

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____

Project # _____

04193

DATE SUBMITTED: <u>8/16/06</u>	Action Requested
UDC MEETING DATE: <u>8/23/06</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 5002 Sigglecow Road

ALDERMANIC DISTRICT: 16th Dist.

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT

Cornerstone Design & Development, LLC

Jeff Greenier

The Ellefson Companies

Tom Ellefson

CONTACT PERSON: Chad Obright

Address: 1018 Gammon Lane, Suite 100
Madison, WI 53719

Phone: 608-274-1594

Fax: 608-276-7880

E-mail address: Cobright1@charter.net

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
- General Development Plan (GDP)
- Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

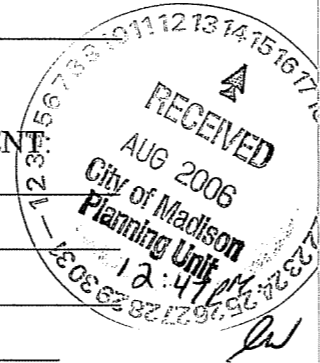
(See Section D for:)

- Comprehensive Design Review* (Fee required)

- Street Graphics Variance* (Fee required)

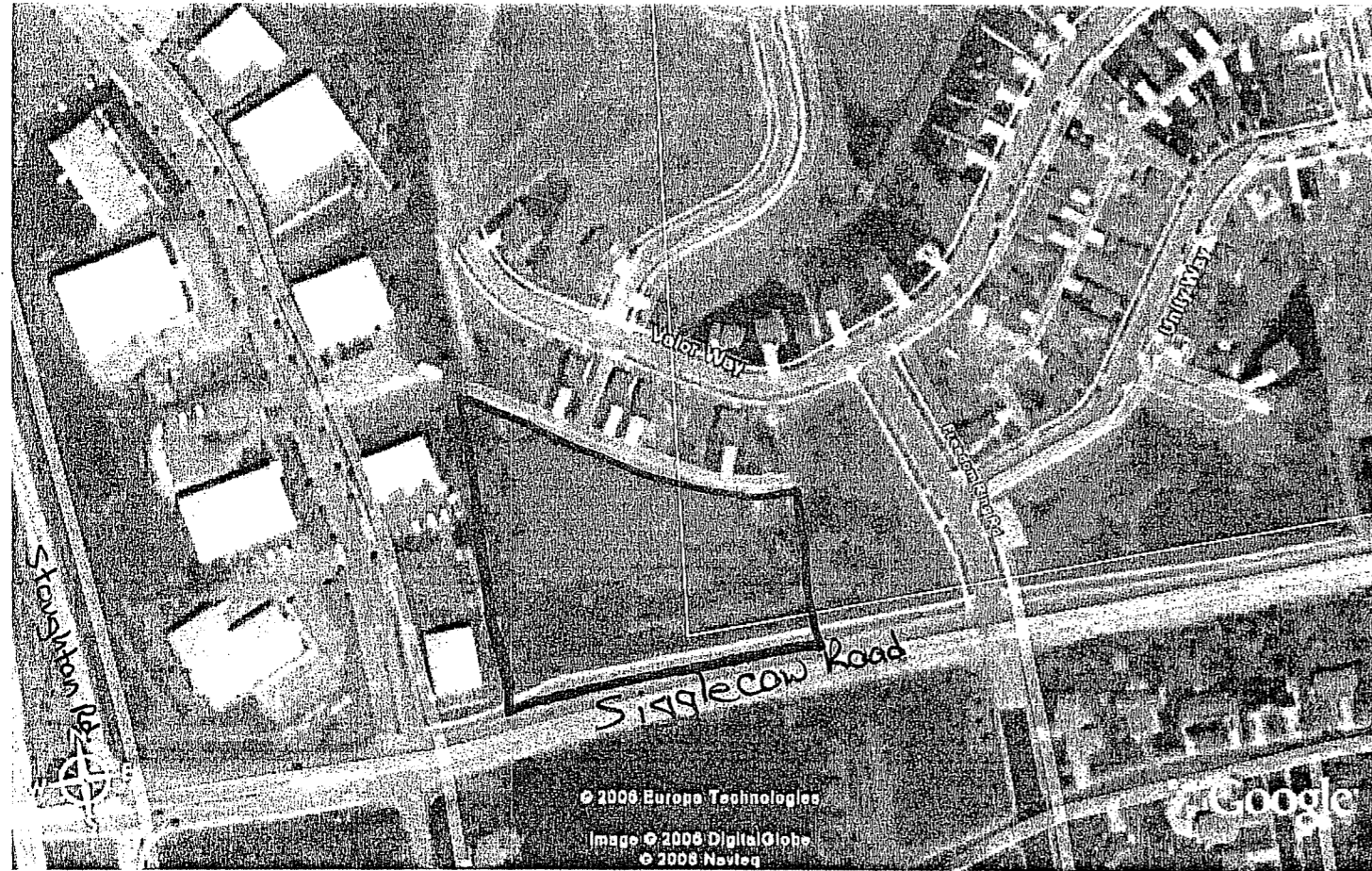
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)



Lot 199 Liberty Place UDC Submittal
PRD Conditional use of R-4 Zoning
Requesting Initial and Final Approval
8/16/06

Locator Map



After our previous UDC meeting requesting informational feedback, we met with Fire and Traffic Engineering. Taking into account your comments as well as theirs, we were able to revise our site plan to address everyone's concerns.

Chad Obright
Development Manager
The Ellefson Companies

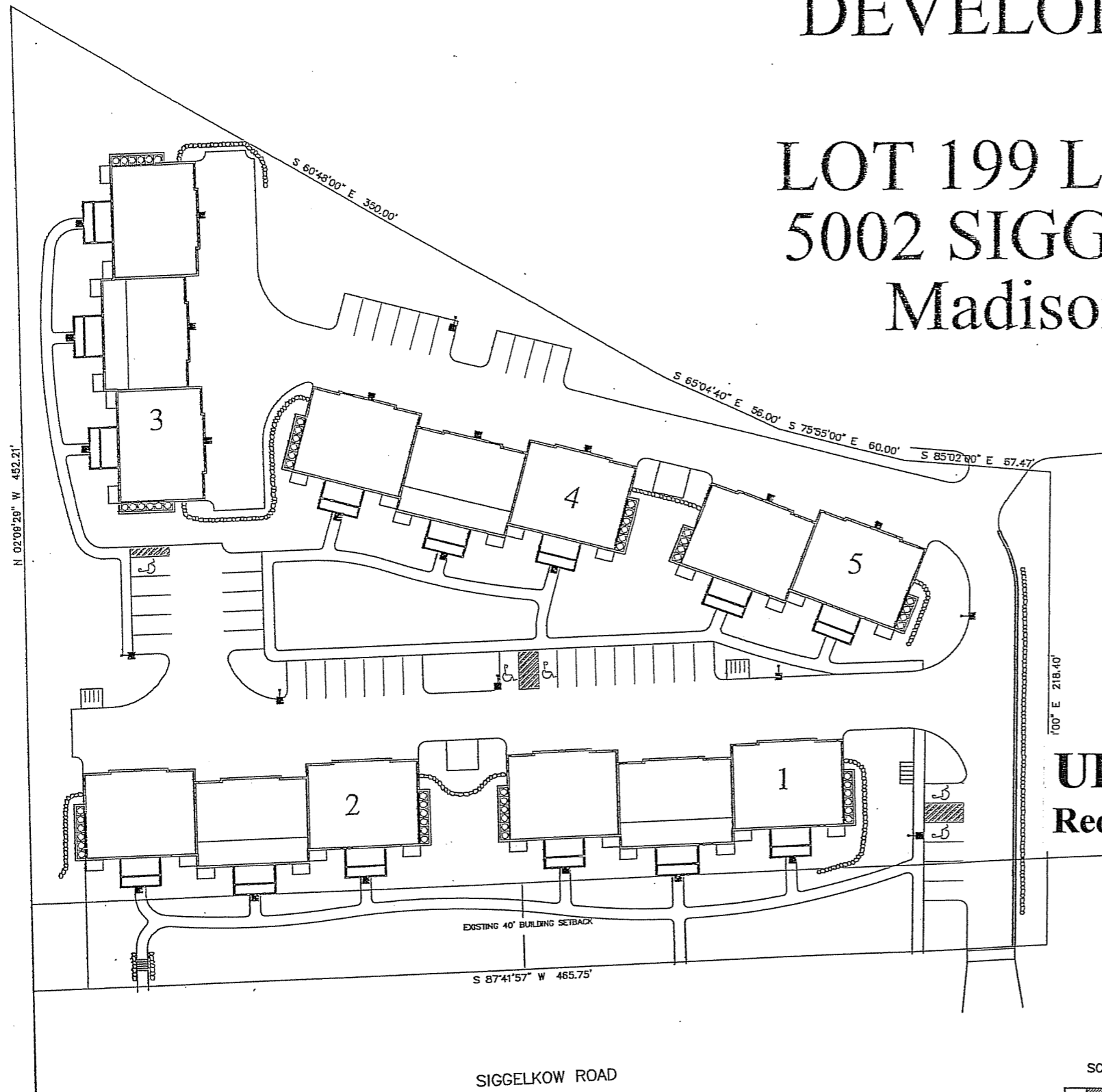
DEVELOPMENT PLANS

For

LOT 199 LIBERTY PLACE

5002 SIGGLEKOW ROAD

Madison, Wisconsin



UDC SUBMITTAL--8/16/06
Requesting Initial and Final Approval

SCALE: 1"=30'
 10' 30' 60'

NO OTHER LOCATIONS OF UNDERGROUND UTILITIES SHOWN UNLESS INDICATED BY THIS SYMBOL



CALL DIGGERS HOTLINE
 1-800-242-8511 TOLL FREE

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUDING. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THE CONFIRMATION OR DISCONFIRMATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE WORKS.

Prepared For:
 THE ELLEFSON COS., INC.
 1013 Gammon Lane
 Suite 100
 Madison, WI 53719

General Notes

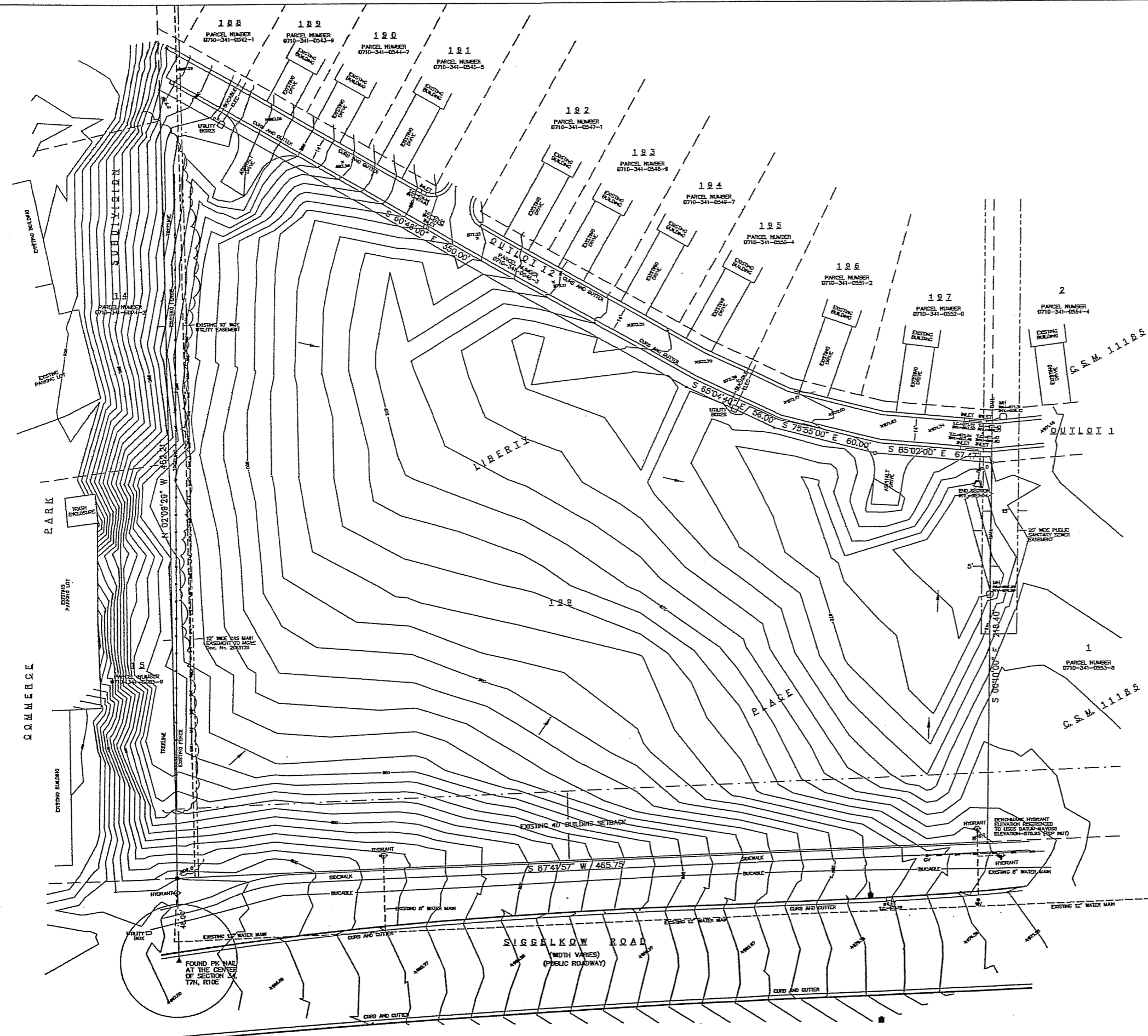
No.	Revision/Issue	Date
1	Site Plan Rev.	8/9/06

Firm Name and Address
 Lewis A. Averill, P.E.
 1037 Davies Road
 Spring Green, WI
 (608) 588-7842

Sheet Title

Project: Lot 199 Liberty Place
 Date: July 26, 2006
 Scale: 1" = 30'

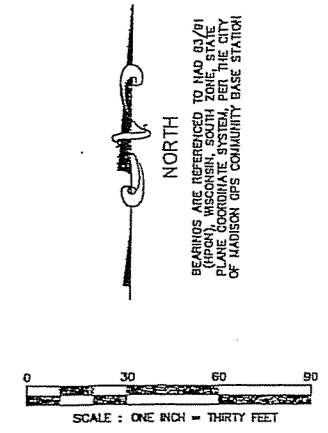
Sheet: **C-1**



LEGAL DESCRIPTION FURNISHED
 Lot 199, Liberty Place, recorded in Volume 58-035A of plats, pages 185-190, Document Number 3800156, Dane County Registry, City of Madison, Dane County, Wisconsin.
 Parcel Number: 251-0710-341-0554-6
 Area = 148,254 SQ. FT.
 3.4034 Acres

SURVEYOR'S CERTIFICATE
 I, Michael J. Ziehr, registered land surveyor, hereby certify that the foregoing survey was executed under my direction and control and that said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7) and the map hereon is correct to the best of my knowledge and belief.
 Dated this _____ day of _____, 2005.
 Signed: _____
 Michael J. Ziehr, R.L.S. 2401

- LEGEND**
- 3/4" SOLID IRON ROD FOUND
 - 1-1/4" SOLID IRON ROD FOUND
 - ▲ PK NAIL FOUND
 - 3/4" x 15" SOLID IRON RE-ROD, WT. 1.50 lbs./ft.
 - POWER POLE
 - BURED GAS MAIN
 - BURED ELECTRICAL
 - BUCABLE BURED CABLE
 - x 10.00 CENTERLINE ELEVATIONS
 - o 105.00 LOT CORNER ELEVATION SHOWN
 - DRAINAGE ARROWS
 - () INDICATES RECORDED AS
 - DISTANCES ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.



SURVEYED FOR:
 THE ELLEFSON COMPANIES
 1037 DAVES ROAD
 SPRING GREEN, WI 53588

SURVEYED BY:
 CALKINS ENGINEERING, LLC
 5010 VOGES ROAD
 MADISON, WI 53718
 (608) 838-0444

COMMERCE

PARK

EXISTING MILWAUKEE

LIBERTY PLACE

SIGGELKOW ROAD

C.S.M. 11185

C.S.M. 11185

FOUND PK NAIL AT THE CENTER OF SECTION 17N, R1E

BEHIND BANK HYDRANT ELEVATION REFERENCED TO USGS DATUM NAVD83 TO USGS DATUM NAD83 ELEVATION - 0.000 (NOT MET)

EXISTING 8" WATER MAIN

S 87°41'57" W 465.75

S 67°41'57" W 465.75

S 65°02'40" E 60.00

S 75°55'00" E 60.00

S 85°02'00" E 67.47

S 85°02'00" E 67.47

S 85°02'00" E 67.47

S 85°02'00" E 67.47

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S 85°02'00" E 67.47

PARKING LOT SITE PLAN INFORMATION BLOCK

SITE ADDRESS: 5002 SIGGELKOW ROAD
 SITE ACREAGE (TOTAL): 148,254 SF 3.4034 ACRES

NUMBER OF BUILDING STORIES (ABOVE GRADE): 2 STORY
 BUILDING HEIGHT: 28' 6"
 DILHR TYPE OF CONSTRUCTION: 5B
 TOTAL SQUARE FOOTAGE OF BUILDINGS: 33,008 SF

USE OF PROPERTY: PRD/R-4
 GROSS SQUARE FEET OF OFFICE: N/A
 GROSS SQUARE FEET OF RETAIL AREA: N/A
 NUMBER OF EMPLOYEES IN WAREHOUSE: N/A
 NUMBER OF EMPLOYEES IN PRODUCTION AREA: N/A
 CAPACITY OF RESTAURANT/PLACE OF ASSEMBLY: N/A

NUMBER OF BICYCLE STALLS SHOWN: GARAGE 56 SITE 15 TOTAL 71

NUMBER OF PARKING STALLS:

	TOTAL
SMALL CAR	0
LARGE CAR	93
ACCESSIBLE	5
TOTAL	98

NUMBER OF TREES SHOWN: SEE LANDSCAPE PLAN

NOTES:

1. 5' WIDE CONCRETE WALK (TYP.) - SEE DETAIL 3/c-4
2. STOP SIGN PER CITY OF MADISON STDS. MOUNTING HEIGHT TO BE 7' TO BOTTOM OF SIGN.
3. BITUMINOUS PAVEMENT - SEE DETAIL /C4.2
4. PATIO AT GRADE - SEE ARCHITECTURAL
5. C.I.P. CONCRETE STAIRS W/HANDRAILS
6. 5" THICK CONC. PAD FOR BIKE RACK-MADRAX WINDER PLUS (OR EQUAL) WITH BLACK POWDERCOAT FINISH
7. AC CONDENSORS ON CONC. SLAB
8. PARKING STRIPING
9. DISABLED PARKING SIGN - SEE DETAIL 4/C4
10. DOWNSPOUT LOCATION (DS) - SEE GRADING PLAN
11. SITE LIGHTING - SEE PHOTOMETRICS PROVIDED BY OWNER
12. CLASS III DRIVEWAY ENTRANCE PER MADISON GENERAL ORD.
13. PROPERTY LINE (TYP.)
14. ACCESSIBLE ROUTE (DASHED) SEE GRADING PLAN FOR ADD'N INFO.
15. PROPOSED FIRE HYDRANT - SEE SITE UTILITY PLAN
16. TRASH ENCLOSURE ON 5" THICK CONC. PAD - 6' SOLID BOARD CEDAR WOOD PANEL ENCLOSURE
17. FIELDSTONE RETAINING WALL SYSTEM - SEE GRADING AND LANDSCAPE PLANS
18. DECORATIVE FENCE ENCLOSURE FOR CONDENSORS - SEE ARCH.
19. 7" THICK CONC. WALK - SEE FIRE ACCESS PLAN FOR ADD'N INFO.

PRELIMINARY SITE DEVELOPMENT DATA

LEGAL DESCRIPTION: LOT 199, LIBERTY PLACE
 MADISON, WISCONSIN
 ADDRESS: 5002 SIGGELKOW ROAD
 MADISON, WISCONSIN
 LOT AREA - 148,254 SQ. FT. (3.4034 AC.)
 DWELLING UNITS - 56 UNITS
 LOT AREA / D.U. - 2,647 SQ. FT.
 DENSITY - 16.45 UNITS/ACRE

DWELLING UNIT MIX
 2 BEDROOM UNITS 56

PARKING PROVIDED
 GARAGE - 56
 SURFACE - 42 (INCLUDES 5 ACCESSIBLE)
 TOTAL PARKING - 98 (INCLUDES 5 ACCESSIBLE)
 PARKING REQUIRED 98

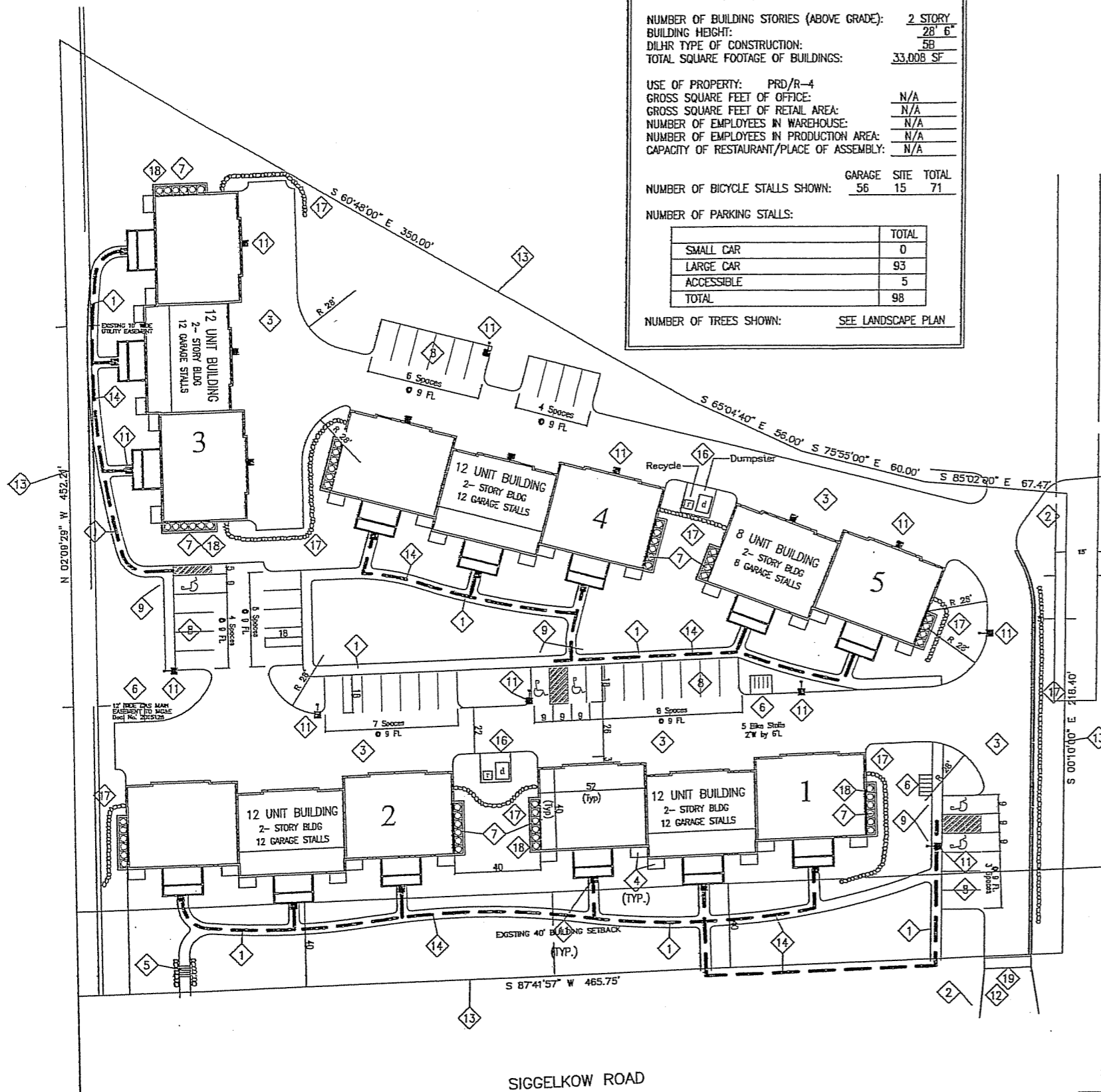
PARKING / D.U. 1.75 / D.U.

BIKE PARKING STALLS = (15) SURFACE/(56) GARAGE

BUILDING COVERAGE - 33,008 SQ. FT. (22.26% OF SITE)
 SIDEWALKS/PATIOS COVERAGE - 8,733 SQ. FT.

TOTAL PAVEMENT - 49,874 SQ. FT. (33.64% OF SITE)

OPEN SPACE - 65,372 SQ. FT. (44.09% OF SITE)
 USEABLE OPEN SPACE PROVIDED - 42,332 SQ. FT.
 USEABLE OPEN SPACE REQUIRED - 28,000 SQ. FT.



Prepared for:
THE ELLEFSON COS., INC.
 1013 Gammon Lane
 Suite 100
 Madison, WI 53719

General Notes

No.	Revision/Issue	Date
1	Site Plan Rev.	8/9/06

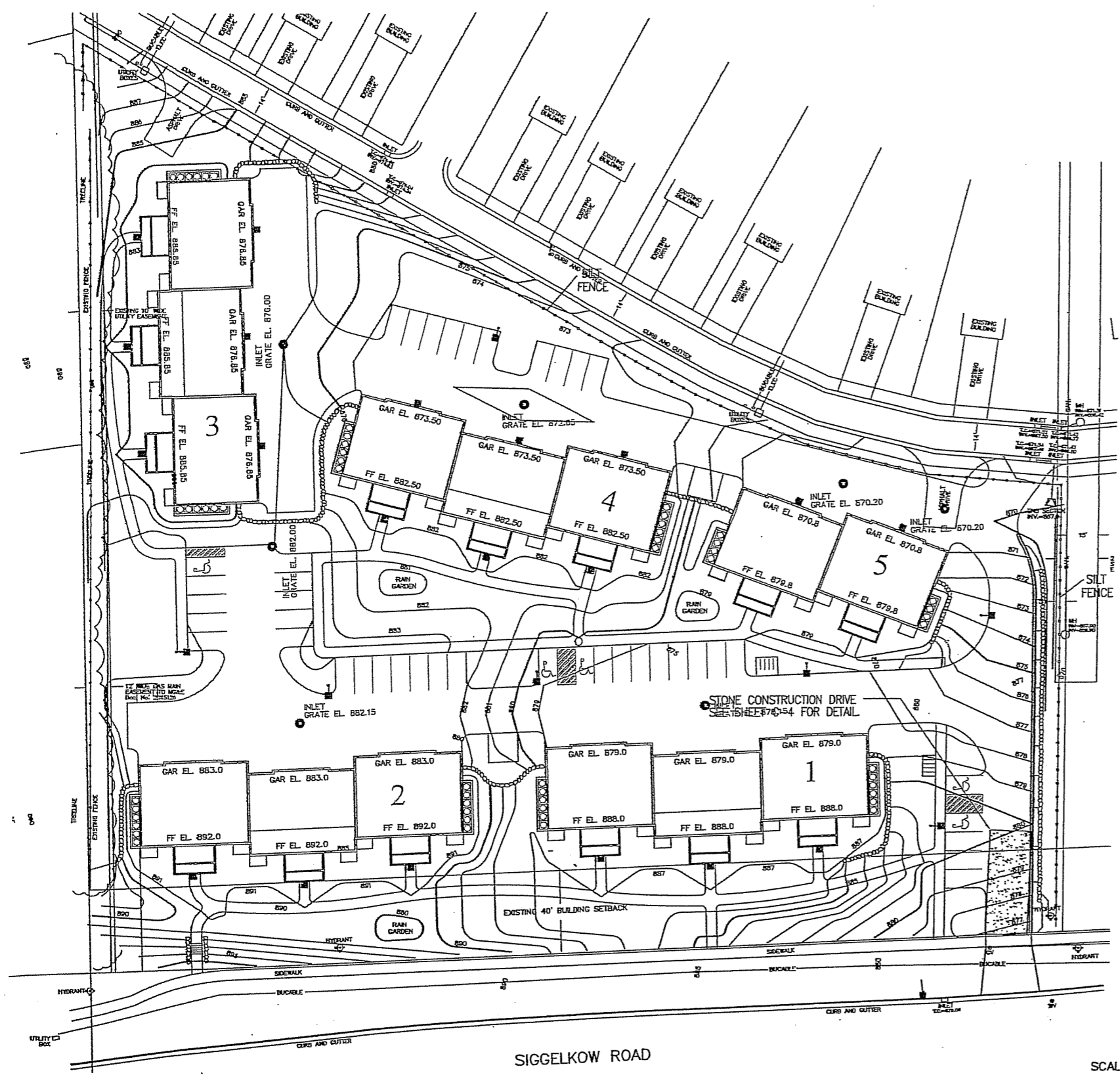
Firm Name and Address
Lewis A. Averill, P.E.
 1037 Davies Road
 Spring Green, WI
 (608) 588-7842

SITE LAYOUT PLAN

Project: Lot 199 Liberty Place
 Date: July 26, 2006
 Scale: 1" = 30'

Sheet: **C-1**

TO SHOW LOCATIONS OF INTERFERING UTILITIES BEFORE YOU DIG
 CALL DIGGERS HOTLINE
 1-800-242-8811 TOLL FREE
THE INFORMATION SHOWN ON THIS DRAWING CONCERNING THE TYPE AND LOCATION OF PUBLIC UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THE NECESSARY CHECKS AND DETERMINATIONS AS TO THE TYPE AND LOCATION OF INTERFERING UTILITIES AS THEY MAY BE NECESSARY TO AVOID DAMAGE THEREOF.



- EROSION CONTROL NOTES:**
1. PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE GRAVEL CONSTRUCTION ENTRANCE AND SILT FENCE.
 2. ALL DISTURBED TERRACE AREAS TO BE RESTORED WITH 6" TOPSOIL, FERTILIZER, SEED, AND MULCH.
 3. CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED NECESSARY BY THE OWNER OR CITY ENGINEERING.
 4. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL THE ACCEPTANCE OF THE PROJECT.
 5. DURING CONSTRUCTION, INSPECTIONS OF THE EROSION CONTROL DEVICES ARE TO BE PERFORMED AT LEAST EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL OF ONE HALF INCH OR MORE.
 6. ALL BUILDING AND WASTE MATERIALS ARE TO BE DISPOSED OF PROPERLY, IN ACCORDANCE WITH STATE, FEDERAL, AND LOCAL REGULATION.
 7. THE PARTY RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES IS THE ELLEFSON COMPANIES, MADISON, WI.
 8. TRUCKS LEAVING SITE SHALL CLEAN TIRES. ALL MATERIALS DEPOSITED IN PUBLIC RIGHT OF WAY SHALL BE SWEEPED UP DAILY.
 9. EXPOSED TOPSOIL STOCK PILES SHALL BE PROTECTED W/SILT FENCE AS SHOWN.
 10. SEE STORMWATER REPORT FOR GRADING SCHEDULE.

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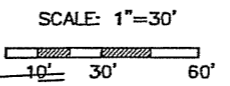
Sheet Title:
**PRELIMINARY
 SITE GRADING AND
 EROSION CONTROL PLAN**

Project Lot 199 Liberty Place	Sheet C-2
Date July 26, 2006	
Scale 1" = 30'	

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND FACILITIES NOTIFY YOU OR YOUR CONTRACTOR

CALL DIGGERS HOTLINE
 1-800-242-8511 TOLL FREE

CONTRACTOR SHALL VERIFY ALL UNDERGROUND FACILITIES SHOWN ON THIS PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UNDERGROUND FACILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR MARKING THE LOCATION OF ALL UNDERGROUND FACILITIES AS NECESSARY TO AVOID DAMAGE THEREOF.



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 Suite 100
 Madison, WI 53719

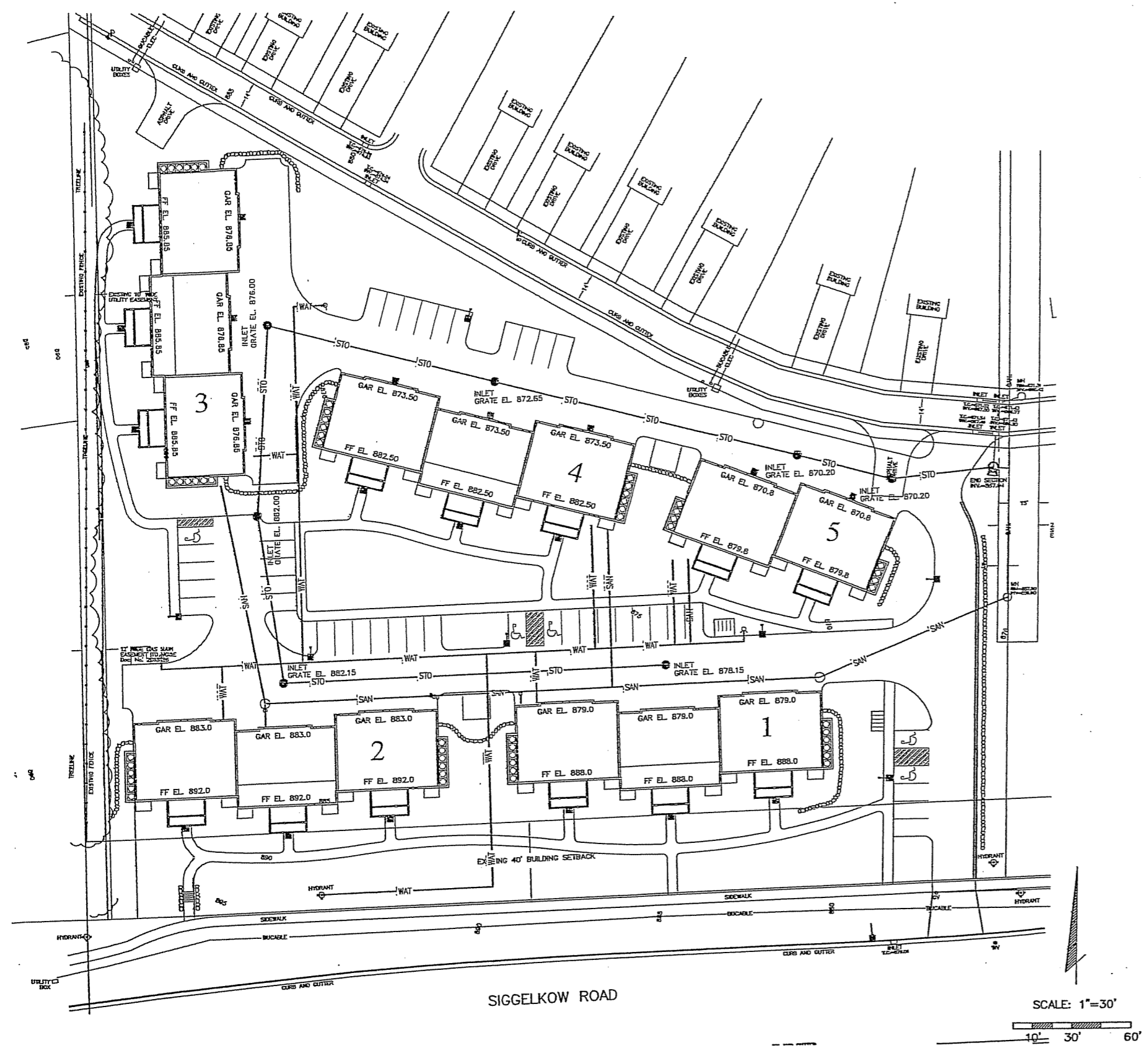
General Notes

No.	Revision/Issue	Date
1	Site Plan Revisions	8/9/06

Firm Name and Address
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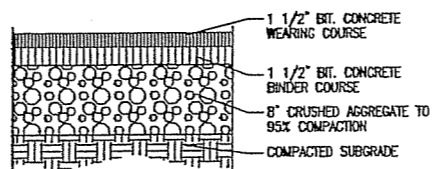
Sheet Title
**SCHEMATIC
 SITE UTILITY
 PLAN**

Project Lot 199 Liberty Place	Sheet C-3
Date July 26, 2006	
Scale 1" = 30'	



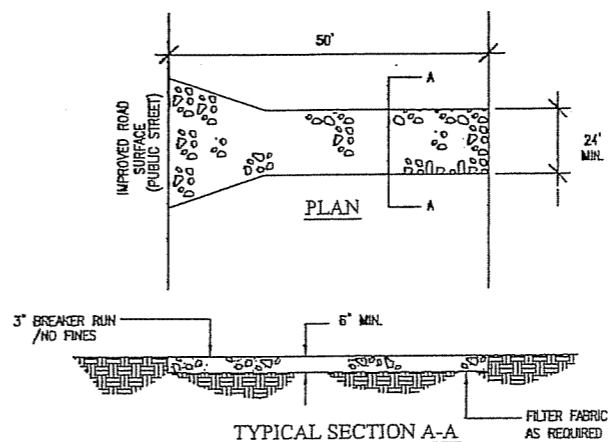
TO OBTAIN LOCATIONS OF PATENTED
 ENGINEERING PATENTS REFER TO
 THE RECORD

CALL DIGGERS HOTLINE
 1-800-242-8511 TOLL FREE
 WHEN YOU ARE DIGGING, STOP AND CALL
 THE DIGGER HOTLINE TO OBTAIN
 THE LOCATION OF ALL UTILITIES
 BEFORE YOU DIG. IT'S THE ONLY
 WAY TO AVOID ACCIDENTS AND
 TO SAVE YOURSELF AND YOUR
 BUSINESS.



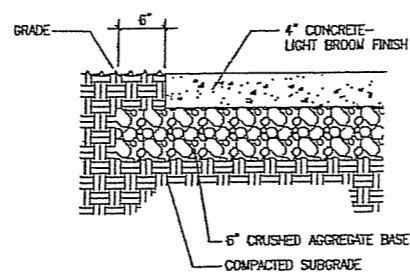
3 BITUMINOUS PAVEMENT

NTS



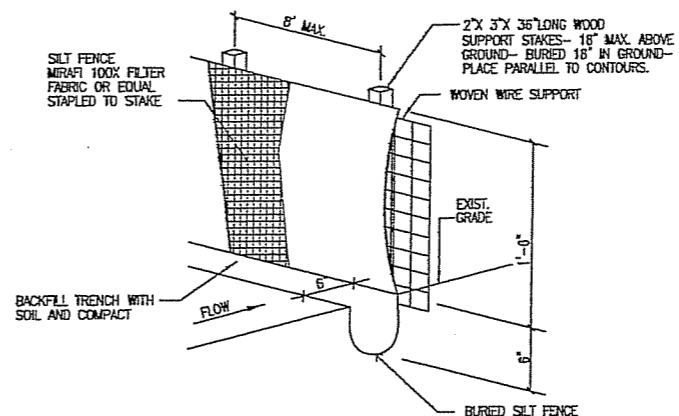
1 GRAVEL CONSTRUCTION ENTRANCE

NTS



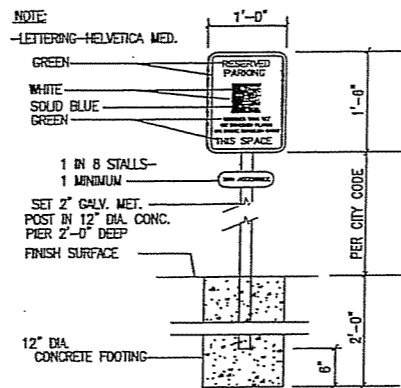
4 CONCRETE WALK

NTS



2

NTS



5 DISABLED PARKING SIGN

NTS

TO OBTAIN LOCATIONS OF PARTICIPANT ENGINEERING CONSULTANTS, YOU DO IN ACCORDANCE WITH THE FOLLOWING:



CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE

BEFORE ANY WORK BEGINS, CONTRACTORS SHOULD CONTACT THE HOTLINE TO OBTAIN THE LOCATION OF ALL UTILITIES. THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR FULL. HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR MAKING THE CONTRACTOR'S OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF.

Prepared For:
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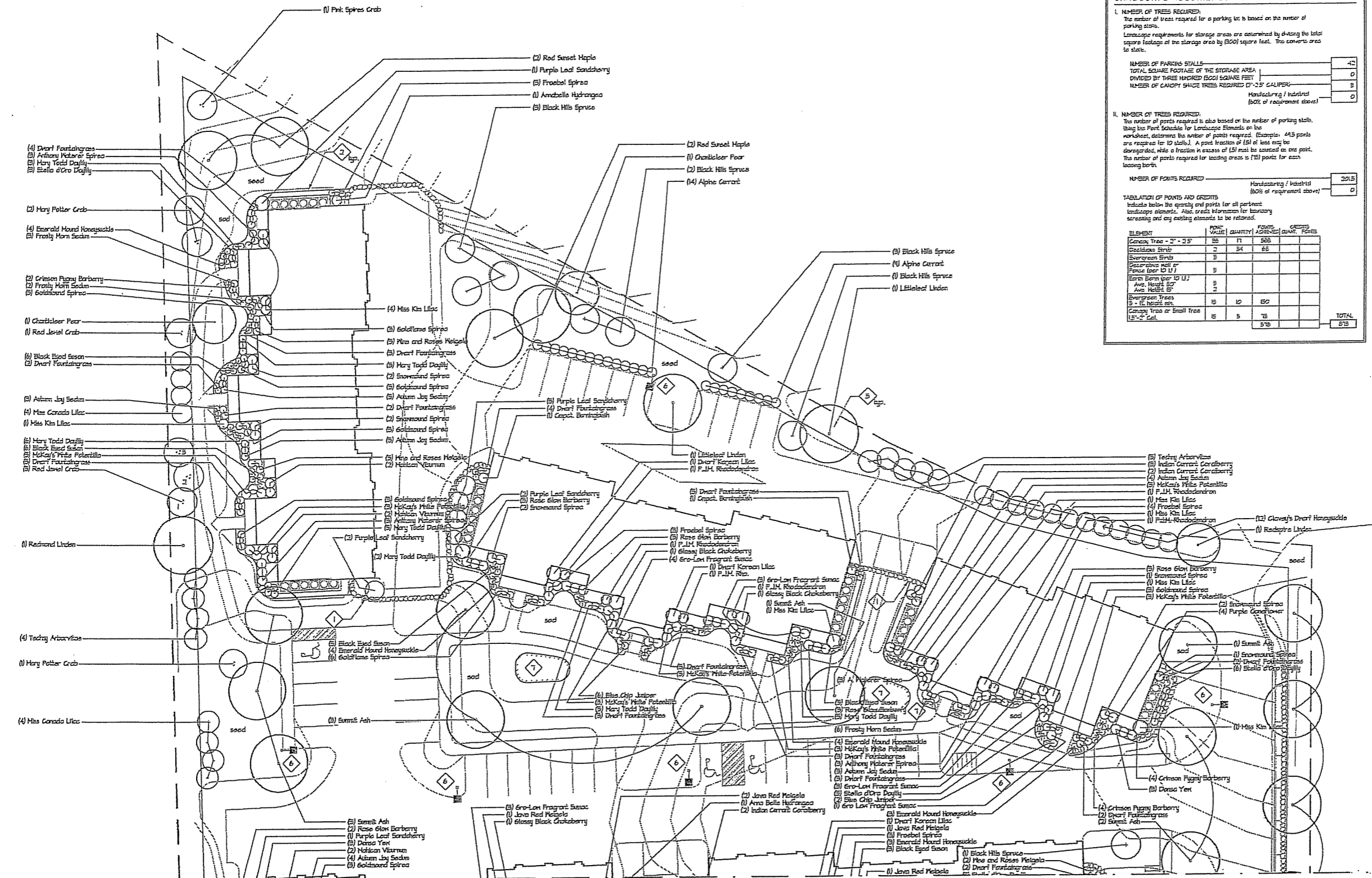
General Notes

No.	Revision/Issue	Date

Firm Name and Address
Lewis A. Averill, P.E.
1037 Davies Road
Spring Green, WI
(608) 588-7842

Sheet Title
**SITE DETAILS
PLAN**

Project Lot 199 Liberty Place	Sheet C-4
Date July 26, 2006	
Scale 1" = 30'	



LANDSCAPE REQUIREMENT CHART

I. NUMBER OF TREES REQUIRED:
 The number of trees required for a parking lot is based on the number of parking stalls.
 Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by 6000 square feet. The covers area is also.

NUMBER OF PARKING STALLS	42
TOTAL SQUARE FOOTAGE OF THE STORAGE AREA	0
DIVIDED BY THREE THOUSAND (3000) SQUARE FEET	0
NUMBER OF CANOPY SHADE TREES REQUIRED (7'-25' CALIPER)	0
Manufacturing / Industrial (80% of requirement above)	0

II. NUMBER OF TREES REQUIRED:
 The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the worksheet, determine the number of points required. Example: 44.3 points are required for 10 stalls. A point fraction of (.3) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. The number of points required for loading areas is (1) point for each loading berth.

NUMBER OF POINTS REQUIRED	20.5
Manufacturing / Industrial (80% of requirement above)	0

TABLE OF POINTS AND CREDITS
 Includes below the quantity and points for all pertinent landscape elements. Also, credit information for landscaping screening and any existing elements to be retained.

ELEMENT	POINT VALUE	QUANTITY	POINTS AWARDED	CREDITS QUANT.	POINTS
Canopy Tree - 2" - 25"	15	11	165		
Decorative Shrub	2	54	108		
Evergreen Shrub	5				
Decorative Wall or Fence (per 10 LF)	5				
Earth Berm (per 10 LF)	5				
Avic. Height 5'	2				
Avic. Height 8'	2				
Evergreen Trees 2" - 5" caliper	15	10	150		
Canopy Tree or Small Tree 1.5" - 2" Cal.	15	5	75		
			518		
TOTAL					518

Owner/Developer
The Ellefson Companies
 1018 Gammon Lane
 Suite 100-Madison WI 53719
 c/o Tom Ellefson
 Phone 608-274-1554
 Fax 608-276-7880

Consultants
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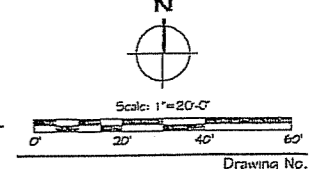
- Notes**
- FIELDSTONE RETAINING WALL SYSTEM-- SEE GRADING PLAN
 - PLANTING BEDS ARE TO RECEIVE CLEAR, WASHED LANDSCAPE STONE TO A MIN. DEPTH OF 5"
 - INDIVIDUAL TREES AND SHRUBS WITHIN THE LAWN AREAS RECEIVE HOOD MULCH RINGS SPREAD TO A DEPTH OF 3" MIN.
 - SEEDY AREAS SHALL BE FINISHED GRADED AND SEED AT A RATE OF 4 LBS. PER 1000 SQ. FT.
 - SOOTY AREAS SHALL BE NO. 1 GRADE NURSERY GROWN BLUEGRASS
 - LIGHT POLE BASE-- SEE SITE PLAN AND SITE ELEC. PLAN
 - RAIN GARDEN AREA-- SEE 54-2

100% REVIEW

REVISIONS
 July 26, 2006 - ISSUED FOR ZONING
 August 4, 2006 - RE-ISSUED FOR ZONING

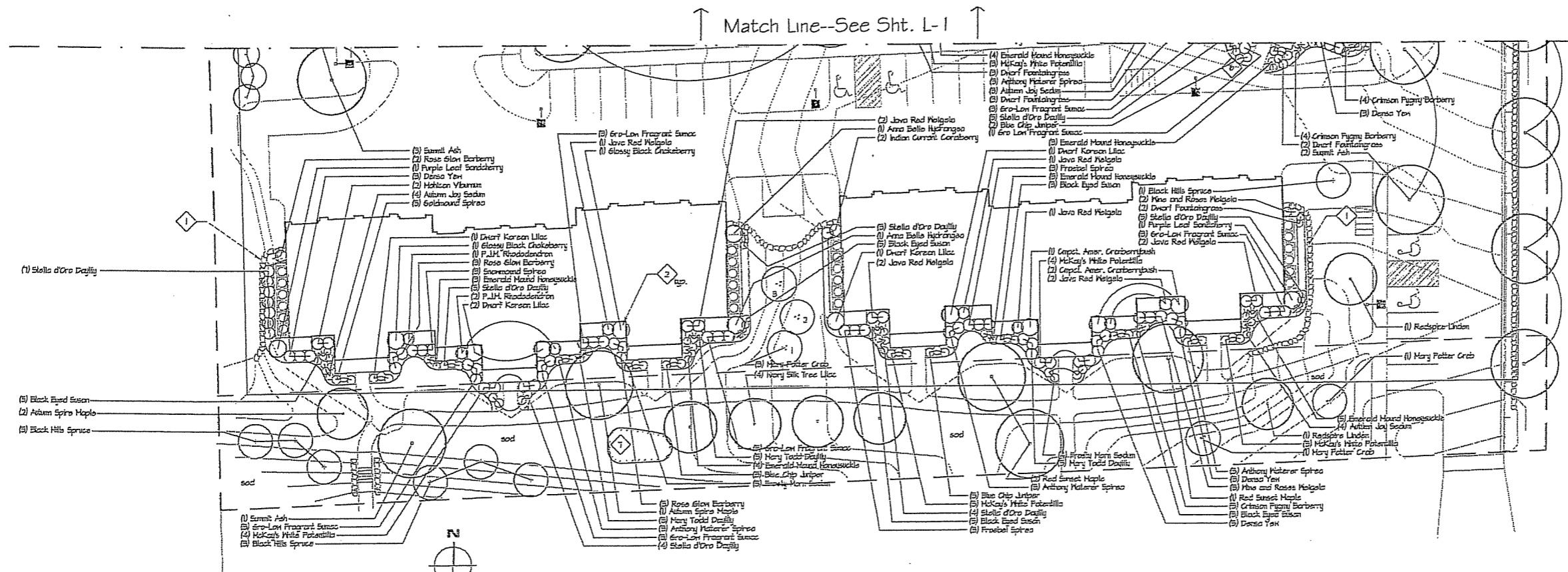
Project Title
Liberty Place Condominiums--
City of Madison

Drawing Title
Landscape Plan--
Lot 199



Drawing No.
L-1

LANDSCAPE PLAN
 1"=20'-0"

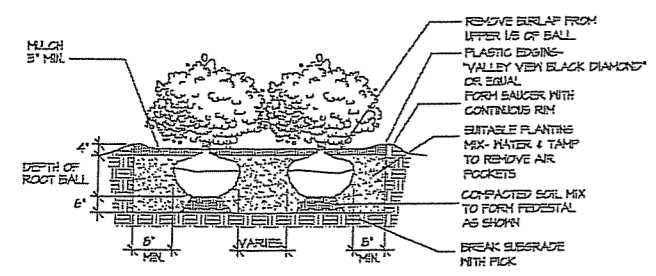


Owner/Developer
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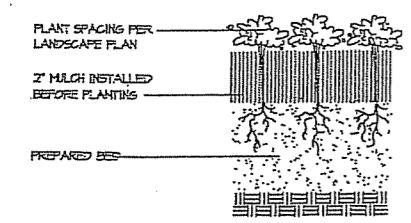
Consultants
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- Notes
- 1 FIELDSTONE RETAINING WALL SYSTEM--SEE GRADING PLAN
 - 2 PLANTING BEDS ARE TO RECEIVE CLEAR, WASHED LANDSCAPE STONE TO A MIN. DEPTH OF 3"
 - 3 INDIVIDUAL TREES AND SHRUBS WITHIN THE LAWN AREAS RECEIVE WOOD MULCH RINGS SPREAD TO A DEPTH OF 3" MIN.
 - 4 WEEDY AREAS SHALL BE FINISHED GRAVED AND SEEDS AT A RATE OF 4 LBS. PER 1000 SQ. FT.
 - 5 SOOTY AREAS SHALL BE NO. 1 GRADE NURSERY GROWN BLUEGRASS
 - 6 LIGHT POLE BASE--SEE SITE PLAN AND SITE ELEC. PLAN

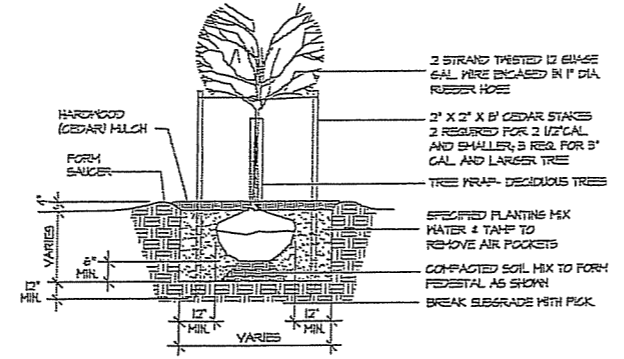
1 LANDSCAPE PLAN
 Scale: 1"=20'-0"



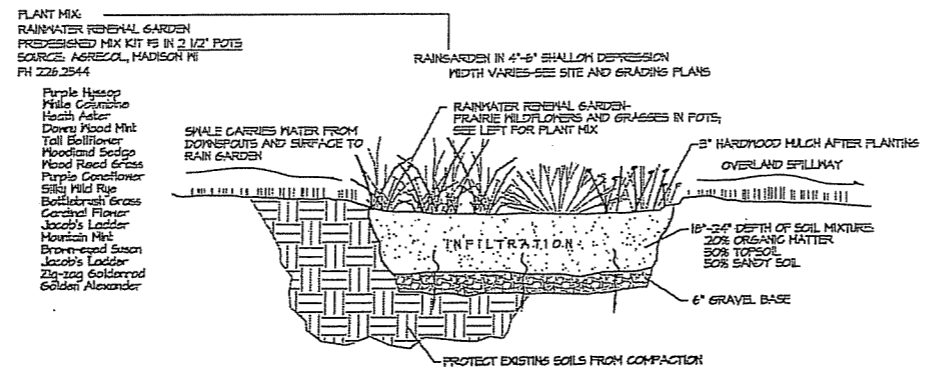
2 SHRUB PLANTING
 NTS



3 PERENNIAL PLANTING
 NTS



4 TREE PLANTING
 NTS



5 RAINGARDEN DETAIL
 NTS

PLANT SCHEDULE

Canopy & Ornamental Trees		Perennials	
Ashram Spira Maple	2 1/2" cal. B4B	Ashram Jay Sedum	1 sq. cont.
Black Eye Dogwood	2 1/2" cal. B4B	Black Eye Dogwood	1 sq. cont.
Mary Todd Tree Lilac	4" H. B4B	Dwarf Fountaingrass	1 sq. cont.
Littleleaf Tree Lilac	4" H. B4B	Freshly Mint Sedum	1 sq. cont.
Mary Todd Crab	2 1/2" cal. B4B	Mary Todd Daylily	1 sq. cont.
Red Sunset Maple	4" H. B4B	Virginia Coneflower	1 sq. cont.
Red Sunset Maple	2 1/2" cal. B4B	Stella d'Oro Daylily	1 sq. cont.
Summit Ash	2 1/2" cal. B4B		
Blue Chip Juniper	4" H. B4B	Rain Garden	
Anthony Mulerer Spirea	4" H. B4B	*See Detail EA-2 for species and container size	
Black Eye Dogwood	4" H. B4B		
Black Eye Dogwood	4" H. B4B		
Evergreen Trees			
Austrian Pine	5" H. B4B		
Black Hills Spruce	5" H. B4B		
Deciduous Shrubs			
Alpine Geranium	15" H.		
American Cranberry Viburnum	15" H.		
American Hydrangea	15" H.		
Anthony Mulerer Spirea	15" H.		
Blue Chip Juniper	15" H.		
Clayton's Dwarf Hydrangea	15" H.		
Croquel. Amer. Crabapple	15" H.		
Croquel. Burningbush	15" H.		
Crimson Pigeonberry	15" H.		
Densa Yew	15" H.		
Dwarf Korean Lilac	15" H.		
Dwarf Korean Lilac	15" H.		
Emerald Mound Honeysuckle	15" H.		
Frostfree Spirea	15" H.		
Glossy Black Chokeberry	15" H.		
Goldenrod Spirea	15" H.		
Gro-Low Fragrant Smaco	15" H.		
Indian Currant	15" H.		
McKay's White Potentilla	15" H.		
Moss Canada	15" H.		
Moss Kan. Lilac	4" H.		
Mohican Viburnum	15" H.		
P.L.H. Rhododendron	15" H.		
Purple Leaf Sandcherry	15" H.		
Red Dogwood	4" H.		
Rose Glow Barberry	15" H.		
Snowmound Spirea	15" H.		
Wine and Roses Weigela	15" H.		

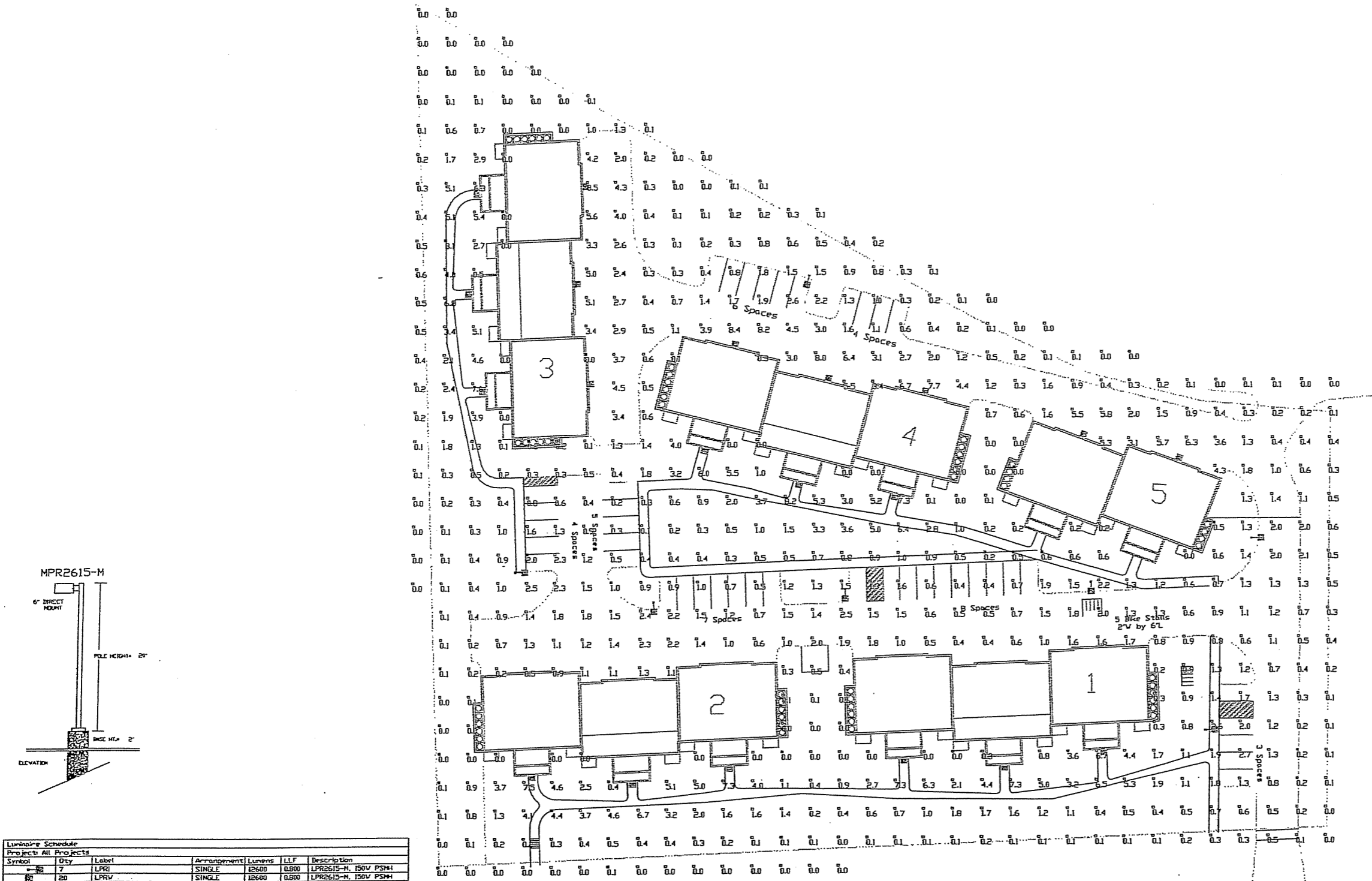
100% REVIEW

Revisions
 July 26, 2006 - ISSUED FOR ZONING
 August 4, 2006 - RE-ISSUED FOR ZONING

Project Title
Liberty Place Condominiums--
 City of Madison

Drawing Title
Landscape Plan--
 Lot 199

RUUD LIGHTING



Luminaire Schedule							
Project: All Projects							
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description	
7	7	LPR	SINGLE	12600	0.800	LPR2615-M, 150V PSHH	
20	20	LPRV	SINGLE	12600	0.800	LPR2615-M, 150V PSHH	

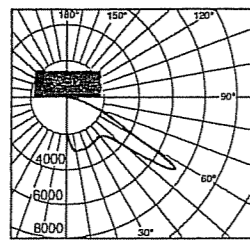
C77 PS42001BZ - 20' x 4" SQ. STEEL POLE
 WALL MOUNTING HEIGHT = 12' AFG
 PROPOSED POLES MEET 120 MPH WINDS
 POLE MOUNTING HEIGHT = 22' AFG

SIGGELKOW ROAD

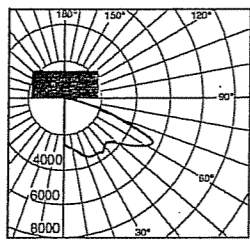
RUUD LIGHTING 800.236.7000 USA www.ruudlighting.com 905.671.1991 CAN		Date: 7/31/2008 Scale: 1"=30' Project Name: 20427 - LIBERT PLACE Filename: 60719E1CIBSR1a32		Layout by: Chris Stron																									
FOOTCANDLES CALCULATED AT GRADE USING MEAN LUMENS																													
Minimization results shown on this lighting design are based on project parameters provided to Ruud Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions (offering, etc.) may affect field results. The customer is responsible for verifying compliance with any applicable electrical, lighting, or energy codes.																													
<table border="1"> <thead> <tr> <th colspan="6">Numeric Summary</th> </tr> <tr> <th colspan="6">Project #0 Projects</th> </tr> <tr> <th>Location</th> <th>Avg</th> <th>Max</th> <th>Min</th> <th>Avg/Min</th> <th>Max/Min</th> </tr> </thead> <tbody> <tr> <td>GRADE</td> <td>1.3</td> <td>5.5</td> <td>0.0</td> <td>0.20</td> <td>0.50</td> </tr> </tbody> </table>						Numeric Summary						Project #0 Projects						Location	Avg	Max	Min	Avg/Min	Max/Min	GRADE	1.3	5.5	0.0	0.20	0.50
Numeric Summary																													
Project #0 Projects																													
Location	Avg	Max	Min	Avg/Min	Max/Min																								
GRADE	1.3	5.5	0.0	0.20	0.50																								

LACW SERIES WALL MOUNT
RECTANGULAR AREA CUTOFF FLOOD

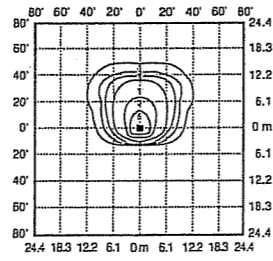
EPA RATING
EPA 0.60 for single fixture with 0° tilt (Consult factory for EPA rating on multiple units).



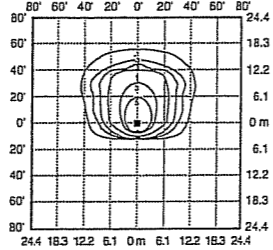
Lighting Sciences Inc.
Certified Test Report No. LSI 10695
Candlepower distribution curve of 175W MH Rectangular Area Cutoff Floodlight, with backlight shield located for backlight cutoff.



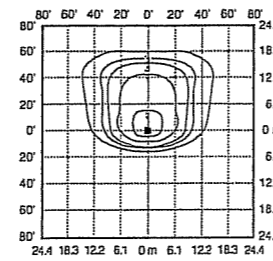
Lighting Sciences Inc.
Certified Test Report No. LSI 11233
Candlepower distribution curve of 150W HPS Rectangular Area Cutoff Floodlight, with backlight shield located for backlight cutoff.



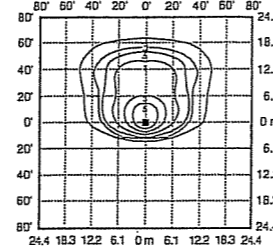
Isolfootcandle plot of 175W MH Area Cutoff Floodlight at 15' (4.6 m) mounting height, 0° vertical tilt, with backlight shield located for backlight cutoff. (Plan view)



Isolfootcandle plot of 150W HPS Area Cutoff Floodlight at 15' (4.6 m) mounting height, 0° vertical tilt, with backlight shield located for backlight cutoff. (Plan view)



Isolfootcandle plot of 175W MH Area Cutoff Floodlight at 20' (6.1 m) mounting height, 0° vertical tilt, with backlight shield located for backlight cutoff. (Plan view)

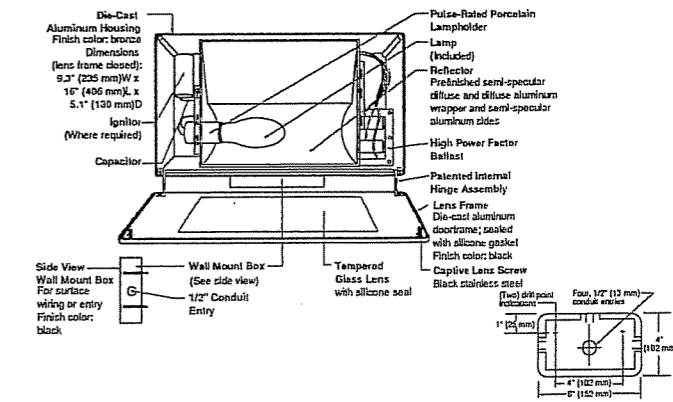


Isolfootcandle plot of 150W HPS Area Cutoff Floodlight at 20' (6.1 m) mounting height, 0° vertical tilt, with backlight shield located for backlight cutoff. (Plan view)



9201 Washington Avenue Racine, Wisconsin 53406-3772 USA PHONE (262) 886-1900 FAX (262) 884-3309
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LACW SERIES WALL MOUNT
RECTANGULAR AREA CUTOFF FLOOD



PULSE START METAL HALIDE	
125W PSMH	LACW12-(a)(b)
150W PSMH	LACW15-(a)(b)
METAL HALIDE	
50W MH	LACW405-(a)(b)
70W MH	LACW407-(a)(b)
100W MH	LACW410-(a)(b)
175W MH	LACW417-(a)(b)
HIGH PRESSURE SODIUM	
35W HPS	LACW503-(a)(b)
50W HPS	LACW505-(a)(b)
70W HPS	LACW507-(a)(b)
100W HPS	LACW510-(a)(b)
150W HPS	LACW515-(a)(b)

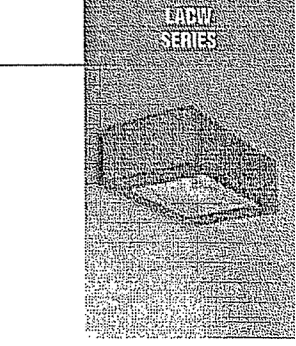
REACTOR	
120/277V (Standard: 125W PSMH; 50 - 100W MH; 50W HPS)	D
120/208/240/277V (Standard: 150W PSMH; 175W MH; 70 - 150W HPS)	M
120/277/347V (Canada Only) (Standard: 150W PSMH; 70 - 175W MH; 70 - 150W HPS)	T
120V (Standard: 35W HPS)	1
277V	2
277V Reactor (150W PSMH Only)	27
208V	3
240V	4
480V (175W MH; 70 - 100W HPS)	5
347V (Canada Only)	6

Specify (a) Voltage & (b) Options.

60° forward throw sharp cutoff luminaire with adjustable backlight control for HID lamp, totally enclosed. Backlight shield provides precise cutoff adjustability from 0° (nadir) to 30° (house-side). Housing is seamless, die-cast aluminum. Fixture mounts to wall with a 4" (102 mm) x 6" (152 mm) x 1.4" (36 mm) cast aluminum mounting box and gasket. Two 5/16" threaded mounting rods are supplied with nuts and sealing washers to attach fixture to mounting box. Also provided are four threaded and closed 1/2" conduit entries. Lens assembly consists of rigid aluminum frame, high-impact, clear-tempered glass, and backlight shield.

Fixture includes clear, medium-base lamp. Pulse-rated porcelain enclosed, 4kv-rated screw-shell-type lampholder with quick disconnect. Lamp ignitor included where required. All ballast assemblies are high-power factor and use the following circuit types:
Reactor (277V PSMH)
150W PSMH
Reactor
120V: 35 - 150W HPS
HX - High Reactance
50 - 100W MH; 50 - 150W HPS
CWA - Constant Wattage Autotransformer
125 & 150W PSMH; 175W MH

ANSI lamp wattage label supplied, visible during relamping. UL Listed in US and Canada for wet locations.
9201 Washington Avenue Racine, Wisconsin 53406-3772 USA PHONE (262) 886-1900 FAX (262) 884-3309
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OPTIONS	
(a)F Fusing	
J Tamperproof Lens Fasteners	
(a)P Button Photocell	
-SP External Photocell (for 480V)	

Specify (a) Single Voltage - See Voltage Suite Key

Notes

Exclusive DeltaGuard® finish features an E-coat epoxy primer with medium bronze ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. The finish is covered by our seven-year limited warranty.

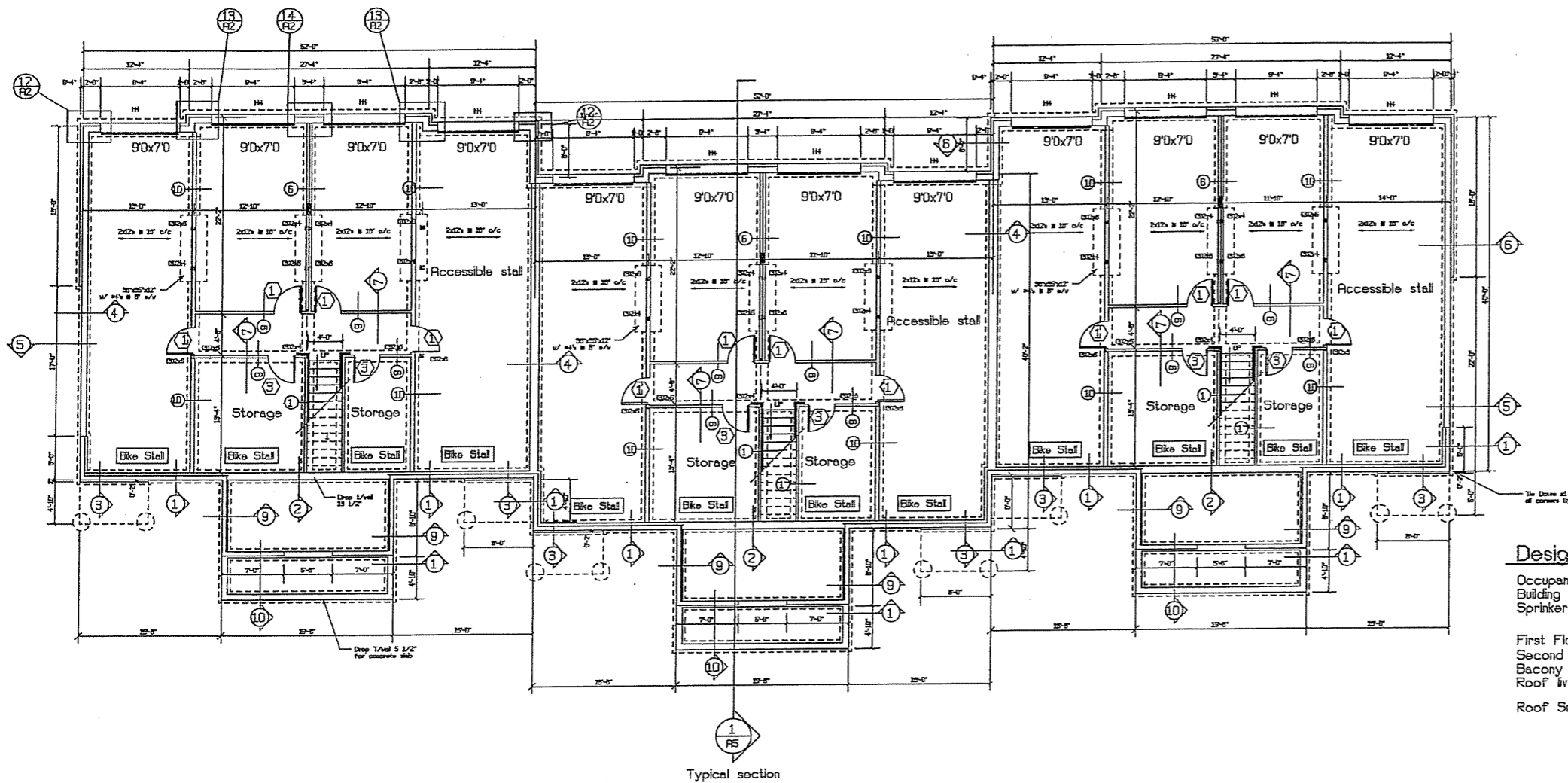
PATENT

US 4,699,729

APP. SERIES

LS-L	Polycarbonate Vandal Shield (not for use with fixtures in upright position)
TPS-1	Tamperproof Screwdriver
WG-L	Wire Guard





Foundation Plan
Scale = 1/8"=1'-0"

Note: See Sheet A2
for Concrete walls
See Sheet A3
for wood walls

Note: Provide Tie down at all corners.
Use: HTS20 Roof to post
CMSTC16W/25" Wall to floor to wall
STHD8 Foundation to floor

Design Summary

Occupancy Type - R2
Building SF - 18,720 SF
Sprinkered per NFPA 13

First Floor Live Load 40 psf
Second Floor live load - 40 psf
Balcony live load - 100 psf
Roof live load 20 psf

Roof Snow load
 $P_g = 35$ psf (ground)
 $P_f = 24.5$ psf (flat-roof)
 $C_e = 1.0$ (snow exposure factor)
 $I_s = 1.0$ (snow load importance factor)
 $C_t = 1.0$ (thermal factor)

$P_u = 24.5$ psf balanced
 $P_u = 44.1$ psf unbalanced leeward
 $P_u = 7.35$ psf unbalanced windward
 $P_u = 49$ psf (Sliding snow load lower porch roof)

Wind Load
 Basic wind speed (3 second gust) = 90 mph
 $I_v = 1.0$ (wind importance factor)
 Wind Exposure = B
 $G C p_i = 0.18$ (internal pressure)
 Components & Cladding = 14.5 psf (wall)
 -28.2 psf (roof)
 -27.2 psf (overhang)

Earthquake design data
 Seismic Design Category A
 Seismic use group = 1
 $S_d s = 0.089 g$
 $S_d 1 = 0.05 g$
 Site Class = C
 Basic Seismic-force resisting system =
 Light Frame walls w/ shear panels (WJ)
 Design Base Shear = 8.68 kips

Jeffery Groener, Architect
830 S. Main Street
Oregon, WI 53575
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Concepts
Architecture, LLC

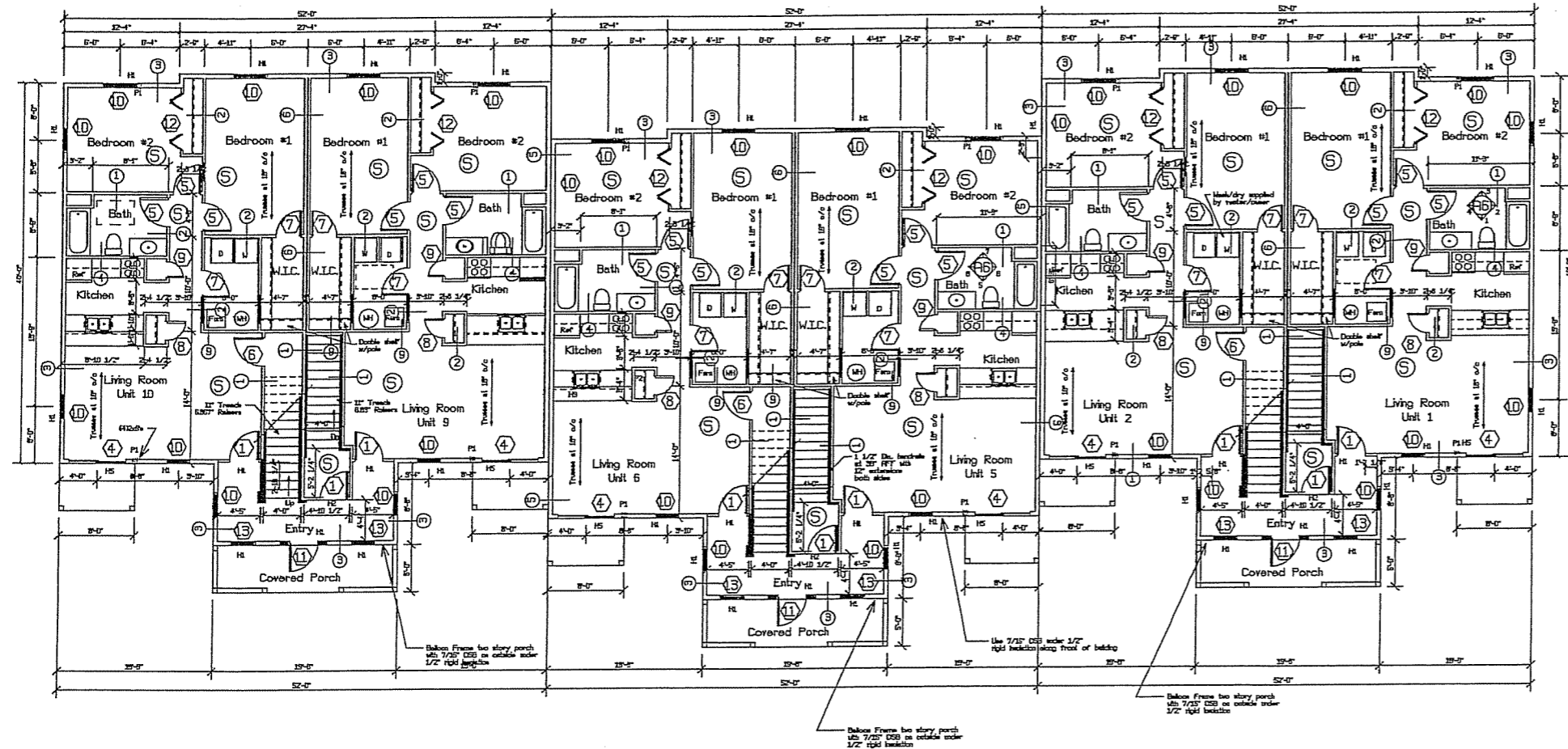
Ellelson Construction
Company
1018 Gammon Lane, Suite 100
Madison, WI 53719
608-274-1494

12 Unit
Project: Liberty Place, Madison, WI
Address: Foundation Plan
Sheet Title:

Date: 07-26-2006
Scale: As Noted
Job #: 05-01

SHEET
A1

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First Floor Plan
Scale = 1/8" = 1'-0"

Smoke Detection

(S) Smoke Detector directly and permanently wired to a proper unswitched circuit and be provided with backup power source.

Note: Provide solid blocking under girder trusses in floor joists and contin. to Conc. wall

Note: Building sprinklered per NFPA 13R.

Post Schedule

P1 (4)2x6's with strapping to beam and floor
P2 (3)2x4's with strapping to beam and floor

Beam and Header Schedule

Mark	Size	Material	Remarks
H1	(2)2x10's	Hem-Fir #2	4
H2	(3)2x10's	Hem-Fir #2	4
H3	(2)1 3/4"x11 1/4"	Microlam	3,4,5
H4	(3)1 3/4"x11 1/4"	Microlam	3,4,5
H5	(2)1 3/4"x9 1/4"	Microlam	3,4,5

Window headers to be 6'8 AFF

Notes:
1. Headers shown at bearing wall locations only.
2. Headers at non-bearing walls to be (2)2x flat
3. Microlam material with 22 E 2650Fb
4. Provide solid blocking to foundation
5. Provide (4)2x4 or (3)2x6 blocking under each end of beam contin. to foundation.

Door and Window Schedule

- (1) 3'0"x6'8" Metal insul. door w/ Metal frame (3/4 Hr. rated) with keyed dead bolt and 1/2" sill plates and lever handles
- (2) 3'0"x6'8" Metal insul. door w/ wood frame with lever handles and 1/2" sill plates (max)
- (3) 3'0"x6'8" Metal insul. door w/ wood frame with lever handles, keyed dead bolts and 1/2" sill plates (max)
- (4) 6'0"x6'8" Sliding Glass door 3/4" sill plates (max)
- (5) 3'0"x6'8" Hollow core wood door w/ wood frame with lever handles and privacy locks
- (6) 3'0"x6'8" Hollow core wood door w/ wood frame with lever handles
- (7) 2'10"x6'8" Hollow core wood door w/ wood frame with lever handles
- (8) 2'4"x6'8" Hollow core wood door w/ wood frame with lever handles
- (9) 1'8"x6'8" Hollow core wood door w/ wood frame with lever handles
- (10) 3'0"x4'8" single hung unit Norendex 2000 or Equal
- (11) 3'0"x6'8" Metal insul. door w/ wood frame with lever handles, 12" side lights and 1/2" sill plates (max)
- (12) 6'0"x6'8" Bi-fold Door
- (13) 2'8"x3'4" Fixed unit Norendex 2000 or Equal

Wall Schedule

- (1) 5/8" type "X" gyp. bd. with joints taped
2x4 wood studs at 16" o/c
3 1/2" FG batt insulation
5/8" type "X" gyp. bd. with joints taped
1-Hour wall
GA file # WP-3514
- (2) 5/8" gyp. bd. with joints taped
2x4 wood studs at 16" o/c
5/8" gyp. bd. with joints taped
1-Hour wall
GA file # WP-3514
- (3) 5/8" type "X" gyp. bd. with joints taped
Note: Install 5/8" water resistant
GWB behind tub
4 Mil. Poly. Vapor Barrier
2x6 wood studs at 16" o/c
5 1/2" FG batt insulation
1" rigid insulation board with taped joints
Provide 4x8x1/2" OSB at all corners and every 24" o/c for bracing
Double-Four vinyl siding
- (4) 5/8" type "X" gyp. bd. with joints taped
4 Mil. Poly. Vapor Barrier
2x6 wood studs at 16" o/c
5 1/2" FG batt insulation
5/8" type "X" gyp. bd. with joints taped
1-Hour wall
GA file # WP-3514
- (5) 5/8" type "X" gyp. bd. with joints taped
3 1/2" FG batt insulation
2x6 wood studs at 16" o/c
5/8" type "X" gyp. bd.
3/8" Air space
2x6 full hgt. wood studs at 16" o/c
3 1/2" FG batt insulation
5/8" type "X" gyp. bd. with joints taped
1-Hour wall
GA file # WP-3370
- (6) 5/8" type "X" gyp. bd. with joints taped
3 1/2" FG batt insulation
2x4 wood studs at 16" o/c
5/8" type "X" gyp. bd.
3/8" Air space
2x4 full hgt. wood studs at 16" o/c
3 1/2" FG batt insulation
5/8" type "X" gyp. bd. with joints taped
1-Hour wall
GA file # WP-3370
- (7) 5/8" type "X" gyp. bd. with joints taped
2x4 wood studs at 16" o/c
5/8" type "X" gyp. bd.
3/8" Air space
2x4 full hgt. wood studs at 16" o/c
5/8" type "X" gyp. bd. with joints taped
1-Hour wall
GA file # WP-3370
- (8) 8" Concrete wall
1/2" Air space
4" Face brick
- (9) 5/8" gyp. bd. with joints taped
2x4 wood studs at 16" o/c
3 1/2" Batt insulation
7/16" OSB w/ 6" nailing w/ #8 nails
5/8" gyp. bd. with joints taped
1-Hour wall
GA file # WP-3514
- (10) 5/8" type "X" gyp. bd. with joints taped
2x6 wood studs at 16" o/c
3 1/2" FG batt insulation
5/8" type "X" gyp. bd. with joints taped
1-Hour wall
GA file # WP-3514

Jeffery Groenier, Architect
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608-274-1494

Prepared for:
Address:

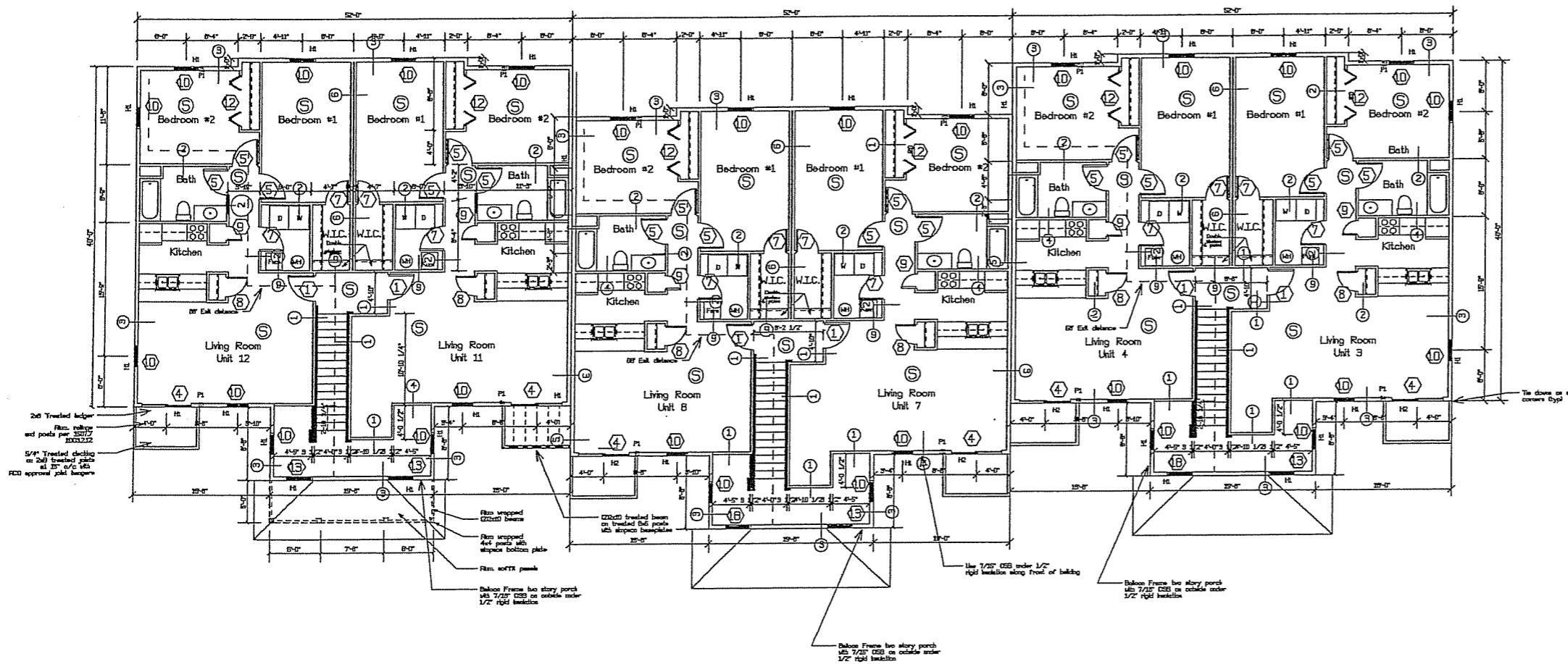
Project: **12 Unit**
Address: Liberty Place, Madison, WI
Sheet Title: **First Floor Plan**

Date: 07-26-2006

Scale: As Noted

Job #: 05-01

SHEET
A2



Second Floor Plan
Scale = 1/8"=1'-0"

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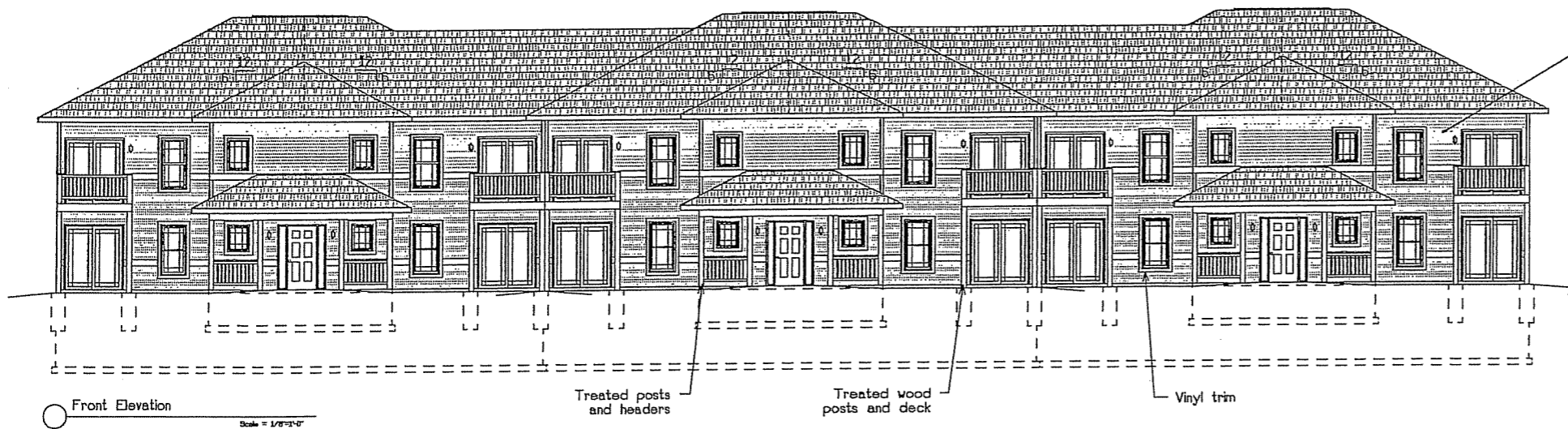
Ellelson Construction
Company
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Madison, WI 53719
608-274-1494

Proposed for:
Address:

Project: 12 Unit
Address: Liberty Place, Madison, WI
Sheet Title: Second Floor Plan

Date: 06-12-2006
Scale: As Noted
Job #: 05-01

SHEET
A3



Use 7/16" OSB nailed on 6" centers with #8 nails on this face of building and around porch.

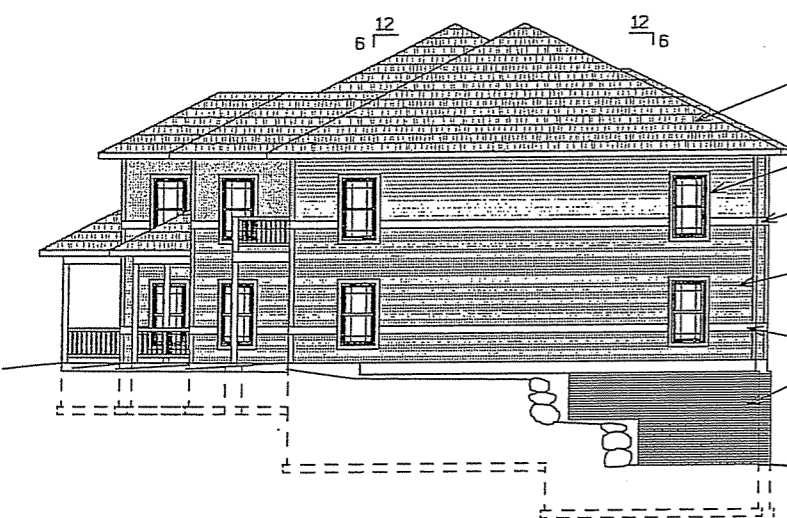
Front Elevation

Scale = 1/8"=1'-0"

Treated posts and headers

Treated wood posts and deck

Vinyl trim



Architectural shingles

Window trim and grilles

Accent Band

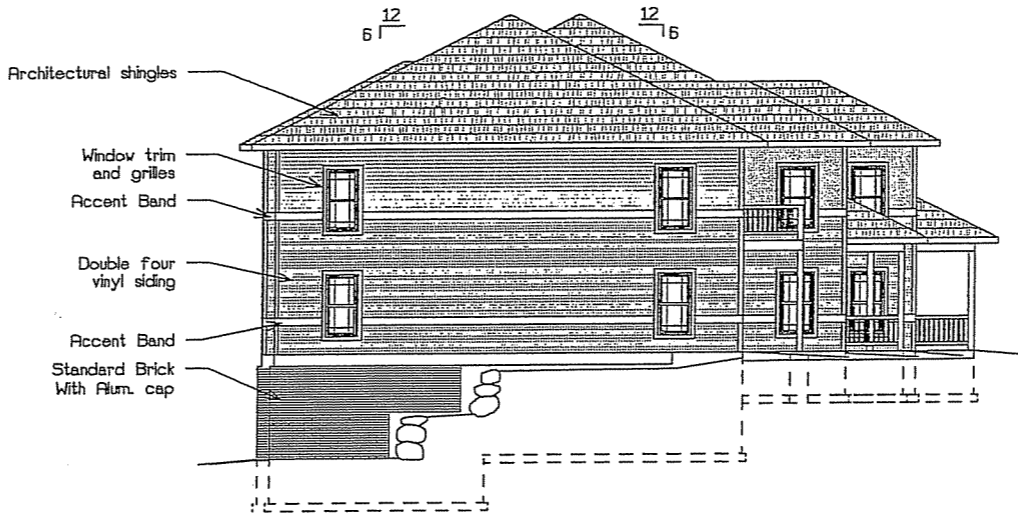
Double four vinyl siding

Accent Band

Standard Brick With Alum. cap

Right Elevation

Scale = 1/8"=1'-0"



Architectural shingles

Window trim and grilles

Accent Band

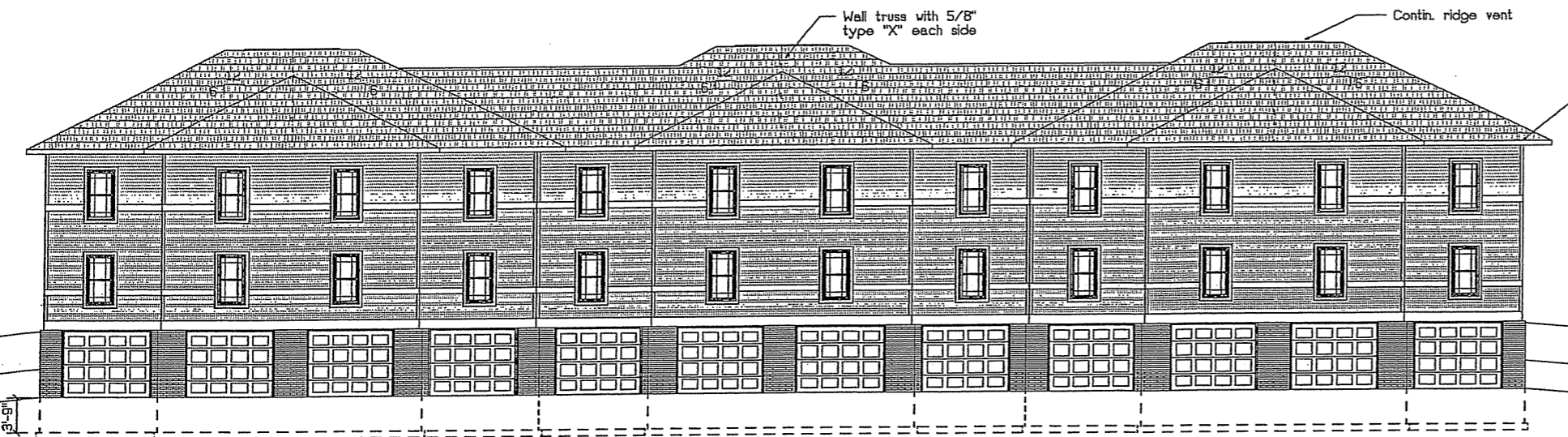
Double four vinyl siding

Accent Band

Standard Brick With Alum. cap

Left Elevation

Scale = 1/8"=1'-0"



Wall truss with 5/8" type "X" each side

Contin. ridge vent

Provide strapping at building corners from roof to foundation

Rear Elevation

Scale = 1/8"=1'-0"

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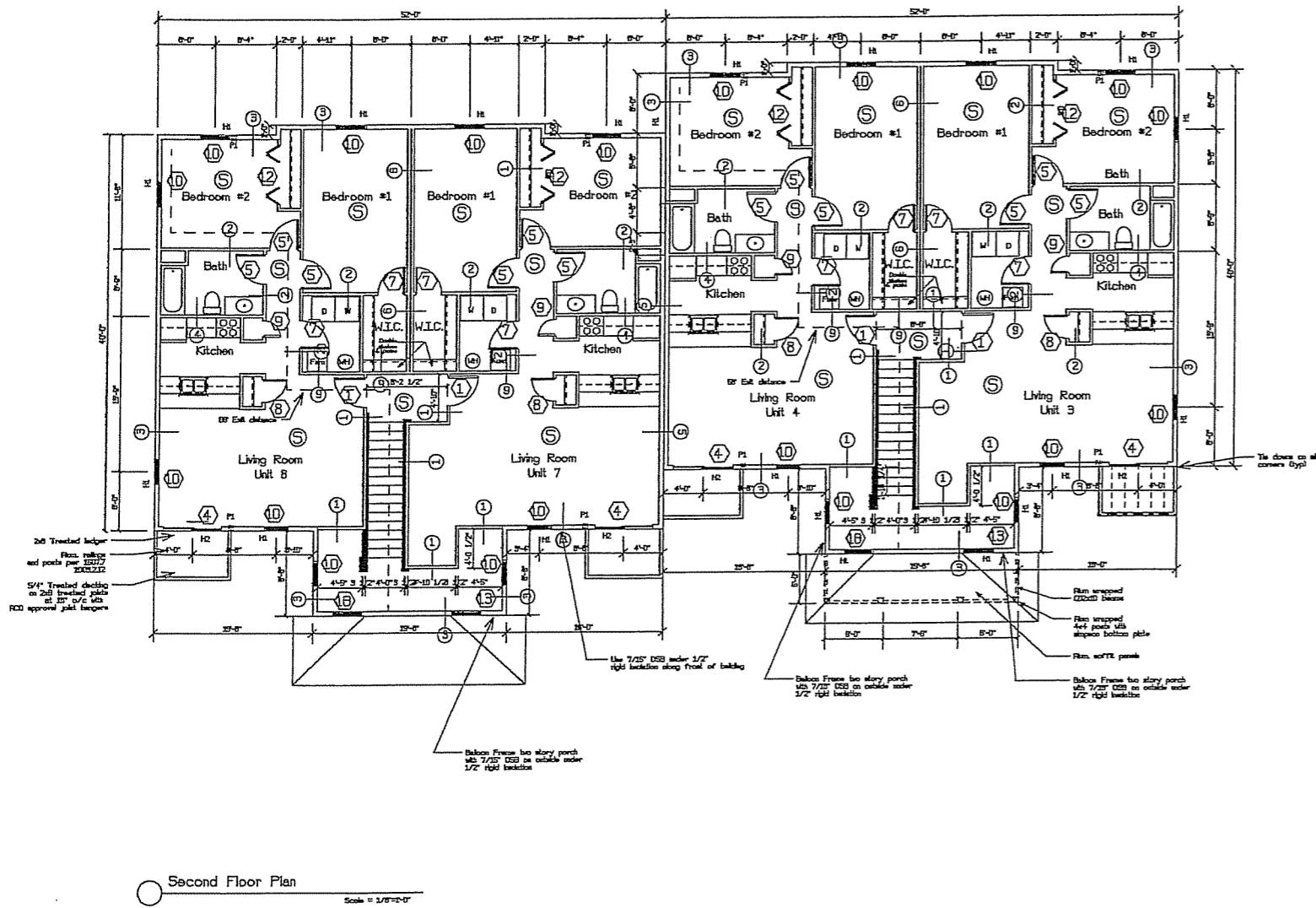
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1018 Gannon Lane, Suite 100
Madison, WI 53719
608-274-1494

Proposed for:
Address:

Project: 12 Unit
Address: Liberty Place, Madison, WI
Sheet Title: Elevations

Date: 07-26-2006
Scale: As Noted
Job #: 05-01

SHEET
A4



Second Floor Plan
Scale = 1/8" = 1'-0"

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608-274-1494

Proposed for:
Address:

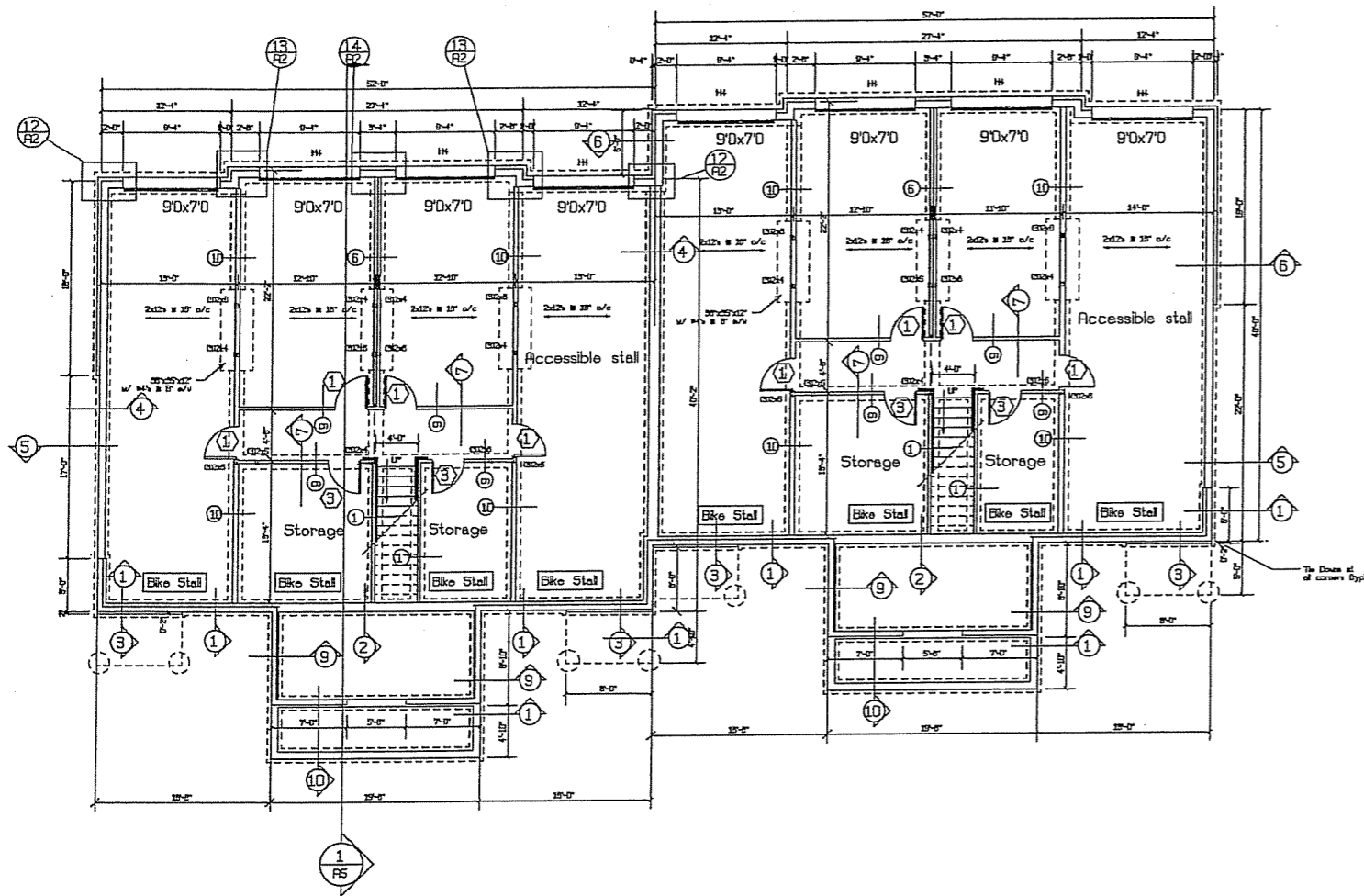
8 Unit
Project: Liberty Place, Madison, WI
Address:
Sheet Title: **Second Floor Plan**

Date: 06-12-2006

Scale: As Noted

Job #: 05-01

SHEET
A4



Typical section

Foundation Plan
Scale = 1/8"=1'-0"

Note: See Sheet A2
for Concrete walls
See Sheet A3
for wood walls

Note: Provide Tie down at all corners.
Use: HTS20 Roof to post
CMSTC16W/25" Wall to floor to wall
STHD8 Foundation to floor

Design Summary

Occupancy Type - R2
Building SF - 18,720 SF
Sprinkered per NFPA 13

First Floor Live Load 40 psf
Second Floor live load - 40 psf
Balcony live load - 100 psf
Roof live load 20 psf

Roof Snow load
Pg = 35 psf (ground)
Pf = 24.5 psf (flat-roof)
Ce = 1.0 (snow exposure factor)
Is = 1.0 (snow load importance factor)
Ct = 1.0 (thermal factor)
Pu = 24.5 psf balanced
Pu = 44.1 psf unbalanced leeward
Pu = 7.35 psf unbalanced windward
Pu = 49 psf (Sliding snow load lower porch roof)

Wind Load
Basic wind speed (3 second gust) = 90 mph
Iw = 1.0 (wind importance factor)
Wind Exposure = B
GCpi = 0.18 (internal pressure)
Componets & Cladding = 14.6 psf (wall)
-28.2 psf (roof)
-27.2 psf (overhang)

Earthquake design data
Seismic Design Category A
Seismic use group = 1
Sds = 0.089 g
Sd1 = 0.05 g
Site Class = C
Basic Seismic-force resisting system =
Light Frame walls w/ shear panels (LFR)
Design Base Shear = 8.68 kips

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Concepts
Architecture, LLC

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1018 Chammon Lane, Suite 100
Madison, WI 53719
608-274-1494

Proposed for:
Address:

8 Unit
Project: Liberty Place, Madison, WI
Address:
Foundation Plan
Sheet Title:

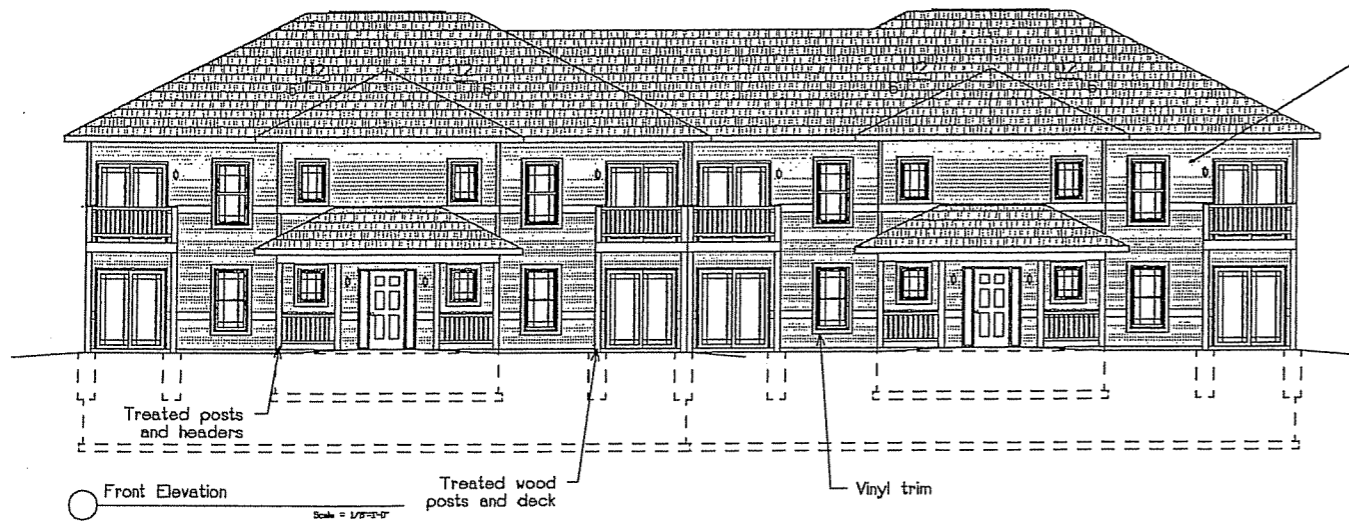
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Scale: As Noted

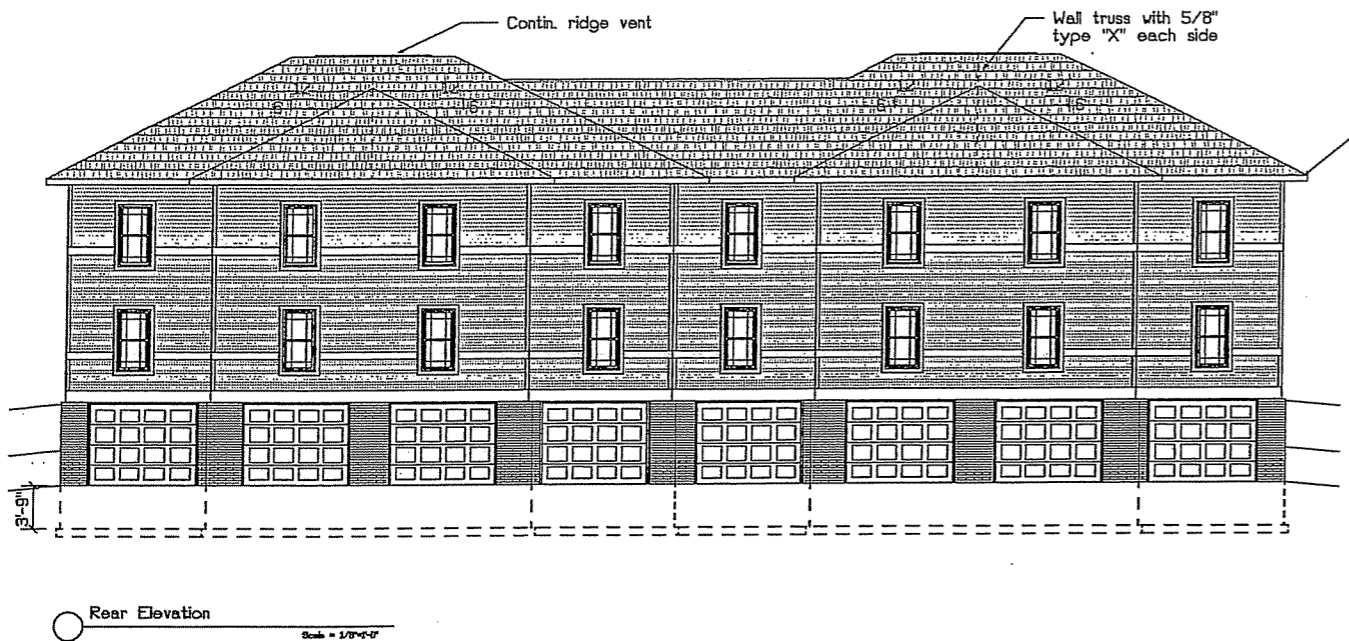
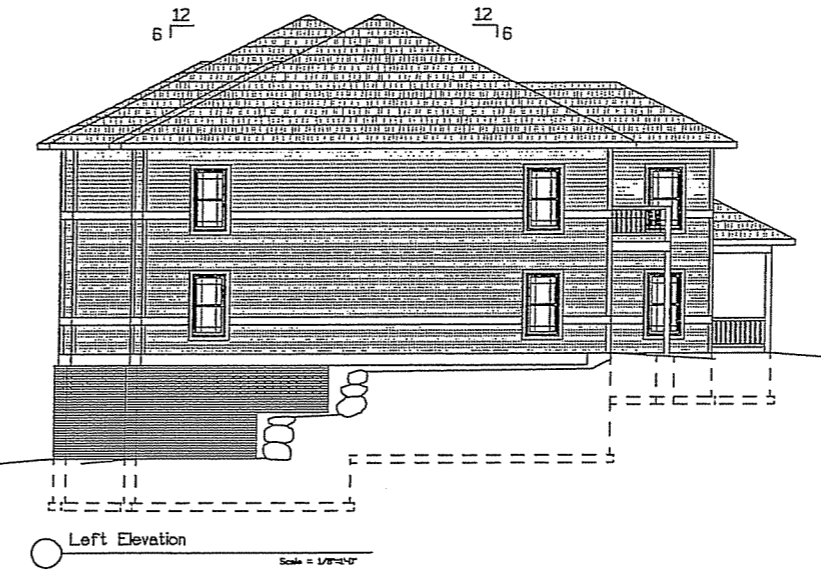
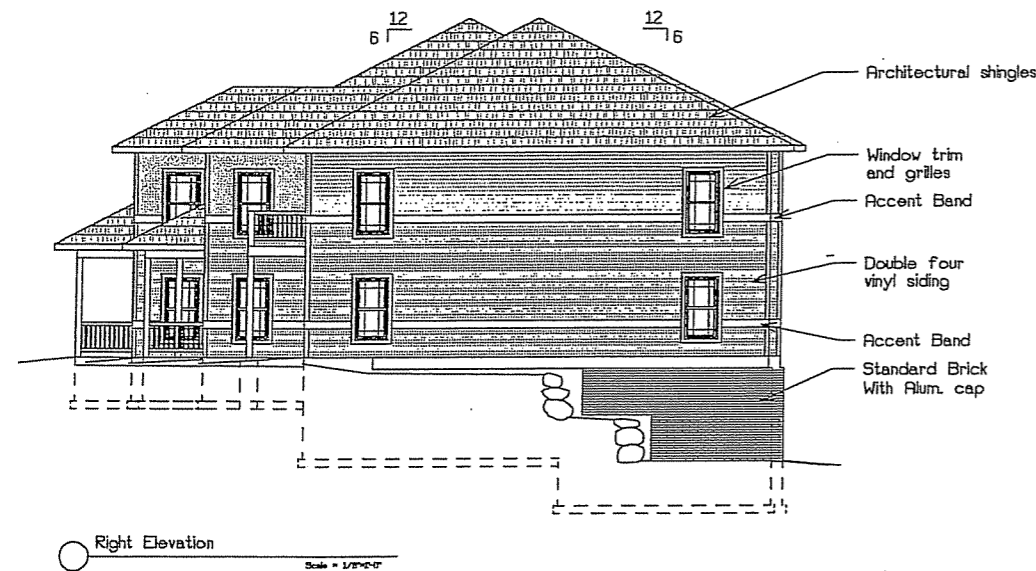
Job #: 05-01

SHEET
A5

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Use 7/16" OSB nailed on 6" centers with #8 nails on this face of building and around porch.



Provide strapping at building corners from roof to foundation

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608-274-1494

Proposed for:
Address:

Project: 8 Unit
Address: Liberty Flats, Madison, WI

Sheet Title: Elevations

Date: 07-26-2006

Scale: As Noted

Job #: 05-01

SHEET
A7