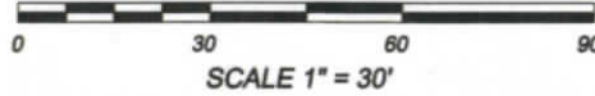


PLAT OF SURVEY



Prepared for:
Kai and Ann Thompson
2702 Waunona Way
Madison, WI 53713

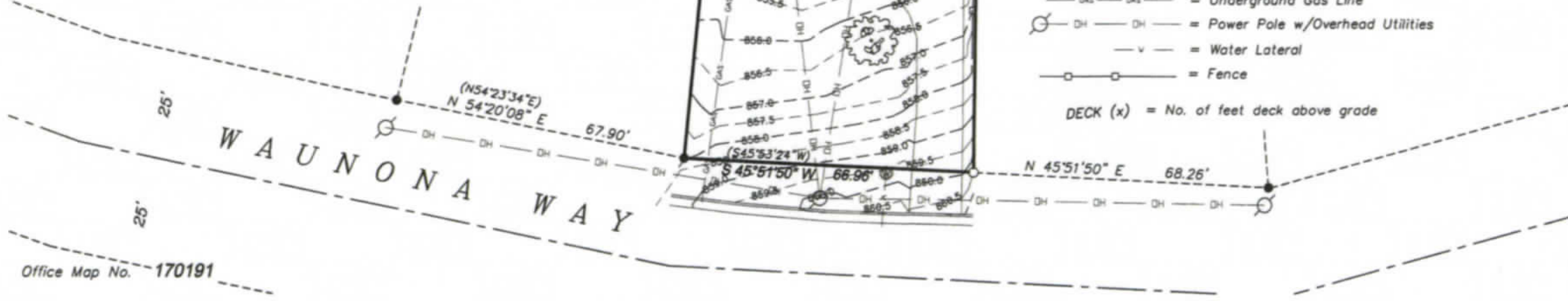
Address	Setback distance
2708 Waunona Way	99.2'
2706 Waunona Way	85.3'
2704 Waunona Way	119.9'
2700 Waunona Way	95.2'
2630 Waunona Way	41.1'
2628 Waunona Way	94.2'
2626 Waunona Way	52.5'
2624 Waunona Way	102.7'
Average	86.3'



BIRRENKOTT SURVEYING, INC.
P.O. Box 237
1677 N. Bristol Street
Sun Prairie, WI. 53590
Phone (608) 837-7463
Fax (608) 837-1081

Dated: April 28, 2017
Surveyed: T.A.S.
Drawn: M.A.P.
Checked: M.A.P. / D.V.B.

Approved: D.V.B.
Field book: 363/36
Comp. File: J:\2017\Carlson



- Legend**
- = Found 3/4" Iron Bar
 - ⊙ = Found 1" Iron Pipe
 - = Set 1"x24" Iron Pipe (wght. 1.68 lbs./ft.)
 - ⊕ = Manhole (Sanitary)
 - ⊖ = Water Shutoff
 - ⊗ = 36" Oak
 - ⊘ = 18"-24" Oak
 - GAS — GAS — = Underground Gas Line
 - ⊕ DH — DH — = Power Pole w/Overhead Utilities
 - V — = Water Lateral
 - ○ — = Fence
 - DECK (x) = No. of feet deck above grade

Notes:

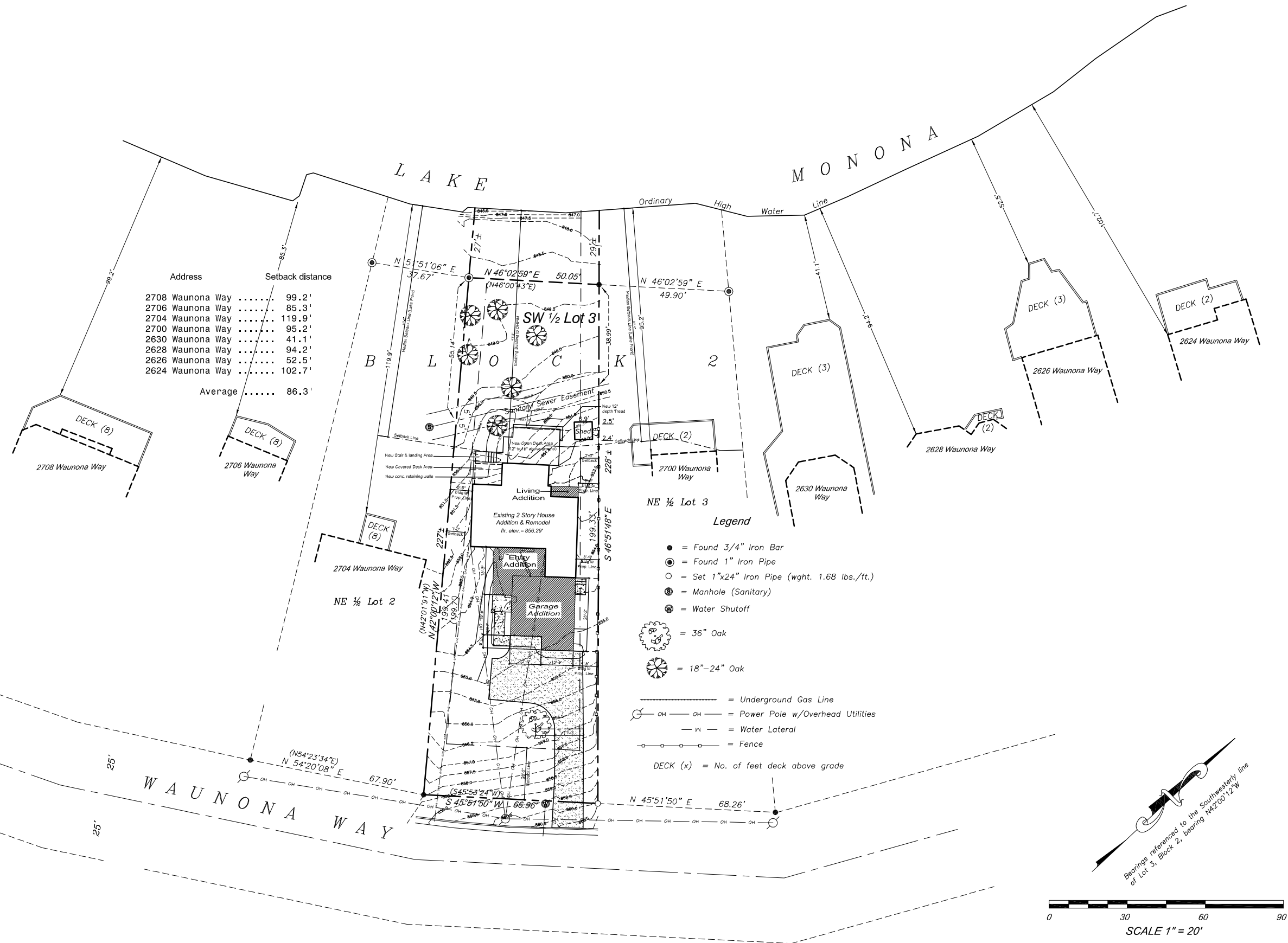
- This survey is subject to any and all easements and agreements both recorded and unrecorded.
- The disturbance of a survey stake by anyone is in violation of Section 236.32 of Wisconsin Statutes.
- Wetlands, if present, have not been delineated.
- This survey shows visible, above-ground improvements only. No guarantee is made for below-ground structures.
- No Title Report furnished.
- Contour interval = 1/2 foot

Description:
The Southwest 1/2 of Lot 3, Block 2, Raywood Heights, City of Madison, Dane County, Wisconsin.

Surveyor's Certificate:
I, Daniel V. Birrenkott, hereby certify that this survey is in compliance with the Wisconsin Administrative Code, Chapter A-E7. I also certify that I have surveyed and mapped the lands described hereon and that the map is a correct representation in accordance with the information provided and is correct to the best of my knowledge and belief.

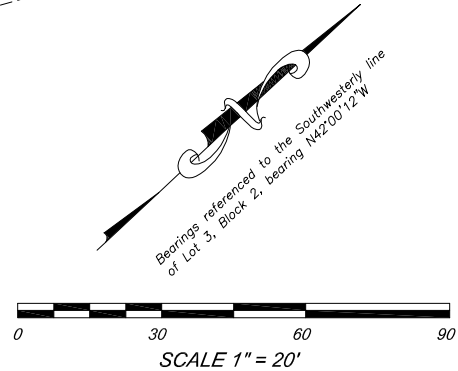
Daniel V. Birrenkott
Daniel V. Birrenkott
Wisconsin Professional Land Surveyor No. S-1531. 5-31-2017

J:\2016 PROJECTS\MOZL THOMPSON, Kai B. ANN - DESIGN & TECHNICAL\MOZL SWP PLAN 24.CADWG 01/16/2018 - 10:57 AM



NE 1/2 Lot 3
Legend

- = Found 3/4" Iron Bar
- ⊙ = Found 1" Iron Pipe
- = Set 1"x24" Iron Pipe (wght. 1.68 lbs./ft.)
- ⊕ = Manhole (Sanitary)
- ⊖ = Water Shutoff
- ⊗ = 36" Oak
- ⊘ = 18"-24" Oak
- = Underground Gas Line
- ⊕ — ⊕ = Power Pole w/Overhead Utilities
- W — = Water Lateral
- ○ — = Fence
- DECK (x) = No. of feet deck above grade



① OVERALL SITE PLAN
Scale: 1" = 20'-0" (Full size - 22x34)
1" = 40'-0" (Half size - 11x17)

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Design Development
Zoning Conditional Land Use & Technical Demolition Permits.

Bouril Design Studio, LLC
4225 Oakwood Drive, Suite 2, Madison, WI 53719
Phone: (608) 833-9400

House Addition & Remodel
Kai & Ann Thompson
2702 Waunona Way, Madison WI 53713

REVISIONS		
#	date	Reference

project: 16024
date: 01/16/18
drawn by: ja

SW-1

EXISTING AREAS SITE SUMMARY BEFORE RENOVATION

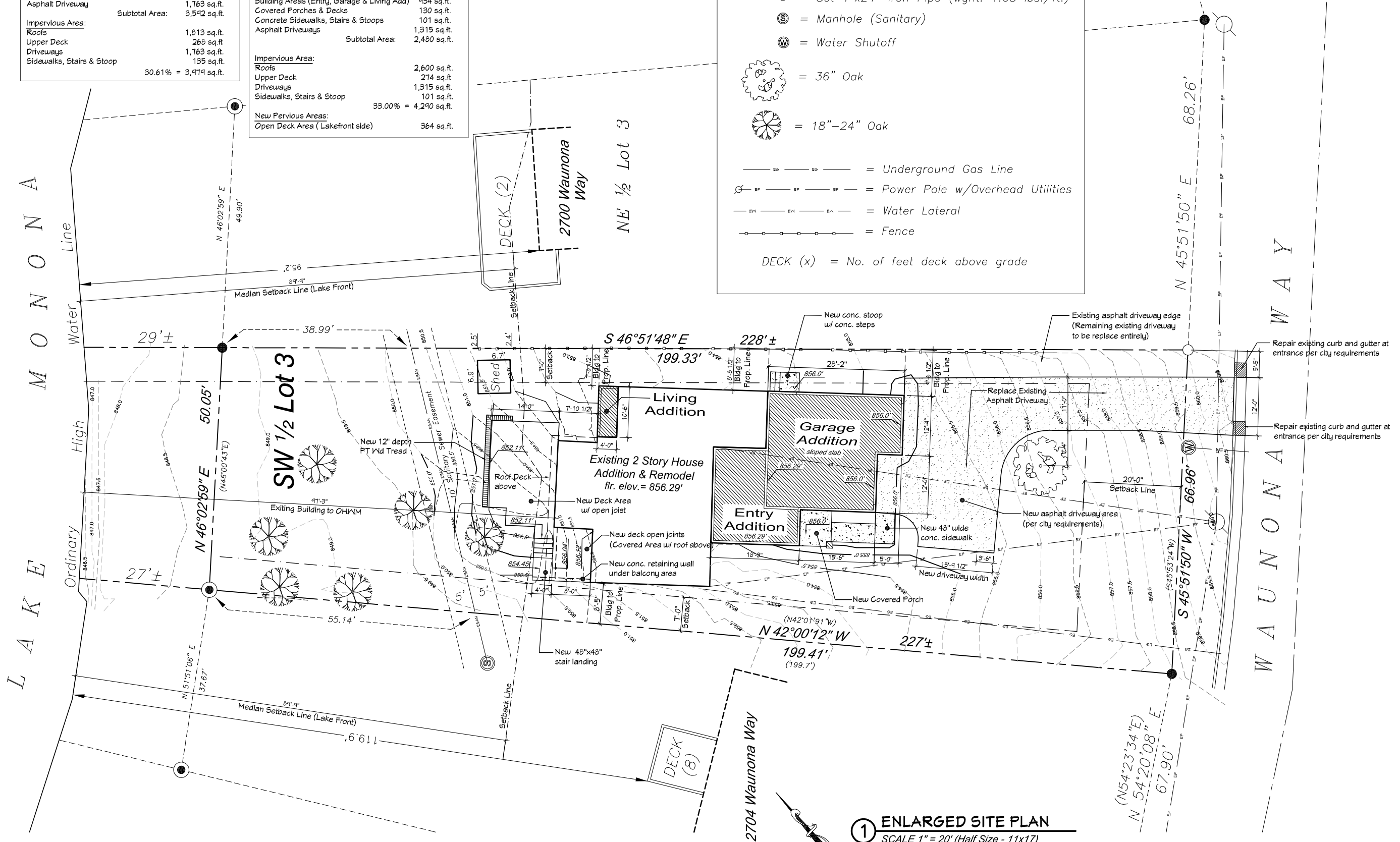
Lot Area:	12,990 sq.ft.
Lot Coverage (As existing):	27.64 % = 3,592 sq.ft.
Existing House	900 sq.ft.
Garage & Shed (480 sq.ft. + 46sq.ft.)	526 sq.ft.
Upper Deck	268 sq.ft.
Concrete Sidewalks, Stairs & Stoops	135 sq.ft.
Asphalt Driveway	1,763 sq.ft.
Subtotal Area:	3,592 sq.ft.
Impervious Area:	
Roofs	1,013 sq.ft.
Upper Deck	268 sq.ft.
Driveways	1,763 sq.ft.
Sidewalks, Stairs & Stoop	135 sq.ft.
	30.61% = 3,979 sq.ft.

SITE SUMMARY - AREA CALCULATION

Lot Area:	12,990 sq.ft.
Lot Coverage (per ordinances):	50 % = 6,495 sq.ft.
Proposed Lot Coverage Area:	28.74% = 3,736 sq.ft.
Remaining Areas:	
Existing Buildings (Shed included)	1,256 sq.ft.
New Addition Areas:	
Building Areas (Entry, Garage & Living Add)	434 sq.ft.
Covered Porches & Decks	130 sq.ft.
Concrete Sidewalks, Stairs & Stoops	101 sq.ft.
Asphalt Driveways	1,315 sq.ft.
Subtotal Area:	2,480 sq.ft.
Impervious Area:	
Roofs	2,600 sq.ft.
Upper Deck	274 sq.ft.
Driveways	1,315 sq.ft.
Sidewalks, Stairs & Stoop	101 sq.ft.
	33.00% = 4,290 sq.ft.
New Pervious Areas:	
Open Deck Area (Lakefront side)	364 sq.ft.

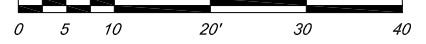
Legend

- = Found 3/4" Iron Bar
- ⊙ = Found 1" Iron Pipe
- = Set 1"x24" Iron Pipe (wght. 1.68 lbs./ft.)
- ⊗ = Manhole (Sanitary)
- Ⓜ = Water Shutoff
- ⊗ = 36" Oak
- ⊗ = 18"-24" Oak
- — — — — = Underground Gas Line
- — — — — = Power Pole w/Overhead Utilities
- — — — — = Water Lateral
- — — — — = Fence
- DECK (x) = No. of feet deck above grade



1 ENLARGED SITE PLAN

SCALE 1" = 20' (Half Size - 11x17)



J:\2116 PROJECTS\2116024 THOMPSON, Kai B. ANV2 - DESIGN & TECHNICAL\2116024 ENLARGED SWP1.dwg 01/16/18 10:15 AM

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FAX: (608) 833-3446

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Kai & Ann Thompson
2702 Waunona Way, Madison WI 53713

REVISIONS		
#	Date	Reference

project: 16024
date: 01/16/18
drawn by: ja

SW-2

Abbreviations

Reference marks, symbols & drafting conventions may be used throughout the documents.

Table of abbreviations and symbols used in the documents, organized in columns.

Addition & Remodel for Kai & Ann Thompson



Exterior Rendering

Drawing Index

Table listing drawing titles and sheet numbers, including Title Page, Existing Conditions, and Demolition Plans.

Project Summary

Project summary details including municipality (Madison, Dane County, Wisconsin), principal governing codes, parcel data, and zoning setbacks/restrictions.

material key

Material key table showing patterns for brick, concrete, grout, CMU, cut stone, stone aggregate, compacted fill, earth, sand, wood, nominal lumber, metal, insulation, and fiberglass.

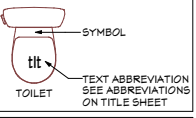
symbol key

Symbol key table defining symbols for detail, section, exterior elevation, interior elevation, structural grid, match line, key note, revision, level line datum, point datum, door, window, and elevation datum.

Associations & Governance

- List of professional associations and standards organizations including ADA, ASCE, ASHRAE, and others.

object identification



Design Development Zoning Conditional Land Use & Technical Demolition Permits

Booril Design Studio, LLC logo and address: 6425 Odona Road Suite 2, Madison, WI 53719.

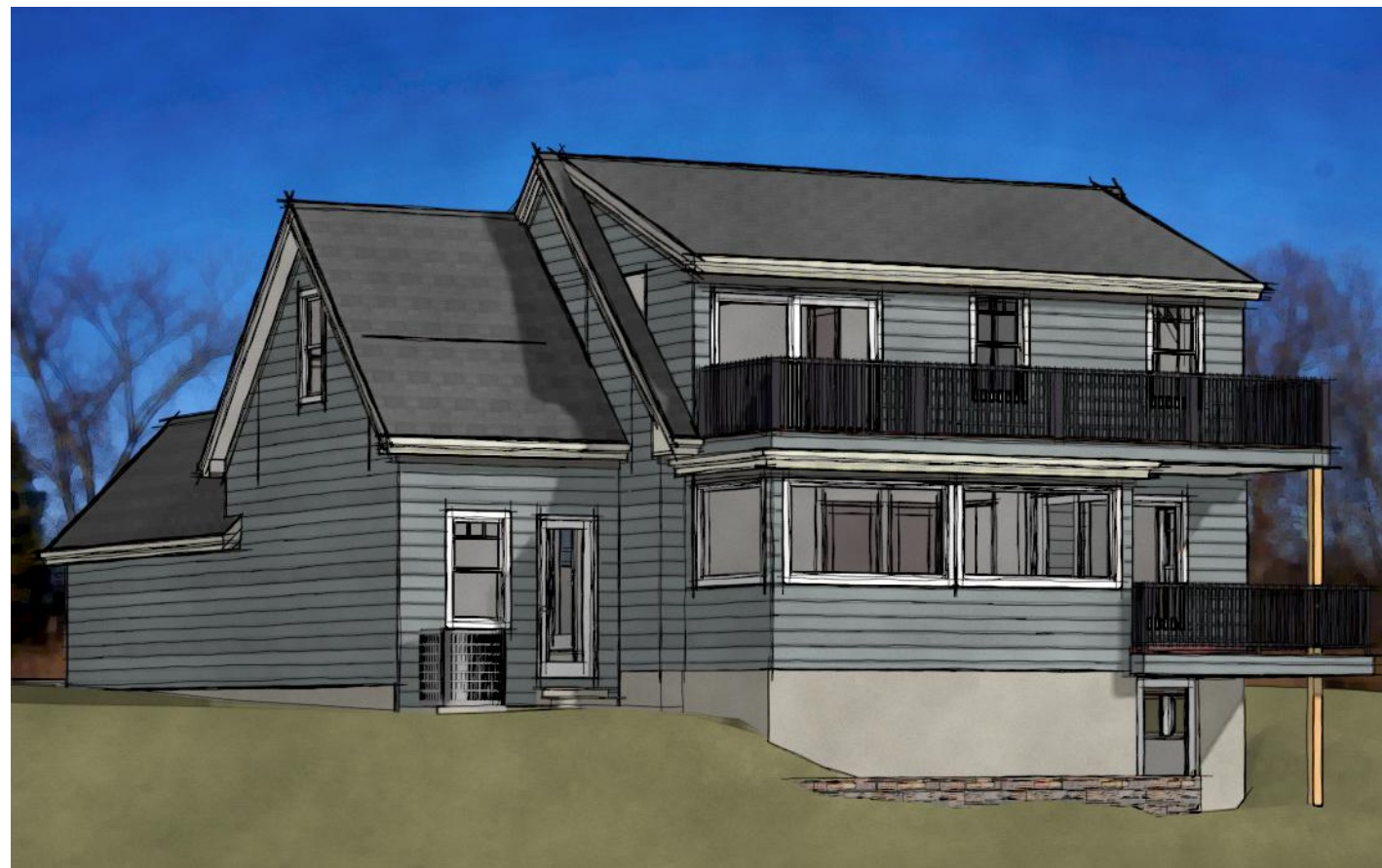
House Addition & Remodel Kai & Ann Thompson 2702 Waunona Way, Madison, WI 53713

Revision index table with columns for #, date, and reference.

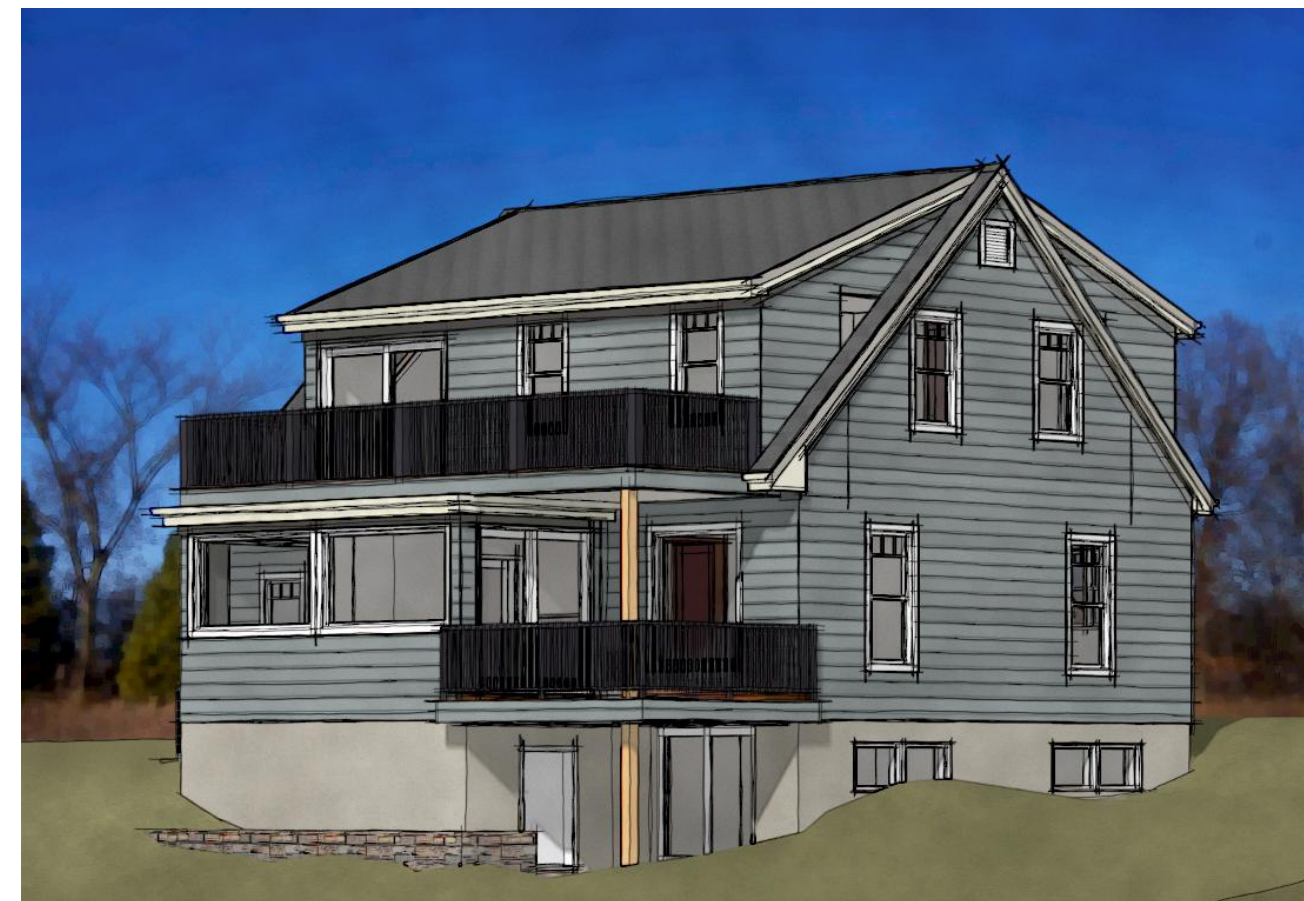
Project: 16024, date: 1/16/2018, draught by: ja

T1

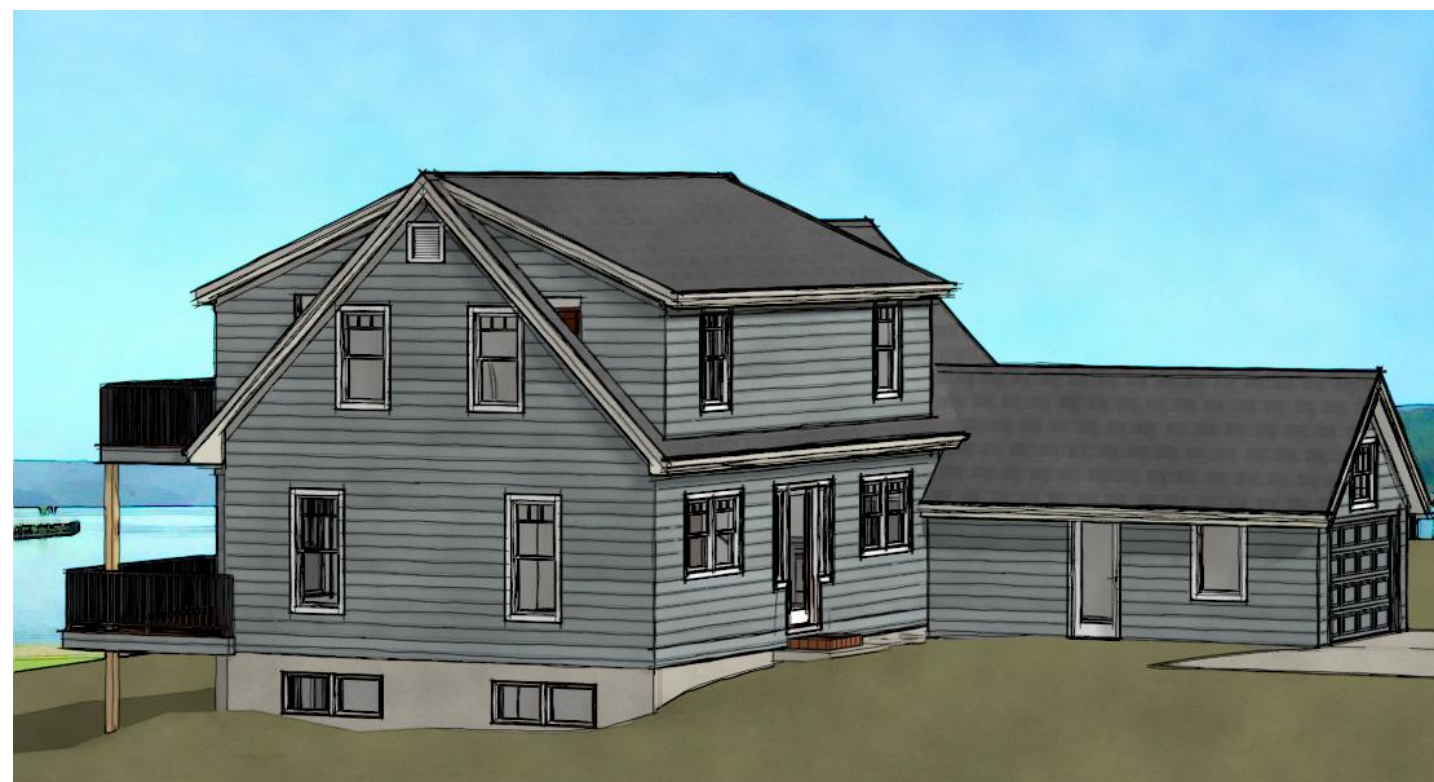
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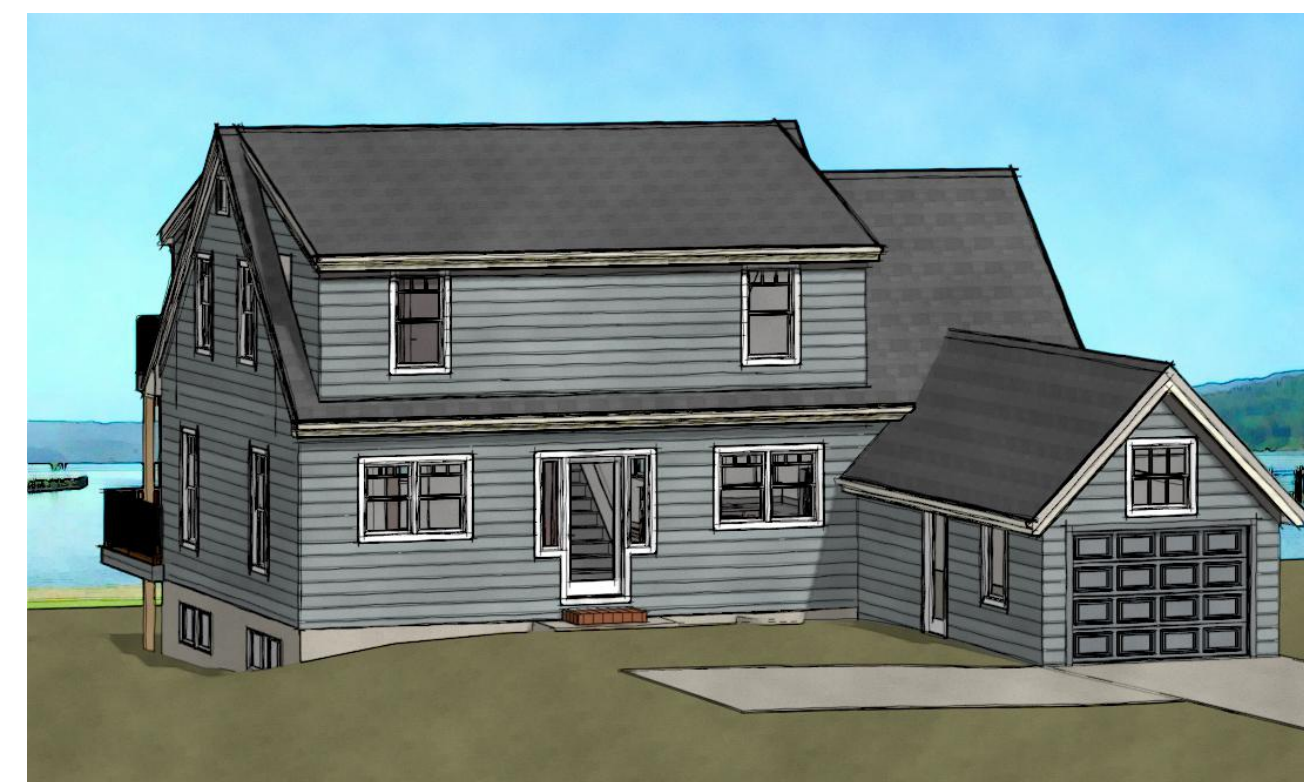
1 Existing Conditions Exterior Perspectives
SCALE: NTS



2 Existing Conditions Exterior Perspectives
SCALE: NTS



3 Existing Conditions Exterior Perspectives
SCALE: NTS



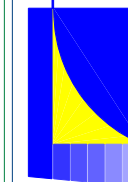
4 Existing Conditions Exterior Perspectives
SCALE: NTS

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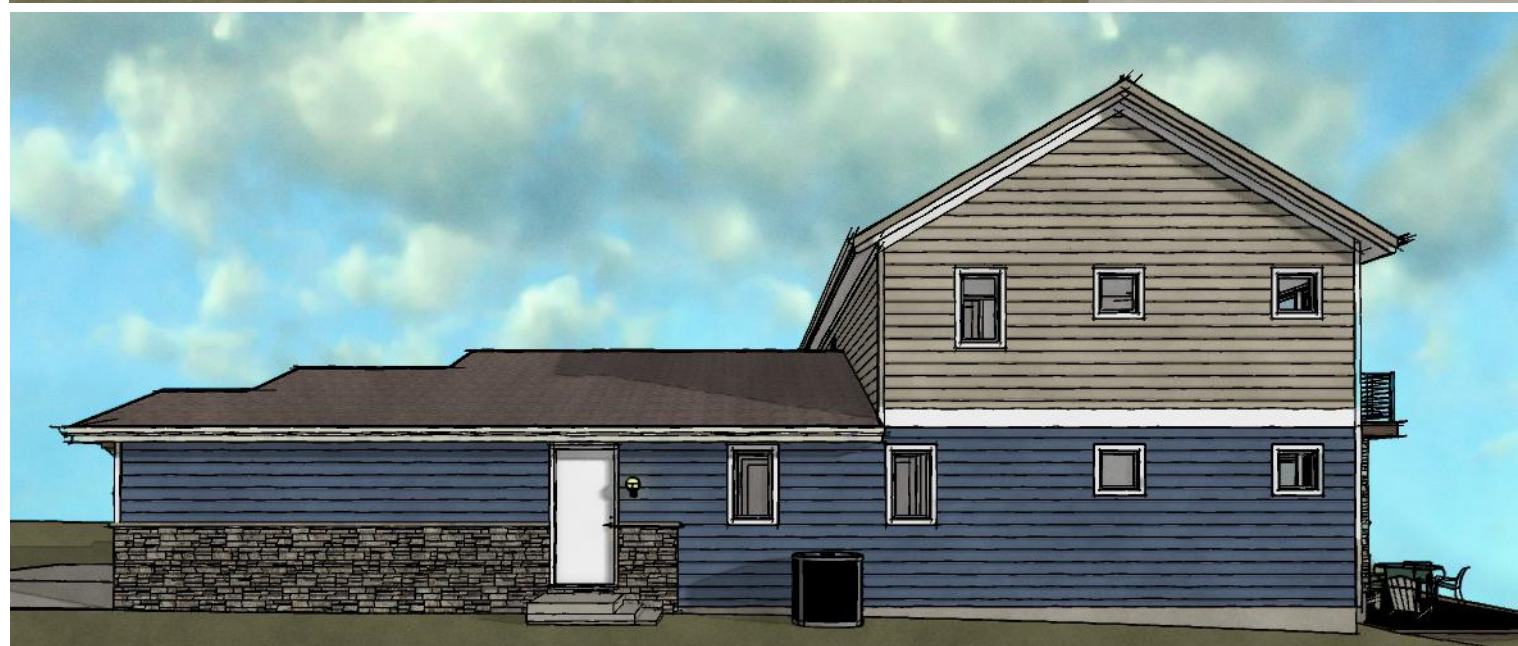
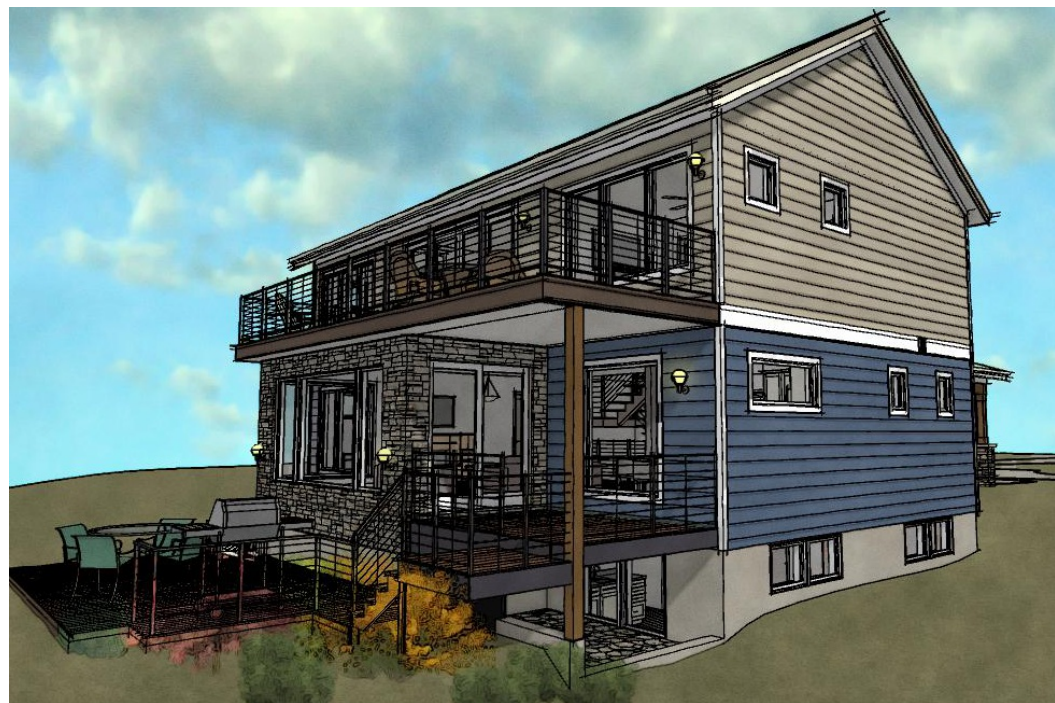
House Addition & Remodel
Kai & Ann Thompson
2702 Waunona Way, Madison, WI 53713

revision index		
#	date	reference

project: 16024
date: 1/16/2018
drawn by: ja

T2

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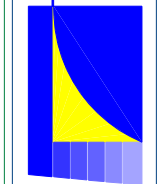
Proposed Renovation
Exterior Perspectives

1 SCALE: NTS

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Kai & Ann Thompson
2702 Maunona Way, Madison, WI 53713

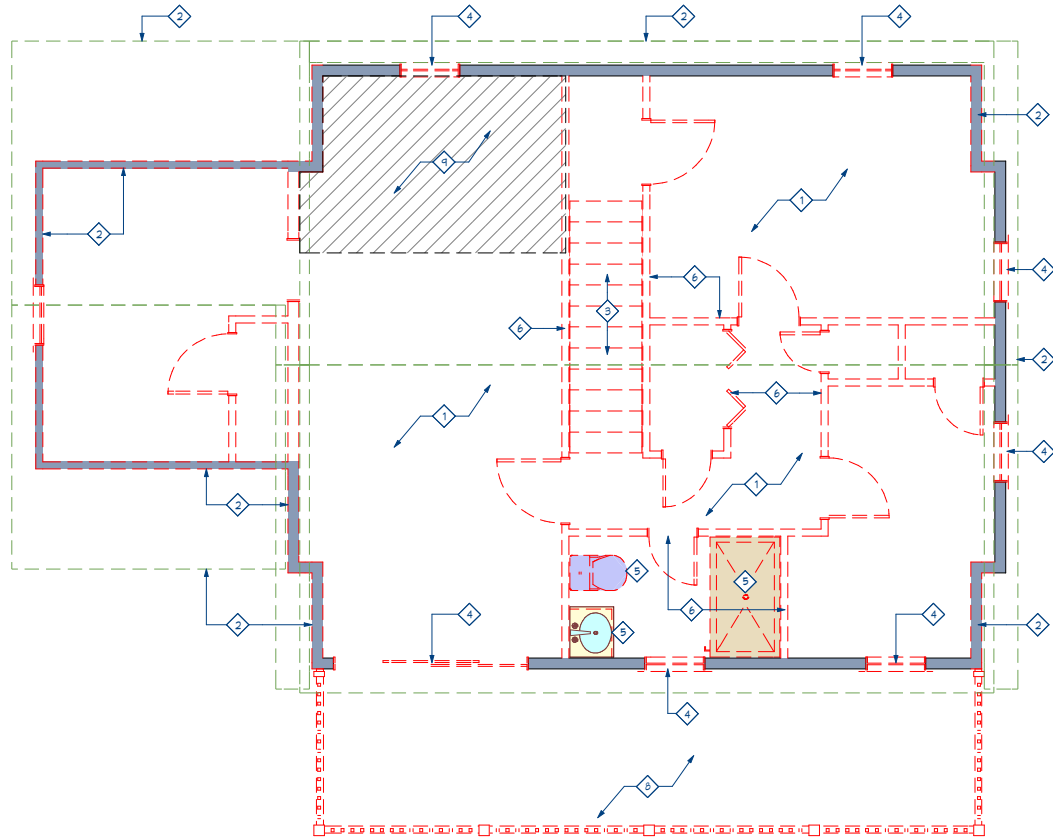
revision index		
#	date	reference

project: 16024
date: 1/16/2018
draun by: ja

T3

Key Notes - Demolition Second Floor Plan:

- 1 REMOVE & DISPOSAL EXISTING FLR. FINISH, EXPOSED SUBFLR. FOR NEW FINISHES
- 2 REMOVE & DISPOSAL EXISTING EXTERIOR WALLS, ROOF, WINDOWS & DOORS
- 3 REMOVE & DISPOSAL WOOD FRAMED STAIRWAY, INCLUDED STAIR SHAFT
- 4 REMOVE AND DISPOSAL EXTERIOR WINDOW OR EXTERIOR DOORS, INFILL AND RESIZE OPENINGS AS REQ'D. VERIFY PROPOSED FLOOR PLANS
- 5 REMOVE & DISPOSAL EXISTING BATHROOM FIXTURES AND PLUMBING LINES, TAP OR ABANDON AS NEED IT.
- 6 REMOVE & DISPOSAL TYP. EXISTING INTERIOR WALLS, DOOR & DOOR FRAMES.
- 7 REMOVE & DISPOSAL KITCHEN CABINETS, COUNTERTOPS, HALL WALLS AND FIXTURES, TAP OR ABANDON EXISTING PLUMBING LINE PIPES AS REQ'D.
- 8 REMOVE & DISPOSAL EXISTING DECK STRUCTURE, PLANKING & GUARDRAILS
- 9 CUT, REMOVE & DISPOSAL EXISTING FLOOR JOISTS SYSTEM AS REQ'D FOR NEW STAIRCASE. SET NEW BEAMS PER DRAWINGS OR PROVIDE TEMP. SUPPORT. VERIFY STRUCTURAL DRAWINGS.
- 10



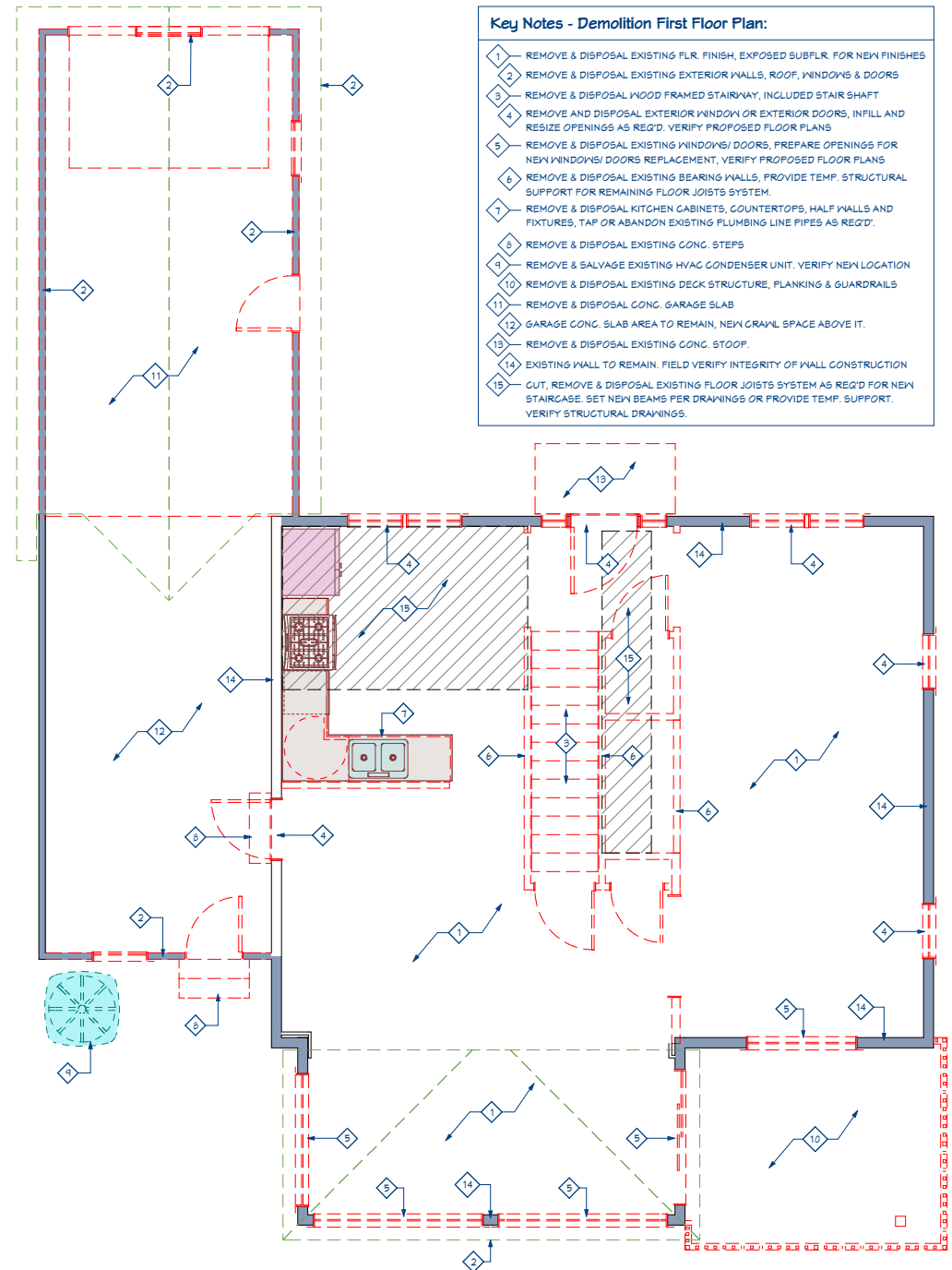
3 Demolition Plans - Second Floor Plan
SCALE: 1/4" = 1'-0"

Demolition Plan Notes

1. The general contractor is responsible for determining the presence of asbestos-containing material and lead-based paint. These materials have the potential to adversely affect human health and the environment. The abatement of these materials is regulated by federal, state, and local laws and regulations. Along with the appropriate industry practices, these laws and regulations must be followed during abatement and all phases of construction activity, including demolition and new construction.
2. The general contractor and subcontractors shall thoroughly familiarize themselves with the existing building prior to the start of demolition. All work outside of the area of demolition shall be protected from incidental damage. Any damage shall be repaired as new to the owner's satisfaction prior to completion of new construction.
3. All existing structure to remain shall be braced, shored, and reinforced as required during the demolition process. All bracing, shoring, and reinforcement shall remain in place during new construction as required or as deemed necessary by the general contractor.
4. The disposition of all equipment, fixtures, doors, windows, hardware, etc slated for demolition shall be coordinated with the owner. Items that are selected by the owner for salvage shall be carefully removed to avoid incidental damage. The general contractor is responsible for storing items designated for re-use; all other salvaged items shall be turned over to the owner.
5. Extent of demolition of openings must be coordinated with the new construction. Refer to the A-series of construction drawings to determine opening widths and heights, etc.
6. Dashed line indicates the demolition of wall, stairs, post, door, window, slab, etc (t.p.).

Key Notes - Demolition First Floor Plan:

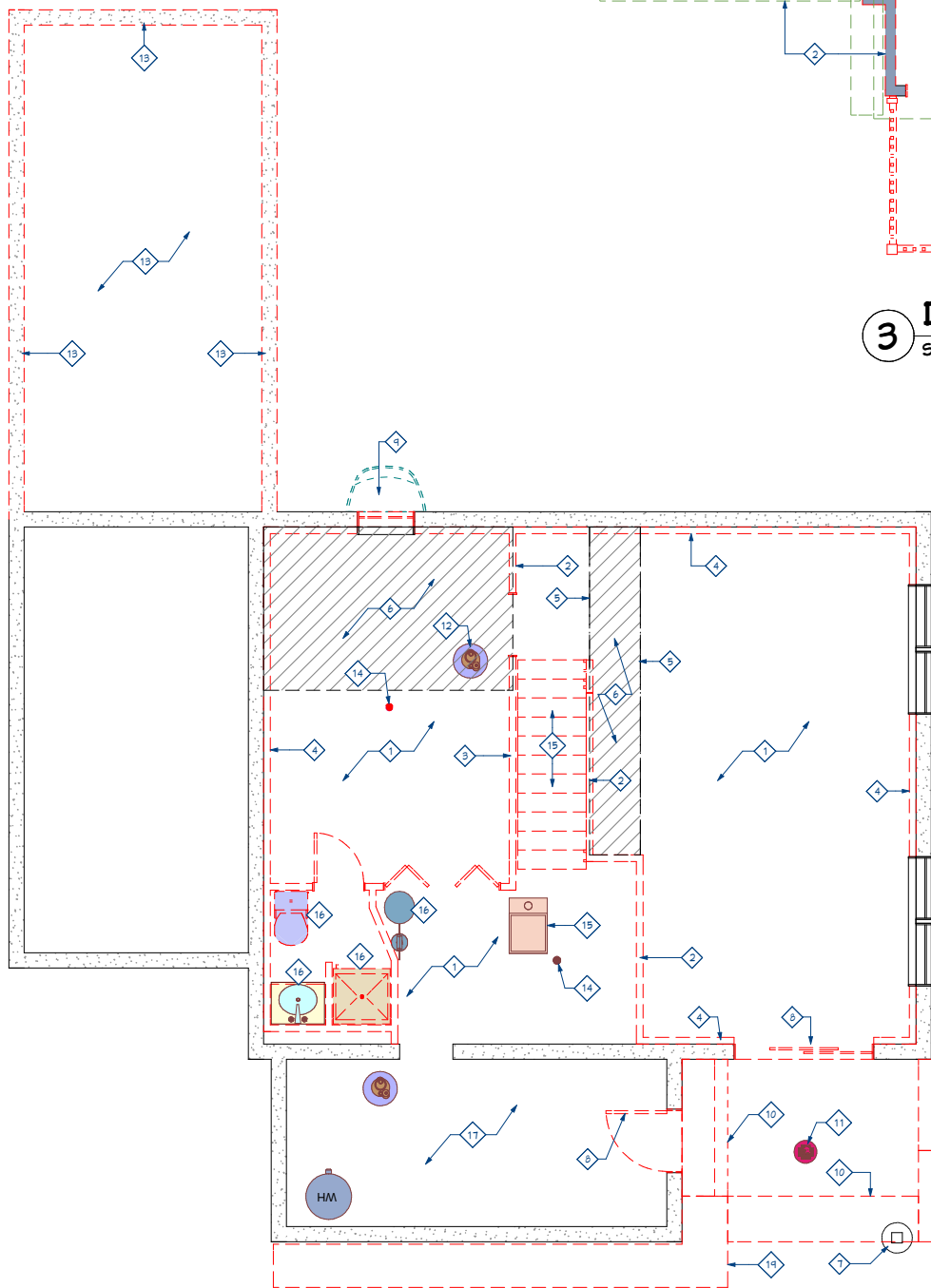
- 1 REMOVE & DISPOSAL EXISTING FLR. FINISH, EXPOSED SUBFLR. FOR NEW FINISHES
- 2 REMOVE & DISPOSAL EXISTING EXTERIOR WALLS, ROOF, WINDOWS & DOORS
- 3 REMOVE & DISPOSAL WOOD FRAMED STAIRWAY, INCLUDED STAIR SHAFT
- 4 REMOVE AND DISPOSAL EXTERIOR WINDOW OR EXTERIOR DOORS, INFILL AND RESIZE OPENINGS AS REQ'D. VERIFY PROPOSED FLOOR PLANS
- 5 REMOVE & DISPOSAL EXISTING WINDOWS/ DOORS, PREPARE OPENINGS FOR NEW WINDOWS/ DOORS REPLACEMENT, VERIFY PROPOSED FLOOR PLANS
- 6 REMOVE & DISPOSAL EXISTING BEARING WALLS, PROVIDE TEMP. STRUCTURAL SUPPORT FOR REMAINING FLOOR JOISTS SYSTEM.
- 7 REMOVE & DISPOSAL KITCHEN CABINETS, COUNTERTOPS, HALF WALLS AND FIXTURES, TAP OR ABANDON EXISTING PLUMBING LINE PIPES AS REQ'D.
- 8 REMOVE & DISPOSAL EXISTING CONG. STEPS
- 9 REMOVE & SALVAGE EXISTING HVAC CONDENSER UNIT. VERIFY NEW LOCATION
- 10 REMOVE & DISPOSAL EXISTING DECK STRUCTURE, PLANKING & GUARDRAILS
- 11 REMOVE & DISPOSAL CONG. GARAGE SLAB
- 12 GARAGE CONG. SLAB AREA TO REMAIN, NEW CRAWL SPACE ABOVE IT.
- 13 REMOVE & DISPOSAL EXISTING CONG. STOOP.
- 14 EXISTING WALL TO REMAIN. FIELD VERIFY INTEGRITY OF WALL CONSTRUCTION
- 15 CUT, REMOVE & DISPOSAL EXISTING FLOOR JOISTS SYSTEM AS REQ'D FOR NEW STAIRCASE. SET NEW BEAMS PER DRAWINGS OR PROVIDE TEMP. SUPPORT. VERIFY STRUCTURAL DRAWINGS.



2 Demolition Plans - First Floor Plan
SCALE: 1/4" = 1'-0"

Key Notes - Demolition Ground Floor Plan:

- 1 REMOVE AND DISPOSAL EXISTING CONG. FLOOR SLAB
- 2 REMOVE & DISPOSAL EXISTING WOOD FRAMED BEARING WALL. PROVIDE TEMPORARY STRUCTURAL SUPPORT FOR REMAINING FLOOR JOIST SYSTEM
- 3 REMOVE & DISPOSAL WOOD FRAMED STAIRWAY, INCLUDED STAIR SHAFT
- 4 REMOVE AND DISPOSAL INTERIOR DRYWALL FURRED CONCRETE FND. WALL
- 5 REMOVE & DISPOSAL EXISTING WOOD BEAMS. PROVIDE TEMPORARY STRUCTURAL SUPPORT FOR REMAINING FLOOR JOIST SYSTEM
- 6 FIRST FLOOR FLOOR JOISTS AREA TO BE REMOVE. PROVIDE TEMPORARY STRUCTURAL SUPPORT FOR REMAINING FLOOR SYSTEM.
- 7 REMOVE & DISPOSAL EXISTING POST & PIER/ FOOTING
- 8 REMOVE & DISPOSAL EXISTING SLIDING DOOR. INFILL OPENING w/ CMU BLOCKS
- 9 REMOVE & DISPOSAL EXISTING WINDOW & WELL. INFILL OPENING w/ CMU BLOCKS.
- 10 REMOVE & DISPOSAL CONG. STEPS/ PLANTERS
- 11 REMOVE, DISPOSAL AND ABANDON SANITARY TRENCH DRAIN
- 12 REMOVE, DISPOSAL & ABANDON SUMP PUMP & GROCK
- 13 REMOVE & DISPOSAL EXISTING GARAGE CONG. SLAB & FOUNDATION EDGE
- 14 DISCONNECT, REMOVE & DISPOSAL FLOOR DRAINS, REMOVE ALL PLUMBING LINES
- 15 DISCONNECT, REMOVE & SALVAGE HVAC FURNACE. VERIFY w/ G.C. & OWNER THE POSSIBILITY TO REUSE IT.
- 16 DISCONNECT, REMOVE & DISPOSAL ALL PLUMBING FIXTURES
- 17 STORAGE AREA TO BE REMAIN AS IT IS.
- 18

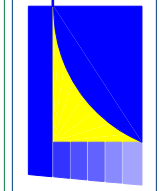


1 Demolition Plans - Ground Floor Plan
SCALE: 1/4" = 1'-0"

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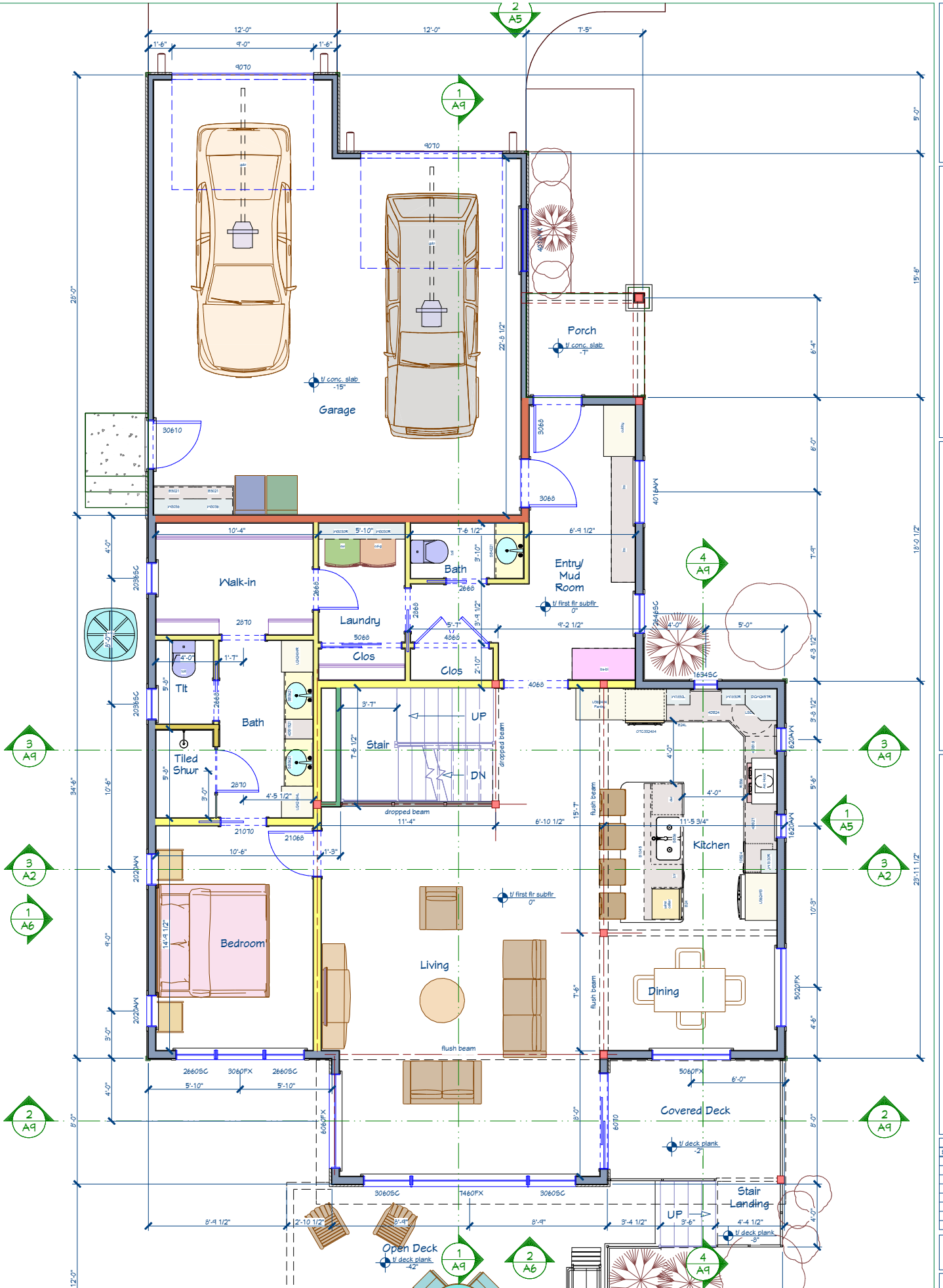
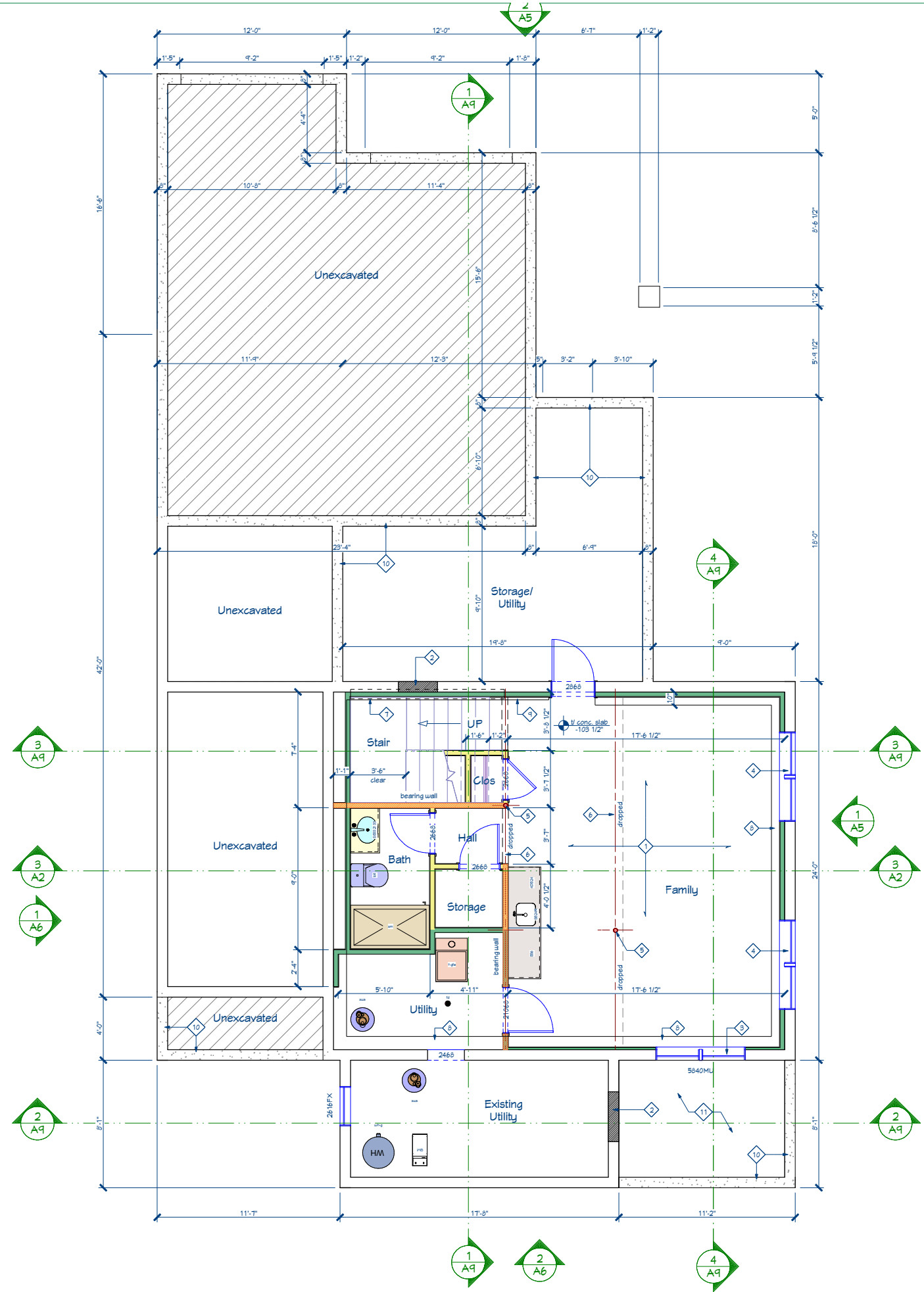
House Addition & Remodel
Kai & Ann Thompson
2702 Waunona Way, Madison, WI 53713

revision index		
#	date	reference

project: 16024
date: 1/16/2018
draun by: ja

D1

J:\2018 projects\16024 Thompson, Kai & Ann\2 - Design & Technical\Thompson layout 1/16/2018 - 12:36:23 PM



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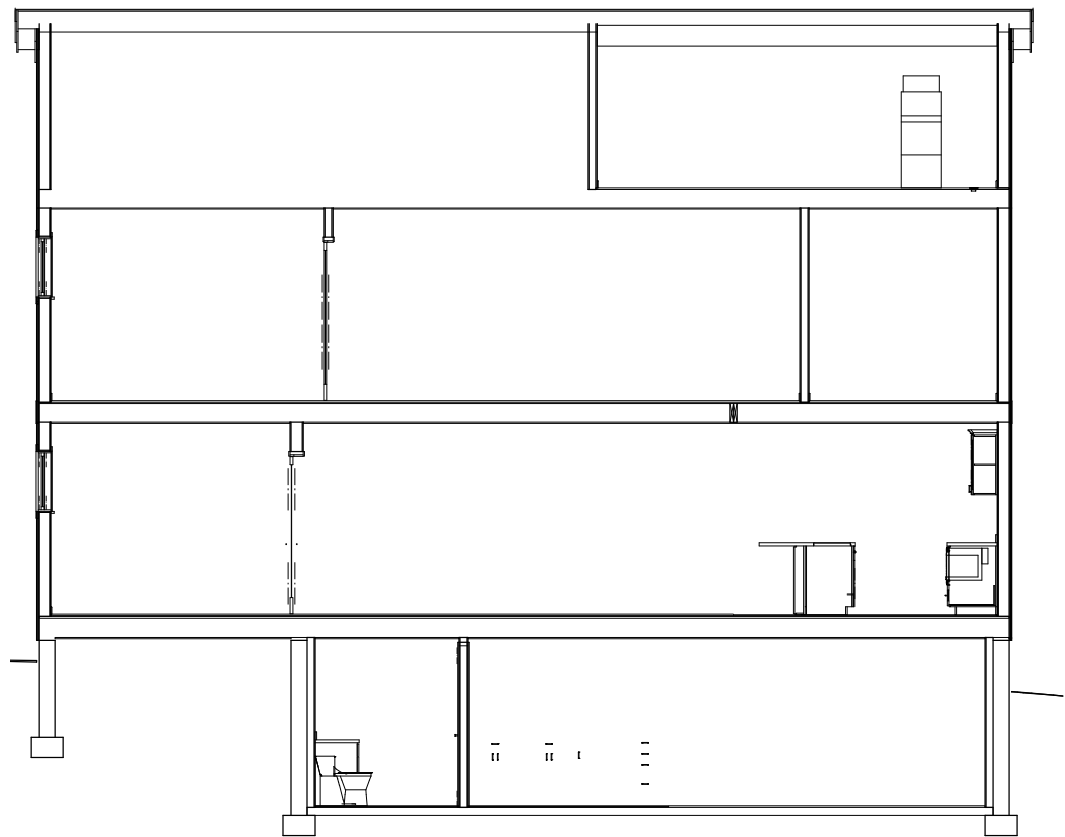
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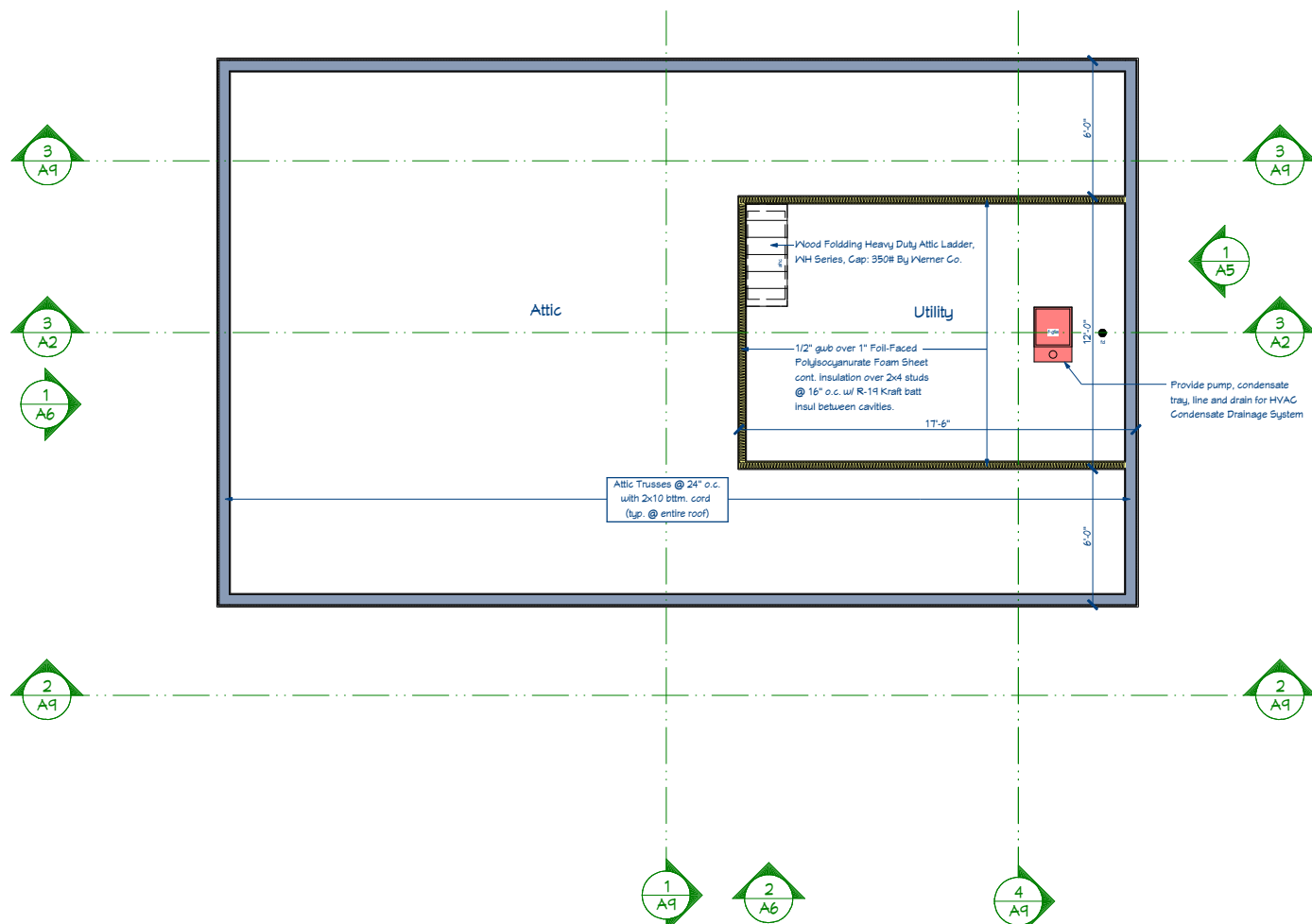
revision index		
#	date	reference

project: 16024
date: 1/16/2018
drawn by: ja

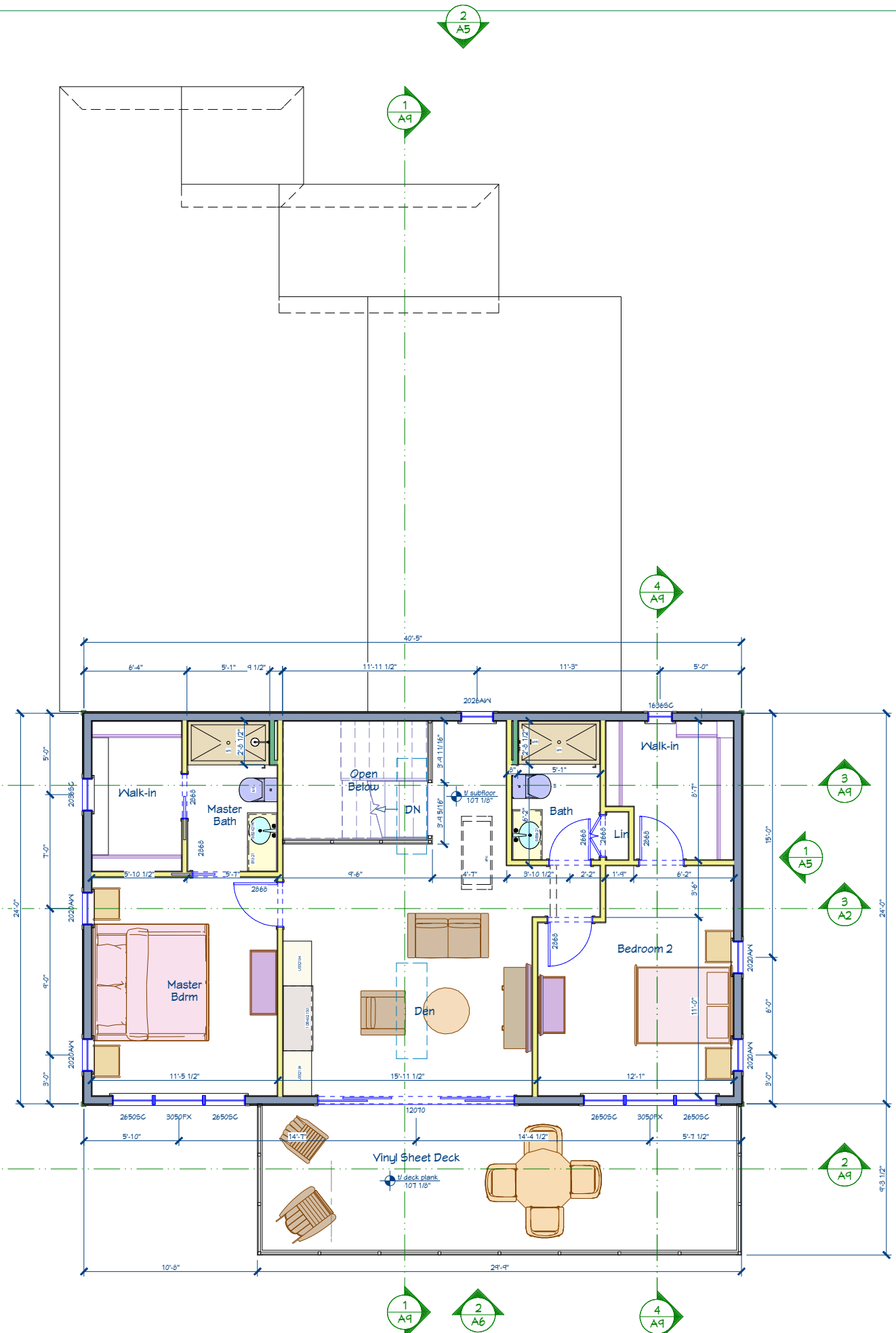
A1



3 Schematic Section Thru Attic
SCALE: 1/4" = 1'-0"



2 Proposed Plans - Attic Floor Plan
SCALE: 1/4" = 1'-0"



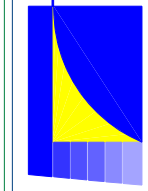
1 Proposed Plans - Second Floor
SCALE: 1/4" = 1'-0"

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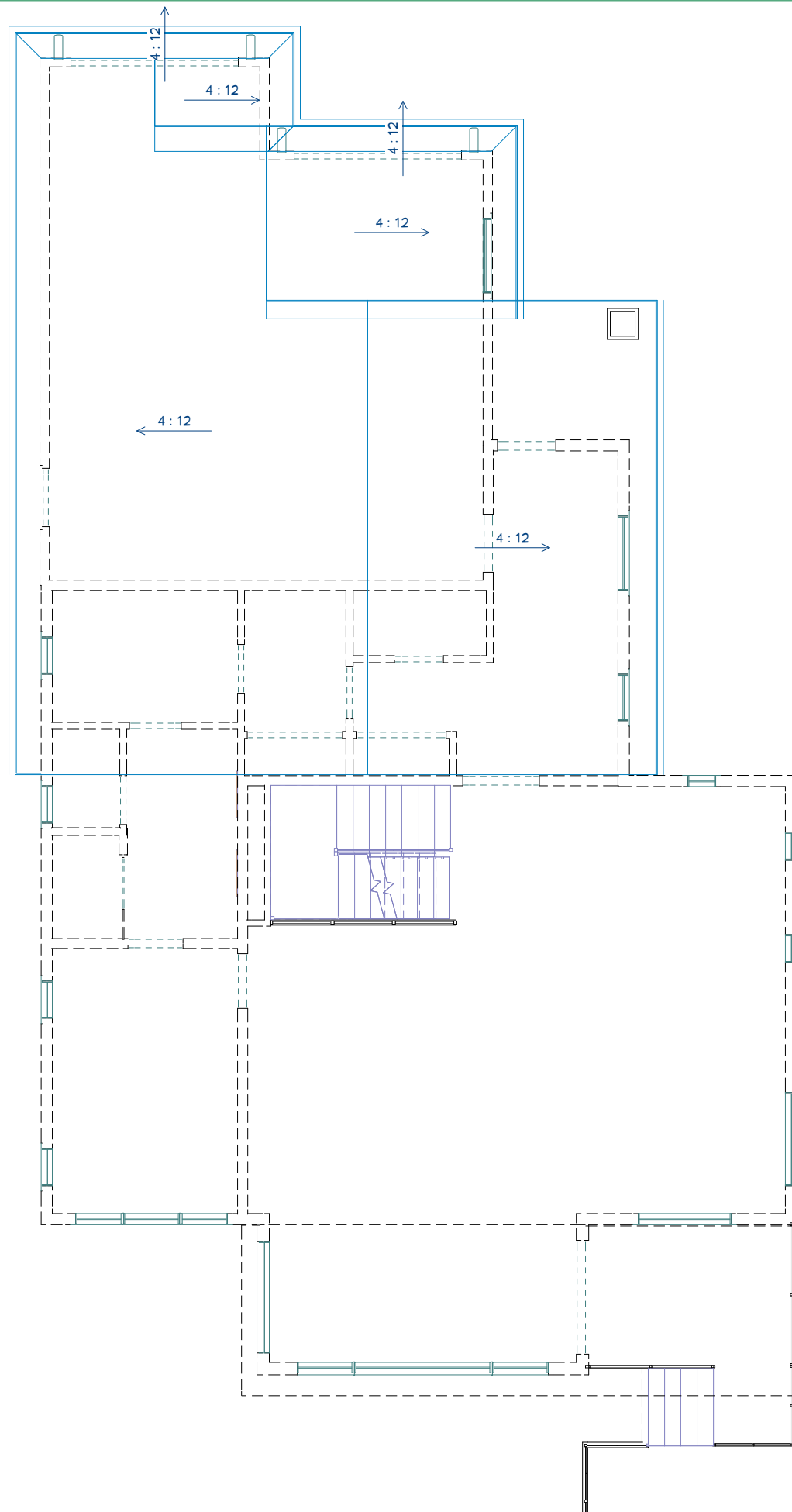
House Addition & Remodel
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2702 Maunona Way, Madison, WI 53713

revision index		
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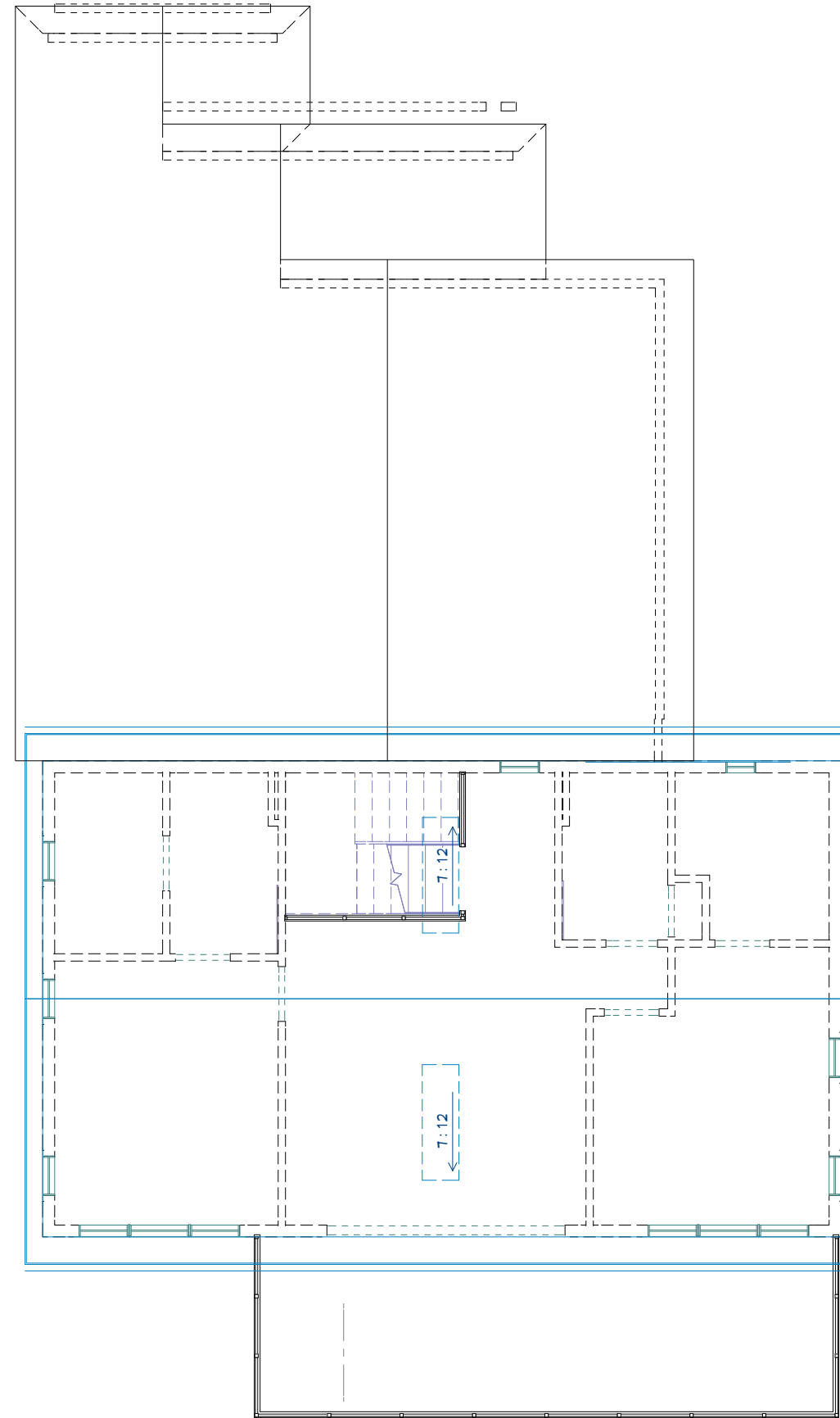
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date: 1/16/2016
drawn by: ja

A2

J:\2018 projects\16024 Thompson, Kai & Ann\2 - Design & Technical\Thompson layout 1/16/2018 - 12:58:24 PM



1 Proposed Roof Plans - Lower Roof
SCALE: 1/4" = 1'-0"



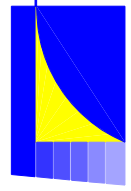
2 Proposed Roof Plans - Upper Roof
SCALE: 1/4" = 1'-0"

revision index		
#	date	reference

project: 16024
date: 1/16/2018
drawn by: ja

A4

House Addition & Remodel
Kai & Ann Thompson
2702 Maunona Way, Madison, WI 53713



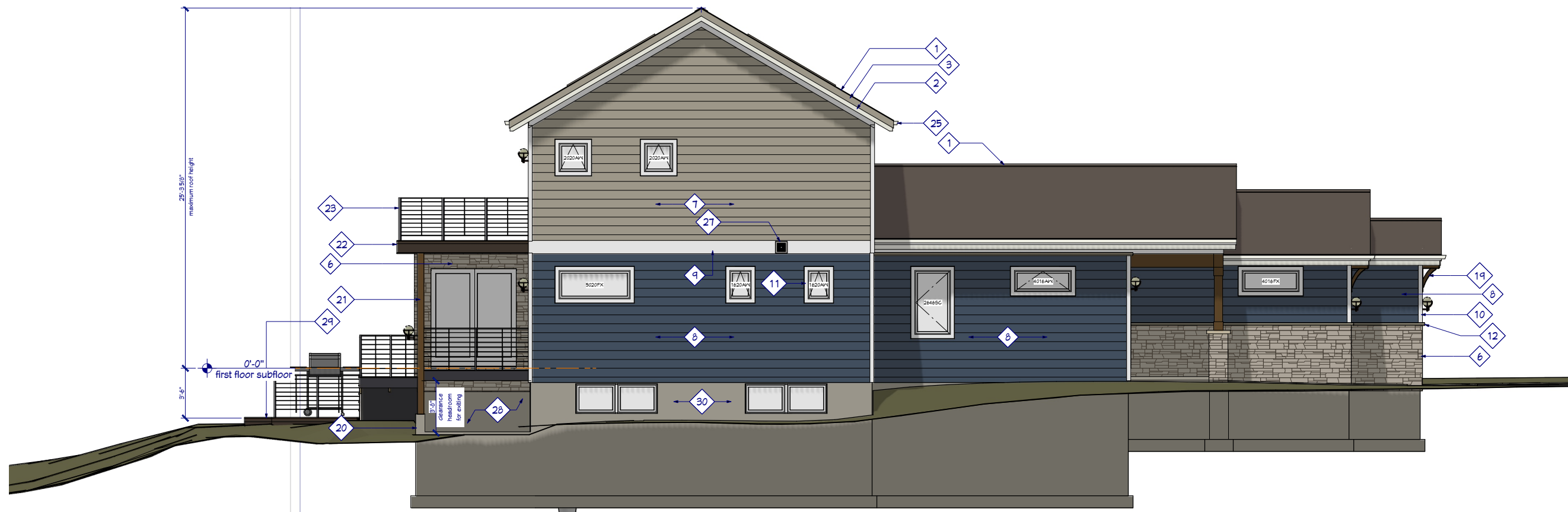
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Zoning Conditional Land Use &
Technical Demolition Permits

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2 Street Elevation
SCALE: 1/4" = 1'-0"



1 Side Elevation
SCALE: 1/4" = 1'-0"

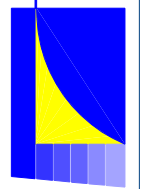
Exterior Elevation Notes	
1.	All final material selections, colors, finishes, and other options to be coordinated with the Owner.
2.	All window types shall be Integrity by Marvin, All-Ultrex Series or similar.

Exterior Feature and Material Key	
1.	Shingles: Certainteed Designer Landmark asphalt roof shingles.
2.	Eave fascia: 8" Nominal Cedar Composite trim board, 440 Series. Paint to match corner trims.
3.	Eave shadow board: 4" Nominal Cedar Composite trim board, 190 Series. Paint to match corner trims.
4.	Freeze Board: 6" Nominal Cedar Composite Trim Board, 440 Series. Paint to match corner trims.
5.	Eave soffit: PAC-Glad PAC-750 aluminum soffit with matching J-channel. Provide venting panels at vented attic spaces.
6.	Thin stone veneer.
7.	Sliding #1: Cedar Composite Lap Siding, Extra-wide 16", Profile: Triple 5 Bold. Color: Light (tbd)
8.	Sliding #2: Cedar Composite Lap Siding, Extra-wide 16", Profile: Triple 5 Bold. Color: Dark (tbd)
9.	Belt band: 12" Nominal Cedar Composite Trim Board, 540 Series. Paint to match corner trims
10.	Corner trim: 4" Nominal Cedar Composite Trim Board, 440 Series. Paint finish, color: White.
11.	Window and door trim: 3" Nominal Cedar Composite Trim Board, 190 Series. Paint to match corner trims.
12.	Window sills & Wall stone veneer cap: buff color Indiana Limestone, slope to drain.
13.	Pilaster Stone Cap: 2-1/2"x20"x20" buff color Indiana Limestone, slope to drain.
14.	Fiberglass Entry Door System by Thermo-Tru or similar
15.	Insulated Steel GH, Ultra-grain Series w/ window top sections, seeded glass.
16.	Insulated Steel Door, Flat Panel, finish: Painted, color: match window trims
17.	Porch Post: 6"x6" Doug-Fir Post wrapped in Cedar Composite Trim Board, 540 Series, Paint: match deck post
18.	Wood Beam: 8" Doug-Fir member wrapped in Cedar Composite Trim Board, 440 Series, Paint: match porch post
19.	Wood Brackets: 6"x24" Doug-Fir, finish: stain, color: match porch post and beams
20.	Concrete Retaining Wall, Finish: Sandblasted, Color: Natural
21.	Deck post: 6"x6" Doug-Fir, finish: Stain, Color: TBD.
22.	Deck fascia board: 10" Nominal Doug-Fir, finish: Stain, color: TBD.
23.	Deck rail system: 36" high, Premanufactured, Powder Coated Steel Guardrail Frame w/ Stainless Steel Cable System, color: TBD.
24.	Fixed Skylights, Size: 2270, Curb Mounted (FCM) by Velux or similar
25.	Alum. Gutters & Downspouts System, color to match roof fascia.
26.	Air conditioning condensing unit.
27.	Range hood vent.
28.	Opening between deck structure and top of retaining wall for Egress purposes
29.	Open Deck Area with Composite Planks and open joints.
30.	Insulation Finish Panel @ exposed foundation walls.

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Design Development
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Bouril Design Studio, LLC
 6425 Odana Road Suite 2, Madison, WI 53719
 608-833-3400 www.bourilstudio.com



House Addition & Remodel
Kai & Ann Thompson
 2702 Maunona Way, Madison, WI 53713

revision index		
#	date	reference

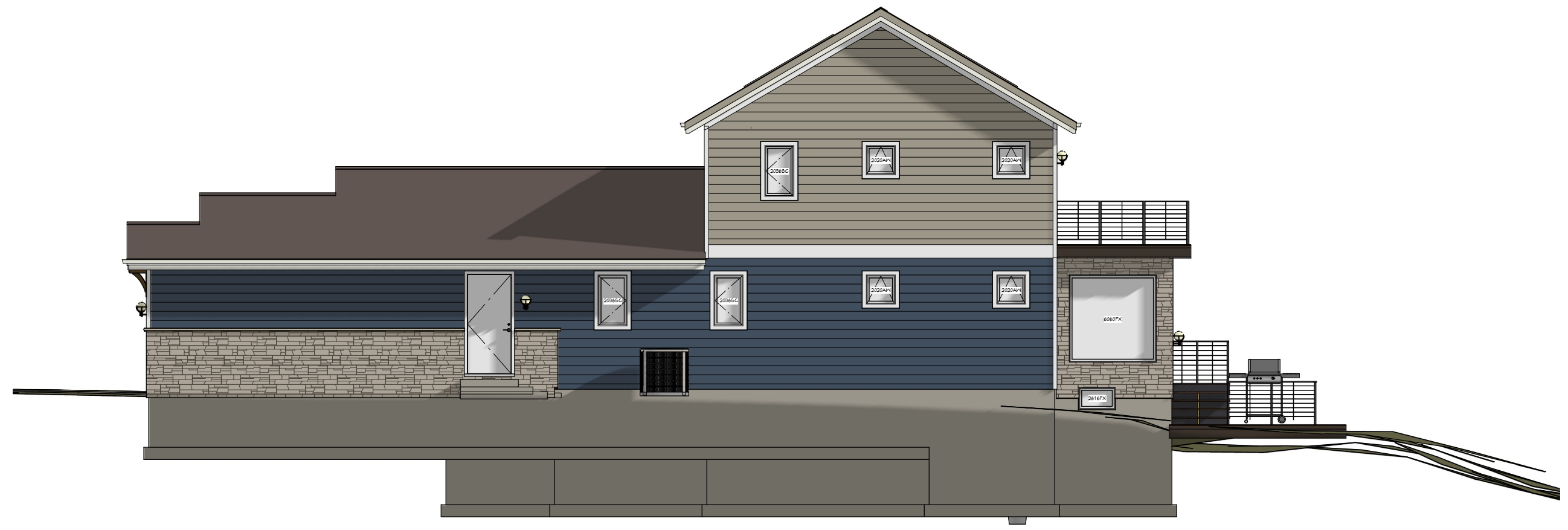
project: 16024
 date: 1/16/2018
 drawn by: ja

A5

J:\2018 projects\16024 Thompson, Kai & Ann\2 - Design & Technical\Thompson layout 1/16/2018 - 12:36:25 PM



2 Lakefront Elevation
SCALE: 1/4" = 1'-0"



1 Side Elevation
SCALE: 1/4" = 1'-0"

Exterior Elevation Notes	
1.	All final material selections, colors, finishes, and other options to be coordinated with the Owner.
2.	All window types shall be Integrity by Marvin, All-Ultrex Series or similar.

Exterior Feature and Material Key	
1.	Shingles: CertainTeed Designer Landmark asphalt roof shingles.
2.	Eave fascia: 8" Nominal Cedar Composite trim board, 440 Series. Paint to match corner trims.
3.	Eave shadow board: 4" Nominal Cedar Composite trim board, 190 Series. Paint to match eave fascia.
4.	Freeze Board: 6" Nominal Cedar Composite Trim Board, 440 Series. Paint to match corner trims.
5.	Eave soffit: FAC-Clad FAC-750 aluminum soffit with matching J-channel. Provide venting panels at vented attic spaces.
6.	Thin stone veneer.
7.	Sliding #1: Cedar Composite Lap Siding, Extra-wide 16", Profile: Triple 5 Bold. Color: Light (tbd)
8.	Sliding #2: Cedar Composite Lap Siding, Extra-wide 16", Profile: Triple 5 Bold. Color: Dark (tbd)
9.	Belt band: 12" Nominal, Cedar Composite Trim Board, 540 Series. Paint to match corner trims
10.	Corner trim: 4" Nominal, Cedar Composite Trim Board, 440 Series. Paint finish, color: White.
11.	Window and door trim: 3" Nominal, Cedar Composite Trim Board, 190 Series. Paint to match corner trims.
12.	Window sills & Wall stone veneer cap: buff color Indiana Limestone, slope to drain.
13.	Plaster Stone Cap: 2-12"x20"x20" buff color Indiana Limestone, slope to drain.
14.	Fiberglass Entry Door System by Thermo-Tu or similar
15.	Insulated Steel OHD, Ultra-grain Series w/ window top sections, seeded glass.
16.	Insulated Steel Door, Flat Panel, finish: Painted, color: match window trims
17.	Porch Post: 6"x6" Doug-Fir Post wrapped in Cedar Composite Trim Board, 540 Series, Paint: match deck post
18.	Porch Beam: 8" Doug-Fir member wrapped in Cedar Composite Trim Board, 440 Series, Paint: match porch post
19.	Wood Brackets: 6"x24" Doug-Fir, finish: stain, color: match porch post and beams
20.	Concrete Retaining Wall, Finish: Sandblasted, Color: Natural
21.	Deck post: 6"x6" Doug-Fir, finish: Stain, Color: TBD.
22.	Deck fascia board: 10" Nominal Doug-Fir, finish: Stain, color: TBD.
23.	Deck rail system: 36" high, Premanufactured, Powder Coated Steel Guardrail Frame w/ Stainless Steel Cable System, color: TBD.
24.	Fixed Skylights, Size: 2270, Curb Mounted (PCM) by Velux or similar
25.	Alum. Gutters & Downspouts System, color to match roof fascia.
26.	Air conditioning condensing unit.
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project: 16024
date: 1/16/2018
drawn by: ja

A6