

APPLICATION FOR DEMOLITION OF PRINCIPAL BUILDINGS

Complete all sections of this application, including signature on page 2.

To request an interpreter, translation, or accommodations, call (608)266-4910.

Para solicitar un intérprete, traducción o acomodaciones llame al (608)266-4910.

Koj muaj txoj cai tau txais kev txhais lus, kev pes lus los sis kev pab cuam txhawm rau

kev tsis taus uas tsis muaj nqi rau koj: Xav paub ntxiv tiv tauj rau (608)266-4910

如需口譯、翻譯或其他便利服務，請致電 (608)266-4910.

City of Madison

Building Inspection Division

215 Martin Luther King Jr Blvd, Ste 017

PO Box 2985

Madison, WI 53701-2985 (608) 266-4551



Submit the following via email to:

- Building Inspection at sprapplications@cityofmadison.com and
- Landmarks Commission at LandmarksCommission@cityofmadison.com (see [submittal schedule](#))

Part 1: General Application Information

Street Address:	206 Bernard Court		
Alder District:	AD#8	Zoning District:	Campus - Institutional (C-I)
Project Contact Person Name	Cindy Torstveit	Role	Associate Vice Chancellor
Company Name	University of Wisconsin - Madison		
Phone	608-262-0718	Email	[REDACTED]

<input checked="" type="checkbox"/>	Completed Application (this form)
<input checked="" type="checkbox"/>	Property Owner Permission (signature on this form or an email providing authorization to apply)
<input checked="" type="checkbox"/>	Copy of Notification sent to the Demolition Listserv Date Sent <u>10/24/2025</u>
<input checked="" type="checkbox"/>	Copy of Email Pre-Application Notification of Intent to Demolish a Principal Structure sent to District Alder, City-registered neighborhood association(s), and City-listed business association(s). Date Sent <u>10/24/2025</u>
<input type="checkbox"/>	\$600 Demolition Application Fee (additional fees may apply depending on full scope of project)
<input checked="" type="checkbox"/>	Demolition Plan
	Are you also seeking a Zoning Map Amendment (Rezoning) or Conditional Use? <input type="radio"/> Yes <input checked="" type="radio"/> No

Part 2: Information for Landmarks Historic Value Review

<input checked="" type="checkbox"/>	Letter of Intent describing the proposed structure to be demolished, description of proposed method and timeline of demolition
<input checked="" type="checkbox"/>	Construction Information (Dates of construction and alterations, architect name, builder name, history of property, historic photos)
<input checked="" type="checkbox"/>	Existing Condition Photos (Interior and exterior digital photos of each principal building to be demolished sufficient to indicate its character and condition)
<input type="checkbox"/>	Will existing structure be relocated? <input type="radio"/> Yes <input checked="" type="radio"/> No If "yes" include preliminary assessment that relocation is likely to be structurally and legally feasible
<input type="checkbox"/>	Optional: Proposed mitigation plans for properties with possible historic value

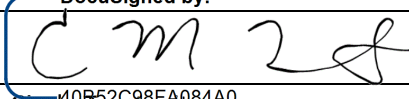
APPLICATION FOR DEMOLITION OF PRINCIPAL BUILDINGS

Part 3: Application for Plan Commission Review (if applicable)

- When Landmarks Commission finds a building has Historic Value, the demolition application must be considered by the Plan Commission.
- If Plan Commission review is required, staff will schedule the public hearing based on the [published schedule](#).
- Applicant must [make an appointment](#) to pick up “Public Hearing” sign from Zoning Counter and post the sign on property at least 21 days before Plan Commission hearing.

Demolition requests will be scheduled concurrently with other related requests before the Plan Commission, where applicable. A schedule confirmation will be emailed to the designated project contact. Contact staff at pcapplications@cityofmadison.com with questions.

Part 4: Signature

Property Owner Authorizing Signature (or authorized via attached email)		DocuSigned by:  12/18/2025 15:22:41	
Property Owner Name		Cindy Forstvet	
Company Name		Associate Vice Chancellor, FP&M	
Street Address		21 N. Park Street, Madison, WI 53715	
Phone		Email	

For Office Use Only	
Date:	
Accela ID No.:	



**Facilities Planning
& Management**
UNIVERSITY OF WISCONSIN-MADISON

December 17, 2025

City Building Inspection and Landmarks Commission
215 Martin Luther King Jr. Blvd #017
Madison, WI 53703

RE: DEMOLITION LAND USE APPLICATION: 206 BERNARD COURT (#20K1G)
Zoning: Campus-Institutional District (C-I)
University of Wisconsin-Madison

This demolition approval application to the City of Madison by the University of Wisconsin – Madison regarding a structure located at 206 Bernard Court (Block 16) in Madison, Wisconsin. All lands are owned by the Board of Regents of the University of Wisconsin System. This application is arriving 30+ days after Alder (AD#8), Neighborhood Association (CANA), and Demo Listserv notification. There is no request to amend the Campus Master Plan as the parcel is currently zoned Campus-Institutional (C-I) District.

The following information is per Section 28.185 of the Madison General Ordinance for Demolition Permits approvals.

- **Condition and History of the House:** The property at 206 Bernard Court, constructed in 1911, is a 3-story, 3,734 wood frame structure located on Bernard Court. Builder unknown. Based on the age of the building, all building materials are presumed to be asbestos-containing materials. A demolition quality asbestos inspection will be performed prior to removal initiation to confirm. Materials containing hazardous materials will be abated according to current state and federal regulations by a certified contractor. There is lead-based paint on the exterior and interior of the building (UW-Madison Environment, Health & Safety inspections using XRF) with high concentrations of lead around the building based on 2012 soil samples. Reference existing images for additional information.
- **Potential for Relocation:** The structure is not listed on the National or State of Wisconsin Historic Register. The building is listed on the Architecture and History Inventory (#160472) however a determination of ineligible for the National Register has been made. A 44.40 form has been submitted to the Wisconsin Historical Society and concurrence received that no eligible properties would be affected. The property's current condition and structural issues would pose significant challenges to any relocation efforts.
- **Campus Master Plan Alignment:** The property is situated within the campus boundaries and was identified for potential acquisition and redevelopment in the Campus Master Plan adopted in 2017. The timing of the acquisition aligns with our ongoing efforts to develop out the southern half of Block 16 for institutional programming. The removal of this structure will facilitate the implementation of these plans and contribute to the overall improvement and development of the campus.
- **Interim Condition Following Removal:** After the demolition of the house, the site will be stabilized and prepared for future development. We plan to remove any contaminated soil, if applicable, grade the site and apply seed to establish cover. Erosion control measures will be installed accordingly. This interim condition will ensure safety and allow for setup with the planned future development.

Application Materials

- Demolition Land Use Application
- Letter of Intent
- Photographs of existing structure
- University of Wisconsin Building Demolition Request Form
- Alder/Neighborhood Association Notification

Project Participants**Owner:****State of Wisconsin****Agency: Universities of Wisconsin**

Board of Regents
Room 1860 Van Hise Hall
1220 Linden Drive
Madison, Wisconsin 53706

Owner's Contact:**University of Wisconsin – Madison**

Facilities Planning and Management
30 N. Mills Street, 4th Floor
Madison, Wisconsin 53715-1211
Phone: 608-263-3023
Attn: Scott Utter, Director of Campus Planning & Landscape Architecture
E-Mail: scott.utter@wisc.edu

Project Schedule:

Demo List Serve Application	October 24, 2025
Landmarks Meeting:	January 12, 2026
Contractor Retained:	Spring 2026
Mobilize Demolition:	Early Summer 2026
Substantial completion:	Mid-Summer 2026

Thank you,

DocuSigned by:



C:40B57C08FA084A0...

Cindy Forstner

Associate Vice Chancellor
Facilities Planning & Management, University of Wisconsin-Madison

cc: Peter Schlecht, UW-Madison Assistant Vice Chancellor Campus Planning & Design
Ben Schmidt, UW-Madison Interim Director Real Estate Development & Administration
Scott Utter, UW-Madison Director Campus Planning & Landscape Architecture
Casey Ward, UW-Madison FP&M Project Manager
Aaron Williams, UW-Madison Campus Planning

Facilities Planning and Management

University of Wisconsin-Madison 21 N. Park Street, Ste 6001 Madison, Wisconsin 53715-1211
608/263-3000 www.fpm.wisc.edu







GENERAL SITE DEMOLITION NOTES

1. REFER TO SHEET C001 CIVIL GENERAL NOTES FOR GENERAL DEMOLITION, CITY FORESTRY NOTES, & EROSION CONTROL NOTES.
2. THE RIGHT OF WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DIVISIONS.

Scale: 0 10 20 40
Scale: 1" = 20'

DIGGERS HOTLINE

Dial 811 or (800)242-8511

www.DiggersHotline.com

UW LETTERS AND SCIENCE - LEVY HALL TREE SURVEY

TREE CODE	SPECIES	DBH	NOTES
1	Black Cherry	4"	Multi-stem
2	Basswood	14"	Multi-stem
3	Basswood	12"	Multi-stem
4	Basswood	10"	Multi-stem
5	Eastern Cottonwood	10"	N/A
6	Eastern Cottonwood	10"	N/A
7	Eastern Cottonwood	10"	N/A
8	Sumac	4"	Multi-stem
9	Northern Hackberry	16"	N/A
10	Sumac	6"	N/A
11	American Elm	4"	N/A
12	Black Cherry	4"	N/A
13	Black Cherry	4"	N/A
14	Black Cherry	4"	N/A
15	Northern Red Oak	18"	N/A
16	Basswood	12"	N/A
17	Basswood	30"	N/A
18	Black Walnut	18"	N/A
19	Basswood	24"	N/A
20	Sugar maple	18"	N/A
21	Eastern Red Cedar	6"	N/A
22	Basswood	18"	N/A
23	Basswood	16"	N/A
24	Black Walnut	16"	N/A
25	Black Walnut	6"	N/A
26	Northern Hackberry	24"	N/A
27	Hop-hornbeam	4"	N/A
28	Norway Maple	24"	N/A
29	Basswood	18"	N/A
30	Chinquapin Oak	2"	Within City ROW
31	River Birch	8"	Multi-stem
32	River Birch	8"	Multi-stem
33	Basswood	30"	N/A
34	River Birch	8"	Multi-stem
35	Arborvitae	4"	Multi-stem
36	Arborvitae	6"	Multi-stem
37	Arborvitae	6"	Multi-stem
38	Arborvitae	6"	Multi-stem
39	Arborvitae	6"	Multi-stem
40	Arborvitae	6"	Multi-stem
41	Elm	1.5"	Within City ROW
42	River Birch	4"	Removed in 15K1F-01
43	River Birch	6"	Removed in 15K1F-01
44	River Birch	8"	Removed in 15K1F-01
45	Hop-hornbeam	6"	N/A
46	Amur Maple	12"	N/A
47	Northern Hackberry	14"	N/A
48	Northern Hackberry	18"	N/A
49	Black Walnut	12"	N/A
50	Norway Maple	12"	N/A
51	Northern Hackberry	8"	N/A
52	Northern Hackberry	10"	N/A
53	Arborvitae	6"	N/A
54	Arborvitae	6"	N/A
55	Sugar Maple	36"	N/A
56	American Elm	12"	N/A
57	River Birch	6"	N/A
58	White Ash	16"	Significant dead crown
59	River Birch	4"	Multi-stem
60	White Ash	14"	Dead trunk with root sprouts
61	Silver Maple	54"	N/A
62	Silver Maple	48"	N/A
63	Crabapple	5"	Within City ROW
64	Crabapple	4"	Within City ROW
65	Crabapple	5"	Within City ROW
66	Elm	14"	Within City ROW
67	Black Walnut	12"	N/A

MIXED WOODS

KEY INDEX

- PROJECT LIMITS
- VEGETATION TO BE REMOVED & DISPOSED OF OFFSITE. UNUSED TOPSOIL TO BE REMOVED OFFSITE. TOPSOIL THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.
- ASPHALT PAVEMENT & BASE MATERIAL TO BE REMOVED TO SUB-BASE & DISPOSED OF OFFSITE. PAVEMENT & BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.
- CONCRETE & BASE MATERIAL TO BE REMOVED TO SUB-BASE & DISPOSED OF OFFSITE. CONCRETE & BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.
- PAVERS & BASE MATERIAL TO BE REMOVED TO SUB-BASE & DISPOSED OF OFFSITE.
- GRAVEL MATERIAL TO BE REMOVED & DISPOSED OF OFFSITE. UNUSED GRAVEL MATERIAL TO BE REMOVED OFFSITE. GRAVEL THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.
- CLEAR & GRUB VEGETATION, REMOVE ROOTS & STUMPS. REMOVE & DISPOSE OF OFFSITE.
- EXISTING BUILDING & FOUNDATION TO BE RAZED.
- XXXXXXX SAWCUT FULL DEPTH
- X TREES & STUMPS TO BE REMOVED
- DENOTES UTILITIES TO BE ABANDONED & REMOVED.
- AB DENOTES UTILITIES TO BE ABANDONED IN PLACE.
- UTILITY STRUCTURE REMOVAL/ABANDONMENT
- 30 TREE CODE
- CONSTRUCTION FENCE
- TREE PROTECTION FENCING

R/S

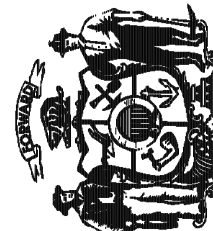
BORA

consultant:

kapur

400 E. Wisconsin Ave.
Milwaukee, WI 53202
www.kapurinc.com

State of Wisconsin
Department of Administration
Division of Facilities Development



232 N. PARK ST.
MADISON, WI 53715

NEW ACADEMIC BUILDING
LEVY HALL
UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

SITE DEMOLITION PLAN - OVERALL

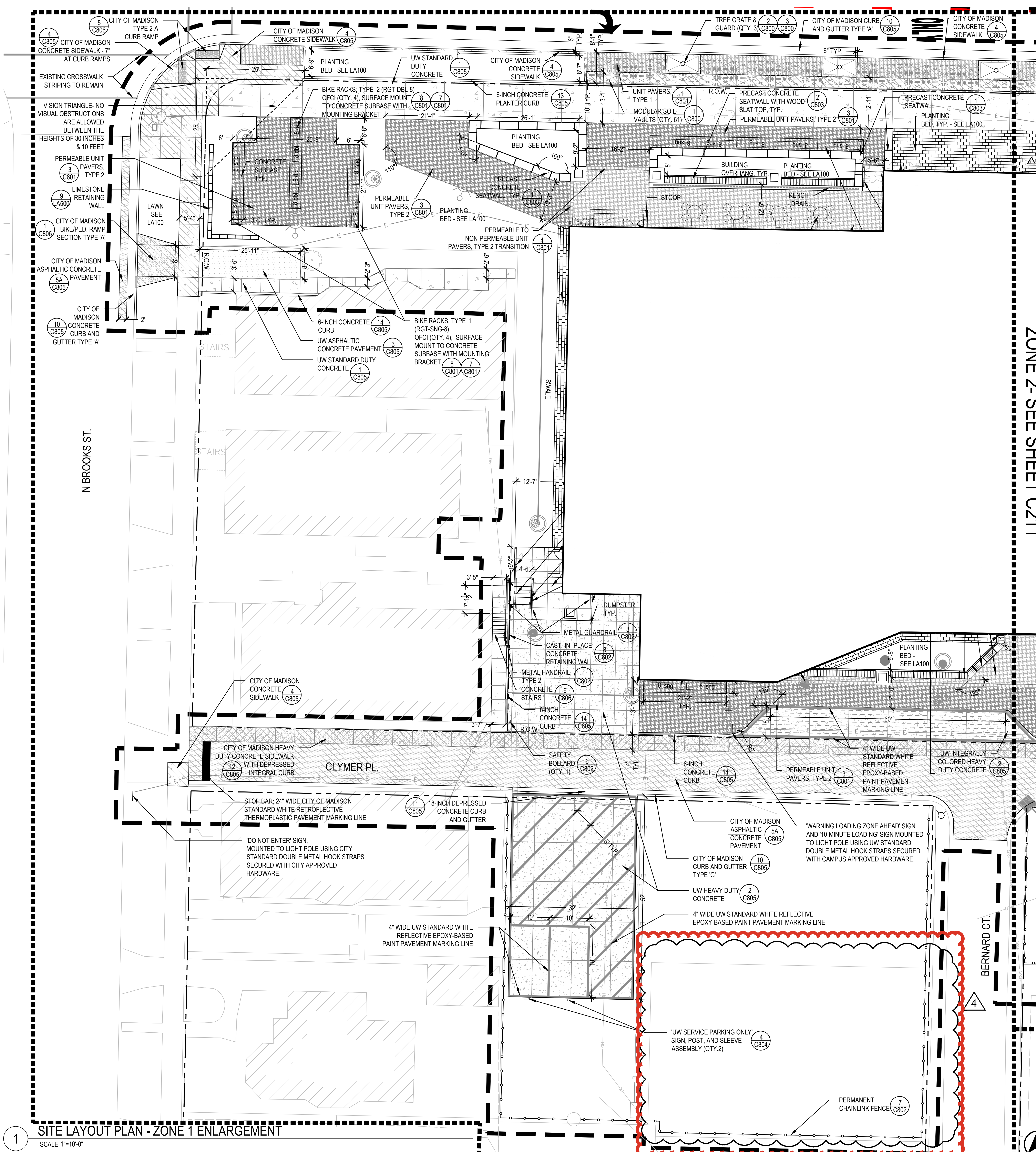
No.	Date	Description
1	03/22/2024	Construction Bulletin 6
2	03/22/2024	Construction Bulletin 6
3	03/22/2024	Construction Bulletin 6
4	04/04/2024	Construction Bulletin 13
5	04/04/2024	Construction Bulletin 14
6	03/28/2023	Construction Bulletin 17

Graphic Scale: 0 5' 10' 20' 30'

PDF Number: 20K1G-01
Set Type: CD

Date Issued: 12/01/2023

Sheet Number: C110



- ### NOTES
- FIELD VERIFY SURVEY INFORMATION PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE DFD REPRESENTATIVE.
 - CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO STARTING WORK.
 - FIELD VERIFY ALL EXISTING SITE CONDITIONS AND UTILITIES PRIOR TO STARTING WORK. ANY DAMAGE CAUSED TO UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
 - PROTECT OR RELOCATE ALL BENCHMARKS. RELOCATED BENCHMARKS TO BE INCLUDED WITH CONTRACT OR AS-BUILTS.
 - PROTECT ALL EXISTING PAVEMENTS, CURBS, UTILITIES, AND OTHER IMPROVEMENTS (TO REMAIN) FROM CONSTRUCTION ACTIVITIES. RESTORE ALL AREAS DISTURBED BY CONSTRUCTION RELATED ACTIVITIES TO EXISTING CONDITIONS AT COMPLETION OF WORK UNLESS SHOWN OTHERWISE ON PLANS.
 - CONTRACTOR IS RESPONSIBLE FOR STAKING SITE FOR HORIZONTAL AND VERTICAL ALIGNMENT.
 - ANY DEVIATION FROM THE LAYOUT AND DIMENSION SHOWN ON THIS PLAN SHALL REQUIRE APPROVAL BY BOTH THE DFD REPRESENTATIVE AND THE CAMPUS REPRESENTATIVE PRIOR TO PROCEEDING WITH MODIFICATIONS.
 - SUBMIT CONCRETE CONSTRUCTION JOINT LAYOUT PLAN ACCORDANCE WITH SECTION 32.13.13 - CONCRETE PAVING. ANY DEVIATION FROM JOINTING LAYOUT AS SHOWN IN THE SITE LAYOUT PLANS WILL REQUIRE REVIEW AND APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PROCEEDING WITH MODIFICATIONS.
 - ALL DISTURBED PAVEMENT AREAS SHALL BE RESTORED WITH CONCRETE OR ASPHALT PAVEMENT EITHER TEMPORARILY OR PER THE FINAL PAVEMENT CONDITION AS SHOWN ON THE DRAWINGS. GRAVEL, SOIL, OR OTHER BACKFILL MATERIALS ARE NOT ACCEPTABLE.
 - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE(S). CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREES. THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
 - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm).
 - SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)) ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
 - STREET TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608) 266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300- PART 1 STANDARDS FOR PRUNING.
 - MODULAR SOIL VAULTS ARE REQUIRED SURROUNDING TREE GRATES AS INDICATED ON THE SITE LAYOUT PLANS. NO LATER THAN FIVE BUSINESS DAYS PRIOR TO INSTALLATION OF MODULAR SOIL VAULTS, THE CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO IDENTIFY AND LOCATE UNDERGROUND CONFLICTS (UTILITIES, VAULTS, CONDUIT) OR OTHER UNDERGROUND OBSTRUCTIONS AND DETERMINE GRATE LOCATIONS BEFORE MODULAR SOIL VAULT INSTALLATION. THE CONTRACTOR WILL BE REQUIRED TO OBTAIN THE SOIL VAULTS, GRATE, MATCHING FRAME AND TREE GUARD. TREE GRATE TYPE AND MATCHING FRAME: NEENAH 4X8 (R-8815-A). TREE GUARD NEENAH (R-8501-4818).
 - FOLLOWING INSTALLATION OF PERMEABLE PAVERS, CONTRACTOR TO PROTECT PERMEABLE PAVERS TO ENSURE PAVEMENT JOINTS DO NOT CLOG WITH CONSTRUCTION DEBRIS. FOLLOWING THE COMPLETION OF SITE CONSTRUCTION, CONTRACTOR TO VACUUM CLEAN PERMEABLE PAVERS AND PROVIDE ADDITIONAL PERMEABLE JOINT AGGREGATE MATERIAL FULL TO THE LIP OF THE PAVEMENT. BROOM SWEEP ENTIRE AREA CLEAN FOLLOWING INSTALLATION. SEE SECTION 32.14.00 FOR ADDITIONAL INFORMATION.
 - CONTACT DFD REPRESENTATIVE AND THE CITY OF MADISON PROJECT REPRESENTATIVE PRIOR TO PERFORMING ANY WORK WITHIN THE CITY ROW TO CONFIRM RESTORATION.
 - THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION OF TRAFFIC ENGINEERING AND ENGINEERING DIVISIONS. FORWARD ANY CHANGES PROPOSED BY CITY OFFICIALS TO DFD PROJECT REPRESENTATIVE FOR CONSIDERATION AND DIRECTION BEFORE PROCEEDING.

LEGEND

	UW ASPHALTIC CONCRETE PAVEMENT	3 C805
	UW STANDARD DUTY CONCRETE	1 C805
	UW HEAVY DUTY CONCRETE	2 C805
	UW INTEGRALLY COLORED HEAVY DUTY CONCRETE	2 C805
	CITY OF MADISON CONCRETE SIDEWALK	4 C805
	CITY OF MADISON HEAVY DUTY CONCRETE SIDEWALK WITH DEPRESSED INTEGRAL CURB	12 C805
	CITY OF MADISON ROADWAY CONCRETE	5 C805
	CITY OF MADISON ASPHALTIC CONCRETE PAVEMENT	5A C805
	UNIT PAVERS, TYPE 1 CITY R.O.W. PAVERS (NON-PERMEABLE)	1 C801
	UNIT PAVERS, TYPE 2 NON-PERMEABLE	2 C801 4 C801 5 C801 6 C801
	UNIT PAVERS, TYPE 2 PERMEABLE	3 C801 4 C801 5 C801
	SALVAGED LIMESTONE PAVERS	SEE SHEET LA100
	MODULAR SOIL VAULTS	1 C800
	CONSTRUCTION LIMITS	
	PROPERTY LINE/ROW	
	TREE PROTECTION FENCING	6 C154 7 C154
	PERMANENT CHAINLINK FENCE	7 C802
	LIGHT POLES	
	UTILITY INLETS & MANHOLES	

1 SITE LAYOUT PLAN - ZONE 1 ENLARGEMENT
SCALE: 1"=10'-0"

consultant:

State of Wisconsin
Department of Administration
Division of Facilities Development

232 N. PARK ST.
MADISON, WI 53715

NEW ACADEMIC BUILDING
LEVY HALL
UNIVERSITY OF WISCONSIN - MADISON
MADISON, WISCONSIN

SITE LAYOUT PLAN - ZONE 1 ENLARGEMENT

No.	Date	Description
BD	07/07/2023	BD Documents
13	04/02/2024	Construction Bulletin 13
2	05/29/2024	Construction Bulletin 61
3	03/28/2025	Construction Bulletin 171
4	06/xx/2025	Construction Bulletin xxx

Graphic Scale

0 5 10 15

BD Number

20K1G-01

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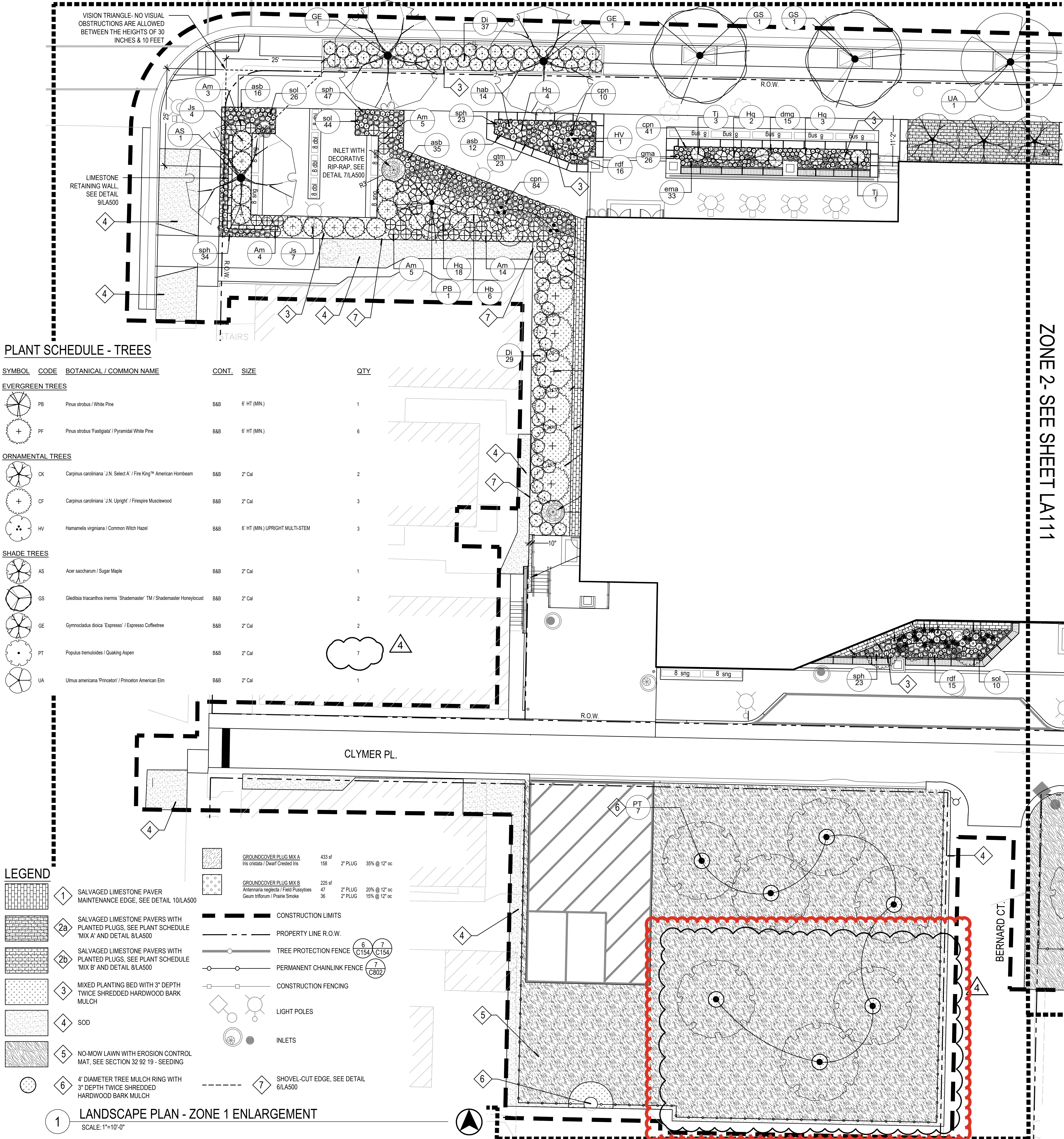
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Note Issued

12/01/2023

Sheet Number

C210



PLANT SCHEDULE - TREES

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
EVERGREEN TREES					
	PB	Pinus strobus / White Pine	B&B	6' HT (MIN.)	1
	PF	Pinus strobus 'Fastigiata' / Pyramidal White Pine	B&B	6' HT (MIN.)	6
ORNAMENTAL TREES					
	CK	Carpinus caroliniana 'J.N. Select A' / Fire King™ American Hornbeam	B&B	2" Cal	2
	CF	Carpinus caroliniana 'J.N. Upright' / Firespire Muscadewood	B&B	2" Cal	3
	HV	Hamamelis virginiana / Common Witch Hazel	B&B	6' HT (MIN.) UPRIGHT MULTI-STEM	3
SHADE TREES					
	AS	Acer saccharum / Sugar Maple	B&B	2" Cal	1
	GS	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Honeylocust	B&B	2" Cal	2
	GE	Gymnocladus dioica 'Espresso' / Espresso Coffeetree	B&B	2" Cal	2
	PT	Populus tremuloides / Quaking Aspen	B&B	2" Cal	1
	UA	Ulmus americana 'Princeton' / Princeton American Elm	B&B	2" Cal	1

NOTES

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- PROTECT OR RELOCATE ALL BENCHMARKS. RELOCATED BENCHMARKS TO BE INCLUDED WITH CONTRACTOR.
- PROTECT ALL EXISTING PAVEMENTS, CURBS, UTILITIES, AND OTHER IMPROVEMENTS (TO REMAIN) FROM CONSTRUCTION ACTIVITIES. RESTORE ALL AREAS DISTURBED BY CONSTRUCTION RELATED ACTIVITIES TO EXISTING CONDITIONS AT COMPLETION OF WORK UNLESS SHOWN OTHERWISE ON PLANS.
- SUBMIT TOPSOIL TESTING REQUIREMENTS PER SECTION 32 91 13 SOIL PREPARATION.
- VERIFY THAT SPECIFIED TOPSOIL AND PLANTING MIXTURE DEPTHS ARE PRESENT PRIOR TO PLANTING PER SECTIONS 32 91 13 SOIL PREPARATION. NOTIFY DFD CONSTRUCTION REPRESENTATIVE OF ANY PROBLEMS.
- SPACE PLANTINGS PER PLANT SCHEDULE.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ALL EXISTING LAWN AREAS WITHIN AND ADJACENT TO THE PROJECT SITE THAT ARE DISTURBED BY CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO, UTILITY TRENCHING, ACCESS, OR MATERIALS STORAGE SHALL BE REPAIRED WITH SOD PER SECTION 32 92 23 SODDING.
- APPLY MYCHROIZAL FUNGI TO ALL PLANTINGS PER SECTION 32 92 00 PLANTS.
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm).
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)) ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- STREET TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608) 266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.
- CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPER AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING.
- MODULAR SOIL VAULTS ARE REQUIRED SURROUNDING TREE GRATES AS INDICATED ON THE SITE LAYOUT PLANS. NO LATER THAN FIVE BUSINESS DAYS PRIOR TO INSTALLATION OF MODULAR SOIL VAULTS, THE CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO IDENTIFY AND LOCATE UNDERGROUND CONFLICTS (UTILITIES, VAULTS, CONDUIT) OR OTHER UNDERGROUND OBSTRUCTIONS AND DETERMINE GRATE LOCATIONS BEFORE MODULAR SOIL VAULT INSTALLATION. THE CONTRACTOR WILL BE REQUIRED TO OBTAIN THE SOIL VAULTS, GRATE, MATCHING FRAME AND TREE GUARD. TREE GRATE TYPE AND MATCHING FRAME: NEENAH 4X8 (R-8815-A). TREE GUARD NEENAH (R-8501-4818).
- CITY FORESTRY WILL ISSUE A STREET TREE REMOVAL PERMIT FOR SIX TREES: ONE 2" OAK & ONE 2" ELM WITHIN WEST SIDE OF NORTH PARK STREET TERRACE, TWO 5" CRABAPPLES, ONE 4" CRABAPPLE & ONE 14" ELM WITHIN THE CENTER MEDIAN OF NORTH PARK STREET DUE TO UNDERGROUND UTILITY INSTALLATION. THE CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO OBTAIN PERMIT.
- ANY ADDITIONAL STREET TREE REMOVALS REQUESTED WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO AN ADDITIONAL STREET TREE REMOVAL PERMIT BEING ISSUED BY CITY FORESTRY.
- CONTACT UW-MADISON CAMPUS REPRESENTATIVE A MINIMUM OF 5 DAYS PRIOR TO ANTICIPATED PRUNING OF ANY TREES TO SCHEDULE A REVIEW & CONSULTATION WITH CAMPUS GROUNDS STAFF PRIOR TO PERFORMING ANY PRUNING.
- FOLLOWING INSTALLATION OF PERMEABLE PAVERS, CONTRACTOR TO PROTECT PERMEABLE PAVERS TO ENSURE PAVEMENT JOINTS DO NOT CLOG WITH CONSTRUCTION DEBRIS. FOLLOWING THE COMPLETION OF SITE CONSTRUCTION, CONTRACTOR TO VACUUM CLEAN PERMEABLE PAVERS AND PROVIDE ADDITIONAL PERMEABLE JOINT AGGREGATE MATERIAL FULL TO THE LIP OF THE PAVEMENT. BROOM SWEEP ENTIRE AREA CLEAN FOLLOWING INSTALLATION. SEE SECTION 32 14 00 FOR ADDITIONAL INFORMATION.
- CONTACT DFD REPRESENTATIVE AND THE CITY OF MADISON PROJECT REPRESENTATIVE PRIOR TO PERFORMING ANY WORK WITHIN THE CITY ROW TO CONFIRM RESTORATION.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION OF TRAFFIC ENGINEERING AND ENGINEERING DIVISIONS. FORWARD ANY CHANGES PROPOSED BY CITY OFFICIALS TO DFD PROJECT REPRESENTATIVE FOR CONSIDERATION AND DIRECTION BEFORE PROCEEDING.

PLANT SCHEDULE - SHRUBS/PERENNIALS/GROUNDCOVERS

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	QTY
DECIDUOUS SHRUBS						
	Am	Aronia melanocarpa 'UConnM166' / Low Spine Hedge® Black Chokeberry	5 gal	CONT.	33" o.c.	31
	Di	Diervilla lonicera / Dwarf Bush Honeysuckle	3 gal	CONT.	42" o.c.	66
	Hb	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	3 gal	CONT.	51" o.c.	9
	Hq	Hydrangea quercifolia 'Munchkin' / Munchkin Oakleaf Hydrangea	3 gal	CONT.	41" o.c.	30
EVERGREEN SHRUBS						
	Js	Juniperus chinensis 'Sea Green' / Sea Green Juniper	5 gal	CONT.	66" o.c.	11
	Tj	Tsuga canadensis 'Jeddeloh' / Jeddeloh Eastern Hemlock	5 gal	CONT.	48" o.c.	4
HERBACEOUS PERENNIALS						
	asb	Allium tanguticum 'Summer Beauty' / Summer Beauty Allium	1 gal	CONT.	17" o.c.	63
	atb	Asclepias tuberosa / Butterfly Milkweed	1 gal	CONT.	12" o.c.	10
	dap	Dalis purpurea / Purple Prairie Clover	1 gal	CONT.	11" o.c.	12
	dmg	Dryopteris marginalis / Marginal Shield Fern	1 gal	CONT.	18" o.c.	15
	ema	Eurybia macrophylla / Bigleaf Aster	1 gal	CONT.	12" o.c.	33
	gma	Geranium maculatum / Spotted Geranium	1 gal	CONT.	15" o.c.	26
	glm	Geum triflorum / Prairie Smoke	1 gal	CONT.	12" o.c.	42
	hab	Heuchera macrochiza 'Autumn Bride' / Autumn Bride Coral Bells	1 gal	CONT.	22" o.c.	24
	rdf	Rudbeckia fulgida 'Blow' / Vette's Little Suzy Coneflower	1 gal	CONT.	16" o.c.	31
	sol	Symphyotrichum oolentangiense / Sky Blue Aster	1 gal	CONT.	15" o.c.	80
ORNAMENTAL GRASSES						
	cpn	Carex pensylvanica / Pennsylvania Sedge	1 gal	CONT.	16" o.c.	134
	kmc	Koeleria macrantha / Prairie Junegrass	1 gal	CONT.	17" o.c.	19
	scm	Schizachyrium scoparium / Little Bluestem	1 gal	CONT.	24" o.c.	10
	sph	Sporobolus heterolepis / Prairie Dropseed	1 gal	CONT.	23" o.c.	127



**206 Bernard Ct.
Residential Building
Condition Evaluation
University of Wisconsin-Madison
Madison, WI 53706**



DFD Project #: 20K1G

3/31/2023

Prepared for
Division of Facilities Development
101 E Wilson Street #7
Madison, WI 53703



Prepared by



1010 E Washington Ave #202
Madison, WI 53703
608.242.1550 (Main)
608.335.2978 (Mobile)

Principal/Project Manager: Fred Groth, PE, SE
Fred.Groth@graef-usa.com
Project Engineer: Darren Weldon, PE
Darren.Weldon@graef-usa.com

GRAEF Project No. 2021-0488.00

www.graef-usa.com

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Appendix A: Photo Examples of Typical Issues Observed Appendix A – 7 to 15

Background

As requested, GRAEF performed a visual assessment of the limited scope area via a targeted walk-through evaluation. These observations and evaluations were performed at a residential building located on the University of Wisconsin-Madison campus. The building is located at 206 Bernard Ct., Madison, Wisconsin 53715. The site visit was conducted by GRAEF on March 16, 2023. The purpose of the evaluation is to provide an assessment of current structural & maintenance items to be addressed in preparation of impending construction directly adjacent to residential houses. This report presents the findings of this assessment and general recommendations for repairs and measures to extend the life of the installation and prevent potential issues stemming from nearby construction.

Structural System Description

Located on the University of Wisconsin-Madison campus, 206 Bernard Ct is a 3-story residential structure with a full basement. Existing building drawings could not be located at the time this report was written. The building consists of a stone foundation with a concrete slab-on-grade in the basement and wood framing and floors comprising the superstructure. The building contains a wood porch and balcony on the east and west sides of the building.

Example photos of these observed issues can be found in Appendix A.

Structural System Condition Assessment

In general, the observed structural systems at 206 Bernard Ct. were found to be in poor condition. We did not find any life safety issues but floors are sloping due to settlement in basement of main loadbearing walls and wood column deterioration. Temporary shoring has been installed to minimize any further settlement.

We understand that access is limited to 1st and 2nd floors only. 3rd floor is off limits to building occupants.

Noteworthy issues encountered during the assessment include, but are not limited to, the following:

- The exterior deck, especially the one at the main entrance on the east side of the building, was observed to be in poor condition. There is extensive sloping due to deflection of the support beams. Some temporary shoring was found underneath the deck. However, this shoring does not appear to be both secure nor adequate enough to prevent further settlement of the deck.
- The masonry foundation wall was observed to be in decent condition, except for the south section of the wall that has since been sectioned off with a CMU vault. This portion of the foundation had moderate deterioration of the stone and mortar.
- An approximately 2 ft diameter hole was observed within the basement slab-on-grade near the mechanical room (furnaces) on the north side of the building. The purpose of the hole was not entirely known but could cause the soil beneath to undermine which can cause settlement of the foundation.
- The main 2nd floor balcony on the east side of the building was observed to be in poor condition and is recommended not to be used by residents. The main balcony joists appear to be sloped due to differential settlement by as much as 1 ½".
- Typical minor damage to walls (cracks in drywall) were noted throughout.
- Much of the wood flooring throughout the superstructure was observed to be sloping and/or settling. In several locations, it was observed that the floor has settled by as much as 1 ¾" across a 4 foot measurement.
- There were multiple temporary shoring columns observed throughout the basement area. These were likely installed to prevent further deflection of the superstructure. However, these shoring columns were observed to have little-to-no attachment to the building and are simply kept in place by the compressive loading of the flooring above.

Recommendations Prior to New Construction

Listed are our recommendations on how to extend the life of the structure and prevent potential issues that may arise as a result of nearby new construction:

- All temporary shoring installed in the basement should be securely fastened so as to prevent possible movement due to vibration during construction. Present temporary shoring are not attached to floor or SOG securely.
- The shoring beneath the exterior deck should be replaced with sturdier materials and securely fastened as a more permanent solution to prevent settlement of the deck.
- Due to the location of the residential building being a reasonable distance away from the proposed new construction, there will likely be no structural issues encountered within the building as a result of new construction. However, the vibrations caused by construction machinery may be uncomfortable for some occupants inside the residential building. Therefore, it is recommended that the building only be occupied outside of normal construction hours.
- It is recommended that the building be routinely inspected during the new construction period to determine if settlement of the building has increased or if there are any other potential issues with the residential building.

Recommendations on New Construction Activities

Listed are our recommendations that would minimize vibration on adjacent residential structures:

- Due the closeness of new construction we understand that lateral soil retention is to be installed on west side and southwest half along Clymer. We would recommend that soil retention system be soldier pile and lagging or shotcrete/soil nailing. If soldier pile and lagging system is used, we would recommend that piles be drilled and steel piles encased with concrete fill that is excavatable (750 psi). Driven sheet piling or driven H piles should be avoided;
- Large vibratory rollers should be avoided closer than 100 feet of residential houses. Smaller compacters should be used along with clear stone for engineered fill under slab on grade and utility trenches. Low strength diggable concrete fill (750 psi) would also be another option for backfilling utility trenches.
- When demolishing Davis and Joe Bayliss residential halls we would recommend that large jackhammers on excavators be minimized and that concrete walls be broken up with concrete saws or large concrete scissor typically used by demo contractors to cut through smaller foundation walls and floor.
- Pre-construction meeting with contractor and his subcontractors should be held to emphasize the importance on minimizing high vibration related activities where possible.
- Recommend that photos be taken by contractor both before construction after or during construction to verify any cracks or damage which might occur during construction.
- Vibration monitoring/testing could also be completed before construction to see how prone the soils are in propagating vibration through soil media to adjacent residents. Tests could be completed in asphalt parking lot adjacent to residential houses. Large excavator could be brought in along with vibratory roller compactor to see if large construction equipment will cause vibration of concern.

- Vibration monitoring equipment could also be installed along residential houses and readings collected during construction with upper bounds set for vibration activities.

Limitations

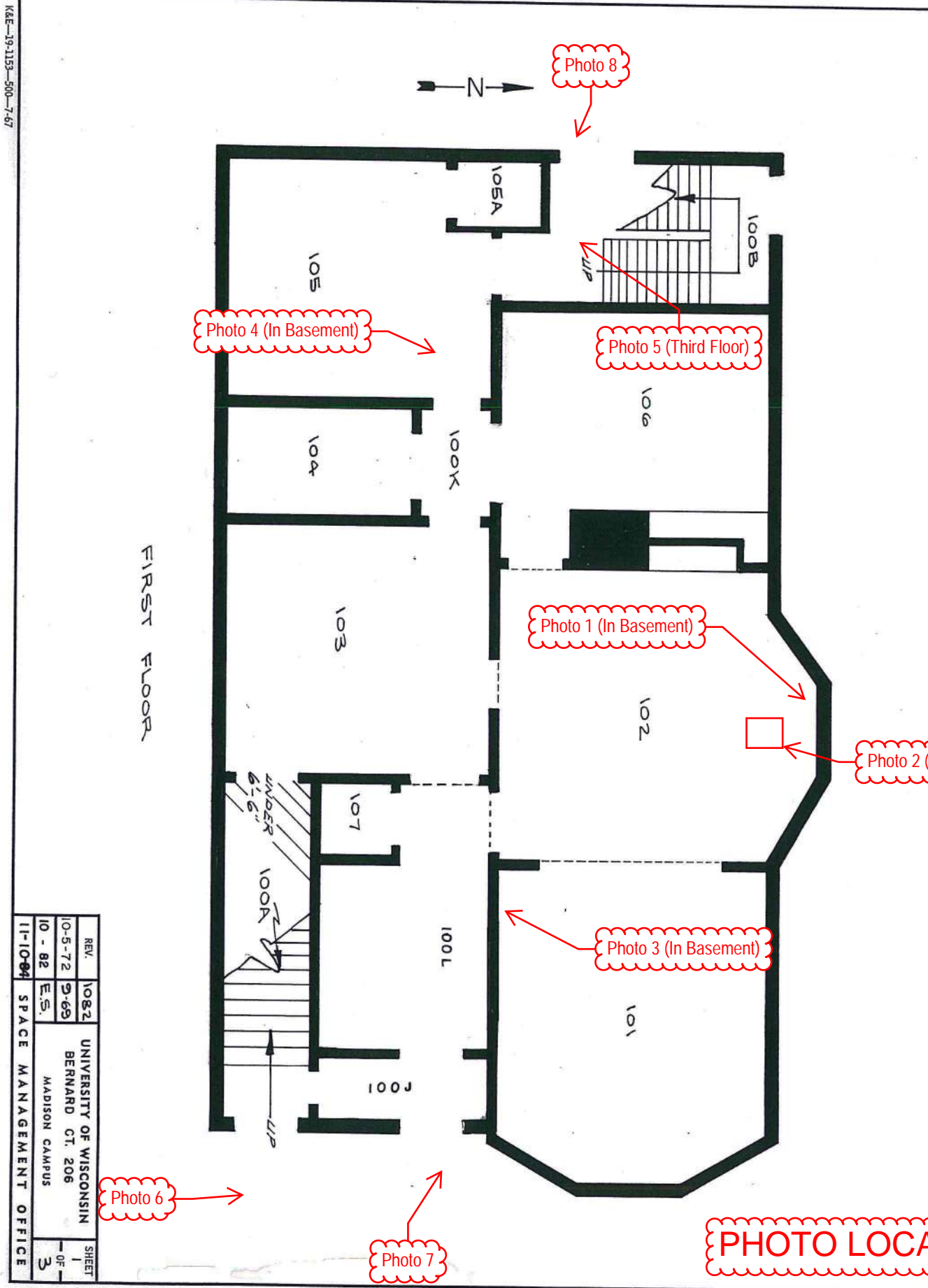
This report is based on conditions of elements that were readily observable at the time of assessment. No destructive testing was performed during the assessment. This evaluation was intended to be an assessment of the visible structural elements of the residential structures. GRAEF does not accept responsibility for deficiencies not evident during an investigation of this type.

This report is intended to inventory existing conditions of the observed areas and to provide general recommendations for repair and the potential impact nearby construction will have on those structures. Recommendations provided in this report are conceptual in nature and are not intended for construction. GRAEF is able to provide additional investigation, construction details and specifications for repair upon request.

Conditions observed at the time of assessment may change if noted deficiencies are not corrected.



APPENDIX A: TYPICAL PHOTOS



REV.	1082	UNIVERSITY OF WISCONSIN	SHEET
10-5-72	9-69	BERNARD CT. 206	1 OF 3
10-82	E.S.	MADISON CAMPUS	
11-10-04		SPACE MANAGEMENT OFFICE	



Photo 1: Stone foundation with moderate deterioration on south side of building



Photo 2: Large hole in basement's concrete slab-on-grade.



Photo 3: Unsecured temporary shoring in basement.



Photo 4: Unsecured temporary wood shoring in basement.



Photo 5: Minor cracking of stair ceiling.



Photo 6: Temporary shoring in poor and inadequate condition underneath front deck.



Photo 7: Settled deck and balcony with slanted joists



Photo 8: Rear decking supported by masonry columns with minor spalling.

FW: SHPO Review: 25-1207/DA - UW- Madison- 206 Bernard Court Removal

From Scott Utter <scott.utter@wisc.edu>

Date Fri 5/23/2025 1:52 PM

To MORGAN BARTHEN <morgan.barthen@wisc.edu>; Weiss, Cathy O'Hara <cathy.o.weiss@wisconsin.edu>

FYI.

Scott Utter
Director of Campus Planning and Landscape Architecture
University of Wisconsin - FP&M
21 N. Park STE 6101
Madison, WI 53715

Cell: (608) 286-8130



Facilities Planning & Management
UNIVERSITY OF WISCONSIN-MADISON
*Providing excellence in facilities and services
for our university community*

From: madeline.norton@wisconsinhistory.org <madeline.norton@wisconsinhistory.org>

Sent: Friday, May 23, 2025 1:39 PM

To: Scott Utter <scott.utter@wisc.edu>

Subject: SHPO Review: 25-1207/DA - UW- Madison- 206 Bernard Court Removal

Dear Scott Utter,

We have completed our review of WHS #25-1207, UW- Madison- 206 Bernard Court Removal and find that no eligible properties will be affected (i.e. none are present or there are historic properties present but the project will have no effect upon them).

It is the opinion of the WI SHPO you have fulfilled your section 106 of the National Historic Preservation Act (NHPA) consultation requirements with our office. If your plans change or cultural materials/human remains are found during the project, please halt all work and contact our office.

Please use this email as your official SHPO concurrence for NHPA requirements of the project. If you require a hard copy signed form, please contact me and I will provide you a signed copy as soon as possible.

Sincerely,
Madeline Norton
Compliance Reviewer
State Historic Preservation Office

Wisconsin Historical Society
816 State Street, Madison, WI 53706
608-261-2457

madeline.norton@wisconsinhistory.org

Wisconsin Historical Society

[Collecting, Preserving, and Sharing Stories Since 1846](#)

From: [Govindarajan, MGR](#)
To: [Aaron Williams](#); [ASM Legislative Affairs Chair](#); sharedgovernance@asm.wisc.edu
Cc: [Brenda Gonzalez](#); [CANA Madison](#)
Subject: Re: DEMOLITION NOTIFICATION: Alder and Campus Area Neighborhood Association (CANA): 206 Bernard Court
Date: Monday, October 27, 2025 6:50:30 PM

Thanks for the heads up Aaron!

Want to flag for you that CANA's email is canamadison@gmail.com, which I've cc'd here. Megan and Genevive are leading CANA this year but obviously that might not be the case next year, and their ASM emails are subject to Open Records Law so just wanted to direct it to the right place for future reference.

Thanks,

MGR Govindarajan (*he/him/his*)

District 8 Alder | (608) 509-9119

[My Blog](#)

From: Aaron Williams <aaron.williams@wisc.edu>
Sent: Friday, October 24, 2025 1:33 PM
To: Govindarajan, MGR <district8@cityofmadison.com>; ASM Legislative Affairs Chair <legislative@asm.wisc.edu>; sharedgovernance@asm.wisc.edu <sharedgovernance@asm.wisc.edu>
Cc: Peter Schlecht <peter.schlecht@wisc.edu>; Scott Utter <scott.utter@wisc.edu>; Brenda Gonzalez <brenda.gonzalez@wisc.edu>; Lori Wilson <lori.wilson@wisc.edu>
Subject: RE: DEMOLITION NOTIFICATION: Alder and Campus Area Neighborhood Association (CANA): 206 Bernard Court

Caution: This email was sent from an external source. Avoid unknown links and attachments.

Minor revision to the third bullet point below. Campus has owned the property since 1968. FYI

Aaron Williams, PLA, ASLA

University of Wisconsin-Madison

Campus Planning & Landscape Architecture

aaron.williams@wisc.edu

From: Aaron Williams
Sent: Friday, October 24, 2025 1:22 PM
To: Govindarajan, MGR <district8@cityofmadison.com>; ASM Legislative Affairs Chair <legislative@asm.wisc.edu>; ['sharedgovernance@asm.wisc.edu'](mailto:sharedgovernance@asm.wisc.edu) <sharedgovernance@asm.wisc.edu>
Cc: Peter Schlecht <peter.schlecht@wisc.edu>; Scott Utter <scott.utter@wisc.edu>; Brenda Gonzalez <brenda.gonzalez@wisc.edu>; Lori Wilson <lori.wilson@wisc.edu>
Subject: DEMOLITION NOTIFICATION: Alder and Campus Area Neighborhood Association (CANA): 206 Bernard Court

Alder Govindarajan and CANA Co-Chairs Megan and Genevieve,

This is a notice related to our intentions to file an application for a demolition permit for the structure located at 206 Bernard Court (Block 16) within the Campus Development Plan Boundary in Madison, Wisconsin. All lands are owned by the Board of Regents. There is no request to amend the Campus Master Plan as the parcel is currently zoned Campus-Institutional (C-I) District. Additionally, this request will be made aware to the Joint Campus Area Committee. Future development will adhere to current Pre-Design studies for the area. No specific project has been identified at this time. The schedule is as follows:

06/05/2025: City Zoning/Planning Staff Meeting
10/24/2025: Alder/Neighborhood Association Notification
10/24/2025: Demo List Serv Notification
11/05/2025: Landmarks Commission Submittal
12/08/2025: Landmarks Commission Meeting
January 2026: Potential Demolition Start

Additional Information for your reference:

- **Condition and History of the House:** The property at 206 Bernard Court, constructed in 1911, is a 3-story, 3,734 wood frame structure located on Bernard Court. Based on the age of the building, all building materials are presumed to be asbestos-containing materials. A demolition quality asbestos inspection will be performed prior to removal initiation to confirm. Materials containing hazardous materials will be abated according to current state and federal regulations by a certified contractor. There is lead-based paint on the exterior and interior of the building (EHS inspections using XRF) with high concentrations of lead around the building based on 2012 soil samples.
- **Potential for Relocation:** The structure is not listed on the National or State of Wisconsin Historic Register. The building is listed on the Architecture and History Inventory (#160472) however a determination of ineligible for the National Register has been made. A 44.40 form has been submitted to the Wisconsin Historical Society and received that no eligible properties would be affected on 5/23/25. The property's current condition and structural issues would pose significant challenges to any relocation efforts.
- **Campus Master Plan Alignment:** The property is situated within the campus boundaries and was identified for potential acquisition and redevelopment in the Campus Master Plan adopted in 2017. The timing of the acquisition aligns with our ongoing efforts to develop the southern half of Block 16 for institutional programming. The removal of this structure will facilitate the implementation of these plans and contribute to the overall improvement and development of the campus.

- **Interim Condition Following Removal:** After the demolition of the house, the site will be stabilized and prepared for future development. We plan to remove contaminated soil (not anticipated), grade the site and apply seed to establish cover. Erosion control measures will be installed accordingly. This interim condition will ensure safety and allow for setup with the planned future development.

Thank you,

Aaron Williams, PLA, ASLA

University of Wisconsin-Madison

Campus Planning & Landscape Architecture

Facilities Planning & Management

21 N. Park Street, 6th Floor

Madison, Wisconsin 53715-1211

(608) 381-8406

aaron.williams@wisc.edu

Construction zone.

This is a notice that Aaron Williams will be filing a demolition permit application. The application will be submitted around December 8, 2025 or later. The applicant seeks to demolish a single family residence. The address is 206 Bernard Ct Madison, WI 53715.

The City's Landmarks Commission provides an advisory review of all demolition applications. The Landmarks Commission will determine if the building has historic value. If it has historic value, then the Plan Commission will review the application. The Plan Commission will hold a public hearing when they review the application. If it has no known historic value, the Director of Building Inspection may approve the application.

For more information about this application, please contact the applicant, Aaron Williams, University of Wisconsin-Madison, 21 N. Park Street 6th Floor Madison, WI 53711 at aaron.williams@wisc.edu or (608)263-3000.

Applicant's Comments:

The property at 206 Bernard Court is located on Block 16 of the City of Madison, constructed in 1911, is a 3-story, 3,734 wood frame structure. The site will be stabilized and prepared for future development in accordance with the long-range plans of the institution.

If you have any questions about the City's application review process, please contact the City of Madison Planning Division at (608) 266-4635.

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