

1 ENLARGED SITE PLAN
SCALE: 1/8" = 1'-0"

3100 EAST WASHINGTON

SITE PLAN EXHIBIT
SCALE: 1/8" = 1'-0"

Engberg Anderson Project No. 233606.00

MADISON - 3100 EAST WASHINGTON DEVELOPMENT DATA

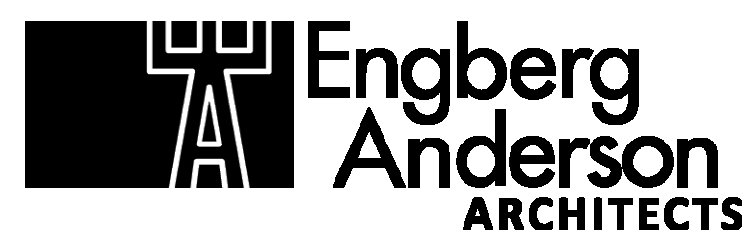
UNIT TOTALS (UNIT MIX 44.8% 1-BD & 55.2% 2-BD)						PROJECT GROSS SQUARE FOOTAGES	
	STUDIO	1BR	2BR	3BR	TOTAL		
1ST FL	0	14	17	0	31	BLDG 01	GSF / FLOOR
2ND FL	0	18	22	0	40	LL	43,374
3RD FL	0	18	22	0	40	1ST FL	42,365
4TH FL	0	18	22	0	40	2ND FL	42,291
5TH FL	0	18	23	0	41	3RD FL	42,291
SUBTOTAL	0	86	106	0		4TH FL	42,291
TOTAL					192	5TH FL	42,291
PARKING TOTALS (UNIT TO STALL RATIO 1:0.74)						BIKE PARKING	
LOWER LEVEL			89				192
SURFACE			53				26 GUEST SPACES
TOTAL			142				

GENERAL NOTES - ZONING

STANDARD	REQUIRED (MIN.)	PROVIDED	NOTES
AUTOMOBILE PARKING	NO MINIMUM REQ. PER ZONING	89 (LOWER LEVEL) 53 (SURFACE)	
BIKE PARKING	1 PER BEDROOM (UP TO 280) + 1 GUEST SPACE PER 10 UNITS	192 LONG TERM 26 GUEST	
ELECTRIC VEHICLE CHARGING STATIONS	EV READY SPACES: 10% EV INSTALLED SPACES: 2%	14 EV READY 3 EV INSTALLED	TOTAL PARKING SPACES: 17 1 EV INSTALLED SPACE TO BE ACCESSIBLE
BIRD SAFE GLASS	CHAPTER 28, SUBCHAPTER 28.1 28.129	ALL GLAZING PANELS ARE UNDER 50 SQ FT (THRESHOLD FOR BIRD-SAFE GLASS)	

GENERAL NOTES - ZONING

STANDARD	REQUIRED (MIN.)	PROVIDED	NOTES
LOT AREA	500 SQ. FT./ UNIT	501 SQ. FT./ UNIT	PER CCT DISTRICT
LOT WIDTH	40 FT.	132.54 FT. (WIDTH)	190.87 LENGTH
FRONT YARD SETBACK	0' (CCT DISTRICT) 30% OF FACADE @ 20 FT. (TOD)	18' (E. WASHINGTON) 0' (30% OF E. WASH & MELVIN)	MAJORITY OF E. WASHINGTON IS 18' FROM PROPERTY LINE. PROPERTY LINE IS >15' FROM STREET
SIDE YARD SETBACK	10 FT.	10'-0"	ABERG RAMP & ADJACENT RESIDENTIAL LOTS
REAR YARD SETBACK	20 FT	20'-0"	RIDGEWAY AVENUE
MAXIMUM LOT COVERAGE	85% (MAX.)	44%	
MINIMUM HEIGHT	2 STORIES	5 STORIES	PER TOD
MAXIMUM HEIGHT	5 STORIES	5 STORIES	PER CCT
STEPBACKS	N/A	N/A	
USABLE OPEN SPACE	PER TOD: USABLE OPEN SPACE IS NOT REQUIRED PER CCT: 40 SF/UNIT (40'x192= 7,680 SF)	GRADE LEVEL >9500 SQ FT	192 UNITS



MILWAUKEE | MADISON | TUCSON | CHICAGO

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:

LAND USE APPLICATION 08/07/23

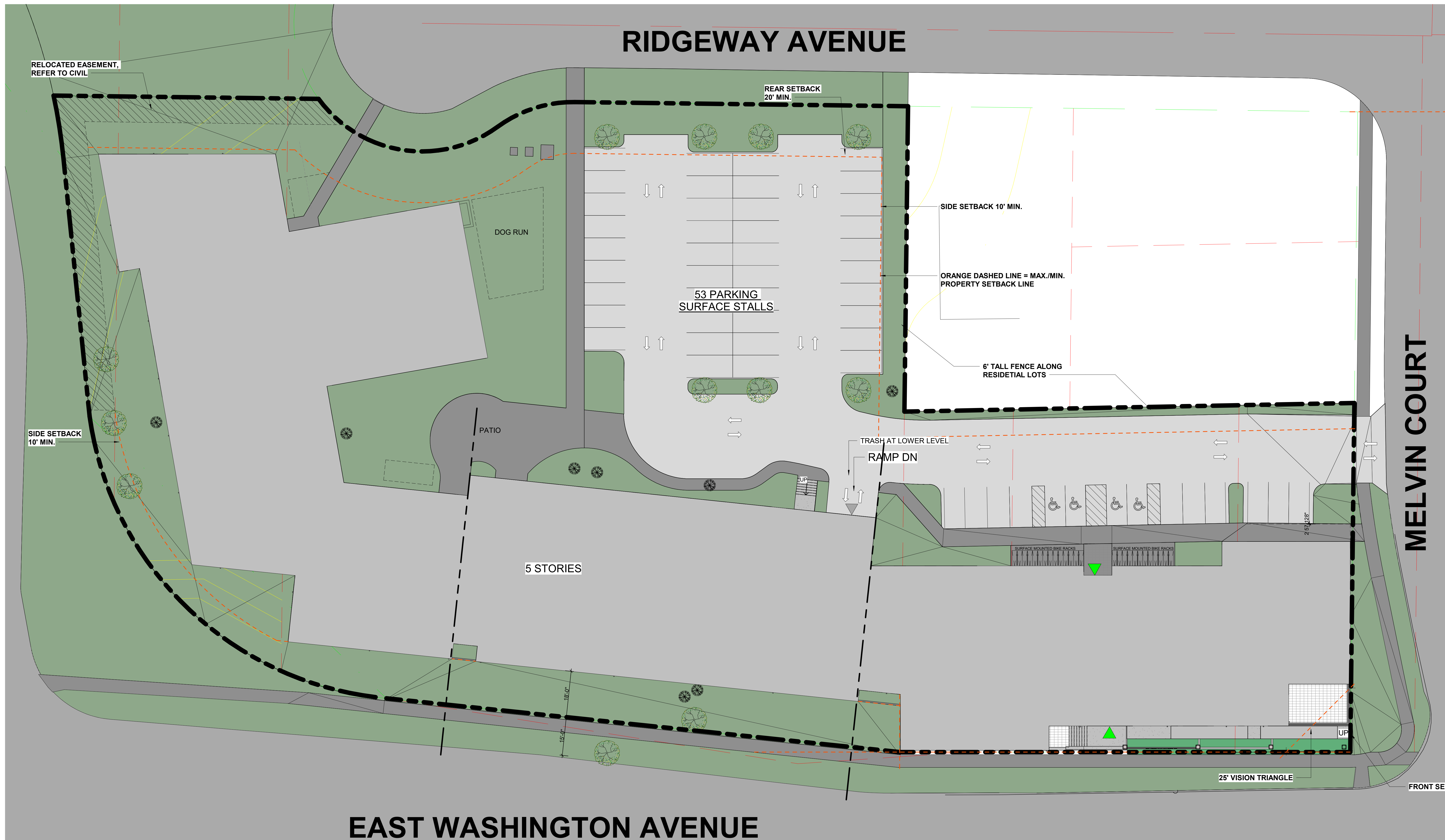
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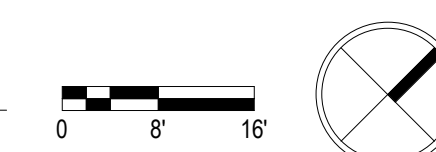
ARCHITECTURAL SITE PLAN



EAST WASHINGTON AVENUE

MELVIN COURT

RIDGEWAY AVENUE



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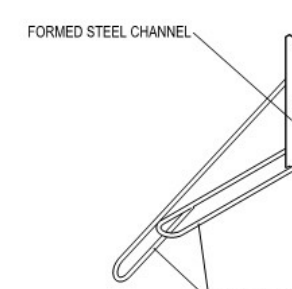
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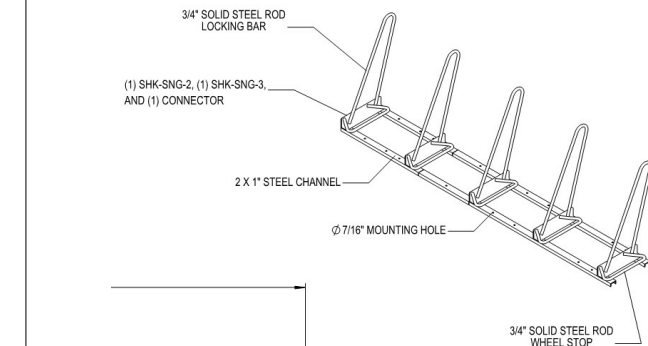
LOWER LEVEL PLAN

UNDERGROUND BIKE RACK INFO

1. WALL MOUNT VERTICAL BIKE RACK. POWDER COATED STEEL. BASIS OF DESIGN: MADRAX BSV-1-WM
2. FLOOR MOUNT BIKE RACK. POWDER COATED STEEL. BASIS OF DESIGN: MADRAX SHARK-UP BIKE RACK

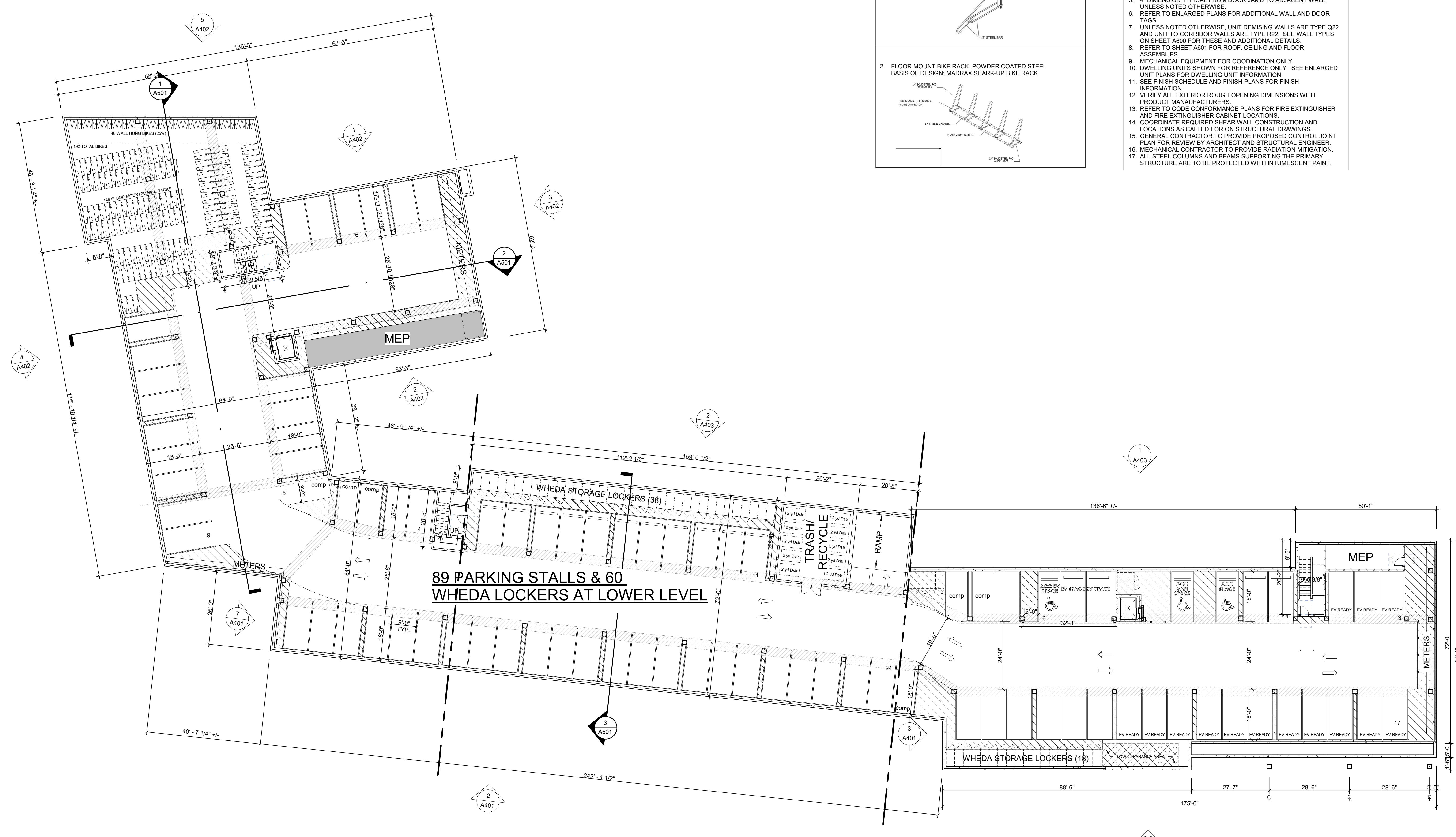


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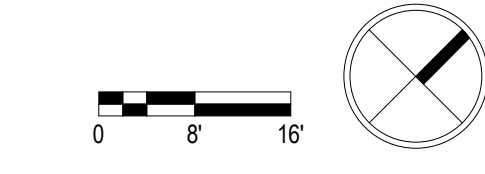


GENERAL NOTES - FLOOR PLANS

1. 887'-0" CIVIL = 100'-0" ARCHITECTURAL
2. DIMENSIONS AT BUILDING EXTERIOR MASONRY VENEER ARE TO EXTERIOR FACE OF MASONRY.
3. DIMENSIONS AT BUILDING EXTERIOR NON-MASONRY VENEER ARE TO EXTERIOR FACE OF SHEATHING.
4. DIMENSIONS AT BUILDING INTERIOR ARE TO NOMINAL FACE OF FINISHED GYPSUM BOARD UNLESS OTHERWISE NOTED.
5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL, UNLESS NOTED OTHERWISE.
6. REFER TO ENLARGED PLANS FOR ADDITIONAL WALL AND DOOR TAGS.
7. UNLESS NOTED OTHERWISE, UNIT DEMISING WALLS ARE TYPE Q22 AND UNIT TO CORRIDOR WALLS ARE TYPE R22. SEE WALL TYPES ON SHEET A600 FOR THESE AND ADDITIONAL DETAILS.
8. REFER TO SHEET A601 FOR ROOF, CEILING AND FLOOR ASSEMBLIES.
9. MECHANICAL EQUIPMENT FOR COORDINATION ONLY.
10. DWELLING UNITS SHOWN FOR REFERENCE ONLY. SEE ENLARGED UNIT PLANS FOR DWELLING UNIT INFORMATION.
11. SEE FINISH SCHEDULE AND FINISH PLANS FOR FINISH INFORMATION.
12. VERIFY ALL EXTERIOR ROUGH OPENING DIMENSIONS WITH PRODUCT MANUFACTURERS.
13. REFER TO CODE CONFORMANCE PLANS FOR FIRE EXTINGUISHER AND FIRE EXTINGUISHER CABINET LOCATIONS.
14. COORDINATE REQUIRED SHEAR WALL CONSTRUCTION AND LOCATIONS AS CALLED FOR ON STRUCTURAL DRAWINGS.
15. GENERAL CONTRACTOR TO PROVIDE PROPOSED CONTROL JOINT PLAN FOR REVIEW BY ARCHITECT AND STRUCTURAL ENGINEER.
16. MECHANICAL CONTRACTOR TO PROVIDE RADIATION MITIGATION.
17. ALL STEEL COLUMNS AND BEAMS SUPPORTING THE PRIMARY STRUCTURE ARE TO BE PROTECTED WITH INTUMESCENT PAINT.



1 LOWER LEVEL PLAN
SCALE: 1/16" = 1'-0"



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LAND USE APPLICATION		08/07/23
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1 LEVEL ONE
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FIRST FLOOR PLAN

GENERAL NOTES - FLOOR PLANS

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5. 4" DIMENSION TYPICAL FROM DOOR JAMB TO ADJACENT WALL, UNLESS NOTED OTHERWISE.
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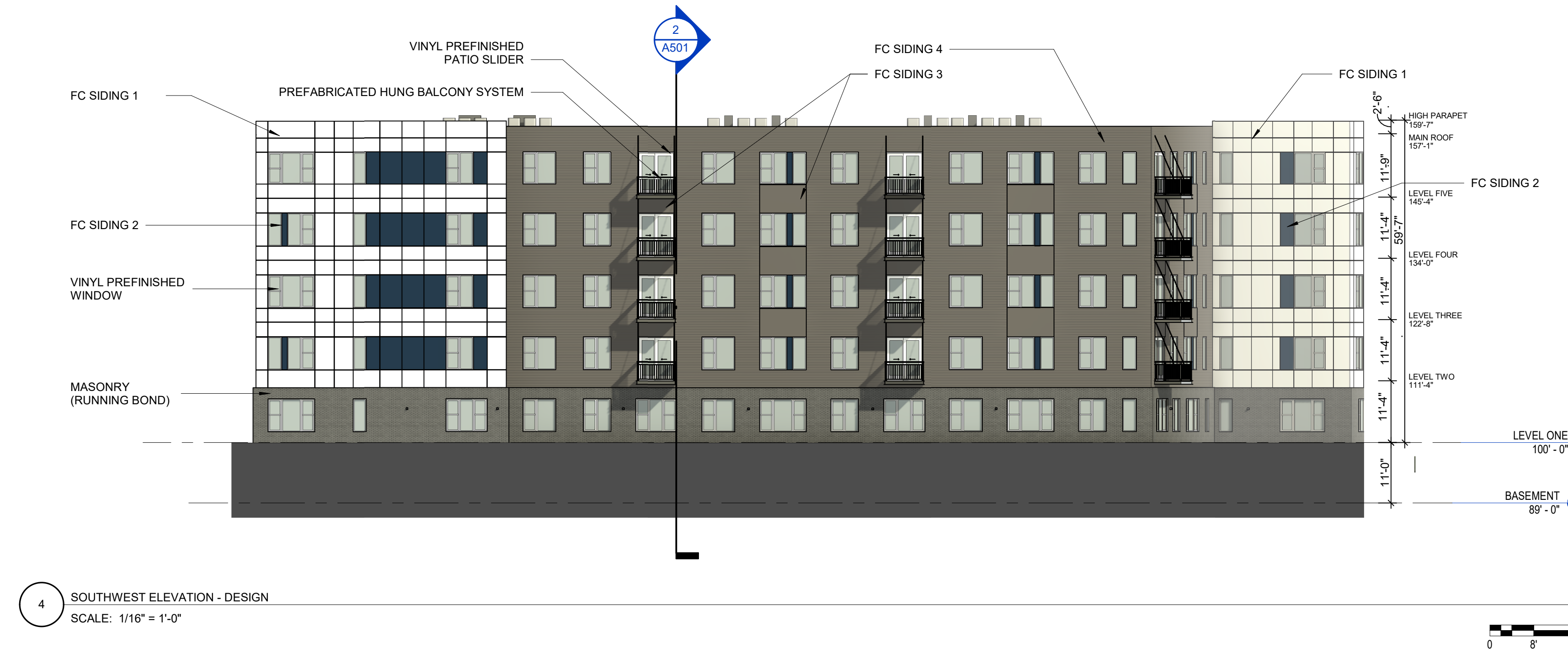
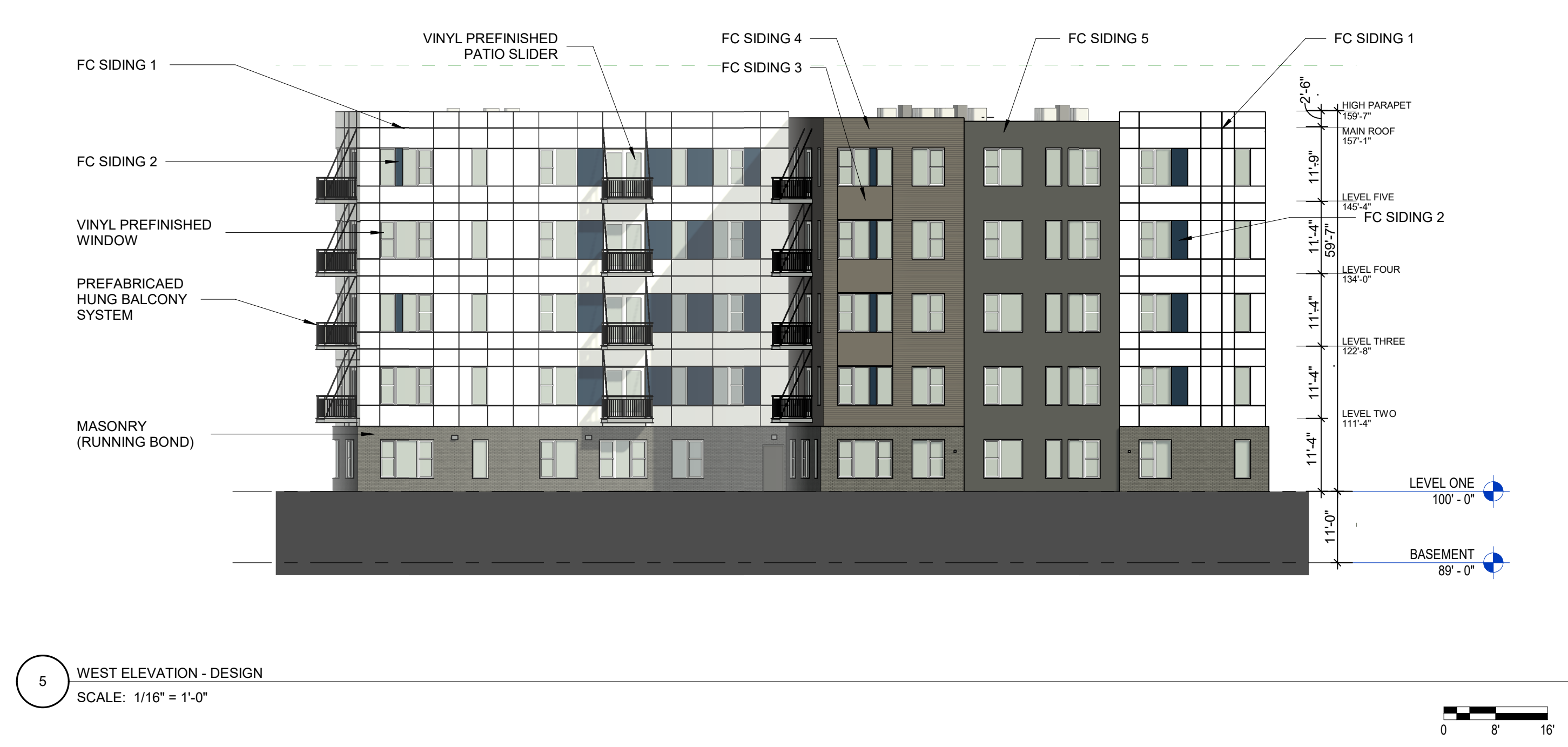
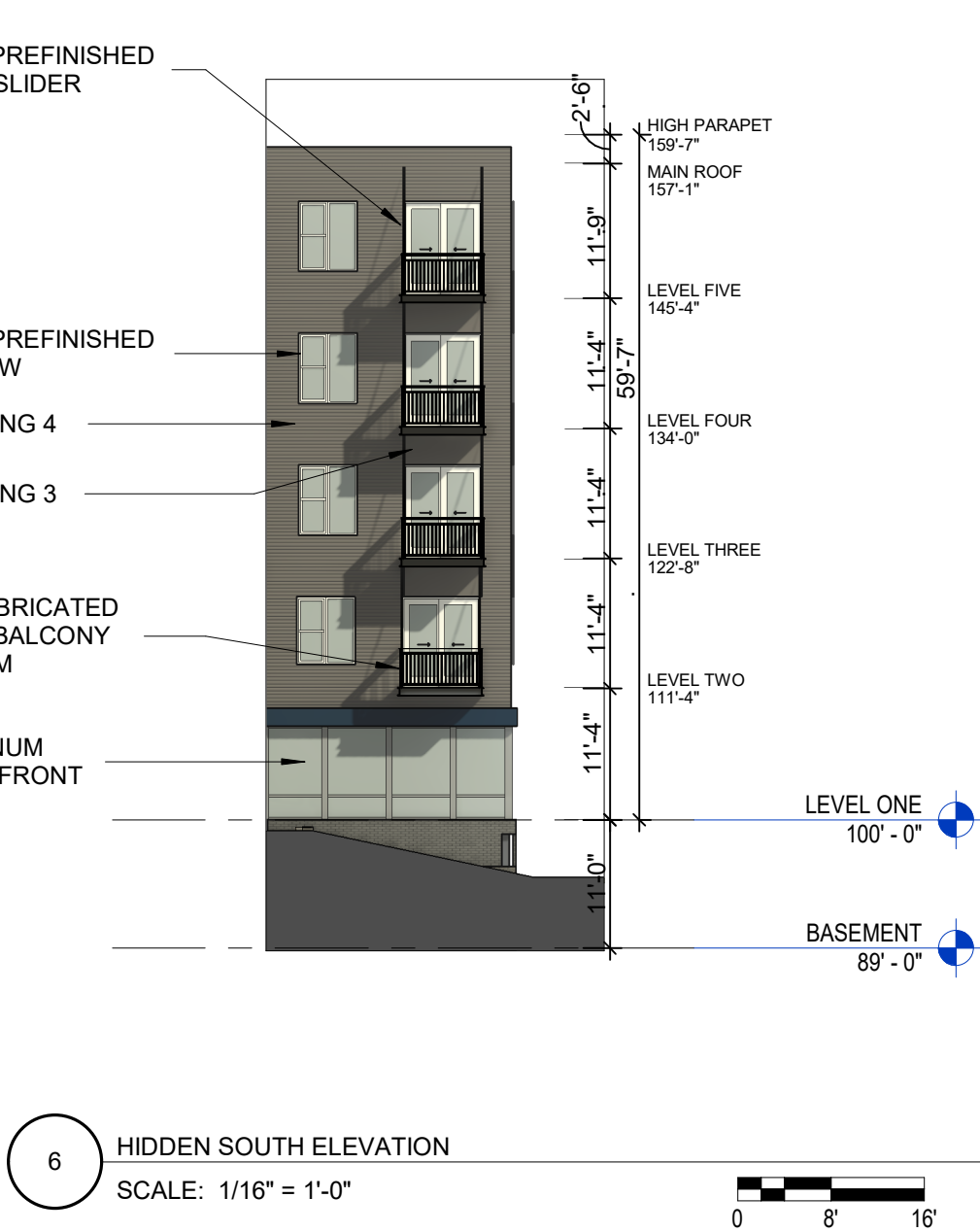
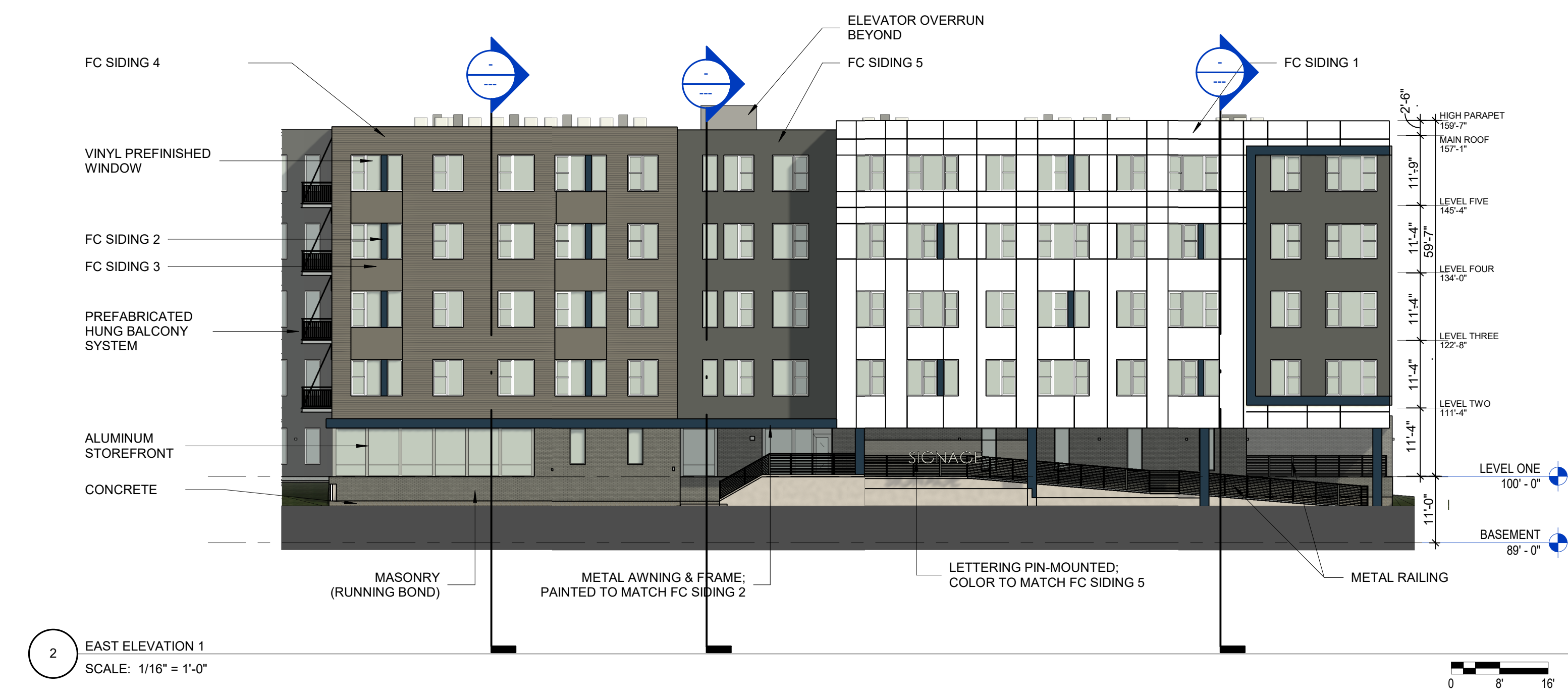
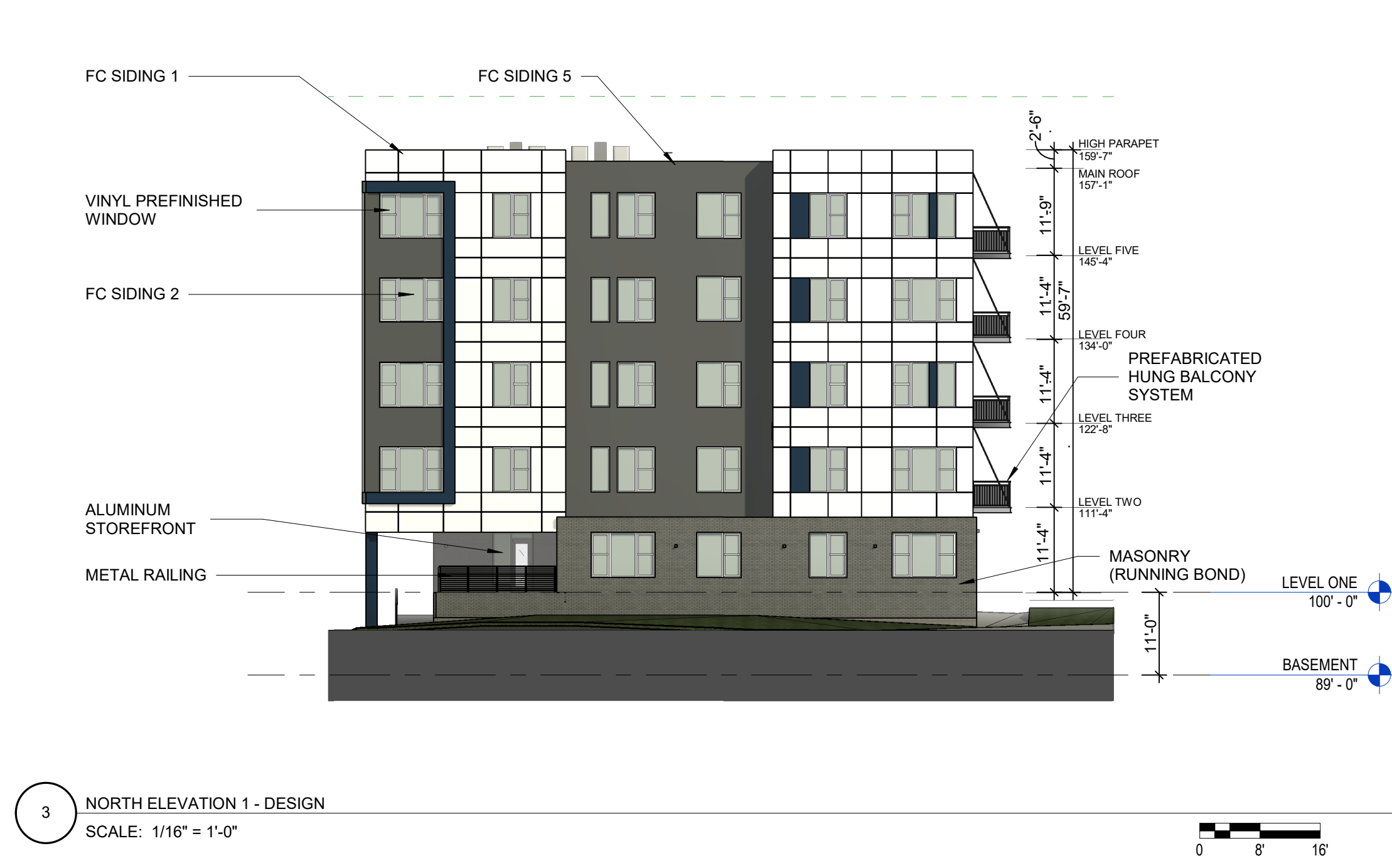
TYPICAL FLOOR PLAN



1 LEVEL TWO
SCALE: 1/16" = 1'-0"

MATERIAL LEGEND

- WINDOWS:** BOD: PREFINISHED VINYL (WHITE)
- MASONRY:** DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN
- FC SIDING 1:** FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR)
- FC SIDING 2:** FIBER CEMENT FLAT PANEL SIDING (ACCENT COLOR)
- FC SIDING 3:** FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR)
- FC SIDING 4:** FIBER CEMENT PLANK LAP SIDING (PEWTER COLOR)
- FC SIDING 5:** FIBER CEMENT PLANK LAP SIDING (NIGHT GREY COLOR)



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BUILDING ELEVATIONS

MATERIAL LEGEND

- WINDOWS:** 800: PREFINISHED VINYL (WHITE)
- MASONRY:** DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN
- FC SIDING 1:** FIBER CEMENT FLAT PANEL WITH REVEALS (WHITE COLOR)
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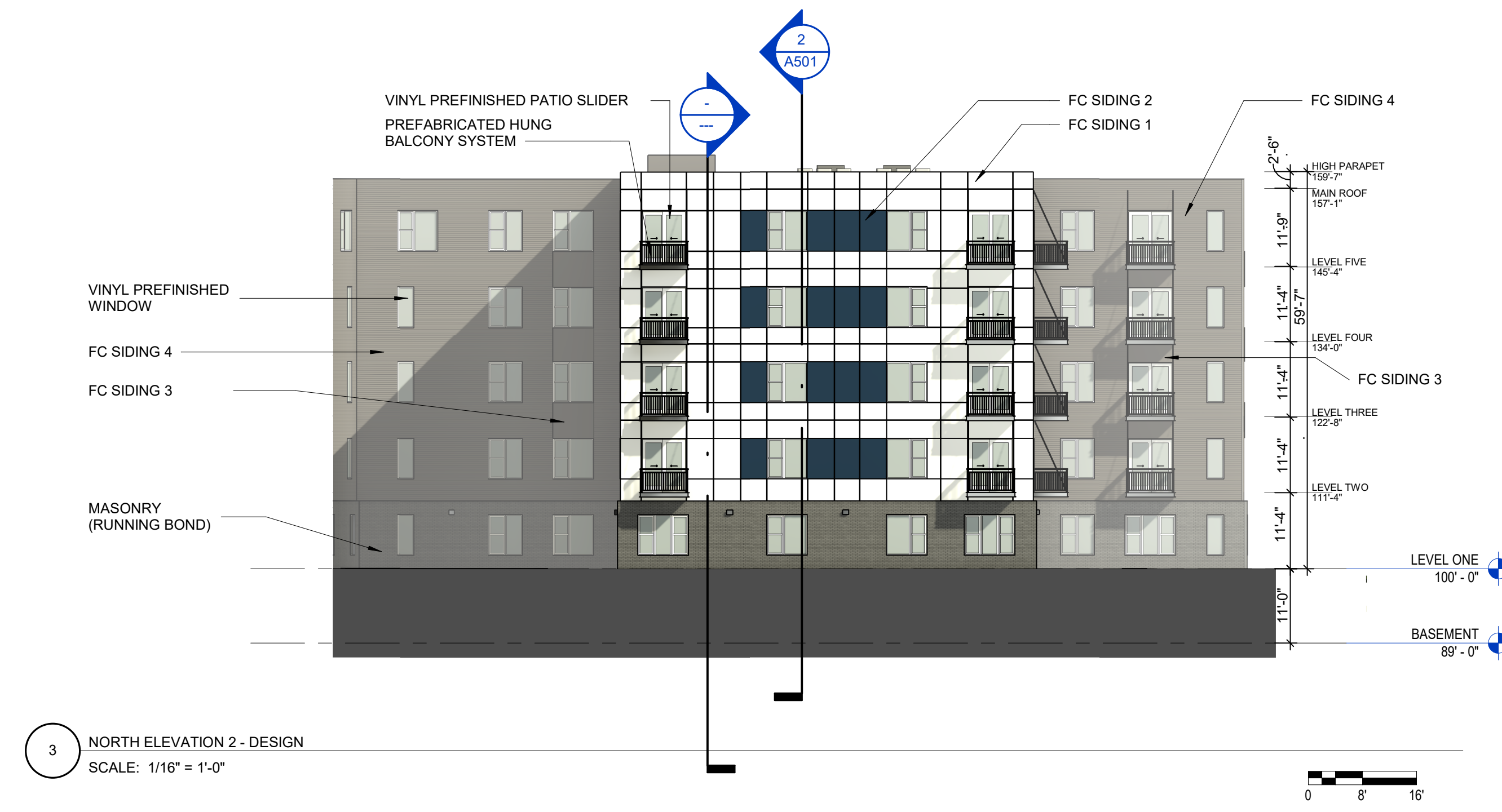
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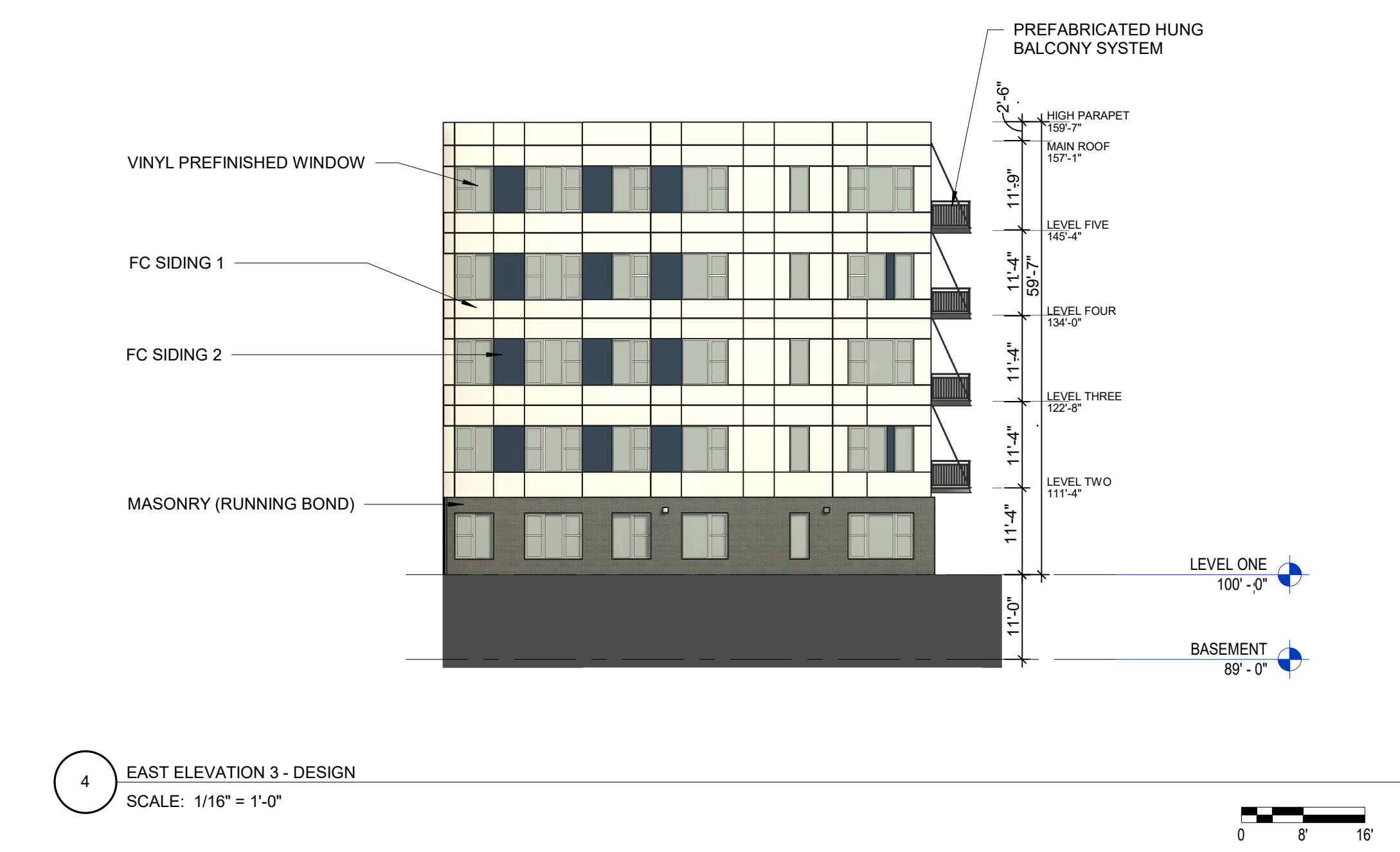
1 WEST ELEVATION INSET 1 - DESIGN
SCALE: 1/16" = 1'-0"



2 WEST ELEVATION INSET 2 - DESIGN
SCALE: 1/16" = 1'-0"



3 NORTH ELEVATION 2 - DESIGN
SCALE: 1/16" = 1'-0"



4 EAST ELEVATION 3 - DESIGN
SCALE: 1/16" = 1'-0"

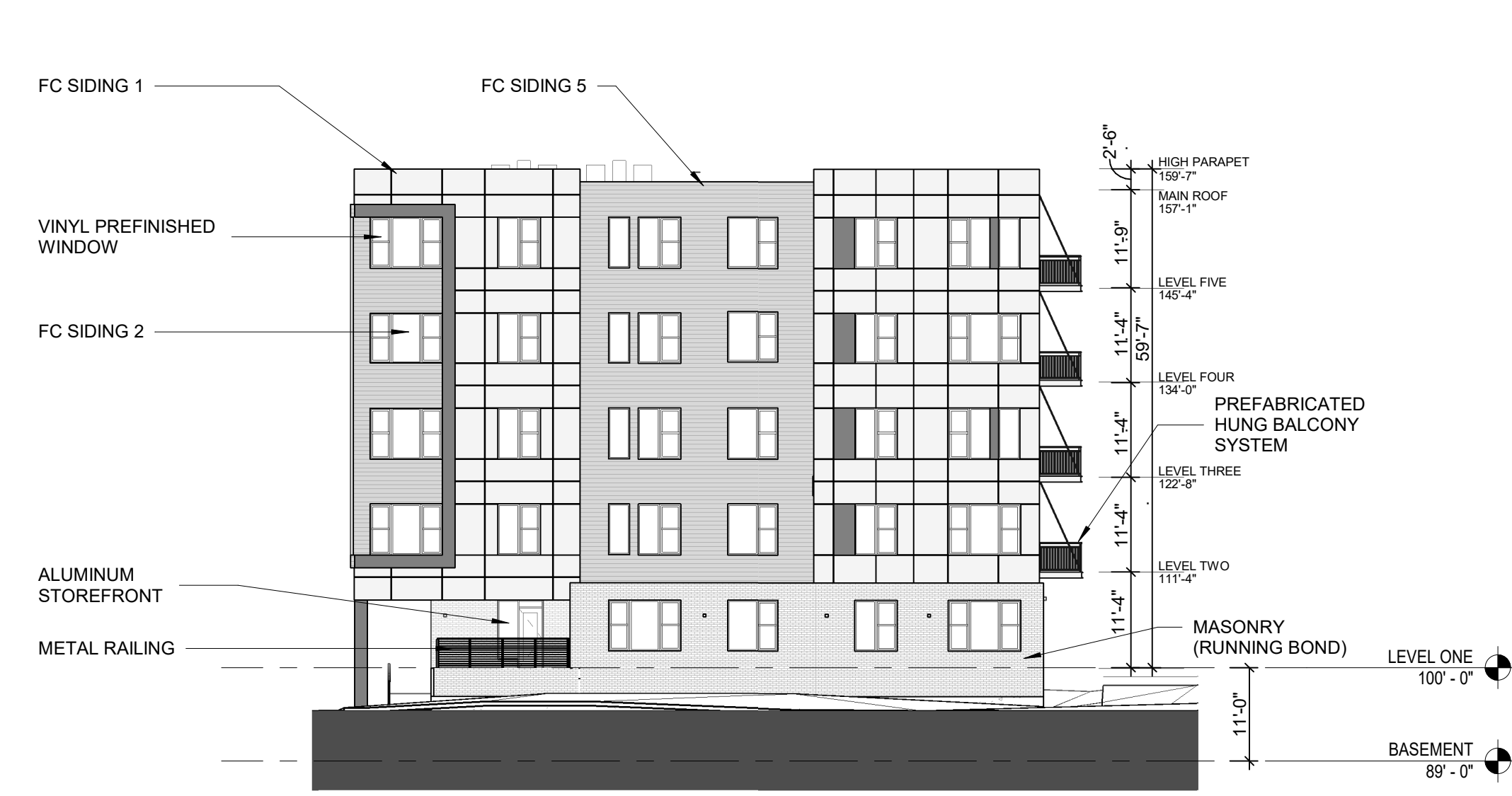
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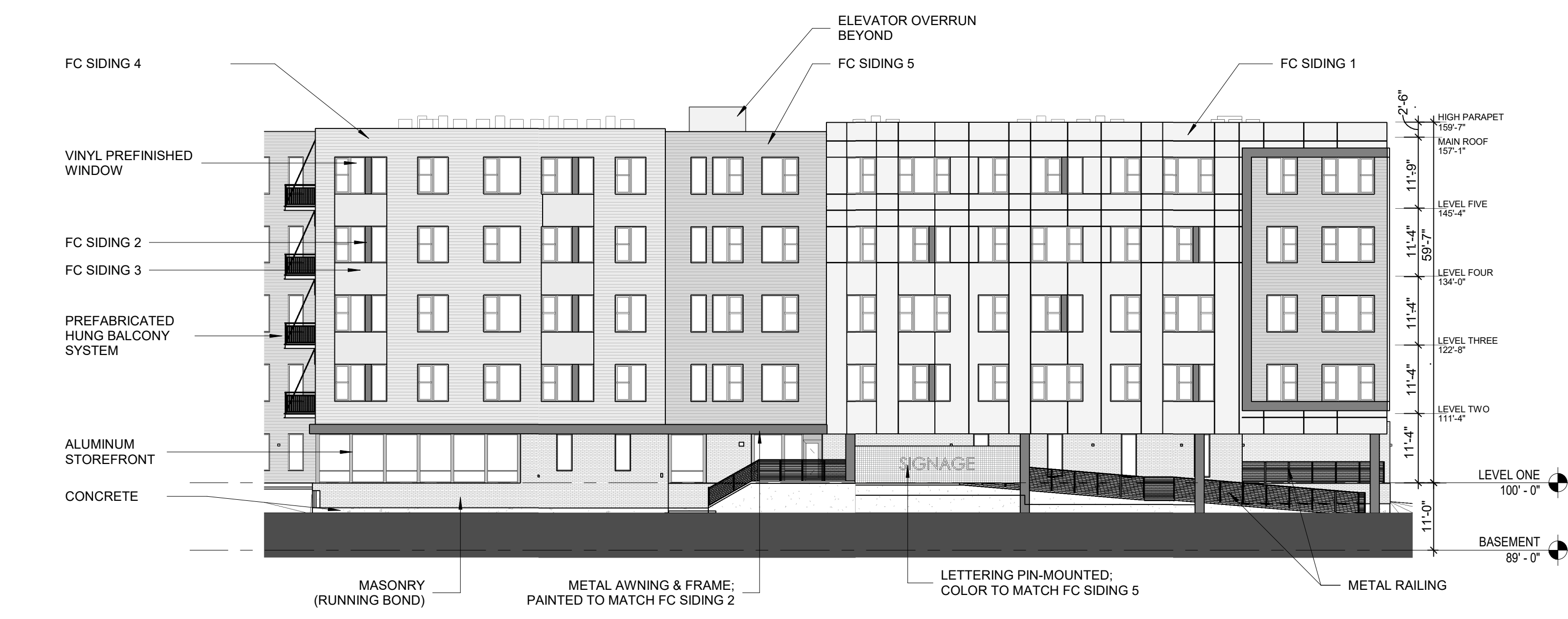
BUILDING ELEVATIONS

MATERIAL LEGEND

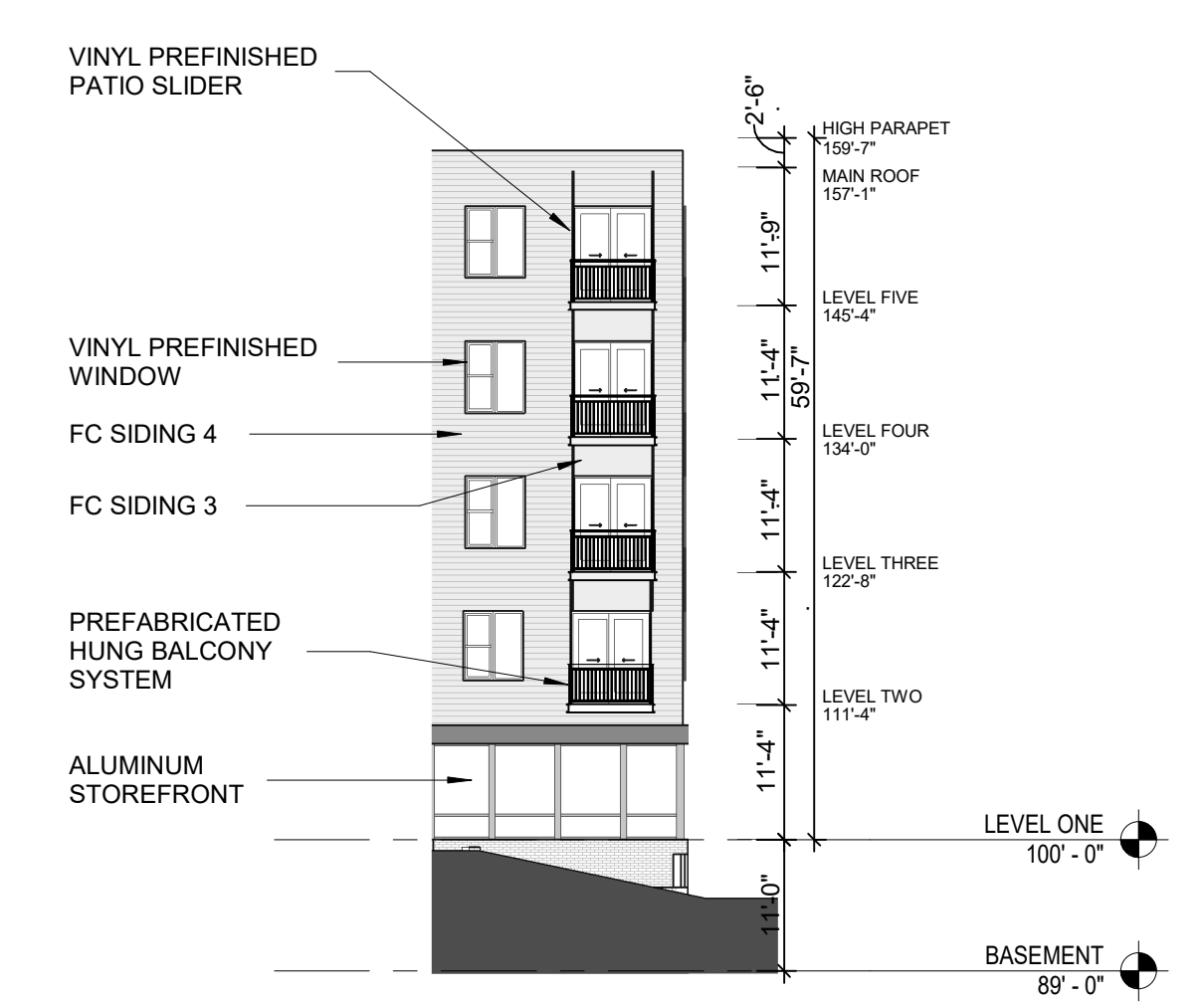
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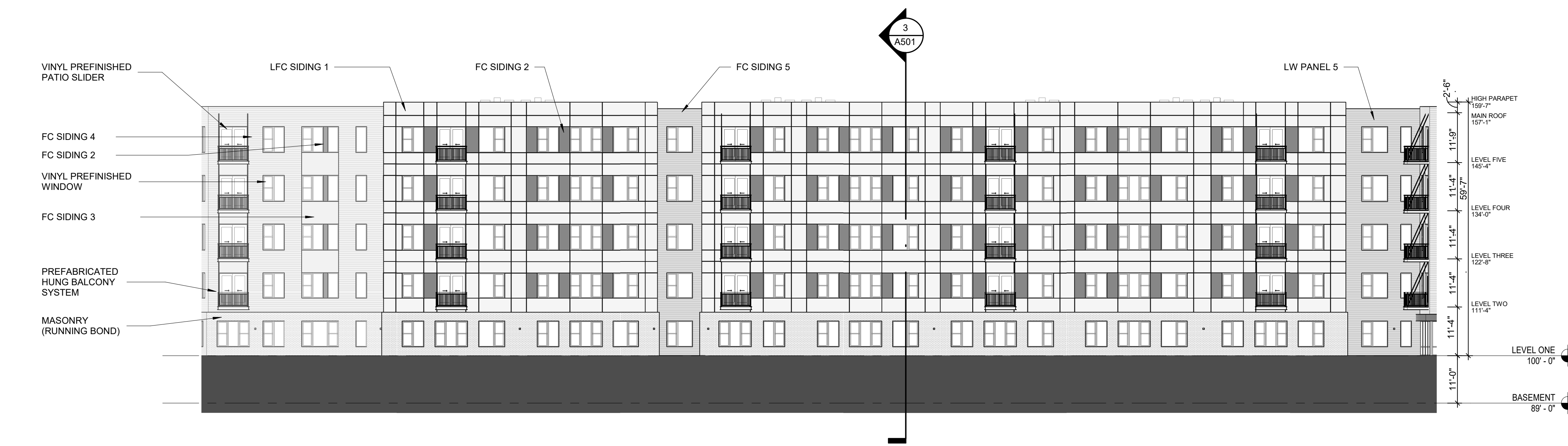
3 NORTH ELEVATION 1 - DESIGN
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2 EAST ELEVATION 1
SCALE: 1/16" = 1'-0"



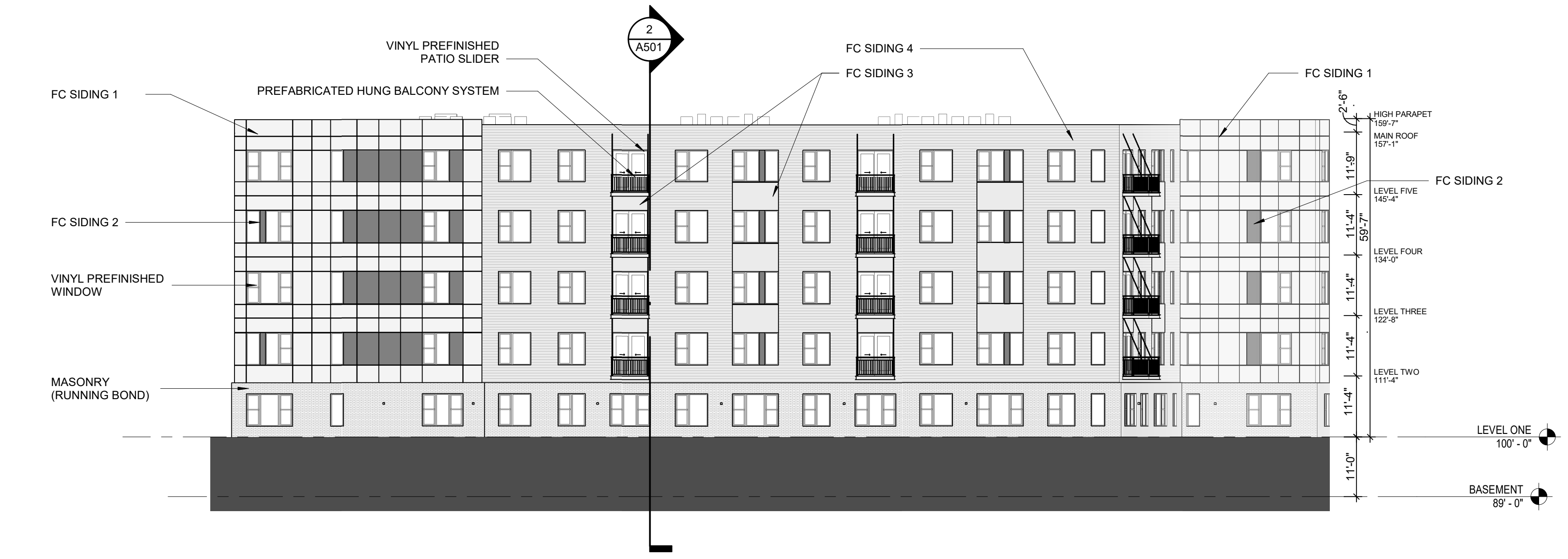
6 HIDDEN SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



1 EAST ELEVATION 1 - DESIGN
SCALE: 1/16" = 1'-0"



5 WEST ELEVATION - DESIGN
SCALE: 1/16" = 1'-0"



4 SOUTHWEST ELEVATION - DESIGN
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BUILDING ELEVATIONS

MATERIAL LEGEND

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- MASONRY:** DESIGNER CONCRETE BRICK, RUNNING BOND PATTERN
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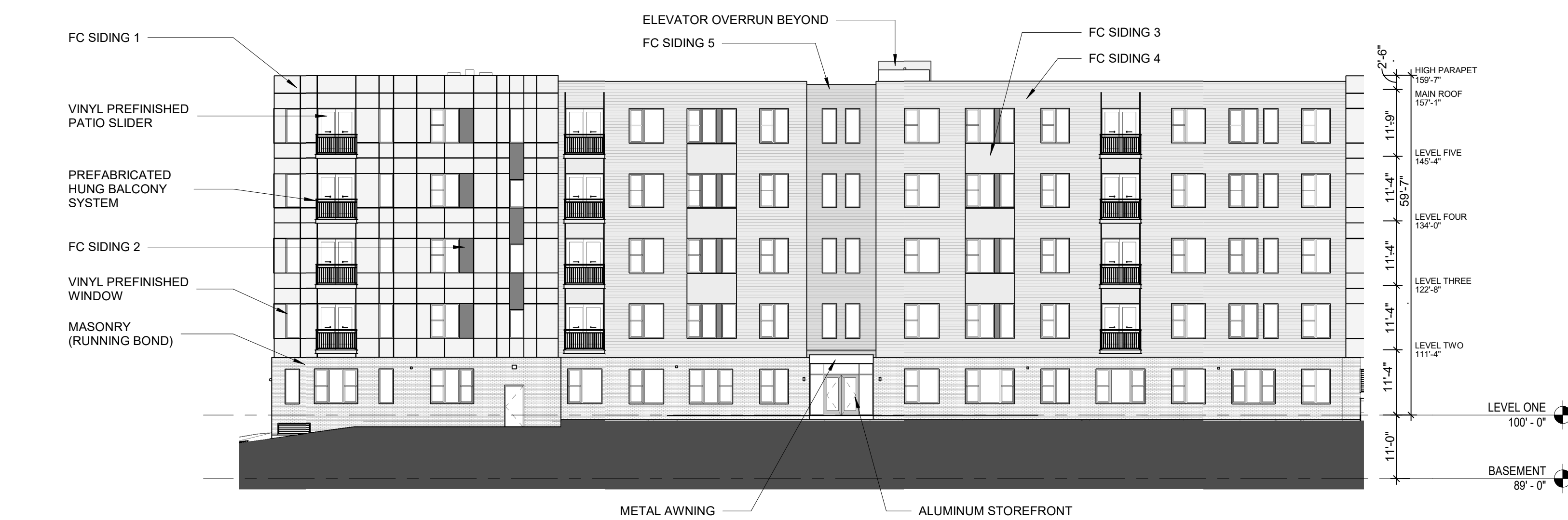
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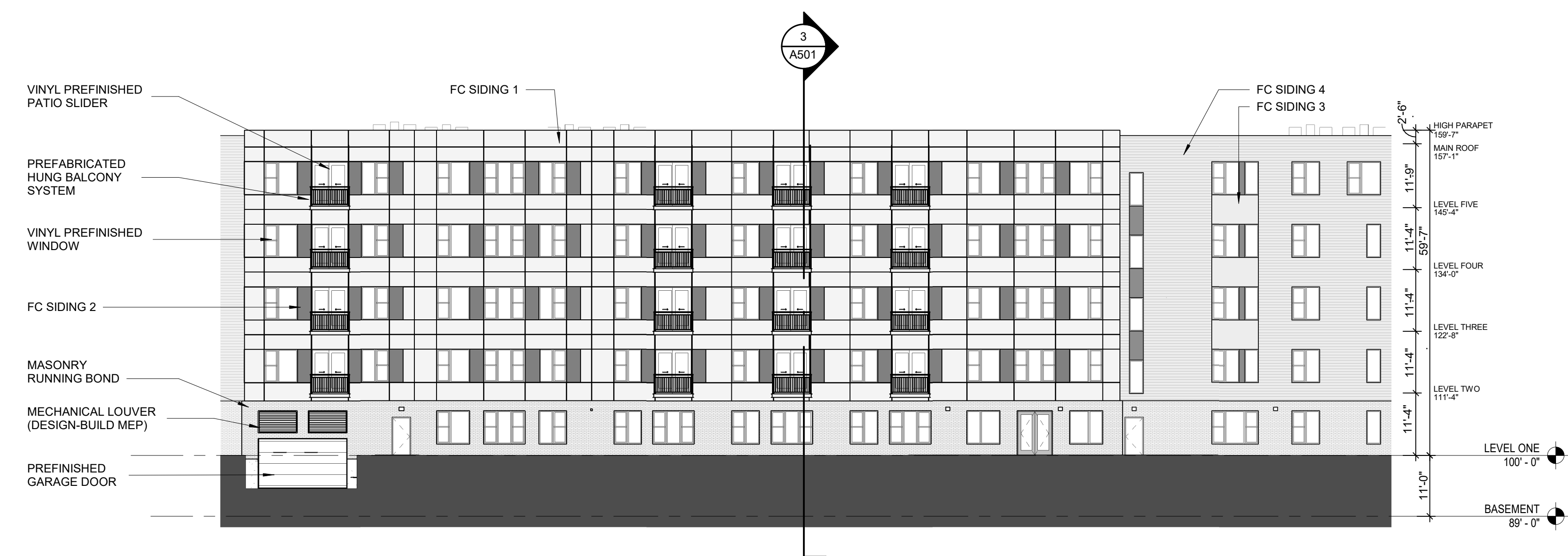
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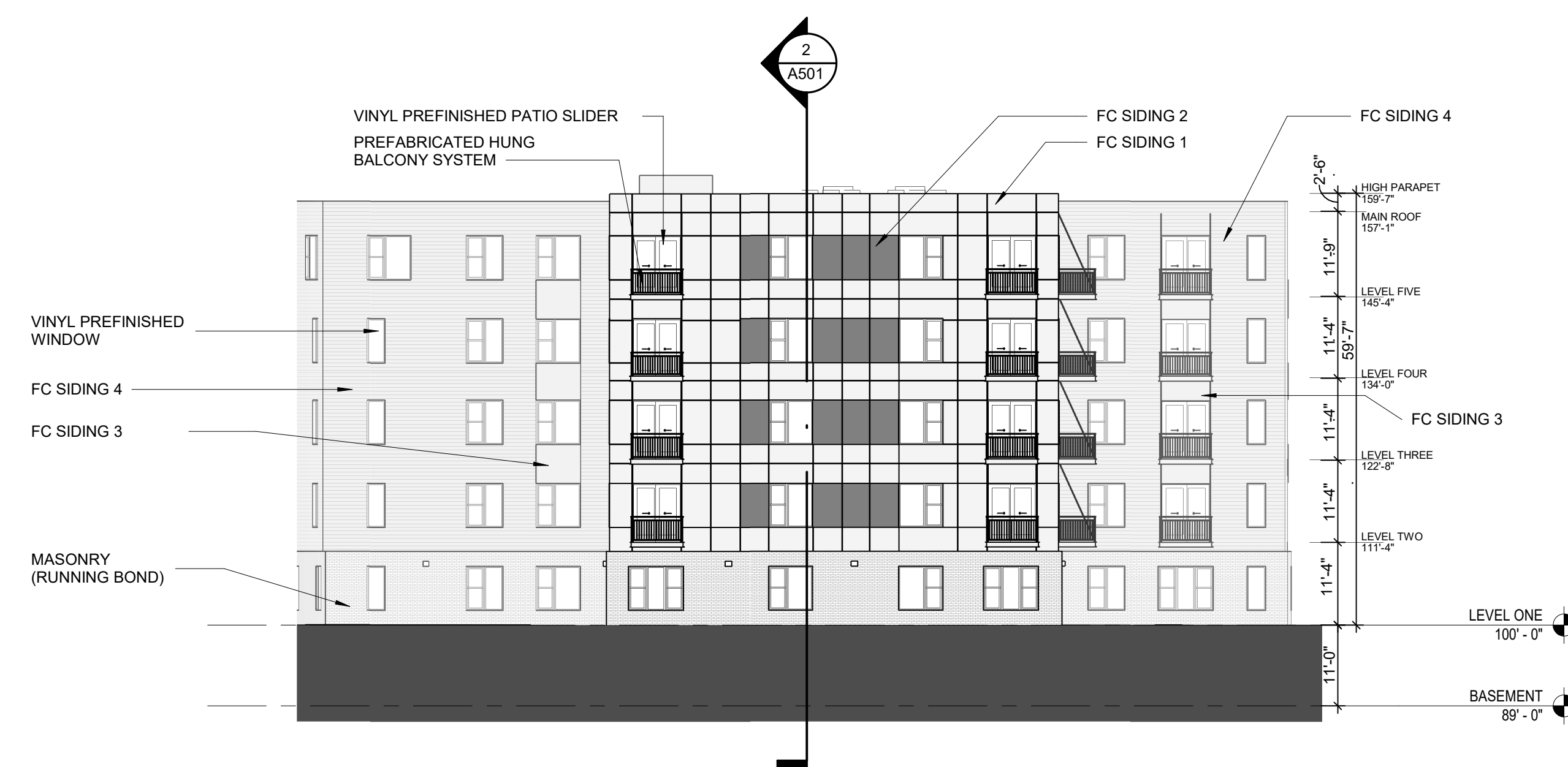
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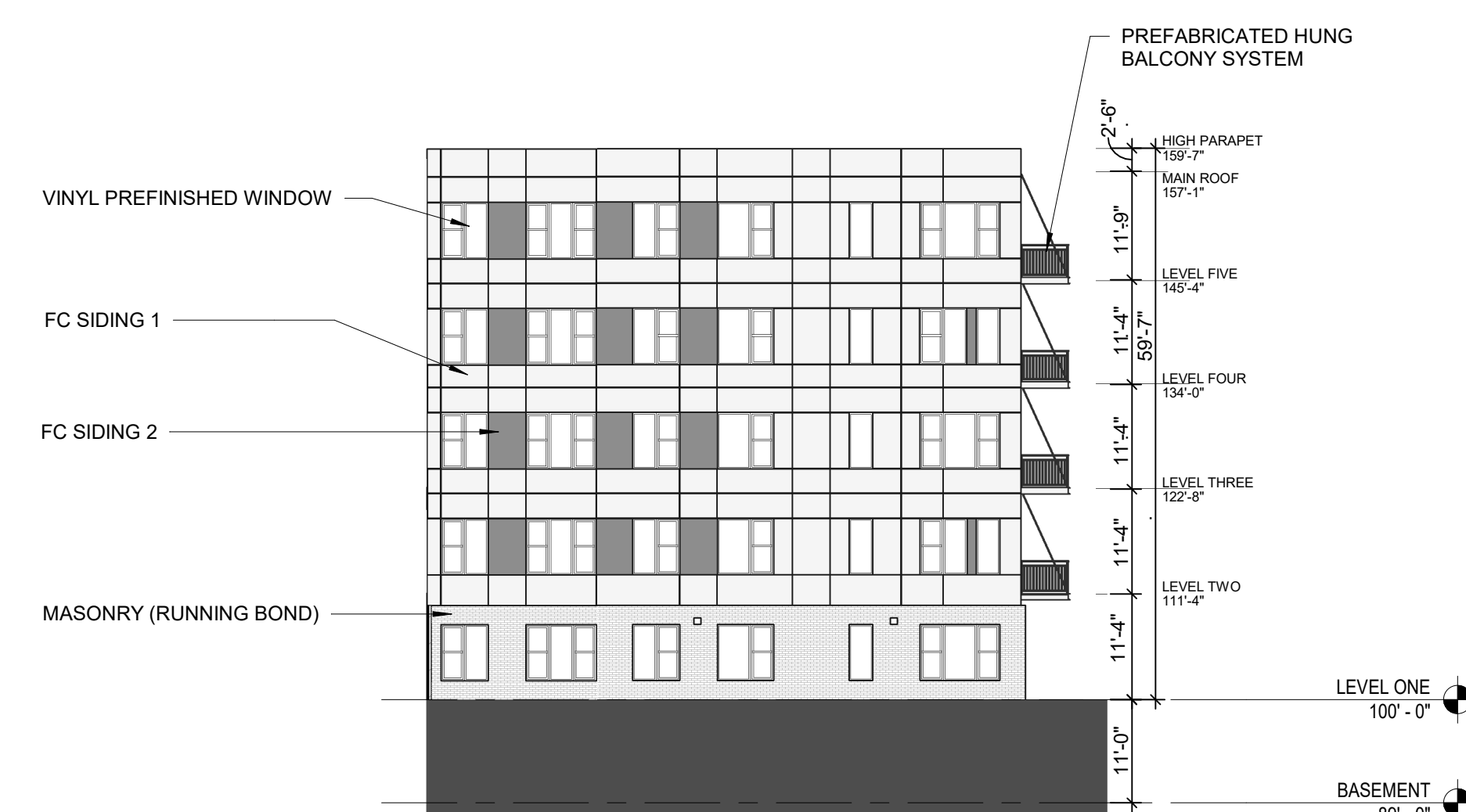
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SCALE: 1/16" = 1'-0"



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SCALE: 1/16" = 1'-0"

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BUILDING ELEVATIONS

3100 EAST WASHINGTON

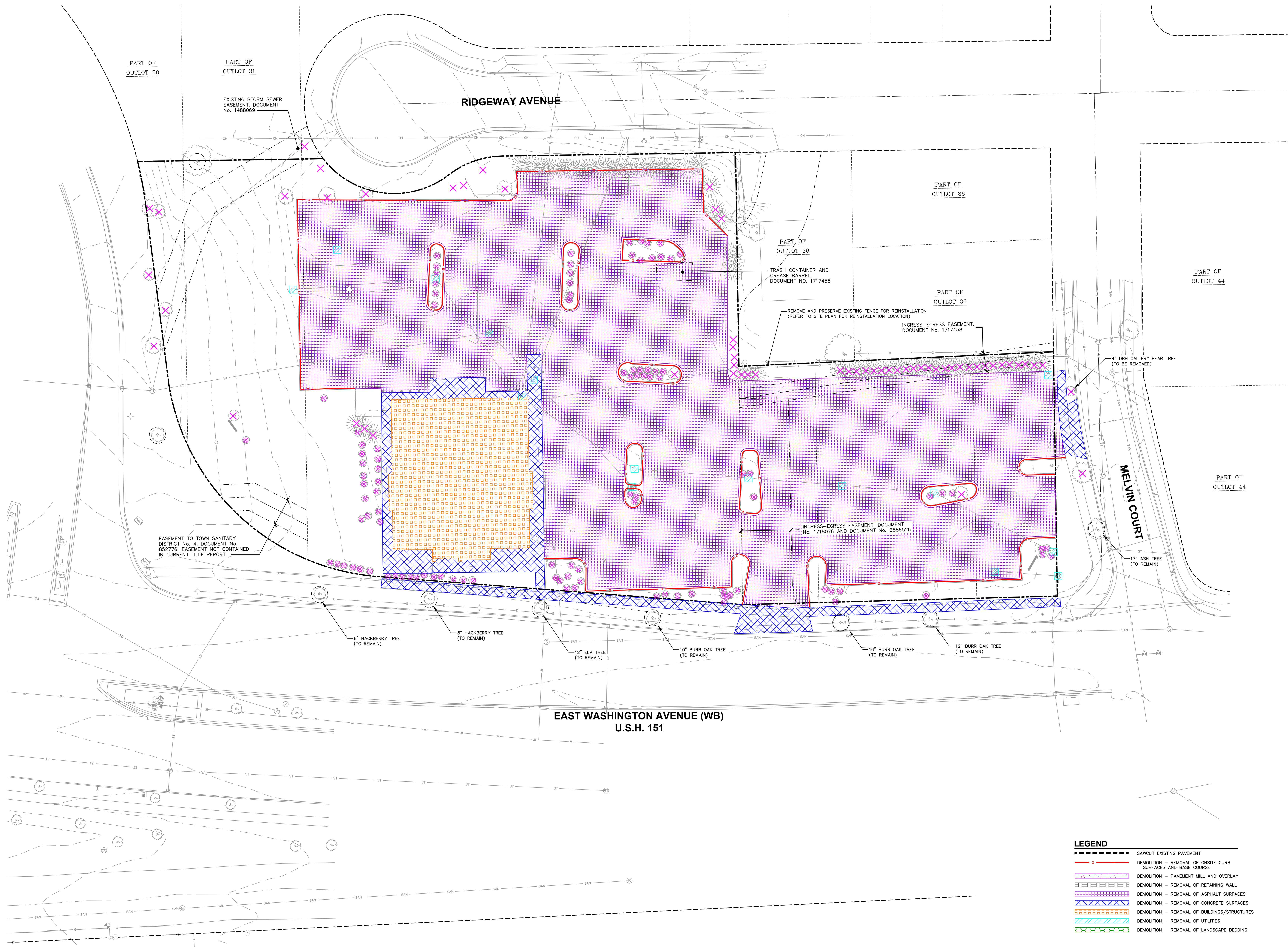
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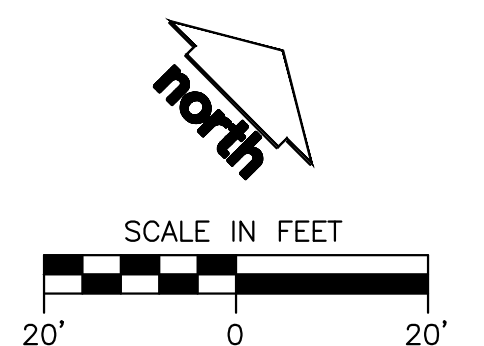


LEGEND

	SAWCUT EXISTING PAVEMENT
	DEMOLITION - REMOVAL OF ONSITE CURB SURFACES AND BASE COURSE
	DEMOLITION - PAVEMENT MILL AND OVERLAY
	DEMOLITION - REMOVAL OF RETAINING WALL
	DEMOLITION - REMOVAL OF ASPHALT SURFACES
	DEMOLITION - REMOVAL OF CONCRETE SURFACES
	DEMOLITION - REMOVAL OF BUILDINGS/STRUCTURES
	DEMOLITION - REMOVAL OF UTILITIES
	DEMOLITION - REMOVAL OF LANDSCAPE BEDDING

THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXXX)



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DEMOLITION PLAN

C200

3100 EAST WASHINGTON

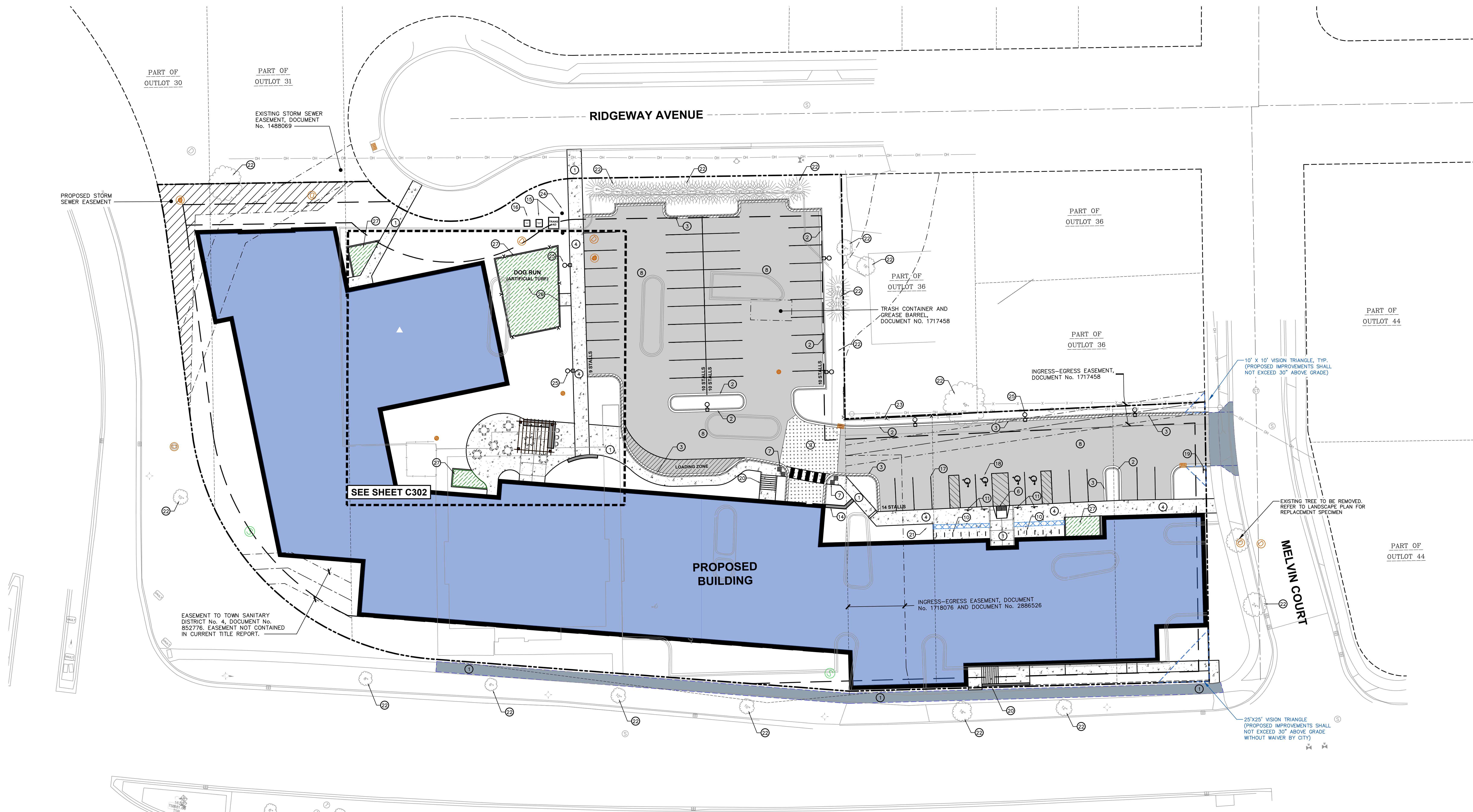
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SEE SHEET C302

10' X 10' VISION TRIANGLE, TYP.
(PROPOSED IMPROVEMENTS SHALL NOT EXCEED 30" ABOVE GRADE)

EXISTING TREE TO BE REMOVED.
REFER TO LANDSCAPE PLAN FOR REPLACEMENT SPECIMEN.

25'X25' VISION TRIANGLE
(PROPOSED IMPROVEMENTS SHALL NOT EXCEED 30" ABOVE GRADE WITHOUT WAIVER BY CITY)

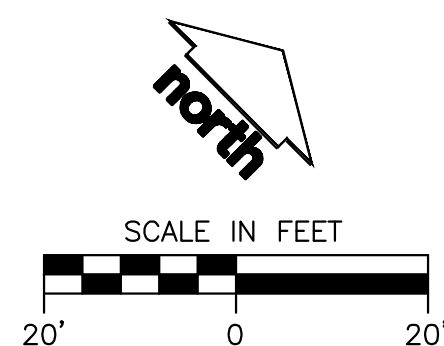
**EAST WASHINGTON AVENUE (WB)
U.S.H. 151**

NOTES

SITE INFORMATION BLOCK	
PROPERTY ACREAGE	2.208 ACRES
1ST FLOOR BUILDING SQUARE FOOTAGE	254,903 SF
GROSS BUILDING SQUARE FOOTAGE	254,903 SF
NUMBER OF PARKING STALLS	
SURFACE	
LARGE	49
ACCESSIBLE	4
TOTAL SURFACE	53
UNDERGROUND	
LARGE	87
ACCESSIBLE	2
TOTAL UNDERGROUND	89
NUMBER OF BICYCLE STALLS:	
SURFACE	
UNDERGROUND	192
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	66,263 SF
EXISTING PERVIOUS SURFACE AREA	29,898 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.689
PROPOSED IMPERVIOUS SURFACE AREA	69,424 SF
PROPOSED PERVIOUS SURFACE AREA	26,737 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.72

THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXXX)



DRAWN BY _____ Author
CHECKED BY _____ Checker

SITE PLAN - ANNOTATED

3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

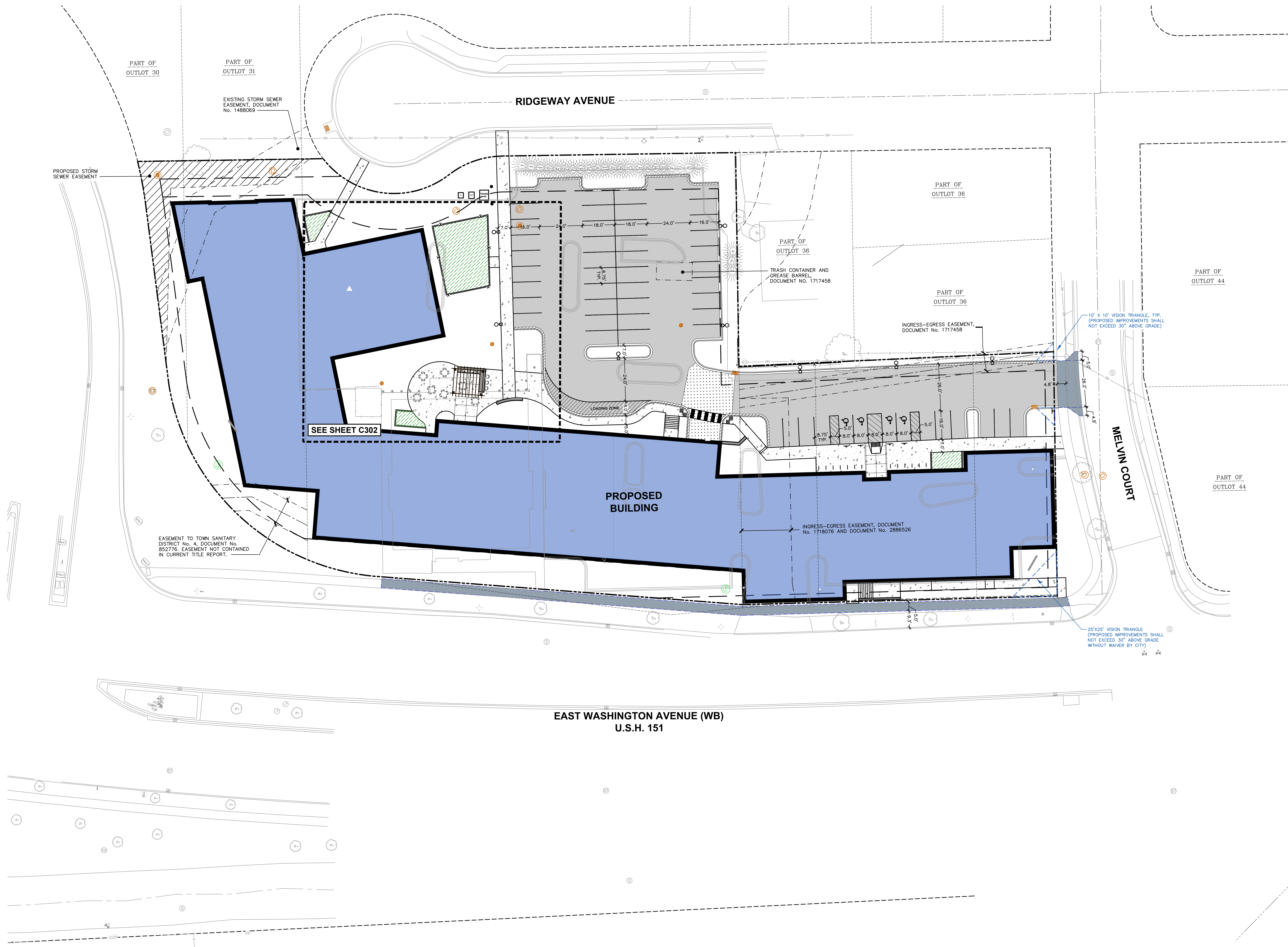
PROJECT NUMBER 233606.00

ISSUED FOR:

LAND USE APPLICATION 08/07/23

REVISION FOR:

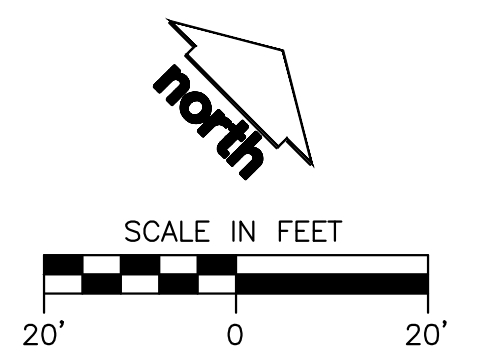
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THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

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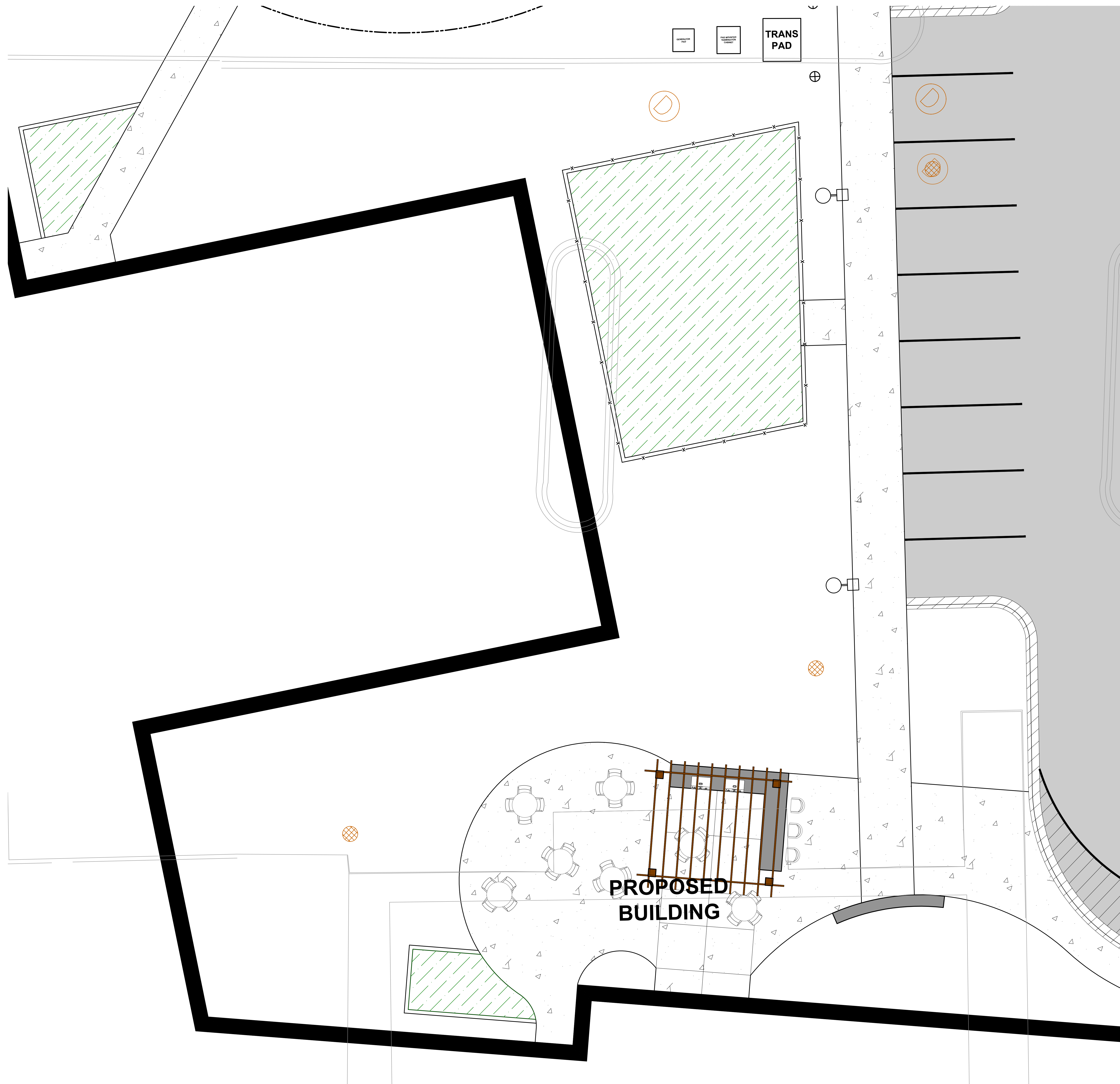


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CHECKED BY _____ Checker

SITE PLAN - DIMENSIONED

C301



KEY NOTES



MILWAUKEE | MADISON | TUCSON | CHICAGO



3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704

OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

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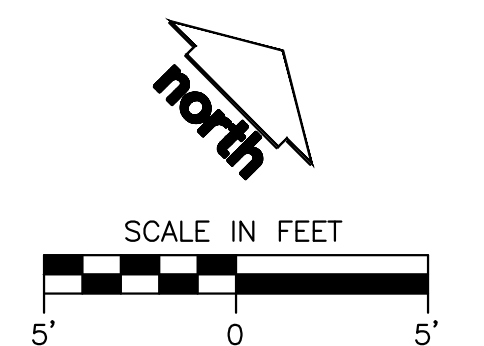
REVISION FOR:		
NO.	DESCRIPTION	DATE

DRAWN BY Author
CHECKED BY Checker

SITE PLAN - COURTYARD

THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

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C302

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3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704
OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:
LAND USE APPLICATION 08/07/23

REVISION FOR:
NO. DESCRIPTION DATE

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**GRADING AND
EROSION CONTROL**

C400



THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

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3100 EAST WASHINGTON

3100 E WASHINGTON AVENUE
MADISON, WI 53704
OWNER
BEAR DEVELOPMENT
4011 80TH STREET
KENOSHA, WI 53142

PROJECT NUMBER 233606.00

ISSUED FOR:
LAND USE APPLICATION 08/07/23

REVISION FOR:
NO. DESCRIPTION DATE

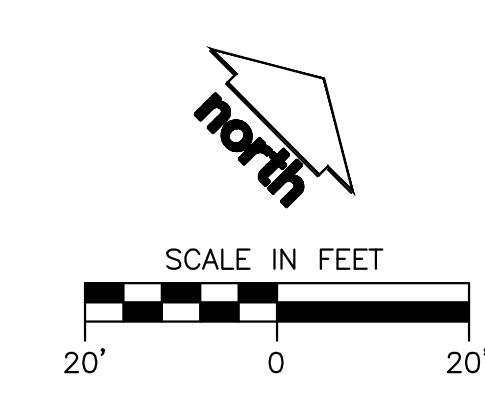
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CHECKED BY _____ Checker

DETAILED GRADING



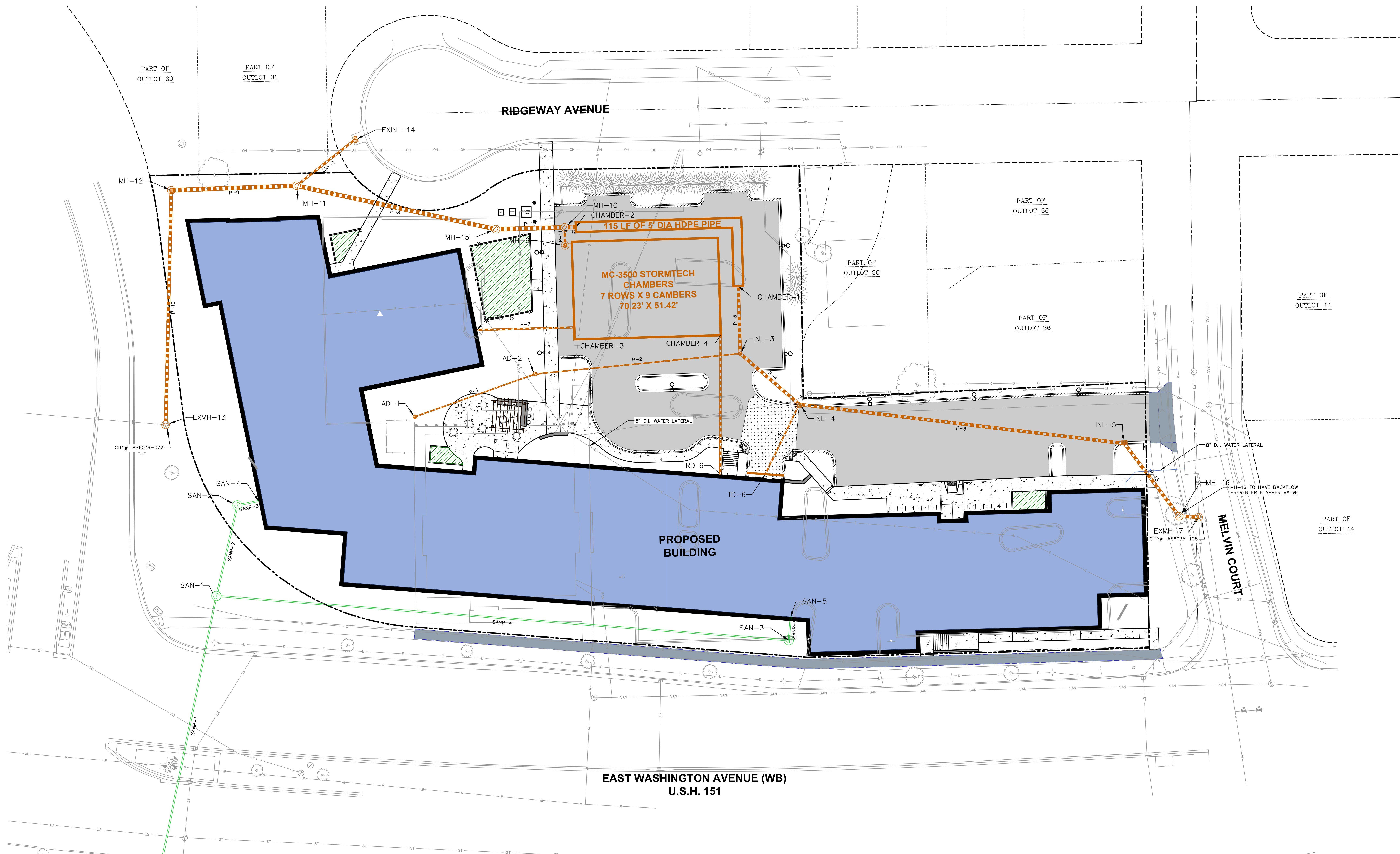
THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

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C401

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**EAST WASHINGTON AVENUE (WB)
U.S.H. 151**

MELVIN COURT

PROPOSED BUILDING

PROPOSED STORM SEWER STRUCTURE TABLE

LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
AD-1	885.85	NE INV: 879.45 (6")	6.4	12 IN DB	Standard Standard
AD-2	886.10	SW INV: 878.82 (6") NE INV: 878.82 (6")	7.3	12 IN DB	Standard Standard
EXMH-7 (3)	880.03	SW INV: 878.20 (18")	1.8	3'X3' BOX	R-2050 TYPE D
EXMH-13	883.16	NW INV: 874.00 (18")	2.2	48 IN MH (FLAT)	R-1550 SOLID LID
INL-3	881.72	SW INV: 877.64 (6") E INV: 877.64 (18") NW INV: 877.64 (18")	4.1	36 IN MH (FLAT)	R-2050 TYPE D
INL-4	881.78	NE INV: 877.76 (18") S INV: 877.76 (8") W INV: 877.76 (18")	4.0	2 x 3 INLET	R-3067 TYPE L
INL-5	883.00	SW INV: 878.26 (18") E INV: 880.50 (18")	4.7	2 x 3 INLET	R-3067 TYPE L
MH-9	885.52	NW INV: 877.50 (12")	8.0	36 IN MH (FLAT)	R-2050 TYPE D
MH-10	885.73	SW INV: 877.50 (24") NE INV: 877.50 (24") SE INV: 877.50 (12")	8.2	60 IN MH (FLAT)	R-1550 SOLID LID
MH-11	885.12	N INV: 875.92 (24") N INV: 881.55 (12") SW INV: 875.92 (24")	9.2	48 IN MH (FLAT)	R-1550 SOLID LID
MH-12	879.76	NE INV: 875.25 (24") SE INV: 875.25 (18")	4.5	48 IN MH (FLAT)	R-1550 SOLID LID
MH-16	884.03	W INV: 878.45 (18") NE INV: 878.20 (18")	5.8	48 IN MH	R-2050 TYPE D
TD-6	881.14	N INV: 877.92 (8")	1.2	10'X16' TRENCH	GRATE COVER

PROPOSED STORM SEWER PIPE TABLE

LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
EXP-1	MH-11	EXINL-14	38'	881.55	883.66	5.55%	12 IN RCP
P-1	AD-2	AD-1	65'	878.82	879.45	0.96%	6 IN HDPE
P-2	INL-3	AD-2	106'	877.64	878.82	1.12%	6 IN HDPE
P-3	CHAMBER-1	INL-3	35'	877.50	877.64	0.40%	18 IN HDPE
P-4	INL-4	INL-3	40'	877.76	877.64	0.30%	18 IN HDPE (HP)
P-5	INL-4	INL-5	168'	877.76	878.26	0.30%	18 IN HDPE
P-6	INL-4	TD-6	40'	877.76	877.92	0.40%	8 IN HDPE
P-7	CHAMBER-3	RD-8	50'	877.50	882.00	9.01%	10 IN HDPE
P-8	MH-11	MH-15	105'	875.92	877.01	1.04%	24 IN RCP
P-9	MH-12	MH-11	64'	875.25	875.92	1.04%	24 IN RCP
P-10	EXMH-13	MH-12	120'	874.00	875.25	1.04%	18 IN RCP
P-11	MH-10	MH-9	9'	877.50	877.50	0.00%	12 IN HDPE
P-12	MH-10	CHAMBER-2	6'	877.50	877.50	0.00%	24 IN HDPE
P-13	MH-16	INL-5	47'	878.45	880.50	4.39%	18 IN HDPE
P-14	MH-16	EXMH-7	10'	878.20	878.35	1.50%	18 IN HDPE
P-15	MH-10	MH-15	35'	877.50	875.50	5.67%	24 IN RCP
P-16	MH-10	MH-15	71'	878.50	877.50	1.40%	10 IN HDPE

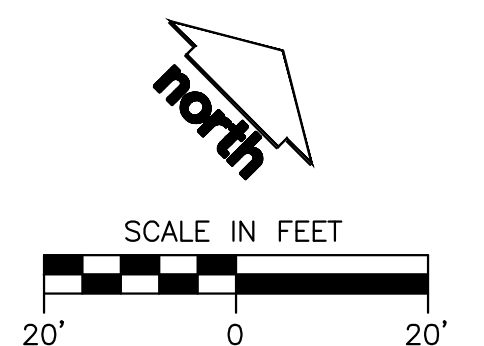
PROPOSED SANITARY SEWER STRUCTURE TABLE

LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
SAN-1	876.08	NE INV: 871.48 (8") NW INV: 871.48 (8") SE INV: 871.48 (8")	4.6	48 IN MH	R-1550 SOLID LID
SAN-2	876.58	NE INV: 871.98 (8") SE INV: 871.98 (8")	4.6	48 IN MH	R-1550 SOLID LID
SAN-3	879.15	NW INV: 874.54 (8") SW INV: 874.54 (8")	4.6	48 IN MH	R-1550 SOLID LID

PROPOSED SANITARY SEWER PIPE TABLE

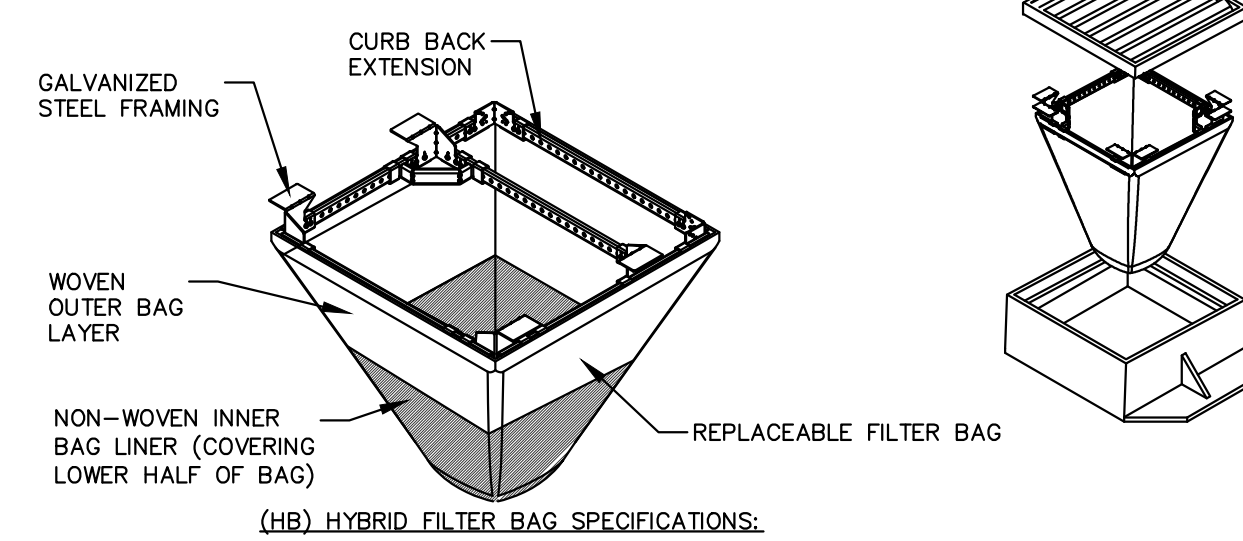
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
SANP-1	SAN-1	SAN-1	135'	868.66	871.48	2.08%	8 IN PVC
SANP-2	SAN-1	SAN-2	48'	871.48	871.98	1.04%	8 IN PVC
SANP-3	SAN-2	SAN-4	11'	871.98	872.10	1.04%	8 IN PVC
SANP-4	SAN-1	SAN-3	294'	871.48	874.54	1.04%	8 IN PVC
SANP-5	SAN-3	SAN-5	12'	874.54	874.69	1.21%	8 IN PVC

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C500

FLEXSTORM INLET FILTERS TO MEET DANE COUNTY EROSION CONTROL STANDARDS



- INSTALLATION INSTRUCTIONS:**
1. REMOVE GRATE FROM THE DRAINAGE STRUCTURE
 2. CLEAN STONE AND DIRT FROM LEDGE (LIP) OF DRAINAGE STRUCTURE
 3. DROP THE INLET FILTER THROUGH THE CLEAR OPENING SUCH THAT THE HANGERS REST FIRMLY ON THE LIP OF THE STRUCTURE
 4. REPLACE THE GRATE AND CONFIRM IT IS NOT ELEVATED MORE THAN 1/8"

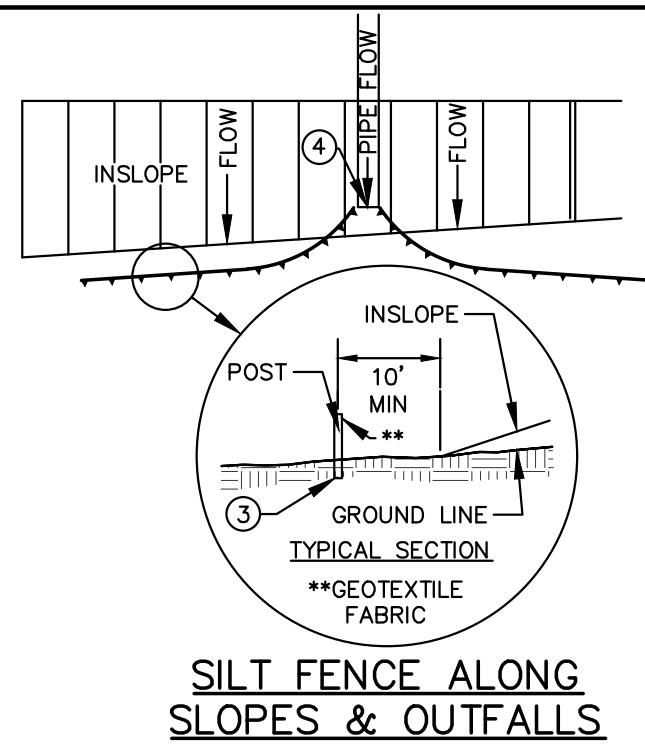
- MAINTENANCE GUIDELINES:**
1. EMPTY THE SEDIMENT BAG IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS
 2. REMOVE THE GRATE, ENGAGE THE LIFTING POINTS, AND LIFT FILTER FROM THE DRAINAGE STRUCTURE
 3. DISPOSE OF SEDIMENT AND DEBRIS BY THE ENGINEERING OR MAINTENANCE CONTRACT 4. ALTERNATIVELY, AN INDUSTRIAL VACUUM CAN BE USED TO COLLECT SEDIMENT FROM THE FILTER BAG

Manufacturer	Inlet Type	Grate Size	Opening Size	Bag Cap (ft)	Flow Ratings (CFS)	ADS PIN
33007	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.0 5.8	63LCE8XTHB
3348A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	1.1 3.3	62LCE3624HB
3030	Square/Rect (SQ)	23 x 16	20.5 x 13.5	1.6	0.7 2.2	62MCS216HB
3067-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	1.0 5.2	62LSC3616HB
R-2501	Round (RD)	-26	-24	2.3	0.8 5.2	62MRD20HB
R-1772/2590	Round (RD)	22.25 x 23.5	20.5 x 21	1.5	0.8 4.6	62MRD22HB

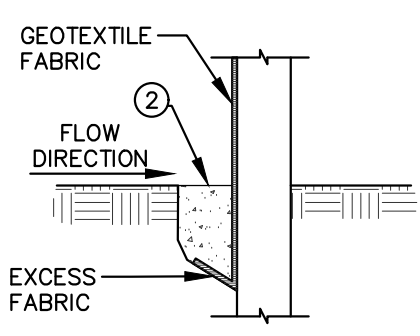
PROPERTY	TEST METHOD	WOVEN (OUTER)	NON-WOVEN (LINER)
TENSILE STRENGTH	ASTM D4832	350 x 225 lbs	300 lbs
ELONGATION	ASTM D4832	20% x 10%	5%
CRIMP PUNCTURE	ASTM D6241	1000 lbs	45 lbs
TRANSDOMINATION	ASTM D6683	100 x 70 lbs	40 lbs
IN RESISTANCE	ASTM D4893	90%	75%
OPENING SIZE (AOS)	ASTM D4753	20 x 15 STB SEIVE	40 x 15 STB SEIVE
PERMEABILITY	ASTM D4893	1.5 sec ¹	2.0 sec ¹
WATER FLOW RATE	ASTM D4893	200 gal/hr/ft ²	140 gal/hr/ft ²
MINIMUM FILTER BAG VOLUME		2 CU YD/FT	

TEMPORARY FRAMED INLET PROTECTION

N.T.S.

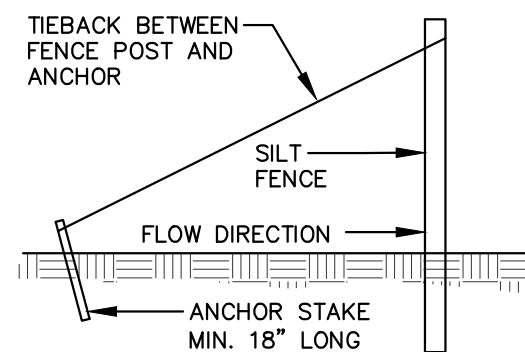
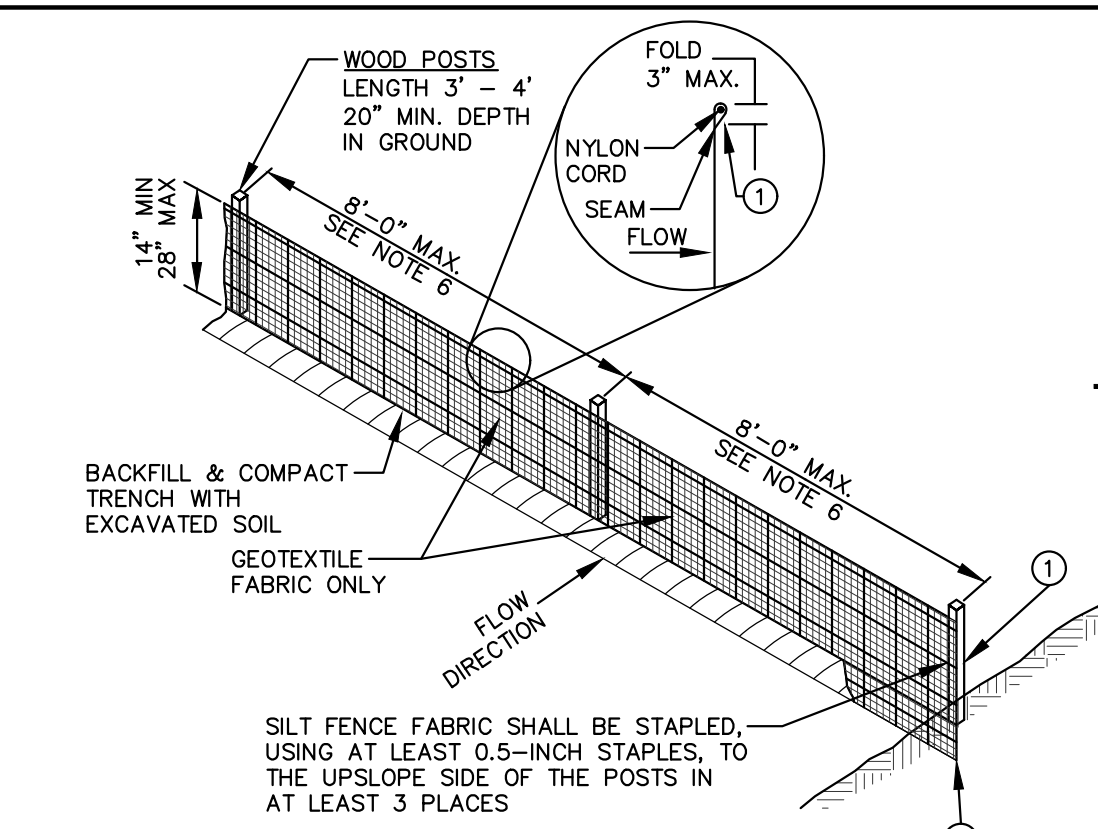


SILT FENCE ALONG SLOPES & OUTFALLS

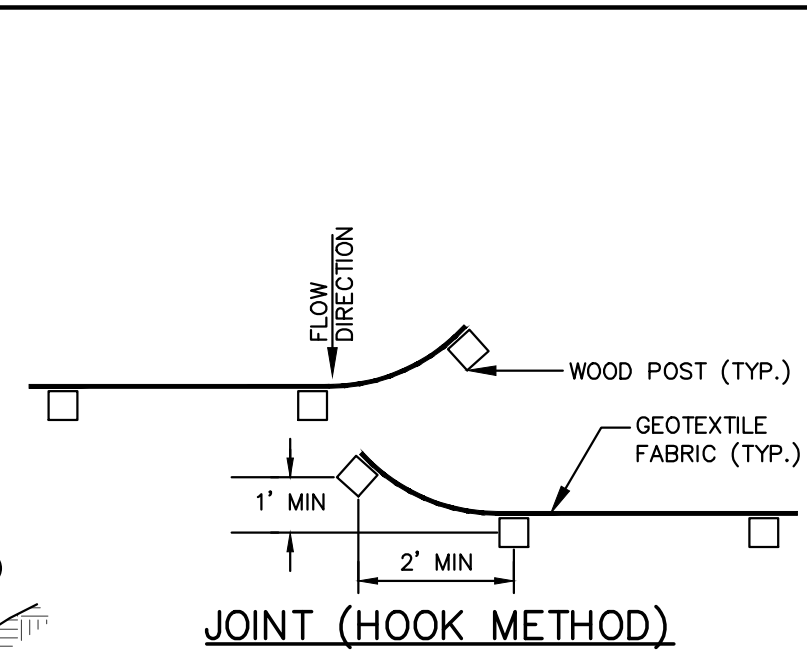


NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

TRENCH DETAIL



SILT FENCE TIE BACK (WHEN ADDITIONAL SUPPORT REQUIRED)

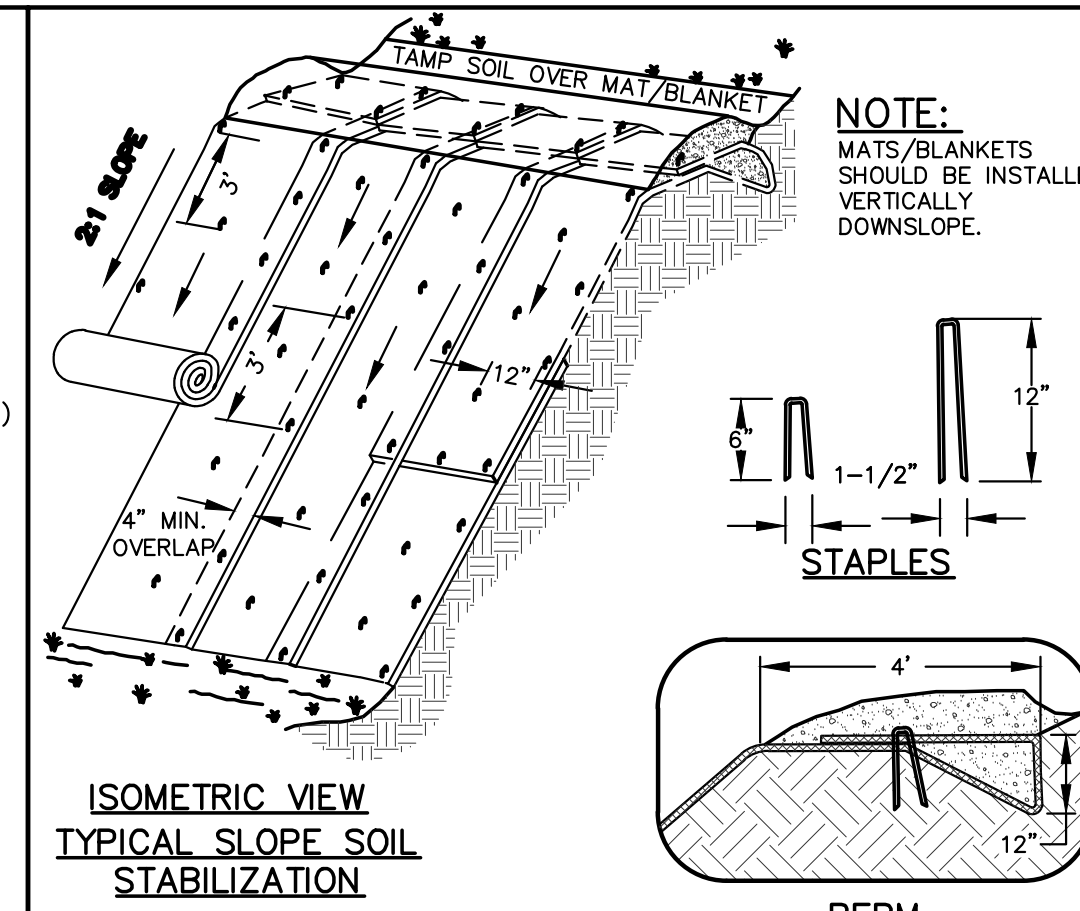


GENERAL NOTES:

1. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 6-INCH DEEP TRENCH OR 6-INCH DEEP 1/4-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCHES SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
2. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.125-INCHES x 1.125-INCHES OF DRIED OAK OR HICKORY.
4. SILT FENCE TO EXTEND ABOVE THE TOP OF PIPE.
5. SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO WQWR TECHNICAL STANDARD 1056.
6. POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8- FEET FOR WOVEN & 3- FEET FOR NON-WOVEN)

SILT FENCE

N.T.S.



ISOMETRIC VIEW TYPICAL SLOPE SOIL STABILIZATION

GENERAL NOTES:

1. EROSION MAT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1052 "NON-CHANNEL EROSION MAT".
2. ONLY W8DOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.
3. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
4. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
5. ONLY W8DOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS SHALL BE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.

EROSION MATTING

N.T.S.

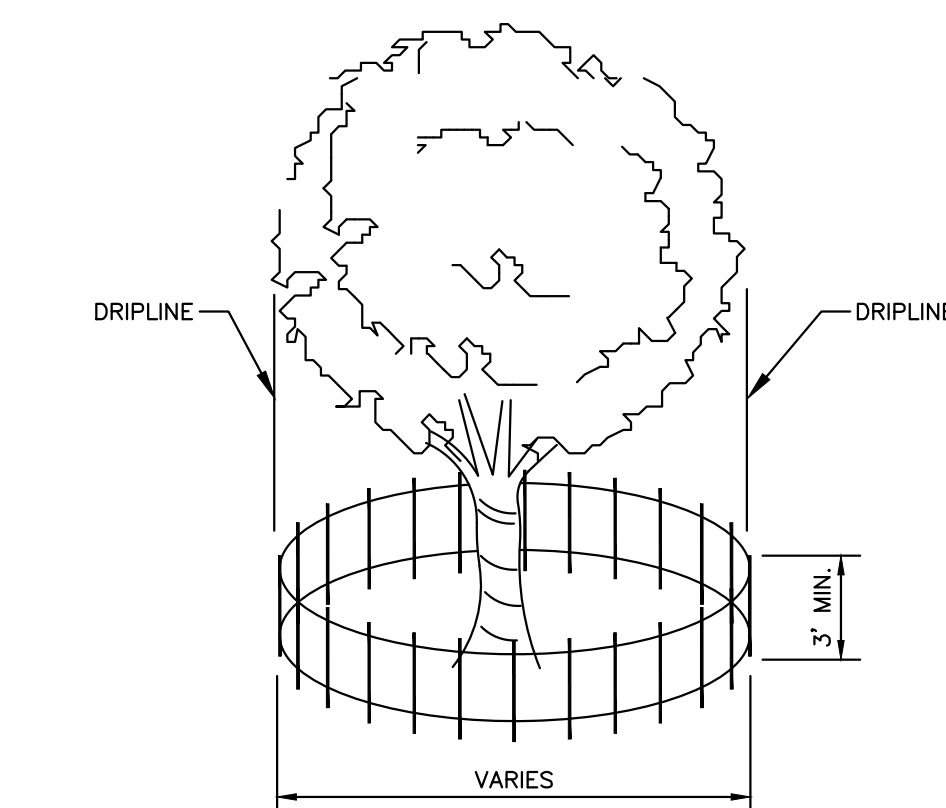
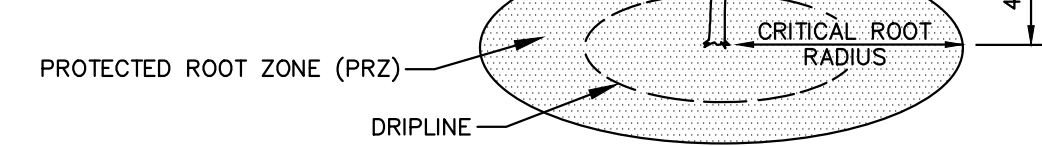
APPROXIMATE A TREE'S PROTECTED ROOT ZONE BY CALCULATING THE CRITICAL ROOT RADIUS (CRR). FIRST, MEASURE THE TREE DIAMETER IN INCHES AT BREAST HEIGHT (DBH). THEN MULTIPLY THAT NUMBER BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.

EXAMPLE: DBH = 8 inches
8 x 1.5 = 12
CRR = 12 feet

DBH x 1.5 = CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY OR SENSITIVE SPECIES

OR

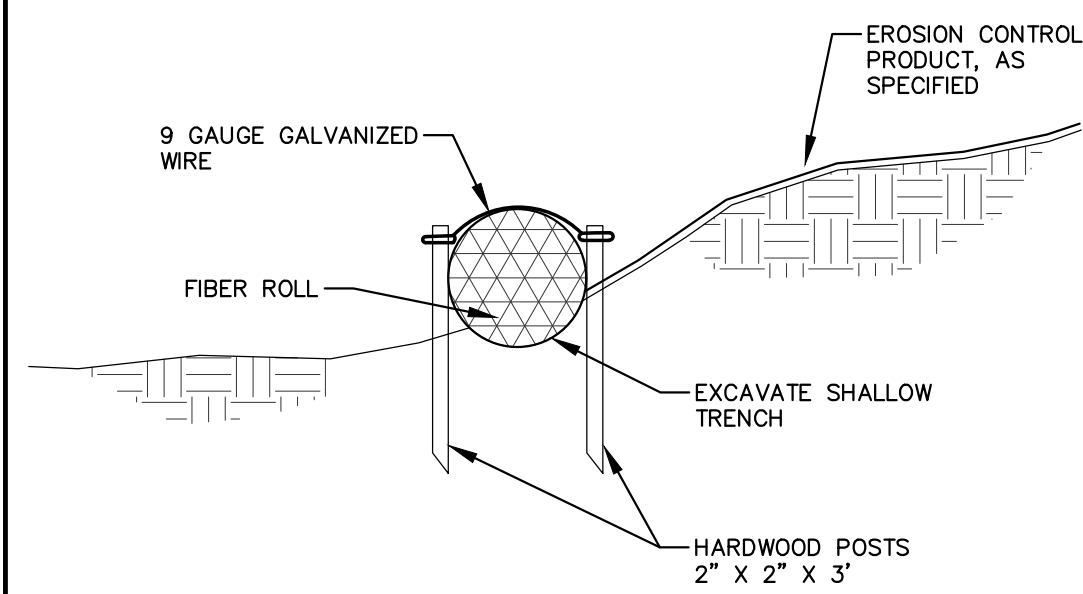
DBH x 1.0 = CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES



- NOTE:**
1. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA SURROUNDING THE TREE WITHIN THE CRITICAL ROOT RADIUS
 2. NO EXCAVATION IS PERMITTED WITHIN THE CRITICAL ROOT RADIUS
 3. IF EXCAVATION WITHIN THE CRITICAL ROOT RADIUS OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTER PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.

TREE PROTECTION DETAIL

N.T.S.

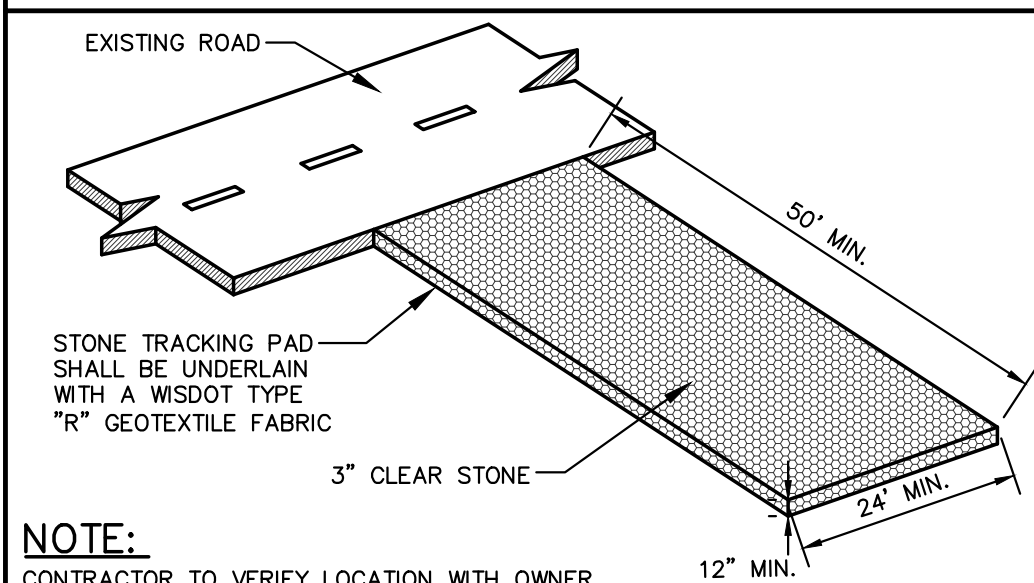


GENERAL NOTES:

1. EXCAVATE A SHALLOW TRENCH SLIGHTLY BELOW BASEFLOW OR A 4" TRENCH ON SLOPE CONTOURS.
2. PLACE THE ROLL IN THE TRENCH AND ANCHOR WITH 2" x 2" POSTS PLACED ON BOTH SIDES OF THE ROLL AND SPACED LATERALLY ON 2' TO 4' CENTERS. TRIM THE TOP OF THE POSTS EVEN WITH THE EDGE OF THE ROLL, IF NECESSARY.
3. NOTCH THE POSTS AND TIE TOGETHER, ACROSS THE ROLL, WITH 9 GAUGE GALVANIZED WIRE OR 1/8" DIAMETER BRAIDED NYLON ROPE.
4. PLACE SOIL EXCAVATED FROM THE TRENCH BEHIND THE ROLL AND HAND TAMP. PLANT WITH SUITABLE HERBACEOUS OR WOODY VEGETATION AS SPECIFIED.

FIBER SILT SOCK

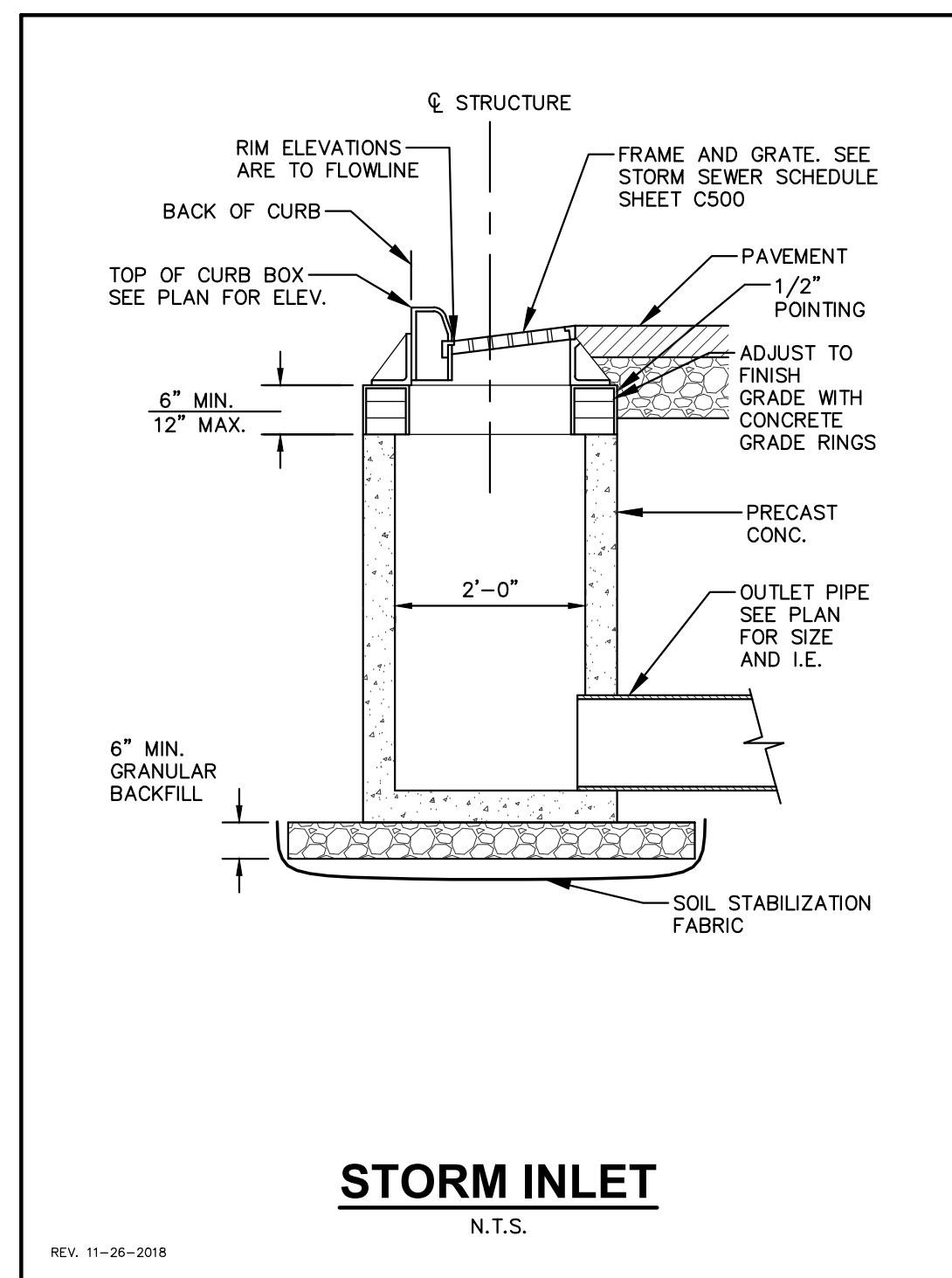
N.T.S.



NOTE: CONTRACTOR TO VERIFY LOCATION WITH OWNER.

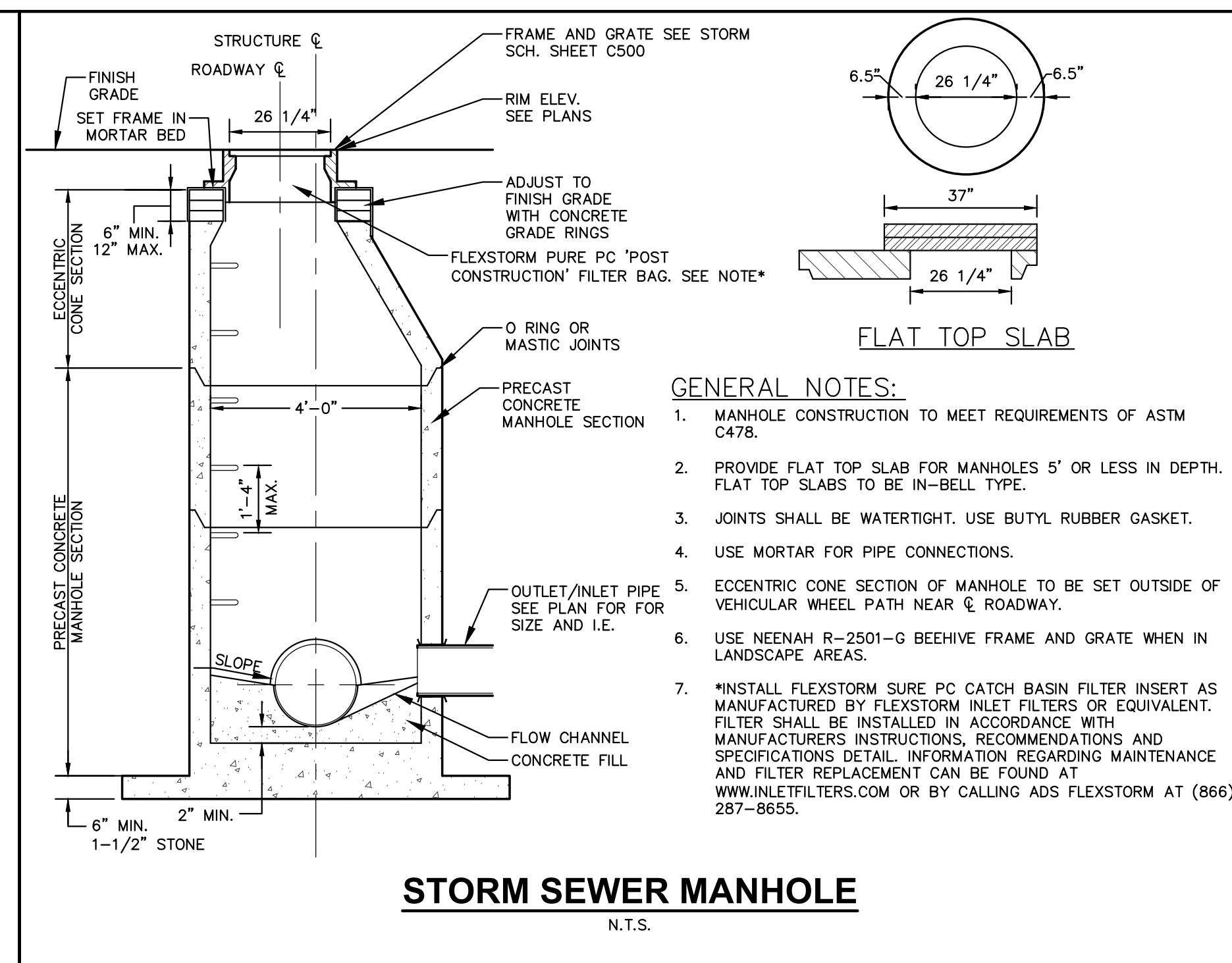
CONSTRUCTION ENTRANCE

N.T.S.



STORM INLET
N.T.S.

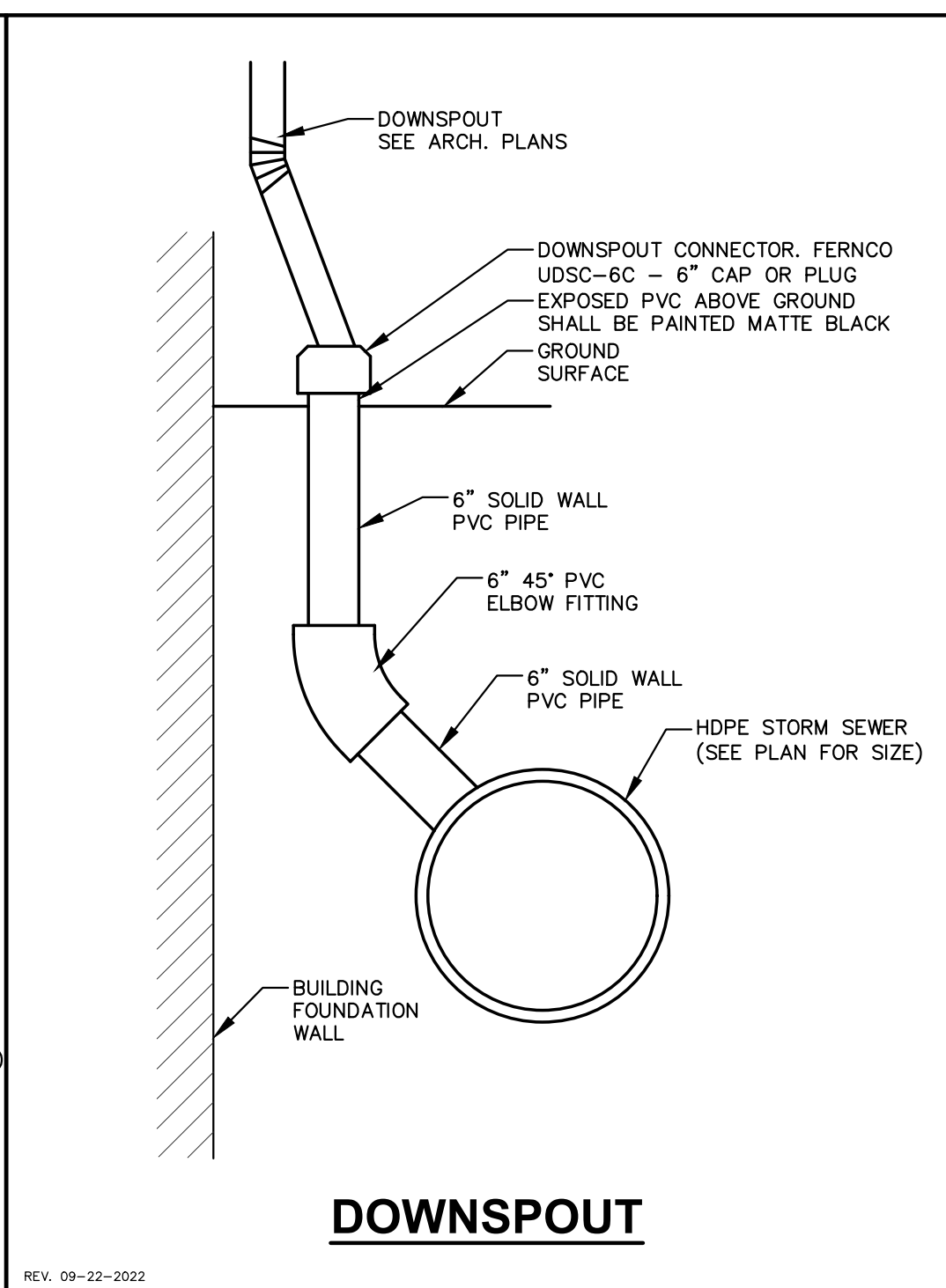
REV. 11-28-2018



STORM SEWER MANHOLE
N.T.S.

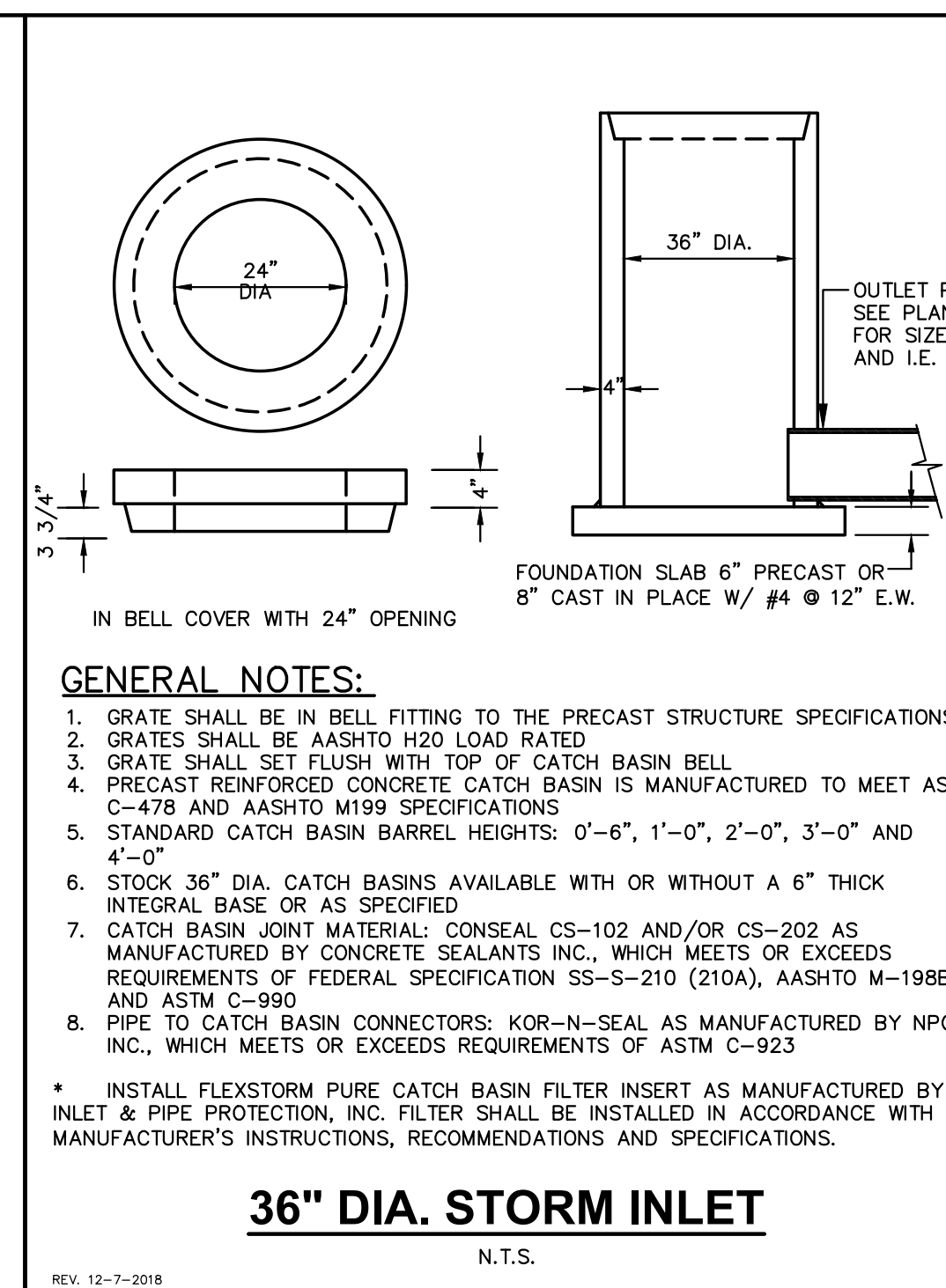
GENERAL NOTES:

1. MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
2. PROVIDE FLAT TOP SLAB FOR MANHOLES 5' OR LESS IN DEPTH. FLAT TOP SLABS TO BE IN-BELL TYPE.
3. JOINTS SHALL BE WATERTIGHT. USE BUTYL RUBBER GASKET.
4. USE MORTAR FOR PIPE CONNECTIONS.
5. ECCENTRIC CONE SECTION OF MANHOLE TO BE SET OUTSIDE OF VEHICULAR WHEEL PATH NEAR & ROADWAY.
6. USE NEENAH R-2501-G BEEHIVE FRAME AND GRATE WHEN IN LANDSCAPE AREAS.
7. *INSTALL FLEXSTORM SURE PC CATCH BASIN FILTER INSERT AS MANUFACTURED BY FLEXSTORM INLET FILTERS OR EQUIVALENT. FILTER SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, RECOMMENDATIONS AND SPECIFICATIONS. DETAIL INFORMATION REGARDING MAINTENANCE AND FILTER REPLACEMENT CAN BE FOUND AT WWW.INLETFILTERS.COM OR BY CALLING ADS FLEXSTORM AT (866) 287-8655.



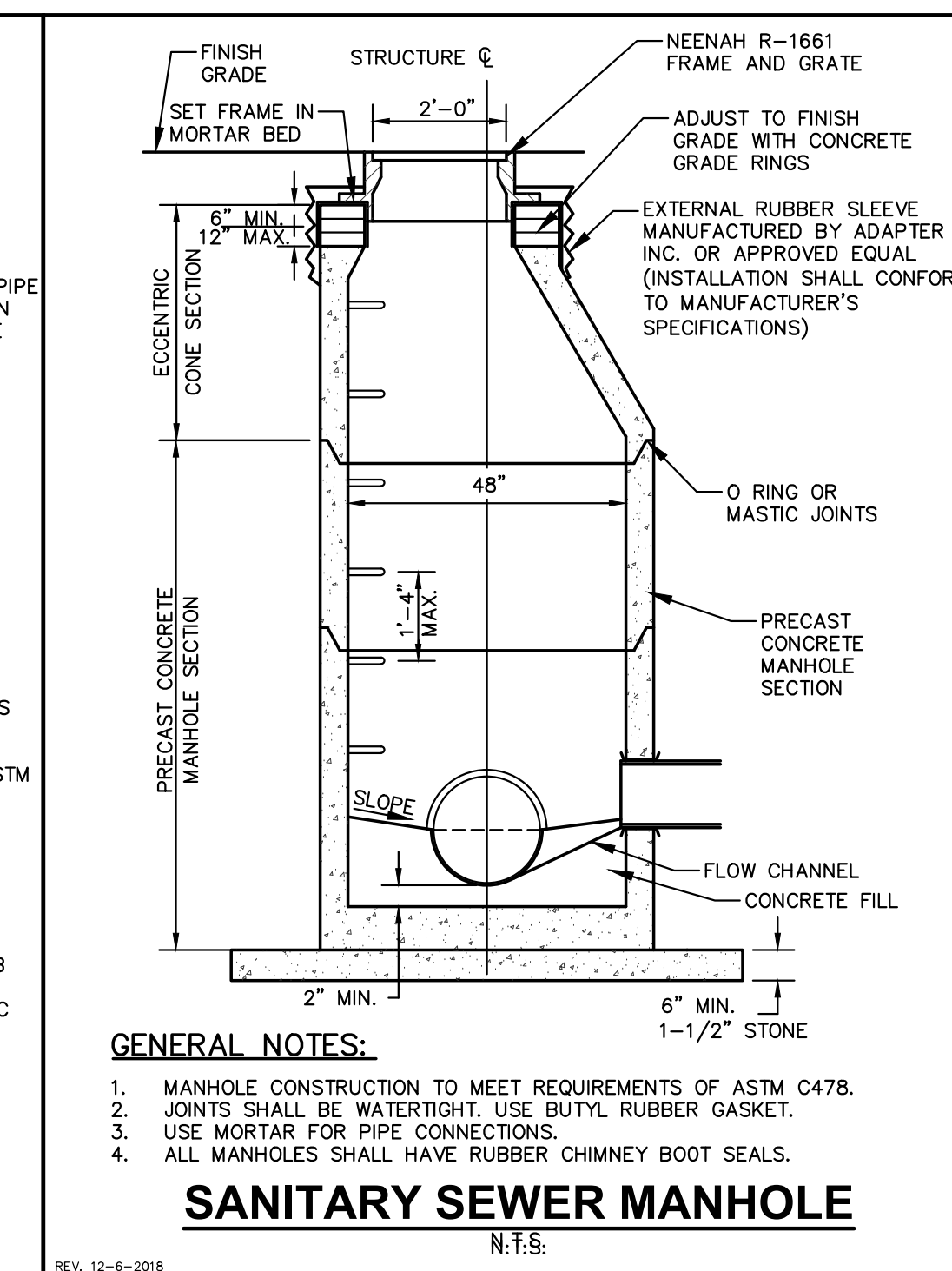
DOWNSPOUT
N.T.S.

REV. 09-22-2022



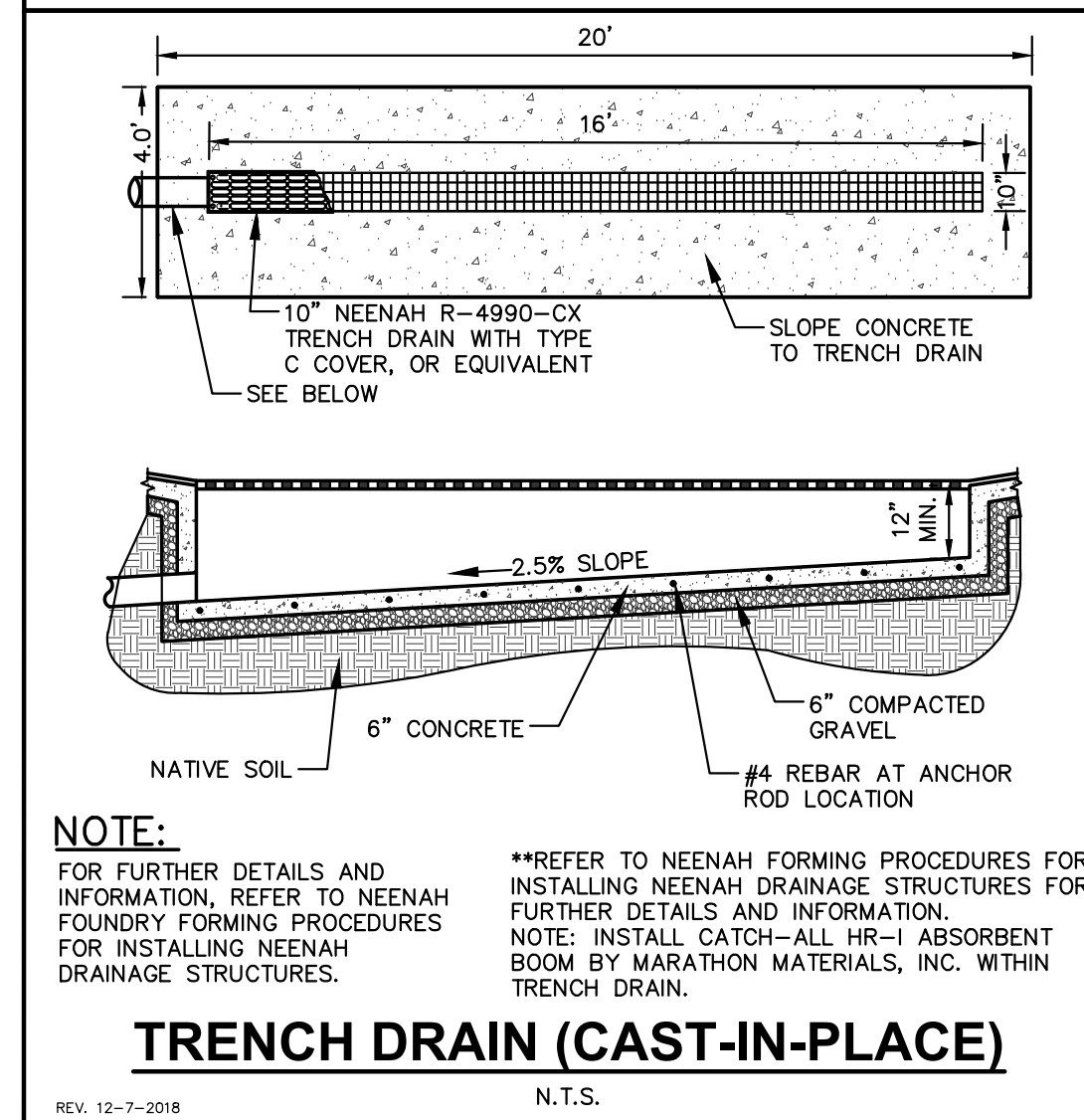
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REV. 12-7-2018



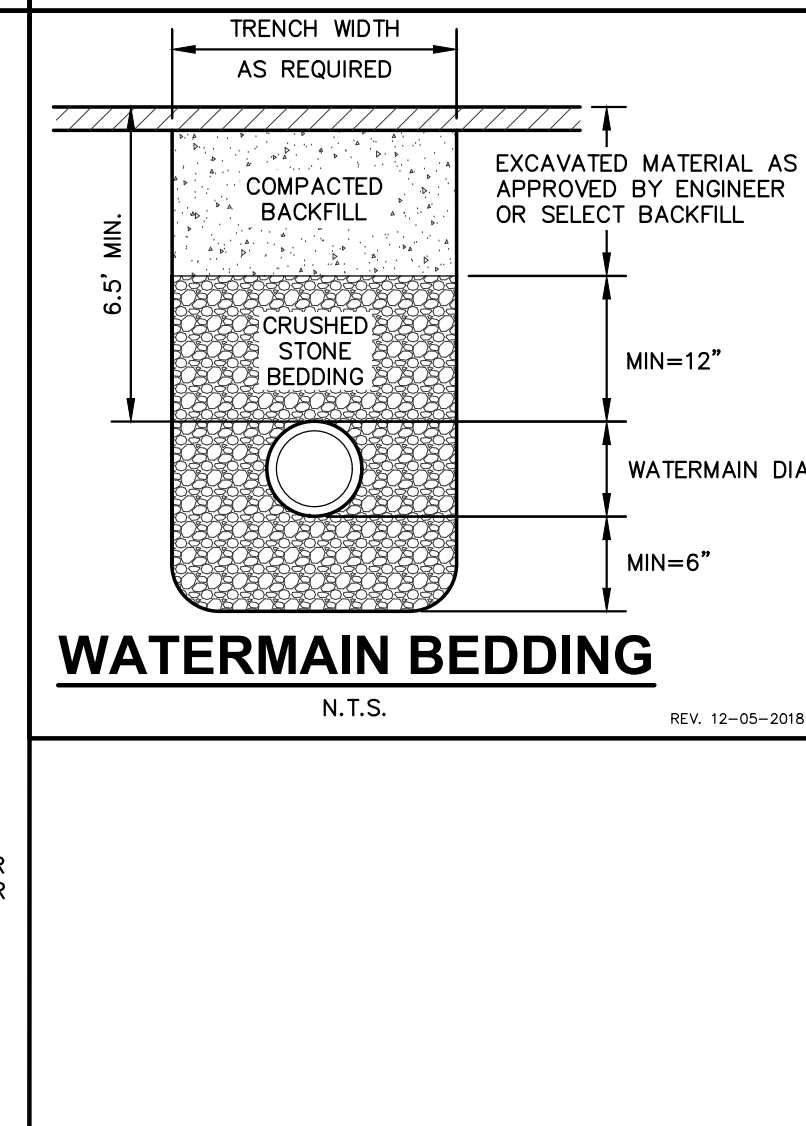
SANITARY SEWER MANHOLE
N.T.S.

REV. 12-6-2018

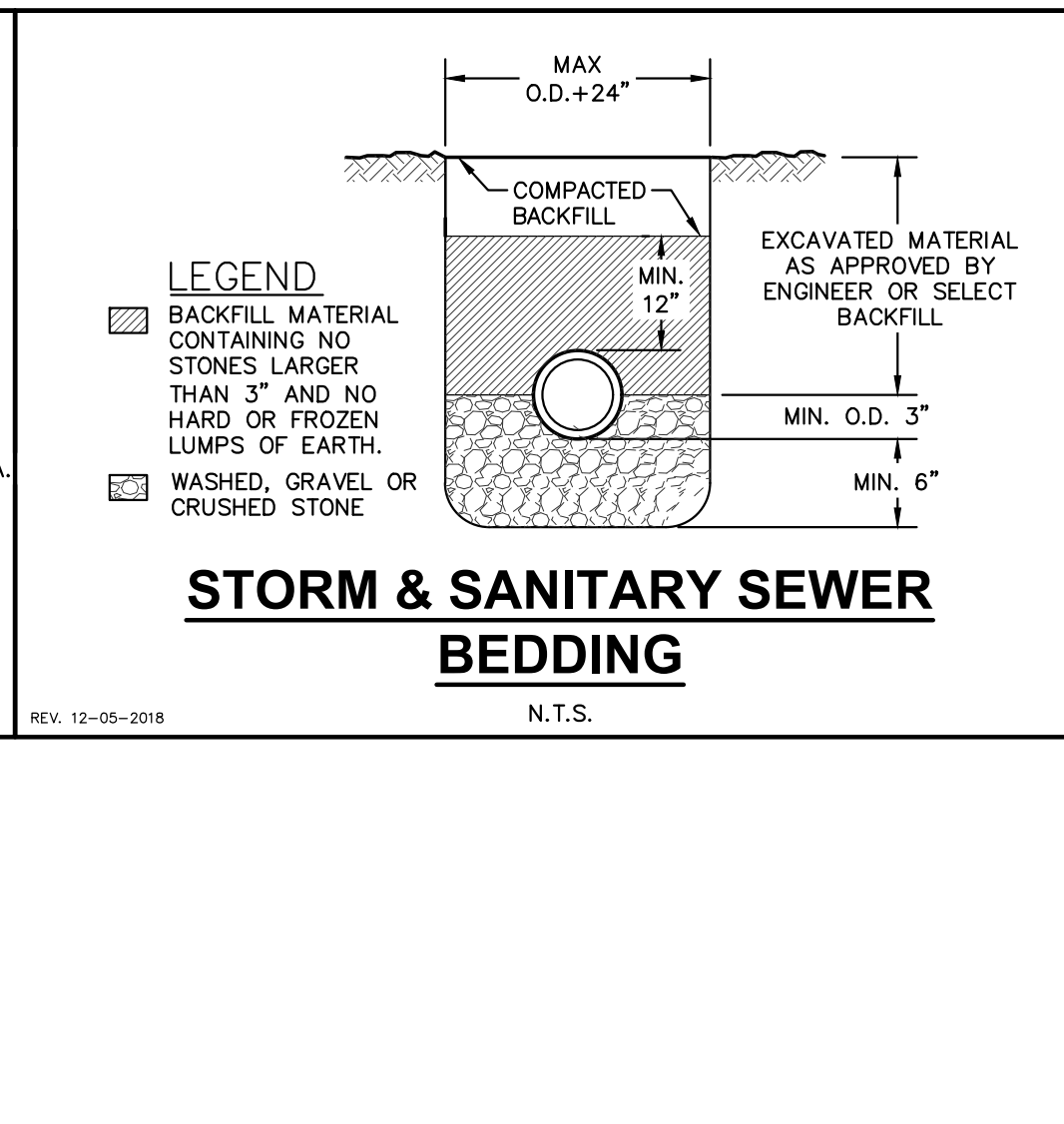


TRENCH DRAIN (CAST-IN-PLACE)
N.T.S.

REV. 12-7-2018



WATERMAIN BEDDING
N.T.S.



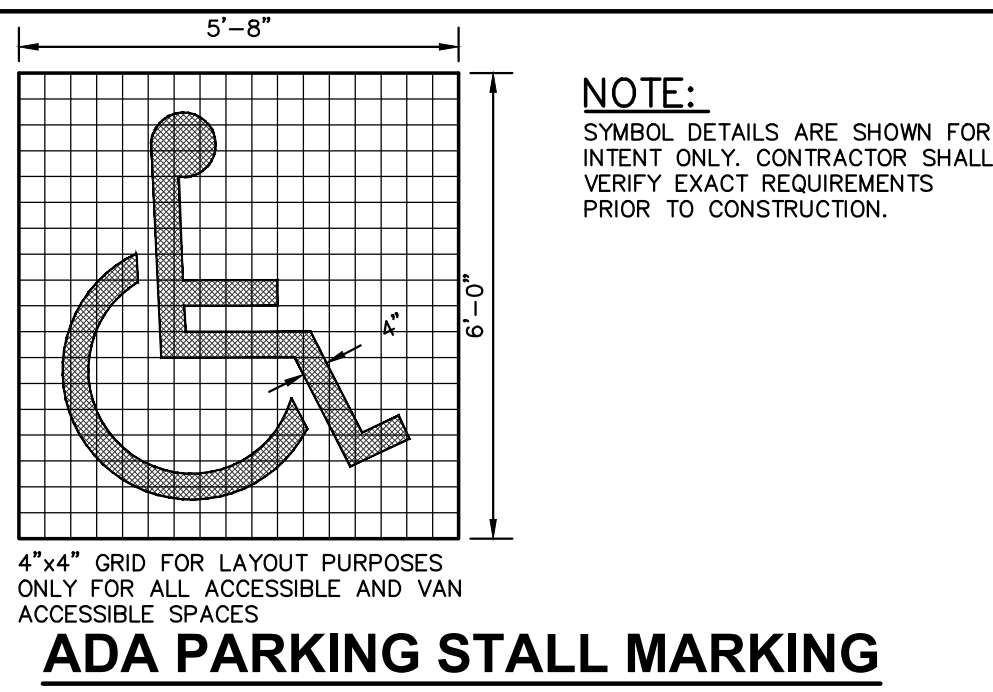
STORM & SANITARY SEWER BEDDING
N.T.S.

REV. 12-05-2018

REV. 12-05-2018

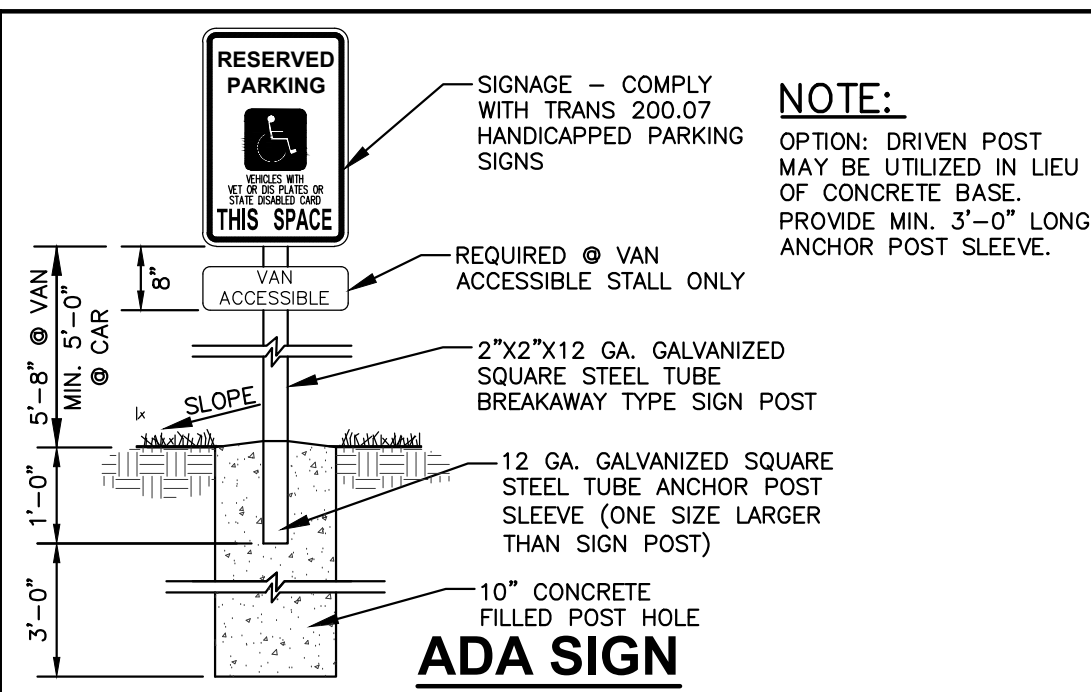
LEGEND
BACKFILL MATERIAL CONTAINING NO STONES LARGER THAN 3\"/>

INTENDED FOR ALL OPEN GRATES EXCEPTING PARKING LOT STORMWATER. AFTER CONSTRUCTION



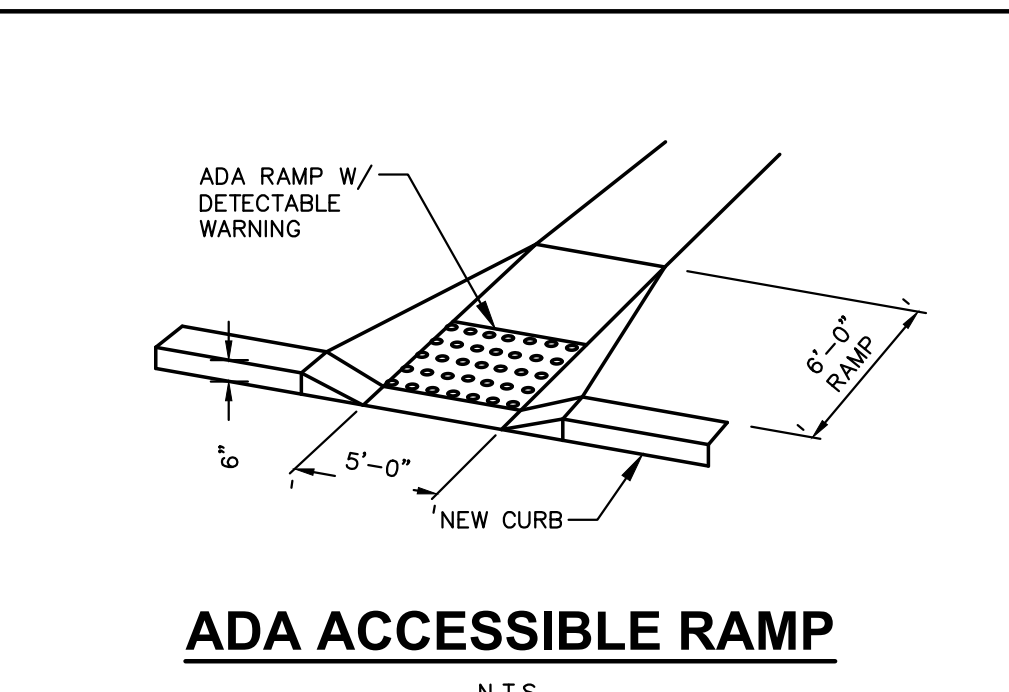
NOTE:
SYMBOL DETAILS ARE SHOWN FOR INTENT ONLY. CONTRACTOR SHALL VERIFY EXACT REQUIREMENTS PRIOR TO CONSTRUCTION.

ADA PARKING STALL MARKING
N.T.S.

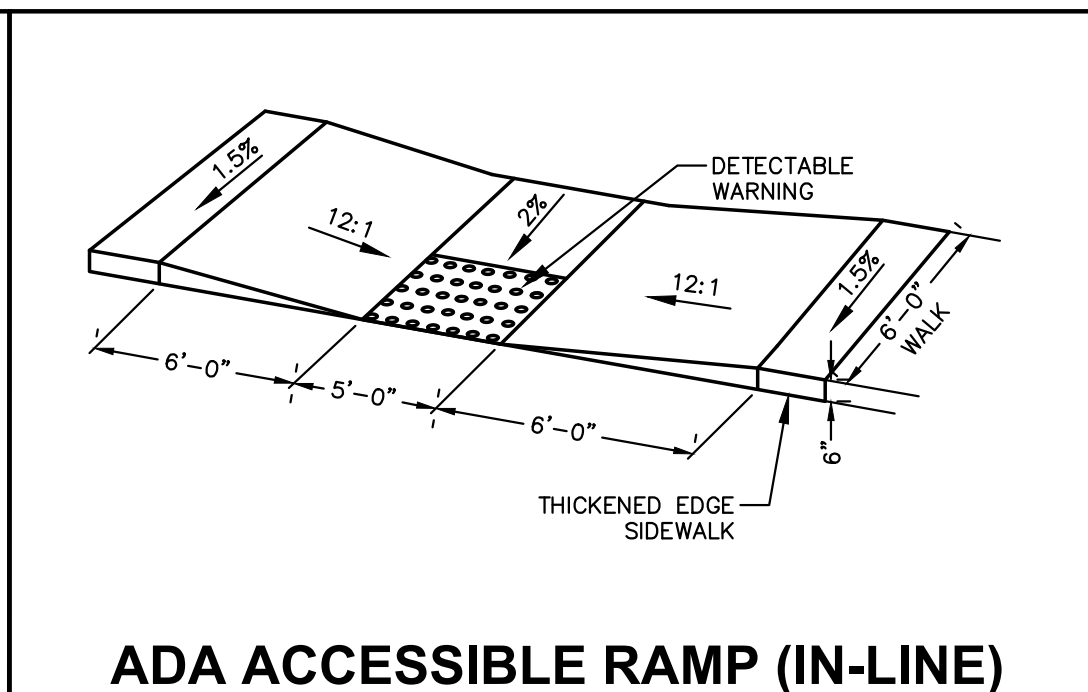


NOTE:
OPTION: DRIVEN POST MAY BE UTILIZED IN LIEU OF CONCRETE BASE. PROVIDE MIN. 3'-0" LONG ANCHOR POST SLEEVE.

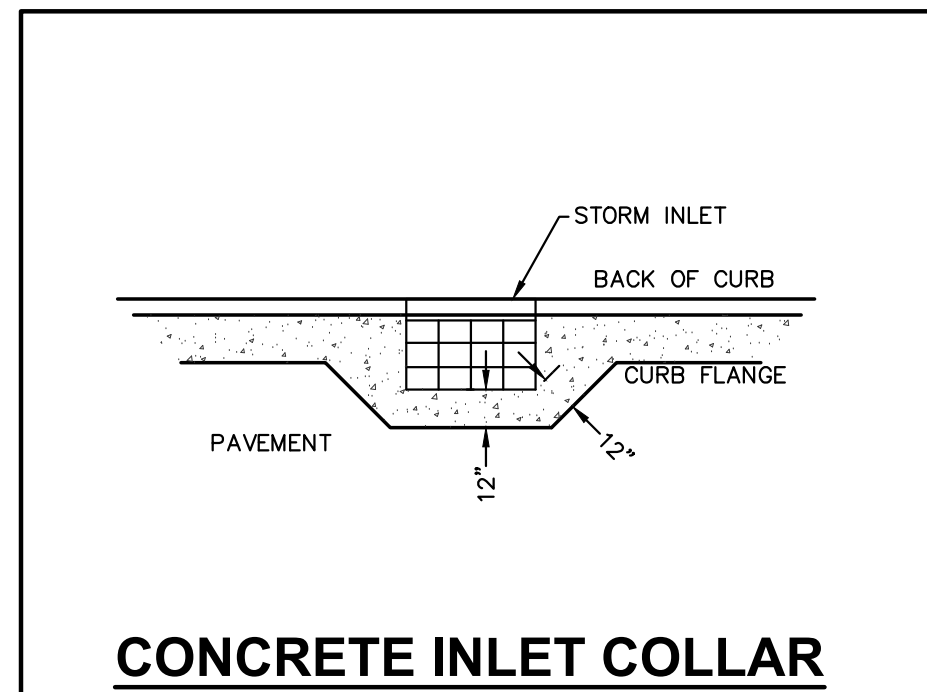
ADA SIGN
N.T.S.



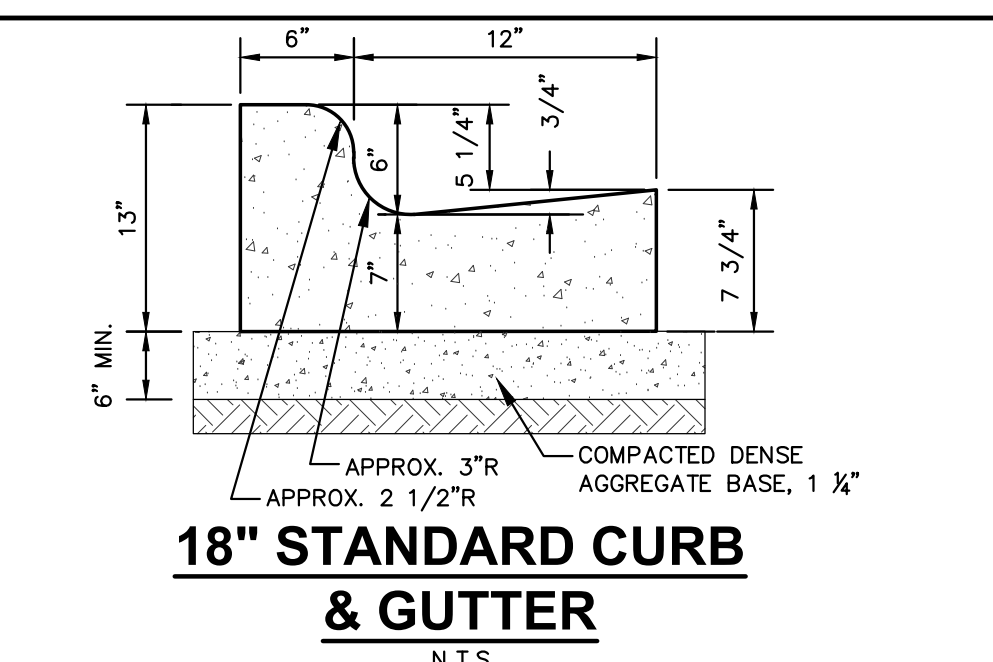
ADA ACCESSIBLE RAMP
N.T.S.



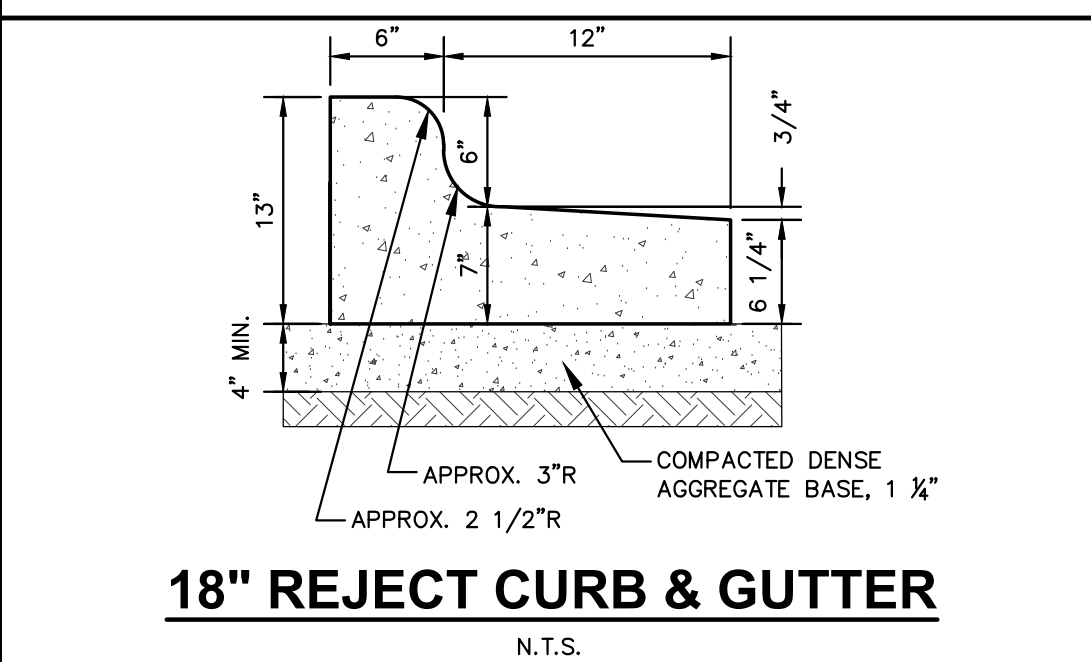
ADA ACCESSIBLE RAMP (IN-LINE)
N.T.S.



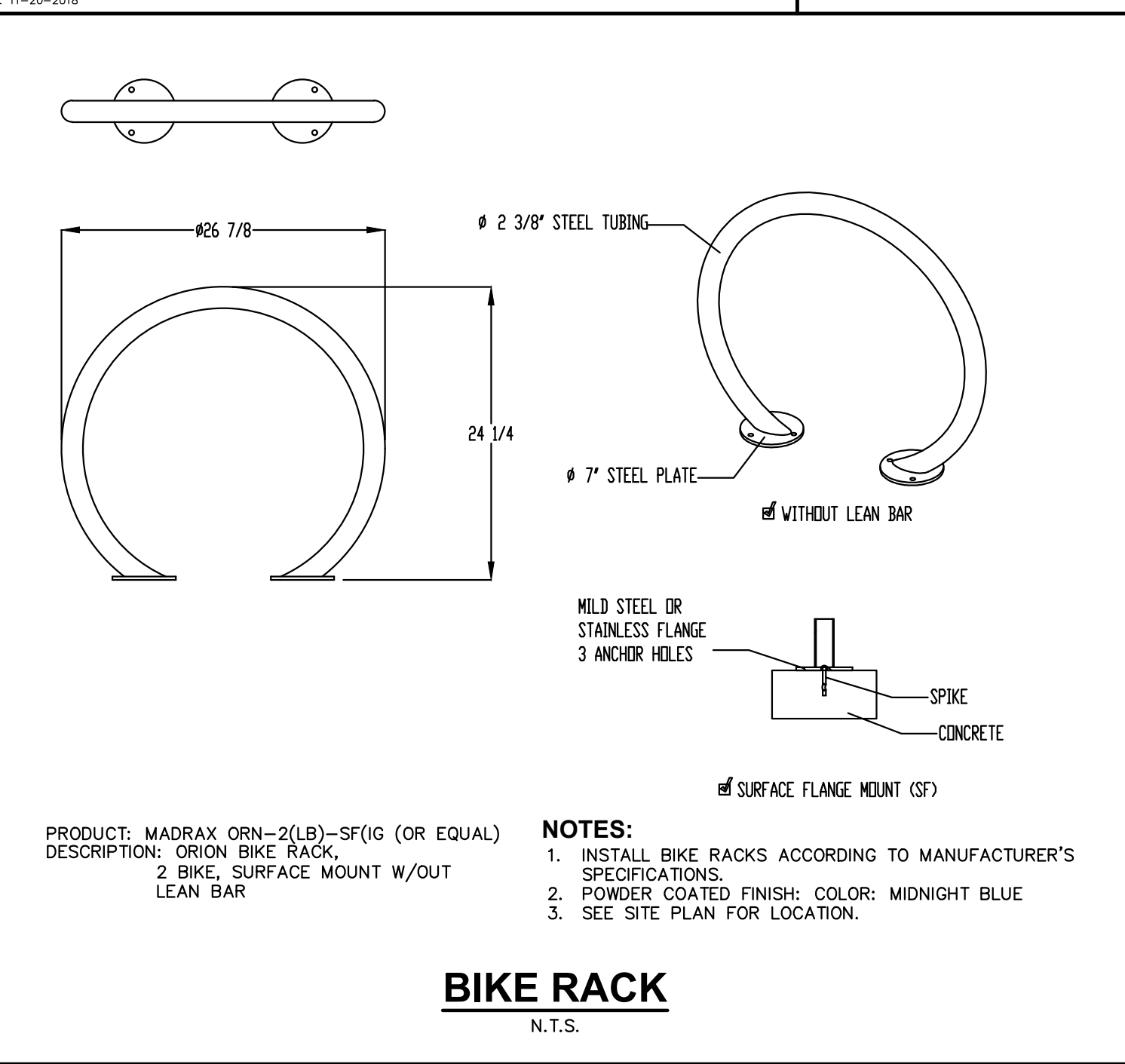
CONCRETE INLET COLLAR
N.T.S.



18" STANDARD CURB & GUTTER
N.T.S.



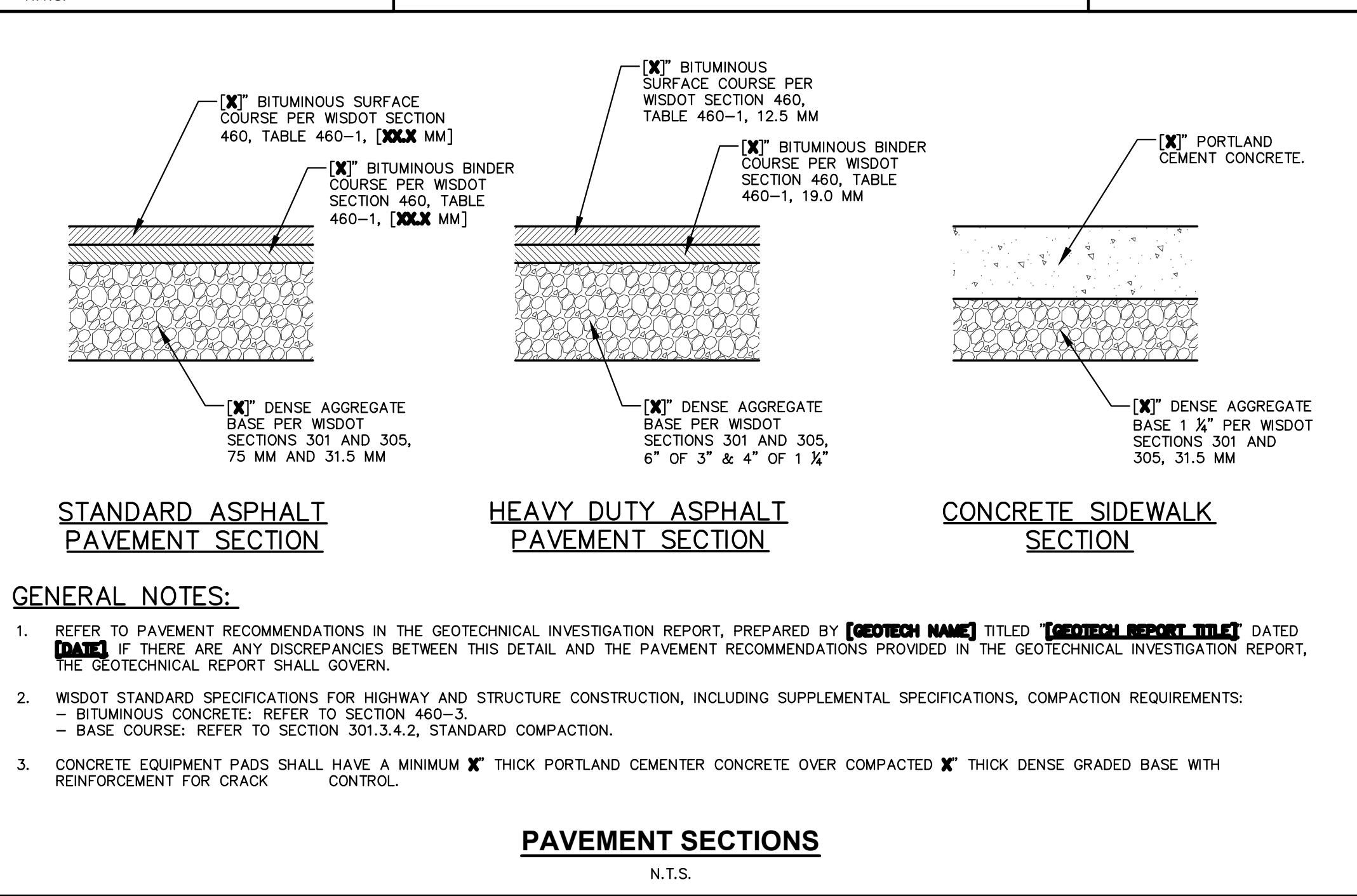
18" REJECT CURB & GUTTER
N.T.S.



PRODUCT: MADRAX ORN-2(LB)-SF(IG (OR EQUAL)
DESCRIPTION: ORION BIKE RACK
2 BIKE, SURFACE MOUNT W/OUT LEAN BAR

NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. POWDER COATED FINISH; COLOR: MIDNIGHT BLUE
3. SEE SITE PLAN FOR LOCATION.

BIKE RACK
N.T.S.



STANDARD ASPHALT PAVEMENT SECTION

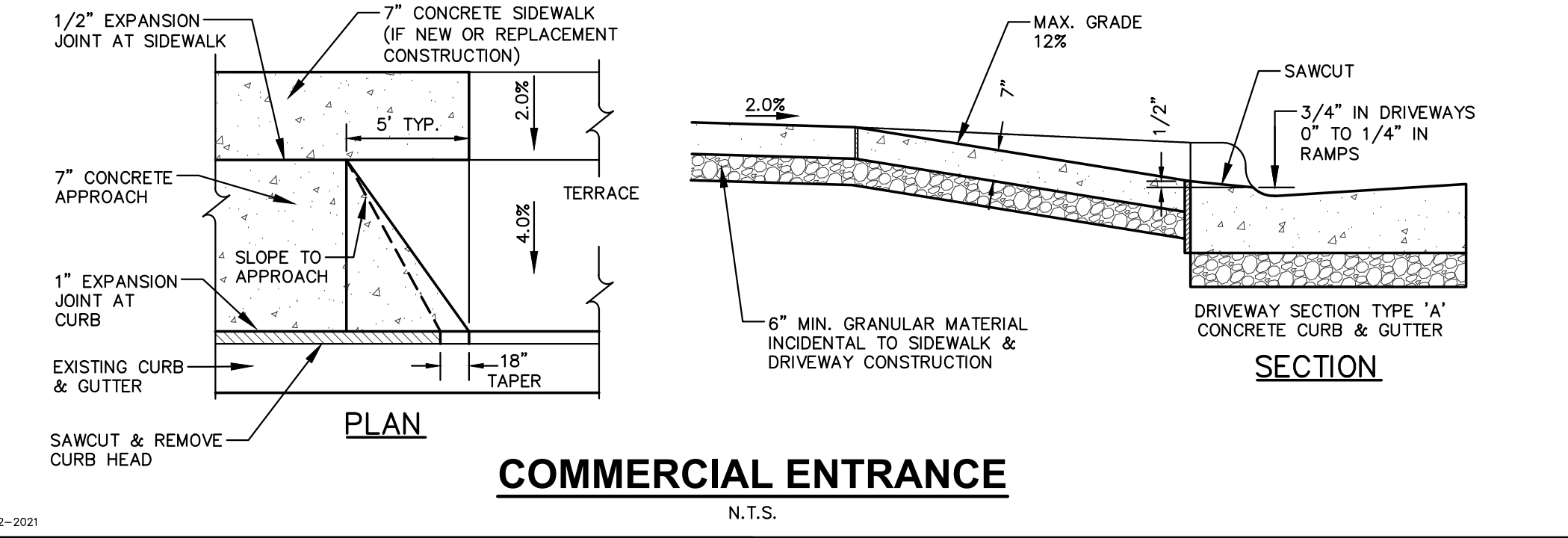
HEAVY DUTY ASPHALT PAVEMENT SECTION

CONCRETE SIDEWALK SECTION

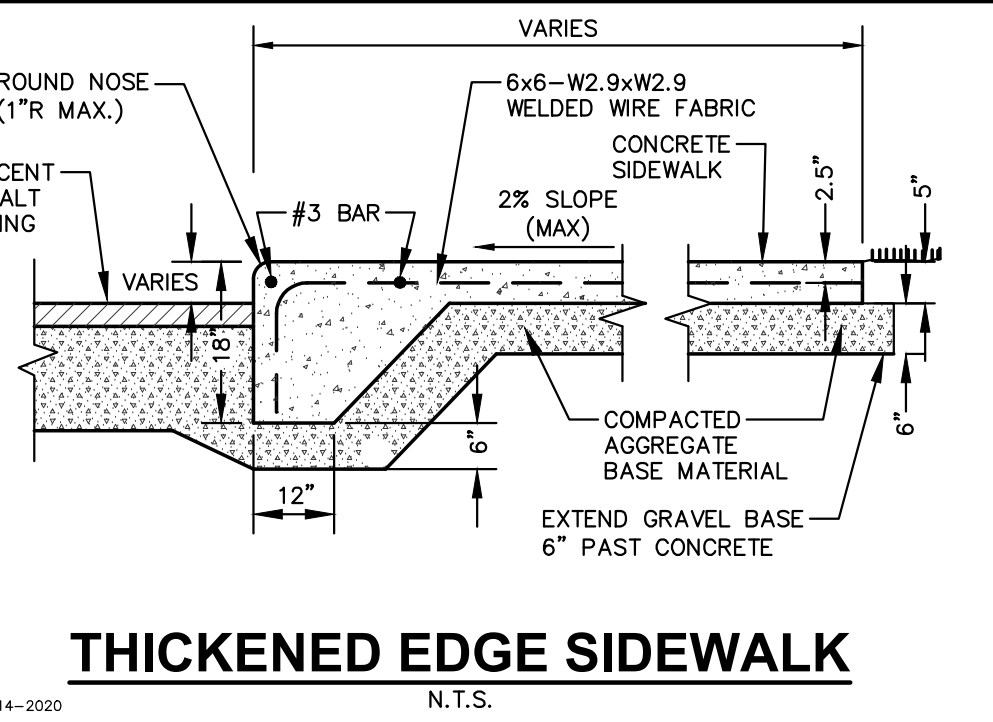
GENERAL NOTES:

- REFER TO PAVEMENT RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT, PREPARED BY [GEOTECH NAME] TITLED "[GEOTECH REPORT TITLE]" DATED [DATE]. IF THERE ARE ANY DISCREPANCIES BETWEEN THIS DETAIL AND THE PAVEMENT RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL INVESTIGATION REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN.
- WSDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, COMPACTION REQUIREMENTS: - BITUMINOUS CONCRETE: REFER TO SECTION 460-3 - BASE COURSE: REFER TO SECTION 301.4.2, STANDARD COMPACTION.
- CONCRETE EQUIPMENT PADS SHALL HAVE A MINIMUM 4" THICK PORTLAND CEMENTER CONCRETE OVER COMPACTED 4" THICK DENSE GRADED BASE WITH REINFORCEMENT FOR CRACK CONTROL.

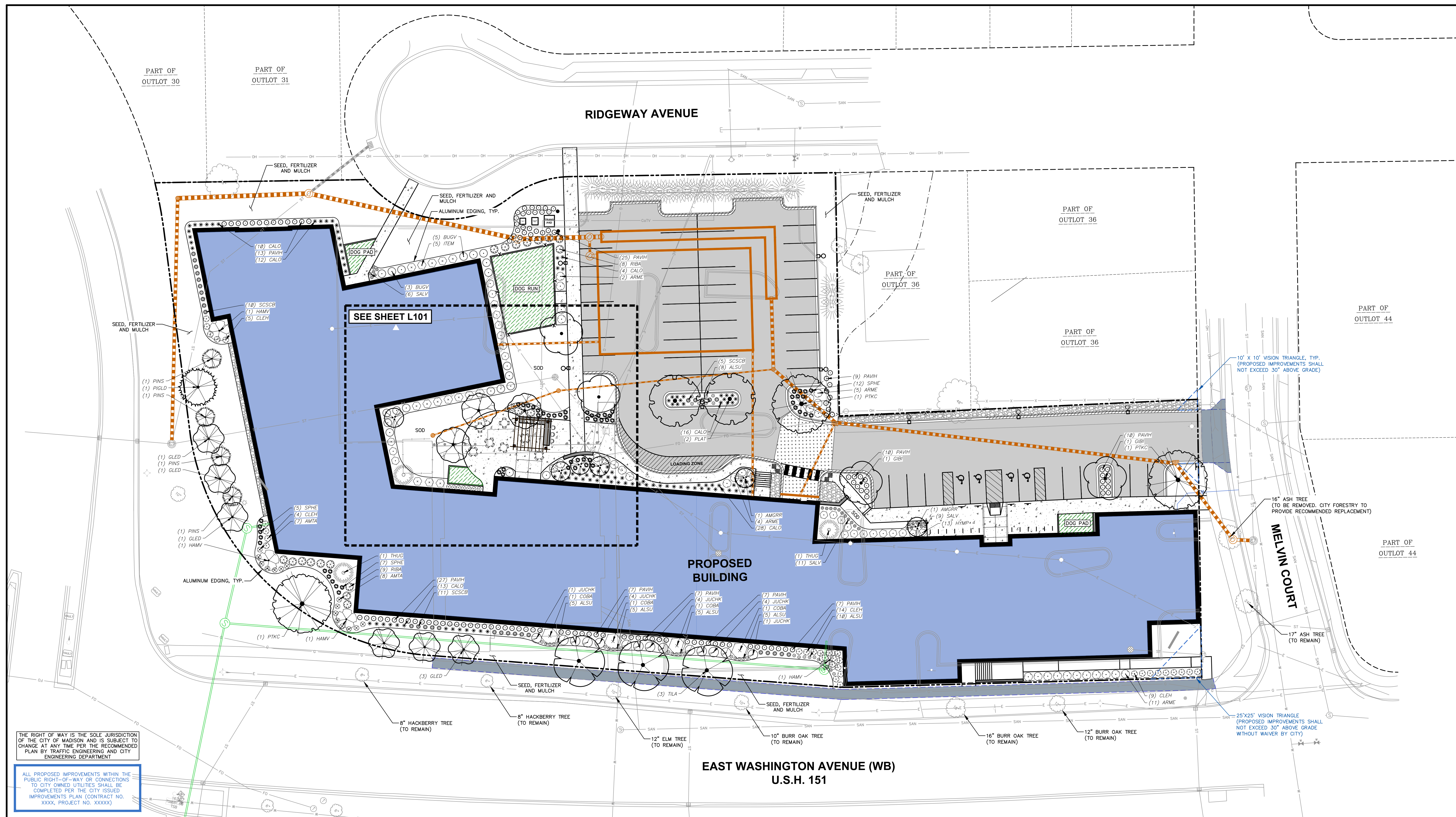
PAVEMENT SECTIONS
N.T.S.



COMMERCIAL ENTRANCE
N.T.S.



THICKENED EDGE SIDEWALK
N.T.S.



THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDED PLAN BY TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENT

ALL PROPOSED IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY OR CONNECTIONS TO CITY OWNED UTILITIES SHALL BE COMPLETED PER THE CITY ISSUED IMPROVEMENTS PLAN (CONTRACT NO. XXXX, PROJECT NO. XXXXX)

PLANT SCHEDULE					
EVERGREEN TREE	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	PIGLD	<i>Picea glauca</i> 'Densata' Black Hills Spruce	B & B	5 ft tall min.	1
	PINS	<i>Pinus cembra</i> 'Short Stuff' Short Stuff Swiss Stone Pine	B & B	5' Tall	4
ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	AMGRR	<i>Amelanchier x grandiflora</i> 'Robin Hill' Robin Hill Apple Serviceberry	B & B	6' Tall (Multi-Stem)	6
	CARC	<i>Caroliniana</i> 'J.N. Select A' Fire King™ American Hornbeam	B & B	2" Cal	3
OVERSTORY DECIDUOUS TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	GIBI	<i>Ginkgo biloba</i> 'Autumn Gold'™ Autumn Gold Maidenhair Tree	B & B	2.5" Cal	4
	GLED	<i>Gleditsia triacanthos inermis</i> 'Draves' Street Keeper® Honey Locust	B & B	2.5" Cal	6
	PTKC	<i>Gymnocladus dioica</i> 'J.C. McDaniel'™ Prairie Titan Kentucky Coffeetree	B & B	2.5" Cal	3
	PLAT	<i>Platanus x acerifolia</i> 'Morton Circle' Exclamation London Plane Tree	B & B	2.5" Cal	2
	TILA	<i>Tilia americana</i> 'Kromm' Sweet Street™ American Linden	B & B	2.5" Cal	3

DECIDUOUS SHRUBS					
CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY	
ARME	<i>Aronia melanocarpa</i> 'Morton'™ Iraqus Beauty Black Chokeberry	#3	Min. 12"-24"	31	
CLEH	<i>Clethra alnifolia</i> 'Hummingbird' Hummingbird Summersweet	#3	Min. 12"-24"	32	
COBA	<i>Cornus baileyi</i> Bailey's Red-Twig Dogwood	#5	36" Ht.	4	
HAMV	<i>Hamamelis vernalis</i> Osark Witchhazel	#5	Min. 36" tall	4	
HYMP	<i>Hydrangea macrophylla</i> 'PiliHm-II' Endless Summer® BloomStruck® Hydrangea	#3	Min. 24"	24	
ITEM	<i>Itea virginica</i> 'Morton' Scarlet Beauty™ Sweetspire	#3	Min. 24"	15	
RIBA	<i>Ribes alpinum</i> 'Green Mound' Green Mound Alpine Currant	#3	Min. 24"	19	
EVERGREEN SHRUBS					
CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY	
BUGV	<i>Buxus x 'Green Velvet'</i> Green Velvet Boxwood	#3	Min. 24"	20	
JUCHK	<i>Juniperus chinensis</i> 'Pfitzerana Kallays Compacta' Kally Pfitzer Compact Juniper	#5	Min. 24" wide	14	
THUG	<i>Thuja x 'Green Giant'</i> Green Giant Arborvitae	B & B	Min. 6' tall	3	
PERENNIALS & GRASSES					
CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY	
ALSU	<i>Allium x 'Summer Beauty'</i> Summer Beauty Allium	#1	Min. 8"-18"	38	
AMTA	<i>Anemone tabernaemontana</i> 'Storm Cloud' Storm Cloud Eastern Bluestar	#1	Min 12" Ht.	15	

	CALO	<i>Calamagrostis x acutiflora</i> 'Overdam' Overdam Feather Reed Grass	#1	Min 8"-18"	112
	LIGS	<i>Ligularia stenocephala</i> 'Little Rocket' Little Rocket Ligularia	#1	Min. 8"-18"	10
	PAVH	<i>Panicum virgatum</i> 'Heavy Metal' Heavy Metal Switch Grass	#1	Min. 12"-24"	122
	SALV	<i>Salvia nemorosa</i> 'Haemanara' Marcus® Meadow Sage	#1	Min 8"-18"	26
	SCSCB	<i>Schizachyrium scoparium</i> 'Minibluet' Blue Heaven® Little Bluestem	#1	Min. 8"-18"	31
	SPHE	<i>Sporobolus heterolepis</i> Prairie Dropseed	#1	Min. 8"-18"	58

LEGEND

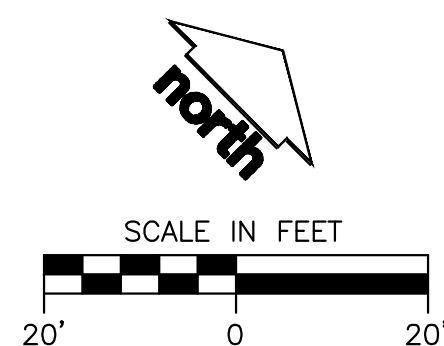
- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- BUILDING OUTLINE
- BUILDING OVERHANG
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- EXISTING 5 FOOT CONTOUR

CONTRACTOR NOTES

- ALL PLANTING AREAS SHALL RECEIVE SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE SPECIFIED (SEE L200 MATERIAL NOTES)
- ALL DISTURBED AREAS TO RECEIVE SEED, FERTILIZER, AND MULCH UNLESS OTHERWISE SPECIFIED. (SEE L200 SEEDING NOTES)

CONTRACTOR NOTES

- SANITARY SEWER
- WATERMAIN
- STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATERMAIN
- EXISTING STORM SEWER
- FENCE
- LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
- ADA PARKING SIGN
- BOLLARD
- BIKE RACK
- ALUMINUM EDGING
- KAFKA GRANITE AGGREGATE PATH
- ARTIFICIAL TURF (SPECIFICATION TBD)
- DECORATIVE STONE MULCH



GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.
- GENERAL: ALL WORK IN THE R-0-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. ALL PLANTING OF PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND REPLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MATERIAL. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE PLANTED FROM THE BOTTOM OF THE CONTAINER. CONTRACTOR SHALL PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS AND DOUBLE LEAVERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRIM THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS FROTE REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES, BARK AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRAGILE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC, NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS - ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

SEEDING & SODDING NOTES

- MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPETS' MADISON PARKS' GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE.
- MATERIALS - SOD: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF 50 INCH PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET. AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS AND WEED SEED. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.

LANDSCAPE CALCULATIONS AND DISTRIBUTIONS

Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and dock/loading facilities, but excluding the area of any building footprint at grade, land designated for open space uses such as athletic fields, and undeveloped land area on the same zoning lot. There are three methods for calculating landscape points depending on the size of the lot and zoning district.

(A) For lots larger than five (5) acres, points shall be provided as five (5) landscape points shall be provided for each three hundred (300) square feet of developed area.

Total square footage of developed area: 28,284 SF
Total landscape points required: 438 POINTS

(B) For lots larger than five (5) acres, points shall be provided as five (5) points per three hundred (300) square feet for the first five (5) developed acres and one (1) point per one hundred (100) square feet for all additional acres.

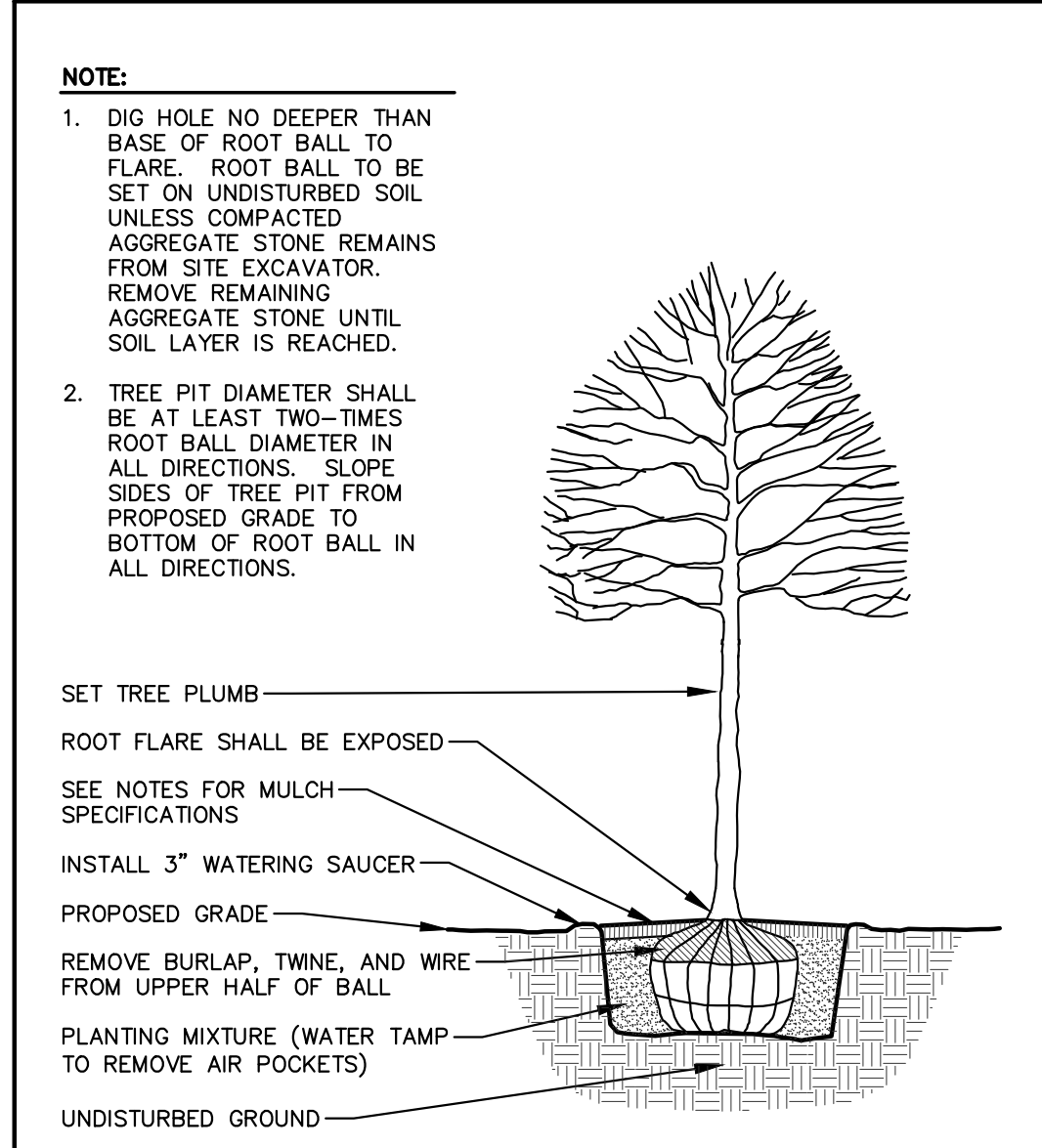
Total square footage of developed area: _____
Five (5) acres: _____
First five (5) developed acres: _____
Remainder of developed area: _____
Total landscape points required: _____

(C) For the Industrial - Limited (I1) and Industrial - General (I2) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Total square footage of developed area: _____
Total landscape points required: _____

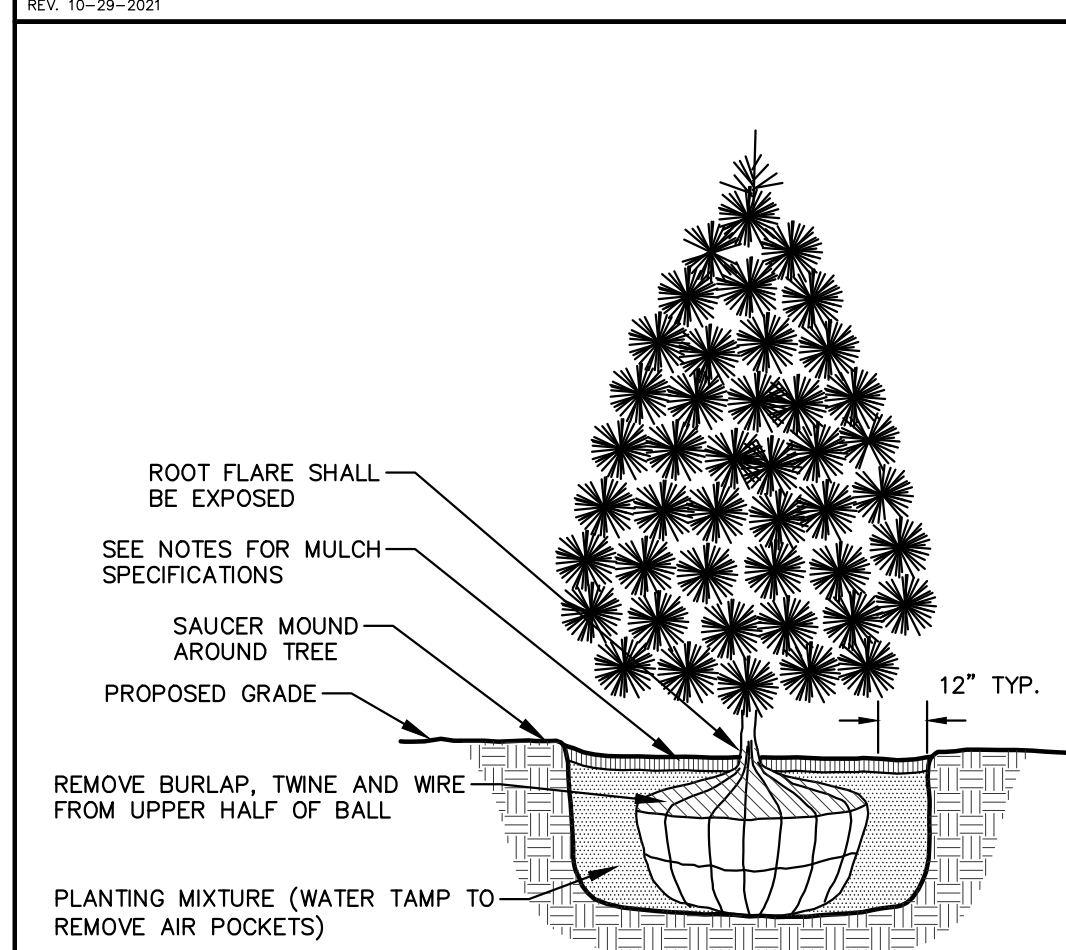
TABULATION OF LANDSCAPE CREDITS AND POINTS

PLANT TYPE/ELEMENT	MINIMUM INSTALLATION SIZE	POINTS	CREDITS / EXISTING LANDSCAPING		NEW / PROPOSED LANDSCAPING	
			QUANTITY	POINTS ACHIEVED	QUANTITY	POINTS ACHIEVED
OVERSTORY DECIDUOUS TREE	2.5" CAL MIN.	35	0	0	18	630
TALL EVERGREEN TREE	5-6' TALL MIN.	35	0	0	5	175
ORNAMENTAL TREE	1.5" CAL MIN.	15	0	0	10	150
UPRIGHT EVERGREEN SHRUB	3-4' TALL MIN.	10	0	0	0	0
SHRUB, DECIDUOUS	#1 CONT., MIN. 12" x 24"	3	0	0	115	345
SHRUB, EVERGREEN	#3 CONT., MIN. 12" x 24"	4	0	0	32	128
ORNAMENTAL GRASS & PERENNIAL	#1 CONT., MIN. 8" x 18"	2	0	0	490	980
ORNAMENTAL / DECORATIVE KENING OR WALL	4 POINTS / 10 LF	4	0	0	0	0
EXISTING SIGNIFICANT SPECIMEN TREE > 14" CALIPER	> 14" CALIPER (POINTS GREATER THAN MAXIMUM POINTS ALLOWED)	200	0	0	0	0
EXISTING SIGNIFICANT SPECIMEN TREE < 13" CALIPER	< 13" CALIPER (15 POINTS PER CALIPER MICRORING CANNOT COMPRISE MORE THAN 50% OF TOTAL REQUIRED POINTS)	14*4	0	0	0	0
LANDSCAPE FURNITURE	5 POINTS PER SEAT (WITHIN PUBLICALLY ACCESSIBLE DEVELOPED AREA CANNOT COMPRISE MORE THAN 5% OF TOTAL REQUIRED POINTS)	5	0	0	0	0
SUBTOTAL			0	0	2,408	
TOTAL NUMBER OF POINTS PROVIDED			2,408			



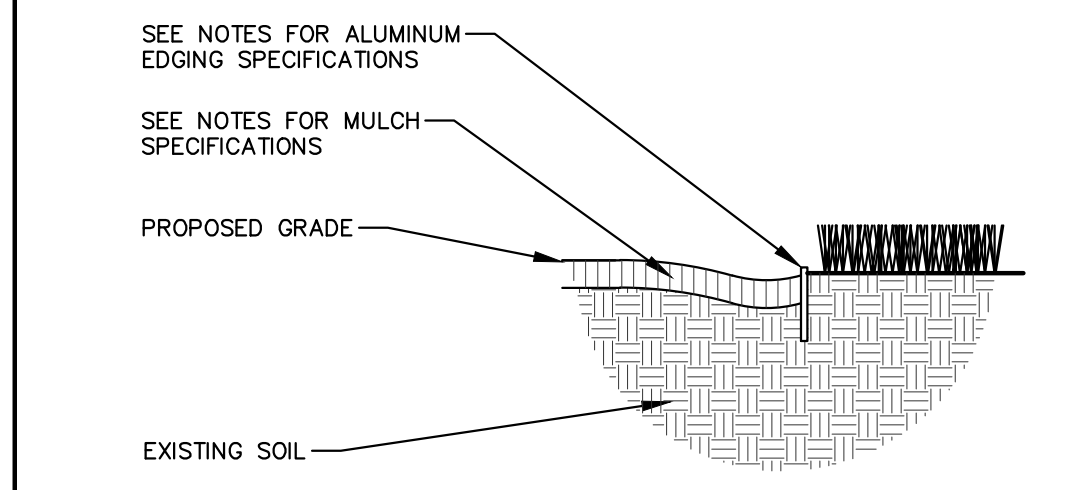
DECIDUOUS TREE PLANTING DETAIL

N.T.S.
REV. 01-09-2021



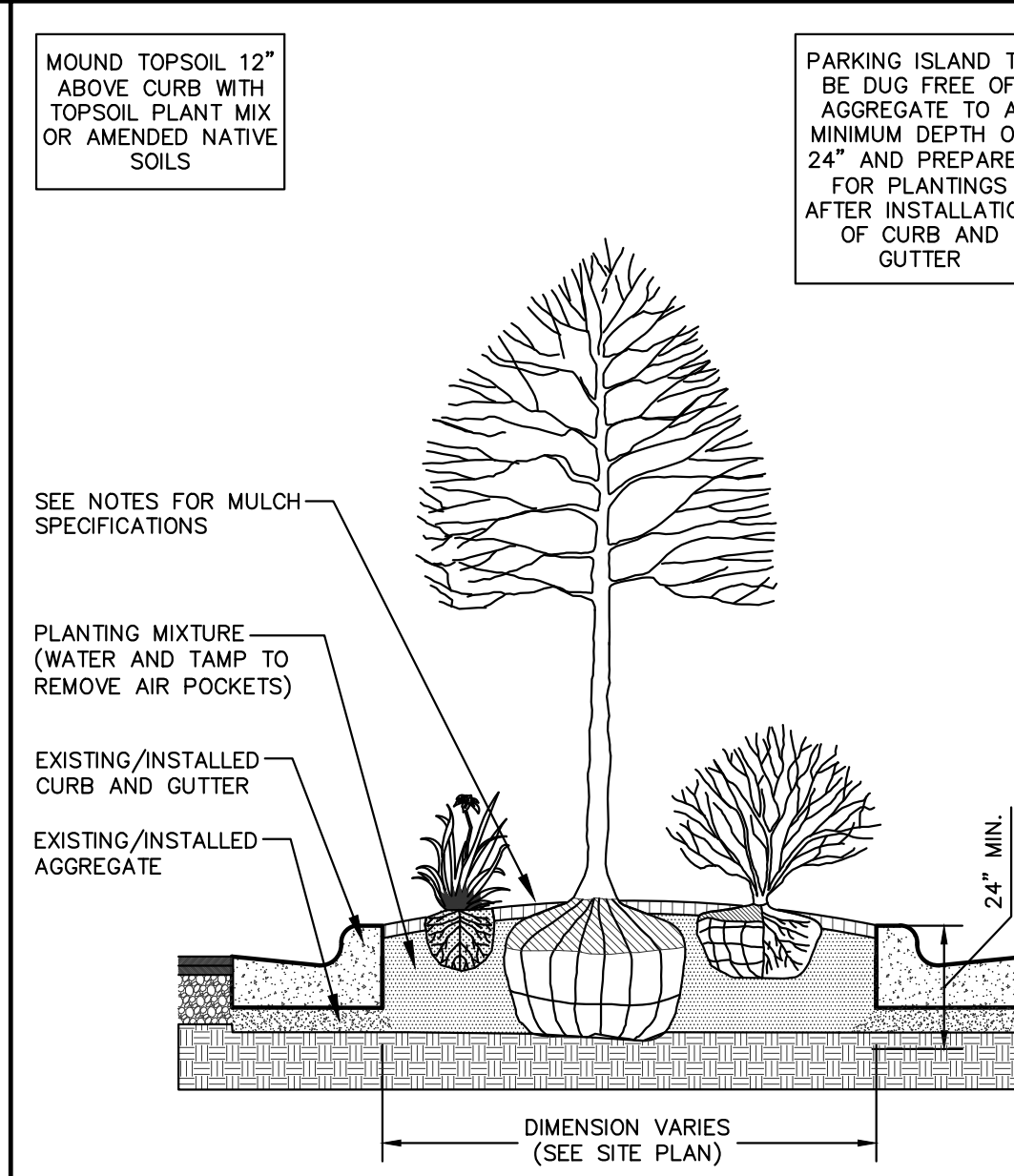
EVERGREEN TREE PLANTING DETAIL

N.T.S.
REV. 01-03-2019



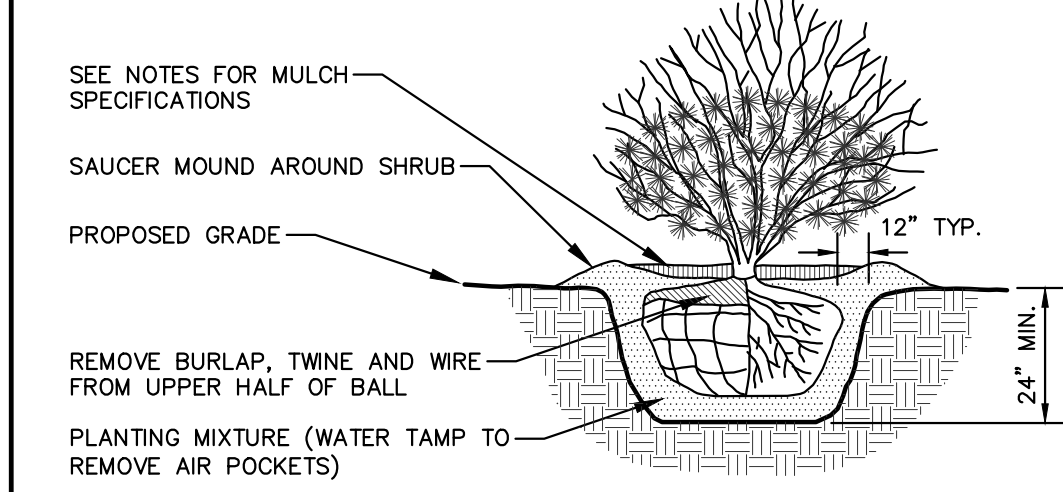
ALUMINUM LANDSCAPE EDGING DETAIL

N.T.S.
REV. 01-03-2019



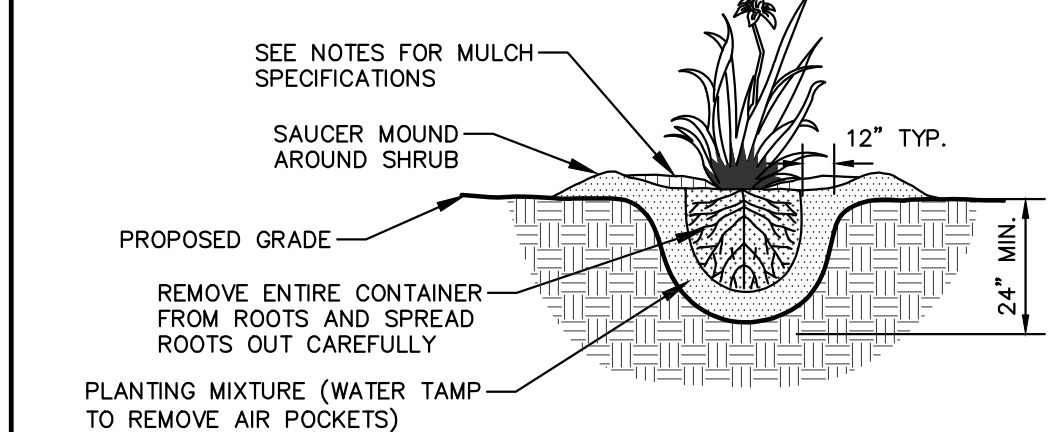
PARKING ISLAND LANDSCAPE DETAIL

N.T.S.
REV. 01-03-2019



SHRUB PLANTING DETAIL

N.T.S.
REV. 01-03-2019



PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL

N.T.S.
REV. 01-03-2019

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.**
- MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, SEEDED AND/OR SODDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHARPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE, AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.