



# URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

This form may also be completed online at:  
<http://www.cityofmadison.com/planning/documents/UDCApplication.pdf>

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>12-29-2015</u>	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>1-27-16</u>	<input type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): _____	<input checked="" type="checkbox"/> Final Approval

1. Project Address: 1000 E Washington Ave  
Project Title (if any): Stone House Mixed Use at the Madison Dairy site

2. This is an application for (Check all that apply to this UDC application):  
 New Development  Alteration to an Existing or Previously-Approved Development

### A. Project Type:

- Project in an Urban Design District\* (public hearing-\$300 fee) UDD 8; Traditional Employment District
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

AGENDA ITEM #	
LEGISTAR #	<u>40049</u>
ALD. DIST.	<u>2</u>

### B. Signage:

- Comprehensive Design Review\* (public hearing-\$300 fee)  Street Graphics Variance\* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

### Other:

Please specify: \_\_\_\_\_

### 3. Applicant, Agent & Property Owner Information:

Applicant Name: Jonathan Parker  
Street Address: 309 W Johnson, Suite 202,  
Telephone: (608) 442-5350 Fax: ( )

Company: Eppstein Uhen Architects  
City/State: Madison, WI Zip: 53703  
Email: jonathanp@eua.com

Project Contact Person: Paul Raisieger  
Street Address: 309 W Johnson, Suite 202,  
Telephone: (608) 442-5350 Fax: ( )

Company: Eppstein Uhen Architects  
City/State: Madison, WI Zip: 53703  
Email: paulr@eua.com

Project Owner (if not applicant) : Rich Arnesen  
Street Address: 625 N Segoe Rd #107  
Telephone: (608) 251-6000 Fax: ( )

Stone House Development  
City/State: Madison, WI Zip: 53705  
Email: rarnesen@stonehousedevlopment.com

A pre-application meeting with staff is required prior to filing any Urban Design Application. Please contact UDC staff at (608) 266-4635 to schedule a pre-application meeting.

### 4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin (name of staff person) on 9-3-2015 (date of meeting), plus UDC review on 9-16-15, 11-18-15, and 12-9-15

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Jonathan Parker Relationship to Property Architect

Authorized Signature  Date 9-3-2015



City of Madison  
Al Martin  
215 Martin Luther King Jr. Blvd; Room LL-100  
Madison, WI 53701

December 29, 2015

**Stone House Mixed Use Project, 1000 E Washington Ave, UDC Submittal for Final Review.**

Hello Al, the following list outlines the items that have been refined on the drawings dated 12-28-15 for the 1-13-16 UDC meeting for the Stone House Mixed Use Project, 1000 E Washington Ave:

1. The entire building complex has been moved west by approximately 2 feet in order to accommodate angled parking for CarX in the alley. Landscaping has been adjusted accordingly.
2. Adjustments to material colors on the exterior elevations of the apartment tower have been made to provide a slight color range on the east and west ends of the building, and a darker color at the element above the entry to help better identify the entry.
3. The exterior of levels 2 and 3 on the office component have been refined to have the vertical elements clad in brick.
4. The "C" elements at the affordable housing component have been changed to be clad in flat metal panel (i.e. Alucobond).
5. Material colors have been adjusted slightly on the affordable housing component.

Please contact me if you have any questions about this submittal,

Thanks,

Jonathan Parker, RA, LEED AP  
Principal  
Eppstein Uhen Architects  
309 W Johnson St., Suite 209  
Madison, WI 53703  
jonathanp@eua.com

333 E. Chicago St.  
Milwaukee, WI 53202

414 271 5350 : main  
414 271 7794 : fax

222 W. Washington Ave.  
Suite 650  
Madison, WI 53703

608 442 5350 : main  
608 442 6680 : fax

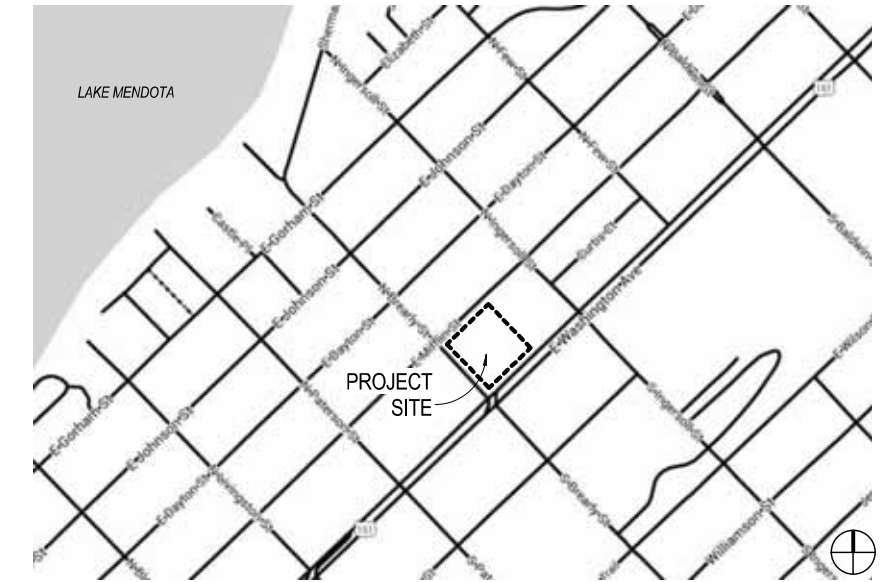


**SHEET INDEX - LAND USE APPLICATION**

- G01 COVER & PROJECT STATISTICS
- G02 SITE LOCATION
- G03 PRELIMINARY LIFE SAFETY PLAN
- G04 PRELIMINARY LIFE SAFETY PLAN
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- C200 DEMOLITION PLAN
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- L-1 LANDSCAPE PLAN
- L-2 LEVEL 03 ROOF TERRACE LANDSCAPE PLAN
- L-3 LEVEL 11 ROOF TERRACE LANDSCAPE PLAN
- A00 EXISTING SITE PHOTOS
- A01 EXISTING SITE PHOTOS
- A02 BUILDING SETBACKS
- A03 LEVEL 01 & LEVEL N-01 FLOOR PLAN
- A04 LEVEL N-02 & LEVEL P-02 FLOOR PLAN
- A05 LEVEL 02, LEVEL N-03, & LEVEL P-03 FLOOR PLAN
- A06 LEVEL 03 & LEVEL N-04 FLOOR PLAN
- A07 LEVEL 04 FLOOR PLAN
- A08 LEVELS 05-11 FLOOR PLANS
- A09 UNIT FLOOR PLANS
- A10 UNIT FLOOR PLANS
- A11 UNIT FLOOR PLANS
- A12 UNIT FLOOR PLANS
- A13 UNIT FLOOR PLANS
- A14 BUILDING ELEVATIONS
- A15 BUILDING ELEVATIONS
- A16 BUILDING ELEVATIONS
- A17 PERSPECTIVES
- A18 PERSPECTIVES
- A19 PERSPECTIVES
- A20 PERSPECTIVES
- A21 SUN STUDY
- E01 LEVEL 01 PHOTOMETRIC PLAN AREA A
- E02 LEVEL 01 PHOTOMETRIC PLAN AREA B
- E03 LEVEL 01 PHOTOMETRIC PLAN AREA C
- E04 LEVEL 01 PHOTOMETRIC PLAN AREA D
- E05 LEVEL 03 PHOTOMETRIC PLAN
- E06 LEVEL 11 PHOTOMETRIC PLAN

# STONE HOUSE MIXED USE EAST WASHINGTON

1000 E. WASHINGTON  
MADISON, WI 53703



**PROJECT STATISTICS**

LOCAL ZONING: TE - TRADITIONAL EMPLOYMENT DISTRICT

	Office		Maker Space	Restaurant	Retail	Automobile Repair	Total Retail	Market Rate Apartments		Affordable Apartments		Parking			
	GSF	NSF	NSF	NSF	NSF	NSF	GSF	GSF	# OF UNITS	GSF	# OF UNITS	GSF	# Stalls On-Site	# Bicycle on Floor	# Bicycle on Wall
LEVEL 01			5,851	4,400	5,834	3,878	22,561	2,959	0			43,021	109	161	16
LEVEL 02	25,584	22,776													
LEVEL 03	29,306	26,646													
LEVEL 04								19,235	20						
LEVEL 05								19,235	20						
LEVEL 06								19,235	20						
LEVEL 07								19,235	20						
LEVEL 08								19,235	20						
LEVEL 09								19,089	19						
LEVEL 10								19,089	19						
LEVEL 11								5,790	0						
										INCLUDES TOWNHOMES					
LEVEL N-01										14,796	14				
LEVEL N-02										13,376	6				
LEVEL N-03										14,683	15				
LEVEL N-04										26,907	30				
LEVEL P-02												44,468	133	26	36
LEVEL P-03												45,245	126	0	33
<b>TOTALS</b>	<b>54,891</b>	<b>49,421</b>	<b>5,851</b>	<b>4,400</b>	<b>5,834</b>	<b>3,878</b>	<b>22,561</b>	<b>143,104</b>	<b>138</b>	<b>69,762</b>	<b>65</b>	<b>132,734</b>	<b>368</b>	<b>187</b>	<b>85</b>

This site is in Urban Design District 8, and its design incorporates the principles defined for this district. This site is currently zoned TE Traditional Employment. This project is seeking a Conditional Use under this zoning designation and is creating a project that complies with the current zoning

	1 / 400 SF	1 / 2000 SF	1 / 400 SF	1 / 2000 SF	1 / 400 SF	1 / 2000 SF	1 / 2000 SF (discloses service bays) + 2 per bay	APTS 1 PER UNIT	TOWNHOMES 1.5 PER UNIT	APTS 1 PER UNIT						
<b>PARKING REQUIREMENT</b>																
MINIMUM REQUIRED AUTO PARKING	124	15	11	15	15	16		138	14	56						
10% REDUCTION	-12	-2	-1	-2	-2			N/A	N/A	N/A						
REDUCTION DUE TO EXCESS BICYCLE PARKING	-17	0	0	0	0			0	0	0						
REDUCED MINIMUM REQUIRED AUTO PARKING	94	13	10	13	14			138	14	56	TOTAL REQ.	352				
<b>BICYCLE PARKING REQUIREMENT</b>	1 / 2000 SF	1 / 2000 SF	1 / 2000 SF	1 / 2000 SF	1 per 5 emp.			1 PER UNIT	1 PER UNIT	1 PER UNIT						
GUEST BICYCLE PARKING REQUIREMENT	N/A	N/A	N/A	N/A	N/A			1 / 10 UNITS	1 / 10 UNITS	1 / 10 UNITS						
TOTAL REQUIRED BICYCLE PARKING	25	3	2	3	2			152	10	62	TOTAL REQ'D:	258				
% OF REQUIRED PARKING AS LONG-TERM	10%	10%	10%	10%	10%			90%	90%	90%						
LONG-TERM (INDOOR) REQUIRED PARKING	2.5	0.3	0.2	0.3	0.2			136.6	8.9	55.4	TOTAL INDOOR REQ'D:	204				
SHORT TERM (OUTDOOR) REQUIRED PARKING	22.2	2.6	2.0	2.6	1.7			15.2	1.0	6.2	TOTAL OUTDOOR REQ'D:	54				
											TOTAL OUTDOOR PROV.:	76				
SITE AREA	108,730	TOTAL PROJECT GSF					423,073	TOTAL AFFORDABLE UNITS					65			
SITE ACREAGE	2.50							TOTAL MARKET RATE UNITS					138			

**Lot Coverage and Useable Open Space Calculations**  
 Traditional Employment District has an 85% lot coverage maximum  
 Size of Lot: 108,730 sf  
 Building Footprint: 84,100 sf  
 Pervious area at grade: 7,444 sf  
 Planted area at plaza level: 10,950 sf  
 Planted area at rooftop level: 675 sf  
 Lot Coverage Max allowed: 92,420 sf  
 Lot Coverage provided: 89,661 sf



epstein uhen : architects

## LAND USE APPLICATION UDC FINAL REVIEW

12/28/2015

PROJECT NUMBER: 14339-01



**eppstein uhen : architects**

milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
telephone 414.271.5350  
madison 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
telephone 608.442.5350

PROJECT INFORMATION

**STONE HOUSE  
MIXED USE EAST  
WASHINGTON**

1000 E.  
WASHINGTON  
MADISON, WI 53703

ISSUANCE AND REVISIONS

**LAND USE APPLICATION  
UDC FINAL REVIEW**

#	DATE	DESCRIPTION
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SHEET INFORMATION

**PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION**

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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 12/28/2015

SITE LOCATION

**G02**





eppstein uhen : architects

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Milwaukee, Wisconsin 53202  
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madison 309 West Johnson Street, Suite 202  
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WASHINGTON

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DATE 12/28/2015

PRELIMINARY LIFE  
SAFETY PLAN

G03

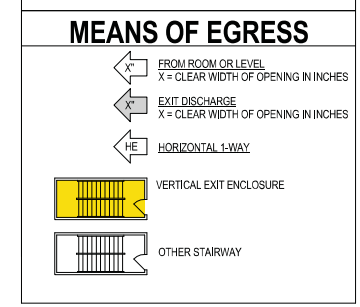
### FIRE RESISTIVE LEGEND

**FIRE WALLS**  
3FW 3FW 3FW 3FW 3FW 3FW 3 HOUR FIRE WALL

**FIRE BARRIERS**  
2FB 2FB 2FB 2FB 2FB 2FB 2 HOUR FIRE BARRIER  
1FB 1FB 1FB 1FB 1FB 1FB 1 HOUR FIRE BARRIER

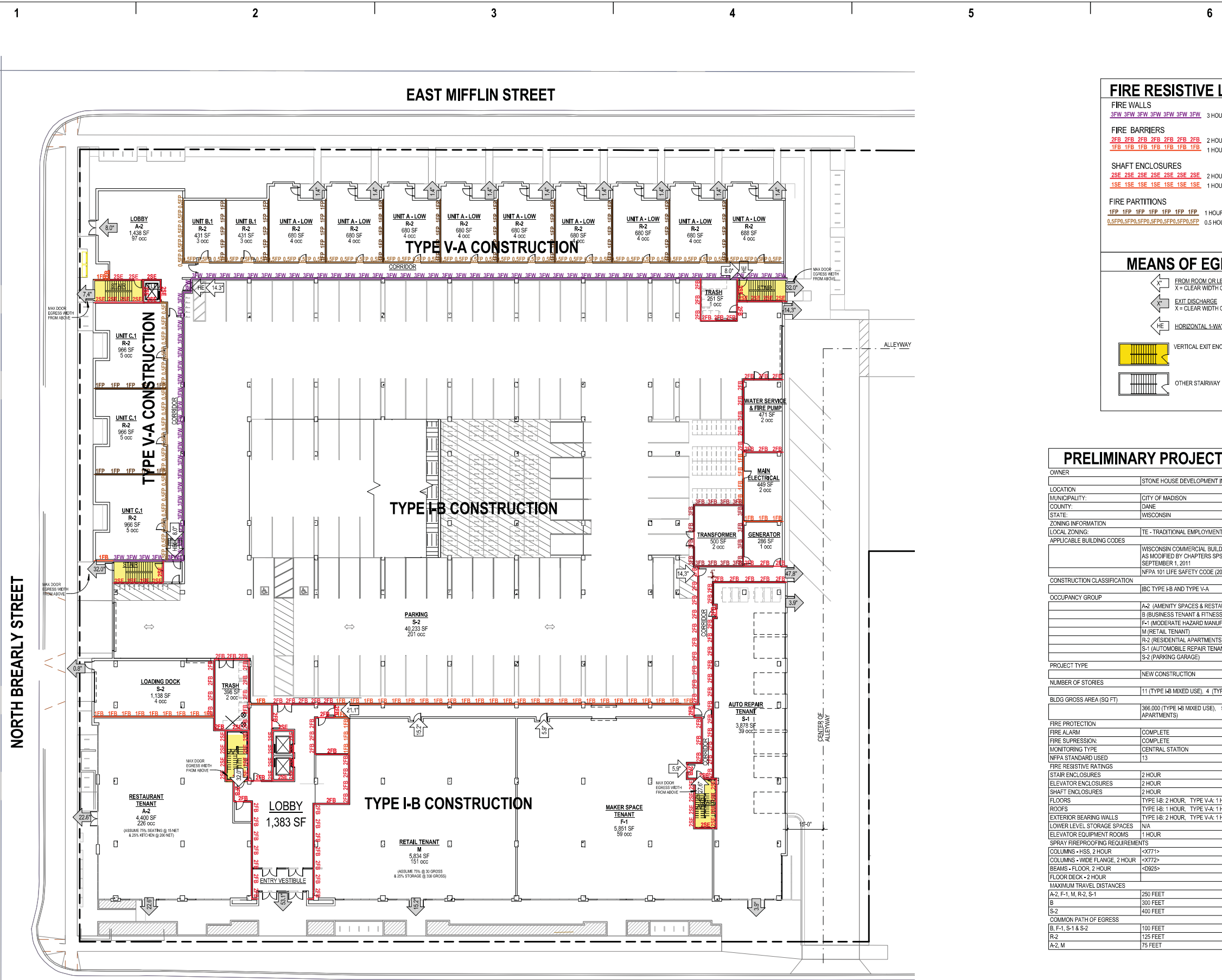
**SHAFT ENCLOSURES**  
2SE 2SE 2SE 2SE 2SE 2SE 2 HOUR SHAFT ENCLOSURE  
1SE 1SE 1SE 1SE 1SE 1SE 1 HOUR SHAFT ENCLOSURE

**FIRE PARTITIONS**  
1FP 1FP 1FP 1FP 1FP 1FP 1 HOUR FIRE PARTITION  
0.5FP0.5FP0.5FP0.5FP0.5FP0.5FP 0.5 HOUR FIRE PARTITION

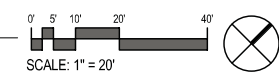


### PRELIMINARY PROJECT DATA

OWNER	STONE HOUSE DEVELOPMENT INC.
LOCATION	CITY OF MADISON
MUNICIPALITY:	DANE
COUNTY:	WISCONSIN
STATE:	
ZONING INFORMATION	TE - TRADITIONAL EMPLOYMENT DISTRICT
LOCAL ZONING:	
APPLICABLE BUILDING CODES	WISCONSIN COMMERCIAL BUILDING CODE 2009 IBC AS MODIFIED BY CHAPTERS SPS 381-386 SEPTEMBER 1, 2011 NFPA 101 LIFE SAFETY CODE (2000)
CONSTRUCTION CLASSIFICATION	IBC TYPE I-B AND TYPE V-A
OCCUPANCY GROUP	A-2 (AMENITY SPACES & RESTAURANT TENANT) B (BUSINESS TENANT & FITNESS AREAS) F-1 (MODERATE HAZARD MANUFACTURING TENANT) M (RETAIL TENANT) R-2 (RESIDENTIAL APARTMENTS) S-1 (AUTOMOBILE REPAIR TENANT) S-2 (PARKING GARAGE)
PROJECT TYPE	NEW CONSTRUCTION
NUMBER OF STORIES	11 (TYPE I-B MIXED USE), 4 (TYPE V-A APARTMENTS)
BLDG GROSS AREA (SQ FT)	366,000 (TYPE I-B MIXED USE), 57,000 (TYPE V-A APARTMENTS)
FIRE PROTECTION	COMPLETE
FIRE ALARM	COMPLETE
FIRE SUPPRESSION:	CENTRAL STATION
MONITORING TYPE	13
NFPA STANDARD USED	
FIRE RESISTIVE RATINGS	2 HOUR
STAIR ENCLOSURES	2 HOUR
ELEVATOR ENCLOSURES	2 HOUR
SHAFT ENCLOSURES	2 HOUR
FLOORS	TYPE I-B: 2 HOUR, TYPE V-A: 1 HOUR
ROOFS	TYPE I-B: 1 HOUR, TYPE V-A: 1 HOUR
EXTERIOR BEARING WALLS	TYPE I-B: 2 HOUR, TYPE V-A: 1 HOUR
LOWER LEVEL STORAGE SPACES	N/A
ELEVATOR EQUIPMENT ROOMS	1 HOUR
SPRAY FIREPROOFING REQUIREMENTS	
COLUMNS - HSS, 2 HOUR	<X771>
COLUMNS - WIDE FLANGE, 2 HOUR	<X772>
BEAMS - FLOOR, 2 HOUR	<D825>
FLOOR DECK - 2 HOUR	
MAXIMUM TRAVEL DISTANCES	
A-2, F-1, M, R-2, S-1	250 FEET
B	300 FEET
S-2	400 FEET
COMMON PATH OF EGRESS	
B, F-1, S-1 & S-2	100 FEET
R-2	125 FEET
A-2, M	75 FEET



1 FIRST FLOOR  
1" = 20'-0"





eppstein uhen : architects

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### FIRE RESISTIVE LEGEND

- FIRE WALLS**  
3FW 3FW 3FW 3FW 3FW 3FW 3 HOUR FIRE WALL
- FIRE BARRIERS**  
2FB 2FB 2FB 2FB 2FB 2FB 2 HOUR FIRE BARRIER  
1FB 1FB 1FB 1FB 1FB 1FB 1 HOUR FIRE BARRIER
- SHAFT ENCLOSURES**  
2SE 2SE 2SE 2SE 2SE 2SE 2 HOUR SHAFT ENCLOSURE  
1SE 1SE 1SE 1SE 1SE 1SE 1 HOUR SHAFT ENCLOSURE
- FIRE PARTITIONS**  
1FP 1FP 1FP 1FP 1FP 1FP 1 HOUR FIRE PARTITION  
0.5FP0.5FP0.5FP0.5FP0.5FP0.5FP 0.5 HOUR FIRE PARTITION

### MEANS OF EGRESS

- FROM ROOM OR LEVEL  
X = CLEAR WIDTH OF OPENING IN INCHES
- EXIT DISCHARGE  
X = CLEAR WIDTH OF OPENING IN INCHES
- HORIZONTAL 1-WAY
- VERTICAL EXIT ENCLOSURE
- OTHER STAIRWAY

### PRELIMINARY PROJECT DATA

OWNER	STONE HOUSE DEVELOPMENT INC.
LOCATION	
MUNICIPALITY:	CITY OF MADISON
COUNTY:	DANE
STATE:	WISCONSIN
ZONING INFORMATION	
LOCAL ZONING:	TE - TRADITIONAL EMPLOYMENT DISTRICT
APPLICABLE BUILDING CODES	
	WISCONSIN COMMERCIAL BUILDING CODE 2009 IBC AS MODIFIED BY CHAPTERS SPS 381-386 SEPTEMBER 1, 2011
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NFPA STANDARD USED	13
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A-2, F-1, M, R-2, S-1	250 FEET
B	300 FEET
S-2	400 FEET
COMMON PATH OF EGRESS	
B, F-1, S-1 & S-2	100 FEET
R-2	125 FEET
A-2, M	75 FEET

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### ISSUANCE AND REVISIONS

LAND USE APPLICATION  
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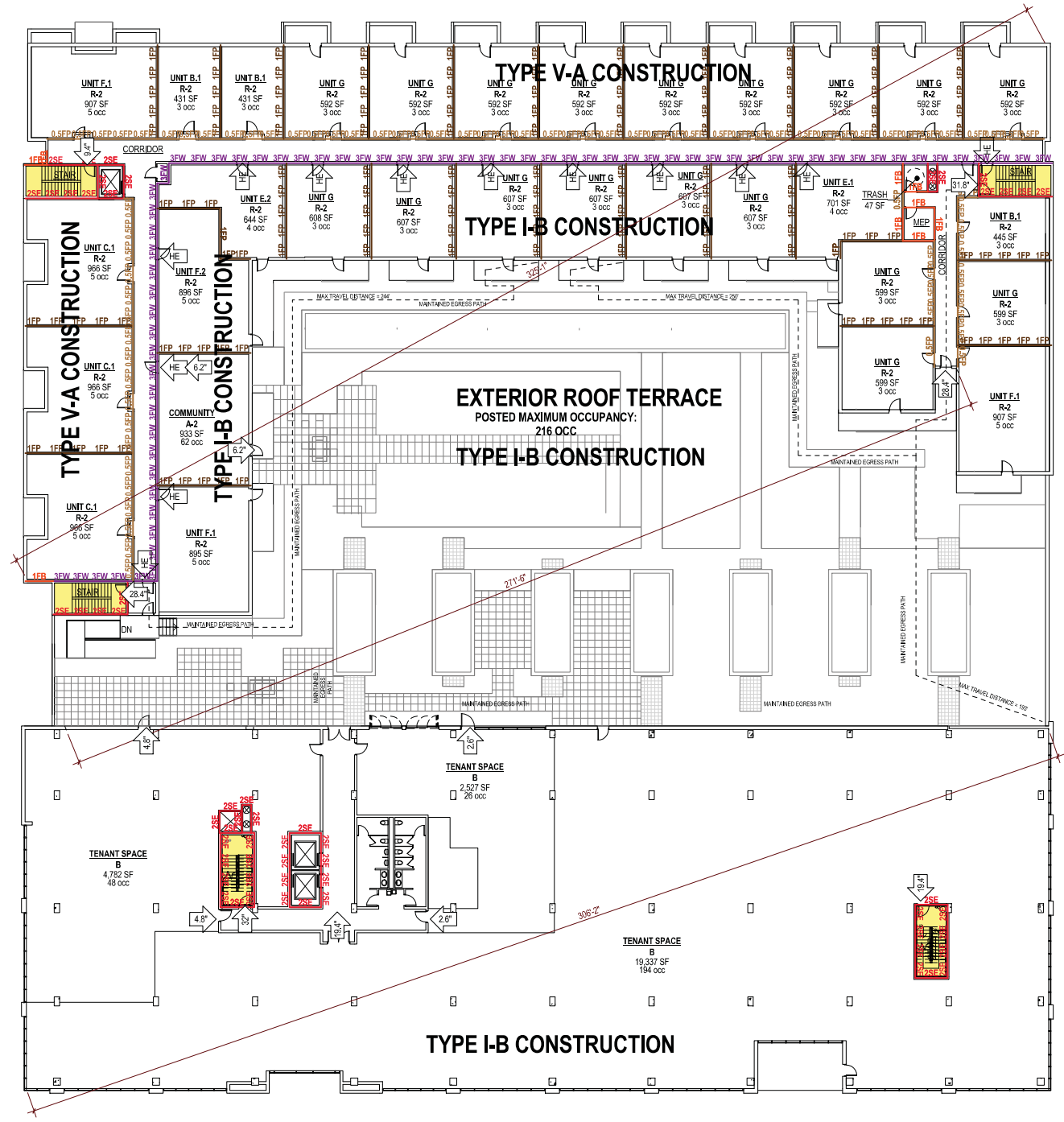
PROJECT MANAGER JP

PROJECT NUMBER 14339-01

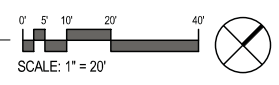
DATE 12/28/2015

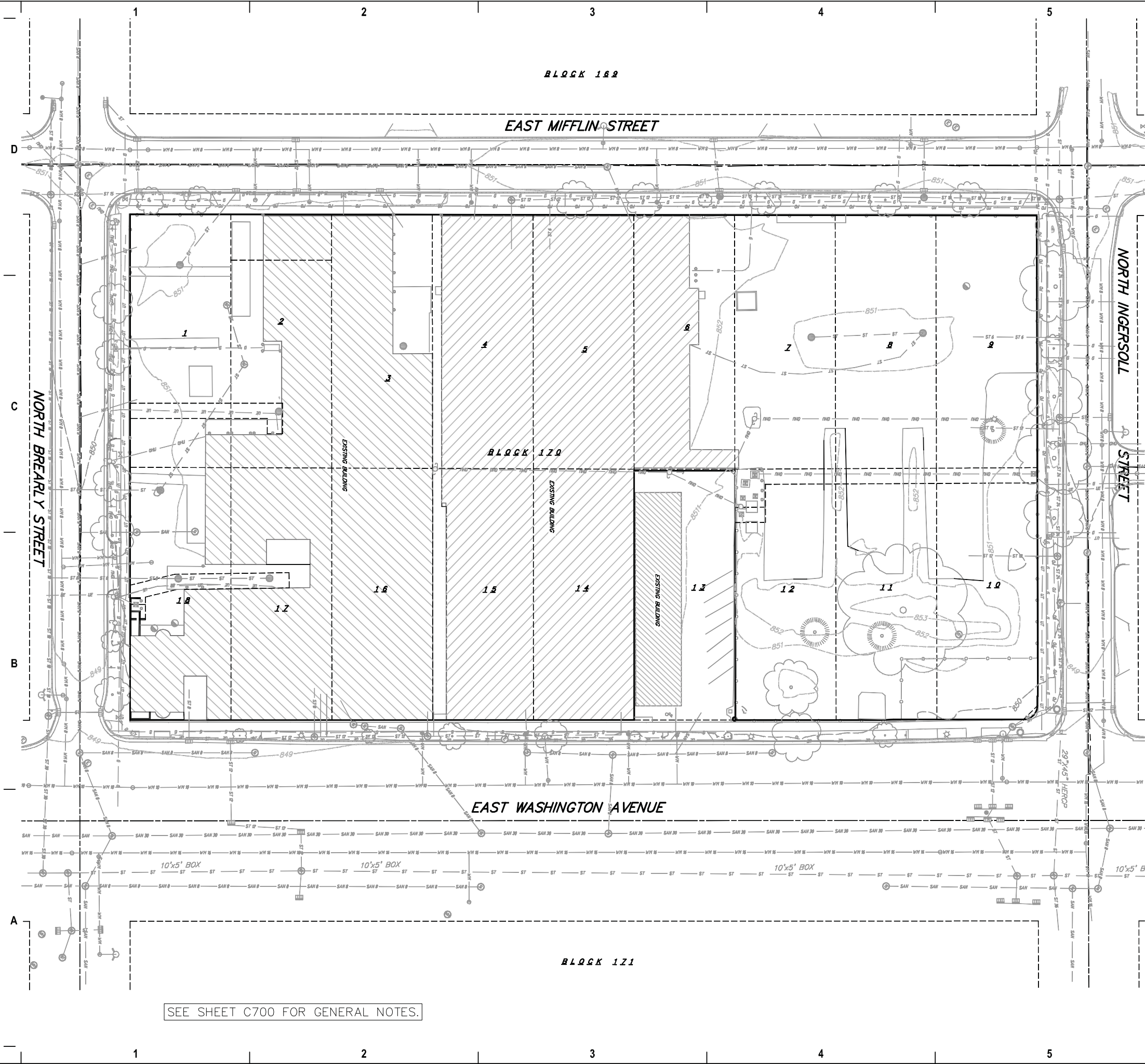
PRELIMINARY LIFE  
SAFETY PLAN

G04



3 THIRD FLOOR & FOURTH FLOOR NORTH  
1" = 20'-0"





SEE SHEET C700 FOR GENERAL NOTES.



milwaukee 333 East Chicago Street  
 Milwaukee, Wisconsin 53202  
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 madison 309 West Johnson Street, Suite 202  
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PROJECT MANAGER	JP
PROJECT NUMBER	14339-01
DATE	12/28/2015

EXISTING CONDITIONS

C100



epstein uhen : architects

milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
telephone 414.271.5350  
madison 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
telephone 608.442.5350



REEDSBURG - MADISON - PRAIRIE DU CHIEN  
999 POWER DRIVE, SUITE 201 - MADISON, WISCONSIN 53717  
PHONE: (608) 824-0332 FAX: (608) 824-0330

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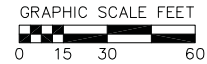
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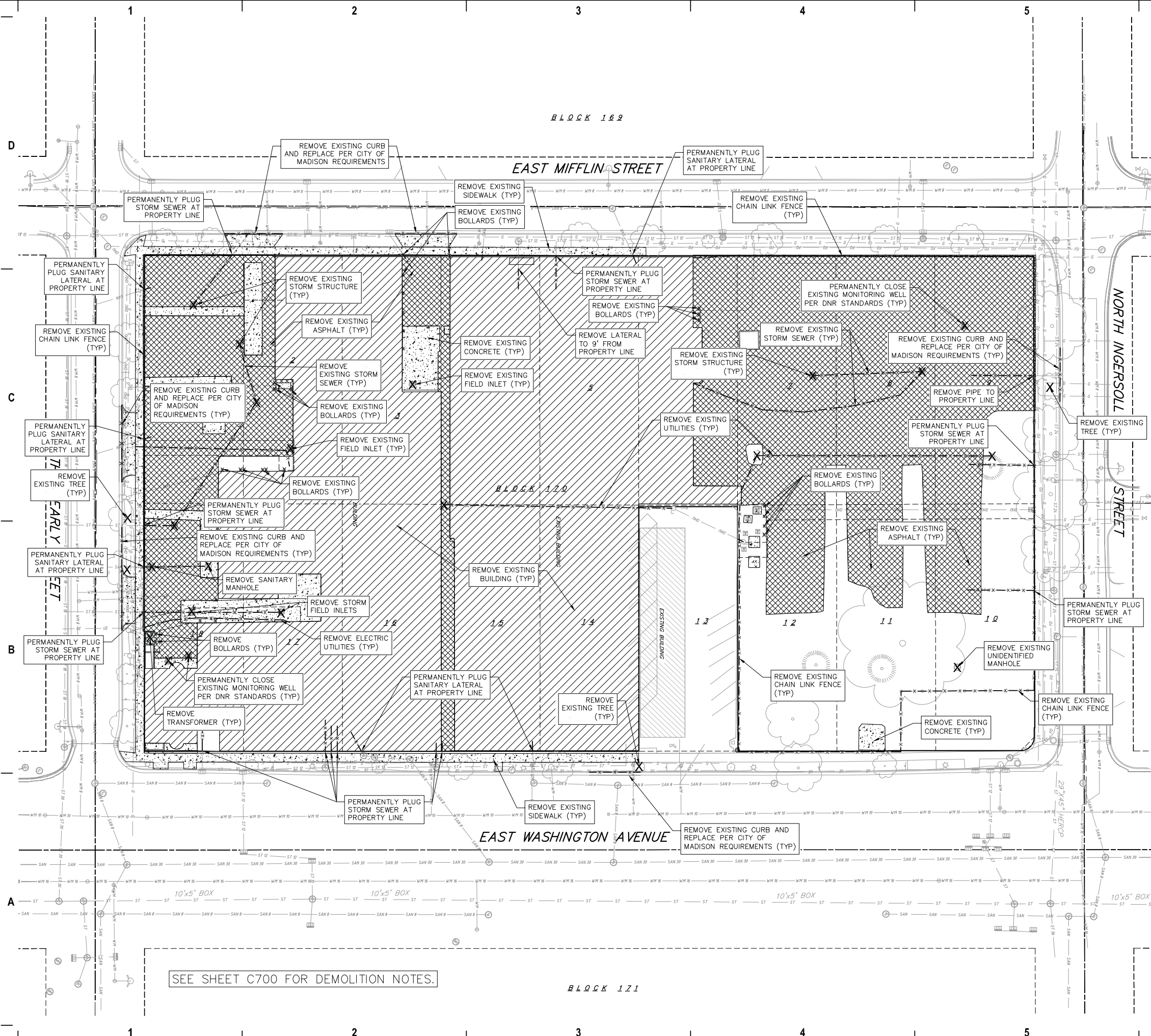
DEMOLITION PLAN

C200



DEMOLITION PLAN LEGEND

	CURB AND GUTTER REMOVAL
	ASPHALT REMOVAL
	CONCRETE REMOVAL
	BUILDING REMOVAL
	BOLLARD REMOVAL
	PERMANENT CLOSURE OF MONITORING WELL
	TREE REMOVAL
	SAWCUT
	UTILITY STRUCTURE REMOVAL
	UTILITY LINE REMOVAL
	CHAIN LINK FENCE REMOVAL
	WOOD FENCE REMOVAL



SEE SHEET C700 FOR DEMOLITION NOTES.

BLOCK 171



PROJECT INFORMATION

**STONE HOUSE  
 MIXED USE EAST  
 WASHINGTON**

1000 E.  
 WASHINGTON  
 MADISON, WI 53703

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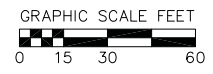
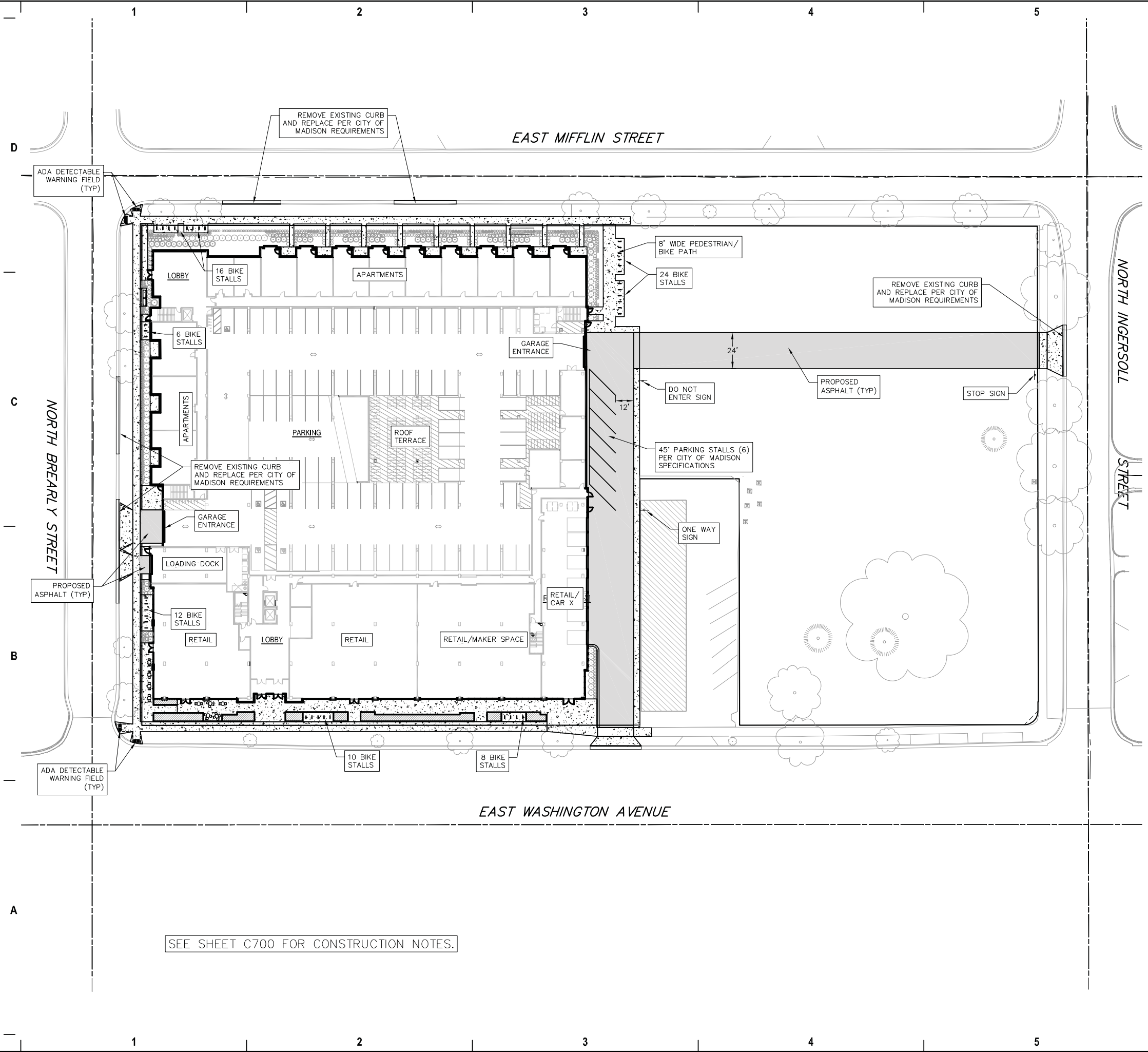
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SITE PLAN

**C300**



ABBREVIATIONS

TC	TOP OF CURB
FF	FINISHED FLOOR
FL	FLOW LINE
SW	TOP OF WALK
TW	TOP OF WALL
BW	BOTTOM OF WALL

SITE PLAN LEGEND

(Solid line)	PROPERTY BOUNDARY
(Hatched area)	CURB AND GUTTER (REVERSE CURB HATCHED)
(Stippled area)	PROPOSED CONCRETE
(Grey area)	PROPOSED ASPHALT
(Circle with cross)	PROPOSED SIGN
(Square with cross)	PROPOSED ADA DETECTABLE WARNING FIELD

SEE SHEET C700 FOR CONSTRUCTION NOTES.

**PROJECT INFORMATION**

**STONE HOUSE  
 MIXED USE EAST  
 WASHINGTON**

1000 E.  
 WASHINGTON  
 MADISON, WI 53703

**ISSUANCE AND REVISIONS**

**LAND USE APPLICATION  
 UDC FINAL REVIEW**

#	DATE	DESCRIPTION

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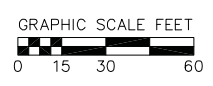
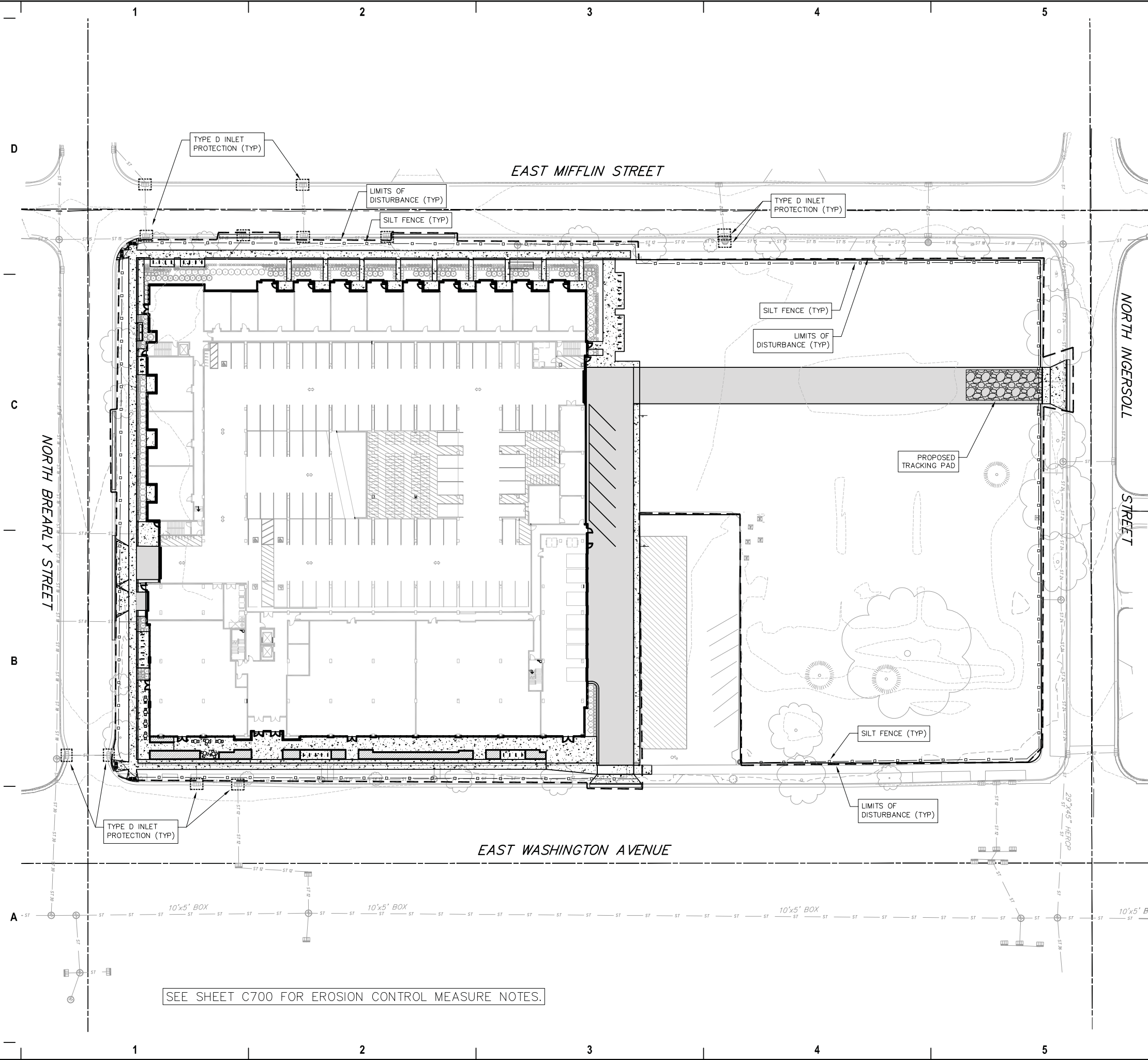
PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 12/28/2015

**EROSION CONTROL  
 PLAN**

**C400**



**ABBREVIATIONS**

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BW	BOTTOM OF WALL

**SITE PLAN LEGEND**

	PROPERTY BOUNDARY
	CURB AND GUTTER (REVERSE CURB HATCHED)
	PROPOSED CONCRETE
	PROPOSED ASPHALT
	PROPOSED SIGN
	PROPOSED ADA DETECTABLE WARNING FIELD

**EROSION CONTROL LEGEND**

	SILT FENCE
	DISTURBED LIMITS
	INLET PROTECTION
	TRACKING PAD

SEE SHEET C700 FOR EROSION CONTROL MEASURE NOTES.

#	DATE	DESCRIPTION

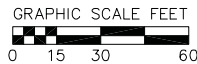
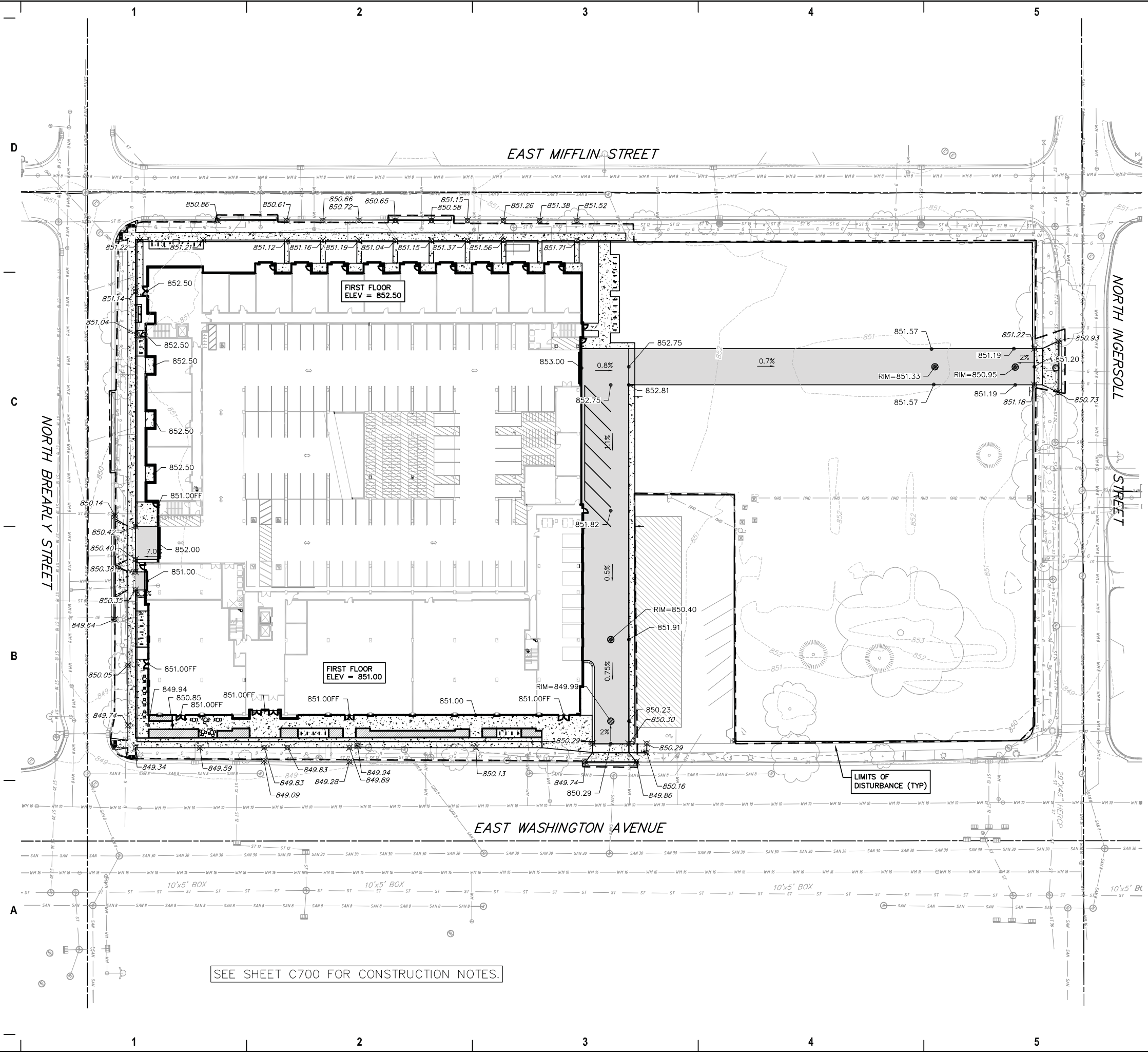
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**ABBREVIATIONS**

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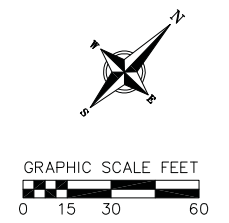
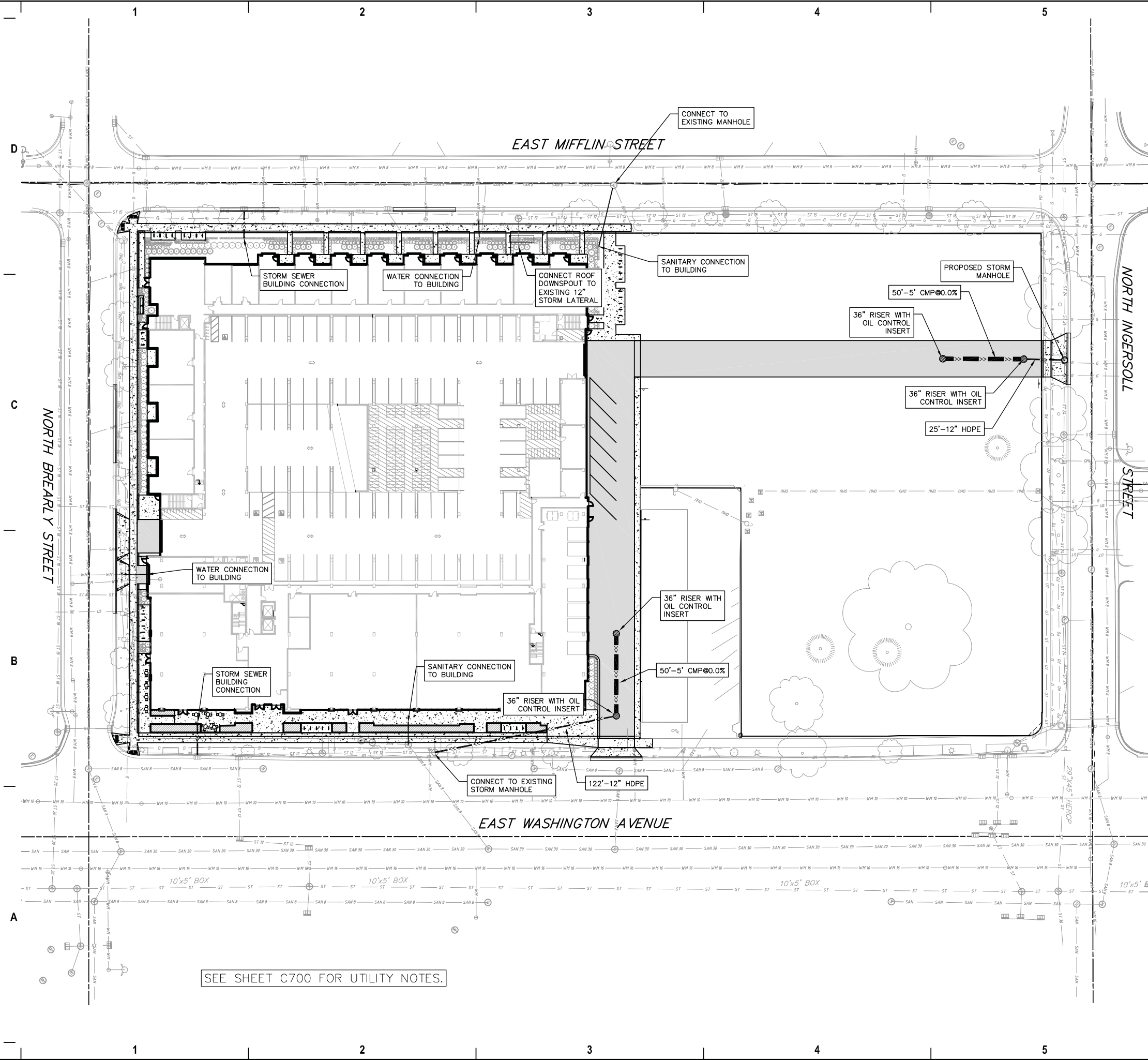
**SITE PLAN LEGEND**

	PROPERTY BOUNDARY
	CURB AND GUTTER (REVERSE CURB HATCHED)
	PROPOSED CONCRETE
	PROPOSED ASPHALT
	PROPOSED SIGN
	PROPOSED ADA DETECTABLE WARNING FIELD
	PROPOSED HANDICAP PARKING

**GRADING LEGEND**

	- 820 -	EXISTING MAJOR CONTOURS
	- 818 -	EXISTING MINOR CONTOURS
	- - -	DISTURBED LIMITS
	2.9%	PROPOSED SLOPE ARROWS
	1048.61	EXISTING SPOT ELEVATIONS
	1048.61	PROPOSED SPOT ELEVATIONS

SEE SHEET C700 FOR CONSTRUCTION NOTES.



- PROPOSED UTILITY LEGEND**
- STORM SEWER PIPE
  - STORM SEWER MANHOLE
  - STORM SEWER ENDWALL
  - STORM SEWER CURB INLET
  - STORM SEWER CURB INLET W/MANHOLE
  - STORM SEWER FIELD INLET
  - ROOF DRAIN CLEANOUT
  - SANITARY SEWER PIPE (GRAVITY)
  - SANITARY SEWER LATERAL PIPE
  - SANITARY SEWER MANHOLE
  - SANITARY SEWER CLEANOUT
  - WATER MAIN
  - WATER SERVICE LATERAL PIPE
  - FIRE HYDRANT
  - WATER VALVE
  - CURB STOP
  - PROPOSED PIPE INSULATION

- ABBREVIATIONS**
- STMH - STORM MANHOLE
  - FI - FIELD INLET
  - CI - CURB INLET
  - CB - CATCH BASIN
  - EW - ENDWALL
  - SMH - SANITARY MANHOLE



milwaukee 333 East Chicago Street  
 Milwaukee, Wisconsin 53202  
 telephone 414.271.5350

madison 309 West Johnson Street, Suite 202  
 Madison, Wisconsin 53703  
 telephone 608.442.5350



REEDSBURG - MADISON - PRAIRIE DU CHIEN  
 999 Fourth Drive, Suite 201 Madison, Wisconsin 53717  
 phone: (608) 836-8332 fax: (608) 836-8330

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 WASHINGTON  
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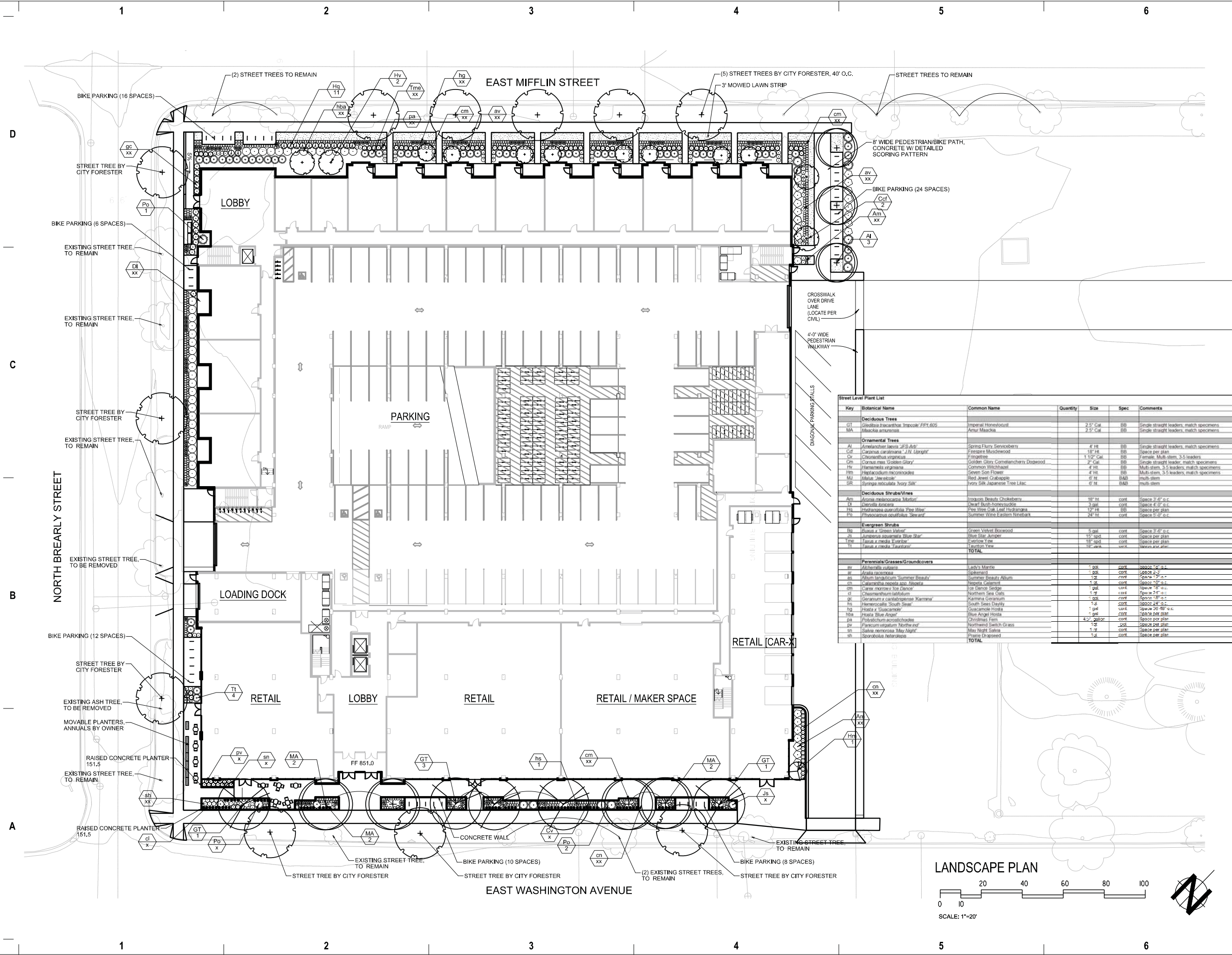
PROJECT MANAGER	JP
PROJECT NUMBER	14339-01
DATE	12/28/2015

**UTILITY PLAN**

**C600**

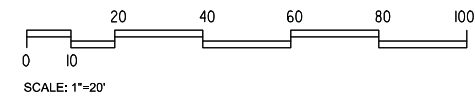
SEE SHEET C700 FOR UTILITY NOTES.





Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments
<b>Deciduous Trees</b>						
GT	<i>Gleditsia triacanthos</i> 'Imperial' PPL 605	Imperial Honeylocust	2.5'	Cal	RB	Single straight leaders, match specimens
MA	<i>Maackia amurensis</i>	Amer Maackia	2.5'	Cal	RB	Single straight leaders, match specimens
<b>Ornamental Trees</b>						
AI	<i>Asteroides laevis</i> 'JES Ash'	Spring Elm, Serviceberry	4	HT	RB	Single straight leaders, match specimens
Ccf	<i>Caragana caroliniana</i> 'J.N. Upright'	Fraxinea Muskweed	10'	HT	RB	Space per plan
Ov	<i>Chionodoxa virginica</i>	Fringetree	1	1/2" Cal	RB	Female, Multi-stem, 3-5 leaders
Om	<i>Cornus mas</i> 'Soleim Glory'	Golden Spice Corneliancherry Dogwood	2"	Cal	RB	Single straight leader, match specimens
Hv	<i>Hamelia virginiana</i>	Common Witchhazel	4	HT	RB	Multi-stem, 3-5 leaders, match specimens
Hm	<i>Hesperaloe parviflora</i>	Seven Son Flower	4	HT	RB	Multi-stem, 3-5 leaders, match specimens
ML	<i>Milvium</i> 'Sea Island'	Red Jewel Crabapple	6'	HT	DBD	Multi-stem
SR	<i>Sorbus aucuparia</i> 'Judy Silk'	Seven Star Japanese Tree Lilac	6'	HT	DBD	Multi-stem
<b>Deciduous Shrubs/Vines</b>						
Am	<i>Amelanchier canadensis</i> 'Violet'	Ironwood Beauty Chokeberry	10'	HT	cont.	Space 3'-6" o.c.
Di	<i>Diervilla lonicera</i>	Dwarf Bush honeysuckle	3	gal	cont.	Space 4'-0" o.c.
HS	<i>Hydrangea serrata</i> 'Fire Wheel'	Fire Wheel Oak Leaf Hydrangea	12'	HT	RB	Space per plan
FR	<i>Fraxinus americana</i> 'Starburst'	Starburst White Ash	24'	HT	cont.	Space 5'-0" o.c.
<b>Evergreen Shrubs</b>						
Na	<i>Nandina domestica</i> 'Green Velvet'	Green Velvet Boxwood	5	gal	cont.	Space 3'-6" o.c.
JS	<i>Juniperus squarata</i> 'Blue Star'	Blue Star Juniper	15'	spc	cont.	Space per plan
TR	<i>Taxus media</i> 'Fletcher'	Fletcher Tree	10'	spc	cont.	Space per plan
TR	<i>Taxus canadensis</i> 'Fletcher'	Fletcher Tree	10'	spc	cont.	Space per plan
<b>Perennials/Grasses/Groundcovers</b>						
lv	<i>Liatris scariosa</i>	Lady's Mantle	1	gal	cont.	Space 2'-0" o.c.
av	<i>Asplenium platyneuron</i>	Spleenwort	1	gal	cont.	Space 2'-0" o.c.
sa	<i>Salvia nemorosa</i> 'Summer Beauty'	Summer Beauty Salvia	1	gal	cont.	Space 2'-0" o.c.
cn	<i>Calluna vulgaris</i> 'sp. Nepeta'	Nepeta Catmint	1	gal	cont.	Space 2'-0" o.c.
cm	<i>Carex nictitans</i> 'Ice Dance'	Ice Dance Sedge	1	gal	cont.	Space 2'-0" o.c.
cl	<i>Chamaenerion latifolium</i>	Northern Sea Cat's	1	gal	cont.	Space 2'-0" o.c.
ge	<i>Geranium x cantabrigiae</i> 'Karmen'	Karmen Geranium	1	gal	cont.	Space 2'-0" o.c.
hs	<i>Hemerocallis</i> 'South Star'	South Star Daylily	1	gal	cont.	Space 2'-0" o.c.
hd	<i>Hosta x 'Sungazer'</i>	Swamp Hosta	1	gal	cont.	Space 2'-0" o.c.
hba	<i>Hosta</i> 'Blue Angel'	Blue Angel Hosta	1	gal	cont.	Space per plan
pa	<i>Polystichum acrostichoides</i>	Christmas Fern	4.5'	gal	cont.	Space per plan
pv	<i>Panicum virgatum</i> 'Mantle of Gold'	Northwest Switch Grass	1	gal	cont.	Space per plan
sn	<i>Salvia nemorosa</i> 'May Night'	May Night Salvia	1	gal	cont.	Space per plan
sh	<i>Scorobolus heterostachus</i>	Purple Dropseed	1	gal	cont.	Space per plan
<b>TOTAL</b>						

LANDSCAPE PLAN



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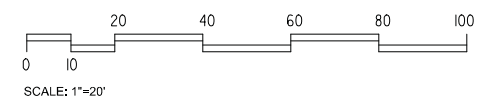
Key	Botanical Name	Common Name	Quantity	Size	Size	Comments
<b>Shrubs</b>						
MS	Makia sargenti 'Tina'	Tina Sargent Crabapple	1'	18" H&B	12" x 10" ft	Multi-stemmed
RE	Rhus typhina 'Baileger'	Tiger Eyes Sumac	1'	18" H&B	12" x 10" ft	Specimen
<b>Perennials and vines</b>						
am	Allium 'Summer Beauty'	Summer Beauty Ornamental Onion	4	1/4" pot	12" x 10" ft	space 18" on center
as	Aster sericeus	Silky Aster	4	1/4" pot	12" x 10" ft	space 18" on center
cv	Coreopsis verticillata 'Tweety'	Tweety Threadleaf Tickseed	4	1/4" pot	12" x 10" ft	space 18" on center
rf	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	4	1/4" pot	12" x 10" ft	space 18" on center
sr	Sedum floriferum 'Weihenstephan Gold'	Weihenstephaner Gold Sedum	4	1/4" pot	12" x 10" ft	space 18" on center
ss	Sedum spectabile 'Brilliant'	Standout Sedum	4	1/4" pot	12" x 10" ft	space 18" on center
sa	Sesleria autumnalis	Autumn Moor Grass	4	1/4" pot	10" sq. 4'-5" ft	space 18" on center
<b>Extensive Green Roof - mix 1</b>						
	Sedum acre 'Aureum'			pre-grown green roof modules	12" x 10" ft	Shade Fanfare Mix
	Sedum hybridum 'Immergruendchen'				12" x 15" spd 1'-2" ft	
	Sedum rubrotinctum					
	Sedum spectabile 'Elatum'				5' spd 4'-5" ft	
	Sedum spurium 'Royal Pink'					
<b>Extensive Green Roof - mix 2</b>						
	Sedum acre 'Aureum'			pre-grown green roof modules		Modern Mix
	Sedum album 'Coral Carpet'					
	Sedum album 'Coral Carpet'					
	Sedum album 'Coral Carpet'					
	Sedum album 'Coral Carpet'					
	Sedum album 'Coral Carpet'					
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- Allium 'Summer Beauty'
- Aster sericeus
- Coreopsis verticillata 'Tweety'
- Nepeta x faassenii 'Walker's Low'
- Sedum floriferum 'Weihenstephan'
- Sedum spectabile 'Brilliant'
- Sesleria autumnalis

- STONE BALLAST
- SEDUM
- GUARDRAIL/ PARAPET
- RAISED PLANTER
- PAVER EDGE
- STONE BALLAST



3RD FLOOR ROOF  
TERRACE LANDSCAPE  
PLAN



D

C

B

A

D

C

B

A



eppstein uhen : architects

milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
telephone 414.271.5350  
madison 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
telephone 608.442.5350



303 S. PATERSON  
SUITE ONE  
MADISON, WI 53703  
Phone: 608.951-3600

PROJECT INFORMATION

STONE HOUSE  
MIXED USE EAST  
WASHINGTON

1000 E.  
WASHINGTON  
MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION  
UDC FINAL REVIEW

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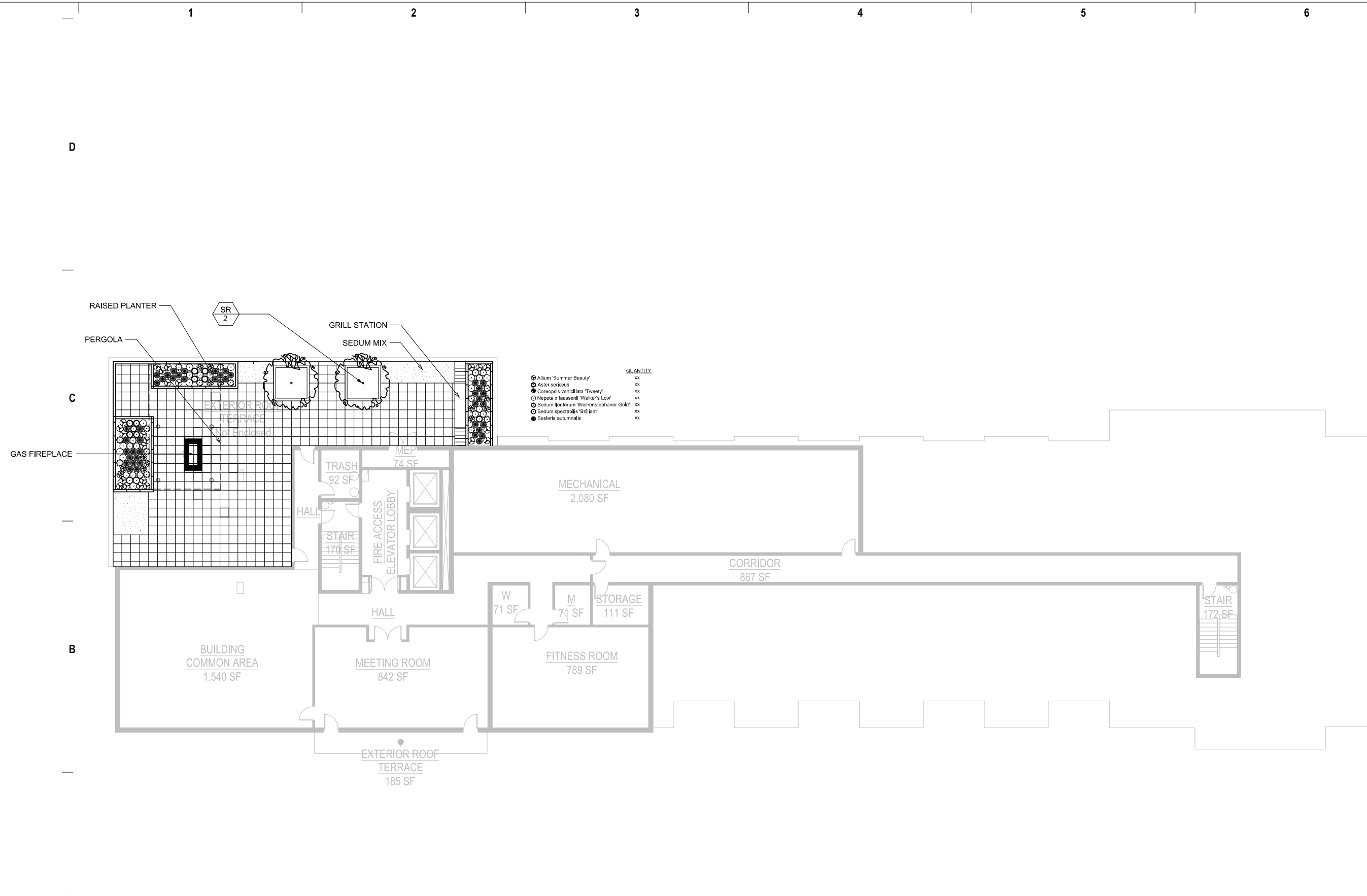
PROJECT MANAGER JP

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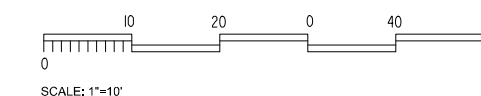
DATE 12/28/2015

ADA REQUIREMENTS

L-3



11TH FLOOR ROOF  
TERRACE LANDSCAPE  
PLAN







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milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
telephone 414.271.5350  
madison 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
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WASHINGTON**

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WASHINGTON  
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EXISTING SITE

**A00**

D



VIEW FROM EAST WASHINGTON AND LIVINGSTON LOOKING EAST

C



VIEW FROM EAST WASHINGTON LOOKING EAST



VIEW FROM EAST WASHINGTON AND INGERSOLL LOOKING WEST

B



A VIEW FROM MIFFLIN AND INGERSOLL LOOKING SOUTH

A



VIEW FROM MIFFLIN LOOKING SOUTH



VIEW FROM MIFFLIN AND BREADY LOOKING EAST

A



**eppstein uhen : architects**

milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
telephone 414.271.5350  
madison 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
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EXISTING SITE

**A01**

D



VIEW FROM EAST WASHINGTON OF EXISTING MADISON DAIRY



VIEW FROM EAST WASHINGTON LOOKING NORTHEAST

C



VIEW FROM EAST WASHINGTON OF EXISTING MADISON DAIRY

B



A VIEW FROM MIFFLIN AND INGERSOLL LOOKING WEST



VIEW FROM MIFFLIN LOOKING NORTHEAST

A



VIEW FROM INSIDE BREESE STEVENS FIELD LOOKING WEST

B

A

1

2

3

4

5

6

1

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6

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BUILDING SETBACKS

**A02**

1 2 3 4 5 6

D

CONSTELLATION 12 STORIES

GALAXIE 14 STORIES

BREESE STEVENS FIELD

PROPOSED DEVELOPMENT 10 STORIES

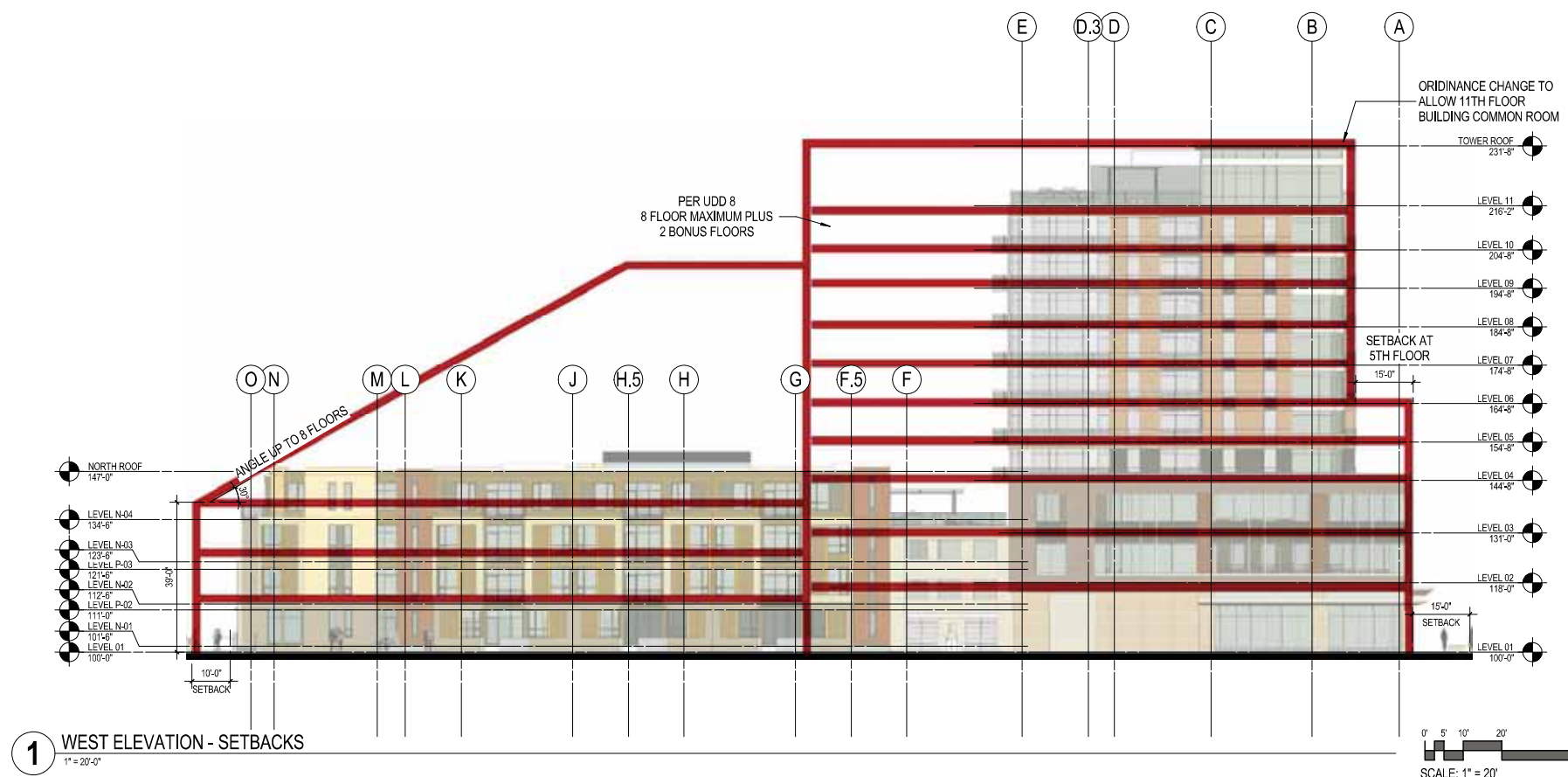


C

DENSITY PROFILE

B

A



**1 WEST ELEVATION - SETBACKS**  
1" = 20'-0"

1 2 3 4 5 6



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milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
telephone 414.271.5350  
madison 309 West Johnson Street, Suite 202  
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LEVEL 01 & LEVEL  
N-01 FLOOR PLAN

**A03**

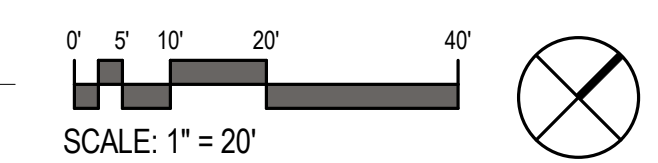
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**PARKING SUMMARY**

CALCULATED VEHICLE PARKING REQUIRED:	352 SPACES
VEHICLE PARKING PROVIDED:	362 SPACES
CALCULATED INDOOR BICYCLE PARKING REQUIRED:	206 SPACES
CALCULATED OUTDOOR BICYCLE PARKING REQUIRED:	54 SPACES
INDOOR FLOOR MOUNTED BICYCLE PARKING PROVIDED:	188 SPACES (91% OF 206)
INDOOR WALL MOUNTED BICYCLE PARKING PROVIDED:	85 SPACES
OUTDOOR BICYCLE PARKING PROVIDED:	76 SPACES
CALCULATED REQUIRED VEHICULAR PARKING INCLUDES 10% PARKING REDUCTION & REDUCTION DUE TO BICYCLE PARKING SUBSTITUTION	

**1** LEVEL 01 / LEVEL N-01 FLOOR PLAN  
1" = 20'-0"





eppstein uhen : architects

milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
telephone 414.271.5350  
madison 309 West Johnson Street, Suite 202  
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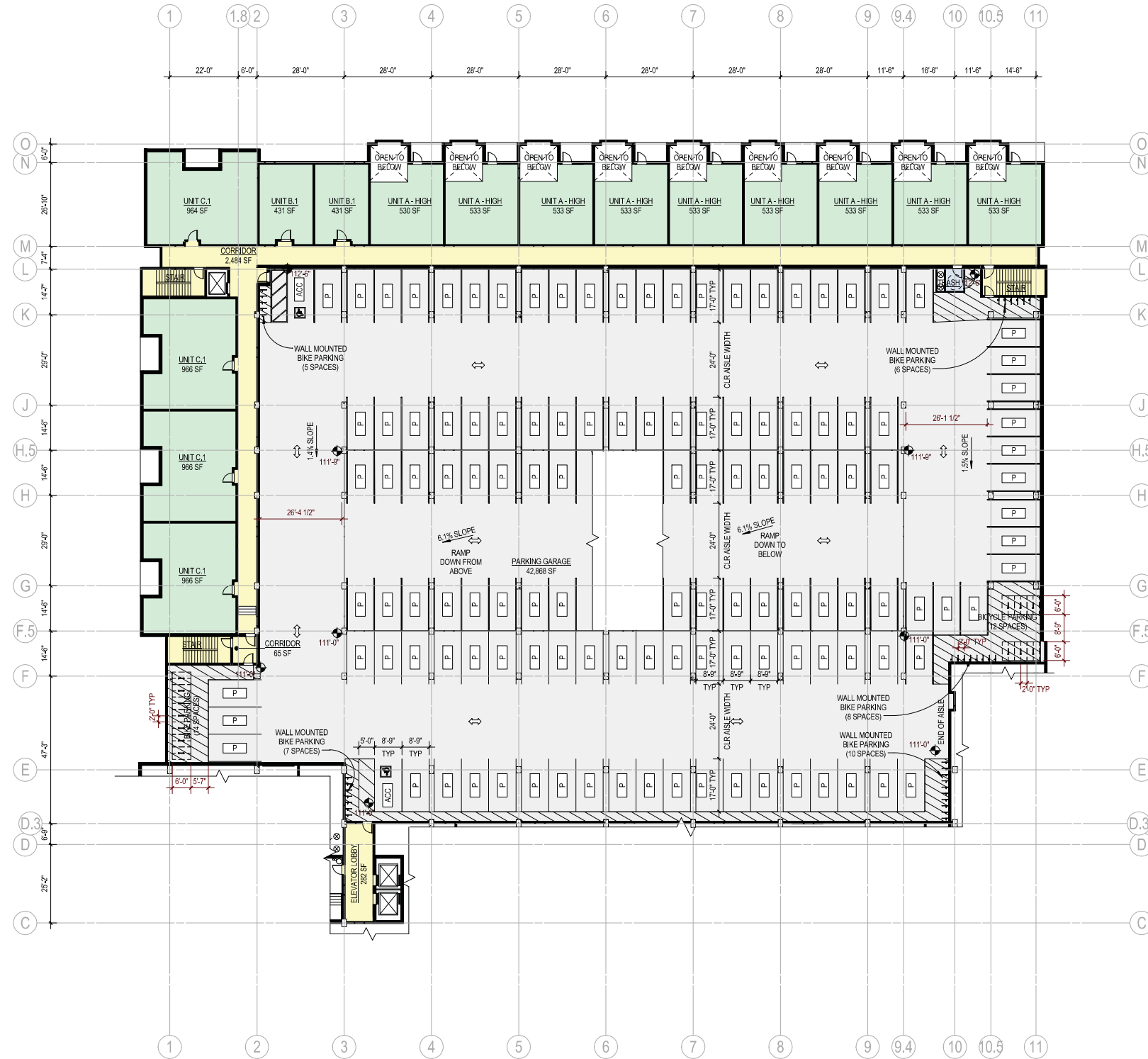
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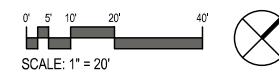
LEVEL N-02 & LEVEL  
P-02 FLOOR PLAN

**A04**



<b>PARKING SUMMARY</b>	
CALCULATED VEHICLE PARKING REQUIRED:	352 SPACES
VEHICLE PARKING PROVIDED:	368 SPACES
CALCULATED INDOOR BICYCLE PARKING REQUIRED:	204 SPACES
CALCULATED OUTDOOR BICYCLE PARKING REQUIRED:	54 SPACES
INDOOR FLOOR MOUNTED BICYCLE PARKING PROVIDED:	187 SPACES (92% OF 204)
INDOOR WALL MOUNTED BICYCLE PARKING PROVIDED:	85 SPACES
OUTDOOR BICYCLE PARKING PROVIDED:	76 SPACES
CALCULATED REQUIRED VEHICULAR PARKING INCLUDES 10% PARKING REDUCTION & REDUCTION DUE TO BICYCLE PARKING SUBSTITUTION	

**1** LEVEL N-02 & LEVEL P-02 FLOOR PLAN  
1" = 20'-0"



D  
C  
B  
A

D  
C  
B  
A

1 2 3 4 5 6

1 2 3 4 5 6

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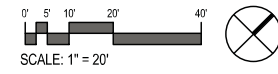
DATE 12/28/2015

**LEVEL 02, LEVEL  
N-03, & LEVEL P-03  
FLOOR PLAN**

**A05**



**1** LEVEL 02, LEVEL N-03, & LEVEL P-03 FLOOR PLAN  
1" = 20'-0"



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CALCULATED VEHICLE PARKING REQUIRED:	352 SPACES
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CALCULATED REQUIRED VEHICULAR PARKING INCLUDES 10% PARKING REDUCTION & REDUCTION DUE TO BICYCLE PARKING SUBSTITUTION	



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milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
telephone 414.271.5350  
madison 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
telephone 608.442.5390

PROJECT INFORMATION

STONE HOUSE  
MIXED USE EAST  
WASHINGTON

1000 E.  
WASHINGTON  
MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION  
UDC FINAL REVIEW

#	DATE	DESCRIPTION

SHEET INFORMATION

**PROGRESS DOCUMENTS  
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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

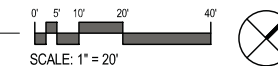
DATE 12/28/2015

LEVEL 03 & LEVEL  
N-04 FLOOR PLAN

**A06**



**1** LEVEL 03 & LEVEL N-04 FLOOR PLAN  
1" = 20'-0"





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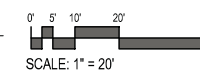
DATE 12/28/2015

LEVEL 04 FLOOR  
PLAN

**A07**



**1** LEVELS 04 - 10 FLOOR PLAN (TYPICAL)  
1" = 20'-0"







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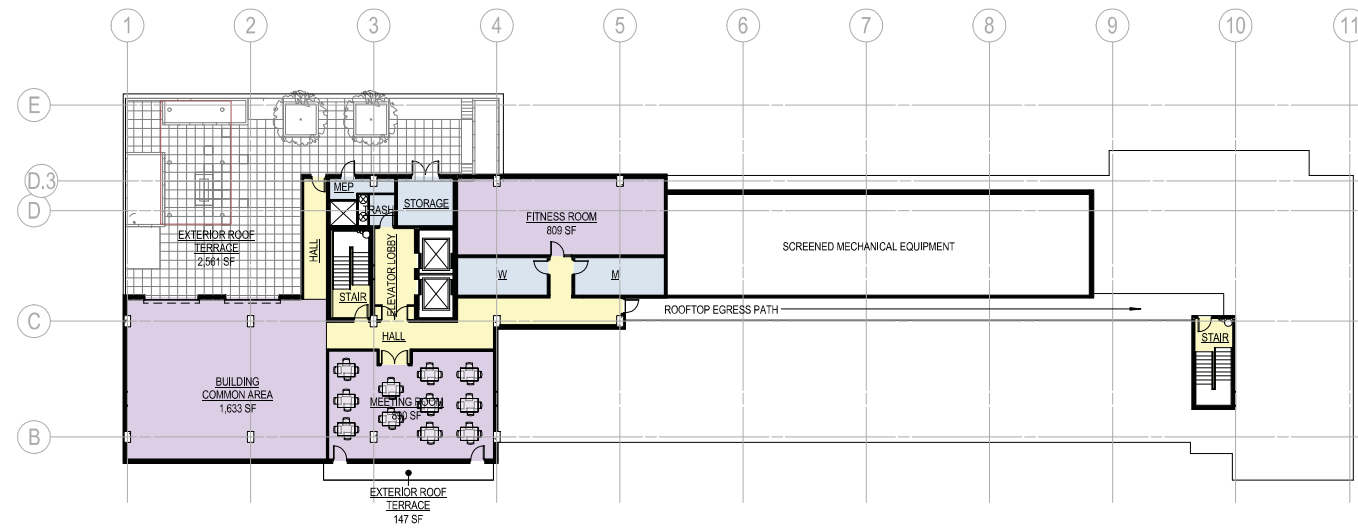
PROJECT MANAGER JP

PROJECT NUMBER 14339-01

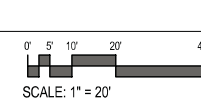
DATE 12/28/2015

LEVELS 05-11  
FLOOR PLANS

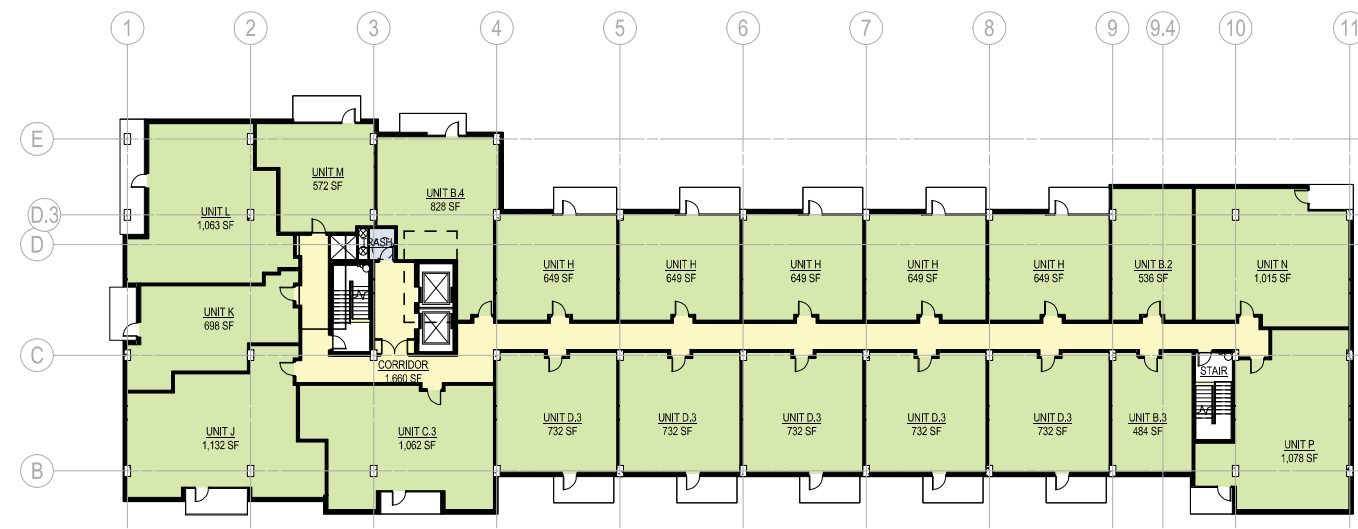
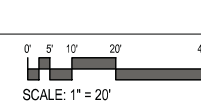
**A08**



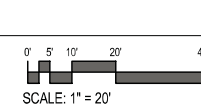
3 LEVEL 11 FLOOR PLAN  
1" = 20'-0"



2 LEVELS 09-10  
1" = 20'-0"



1 LEVELS 05-08  
1" = 20'-0"





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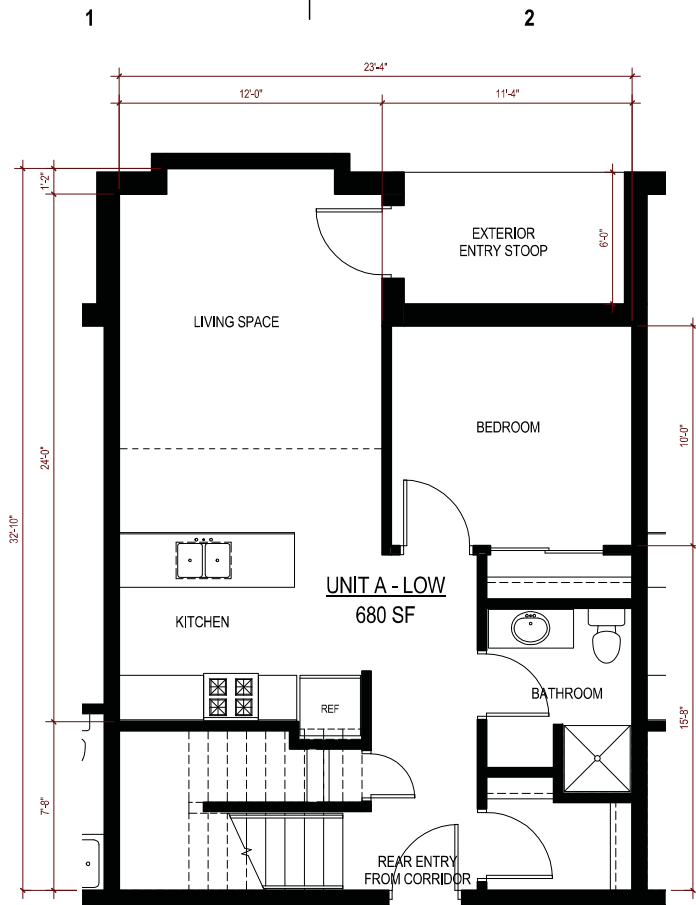
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PROJECT NUMBER 14339-01

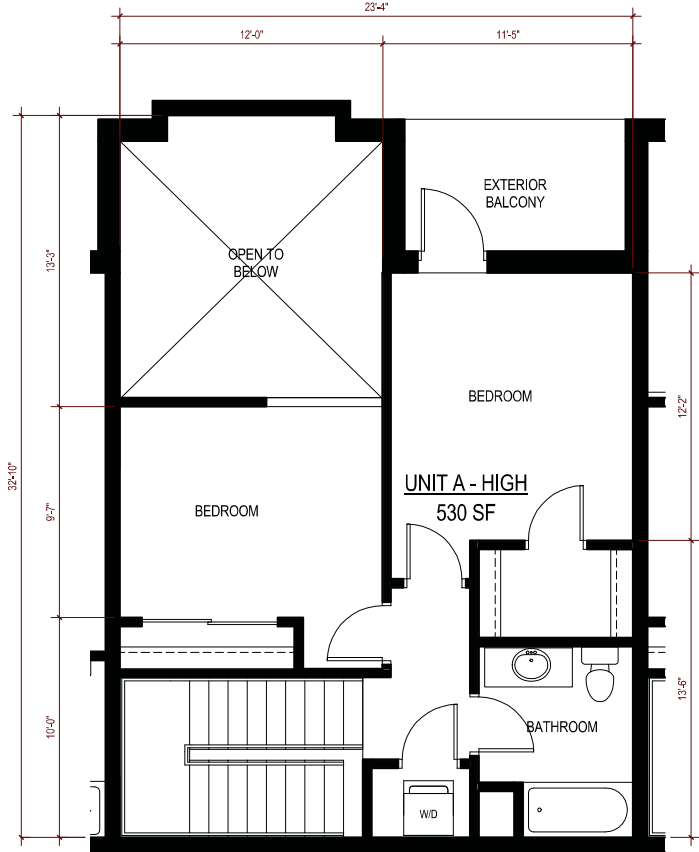
DATE 12/28/2015

UNIT FLOOR PLANS

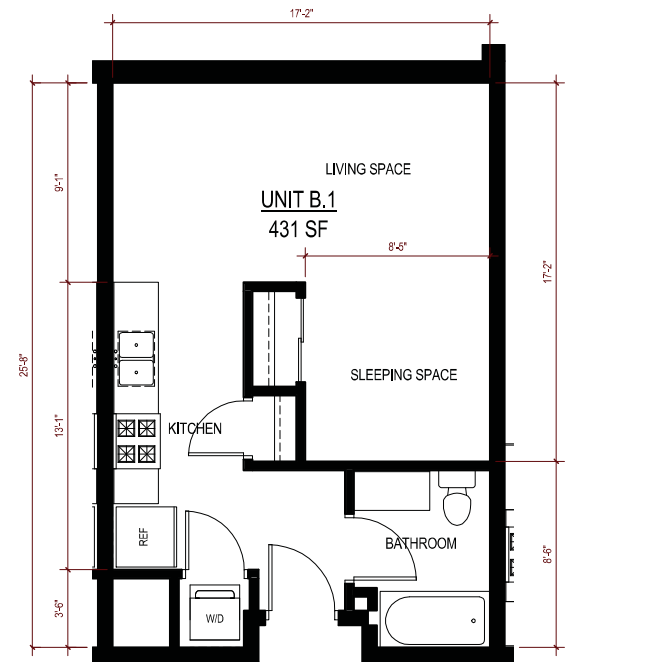
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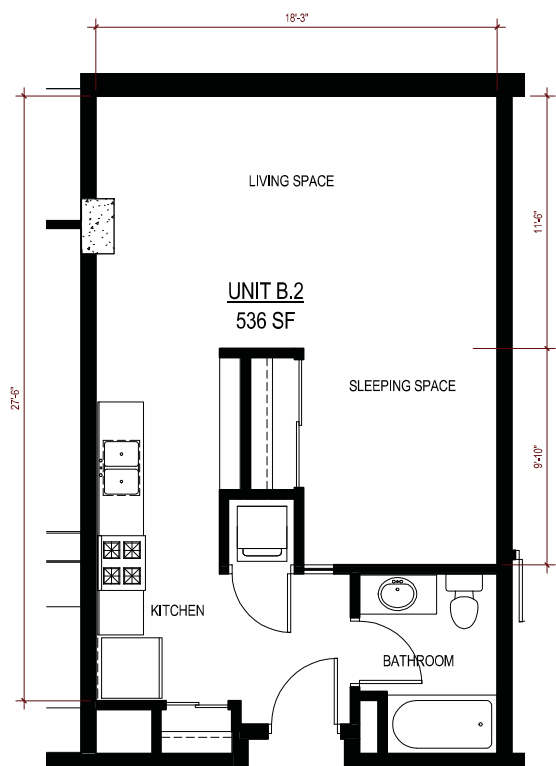
**1** UNIT A - LOWER LEVEL (AFFORDABLE TOWNHOME)  
1/4" = 1'-0" SCALE: 1/4" = 1'-0"



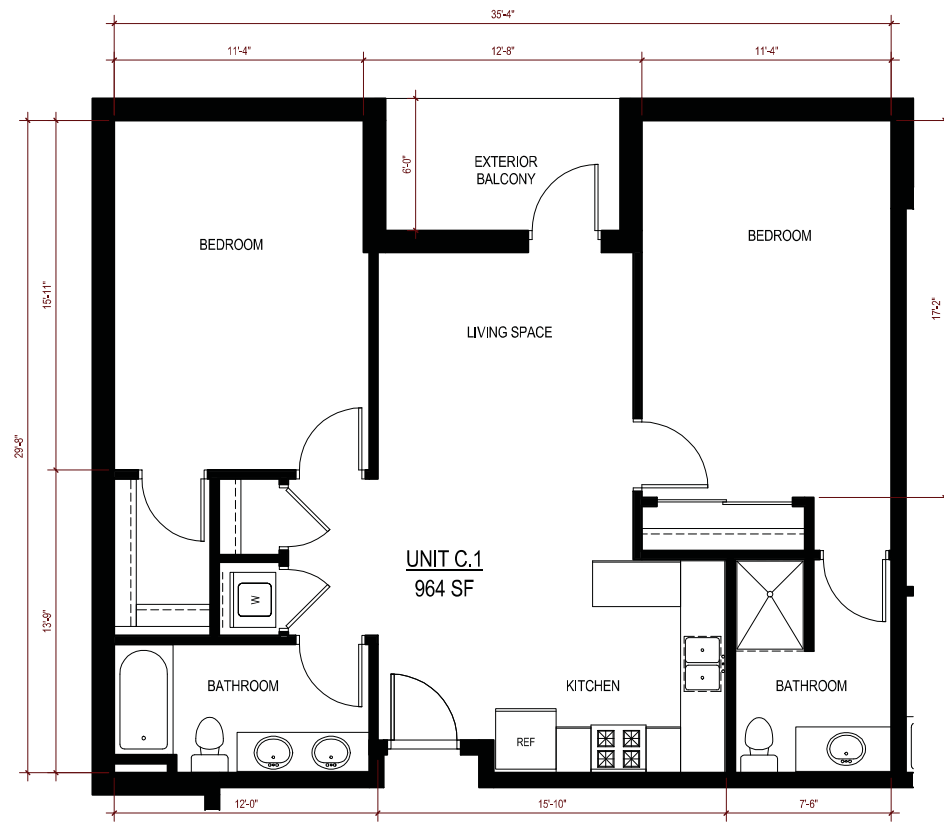
**2** UNIT A - HIGHER LEVEL (AFFORDABLE TOWNHOME)  
1/4" = 1'-0" SCALE: 1/4" = 1'-0"



**3** UNIT B.1 (AFFORDABLE APARTMENT)  
1/4" = 1'-0" SCALE: 1/4" = 1'-0"



**4** UNIT B.2 (MARKET-RATE APARTMENT)  
1/4" = 1'-0" SCALE: 1/4" = 1'-0"



**5** UNIT C.1 (AFFORDABLE APARTMENT)  
1/4" = 1'-0" SCALE: 1/4" = 1'-0"



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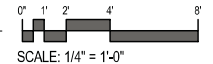
DATE 12/28/2015

UNIT FLOOR PLANS

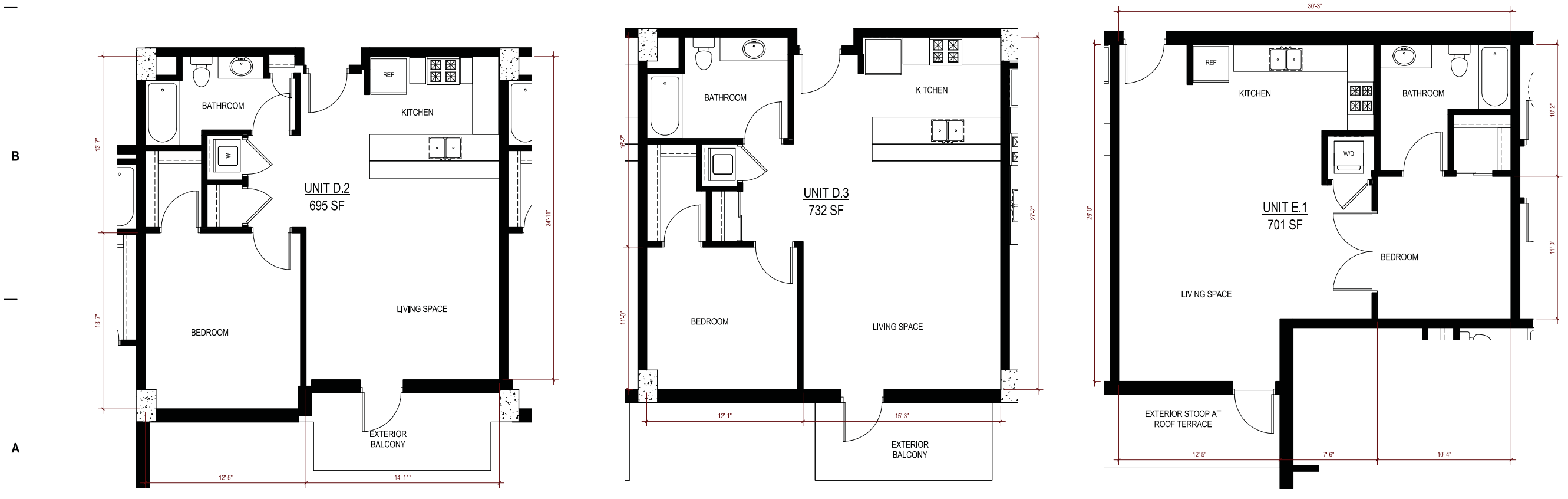
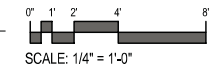
A10



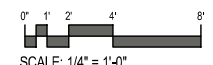
1 UNIT C.3 (MARKET-RATE APARTMENT)  
1/4" = 1'-0"



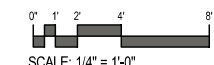
2 UNIT D.1 (AFFORDABLE APARTMENT)  
1/4" = 1'-0"



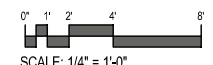
3 UNIT D.2 (MARKET-RATE APARTMENT)  
1/4" = 1'-0"



4 UNIT D.3 (MARKET-RATE APARTMENT)  
1/4" = 1'-0"



5 UNIT E.1 (AFFORDABLE APARTMENT)  
1/4" = 1'-0"



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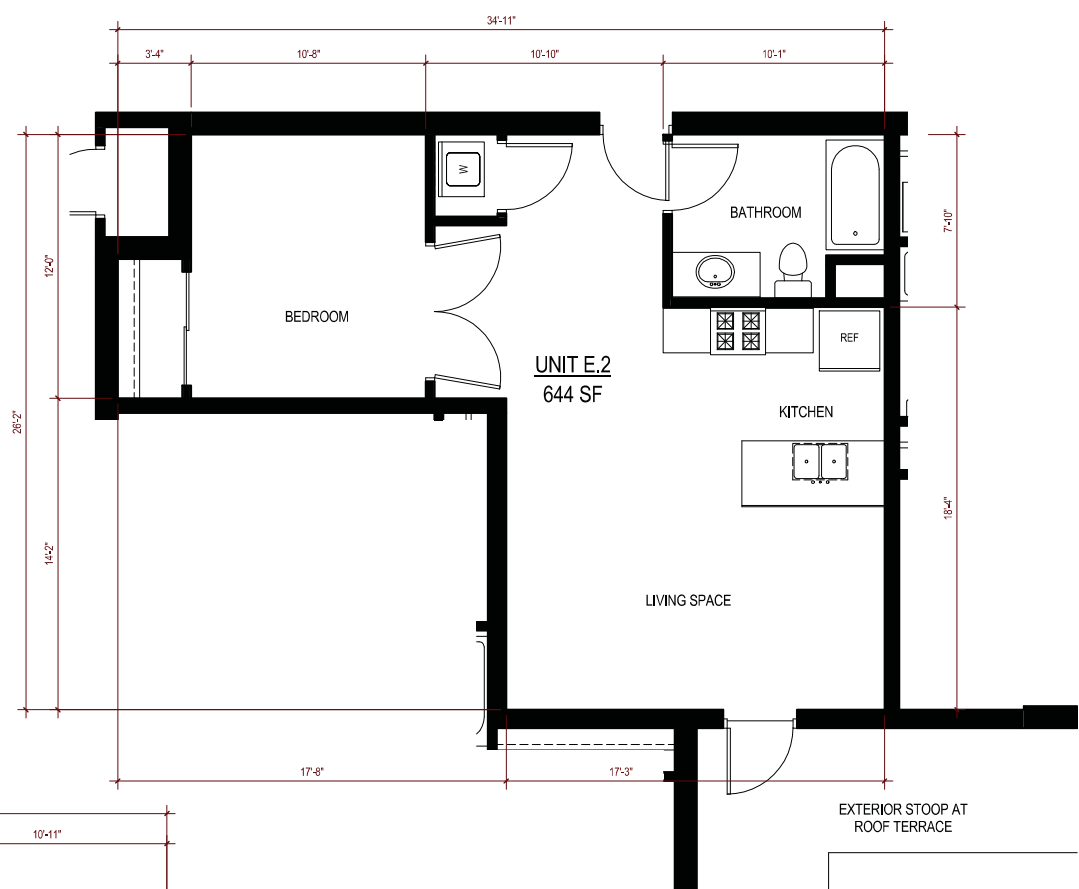
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PROJECT NUMBER 14339-01

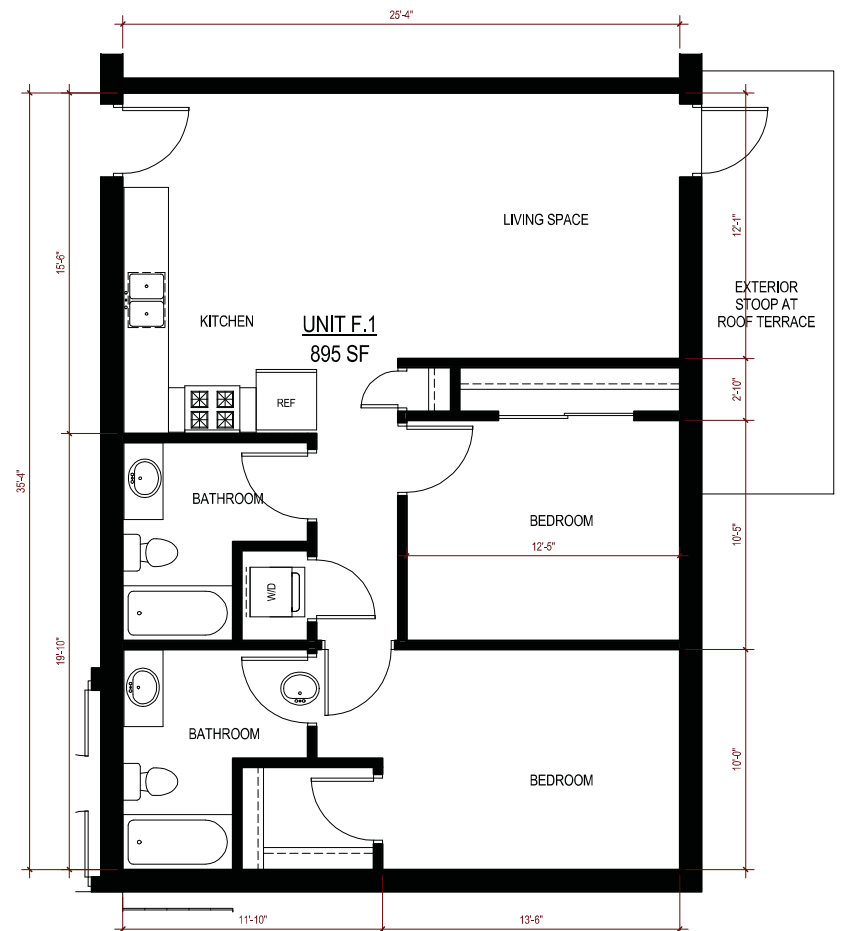
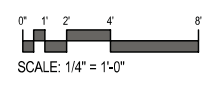
DATE 12/28/2015

UNIT FLOOR PLANS

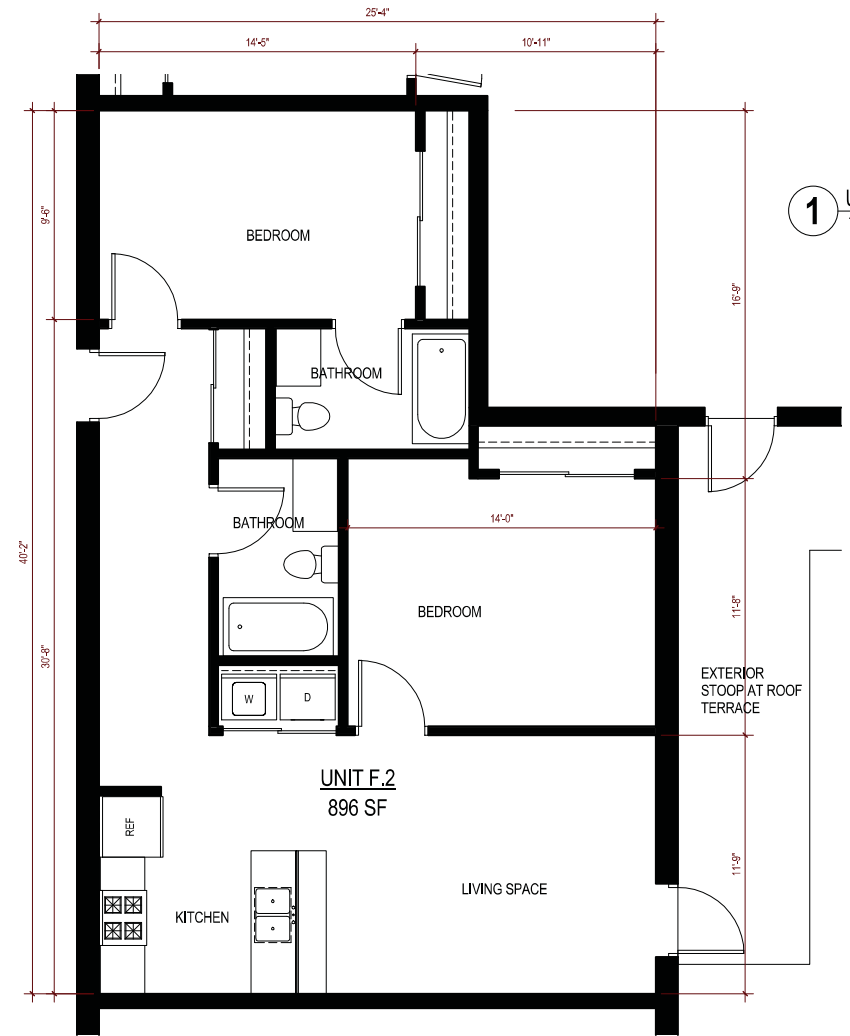
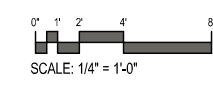
**A11**



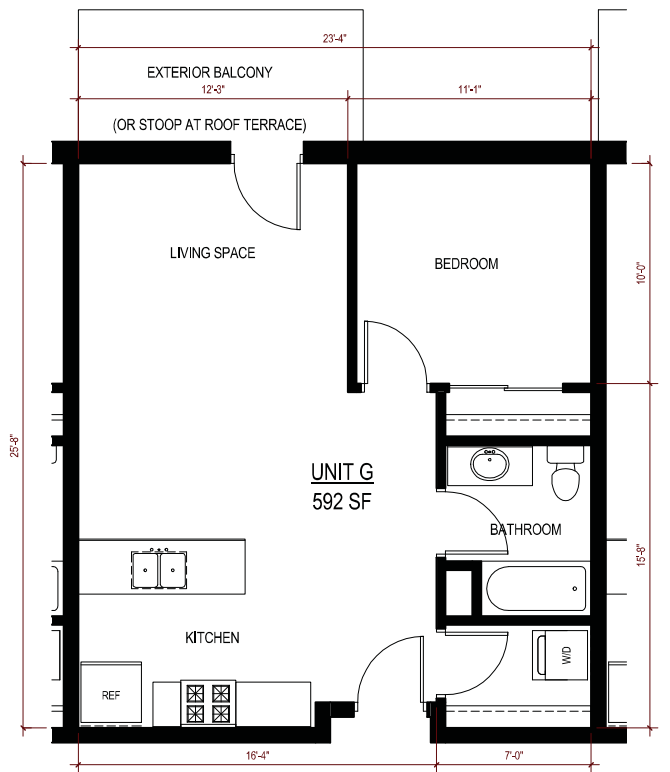
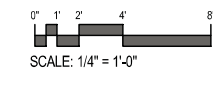
**1** UNIT E.2 (AFFORDABLE APARTMENT)  
1/4" = 1'-0"



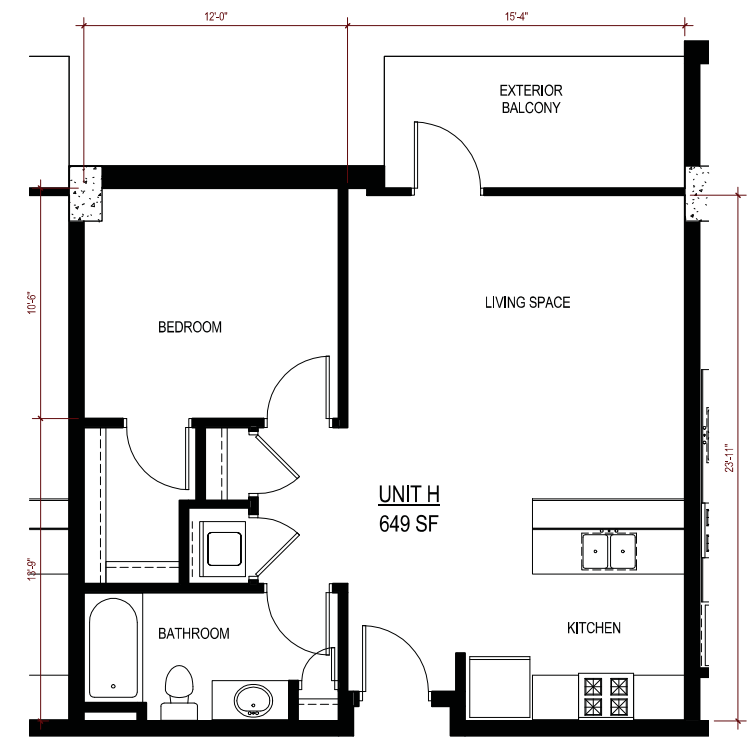
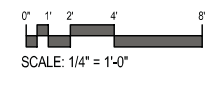
**2** UNIT F.1 (AFFORDABLE APARTMENT)  
1/4" = 1'-0"



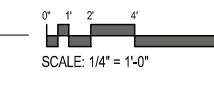
**3** UNIT F.2 (AFFORDABLE APARTMENT)  
1/4" = 1'-0"



**4** UNIT G (AFFORDABLE APARTMENT)  
1/4" = 1'-0"



**5** UNIT H (MARKET-RATE APARTMENT)  
1/4" = 1'-0"





eppstein uhen : architects

milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
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ISSUANCE AND REVISIONS

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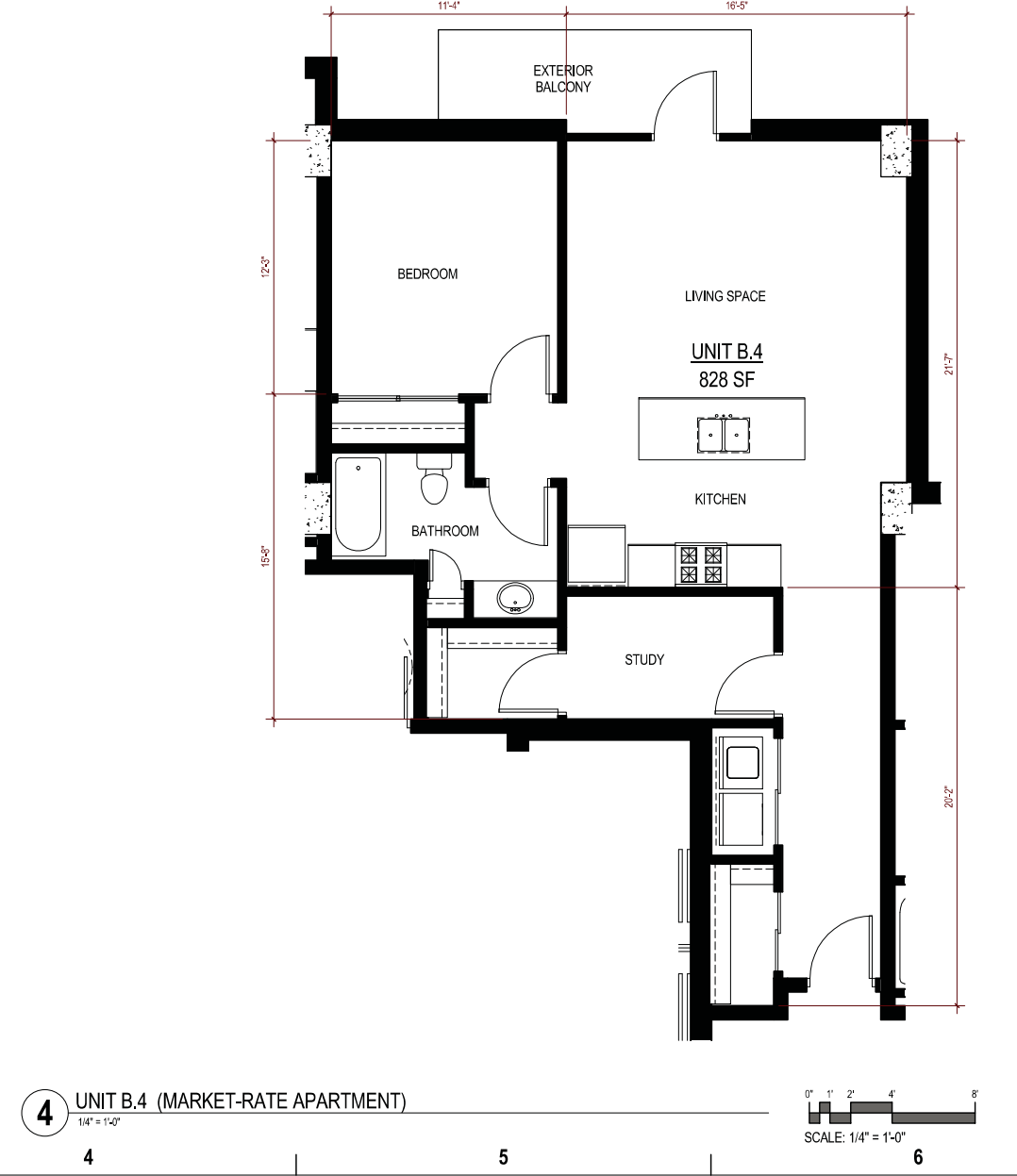
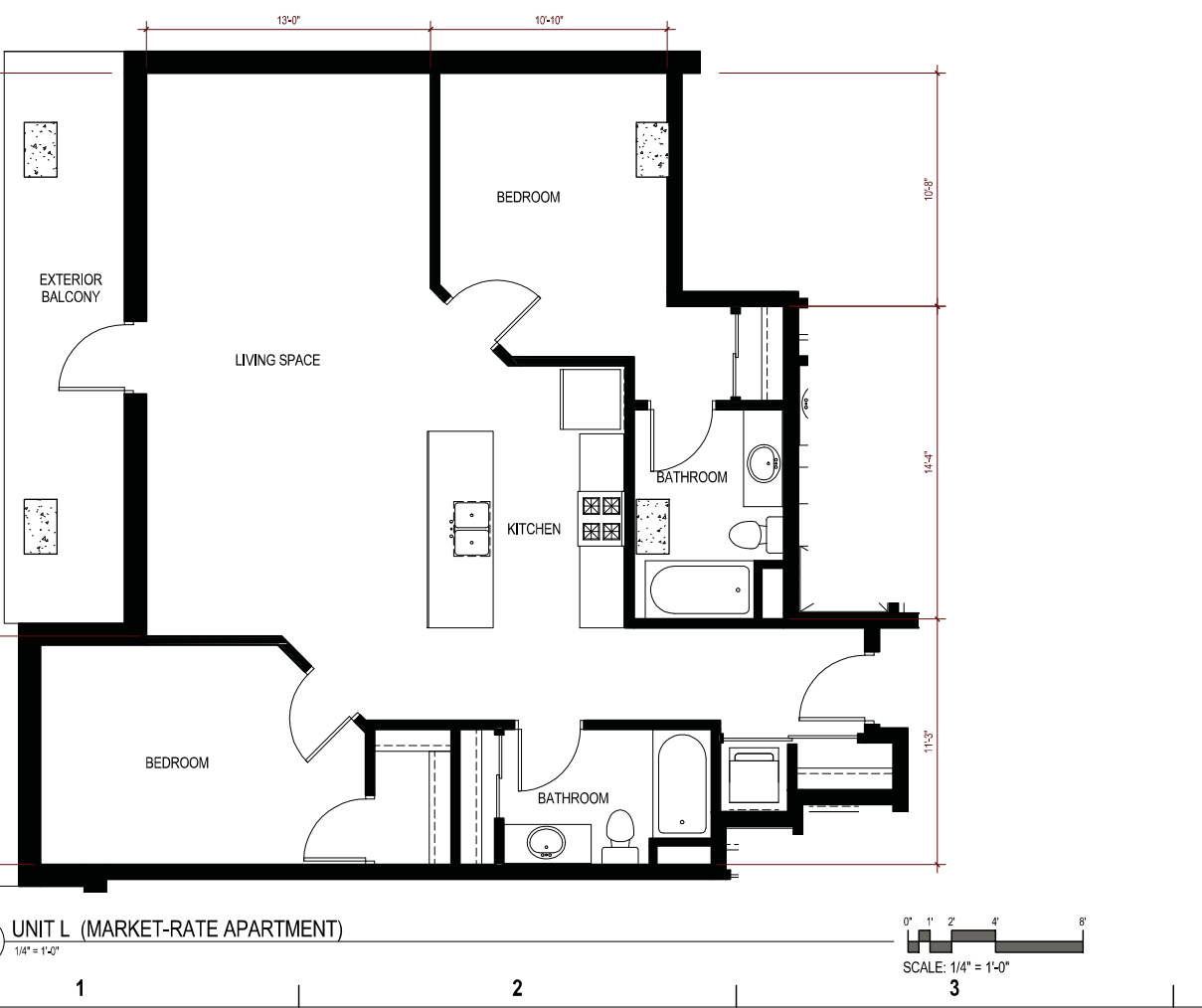
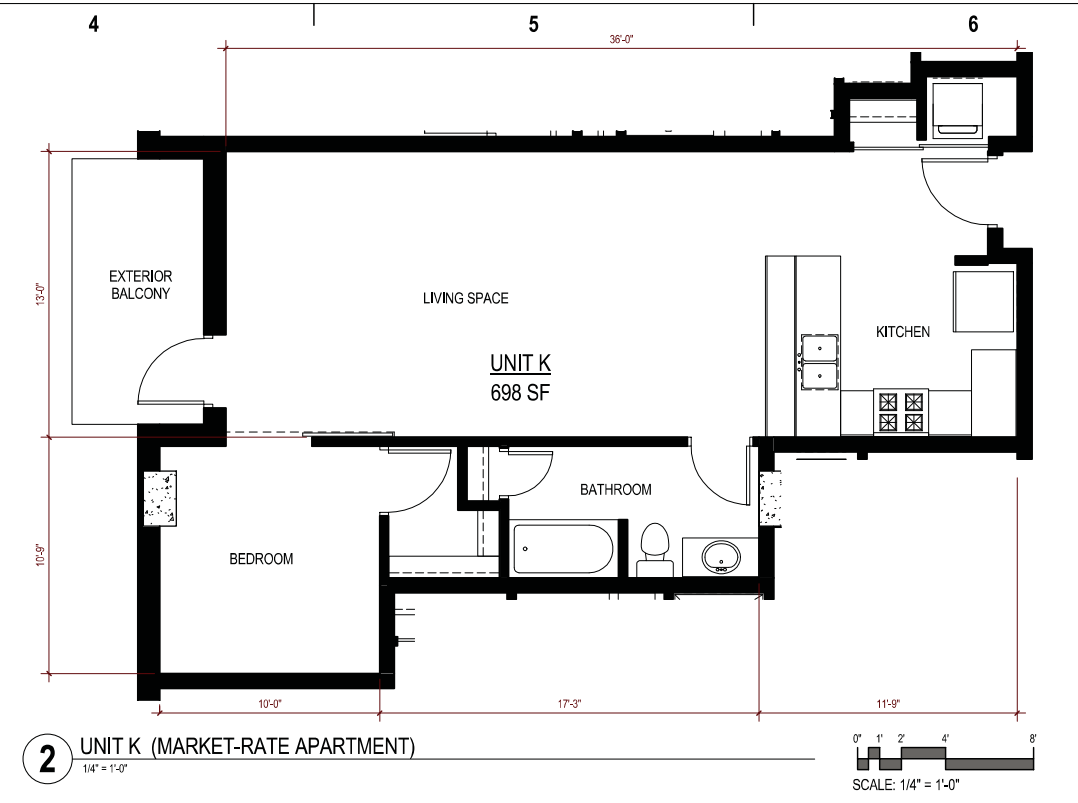
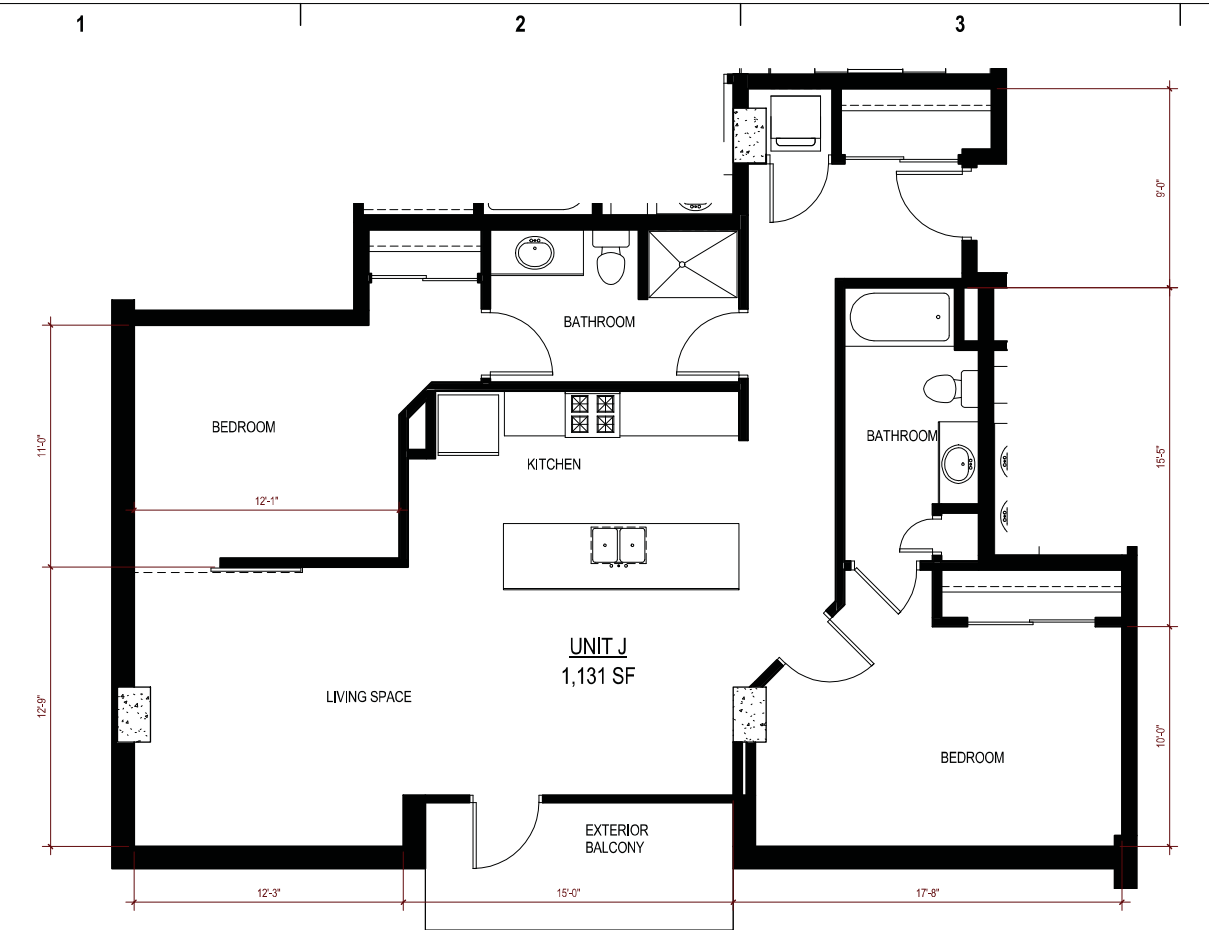
PROJECT MANAGER JP

PROJECT NUMBER 14339-01

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UNIT FLOOR PLANS

**A12**





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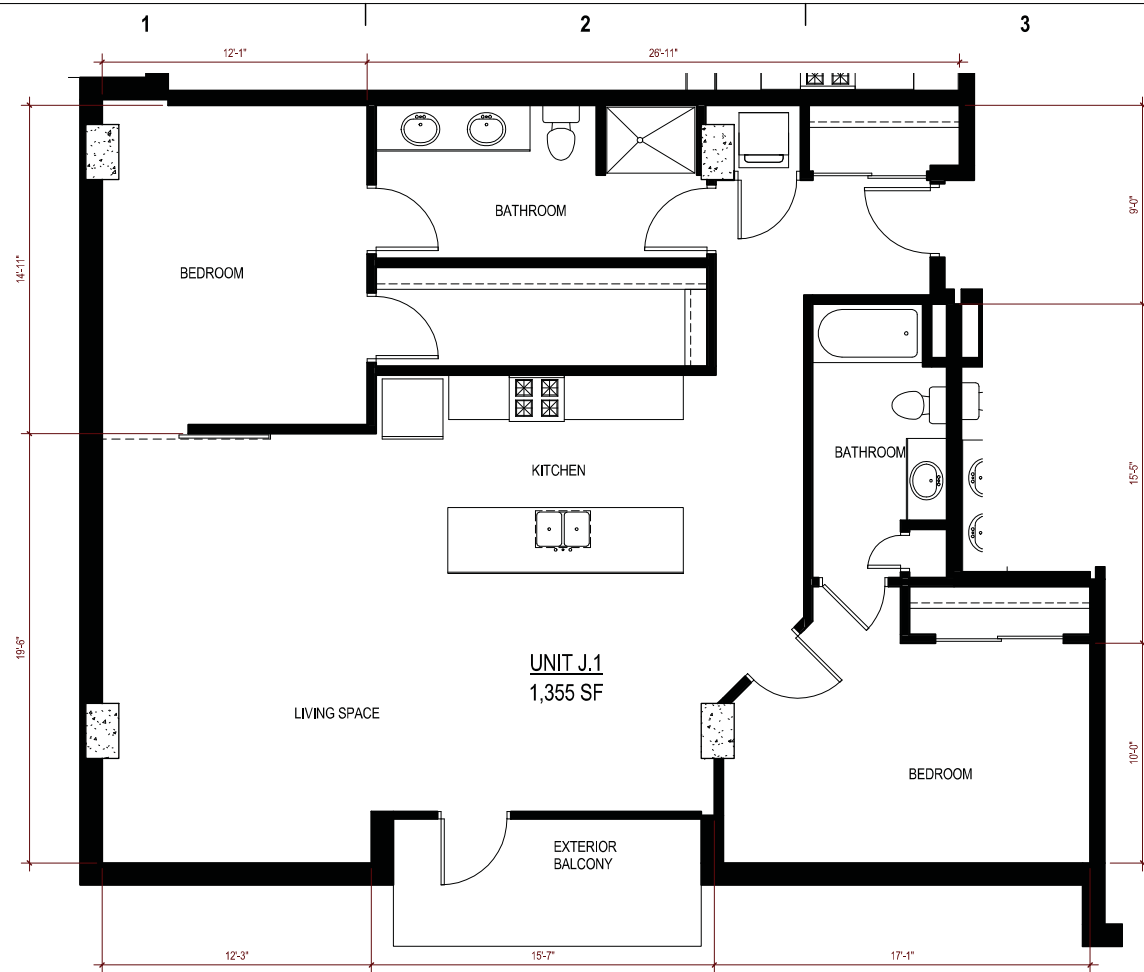
PROJECT MANAGER JP

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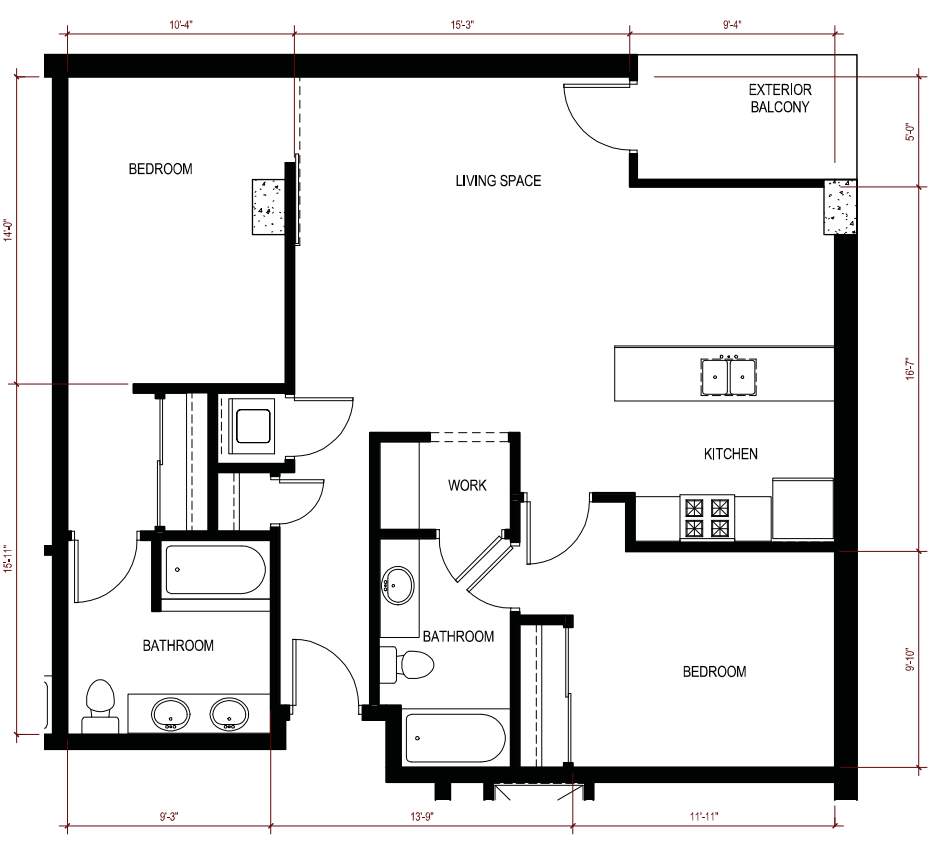
DATE 12/28/2015

UNIT FLOOR PLANS

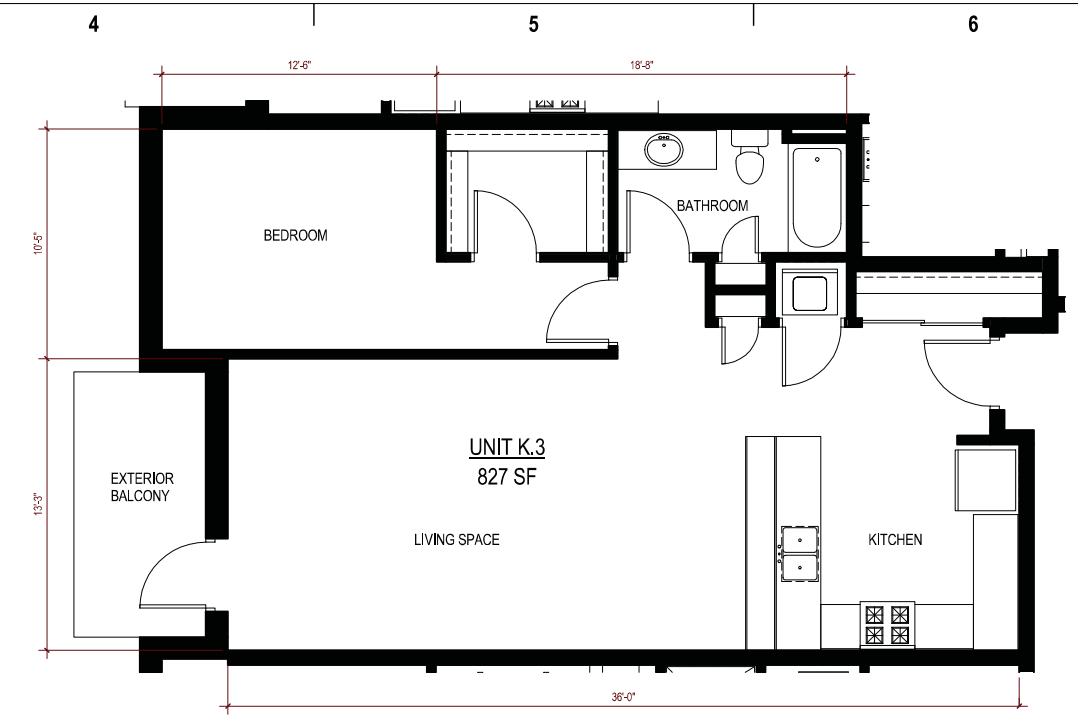
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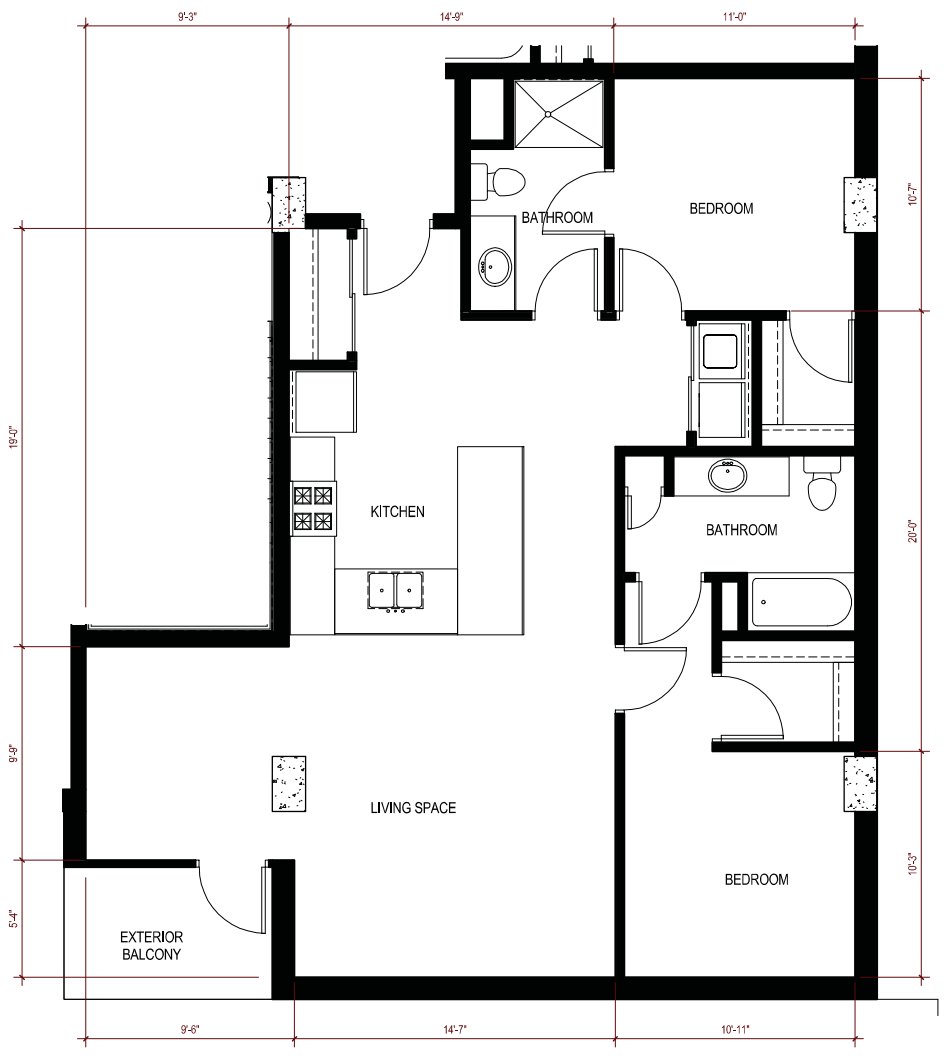
**3 UNIT J.1 (MARKET-RATE APARTMENT)**  
1/4" = 1'-0"



**1 UNIT N (MARKET-RATE APARTMENT)**  
1/4" = 1'-0"



**4 UNIT K.3 (MARKET-RATE APARTMENT)**  
1/4" = 1'-0"



**2 UNIT P (MARKET-RATE APARTMENT)**  
1/4" = 1'-0"

1

2

3

4

5

6

### KEYNOTES PER SHEET

0341-05	EXPOSED CONCRETE
0443-02	BRICK COLOR 1 UTILITY
0443-04	MANUFACTURED STONE SMOOTH
0443-07	BRICK COLOR 1 MODULAR
0724-01	EXTERIOR INSULATION & FINISH SYSTEM - COLOR 1
0724-07	EXTERIOR INSULATION & FINISH SYSTEM - COLOR 2
0742-08	METAL PANEL - COLOR 1
0742-09	METAL PANEL - COLOR 2
0742-10	METAL PANEL - COLOR 3
0742-11	METAL PANEL - COLOR 4
0742-15	CORRUGATED METAL PANEL
0742-17	METAL PANEL - COLOR 6
0742-19	PAINTED BREAK METAL
0745-03	CEMENT BOARD SIDING
0745-04	SHINGLED CEMENT BOARD SIDING
0843-01	ALUMINUM-FRAMED STOREFRONT
0880-02	VINYL WINDOW
0880-03	GLASS RAILING



**eppstein uhen : architects**

milwaukee 333 East Chicago Street  
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**BUILDING  
ELEVATIONS**

# A14

D

C

D

C

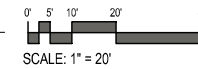
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B

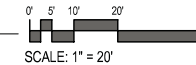
A

A

**1 NORTH ELEVATION-AFFORDABLE**  
1" = 20'-0"



**2 NORTH ELEVATION**  
1" = 20'-0"



1

2

3

4

5

6



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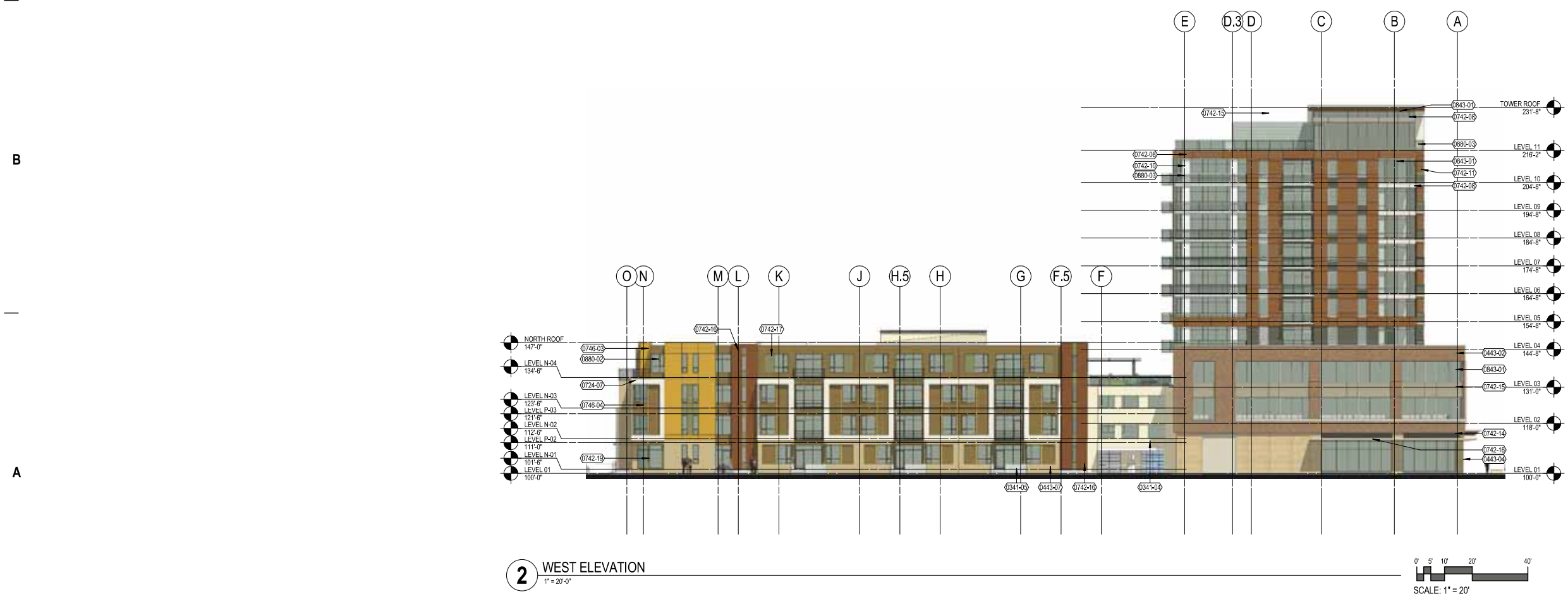
PROJECT NUMBER 14339-01

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BUILDING  
ELEVATIONS

**A15**

KEYNOTES PER SHEET	
0341-04	PRECAST CONCRETE WALL PANEL
0341-05	EXPOSED CONCRETE
0443-02	BRICK COLOR 1 UTILITY
0443-04	MANUFACTURED STONE SMOOTH
0443-05	MANUFACTURED STONE ROUGH CUT
0443-06	NATURAL STONE BASE
0443-07	BRICK COLOR 1 MODULAR
0724-01	EXTERIOR INSULATION & FINISH SYSTEM - COLOR 1
0724-07	EXTERIOR INSULATION & FINISH SYSTEM - COLOR 2
0742-08	METAL PANEL - COLOR 1
0742-09	METAL PANEL - COLOR 2
0742-10	METAL PANEL - COLOR 3
0742-11	METAL PANEL - COLOR 4
0742-14	ARCHITECTURAL LOUVER
0742-15	CORRUGATED METAL PANEL
0742-16	METAL PANEL - COLOR 5
0742-17	METAL PANEL - COLOR 6
0742-19	PAINTED BREAK METAL
0746-03	CEMENT BOARD SIDING
0746-04	SHINGLED CEMENT BOARD SIDING
0843-01	ALUMINUM-FRAMED STOREFRONT
0844-01	ALUMINUM-FRAMED CURTAIN WALL
0880-01	SPANDREL GLASS
0880-02	VINYL WINDOW
0880-03	GLASS RAILING







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0742-09	METAL PANEL - COLOR 2
0742-11	METAL PANEL - COLOR 4
0742-15	CORRUGATED METAL PANEL
0742-16	METAL PANEL - COLOR 5
0742-17	METAL PANEL - COLOR 6
0742-19	PAINTED BREAK METAL
0746-03	CEMENT BOARD SIDING
0746-04	SHINGLED CEMENT BOARD SIDING
0843-01	ALUMINUM-FRAMED STOREFRONT
0880-02	VINYL WINDOW
0880-03	GLASS RAILING

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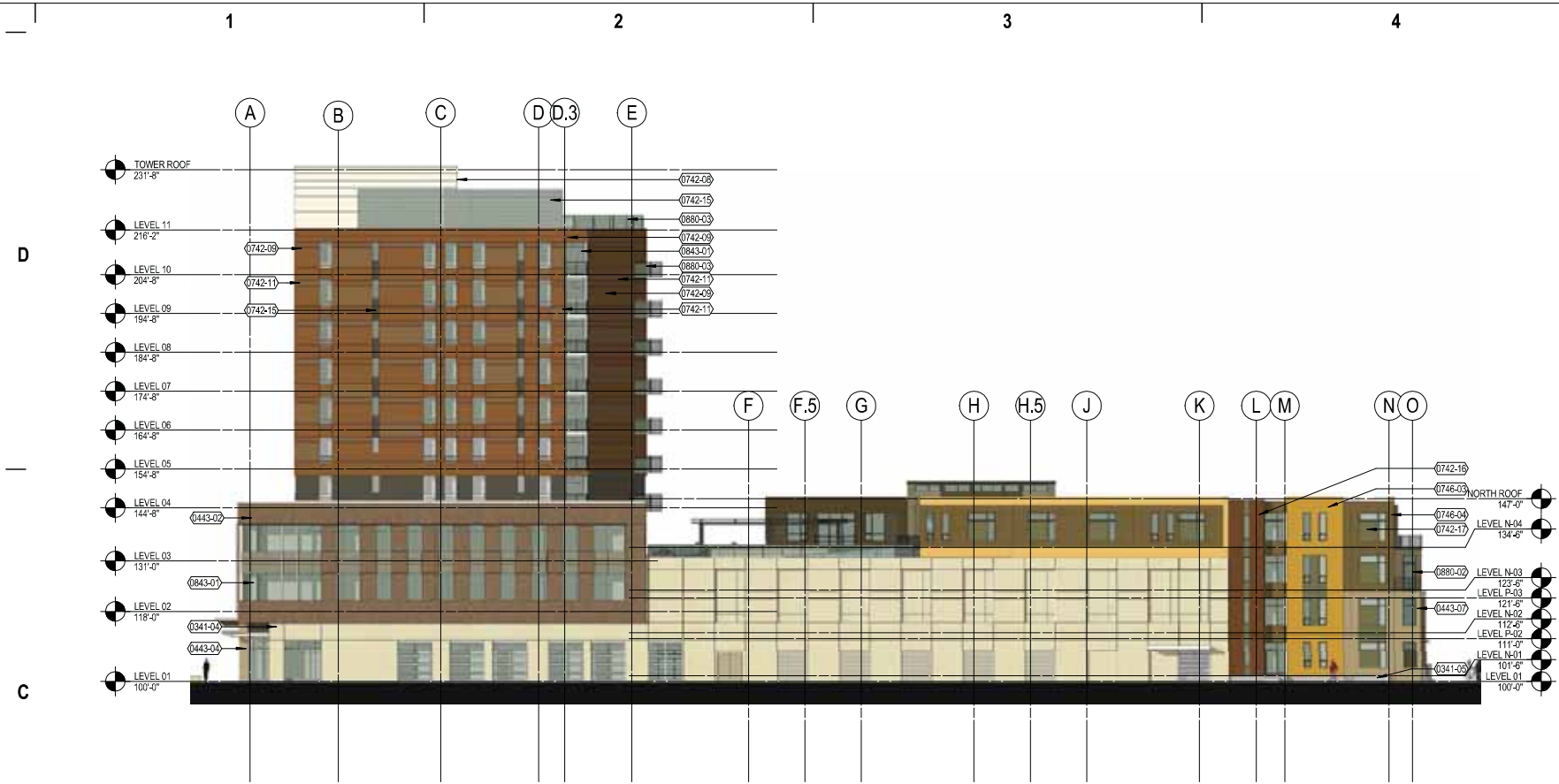
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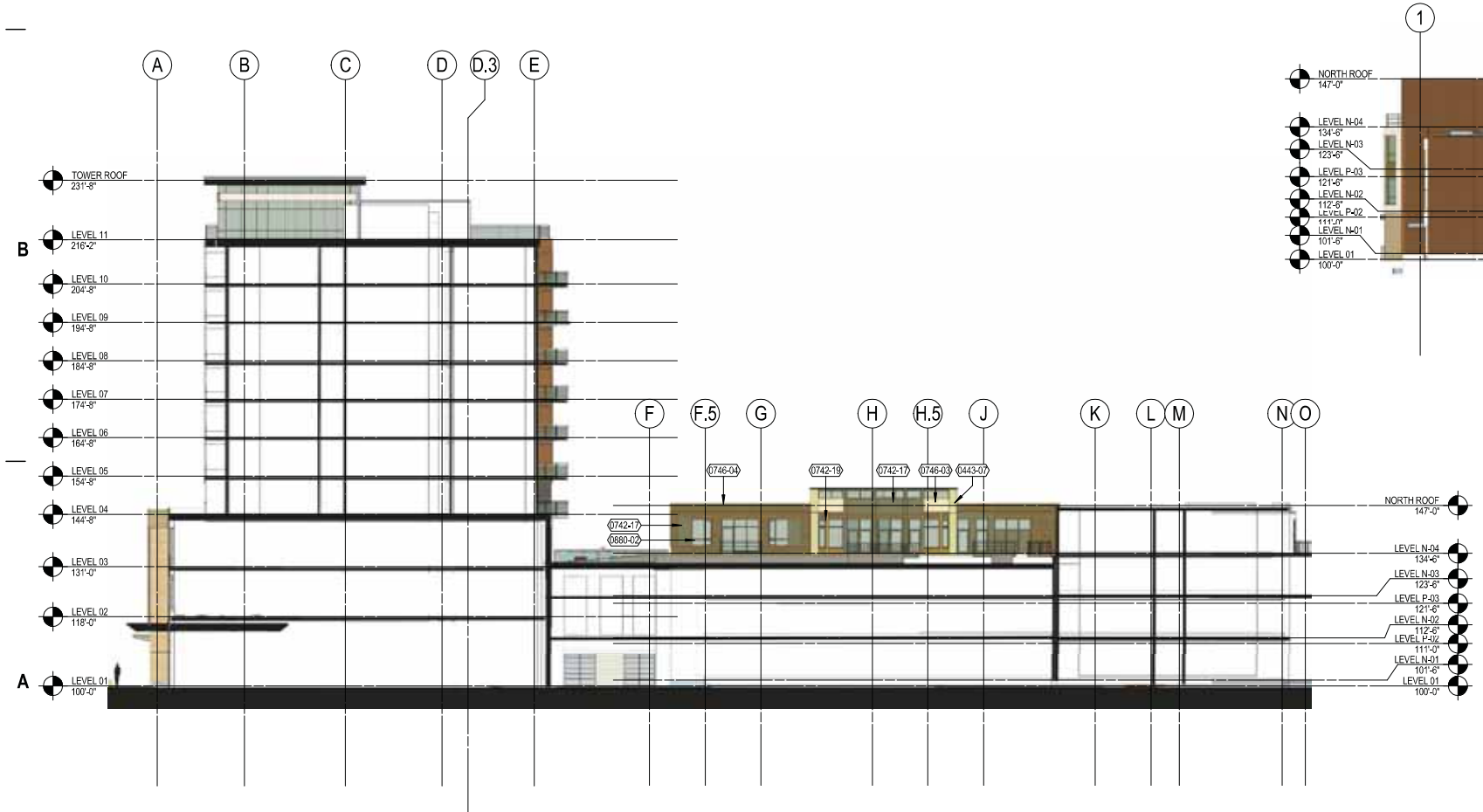
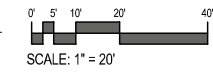
PROJECT MANAGER	JP
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BUILDING  
ELEVATIONS

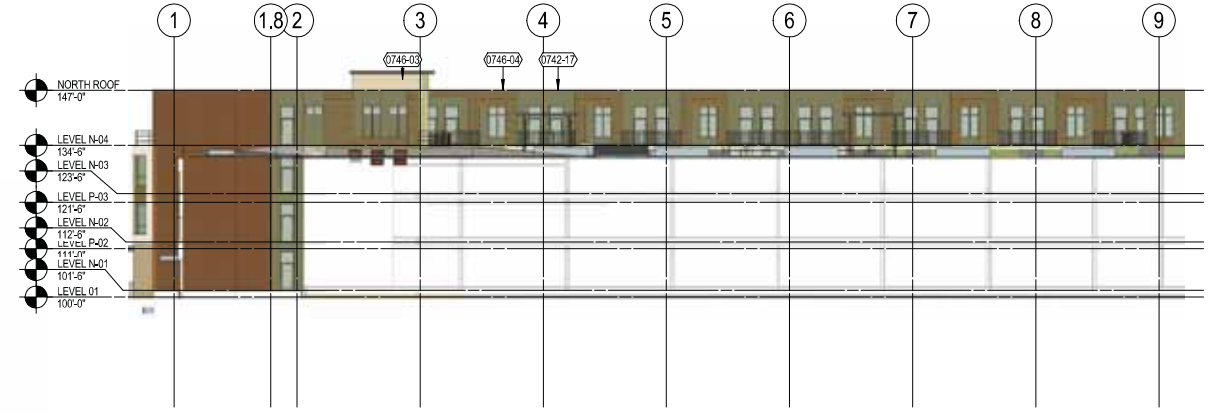
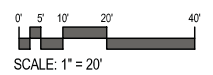
A16



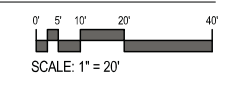
1 EAST ELEVATION  
1" = 20'-0"



2 EAST ELEVATION - AFFORDABLE  
1" = 20'-0"



3 SOUTH ELEVATION - AFFORDABLE APARTMENTS  
1" = 20'-0"



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VIEW FROM THE CORNER OF EAST WASHINGTON AND BREARLY

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STREET VIEW FROM THE CORNER OF EAST WASHINGTON AND BREARLY

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**eppstein uhen : architects**

milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
telephone 414.271.5350

madison 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
telephone 608.442.5350

PROJECT INFORMATION

**STONE HOUSE  
MIXED USE EAST  
WASHINGTON**

1000 E.  
WASHINGTON  
MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION  
UDC FINAL REVIEW

#	DATE	DESCRIPTION

SHEET INFORMATION

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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 12/28/2015

PERSPECTIVES

**A17**

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VIEW FROM THE CORNER OF EAST WASHINGTON AND BREARLY



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**milwaukee** 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
telephone 414.271.5350  
**madison** 309 West Johnson Street, Suite 202  
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telephone 608.442.5350

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PROJECT INFORMATION

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B

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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 12/28/2015

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PERSPECTIVES

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STREET VIEW FROM THE CORNER OF EAST WASHINGTON AND BREARLY

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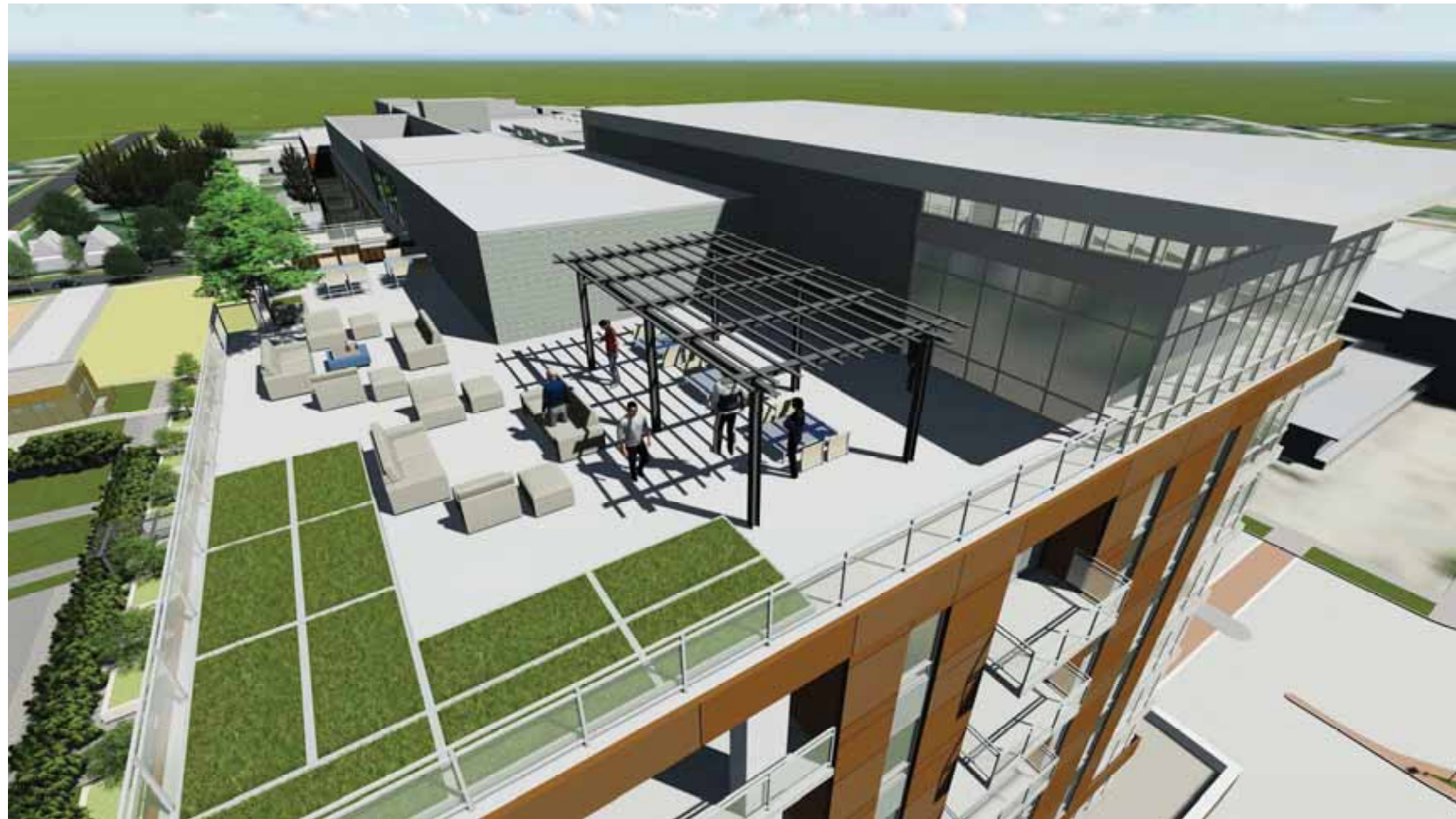
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ROOFTOP VIEW OF THE ELEVENTH FLOOR TERRACE

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VIEW OF THE AFFORDABLE HOUSING FROM THE CORNER OF MIFFLIN AND BREARLY

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Milwaukee, Wisconsin 53202  
telephone 414.271.5350

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PROJECT INFORMATION

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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 12/28/2015

PERSPECTIVES

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STREET VIEW FROM THE CORNER  
OF MIFFLIN AND BREARLY

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STREET VIEW OF THE AFFORDABLE  
HOUSING FROM MIFFLIN

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milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
telephone 414.271.5350  
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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 12/28/2015

PERSPECTIVES

**A20**

PROJECT INFORMATION

**STONE HOUSE  
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PROJECT MANAGER JP

PROJECT NUMBER 14339-01

DATE 12/28/2015

SUN STUDY

MARCH 20

JUNE 21

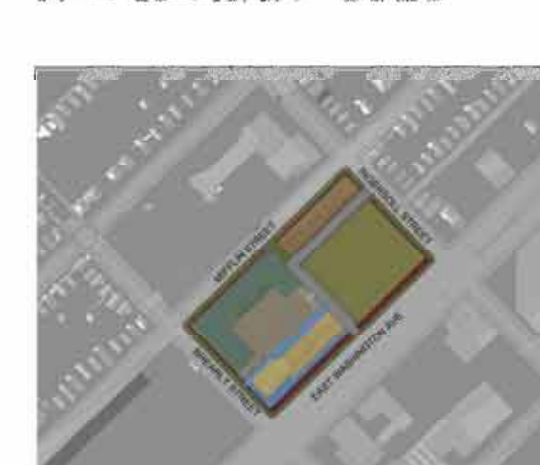
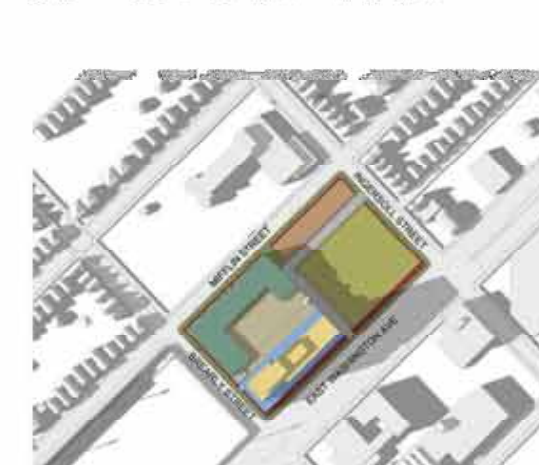
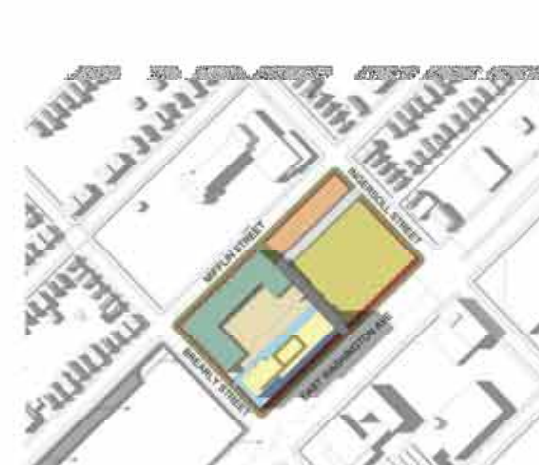
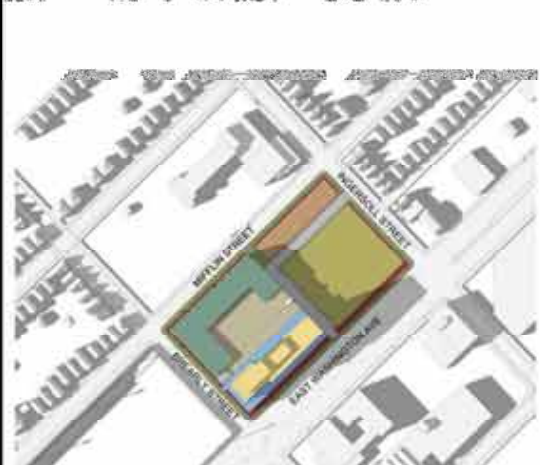
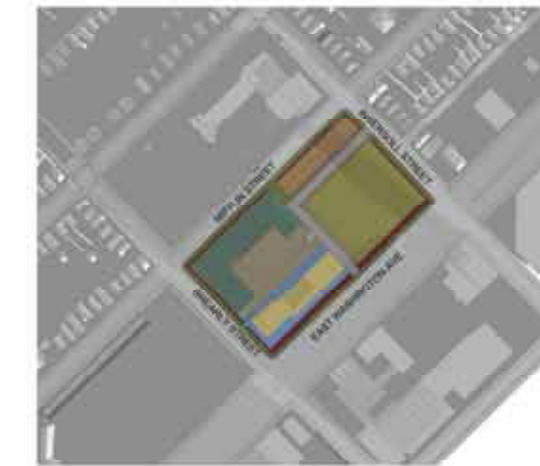
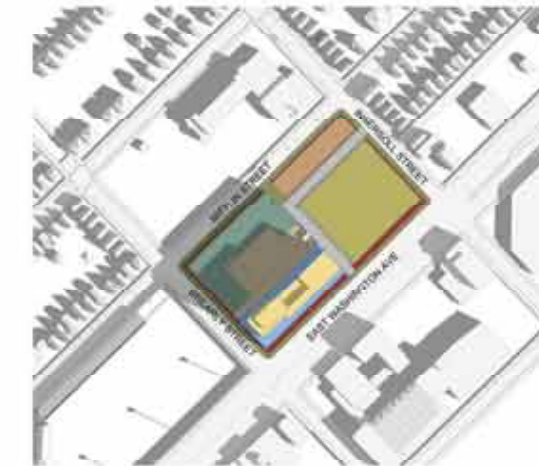
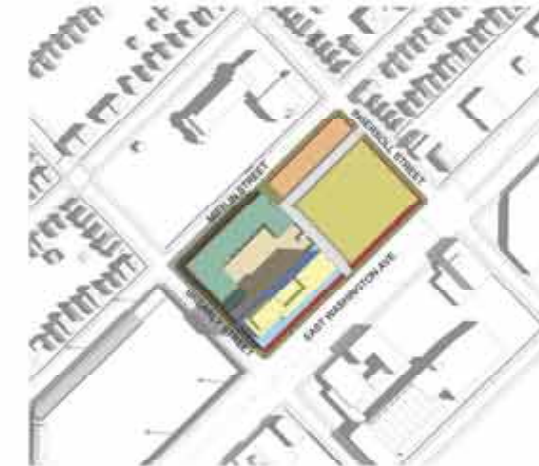
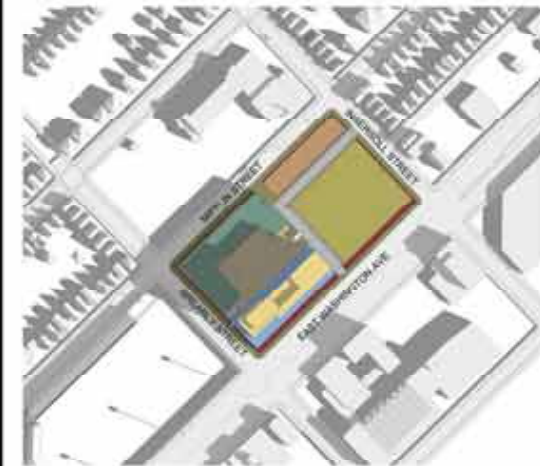
SEPTEMBER 22

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milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
telephone 414.271.5350  
madison 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
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CALCULATION SUMMARY					
LABELS	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
LEVEL 01	1.3lc	15.0fc	0.0fc	N/A	N/A
LEVEL 03	1.2lc	67.0fc	0.0fc	N/A	N/A
LEVEL 11	4.3lc	102.6fc	0.0fc	N/A	N/A

LUMINAIRE SCHEDULE			
TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
A/B ☒	LITHONIA	CSXWLED-30C-700-40K-T2M	6,695
C ☒	GOTHAM	EVO 40-10-6AR-MD-LD	1,059
D ☒	LUMIERE	303-B1-LEDB2-4000-T5X-42	1,159 (2@579)
E ☒	LUMIERE	303-P1-LED-B1-4000-T5X-18	723

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E01 SCALE: 1/8"=1'-0"

LEVEL 01  
PHOTOMETRIC PLAN - AREA A

PROJECT INFORMATION

STONE HOUSE  
MIXED USE EAST  
WASHINGTON

1000 E.  
WASHINGTON  
MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION  
UDC FINAL REVIEW

#	DATE	DESCRIPTION
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SHEET INFORMATION

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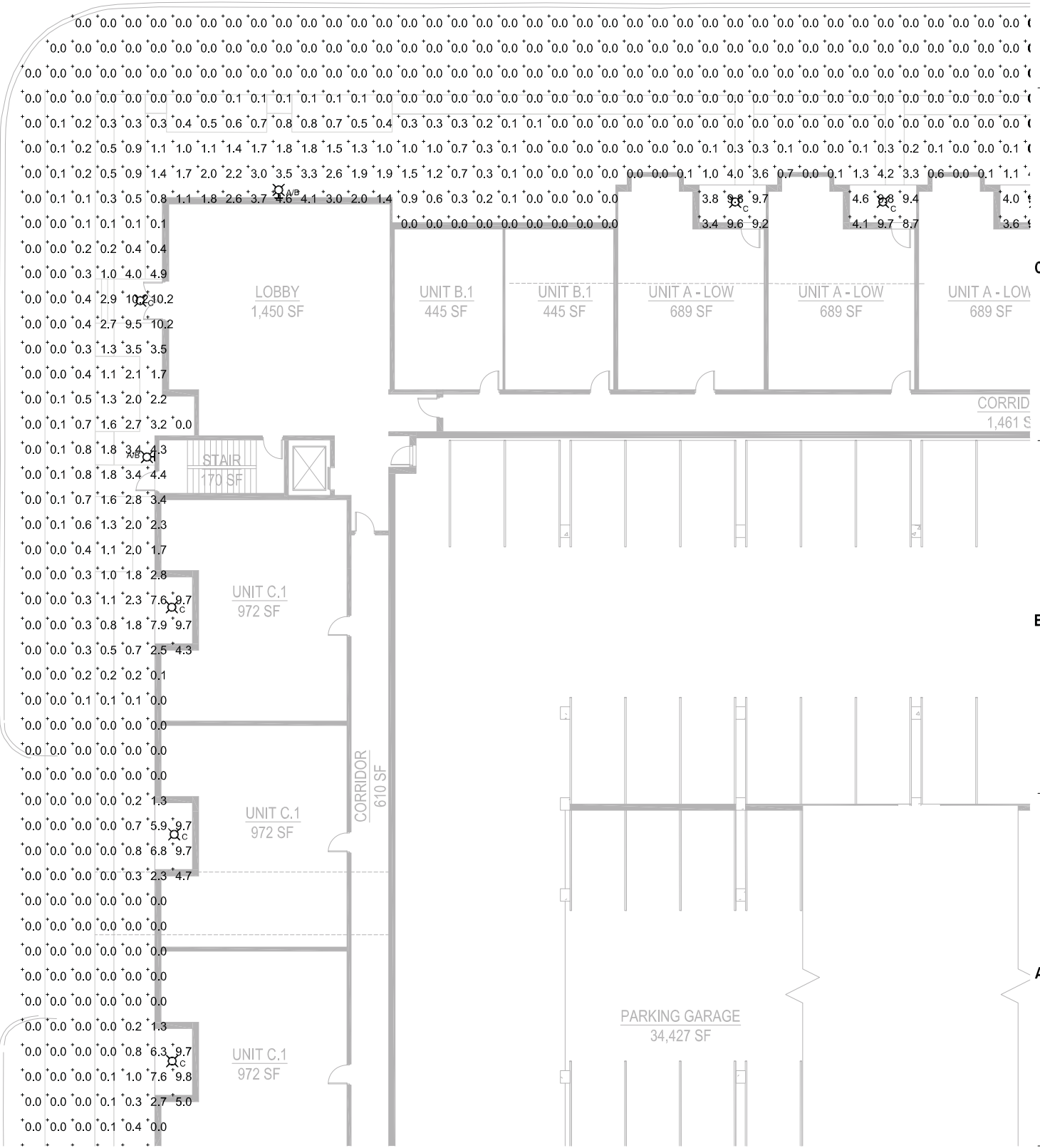
PROJECT MANAGER JDR

PROJECT NUMBER 14339-01

DATE 12/28/2015

LEVEL 01  
PHOTOMETRIC PLAN -  
AREA A

E01



NORTH BRE



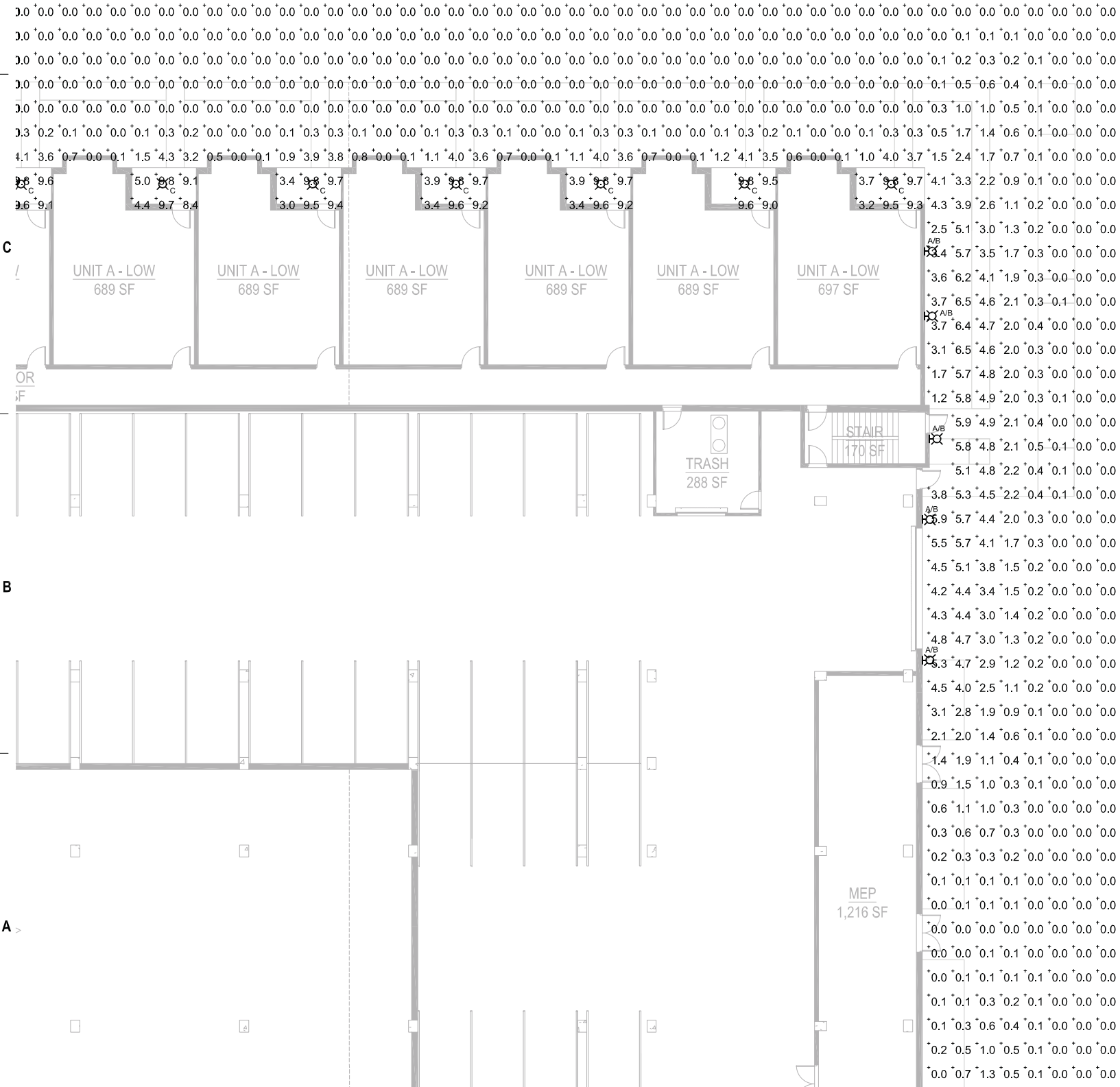
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milwaukee 333 East Chicago Street  
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telephone 414.271.5350  
madison 309 West Johnson Street, Suite 202  
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CALCULATION SUMMARY					
LABELS	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
LEVEL 01	1.3fc	15.0fc	0.0fc	N/A	N/A
LEVEL 03	1.2fc	67.0fc	0.0fc	N/A	N/A
LEVEL 11	4.3fc	102.6fc	0.0fc	N/A	N/A

LUMINAIRE SCHEDULE			
TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
A/B ☒	LITHONIA	CSXWLED-30C-700-40K-T2M	6,695
C ☒	GOTHAM	EVO 40-10-6AR-MD-LD	1,059
D ☒	LUMIERE	303-B1-LEDB2-4000-T5X-42	1,159 (2@579)
E ☒	LUMIERE	303-P1-LED-B1-4000-T5X-18	723

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PROJECT INFORMATION

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PROJECT MANAGER JDR

PROJECT NUMBER 14339-01

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LEVEL 01  
PHOTOMETRIC PLAN -  
AREA B

**E02**





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milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
telephone 414.271.5350  
madison 309 West Johnson Street, Suite 202  
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PROJECT INFORMATION

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ISSUANCE AND REVISIONS

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LAND USE APPLICATION  
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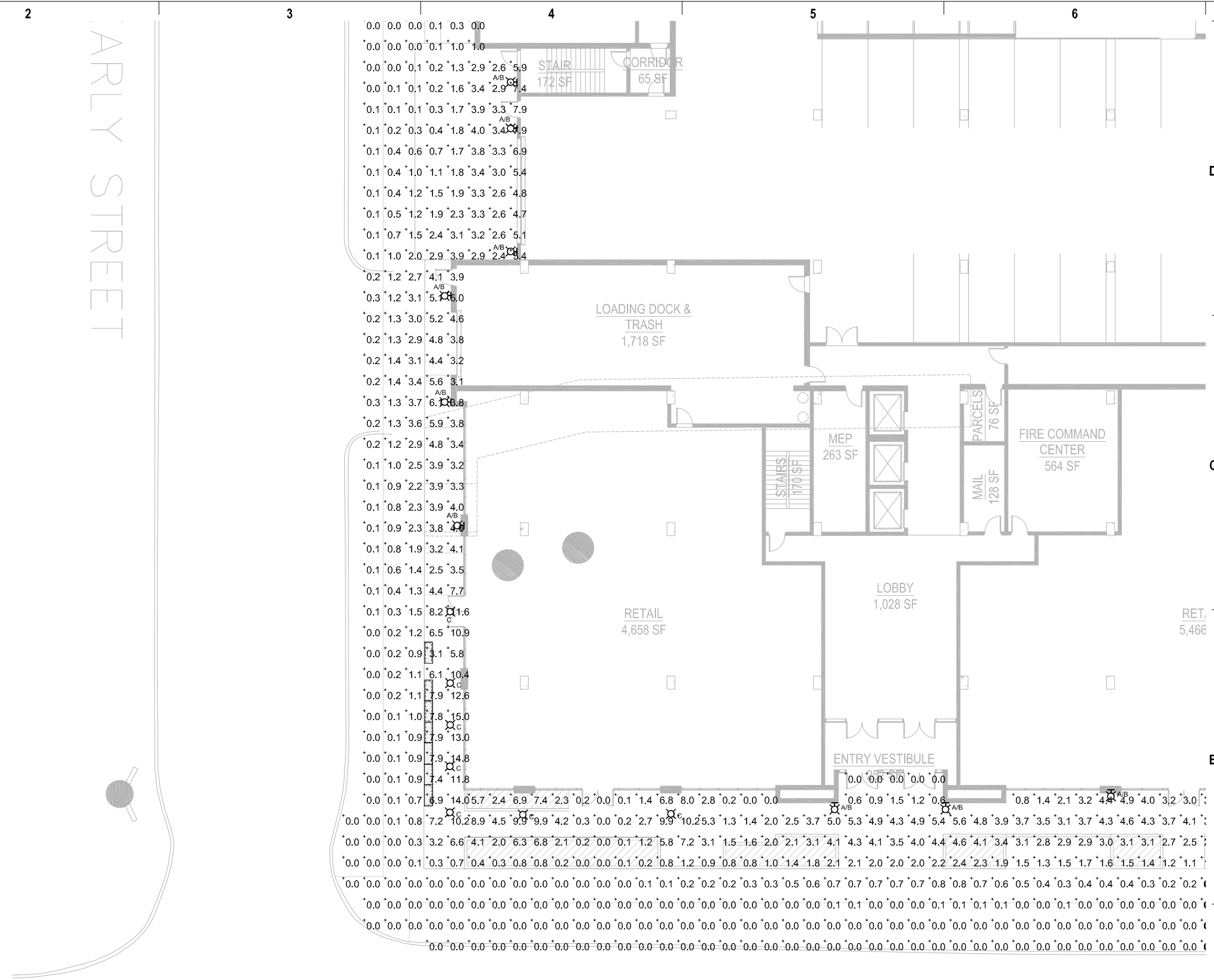
PROJECT MANAGER JDR

PROJECT NUMBER 14339-01

DATE 12/28/2015

LEVEL 01  
PHOTOMETRIC PLAN -  
AREA C

**E03**



LEVEL 01  
PHOTOMETRIC PLAN - AREA C  
SCALE: 1/8"=1'-0"

CALCULATION SUMMARY					
LABELS	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
LEVEL 01	1.3fc	15.0fc	0.0fc	N/A	N/A
LEVEL 03	1.2fc	67.0fc	0.0fc	N/A	N/A
LEVEL 11	4.3fc	102.6fc	0.0fc	N/A	N/A

LUMINAIRE SCHEDULE			
TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
A/B	LITHONIA	CSXWLED-30C-700-40K-T2M	6,695
C	GOTHAM	EVO 40-10-GAR-MD-LD	1,059
D	LUMIERE	303-B1-LEDB2-4000-T5X-42	1,159 (2@579)
E	LUMIERE	303-P1-LED-B1-4000-T5X-18	723

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milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
telephone 414.271.5350  
madison 309 West Johnson Street, Suite 202  
Madison, Wisconsin 53703  
telephone 608.442.5350

PROJECT INFORMATION

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MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION  
UDC FINAL REVIEW

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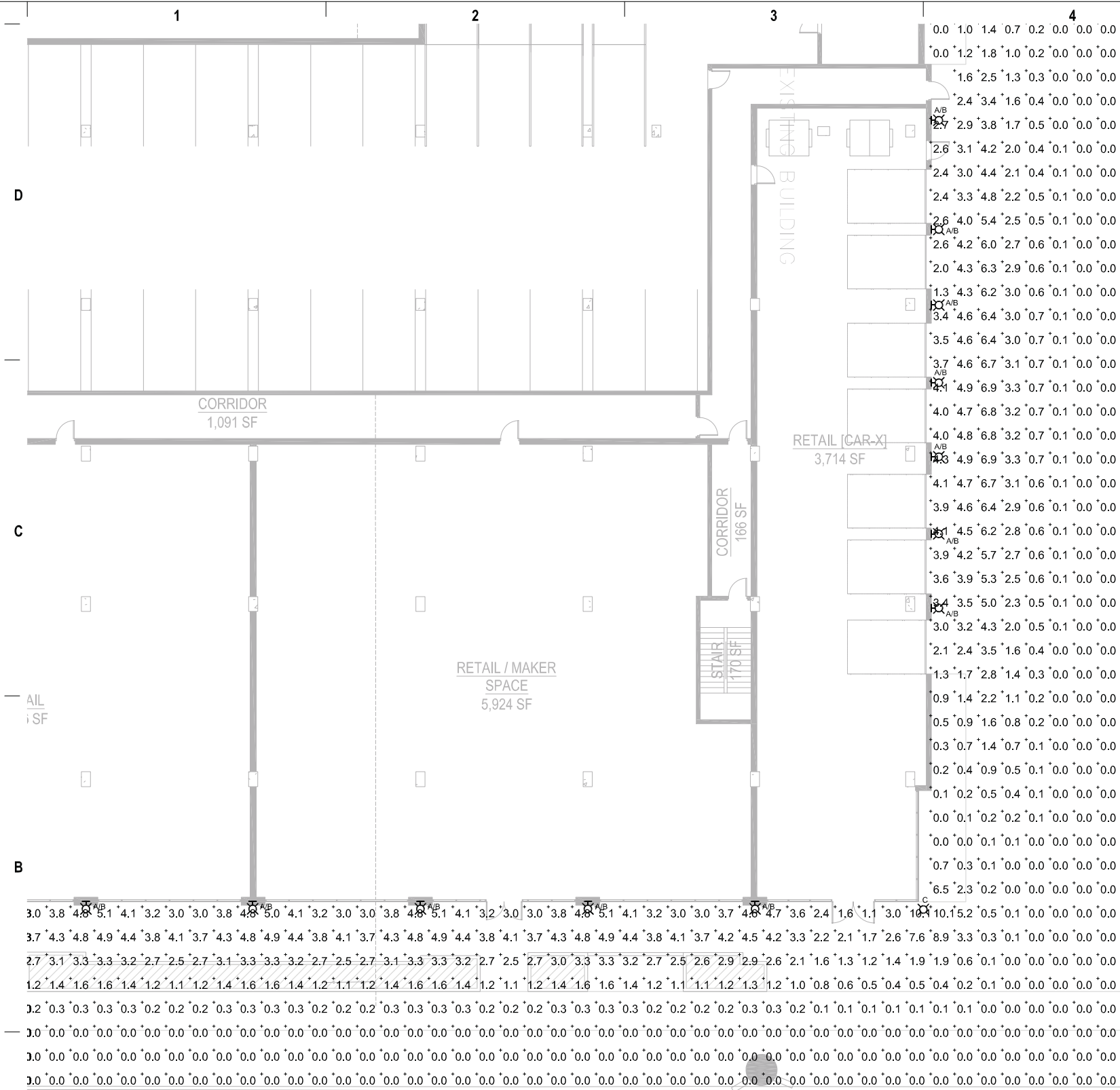
PROJECT MANAGER JDR

PROJECT NUMBER 14339-01

DATE 12/28/2015

LEVEL 01  
PHOTOMETRIC PLAN -  
AREA D

**E04**



LEVEL 01  
PHOTOMETRIC PLAN - AREA D  
SCALE: 1"=10'-0"

CALCULATION SUMMARY					
LABELS	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
LEVEL 01	1.3fc	15.0fc	0.0fc	N/A	N/A
LEVEL 03	1.2fc	67.0fc	0.0fc	N/A	N/A
LEVEL 11	4.3fc	102.6fc	0.0fc	N/A	N/A

LUMINAIRE SCHEDULE			
TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
A/B	LITHONIA	CSXWLED-30C-700-40K-T2M	6,695
C	GOTHAM	EVO 40-10-GAR-MD-LD	1,059
D	LUMIERE	303-B1-LEDB2-4000-T5X-42	1,159 (2@579)
E	LUMIERE	303-P1-LED-B1-4000-T5X-18	723



eppstein uhen : architects

milwaukee 333 East Chicago Street  
Milwaukee, Wisconsin 53202  
telephone 414.271.5350  
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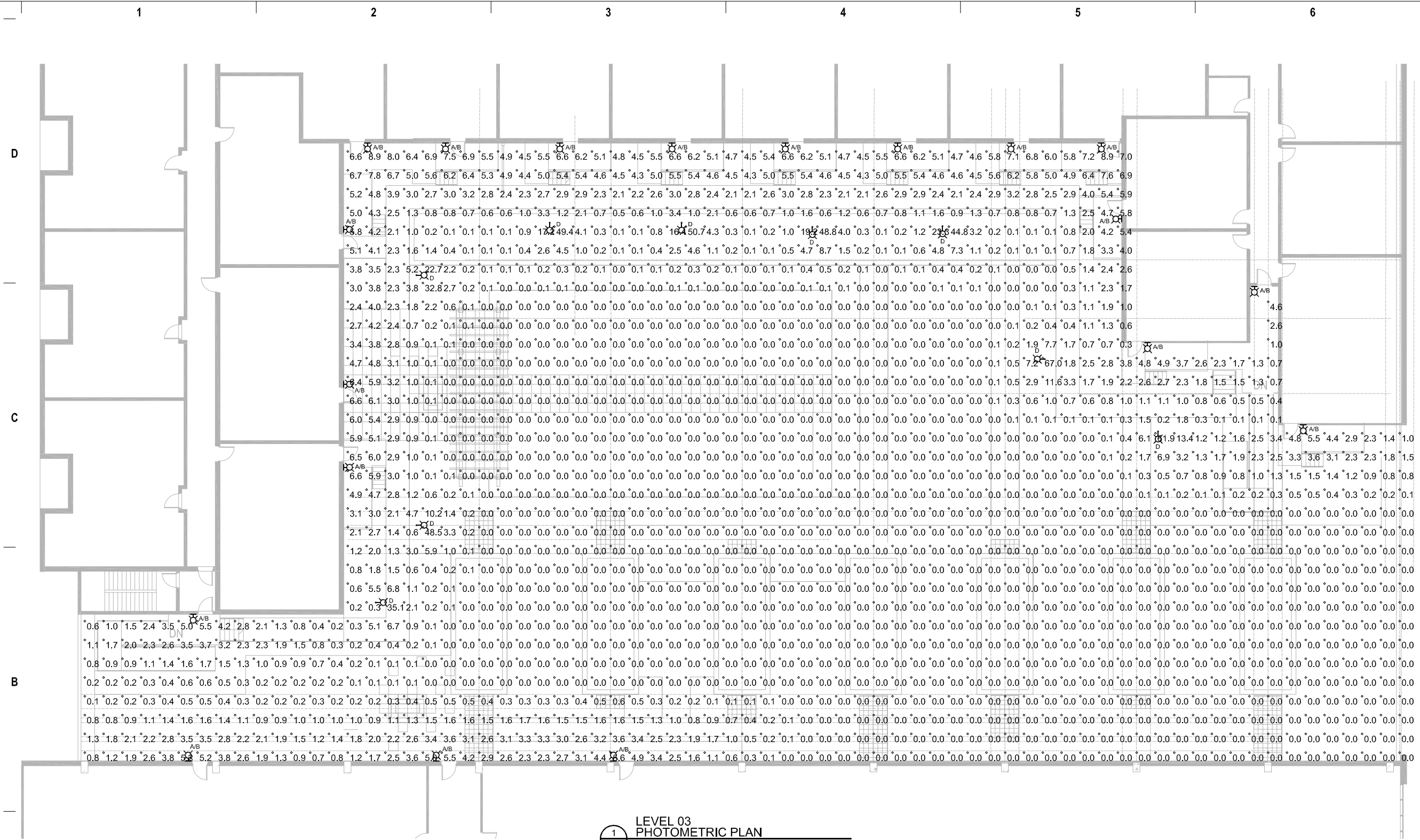
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PROJECT NUMBER 14339-01

DATE 12/28/2015

LEVEL 03  
PHOTOMETRIC PLAN

E05



CALCULATION SUMMARY					
LABELS	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
LEVEL 01	1.3fc	15.0fc	0.0fc	N/A	N/A
LEVEL 03	1.2fc	67.0fc	0.0fc	N/A	N/A
LEVEL 11	4.3fc	102.6fc	0.0fc	N/A	N/A

LUMINAIRE SCHEDULE			
TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
A/B ☒	LITHONIA	CSXWLED-30C-700-40K-T2M	6,695
C ☒	GOTHAM	EVO 40-10-6AR-MD-LD	1,059
D ☒	LUMIERE	303-B1-LEDB2-4000-T5X-42	1,159 (2@579)
E ☒	LUMIERE	303-P1-LED-B1-4000-T5X-18	723

