

Stouder, Heather

From: Amy Hasselman [amy_hasselman@architecture-network.net]
Sent: Tuesday, October 29, 2013 5:36 PM
To: Stouder, Heather
Cc: LURICAN CDM ONRS ASSC INC; Arlan Kay
Subject: Re: letters of support
Attachments: K1304 LivingRoom.jpg; ATT00001.htm; K1304 MudRoom.jpg; ATT00002.htm; K1304Heather LT 131028.pdf; ATT00003.htm

Heather,

Letter describing condition is attached, along with some more condition photos.

I did some more measuring of distances from houses to sidewalks along West Shore this morning, they range from 12'-6" up to 26'-8". That's to walls of buildings, not including open porches or stoops. There is quite a variety. The ones from the vicinity of Erin St & north tend toward the lower end of the range, as you get further south and the street bends east they're more in the range of 20'. The ones in the immediate vicinity of Erin & West Shore are all 15' to 17' range.

—
Amy Hasselman, AIA
Architect/ Project Manager

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28 October 2013

Plan Commission
City of Madison
C/O Heather Stouder
Planning and Development
215 Martin Luther King Jr. Blvd.
Room LL-100
Madison, WI 53701-2985

RE: EXISTING CONDITION OF 801 ERIN STREET

This letter report is in response to a request to describe the existing residence that is proposed to be demolished and replaced with a new home.

The existing single-family residence was marketed as a "Fixer Upper" as it sat vacant for over two years. Many people looked at the house, made offers on contingency of inspections or being able to add on, then walked away. It has a number of structural and performance problems in addition to zoning issues. In addition it has a number of layout and design issues that do not relate well to today's housing expectations in this prime location.

Structure

The basement has a forest of steel jack posts supporting the central bearing walls surrounding the stairway that has replaced the typical construction of wood columns or frame bearing walls that rotted. The presence of standing water and old water stains on the floor and walls indicate longstanding and continued water problems in the basement that caused the rotting of the structure.

Other areas have been sinking indicating perimeter foundation problems.

- The living room floor slopes about 4" to the SE corner.
- The side addition, which is encroaching on the property line, is tilting out.
- The west end of the rear addition, originally built as a mud room/entry that has been converted to a bedroom, has sunk about 3.5".

Performance

Built in 1923, the home has the usual problems of lead paint, single pane windows, poor insulation and infiltration barriers that hinder the performance and safety of the house.

The extensive use of foam insulation on pipes and fiberglass batts stuffed in cracks indicate excessive air infiltration in the basement.

7-8

Design Obsolescence

The existing house encroaches on the south property line and is nonconforming to both the current and proposed zoning.

The house is located on the West shore of Monona Bay at the corner of Erin Street and West Shore Drive. It was built as a modest home in 1923, with three small bedrooms with small closets, a single bath, a small kitchen and an unheated porch facing the Bay. The living room has no windows facing the prime view of the lake.

A new home in this location would have greater openness to the lake from the living spaces, larger bedrooms and closets, multiple bathrooms.

Electrical system has the original knob and tube wiring and there is no central air conditioning.

Remodeling and Repairs

There is no home that cannot remodeled or repaired, but the question that must be answered is "At what cost and how good is the result?"

This house needs major upgrading on most of the major systems. It is a candidate for a total gut, redesign and reconstruction. Any addition would require a zoning variance, as would a shed or garage.

- Repair or replace foundation, stop settlement.
- Waterproof, tile and sump
- New slab and waterproofing
- Rebuilding floors to be level. New interior structural supports.
- Gut existing finishes to studs,
- Redesign living spaces to take advantage of views, proper sized kitchen, living, bathrooms, bedrooms and closets to meet modern living needs.
- Build an addition or reduce the number of rooms in the house to accommodate the new spaces. Any addition would require a Zoning Board of Appeals approval for a variance.
- New electrical, HVAC and plumbing systems

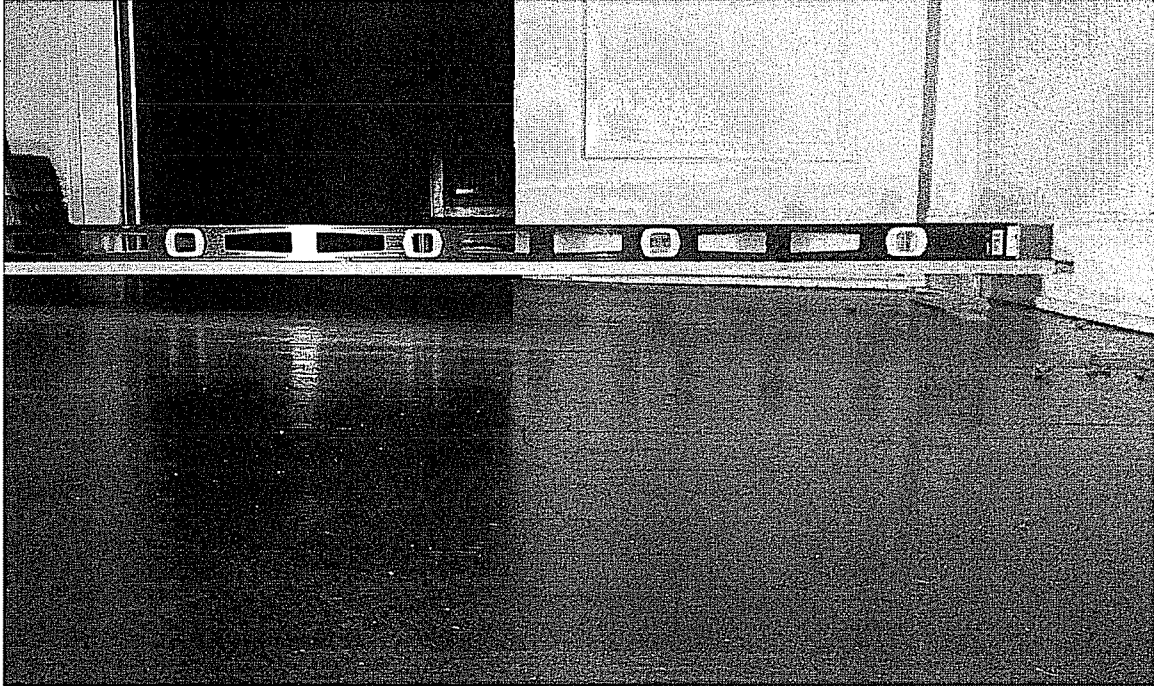
The costs related to this extensive of a remodeling and reconstruction would be equal to or greater than a house of the same size and would still not perform to like a new, well designed home.

If you have any questions, please do not hesitate to call.

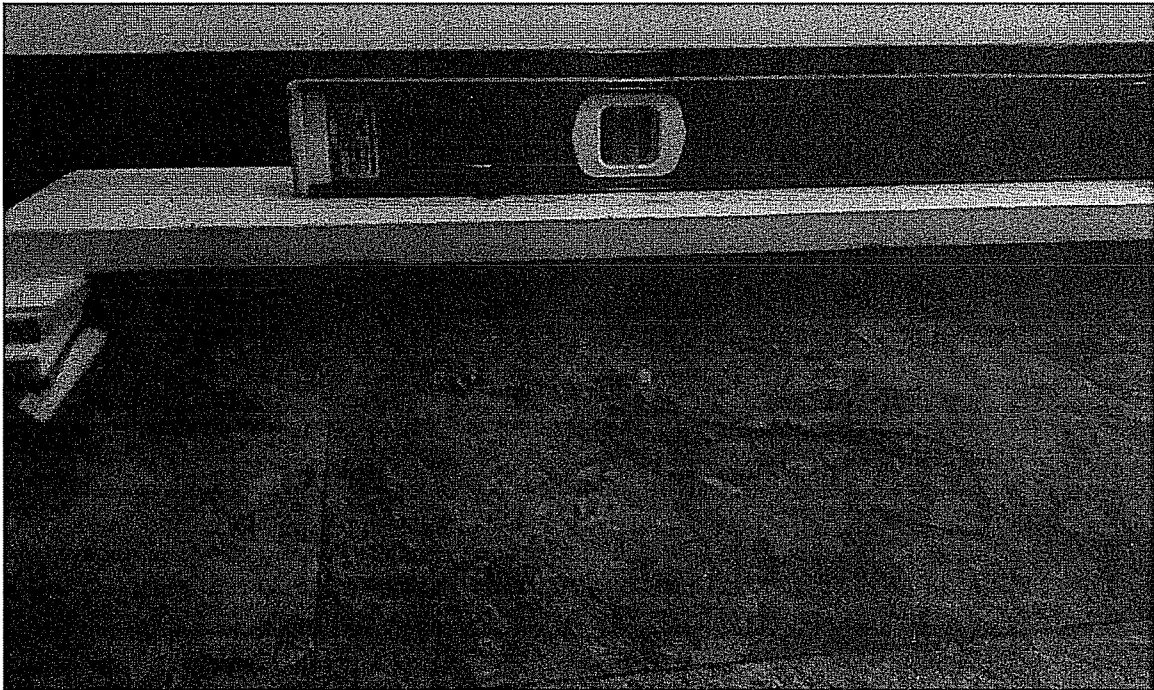
Arlan Kay, AIA
Architect

Additional Photos – 801 Erin Street

Living Room



Mud Room



BOUNDARY AND TOPOGRAPHIC SURVEY

ALL OF LOT 1, SPOHN LEVANDER REPLAT, AS RECORDED IN VOLUME 4 OF PLATS, ON PAGE 12A., AS DOCUMENT NUMBER 355968, DANE COUNTY REGISTRY, LOCATED IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.

0 10 20 40 60



SCALE : ONE INCH = TWENTY FEET

ASSUMED NORTH
BEARINGS ARE BASED UPON
THE NORTH LINE OF LOT 1
ASSUMED TO BEAR
N 89°33'00" W

LEGEND

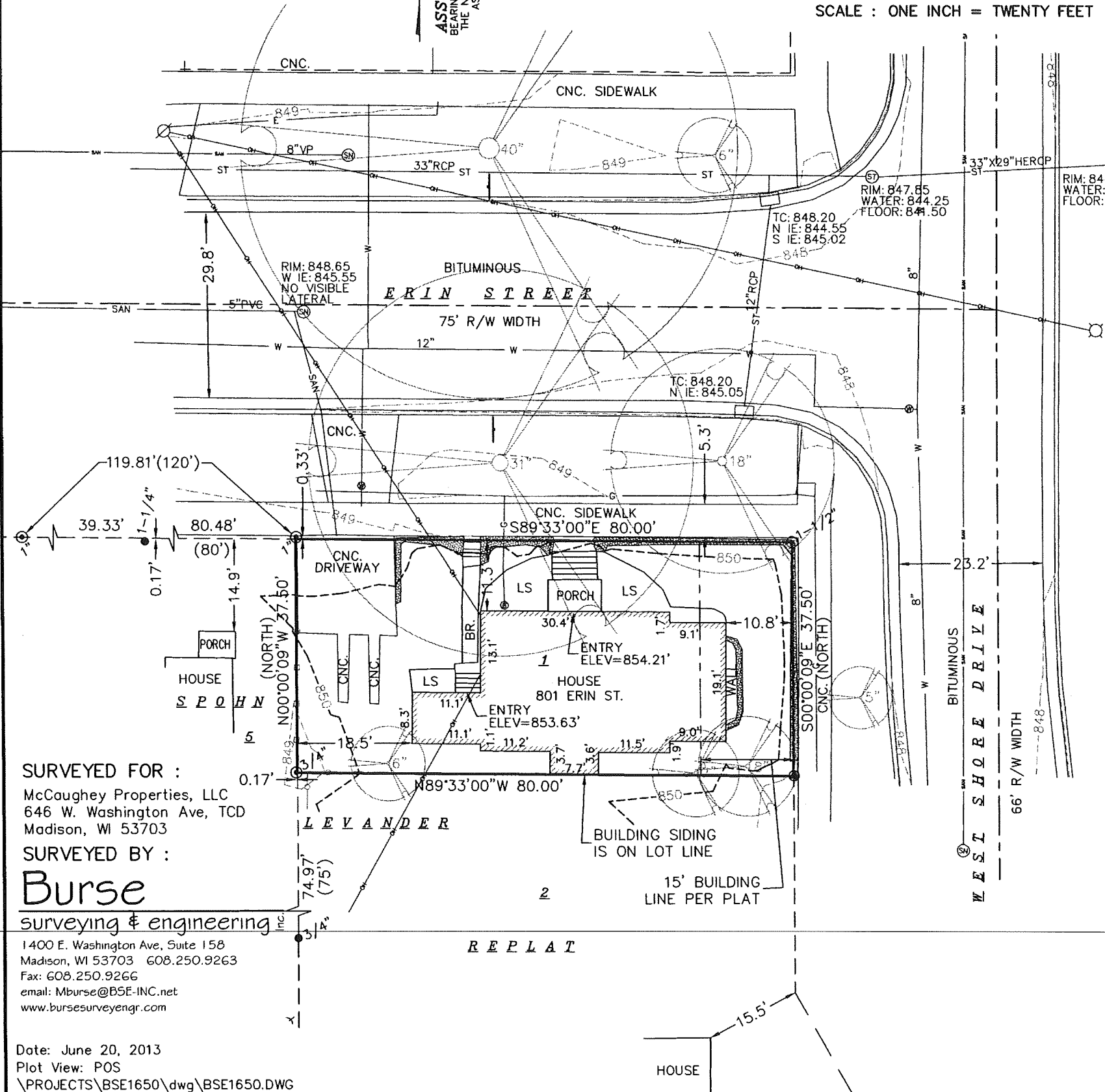
- ⊙ IRON PIPE FOUND (OUTSIDE DIAMETER NOTED)
- SOLID IRON ROD FOUND SIZE NOTED
- ⊕ BIRRENKOTT CAP FOUND PER OFFICE MAP#110517
- () INDICATES RECORDED AS

DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT. BUILDING DIMENSIONS ARE MEASURED TO THE NEAREST TENTH OF A FOOT.

NOTES:

- 1) Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose.
- 2) No attempt has been made as a part of this survey to obtain or show data concerning condition or capacity location of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
- 3) Date of field work: June 10 and 12, 2013.
- 4) Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- 5) All surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
- 6) All trees, hedges and ground cover on the site may not necessarily be shown hereon.
- 7) Routing of public utilities is based upon drawings obtained from the City of Madison Engineering Department, markings provided by Digger's Hotline Ticket Numbers 20132302767, 20132302799 and 20132302817 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to located utilities. Before excavations are performed contact Digger's Hotline.
- 8) Elevations are based upon NAVD88 datum. The water level of Lake Monona at the time of survey has an elevation of 845.46 feet based upon the real time lake level data from the Dane County Land and Water Resources website.
- 9) Total parcel area = 3,000 square feet

- OH— OVERHEAD UTILITY
- G— BURIED GAS MAIN
- W— WATER MAIN
- SAN— SANITARY SEWER
- ST— STORM SEWER
- E— BURIED ELECTRIC
- ⊙ WATER VALVE
- ⊙ GAS VALVE
- ⊙ UTILITY POLE
- ⊙ LIGHT POLE
- SIGN
- ⊠ STORM SEWER INLET
- ⊙ DECIDUOUS TREE
- BR. ROCK PAVERS
- CNC. CONCRETE PAVEMENT
- LS LANDSCAPING
- ⊠ ROCK WALL



SURVEYED FOR :
McCaughey Properties, LLC
646 W. Washington Ave, TCD
Madison, WI 53703

SURVEYED BY :

Burse
surveying & engineering inc.

1400 E. Washington Ave, Suite 158
Madison, WI 53703 608.250.9263
Fax: 608.250.9266
email: Mburse@BSE-INC.net
www.bursesurveyengr.com

Date: June 20, 2013
Plot View: POS
\\PROJECTS\BSE1650\dwg\BSE1650.DWG

DESCRIPTION FURNISHED:

Lot one (1), Spohn Levander Replat of Block 25, Greenbush Addition, in the City of Madison, Dane County, Wisconsin.

SURVEYOR'S CERTIFICATE:

I, Frank J. Lapacek, Registered Land Surveyor, No. 2658, hereby certify that the foregoing survey was executed under my direction and control, and that said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7), and the map hereon is correct to the best of my knowledge and belief.

Dated this 20th day of JUNE, 2013

Signed: Frank J. Lapacek
Frank J. Lapacek, R.L.S. No. 2658



- ISSUE:
- ◇ CONSTRUCTION SET
 - ◇ PLAN REVIEW SET
 - ◇ BID SET
NOT FOR CONSTRUCTION
 - ◇ PRELIMINARY
NOT FOR CONSTRUCTION
 - ◇ PROGRESS SET
NOT FOR CONSTRUCTION
- PROJECT:

McCaughey RESIDENCE

704 West Shore Drive
Madison, Wisconsin

REVISIONS:

09/20/2013	GARAGE & 3rd FLOOR REVISIONS
10/11/2013	REVISE GARAGE TO SHED

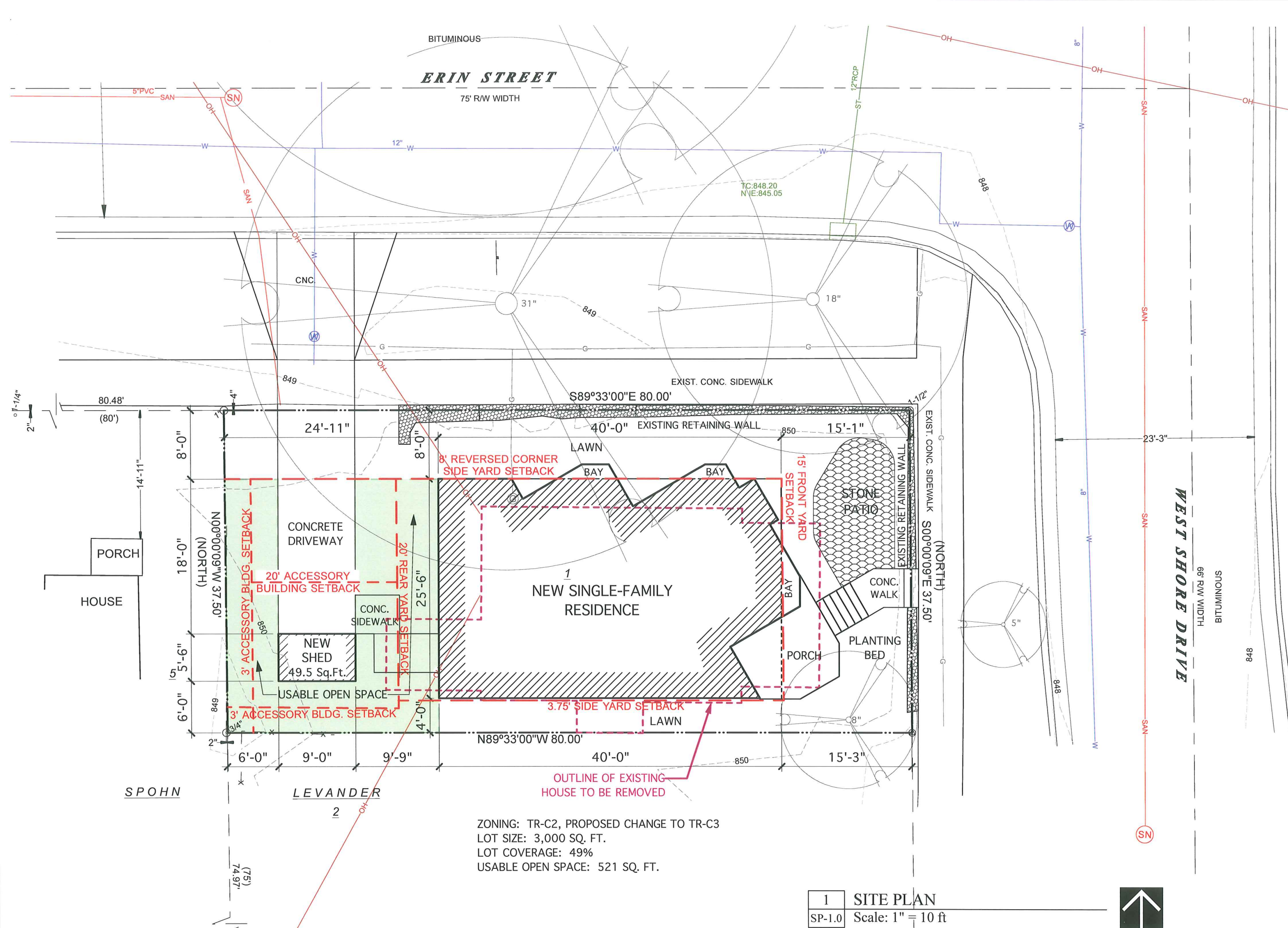
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PROJECT: K1304
DRAWN BY: DTZ

DRAWING NAME:

SITE PLAN

DRAWING NUMBER:

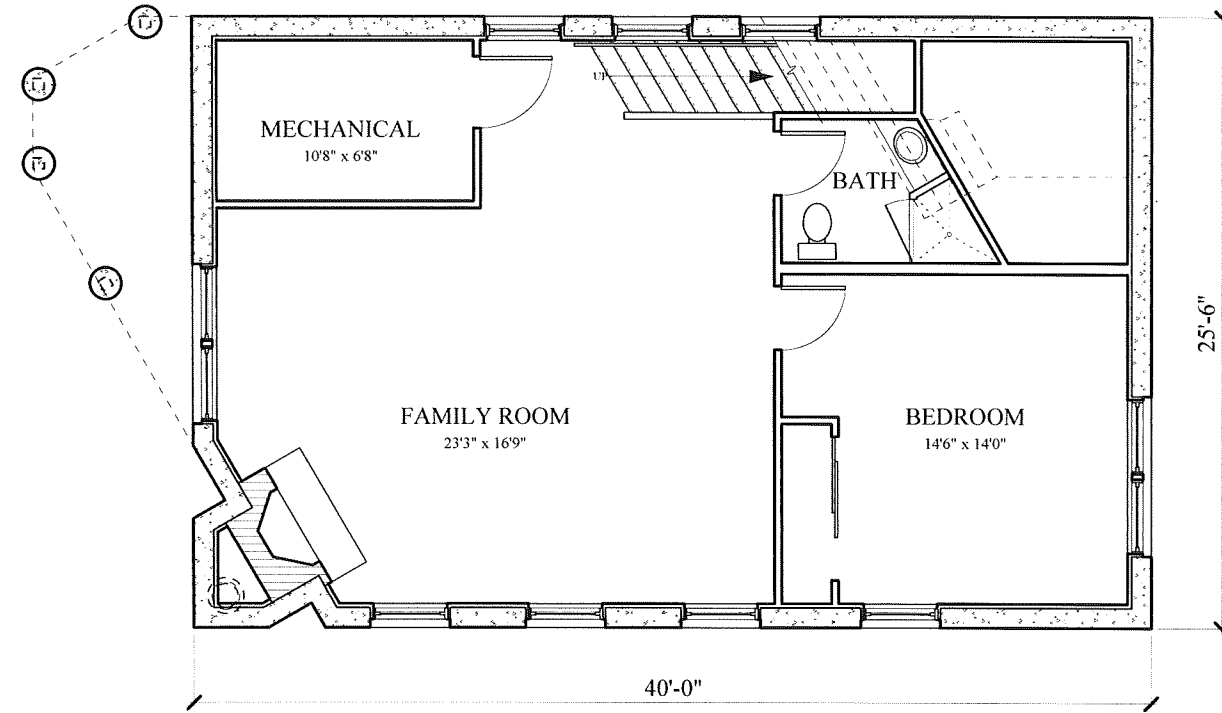
SP-1.0



ZONING: TR-C2, PROPOSED CHANGE TO TR-C3
LOT SIZE: 3,000 SQ. FT.
LOT COVERAGE: 49%
USABLE OPEN SPACE: 521 SQ. FT.

1 SITE PLAN
SP-1.0 Scale: 1" = 10 ft





1	BASEMENT PLAN
A-1.0	Scale: 1/8" = 1'-0"

- ISSUE:
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 - ◇ **PROGRESS SET**
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- PROJECT:

**McCaughey
RESIDENCE**

702 West Shore Drive
Madison, Wisconsin

REVISIONS:

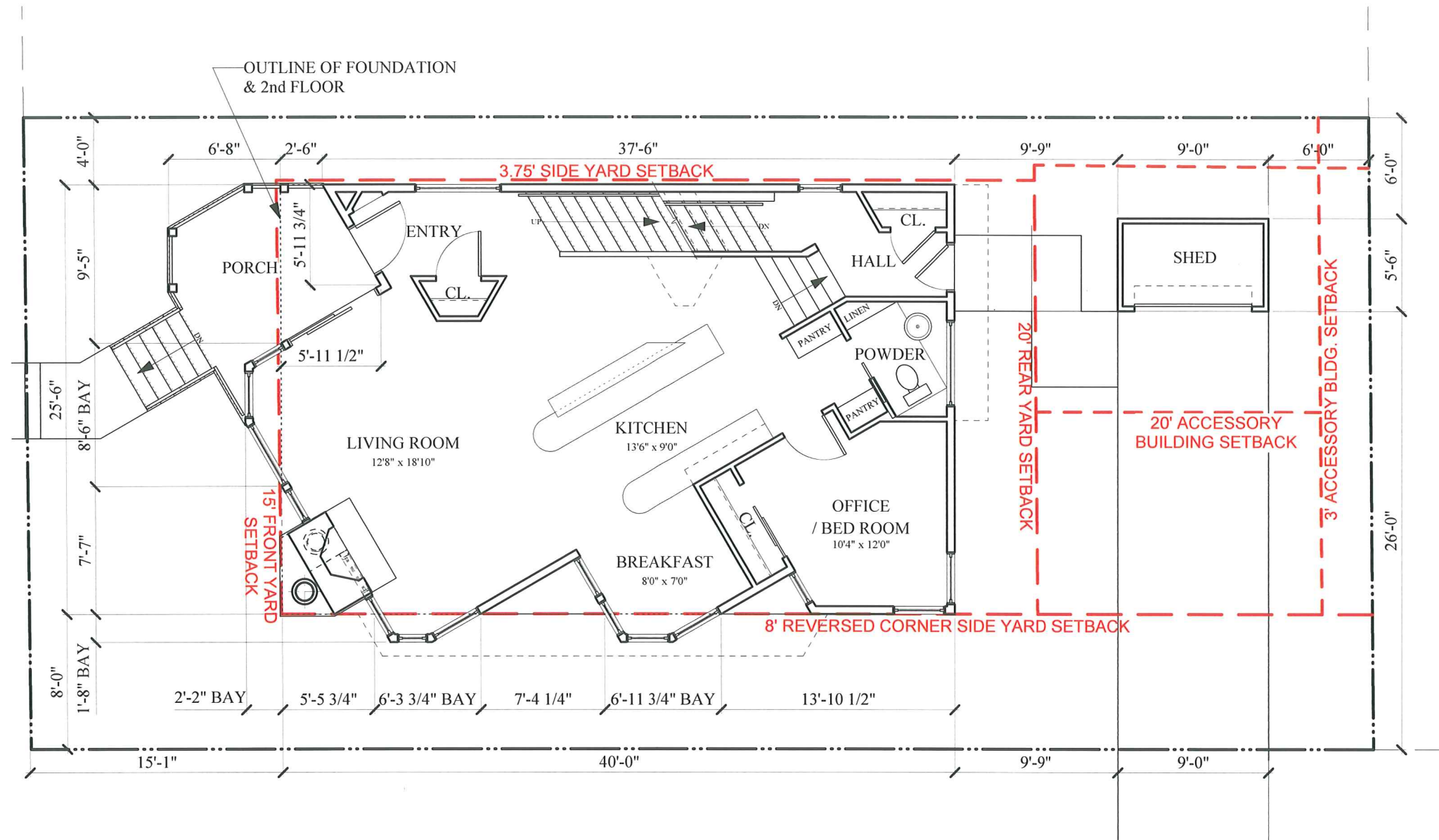
09/20/2013	GARAGE & 3rd FLOOR REVISIONS

DATE: 14 Aug 2013
SCALE: AS SHOWN
PROJECT: K1304
DRAWN BY: DTZ

DRAWING NAME:
**BASEMENT
PLAN**

DRAWING NUMBER:

A-1.0



1 FIRST FLOOR PLAN
A-1.1 Scale: 1/8" = 1'-0"

- ISSUE:
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PROJECT:
McCaughey RESIDENCE

702 West Shore Drive
Madison, Wisconsin

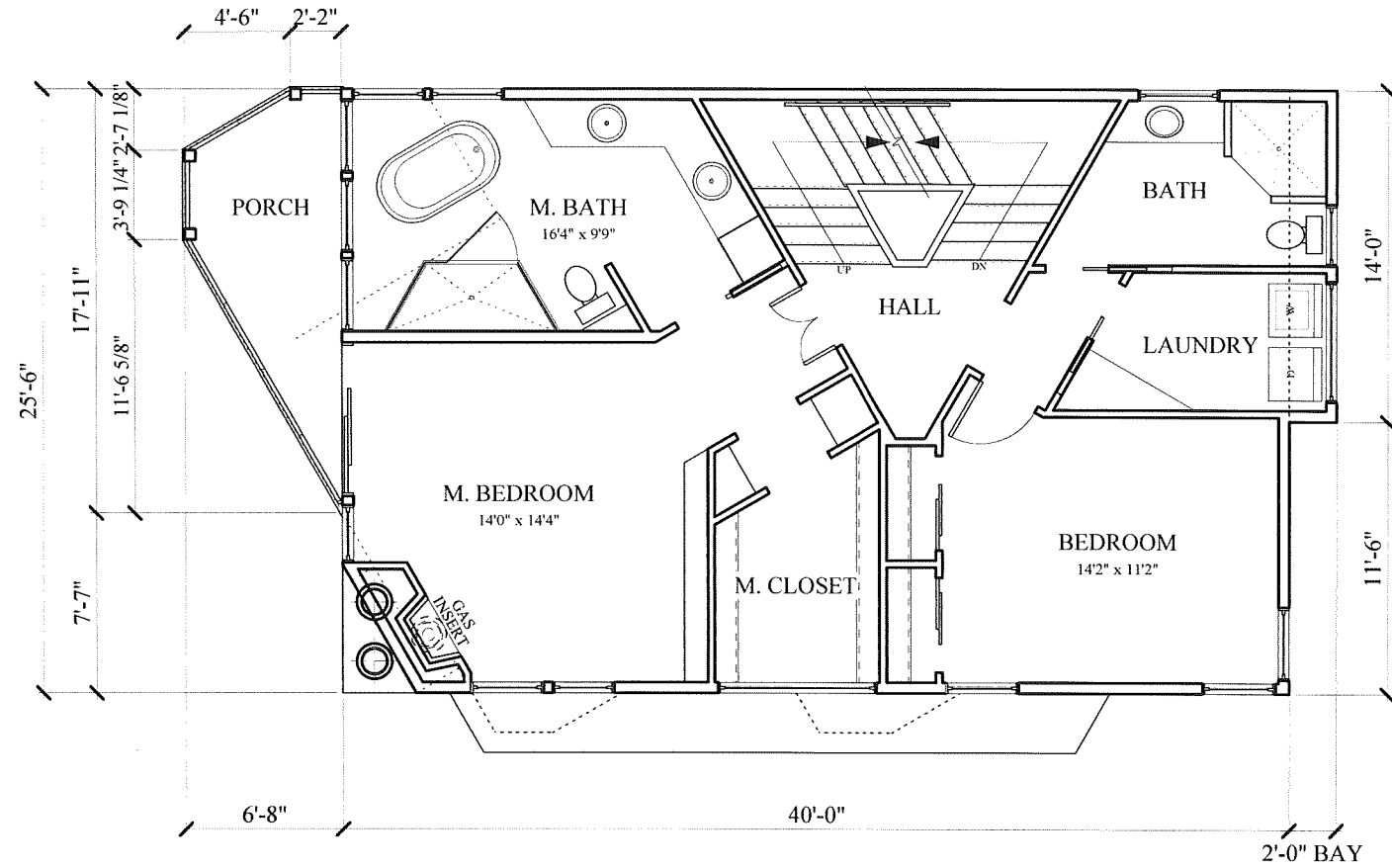
REVISIONS:

09/20/2013	GARAGE & 3rd FLOOR REVISIONS
10/11/2013	REVISE GARAGE TO SHED

DATE: 14 Aug 2013
SCALE: AS SHOWN
PROJECT: K1304
DRAWN BY: DTZ

DRAWING NAME:
FIRST FLOOR PLAN
DRAWING NUMBER:

A-1.1



1	SECOND FLOOR PLAN
A-1.2	Scale: 1/8" = 1'-0"

- ISSUE:
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PROJECT:

**McCaughey
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702 West Shore Drive
Madison, Wisconsin

REVISIONS:

09/20/2013	GARAGE & 3rd FLOOR REVISIONS

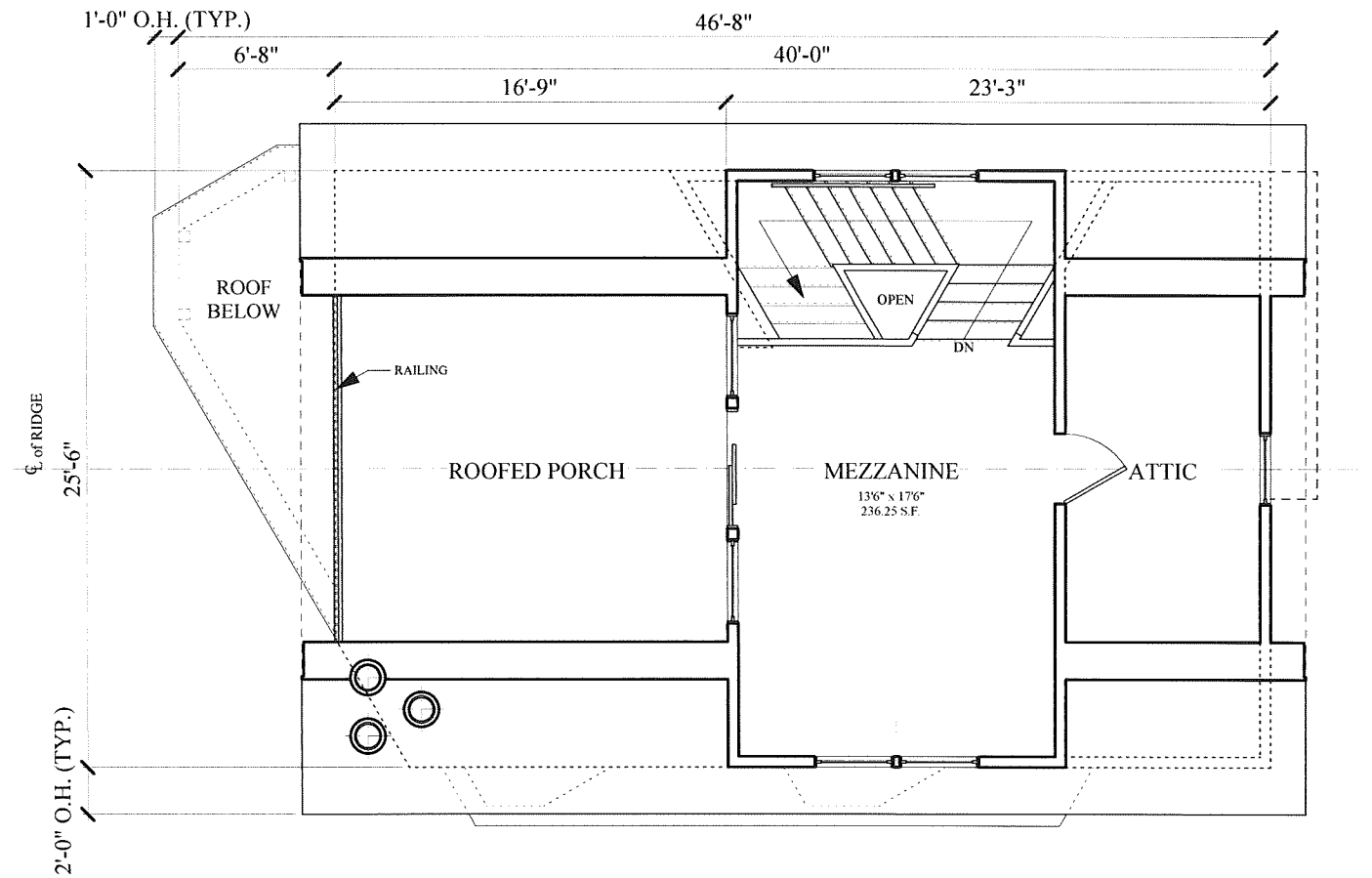
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PROJECT: K1304
DRAWN BY: DTZ

DRAWING NAME:

SECOND FLOOR
PLAN

DRAWING NUMBER:

A-1.2



1 MEZZANINE/ATTIC FLOOR PLAN
A-1.3 Scale: 1/8" = 1'-0"

- ISSUE:
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McCaughey RESIDENCE

702 West Shore Drive
Madison, Wisconsin

REVISIONS:

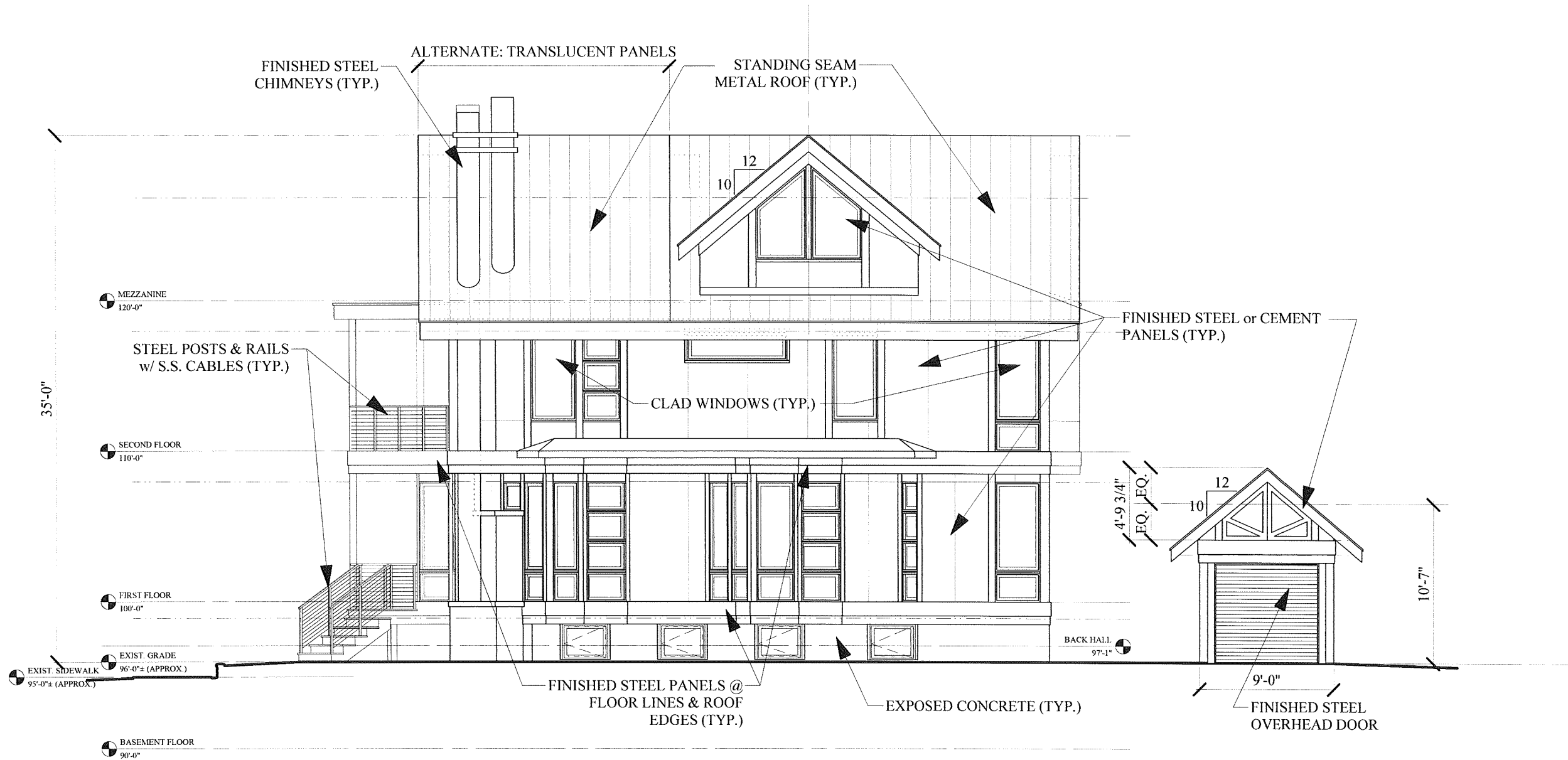
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09/20/2013	GARAGE & 3rd FLOOR REVISIONS

DATE: 14 Aug 2013
SCALE: AS SHOWN
PROJECT: K1304
DRAWN BY: DTZ

DRAWING NAME:
MEZZANINE /
ATTIC FLOOR
PLAN

DRAWING NUMBER:

A-1.3



- ISSUE:
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PROJECT:

**McCaughey
RESIDENCE**

702 West Shore Drive
Madison, Wisconsin

REVISIONS:

09/20/2013	GARAGE & 3rd FLOOR REVISIONS
10/11/2013	REVISE GARAGE TO SHED

DATE: 14 Aug 2013

SCALE: AS SHOWN

PROJECT: K1304

DRAWN BY: DTZ

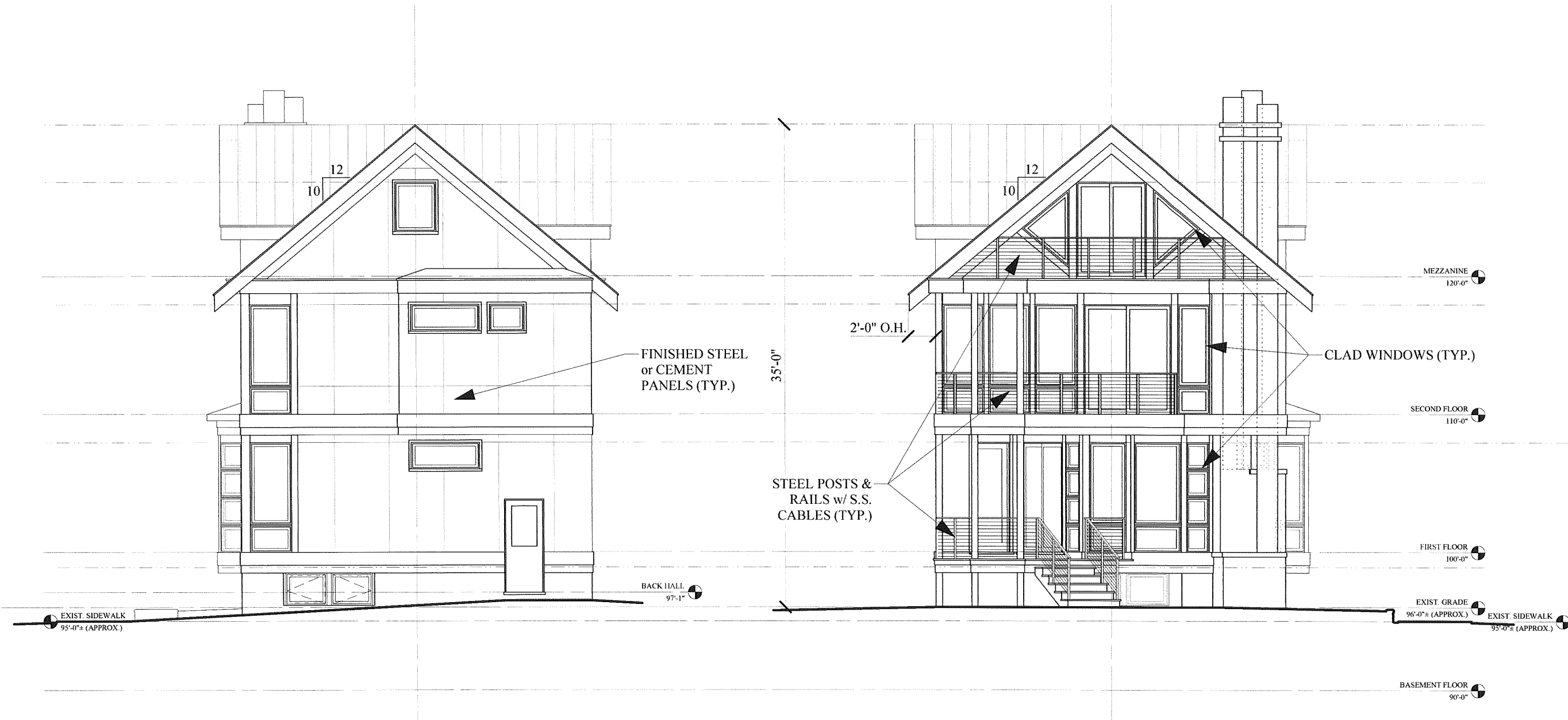
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**EXTERIOR
ELEVATIONS**

DRAWING NUMBER:

A-2.0

1 NORTH ELEVATION
A-2.0 Scale: 1/8" = 1'-0"



- ISSUE:
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McCaughey RESIDENCE

702 West Shore Drive
Madison, Wisconsin

REVISIONS:

09/20/2013 GARAGE & 3rd FLOOR REVISIONS

NO.	DATE	DESCRIPTION

DATE: 14 Aug 2013

SCALE: AS SHOWN

PROJECT: K1304

DRAWN BY: DTZ

DRAWING NAME:

EXTERIOR ELEVATIONS

DRAWING NUMBER:

A-2.1

2 WEST ELEVATION
A-2.1 Scale: 1/8" = 1'-0"

1 EAST ELEVATION
A-2.1 Scale: 1/8" = 1'-0"



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702 West Shore Drive
Madison, Wisconsin

REVISIONS:

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DATE: 14 Aug 2013
SCALE: AS SHOWN
PROJECT: K1304
DRAWN BY: DTZ
DRAWING NAME:

**EXTERIOR
ELEVATIONS**

DRAWING NUMBER:

A-2.2

1 SOUTH ELEVATION
A-2.2 Scale: 1/8" = 1'-0"



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PROJECT:
McCaughey RESIDENCE

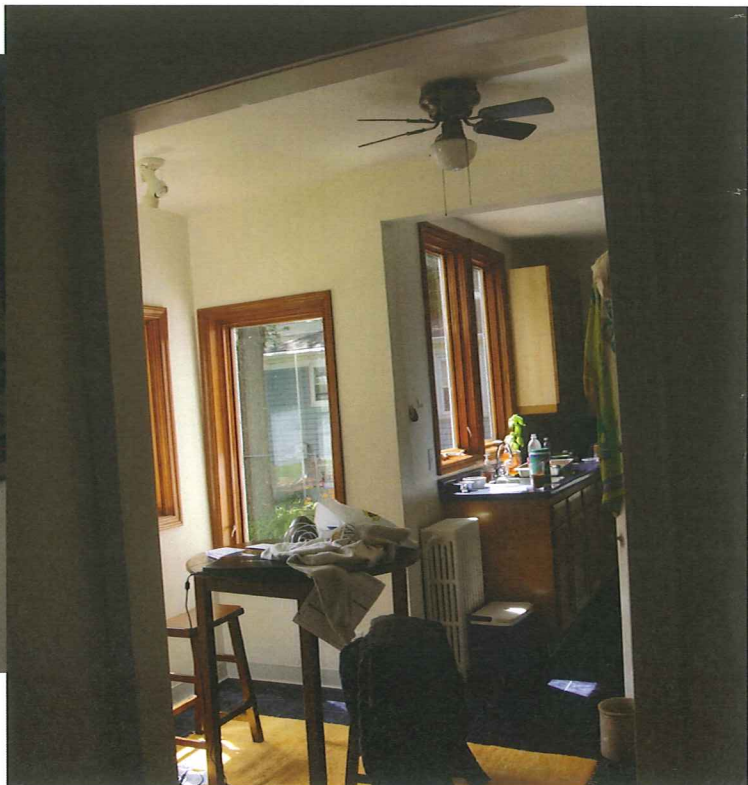
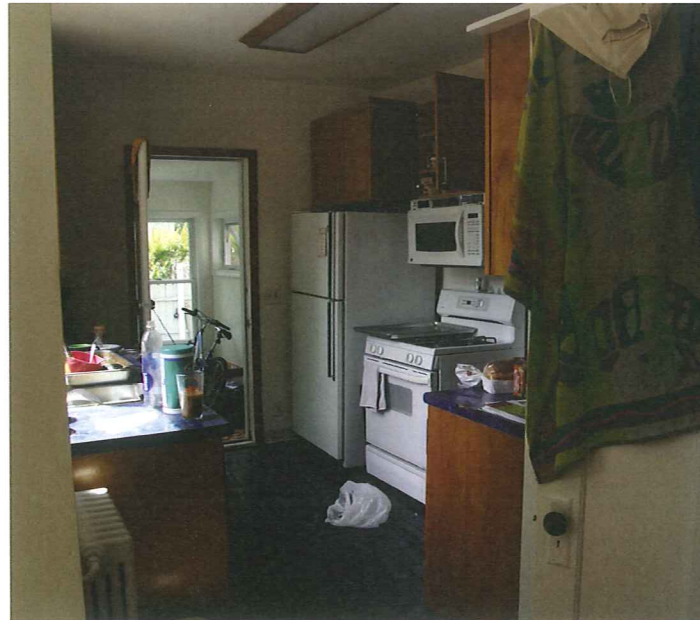
801 Erin Street
Madison, Wisconsin

REVISIONS:

DATE: 31 JULY 2013
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 DRAWN BY: DTZ

DRAWING NAME:
 EXISTING EXTERIOR PHOTOS

DRAWING NUMBER:
X-2.0



ISSUE:
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**McCaughey
RESIDENCE**

80x Erin Street
Madison, Wisconsin

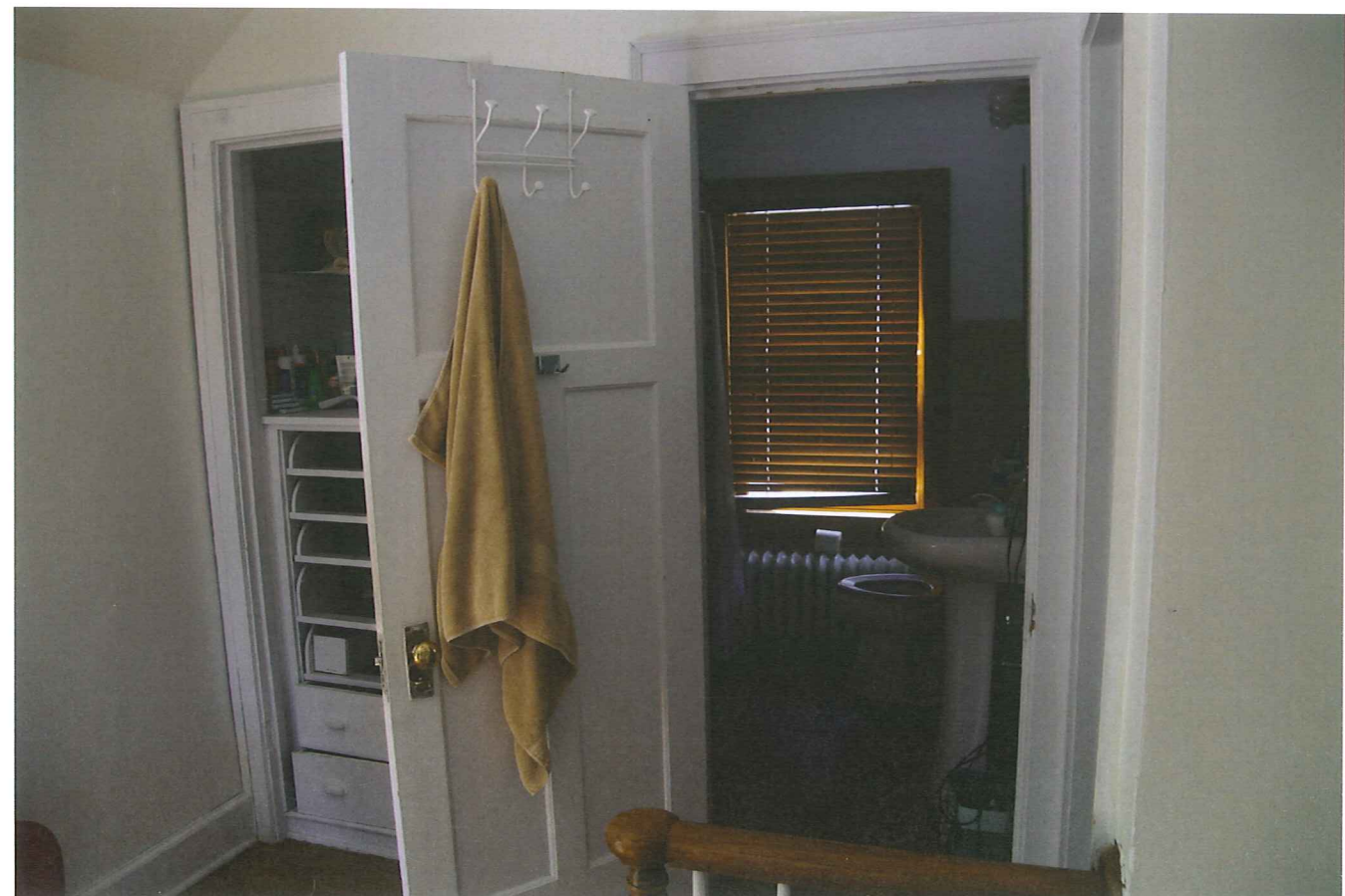
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 DRAWN BY: DTZ

DRAWING NAME:
 EXISTING INTERIOR
 PHOTOS

DRAWING NUMBER:

X-1.0



ISSUE:
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 PROJECT:

**McCaughey
RESIDENCE**

801 Erin Street
 Madison, Wisconsin

REVISIONS:

DATE: 31 JULY 2013
 SCALE: NO SCALE
 PROJECT: K1304
 DRAWN BY: DTZ

DRAWING NAME:
 EXISTING INTERIOR
 PHOTOS

DRAWING NUMBER:
X-1.1