

CITY OF MADISON

Proposed Demolition

Location: 414 Grand Canyon Drive

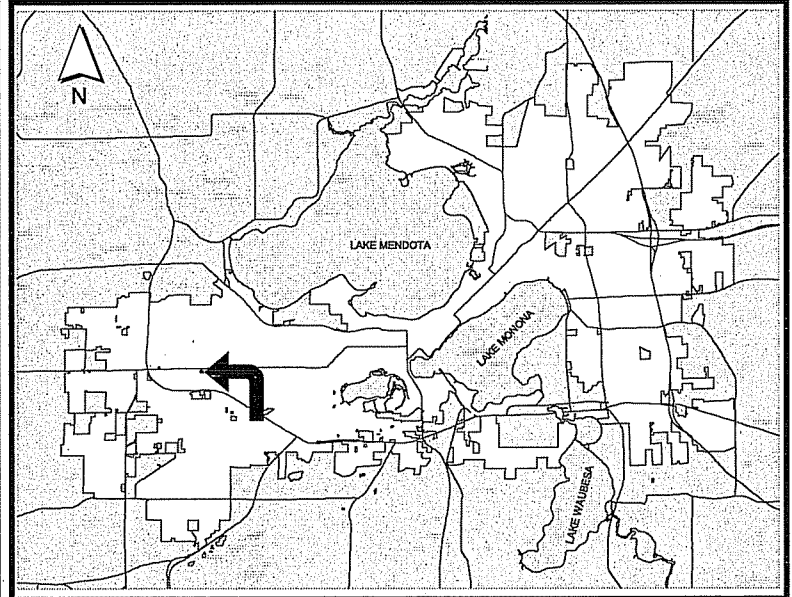
Project Name: Brink Office Building

Applicant: Curtis Brink - Grand Canyon 1,000, LLC/
Jason Ekstrom - Architecture Network

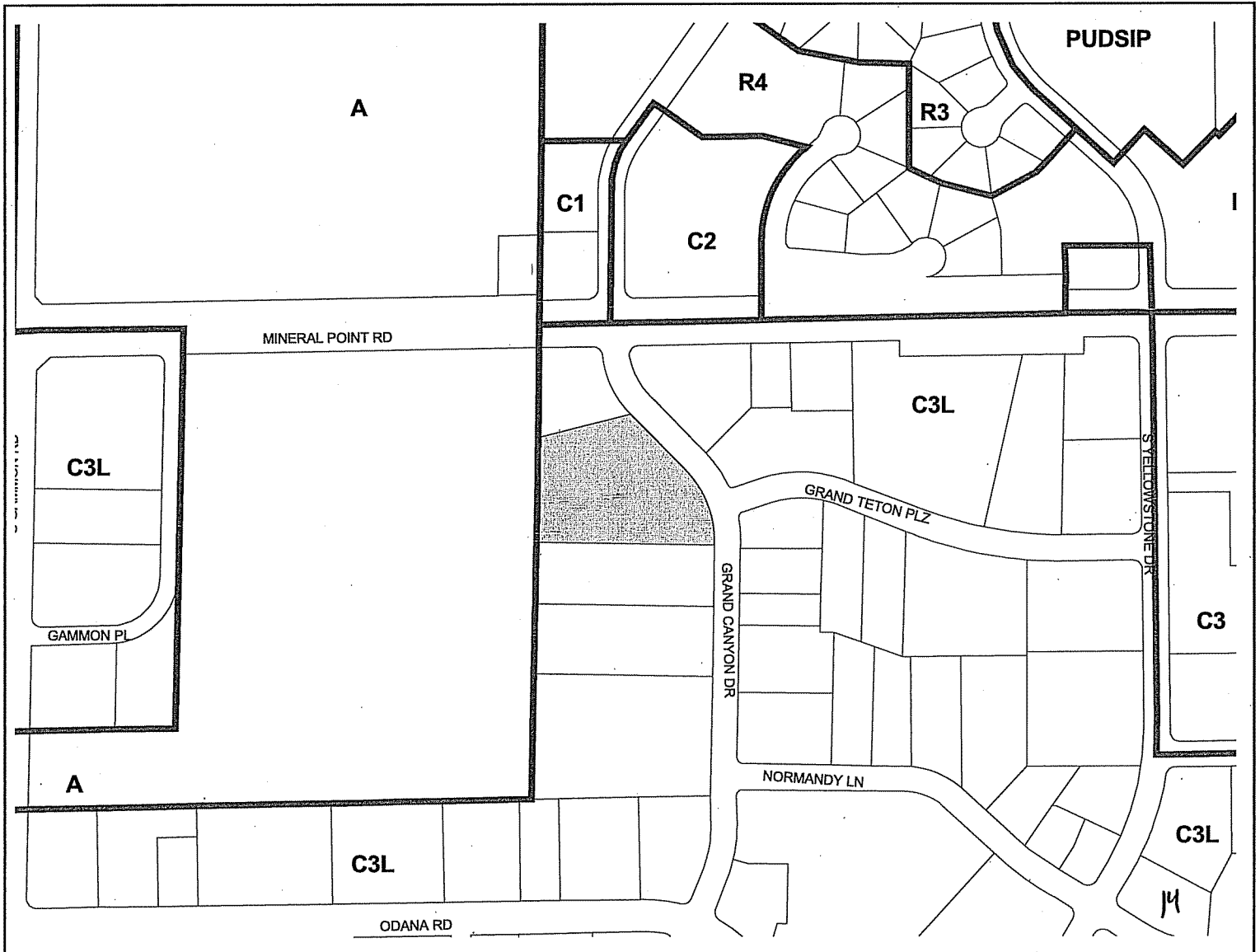
Existing Use: Vacant Restaurant

Proposed Use: Demolish Former Restaurant for
Office Building

Public Hearing Date:
Plan Commission 10 July 2006



For Questions contact: Bill Roberts at: 266-5974 or broberts@cityofmadison.com or City Planning at 266-4635

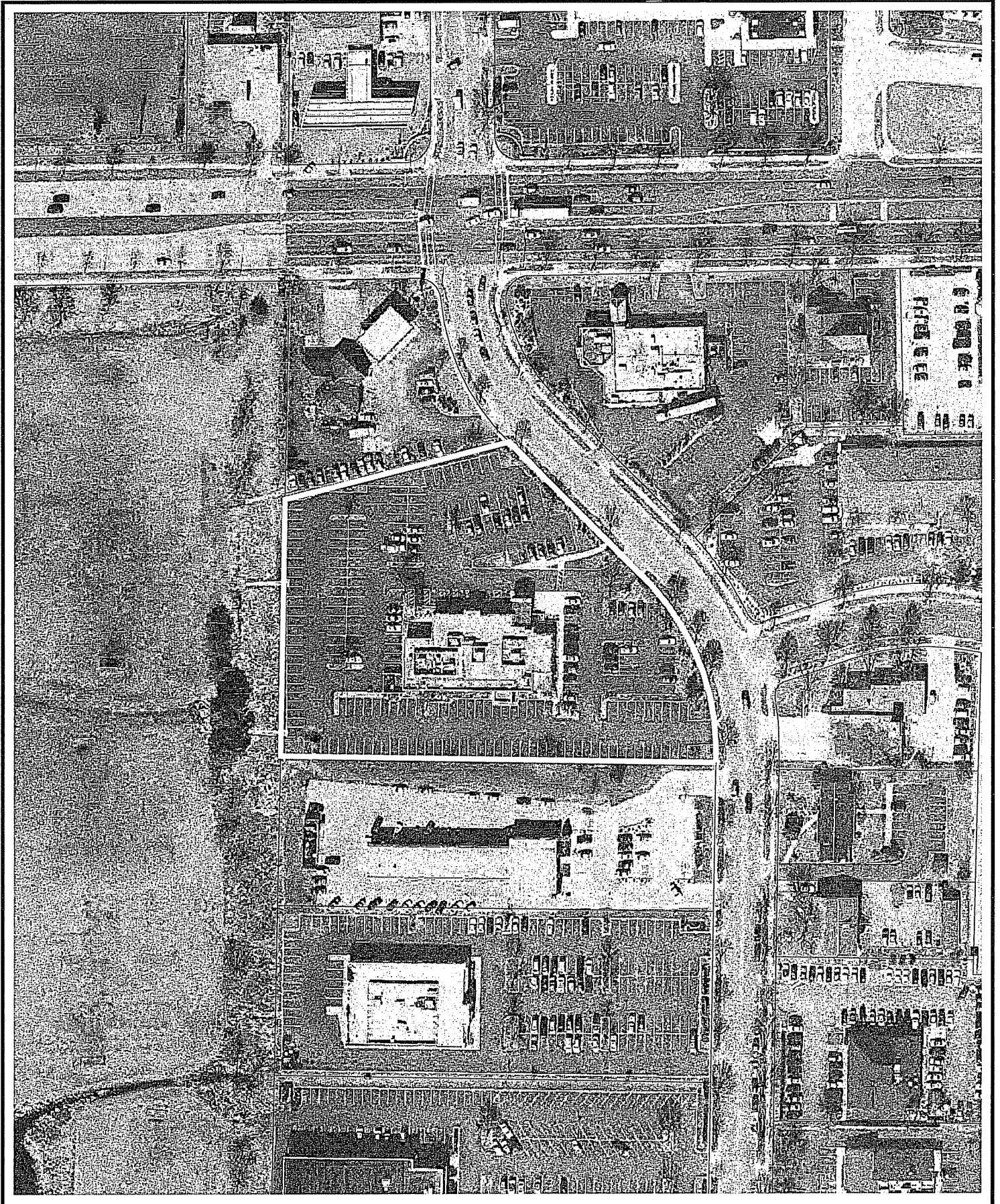


414 Grand Canyon Drive

100 0 100 Feet



Date of Aerial Photography - April 2000



LAND USE APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd. Room 1100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.



FOR OFFICE USE ONLY:

Amt. Paid \$550 Receipt No. 71051
Date Received 5-24-06
Received By KAU
Parcel No. 0708-252-0118-3
Aldermanic District 19-Noel Radomski
GQ ok
Zoning District C3L
For Complete Submittal
Application Letter of Intent
IDUP N/A Legal Descript. L
Plan Sets Zoning Text N/A
Alder Notification Waiver
Ngrhd. Assn Not. Waiver
Date Sign Issued _____

1. Project Address: 414 GRAND CANYON DR Project Area in Acres: 2.67 acres
116.319
Project Title (if any): _____

2. This is an application for: (check at least one)

<input checked="" type="checkbox"/> Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input type="checkbox"/> Rezoning from _____ to _____	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input type="checkbox"/> Conditional Use	<input checked="" type="checkbox"/> Demolition Permit	<input type="checkbox"/> Other Requests (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: CURT BRINK Company: GRAND CANYON 1000 LLC
Street Address: 101 ACADIA DR City/State: MADISON WI Zip: 53717
Telephone: (608) 575-4845 Fax: (608) 661-8591 Email: CURT.BRINK@HOTMAIL.COM
Project Contact Person: JASON EKSTROM Company: ARCHITECTURE NETWORK
Street Address: 116 E. DAYTON ST City/State: MADISON Zip: WI
Telephone: (608) 251-7515 FAX 6 Fax: (608) 251-7506 Email: JASON - ARCHNET@TDS.NET
Property Owner (if not applicant): _____
Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a general description of the project and all proposed uses of the site: SEE LETTER OF INTENT

Development Schedule: Commencement SUMMER 2006 Completion WINTER 2006

CONTINUE →

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5. Required Submittals:

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
 - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
 - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
 - **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor.
- Filing Fee: \$ 550** See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

- For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A *Zoning Text* must accompany all Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
 - *The site is located within the limits of _____ Plan, which recommends: _____ for this property.*

- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:
 - *List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:*

NOEL RADOMSKI

If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner TIM PARKS Date 2 MAY 2006 | Zoning Staff MATT TUCKER Date 2 MAY 2006

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name Curtis Brink Date 5-24-2006

Signature Curtis Brink Relation to Property Owner _____

Authorizing Signature of Property Owner Curtis Brink Date 5-24-2006



architecture
network, inc.

116 E. Dayton St.
Madison, WI 53703

608.251.7515
608.251.7566 FAX

23 May 2006

Planning & Development
City of Madison, WI
215 MLK Jr. Blvd.
Madison, WI

RE CONDITIONAL USE PERMIT TO DEMOLISH EXISTING BUILDING AT
414 GRAND CANYON DRIVE, MADISON, WI

It is the intent of the owner, Grand Canyon 1000 LLC, to demolish the existing building, formerly Chi Chi's restaurant and replace it with a new office building. The site consists of three contiguous lots. The new building will be located on lots 27 & 28. Two building pads are planned for the future. Building pad 1 is located on lots 27 & 28 at the east end. Building pad 2 is located on adjacent lot #29.

The work on the demolition and construction will start simultaneously as soon as the above conditional use permit is granted. Construction is planned through the summer and completed, ready for occupancy in late 2006. There will be single tenant of the two story, three level building with 19,434 SF of area which will replace the one story 10,621 SF existing building.

Please refer to the attached fact sheet for additional information.

If you have any questions, please do not hesitate to call.

Arlan Kay, AIA
Architect

tlm *ka*

FACT SHEET
CONDITIONAL USE, 414 GRAND CANYON DRIVE, MADISON, WI

Owner

Grand Canyon 1000 LLC
Curtis Brink 575-4845
701 E. Washington Avenue
Suite 105
Madison, WI 53703

Architect

Architecture Network, Inc.
Arlan Kay 251-7515 251-7566 FAX
116 E. Dayton Street
Madison, WI 53703

Engineer

Arnold & O'Sheridan
Mike Schmidt 821-8411
1111 Deming Way
Madison, WI 53717

Site Information

Total area of site 115,201 Square Feet
Parking Spaces (for first building) 75 spaces (includes 3 ADA spaces)
Parking Spaces (for building pad 1) 9 spaces (includes 1 ADA space)
Parking Spaces (for building 2) 78 spaces (includes 3 ADA spaces)

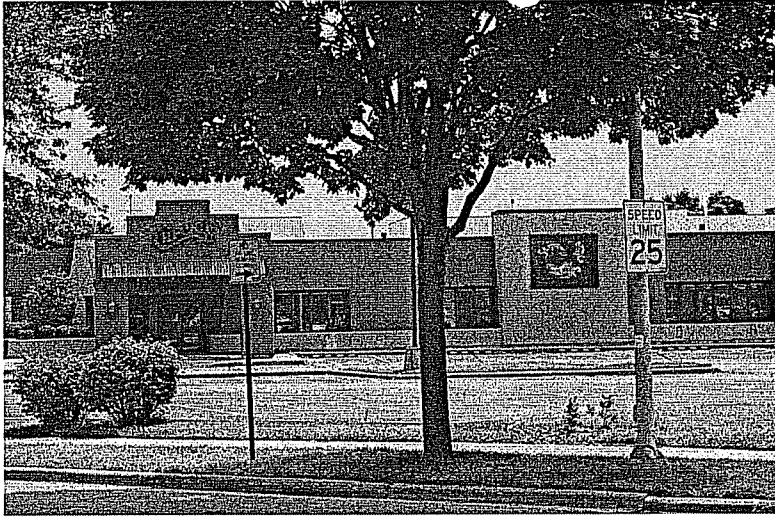
Building Information

Proposed Building area 19,434 SF
Proposed Use Realtor offices
Number of Employees 105
Hours of operation 8:00 AM to 5:00 PM typical

Construction schedule

Summer and Fall 2006

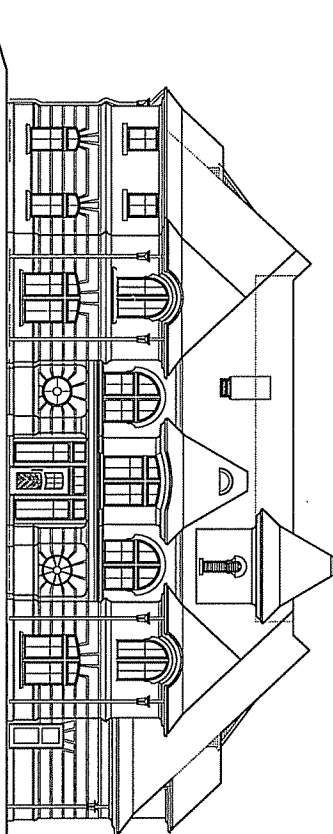






PROPOSED NEW OFFICE BUILDING

44 GRAND CANYON DR.
MADISON WISCONSIN



DRAWING INDEX

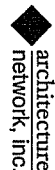
T-1.0	COVER SHEET & PROJECT DATA
SP-1.0	SITE PLAN
LP-1.0	LANDSCAPE PLAN
S-0.0	GENERAL NOTES
S-1.0	FOUNDATION PLAN
S-1.1	FIRST FLOOR FRAMING PLAN
S-1.2	SECOND FLOOR FRAMING PLAN
S-1.3	ROOF FRAMING PLAN
S-2.0	FOUNDATION DETAILS
A-1.0	BASEMENT PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	PLAN BLOW UP
A-1.4	ROOF PLAN
A-2.0	EXTERIOR ELEVATIONS
A-2.1	BUILDING SECTIONS & DETAILS
A-3.0	WALL SECTIONS & DETAILS
A-4.0	WALL SECTIONS AND DETAILS
A-4.1	WALL SECTIONS AND DETAILS
A-4.2	WALL SECTIONS AND DETAILS
A-4.3	WALL SECTIONS AND DETAILS
A-4.4	WALL SECTIONS AND DETAILS
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A-4.99	WALL SECTIONS AND DETAILS
A-4.100	WALL SECTIONS AND DETAILS

BUILDING DATA

USE & OCCUPANCY CLASSIFICATION:	BUSINESS (B) - OFFICE SPACE
CLASS OF CONSTRUCTION:	TYPE Vg (NON-FIRERESISTIVE CONSTRUCTION)
ALLOWABLE HEIGHT & AREA:	2 STORIES, 5000 SQUARE FEET PER FLOOR
ACTUAL HEIGHT AND AREA:	2 STORIES, 4254 SQUARE FEET
FIRE - RESISTANCE REQUIREMENTS:	5/8" GRC CONCRETE
FIRE - NON-RATED CONCRETE WALLS W/ CONCRETE AUTOMATIC SPRINKLER SYSTEM	
OCCUPANT LOAD:	63 MAXIMUM ALLOWED PER FLOOR
SMOKEY REQUIREMENTS:	2100 CFM REQUIRED PER FLOOR PROVIDED; 2100 CFM BASEMENT & SECOND FLOOR; 4100 CFM FIRST FLOOR
BUR DISTANCE:	300 FT. WITH AUTOMATIC SPRINKLER SYSTEM COMBINATION OF EGRESS; 100 FT. ACTUAL COMBINATION OF EGRESS (S)
ACCESSIBILITY:	BUILDING ENTRANCES ARE ACCESSIBLE; ALL LEVELS ARE ACCESSIBLE VIA ELEVATOR
AREA OF REFUGE:	NOT REQUIRED IN BUILDING CONTAINING COMPLETE AUTOMATIC SPRINKLER SYSTEM

TYPICAL MOUNTING HEIGHTS ABOVE FINISHED FLOOR

WALL SWITCHES	36" TO CENTER
SWITCHES ABOVE COUNTERTOP	48" MAX TO CENTER
INTERCOMMS	48" TO TOP
TELEPHONE (ACFT WALL)	18" TO CENTER
ELECTRICAL OUTLETS (AT CENTER)	48" TO CENTER
ELECTRICAL OUTLETS (AT CENTER)	48" TO CENTER
TELEPHONE (ACFT WALL)	48" TO CENTER
TOWEL HOOK HANGERS	48" TO CENTER
HORIZONTAL CABLEWAYS	21" TO DISPENSER
TOILET PAPER DISPENSER	36" TO TOP
WALL PAPER DISPENSER	36" TO TOP
SOAP DISPENSER	48" TO TOP OF CONTROL
FIRE ALARM EMERGENCY CALL	48" TO TOP
DOOR HANGERS	36" MAX TO MAX ABOVE FLOOR



106 East Dunes Street
Madison, WI 53703
608-377-7776
www.architecture-network.com

- ◆ CONSTRUCTION SET
- ◆ PLAN REVIEW SET
- ◆ BID SET
- ◆ NOT FOR CONSTRUCTION
- ◆ PRELIMINARY
- ◆ NOT FOR CONSTRUCTION
- ◆ PROGRESS SET
- ◆ NOT FOR CONSTRUCTION

NEW OFFICE BUILDING

PROJECT:	44 GRAND CANYON DR.
LOCATION:	Madison, Wisconsin
DATE:	
SCALE:	
PROJECT:	Korff
DRAWN BY:	J. EKSTROM, EJE
CHECKED BY:	
DATE:	

TITLE SHEET

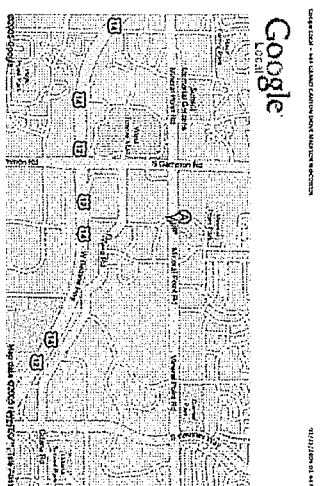
DRAWING NUMBER:

T-1.0

DATE: 24 MARCH 2008

SYMBOL LEGEND

- 1 DWG NAME DRAWING TITLE
- 2 DETAIL REFERENCE
- 3 INTERIOR ELEVATION REFERENCE
- 4 SECTION REFERENCE
- 5 NORTH SYMBOL
- 6 ROOM REFERENCE
- 7 ROOM REFERENCE W/TYPE AND CEILING HEIGHT - SEE ROOM TYPE SCHEDULE
- 8 ROOM TYPE SCHEDULE
- 9 WALL ASSEMBLY TYPE
- 10 FLOOR/ROOF ASSEMBLY TYPE
- 11 EQUIPMENT REFERENCE
- 12 WORK OR DEMOLITION NOTE
- 13 ALTERNATE TAG
- 14 LOCATION ELEVATION REFERENCE
- 15 SPOT ELEVATION REFERENCE



SITE LOCATION MAP

GENERAL NOTES
 1) ALL ROOMS 2'-0" TO 4'-0" INDICATE OTHERWISE NOTED
 2) SPACE BETWEEN WALLS SHALL BE 1/2" BELOW FLOOR JOISTS
 3) BRICK CHIMNEY IN OFFICES & BELOW FLOOR JOISTS

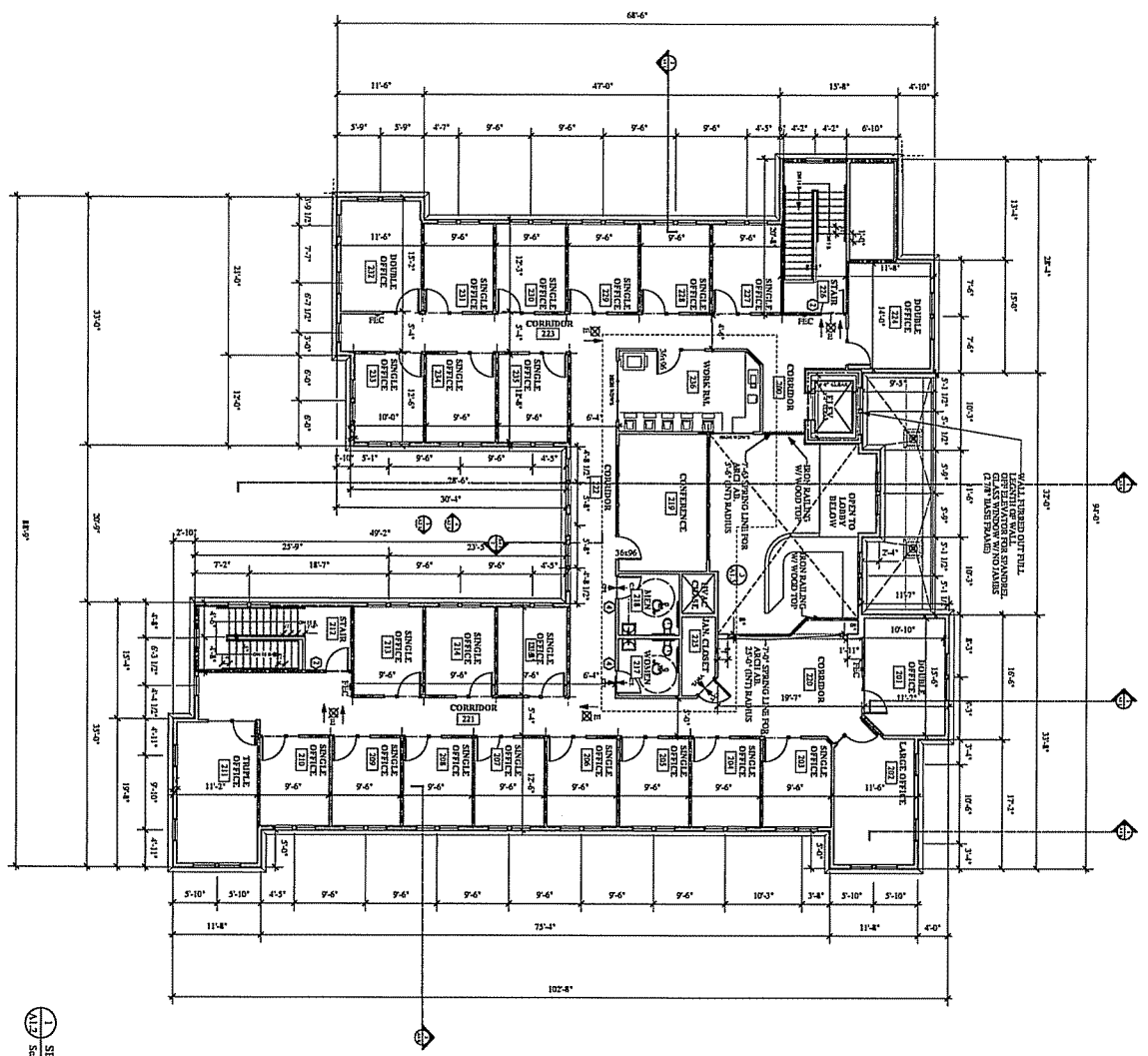
architecture network, inc.
 141 East Dargatzis Street
 Madison, WI 53703
 608-331-7715
 www.archnetwork.com

FIRE RATING LEGEND

- 1 1/2" REINFORCED CONCRETE
- 1 1/2" REINFORCED CONCRETE WITH 1/2" GYPSUM BOARD
- 1 1/2" REINFORCED CONCRETE WITH 1/2" GYPSUM BOARD ON BOTH SIDES
- 1 1/2" REINFORCED CONCRETE WITH 1/2" GYPSUM BOARD ON ONE SIDE
- 1 1/2" REINFORCED CONCRETE WITH 1/2" GYPSUM BOARD ON BOTH SIDES AND 1/2" GYPSUM BOARD ON ONE SIDE

SYMBOLS

- 1 1/2" REINFORCED CONCRETE
- 1 1/2" REINFORCED CONCRETE WITH 1/2" GYPSUM BOARD
- 1 1/2" REINFORCED CONCRETE WITH 1/2" GYPSUM BOARD ON BOTH SIDES
- 1 1/2" REINFORCED CONCRETE WITH 1/2" GYPSUM BOARD ON ONE SIDE
- 1 1/2" REINFORCED CONCRETE WITH 1/2" GYPSUM BOARD ON BOTH SIDES AND 1/2" GYPSUM BOARD ON ONE SIDE



1 SECOND FLOOR PLAN
 Scale: 1/8" = 1'-0"

NEW OFFICE BUILDING

44 GRAND CONVENTOR
 Madison, Wisconsin

REVISIONS	DATE	BY	DESCRIPTION

DATE: 24 MARCH 2006
 SCALE: AS NOTED
 PROJECT: Ksgno
 DRAWING: JY ENKSTROM, EJE
 DRAWING NAME: SECOND FLOOR PLAN
 DRAWING NUMBER: A-1.2

A-1.2

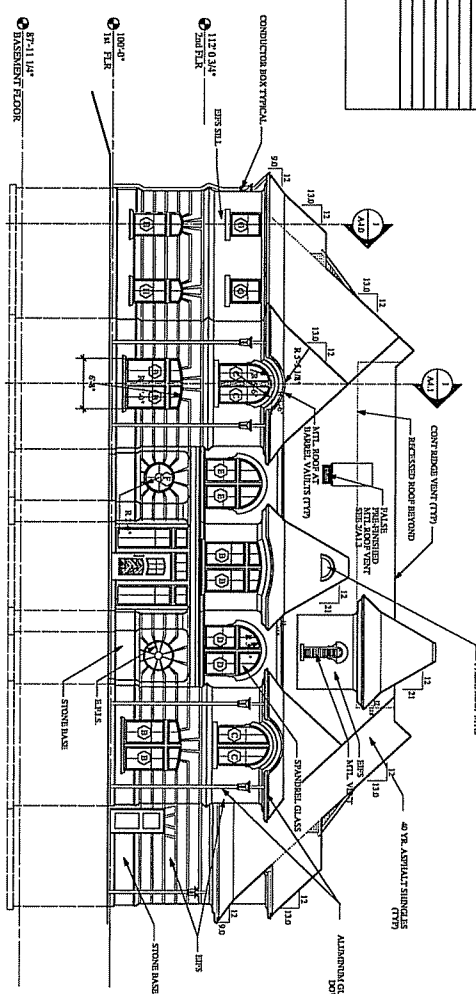
DESIGNED BY: JY ENKSTROM, EJE
 DRAWING NUMBER: A-1.2

Plot Date

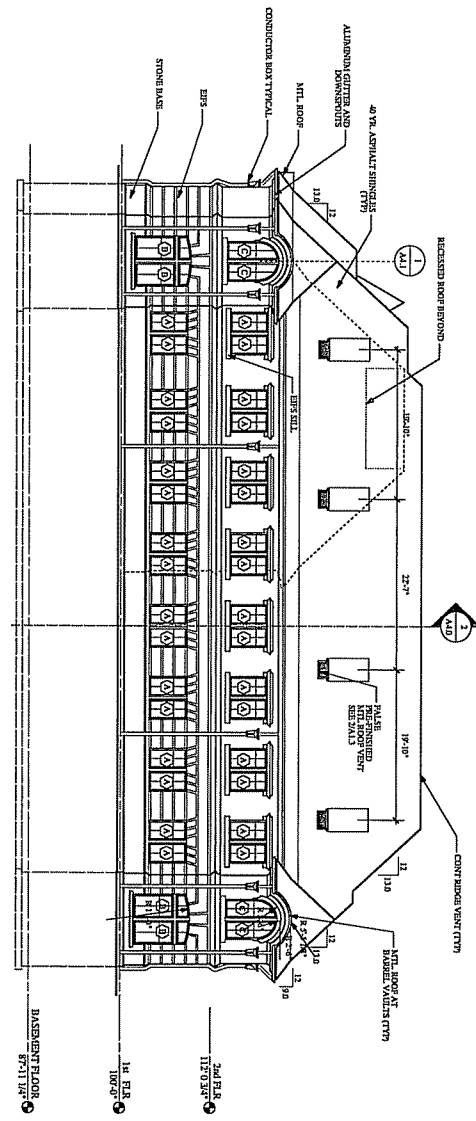
Filename

WINDOW SCHEDULE		
Window	Type	Notes
A	12' x 4' 6"	W.P.E. # 0. SIZE. SEE ELEVATIONS FOR MOUNTING SYSTEM
B	16' x 4' 6"	W.P.E. # 0. SIZE. SEE ELEVATIONS FOR MOUNTING SYSTEM
C	16' x 4' 6"	W.P.E. # 0. SIZE. SEE ELEVATIONS FOR MOUNTING SYSTEM
D	16' x 4' 6"	W.P.E. # 0. SIZE. SEE ELEVATIONS FOR MOUNTING SYSTEM
E	16' x 4' 6"	W.P.E. # 0. SIZE. SEE ELEVATIONS FOR MOUNTING SYSTEM
F	16' x 4' 6"	W.P.E. # 0. SIZE. SEE ELEVATIONS FOR MOUNTING SYSTEM
G	16' x 4' 6"	W.P.E. # 0. SIZE. SEE ELEVATIONS FOR MOUNTING SYSTEM
H	16' x 4' 6"	W.P.E. # 0. SIZE. SEE ELEVATIONS FOR MOUNTING SYSTEM
I	16' x 4' 6"	W.P.E. # 0. SIZE. SEE ELEVATIONS FOR MOUNTING SYSTEM
J	16' x 4' 6"	W.P.E. # 0. SIZE. SEE ELEVATIONS FOR MOUNTING SYSTEM
K	16' x 4' 6"	W.P.E. # 0. SIZE. SEE ELEVATIONS FOR MOUNTING SYSTEM
L	16' x 4' 6"	W.P.E. # 0. SIZE. SEE ELEVATIONS FOR MOUNTING SYSTEM
M	16' x 4' 6"	W.P.E. # 0. SIZE. SEE ELEVATIONS FOR MOUNTING SYSTEM
N	16' x 4' 6"	W.P.E. # 0. SIZE. SEE ELEVATIONS FOR MOUNTING SYSTEM
O	16' x 4' 6"	W.P.E. # 0. SIZE. SEE ELEVATIONS FOR MOUNTING SYSTEM

1) Typical sizes given for pressure response only. Typical sizes are for frame size.
2) ALL WINDOWS MUST ADAPT TO BE FRAMED SEPARATELY.



1 EAST ELEVATION
Scale: 1/8" = 1'-0"



2 SOUTH ELEVATION
Scale: 1/8" = 1'-0"

OFFICE BUILDING

REVISIONS

DATE: 14 MARCH 2006
SCALE: AS NOTED
PROJECT: Kogro
DRAWN BY: JERSTROM, EJE
DRAWING NAME:
BIA WINDING NUMBER:

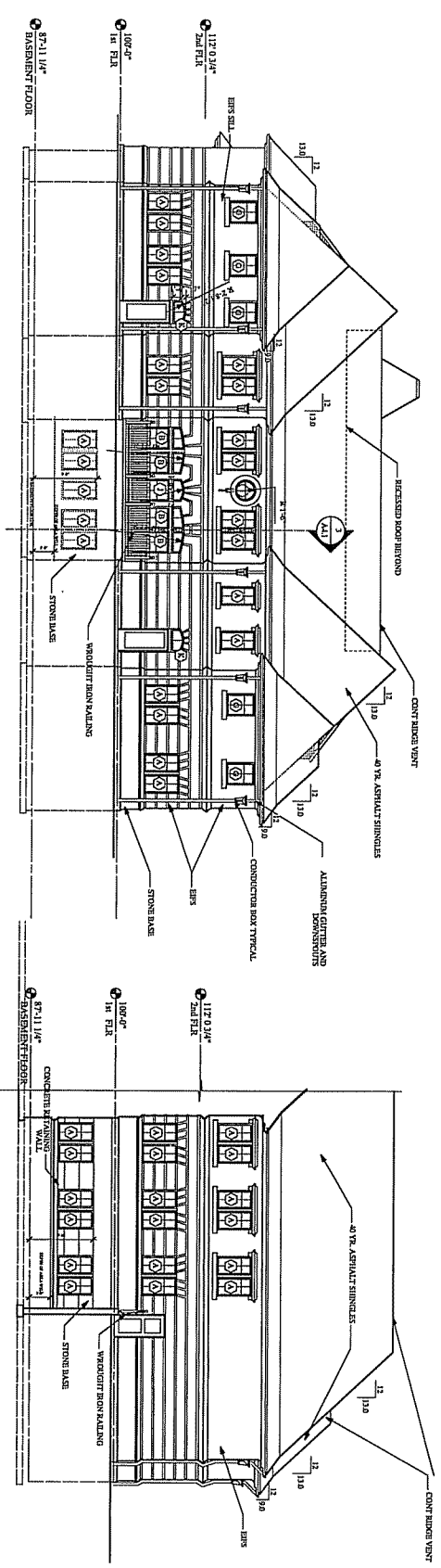
EXTERIOR ELEVATIONS

A-2.0

44 GRAND CANYON DR.
Madison, Wisconsin

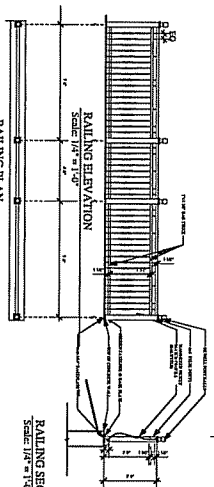
GENERAL NOTES:
1. ALL WINDOWS SHALL BE AS MANUFACTURED AND SHOWN IN THESE ELEVATIONS UNLESS OTHERWISE NOTED.
2. ALL WINDOW FRAMES SHALL BE FINISHED AND PAINTED TO MATCH THE SURROUNDING SURFACE.
3. ALL WINDOW SIZES SHALL BE AS SHOWN IN THESE ELEVATIONS UNLESS OTHERWISE NOTED.
4. ALL WINDOW SIZES SHALL BE AS SHOWN IN THESE ELEVATIONS UNLESS OTHERWISE NOTED.
5. ALL WINDOW SIZES SHALL BE AS SHOWN IN THESE ELEVATIONS UNLESS OTHERWISE NOTED.

GENERAL NOTES:
ALL WINDOWS SET AS APPROXIMATE
WINDOW MANUFACTURER
ALL EXTERIOR ROOF TO BE 5/12 AND
RESISTED ROOF TO BE MANUFACTURER'S
CONCRETE, 40 YR. ASPHALT/SHINGLES
RECOMMENDED



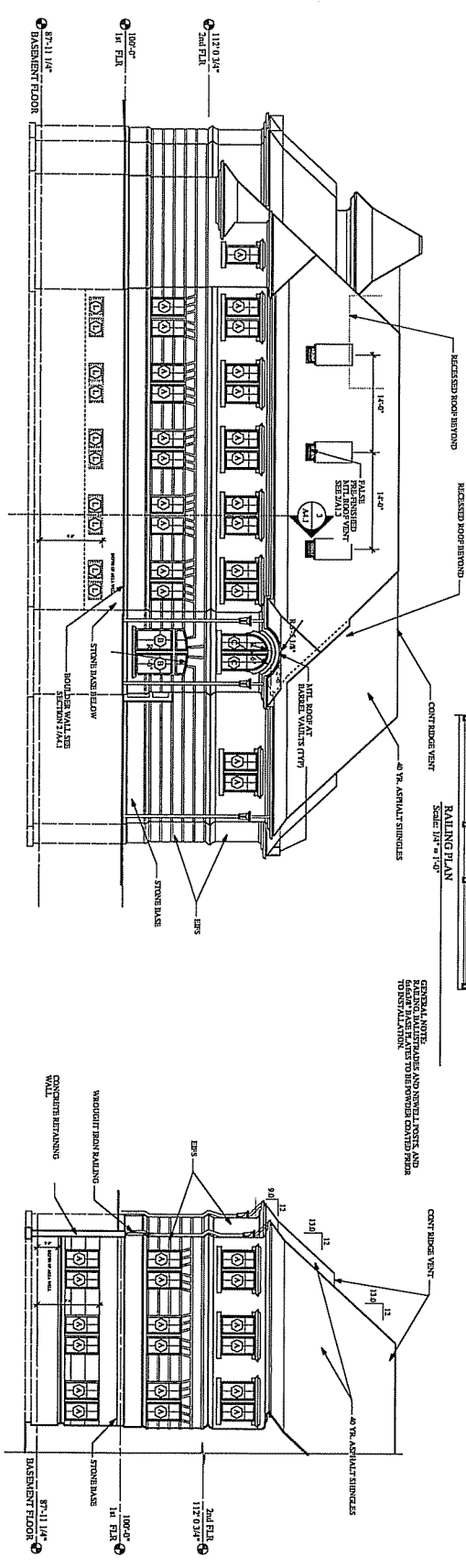
1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

3 AREA WELL ELEVATION
SCALE: 1/8" = 1'-0"



2 RAILING ELEVATION
SCALE: 1/4" = 1'-0"

RAILING SECTION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

3 AREA WELL ELEVATION
SCALE: 1/8" = 1'-0"

OFFICE BUILDING

44 GRAND CANYON DR.
Nashville, Tennessee

DATE	24 MARCH 2006
SCALE	AS NOTED
PROJECT	Keigo
DESIGN BY	J. ESTERSON, EIR
DRAWING NAME	EXTERIOR ELEVATIONS
DRAWING NUMBER	A-2.1

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