

CHASE BANK EAST TOWNE 4520 East Towne Boulevard

Exterior Building Modifications to an Existing Building in Urban Design District 5

PROPOSED LOCATION



CLIENT:



ARCHITECT OF RECORD:



CIVIL ENGINEER:



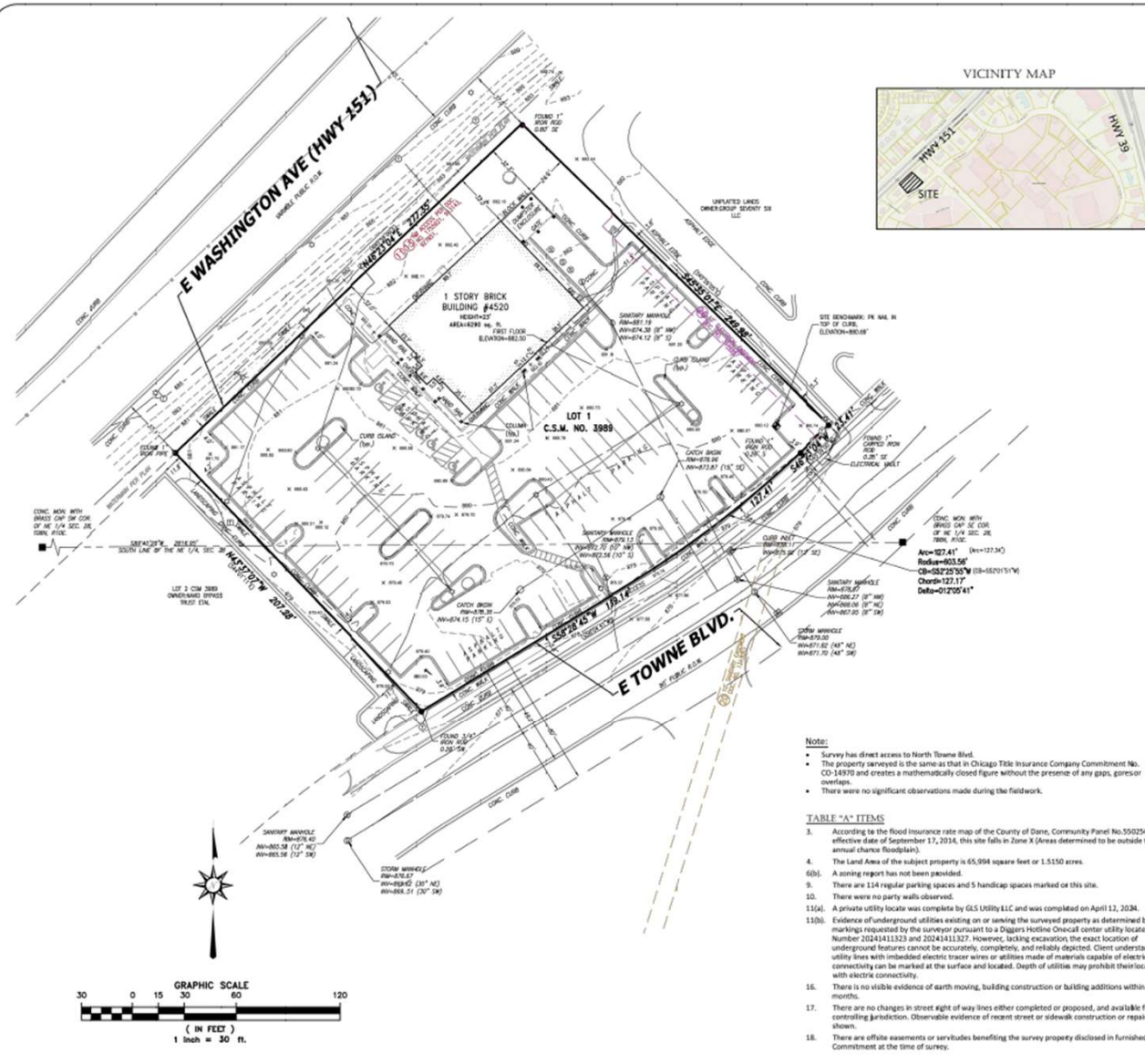
LANDSCAPE ARCHITECT:



LIGHTING DESIGNER:



ALTA SURVEY



ALTA/NSPS LAND TITLE SURVEY

CLIENT
The Architect Partnership, Ltd.
SITE ADDRESS
4520 East Towne Boulevard, City of Madison, Dane County, Wisconsin
LEGAL DESCRIPTION
Lot 1, Certified Survey Map No. 3989 recorded in the Office of the Register of Deeds for Dane County, Wisconsin on October 21, 1982, as Volume 16 of Certified Survey Maps, Page 288, as Document No. 1755921, located in the City of Madison, Dane County, Wisconsin.

BASIS OF BEARINGS
Bearings are referenced to the Dane County Coordinate System, in which the South line of the NE 1/4 bears S89°40'22"W.
VERTICAL DATUM
Elevations are based on NAVD 1988 with a reference benchmark of NGS monument PID #01803, a concrete monument with a brass cap, with an elevation of 869.65'.

TITLE COMMITMENT
This survey was prepared based on Chicago Title Insurance Company Commitment No. CD-14970 REVISION A, effective dated April 4, 2024 which lists the following easements and/or restrictions from schedule B-E:
1, 6, 7, 8, & 10 visible evidence shown, if any.
2, 3, 4, 5, 9, 12, 23, 24, & 27-29 not survey related.

11. Easements shown on Certified Survey Map No. 3989 recorded on October 21, 1982, as Document No. 1755921. Reference is hereby made to said document for full particulars. Affects property by location, shown.
12. Easements (for the purpose) and rights incidental thereto, as granted in a document recorded on July 5, 1956, as Document No. 923554. Affects property by location, general in nature cannot be plotted.
13. Limitations imposed on ingress and egress recorded February 24, 1956 as Document No. 913143 and in Award of Damages recorded October 19, 1956 as Document No. 927851. Affects property by location, shown.
14. Agreement re-rest dedication and utility line installations recorded July 18, 1969 as Document No. 1246077. Amendment recorded March 17, 1992 as Document No. 1265040. Does not affect property, not shown. (Intentionally deleted)
15. Road Agreement recorded March 17, 1970 as Document No. 1265040. Does not affect property, not shown.
16. Covenants, conditions and restrictions contained in an instrument recorded January 21, 1970 as Document No. 1221414. Affects property by location. (Intentionally deleted)
17. Restrictions contained in an instrument recorded January 30, 1970 as Document No. 1158195. Affects property by location, cannot be plotted.
18. Easement, Restrictions and Operating Agreement recorded March 17, 1970 as Document No. 1265050. First Amendment recorded June 22, 1970 as Document No. 1266511. Second Amendment recorded March 22, 1973 as Document No. 1358664. Third Amendment recorded October 25, 1973 as Document No. 1381249. Fourth Amendment recorded in Volume 1761 of Records, Page 19, as Document No. 1460342. Fifth Amendment recorded March 1, 1983 as Document No. 1716908. Sixth Amendment recorded October 16, 1988 as Document No. 1911321. Seventh Amendment June 16, 1997, as Document No. 2862571. Assignment and Assumption of Operating Agreements recorded October 4, 2005, as Document No. 4118208. Affects property by location cannot be plotted.
19. Revocation of Authorization for Access recorded December 17, 1971 as Document No. 1311572. Does not affect property, not shown. (Intentionally deleted)
20. Sanitary Sewer Easement recorded December 22, 1971 as Document No. 1311607. Does not affect property by location, shown. (Intentionally deleted)
21. Easement to the City of Madison recorded June 23, 1975 as Document No. 1432746. Amendment recorded September 30, 1993 as Document No. 2522338. Release of Utility Easement recorded December 3, 1994 as Document No. 2648006. Does not affect property, not shown. (Intentionally deleted)
22. Continuation and Operating Agreement recorded December 3, 1982 as Document No. 1760438. Amendment recorded December 6, 1982 as Document No. 1760634. Assignment and Assumption of Operating Agreements recorded October 4, 2005, as Document No. 4118208. Affects property by location, cannot be plotted.
23. Declaration of Conditions, Covenants and Restrictions recorded October 14, 2003, as Document No. 3827227. Affects property by location, general in nature cannot be plotted.
24. Right of Way Grant for Underground Electric recorded July 27, 2004, as Document No. 3946967. Affects property by location, shown.

Note:

- Survey has direct access to North Towne Blvd.
- The property surveyed is the same as that in Chicago Title Insurance Company Commitment No. CD-14970 and creates a mathematically closed figure without the presence of any gaps, gorseor overlaps.
- There were no significant observations made during the fieldwork.

- TABLE "A" ITEMS**
3. According to the Flood Insurance rate map of the County of Dane, Community Panel No. 55025C0268H, effective date of September 17, 2014, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplains).
 4. The Land Area of the subject property is 65,994 square feet or 1.5150 acres.
 - 6(b). A zoning report has not been provided.
 9. There are 134 regular parking spaces and 5 handicap spaces marked on this site.
 10. There were no party walls observed.
 - 11(a). A private utility locate was completed by GLS Utility LLC and was completed on April 11, 2024.
 - 11(b). Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20241411323 and 20241411327. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.
 16. There is no visible evidence of earth moving, building construction or building additions within recent months.
 17. There are no changes in street right of way lines either completed or proposed, and available from the controlling jurisdiction. Observable evidence of recent street or sidewalk construction or repairs if any, is shown.
 18. There are no affidavits or servitudes benefiting the survey property disclosed in furnished Title Commitment at the time of survey.

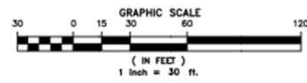
To: JPMorgan Chase Bank, N.A.
Chicago Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(b), 7(b), 8, 9, 10, 11(a), 11(b), 12, 13, 14, 16, 17, 18, and 19 of Table thereof. The field work was completed on April 23, 2024.

Date of Map: May 16, 2024

WISCONSIN
ALLEN SCHROEDER
5-2194
REGISTERED
LAND SURVEYOR

Allen J. Schroeder
Professional Land Surveyor
Registration Number 5-2194



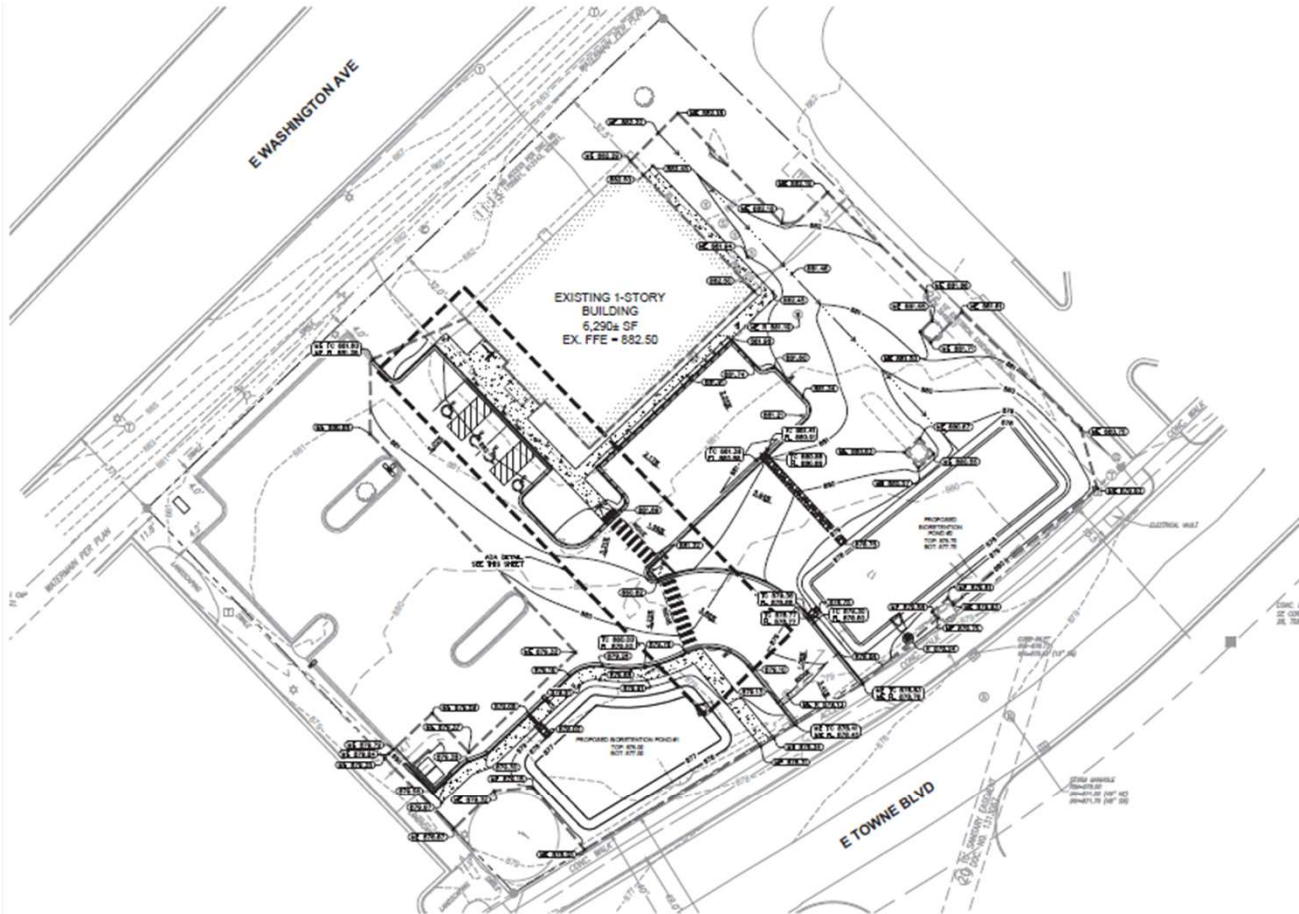
CHAPUT LAND SURVEYS

Date	Revision	Description	By
06/06/2024	REVISION 1	REVISED PER COMMENTS	JPM
07/12/2024	UPDATED PER COMMENTS		JPM

24141
15106
www.chaputland.com
DRAWN BY: JMD Drawing No. 5597.00

CHAPUT LAND SURVEYS

GRADING PLAN



GRAPHIC SCALE IN FEET

DIGGERS HOTLINE
 Dial 800 or (800) 242-8511
 www.DiggersHotline.com

- ### GRADING NOTES
- CONTRACTOR TO VERIFY ALL EXISTING INFORMATION AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
 - ALL EXISTING SPOT GRADE ELEVATIONS AND NEW ELEVATIONS SHALL BE ALIGNED CORNER AND GUTTER POINTS TO FULL LANE ELEVATIONS UNLESS OTHERWISE NOTED.
 - ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE DISTRICT OF COLUMBIA, INCLUDING THE REQUIREMENTS FOR LANDSCAPE AND PARKING AREAS. CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE TO PROPERLY DRAINAGE ACCORDATE TO TO EXISTING SURFACE DRAINAGE.
 - NO EXISTING SLOPE SHALL BE GREATER THAN 3:1 UNLESS OTHERWISE NOTED.
 - MINIMUM SLOPE IN ACCURATE PARKING SPACES AND DRIVEWAYS SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
 - WASH MATERIAL PILES OF GRAVEL OR SAND SHALL BE INSTALLED TO MEET LOCAL REGULATIONS AND SHALL BE INSTALLED WITHIN THE SITE LIMITS.
 - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISTURB ANY UNDERGROUND UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DISTRICT OF COLUMBIA AND THE CITY OF WASHINGTON PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE DISTRICT OF COLUMBIA AND THE CITY OF WASHINGTON PRIOR TO ANY EXCAVATION.

GRADING LEGEND

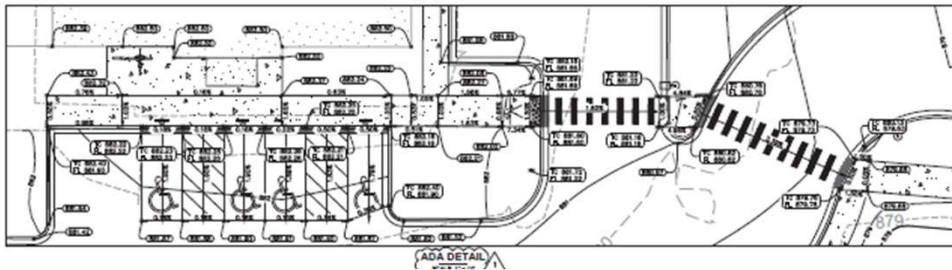
▽	TOP OF FINISHT
□	EDGE OF FINISHT
—	FLN LANE
Y	TOP OF CURB
▲	WATER ELEVATION
■	FIN ELEVATION
▽	FINISHED GRADE
---	PROPOSED CENTER
---	EXISTING CENTER
---	ROCK LINE
---	SLOPE AND RUN DIRECTION
---	100-FOOT OVERLAND OVERFLOW ROUTE
---	PROPOSED BRIDGE
---	INDICATED FUTURE CURB AND GUTTER
---	ADDITIONAL MARK
---	NOT SHOWN (SEE OTHERS)
---	LIMITS OF ESTIMATION

STORMWATER MANAGEMENT NOTES

TOTAL SITE AREA: 10.00 AC
 PERMISSIBLE AREA: 10.00 AC
 PERMISSIBLE IMPERVIOUS COVERAGE: 10.00 AC
 PERMISSIBLE IMPERVIOUS COVERAGE: 10.00 AC

THE PROJECT IS SUBJECT TO THE CITY OF WASHINGTON STORMWATER MANAGEMENT REGULATIONS AS SET FORTH IN CHAPTER 25 OF THE CODE OF REGULATIONS. THE PROJECT IS SUBJECT TO THE CITY OF WASHINGTON STORMWATER MANAGEMENT REGULATIONS AS SET FORTH IN CHAPTER 25 OF THE CODE OF REGULATIONS. THE PROJECT IS SUBJECT TO THE CITY OF WASHINGTON STORMWATER MANAGEMENT REGULATIONS AS SET FORTH IN CHAPTER 25 OF THE CODE OF REGULATIONS.

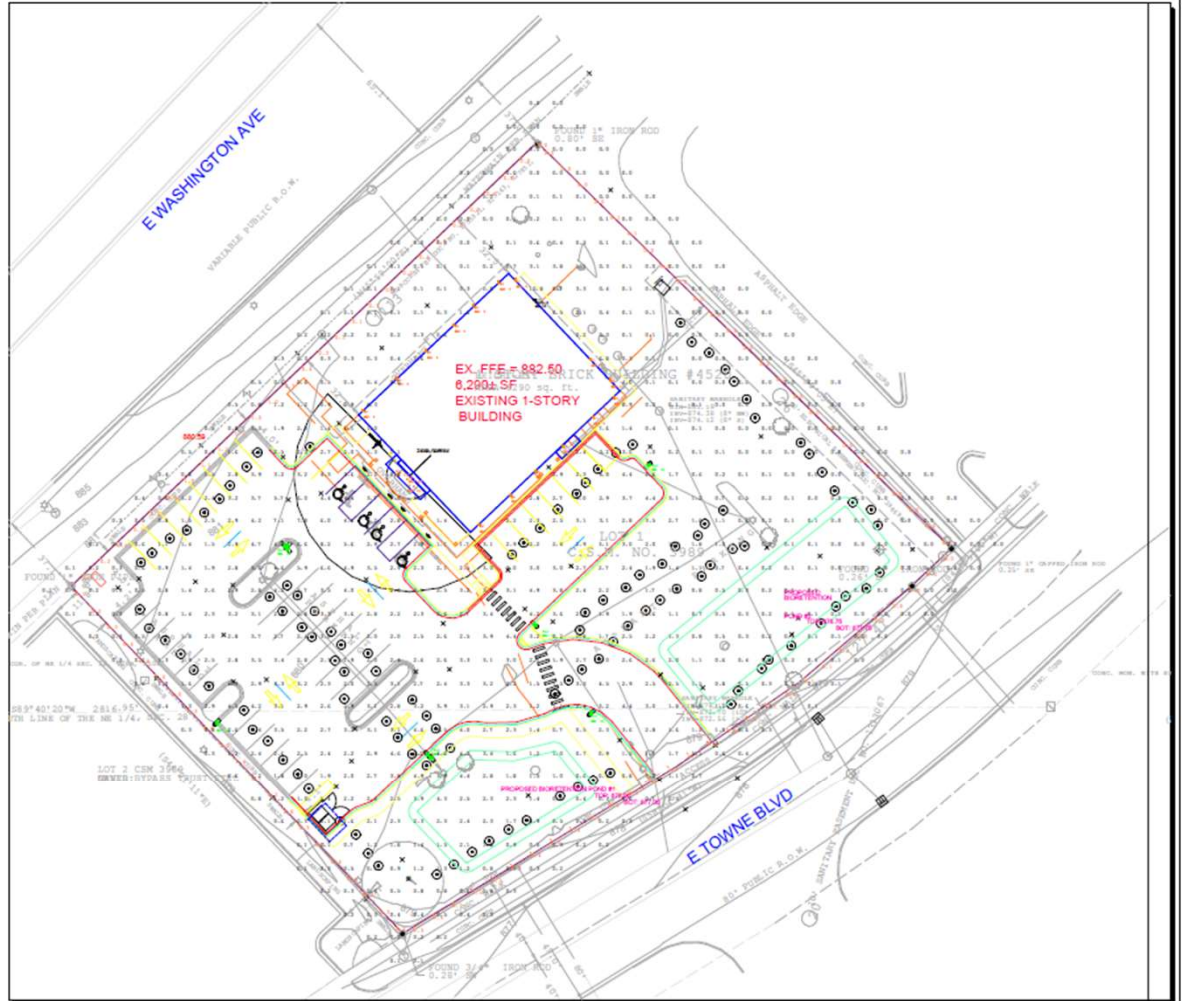
CONSTRUCTION PHASE: 1/18/24
 WASHINGTON PHASE: 1/18/24



PHOTOMETRIC PLAN

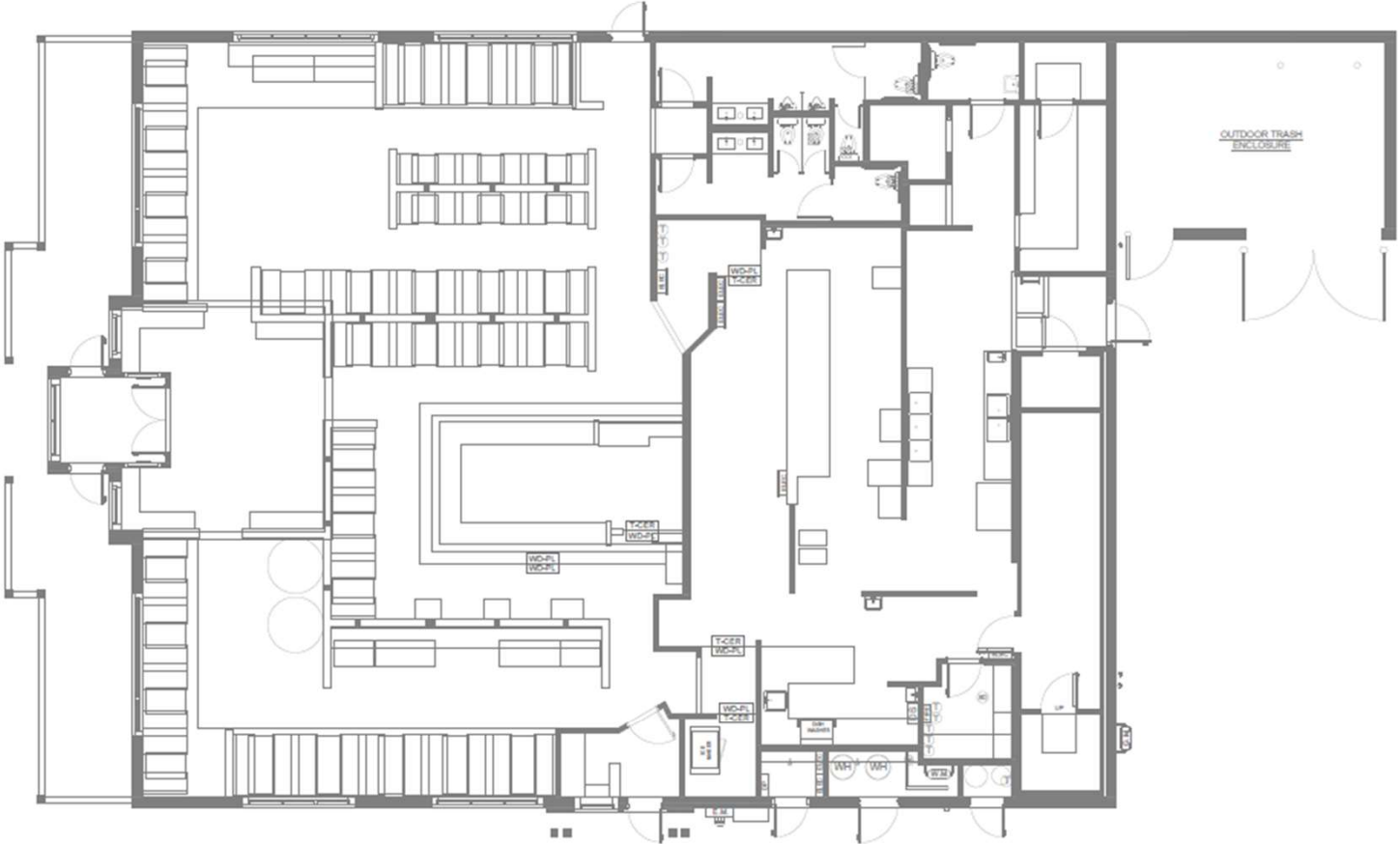
Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
ENTRY 10'	Fc	25.10	32.8	1.4	17.93	44.29
ENTRY 55'	Fc	3.48	45.8	5.0	4.45	43.00
PROPERTY LINE	Fc	5.55	1.4	5.0	N.A.	N.A.
SITE	Fc	1.48	12.7	5.0	N.A.	N.A.

Luminaire Schedule				
Symbol	Label	Qty	Part Number	Description
	S11	4	8AC10FA740-DIMMING-DI-FINISH WITH SHIELD	FULL CUTOFF AREA LIGHT W/SHIELD
	L7	3	14445A7310040	RECESSED DOWN LIGHT
	W1	15	9504-W1-10W-LED1010-W-10-11-10W	WALL MOUNT DOWN LIGHT
	W21-B	1	8T084855-T	WALL MOUNT FULL CUTOFF WALLPACK
	S12	1	8AC10FA740-DIMMING-DI-FINISH	FULL CUTOFF AREA LIGHT
	S13	1	8AC10FA740-DIMMING-DI-FINISH	FULL CUTOFF AREA LIGHT



- DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE LOCAL INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINANCES
- THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.
- THIS LAYOUT IS BASED ON IES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY
- MH IS AN OVERALL MOUNTING HEIGHT.

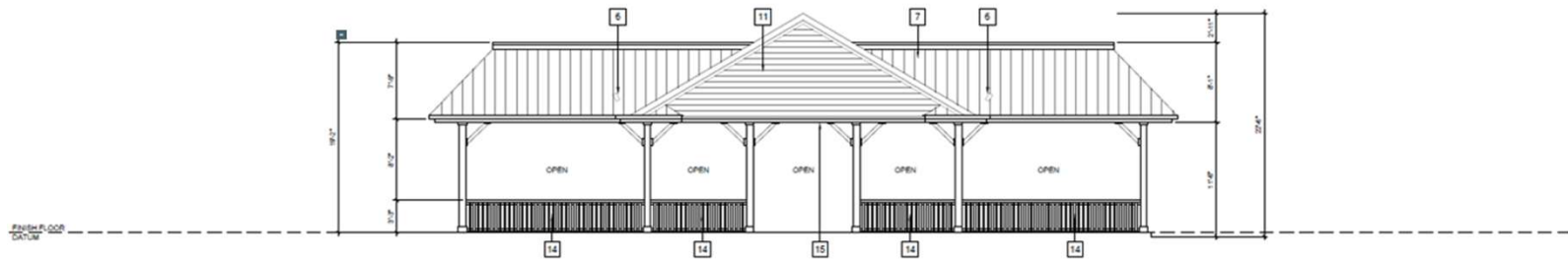
EXISTING FLOOR PLAN



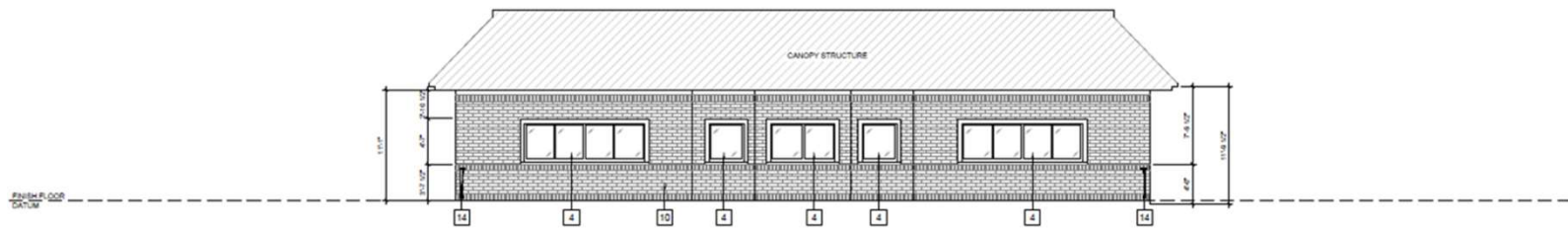
SCALE: 1/4" = 1'

A horizontal scale bar with tick marks at 0, 5, 10, and 15 feet.

EXISTING ELEVATIONS



1A SOUTHWEST ELEVATION
3/16" = 1'-0"

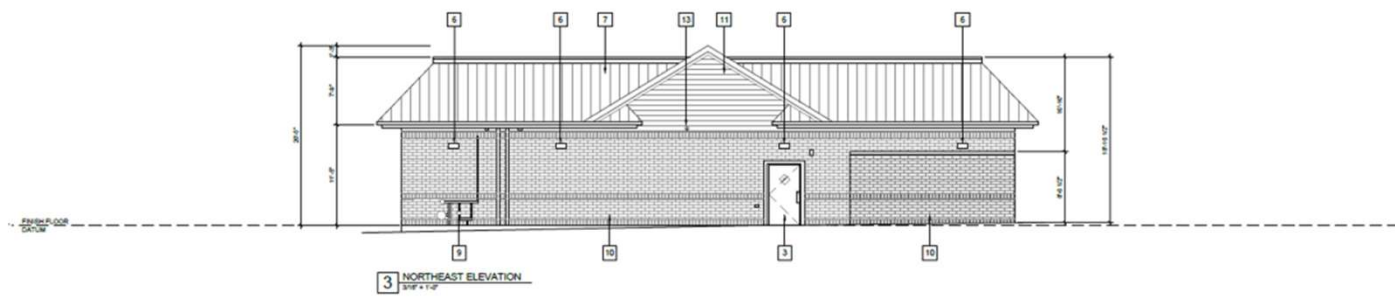
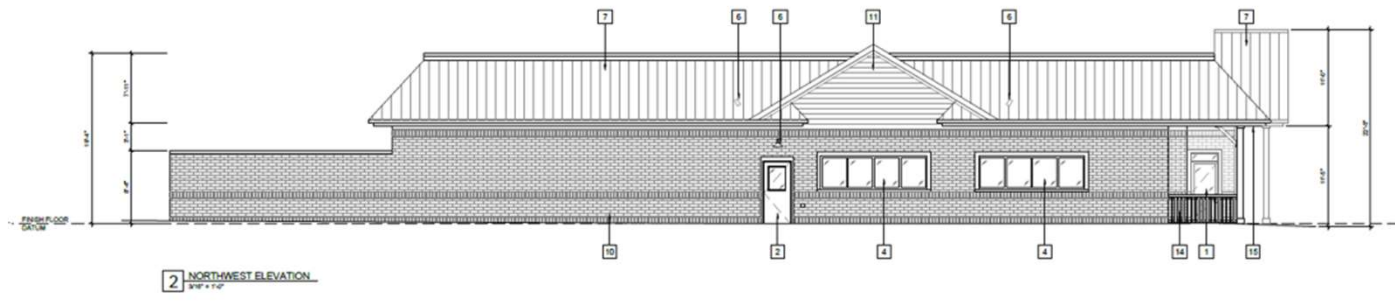


1B SOUTHWEST ELEVATION
3/16" = 1'-0"

- | | | |
|----------------------|-------------------|---------------------|
| 1 ENTRY DOOR | 6 LIGHTING | 11 WOOD SIDING |
| 2 EXIT DOOR | 7 CORRUGATED ROOF | 12 ELECTRICAL METER |
| 3 SERVICE DOOR | 8 DOWNSPOUT | 13 CAMERA |
| 4 WINDOW | 9 GAS METER | 14 RAILING |
| 5 STOREFRONT GLAZING | 10 BRICK | 15 CANOPY |



EXISTING ELEVATIONS



- | | | |
|----------------------|-------------------|---------------------|
| 1 ENTRY DOOR | 4 LIGHTING | 11 WOOD BEAMS |
| 2 EXIT DOOR | 7 CORRUGATED ROOF | 12 ELECTRICAL METER |
| 3 SERVICE DOOR | 8 DOWNPOUT | 13 CAMERA |
| 4 WINDOW | 9 GAS METER | 14 RAILING |
| 5 STOREFRONT GLAZING | 10 BRICK | 15 CANOPY |



ELEVATIONS

PRESENTED TO UDC ON 11/20



NEW PROPOSED ELEVATIONS



NEW PROPOSED CHANGES:

- 2 PARAPET HEIGHTS INSTEAD OF 3.
- TOWER PARAPET HEIGHTS FROM 25'-8" TO 22'-8".
- LOWER PARAPET HEIGHT FROM 18'-5" TO 17'-8".
- NEW TOP EIF'S BAND RESEMBLING TO THE SOLDIER COURSE BAND FOR UNIFORMITY ACROSS THE BUILDIGN DESIGN.
- A THICKER COPPING CAP TO EMPHAZISE THE "BASE-MIDDLE-TOP" ARCHITECTURE.

ELEVATIONS

PRESENTED TO UDC ON 11/20



NEW PROPOSED CHANGES:

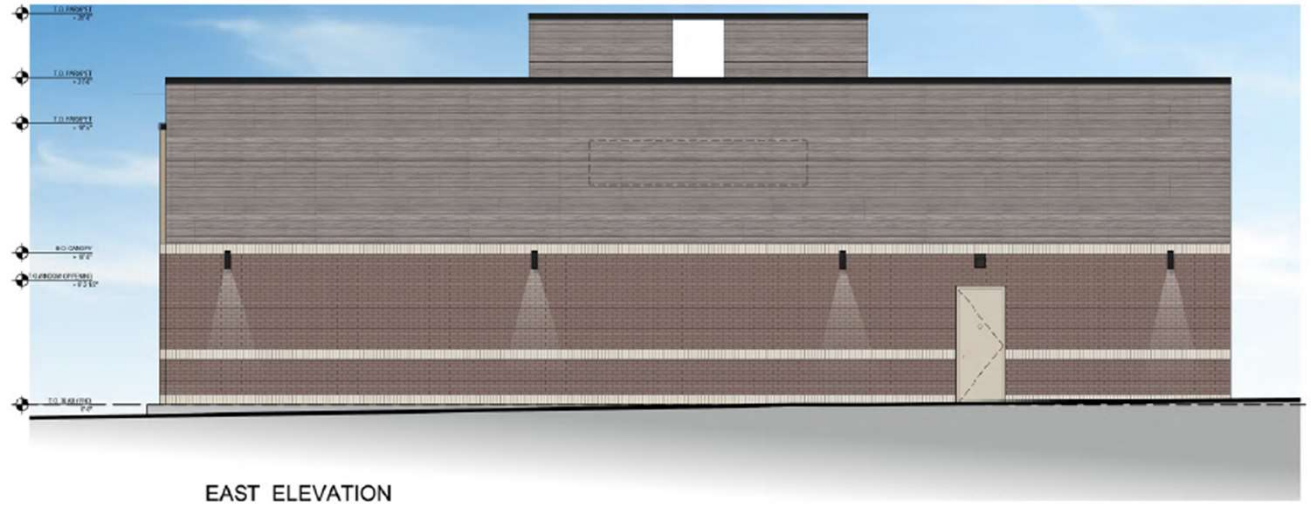
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- LOWER PARAPET HEIGHT FROM 18'-5" TO 17'-8".
- NEW TOP EIF'S BAND RESEMBLING TO THE SOLDIER COURSE BAND FOR UNIFORMITY ACROSS THE BUILDIGN DESIGN.
- A THICKET COPPING CAP TO EMPHAZISE THE "BASE-MIDDLE-TOP" ARCHITECTURE.
- MIRRORRED ENTRY TOWER TO BACK OF HOUSE FAÇADE TO SCREEN PROPOSED VRF EQUIPMENT ON ROOF.
- SCREENIGN AT GRADE TO COVER EXISTING ELECTRIC EQUIPMENT.

NEW PROPOSED ELEVATIONS



ELEVATIONS

PRESENTED TO UDC ON 11/20



EAST ELEVATION

NEW PROPOSED ELEVATIONS



EAST ELEVATION



- NEW PROPOSED CHANGES:**
- 2 PARAPET HEIGHTS INSTEAD OF 3.
 - TOWER PARAPET HEIGHTS FROM 25'-8" TO 22'-8".
 - LOWER PARAPET HEIGHT FROM 18'-5" TO 17'-8".
 - NEW TOP EIF'S BAND RESEMBLING TO THE SOLDIER COURSE BAND FOR UNIFORMITY ACROSS THE BUILDIGN DESIGN.
 - A THICKET COPPING CAP TO EMPHASISE THE "BASE-MIDDLE-TOP" ARCHITECTURE.
 - MIRRORRED ENTRY TOWER TO BACK OF HOUSE FAÇADE TO SCREEN PROPOSED VRF EQUIPMENT ON ROOF.
 - SCREENIGN AT GRADE TO COVER EXISTING ELECTRIC EQUIPMENT.
 - REALIGNMENT OF WALL SCONCES.

ELEVATIONS

PRESENTED TO UDC ON 11/20



NEW PROPOSED CHANGES:

- 2 PARAPET HEIGHTS INSTEAD OF 3.
- TOWER PARAPET HEIGHTS FROM 25'-8" TO 22'-8".
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- NEW TOP EIF'S BAND RESEMBLING TO THE SOLDIER COURSE BAND FOR UNIFORMITY ACROSS THE BUILDIGN DESIGN.
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NEW PROPOSED ELEVATIONS



PROPOSED ELEVATIONS



TRASH ENCLOSURE



BRICK
COLOR: TO MATCH EXISTING



DOORS
COLOR: ACCESSIBLE BEIGE
SW 7036



CAST STONE
COLOR: MILESTONE



NORTH LANDSCAPE ELEVATION

UDC COMMENT: Minimize/screen the blank walls on the south and north elevations, including landscape and architectural design elements.

RESPONSE: The concern has been addressed with a “Base-Middle-Top” design, and combination of two different parapet heights. To screen the mechanical equipment at the roof, the entry tower volume has been mirrored to the back of house façade (east façade) providing symmetry and breaking the monotony of the cladding materials on the back façade which is visible from E Washington Ave. In addition, new landscaping has been added to provide a better screening and a dynamic visual with the textures of the landscaping against the cladding.

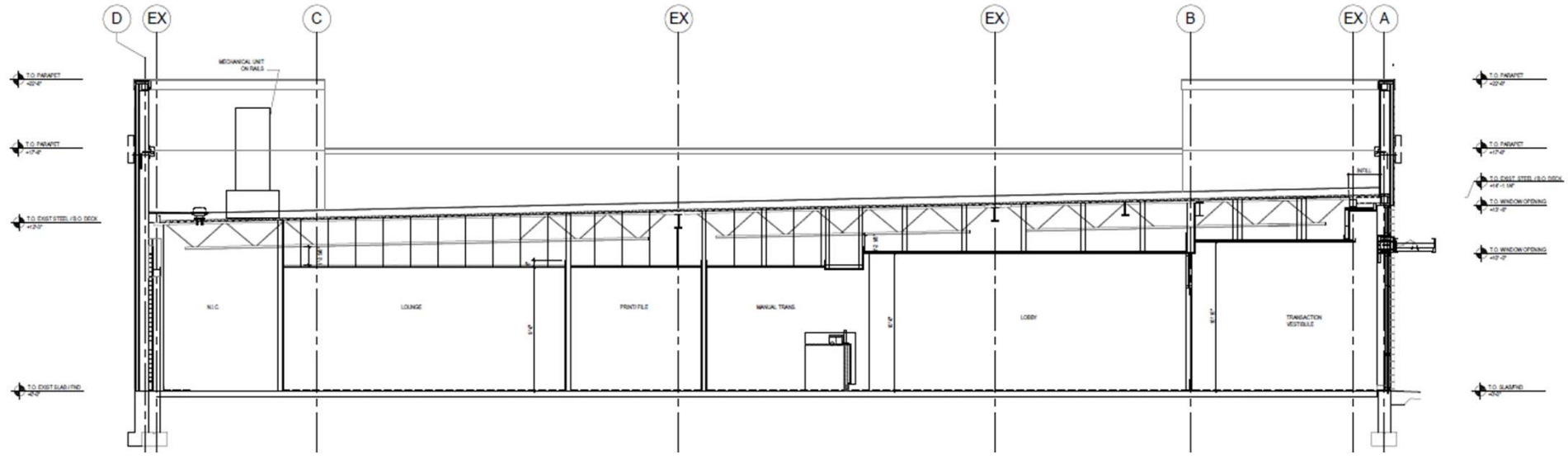


SOUTH LANDSCAPE ELEVATION

UDC COMMENT: Minimize/screen the blank walls on the south and north elevations, including landscape and architectural design elements.

RESPONSE: The concern has been addressed with a “Base-Middle-Top” design, a combination two different parapet heights. To screen the mechanical equipment at the roof, the entry tower volume has been mirrored to the back of house façade (east façade) providing symmetry and breaking the monotony of the cladding materials on the back façade which is visible from E Washington Ave. In addition, new landscaping has been added to provide a better screening and a dynamic visual with the textures of the landscaping against the cladding.

BUILDING SECTION



PROPOSED ROOF PLAN

