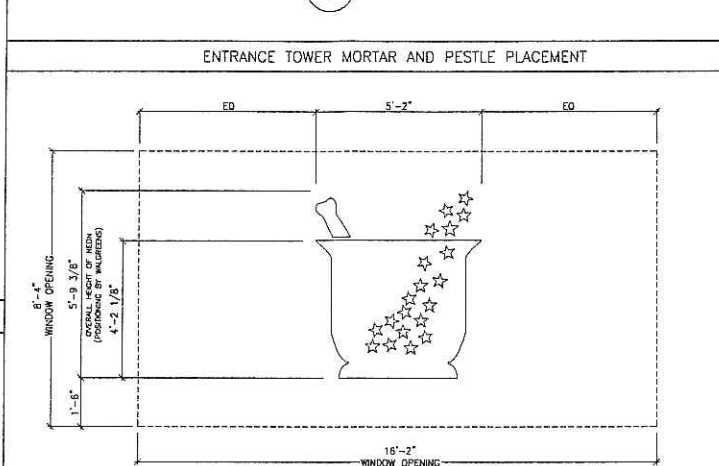
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BANNER BY WALGREENS SIGN MANUFACTURER

9 CONSTRUCTION SIGN

N.T.S.



CHANNEL LETTER L.E.D. SIGN DETAILS

WHEN 2X BLOCKING IS USED, BLOCKING OUT-TO-OUT DIMENSION IS EQUAL TO THE LOWER CASE DIMENSION.

RED SCRIPT SIGN DATA					
RED PLEXIGLAS #2793 FACE SIGN					
LENGTH	LOWER CASE LETTER	CAPITAL LETTER	TOP W BOTTOM	AREA SQUARE FEET	WEIGHT
26'-8 1/2"	24"	34"	45.375	73.42	373
20'-8 3/4"	18"	26"	36	44.56	216
16'-9"	15"	21"	20.5	25.85	142

EXTERIOR SCRIPT SIGN KEYED NOTES

- 1 SIGN SUPPORTS - GENERAL CONTRACTOR SHALL FURNISH & INSTALL SUPPORTS WHERE STUD TYPE FRAMING OCCURS. BACK SIDE OF WALL SHALL REMAIN OPEN UNTIL ALL ELECTRICAL & SIGN WORK IS COMPLETED. REFERENCE: SPECIFICATIONS ON THIS SHEET.
- 2 CONDUIT & HOUSING THRU WALL - SIGN CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND INSTALLATION THRU WALL. REFERENCE: SPECIFICATIONS ON THIS SHEET.
- 3 EXPANSION ANCHOR TROGGLER OR EPOXIED STUD TO ANCHOR "L" CLIP TO WALL SURFACE. USE CLEAR SEALANT AT BUILDING FACE.
- 4 .063 ALUMINUM FILLER - REFLECTIVE EXTERIOR (COLOR AS SPECIFIED BELOW) OF LETTER, AND REFLECTIVE WHITE INTERIOR.
■ BRONZE RETURNS.
□ WHITE RETURNS.
- 5 3/16" PLEXIGLAS.
- 6 RED FLAT TOP L.E.D. ILLUMINATION SEGMENT (TELEDYNE).
- 7 .125 ALUMINUM BACK.
- 8 2" x 1-1/2" x 3/16" #6061 ALUM. CHANNEL MOUNTING CLIPS W/ 3/8"-16 HEX HEAD BOLTS W/ NUT AND WASHER.
- 9 TRIM CAP (1/8" x 1"). COLOR TO MATCH RETURN.
- 10 SEE ARCHITECTURAL DRAWINGS FOR MATERIAL.
- 11 WELD-ON 40 AND RESIN BOND.
- 12 #8 S.S. FLAT HEAD SCREW.
- 13 PRE-DRILLED 3/8" DIA. DRILL HOLE W/ SHADOW SCREEN.
- 14 JUNCTION BOX. SEE ELECT. DRAWINGS.
- 15 ADJUST AS REQUIRED TO ALLOW FOR MASONRY PIERS.

NOTE: SEALANTS FOR OPENINGS ARE TO BE COMPATIBLE WITH THE MATERIALS THEY CONTACT. CONSULT FINISH MANUFACTURER FOR RECOMMENDED SEALANTS.

AREA COMPUTATIONS FOR SCRIPT SIGNS			
BOUNDARY	SIGN LENGTH	26'-8 1/2"	20'-8 3/4"
		73.42 S.F.	44.56 S.F.

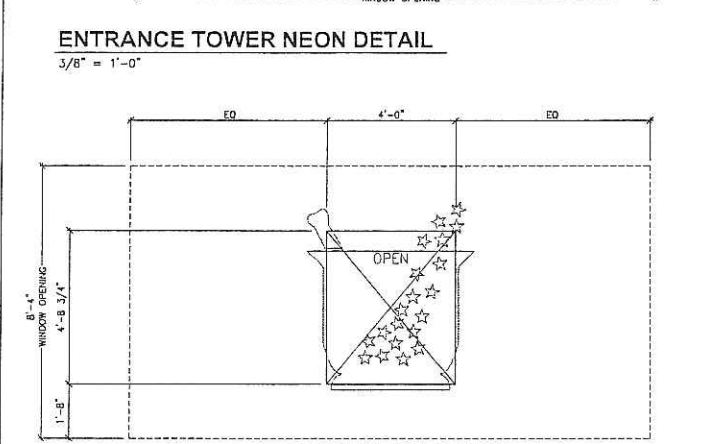
SIGN SPECIFICATION

1. GENERAL CONTRACTOR SHALL:

- A. THIS CONTRACTOR SHALL COORDINATE ALL WORK. NOTIFY ELECTRICAL CONTRACTOR & SIGN CONTRACTOR AS SOON AS POSSIBLE AFTER THE SIGN WALL OR STRUCTURE IS IN PLACE. GENERAL CONTRACTOR SHALL NOT CLOSE UP THE BACK SIDE OF WALL UNTIL ELECTRICAL CONTRACTOR & SIGN CONTRACTOR HAVE COMPLETED THEIR WORK.
- B. CONCEALED SIGN SUPPORTS: GENERAL CONTRACTOR SHALL PROVIDE CONCEALED CONTINUOUS WOLMANIZED STRUCTURAL GRADE WOOD SIGN SUPPORTS WHERE STUD OR RAFTER TYPE FRAMING OCCURS.
 1. WHERE SCRIPT SIGNS ARE SHOWN, PROVIDE 2 CONCEALED 2 X 6 MEMBERS AT TOP AND BOTTOM OF SCRIPT FOR ALL SIGNS UP TO 20'-8 3/4". SCRIPT SIGNS OVER 20'-8 3/4", PROVIDE 2 CONCEALED 2 X 6 MEMBERS AT TOP AND BOTTOM OF SIGNS.
 2. N/A.
 3. WHERE INDIVIDUAL LETTER SIGNS ARE SHOWN, PROVIDE 2 CONCEALED 2 X 6 MEMBERS TOP AND BOTTOM OF SIGNS.
- C. ELECTRICAL CONTRACTOR: THIS CONTRACTOR SHALL PROVIDE ONE MAIN ELECTRIC SERVICE PANEL AND FEEDS TO THE BACK SIDE OF SIGN WALL. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, FEED AND JUNCTION BOXES ALONG BACK SIDE OF SIGN WALL. PROVIDE JUNCTION BOXES FOR EACH LOCATION APPROXIMATELY WHERE SIGN CONTRACTOR WILL PROVIDE CONDUIT HOUSING THROUGH WALL. PROVIDE ELECTRICAL SERVICE CAPACITIES AND CIRCUITS AS SHOWN ON ELECTRICAL DRAWINGS.

2. SIGN CONTRACTOR:

- A. FOLLOW DRAWINGS & SPECIFICATIONS OF SIGNS AND USE TEMPLATES OF APPROVED DIMENSIONS, CONTOURS, SHAPES AND WITH ELECTRICAL COMPONENTS & CAPACITIES AS SPECIFIED.
- B. SIGN CONTRACTOR SHALL FURNISH FOUR SETS OF SHOP DRAWINGS TO WALGREENS FACILITIES PLANNING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- C. SIGN CONTRACTOR SHALL CONSTRUCT SIGN IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES, AND ACCORDING TO UNDERWRITERS LABORATORIES SPECIFICATIONS AND TO BEAR U.L. LABELS. SIGN CONTRACTOR SHALL OBTAIN ALL STATE AND MUNICIPAL PERMITS NECESSARY TO INSTALL SIGN(S).
- D. SIGN INSTALLATION AT BUILDING FACE WORK BY SIGN CONTRACTOR:
 - A. SIGN CONTRACTOR SHALL ESTABLISH CENTER LINE OF SIGN WALL. MEASURE LOCATION OF EACH ELECTRIC LEAD FROM THE CENTER OUTWARD. PROVIDE 1/2" GALVANIZED CONDUIT AND HOUSING THROUGH 1 1/4" GROUND HOLES. LET THREADED CONDUIT PROJECT THROUGH WALL 1 1/2".
 - B. SIGN CONTRACTOR SHALL PROVIDE A DISCONNECT SWITCH ON EXTERIOR OF SIGN FOR EACH CIRCUIT TO COMPLY WITH STATE AND LOCAL CODES. EACH SIGN SHALL BE ACTIVATED BY APPROVED PHOTO CELL AND TIME SWITCH WITH MANUAL OVERRIDE SWITCH. ELECTRICAL CONTRACTOR TO FURNISH PHOTO CELL, TIME SWITCH, AND MANUAL OVERRIDE SWITCH.



ENTRANCE TOWER NEON SIGN DETAILS

NOTE: BEFORE LAYING OUT WALL OPENINGS VERIFY THAT FINISHED CEILING HEIGHT IS 4" ABOVE WINDOW OPENING - ALL DIMENSIONS ARE BASED ON THIS CONDITION.

NOTE: MANUFACTURE AND INSTALL ENTRY WAY WALL GRAPHICS FOR ENTRANCE TOWER. MORTAR & PESTLE TO BE #3630-36 "BLUE" SURFACE APPLIED VINYL FILM WITH OUTLINE BLUE NEON. INSIDE STARS TO REMAIN WHITE WITH OUTLINE WHITE NEON. OUTSIDE STARS TO BE #3530-53 "RED" SURFACE APPLIED VINYL FILM WITH OUTLINE RED NEON. TRANSFORMERS TO BE REMOTE MOUNTED BEHIND WALL WITHIN RECESSED TRANSFORMER HOUSING. ALL PER SKETCH TO BE APPROVED BEFORE CONSTRUCTION.

BACKGROUND WALL AND ALUMINUM PLATES TO BE PAINTED "DECORATOR WHITE".

THE ALBION GROUP ARCHITECTS

338 North Milwaukee St.
Suite 503
Milwaukee, WI 53202
414.223.3330
414.223.3340 Fax
www.albionarch.com

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■ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE		BUILDING	
NEW	■	NEW	■
REMODELING	□	EXISTING	□
RELOCATION	□	NEW SHELL ONLY	□
OTHERS	□		

WORK RESPONSIBILITY

ALL EXTERIOR BUILDING SIGNS SHALL BE FURNISHED AND INSTALLED BY WALGREENS SIGN CONTRACTOR.

ALL OTHER RELATED WORK INCLUDING SIGN SUPPORTS AND ELECTRICAL POWER SUPPLY SHALL BE PER SIGN SPECIFICATIONS - THIS SHEET.

ALL FINAL CONNECTIONS MADE BY SIGN CONTRACTOR.

NO.	DATE	DESCRIPTION
1	03-22-06	MADISON PLAN COMMISSION

DOCUMENT ISSUES/BENCHMARKS

STORE # 10573

PROJECT NAME

WALGREENS STORE

RAYMOND ROAD & WHITNEY WAY
MADISON, WI

DRAWING TITLE

EXTERIOR SIGN DATA

CADD PLOT:	SCALE: AS NOTED	DRAWING NO.
VOID PLOT:	DRAWN BY:	
RELEASED TO CONSTRUCTION:	REVIEWED BY:	A5.2
	PROJECT NO.	OF DWGS.
	0578-00	