

URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

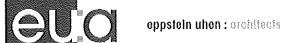
215 Martin Luther King Jr. Blvd; Room LL-100 PO Box 2985; Madison, Wisconsin 53701-2985 Phone: 608.266.4635 | Facsimile: 608.267.8739

This form may also be completed online at:

http://www.cityofmadison.com/planning/documents/UDCapplication.pdf

Please complete all sections of the application, including the desired meeting date and the type of action requested.

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a subtract forbit to the contract of the contr	Initial Approval	
Combined Schedule Plan Commission Date (if applicable	e): 🗵 Final Approval	
Project Address: 1000 E Washington Ave		
Project Title (if any): Stone House Mixed Use at the Madi	ison Dairy site	
This is an application for (Check all that apply to this	UDC application):	
	n Existing or Previously-Approved Development	
A. Project Type:		
 □ Suburban Employment Center (SEC) or Campus □ Planned Development (PD) □ General Development Plan (GDP) □ Specific Implementation Plan (SIP) □ Planned Multi-Use Site or Planned Residential 	Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations) s Institutional District (CI) or Employment Campus District (EC AGENDA ITEM # LEGISTAR #	:)
B. Signage:		
Comprehensive Design Review* (public hearing-\$30)
Signage Exception(s) in an Urban Design Distric	Ct (public hearing-\$300 fee)	
Other:		
Please specify:		
Applicant, Agent & Property Owner Information:	Towns Asia i i i i i i i i i i i i i i i i i i	
pplicant Name: Jonathan Parker	Company: Eppstein Uhen Architects	
pplicant Name: Jonathan Parker reet Address: 309 W Johnson, Suite 202,	City/State: Madison, WI Zip:53703	
pplicant Name: Jonathan Parker reet Address: 309 W Johnson, Suite 202, lephone: (608) 442-5350 Fax: (1990)	City/State: Madison, WI Zip:53703 Email: onathanp@eua.com	
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City of Madison Al Martin 215 Martin Luther King Jr. Blvd; Room LL-100 Madison, WI 53701

December 29, 2015

Stone House Mixed Use Project, 1000 E Washington Ave, UDC Submittal for Final Review.

Hello AI, the following list outlines the items that have been refined on the drawings dated 12-28-15 for the 1-13-16 UDC meeting for the Stone House Mixed Use Project, 1000 E Washington Ave:

- The entire building complex has been moved west by approximately 2 feet in order to accommodate angled parking for CarX in the alley. Landscaping has been adjusted accordingly.
- Adjustments to material colors on the exterior elevations of the apartment tower have been made to provide a slight color range on the east and west ends of the building, and a darker color at the element above the entry to help better identify the entry.
- The exterior of levels 2 and 3 on the office component have been refined to have the vertical elements clad in brick.
- 4. The "C" elements at the affordable housing component have been changed to be clad in flat metal panel (i.e. Alucobond).
- 5. Material colors have been adjusted slightly on the affordable housing component.

Please contact me if you have any questions about this submittal,

Thanks.

Jonathan Parker, RA, LEED AP Principal

Eppstein Uhen Architects 309 W Johnson St., Suite 209 Madison, WI 53703

jonathanp@eua.com

333 E. Chicago St. Milwaukee, Wi 53202

414 271 5350 : main 414 271 7794 : fax



PROJECT STATISTICS

LOCAL ZONING: TE - TRADITIONAL EMPLOYMENT DISTRICT

CSF NSF NSF NSF NSF NSF NSF NSF SSF	EVEL DT SSF NSF NSF NSF NSF NSF SSF		Office		Maker Space Restaurant Retail		Automobile Total Repair Retail	Market Rate Apartments		Affordable Apartments		s Parking					
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SHEET INDEX - LAND USE APPLICATION

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G01	COVER & PROJECT STATISTICS
G02	SITE LOCATION
G03	PRELIMINARY LIFE SAFETY PLAN
G04	PRELIMINARY LIFE SAFETY PLAN
C100	EXISTING CONDITIONS
C200	DEMOLITION PLAN
C300	SITE PLAN
C400	EROSION CONTROL PLAN
C500	GRADING PLAN
C600	UTILITY PLAN
C700	CONSTRUCTION NOTES
L-1	LANDSCAPE PLAN
L-2	LEVEL 03 ROOF TERRACE LANDSCAPE PLAN
L-3	LEVEL 11 ROOF TERRACE LANDSCAPE PLAN
A00	EXISTING SITE PHOTOS
A01	EXISTING SITE PHOTOS
A02	BUILDING SETBACKS
A03	LEVEL 01 & LEVEL N-01 FLOOR PLAN
A04	LEVEL N-02 & LEVEL P-02 FLOOR PLAN
A05	LEVEL 02, LEVEL N-03, & LEVEL P-03 FLOOR PL
A06	LEVEL 03 & LEVEL N-04 FLOOR PLAN
A07	LEVEL 04 FLOOR PLAN
A08	LEVELS 05-11 FLOOR PLANS
A09	UNIT FLOOR PLANS
A10	UNIT FLOOR PLANS
A11	UNIT FLOOR PLANS
A12	UNIT FLOOR PLANS
A13	UNIT FLOOR PLANS
A14	BUILDING ELEVATIONS
A15	BUILDING ELEVATIONS
A16	BUILDING ELEVATIONS
A17	PERSPECTIVES
A18	PERSPECTIVES
A19	PERSPECTIVES
A20	PERSPECTIVES
A21	SUN STUDY
E01	LEVEL 01 PHOTOMETRIC PLAN AREA A
E02	LEVEL 01 PHOTOMETRIC PLAN AREA B
E03	LEVEL 01 PHOTOMETRIC PLAN AREA C
E04	LEVEL 01 PHOTOMETRIC PLAN AREA D
E05	LEVEL 03 PHOTOMETRIC PLAN
E06	LEVEL 11 PHOTOMETRIC PLAN

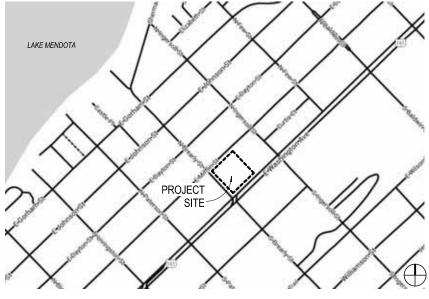
This site is in Urban Design District 8, and its design incorporates the principles defined for this district. This site is currently zoned TE Traditional Employment. This project is seeking a Conditional Use under this zoning designation and is creating a project that complies with the current zoning

Lot Coverage and Useable Open Space Calculations

Traditional Employment District has an 85% lot coverage maximum
Size of Lot: 108,730 sf
Building Footprint: 84,100 sf
Pervious area at grade: 7,444 sf
Planted area at plaza level: 10,950 sf
Planted area at rooftop level: 675 sf
Lot Coverage Max allowed: 92,420 sf
Lot Coverage provided: 89,661 sf

STONE HOUSE MIXED USE EAST WASHINGTON

1000 E. WASHINGTON MADISON, WI 53703





eppstein uhen : architects

LAND USE APPLICATION UDC FINAL REVIEW

12/28/2015 PROJECT NUMBER: 14339-01



milwaukee 3 3 3 East Chicago Street
Milwaukee, Wisconsin 55002
telephone 414.271.5500
madison 309 West Johnson Street, Suite 202
Madison, Wisconsin 5 3 7 0 3
telephone 608.442.5530

BREESE STEVENS FIELD

PROJECT INFORMATION

STONE HOUSE MIXED USE EAST WASHINGTON

1000 E. WASHINGTON c MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION UDC FINAL REVIEW

DATE DESCRIPTION

SHEET INFORMATION

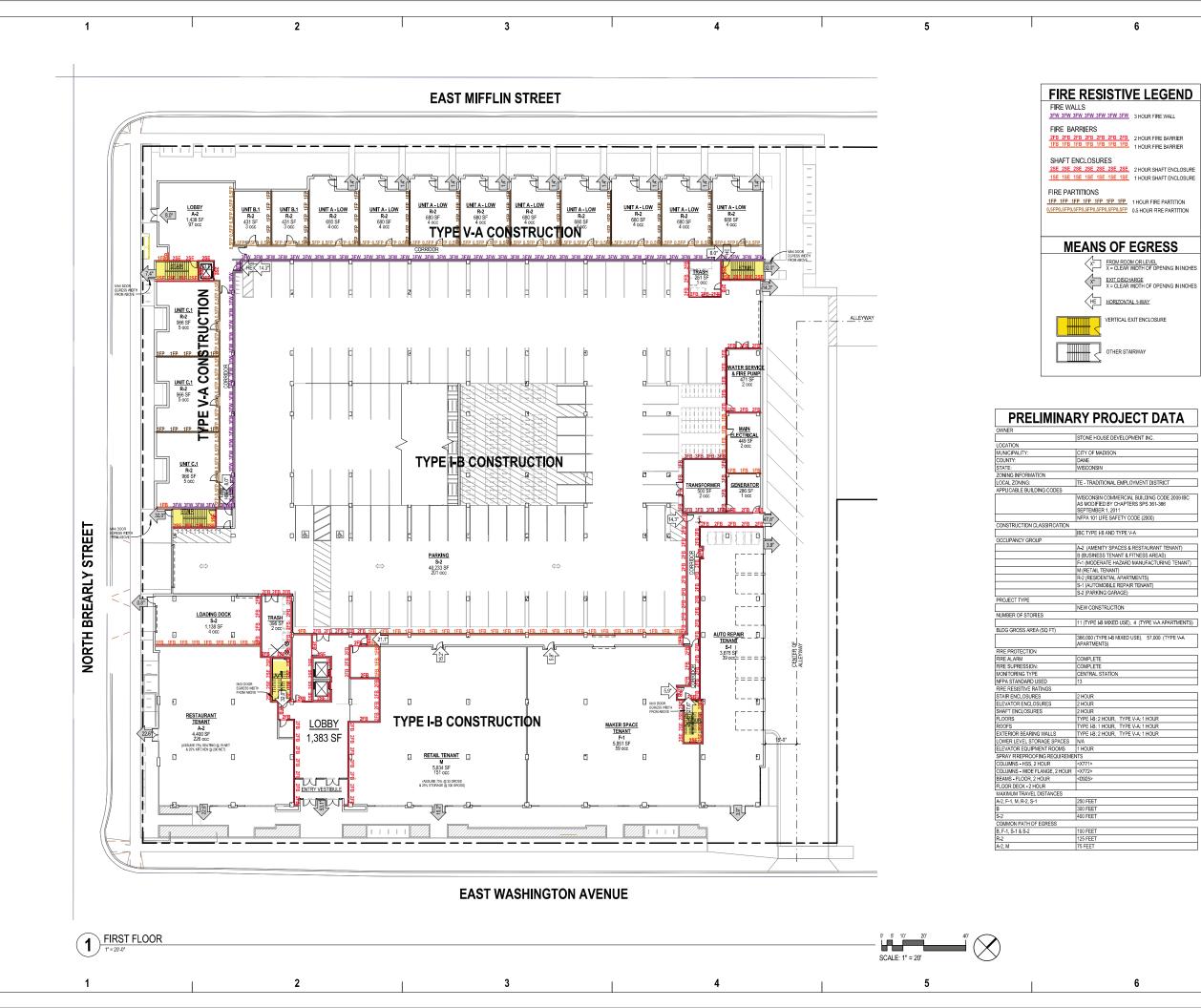
PROGRESS DOCUMENTS

PROJECT NUMBER

SITE LOCATION

G02

14339-01



D



eppstein uhen : architects

milwaukee 3 3 3 East Chicago Street Milwaukee, Wisconsin 53202 telephone 414 . 271 . 5350

telephone 414.271,5350 3 0 9 West Johnson Street, Suite 202 Madison, Wisconsin 5 3 7 0 3 telephone 608.442.5350

PROJECT INFORMATION

STONE HOUSE MIXED USE EAST WASHINGTON

1000 E. WASHINGTON MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION UDC FINAL REVIEW

DATE DESCRIPTION

В

SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

These documents reflect progress and intent and be subject to change, including additional detail. It are not final construction documents and should in used for final hidding or construction-related number.

PROJECT MANAGER JP
PROJECT NUMBER 14339-01

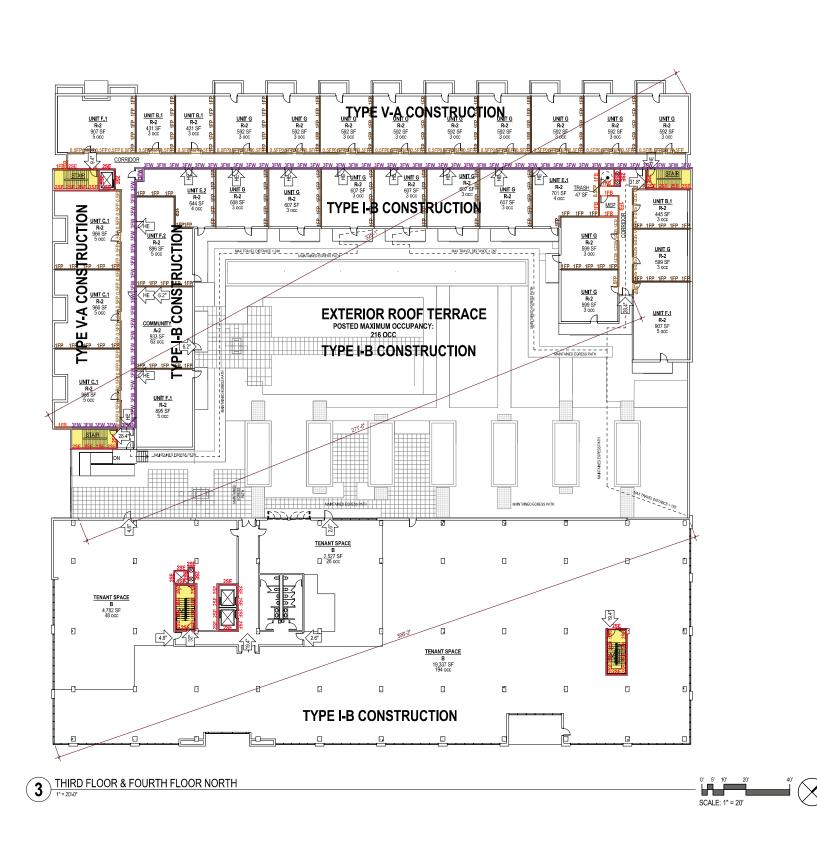
DATE

PRELIMINARY LIFE SAFETY PLAN

G03

12/28/2015

ostein Uhen Architects, Inc.



D



FIRE RESISTIVE LEGEND

3FW 3FW 3FW 3FW 3FW 3FW 3FW 3 HOUR FIRE WALL

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 1FB
 1HOUR FIRE BARRIER

2SE 2SE 2SE 2SE 2SE 2SE 2SE 2 2HOUR SHAFT ENCLOSURE
1SE 1SE 1SE 1SE 1SE 1SE 1SE 1 1HOUR SHAFT ENCLOSURE

1FP 1FP 1FP 1FP 1FP 1FP 1 HOUR FIRE PARTITION

MEANS OF EGRESS

HE HORIZONTAL 1-WAY

OTHER STAIRWAY

MUNICIPALITY

APPLICABLE BUILDING CODES

NUMBER OF STORIES

FIRE PROTECTION FIRE ALARM
FIRE SUPRESSION:
MONITORING TYPE
NFPA STANDARD USE

BLDG GROSS AREA (SQ F

FIRE RESISTIVE RATINGS
STAIR ENCLOSURES
ELEVATOR ENCLOSURES

SHAFT ENCLOSURES FLOORS

B, F-1, S-1 & S-2

TECHNICAL STREET STREET

X" EXIT DISCHARGE

X = CLEAR WIDTH OF OPENING IN INCHES

VERTICAL EXIT ENCLOSURE

PRELIMINARY PROJECT DATA

CITY OF MADISON

NEW CONSTRUCTION

SHAFT ENGLOSURES 2 HOUR
FLOORS TYPE IB: 2 HOUR, TYPE V-A: 1 HOUR
FLOORS TYPE IB: 1 HOUR, TYPE V-A: 1 HOUR
EXTERIOR BEARNG WALLS
LOWER LEVEL STORAGE SPACES
LEEVATOR EQUIMENT ROOMS
SPRAY FIREPROOFING REQUIREMENTS
COLUMNS - HSS, 2 HOUR
COLUMNS - HSD, 2 HOUR
FLOOR DECK. 2 HOUR
MAXIMUM TRAVEL DISTANCES

A-2, F.1, M, R-2, S-1

B 300 FEET

STONE HOUSE DEVELOPMENT INC.

TE - TRADITIONAL EMPLOYMENT DISTRICT

WISCONSIN COMMERCIAL BUILDING CODE 2009 IBC AS MODIFIED BY CHAPTERS SPS 381-386 SEPTEMBER 1, 2011 NFPA 101 LIFE SAFETY CODE (2000)

A-2 (AMENITY SPACES & RESTAURANT TENANT)
B (BUSINESS TENANT & FITNESS AREAS)
F-1 (MODERATE HAZARD MANUFACTURING TENANT)
M (RETALL TENANT)
R-2 (RESIDENTIAL APARTIMENTS)
S-1 (AUTOMOBLE REPAIR TENANT)
S-2 (PARKING GARAGE)

11 (TYPE I-B MIXED USE), 4 (TYPE V-A APARTMENTS)

366,000 (TYPE I-B MIXED USE), 57,000 (TYPE V-A APARTMENTS)

FIRE WALLS

FIRE BARRIERS

FIRE PARTITIONS

SHAFT ENCLOSURES

eppstein uhen : architects

3 3 3 East Chicago Street Milwaukee, Wisconsin 53202 telephone 414.271.5350 309 West Johnson Street, Suite 202 Madison, Wisconsin 53703 telephone 608.442.5350

PROJECT INFORMATION

STONE HOUSE MIXED USE EAST WASHINGTON

1000 E. WASHINGTON MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION UDC FINAL REVIEW

DATE DESCRIPTION

SHEET INFORMATION

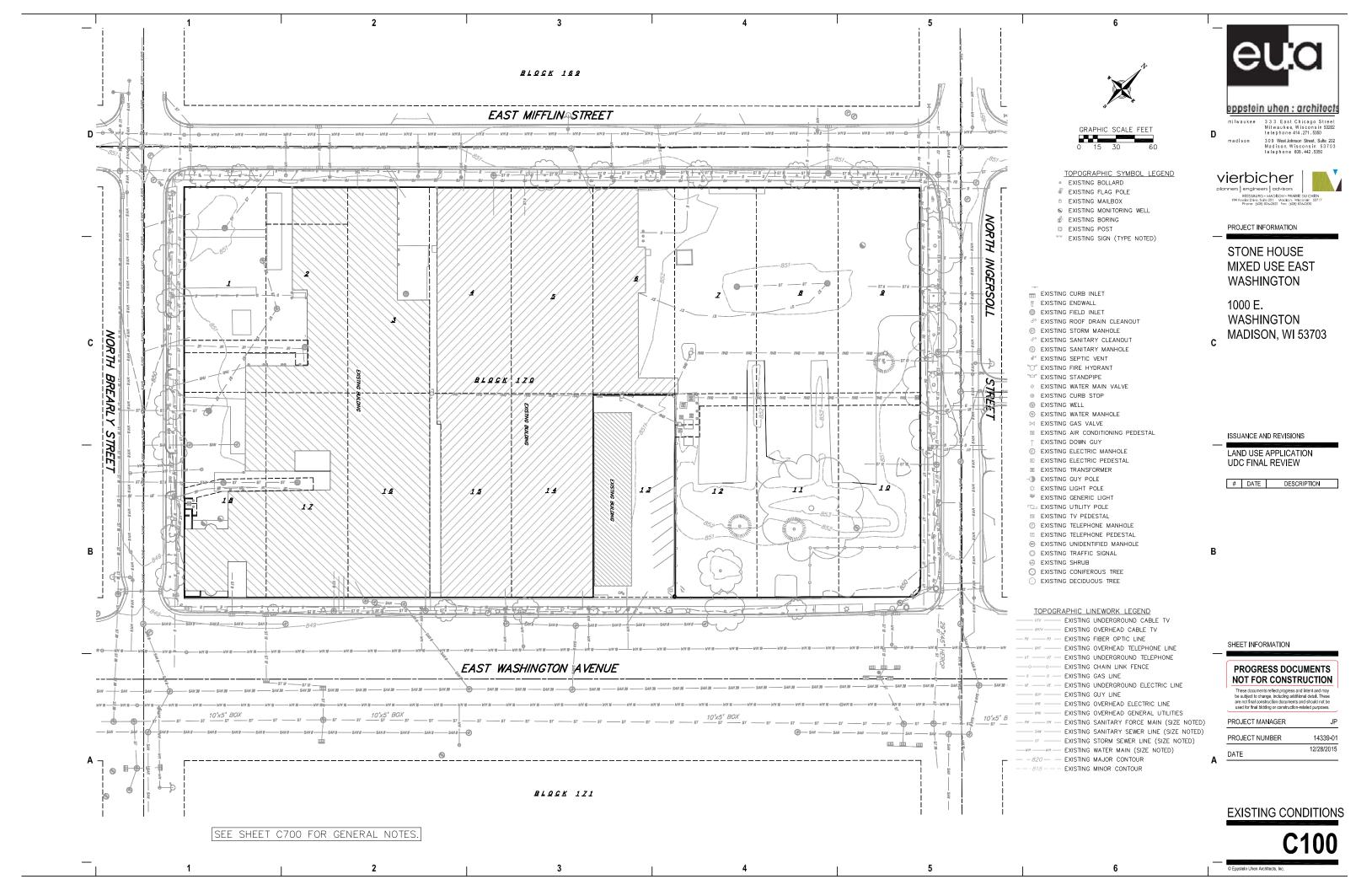
PROGRESS DOCUMENTS **NOT FOR CONSTRUCTION**

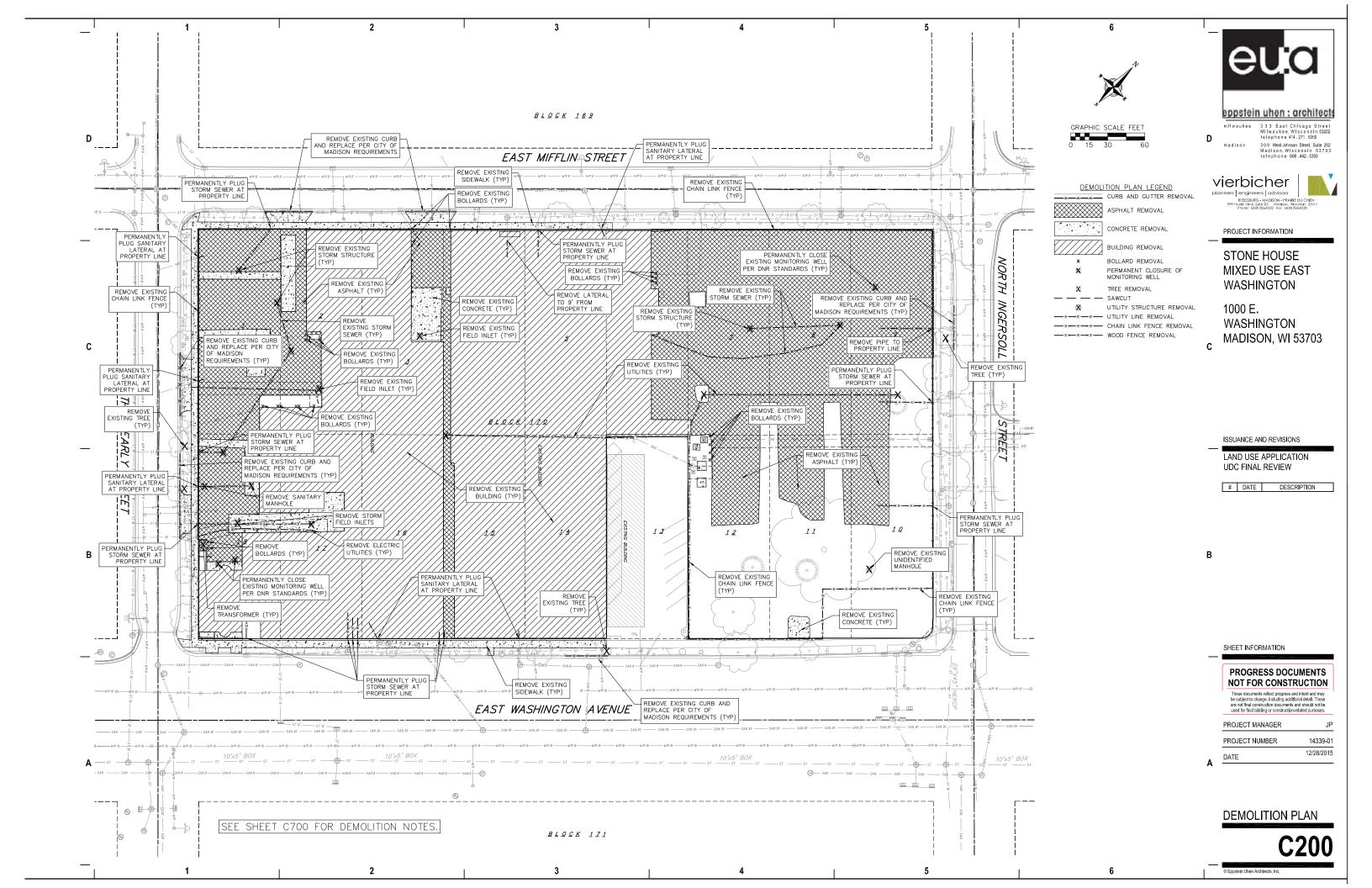
PROJECT MANAGER	JP
PROJECT NUMBER	14339-01
DATE	12/28/2015

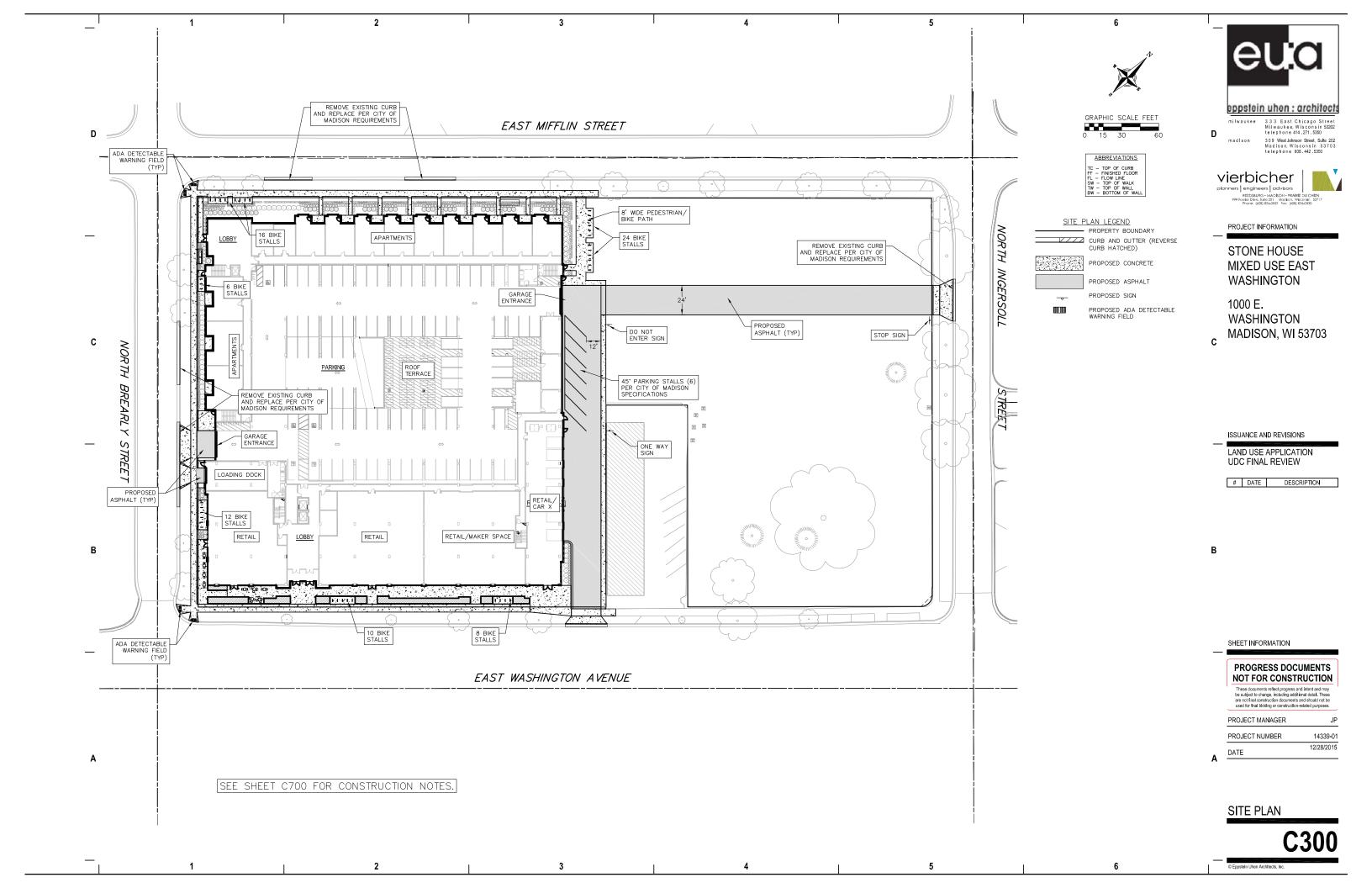
PRELIMINARY LIFE SAFETY PLAN

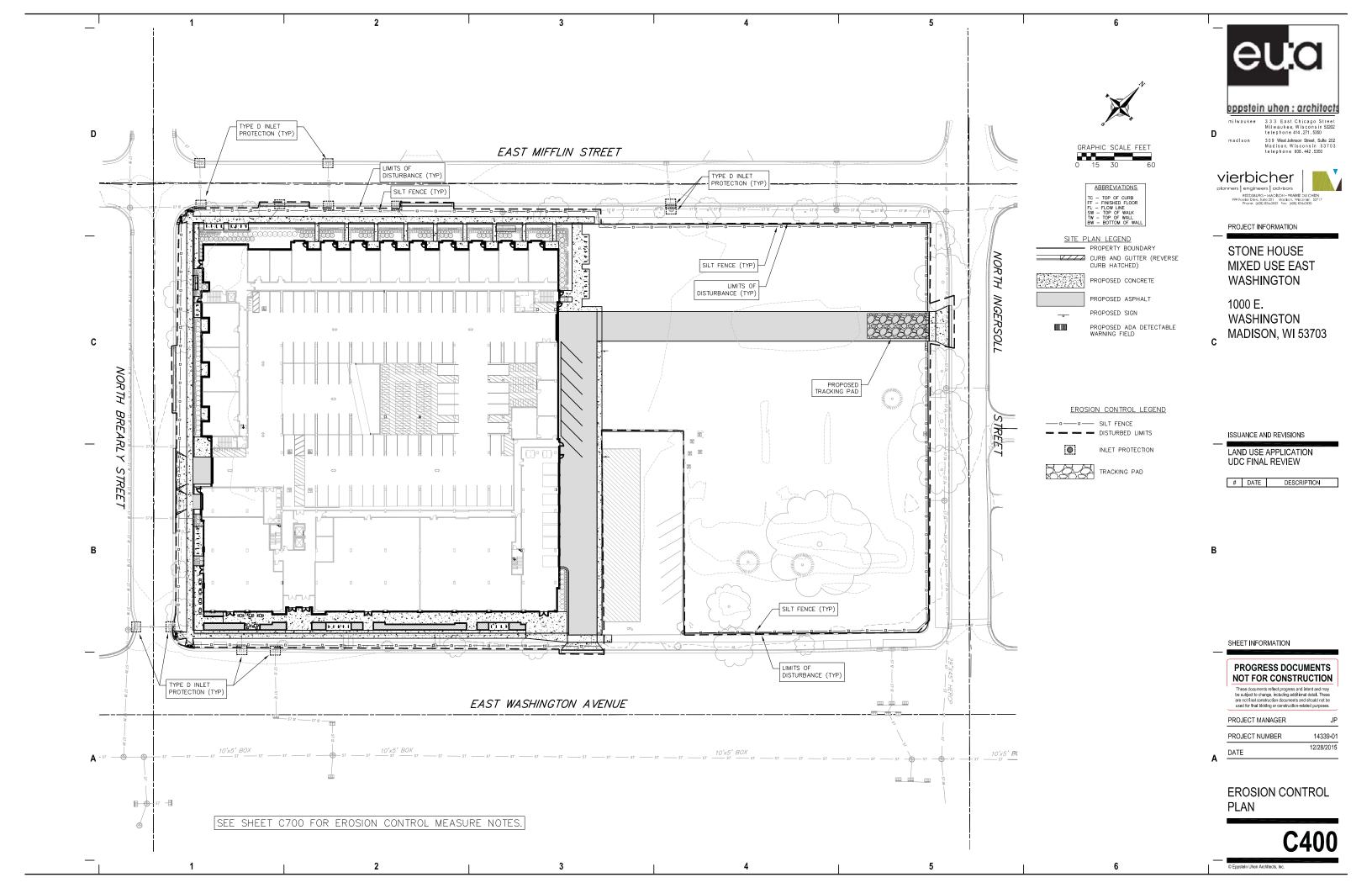
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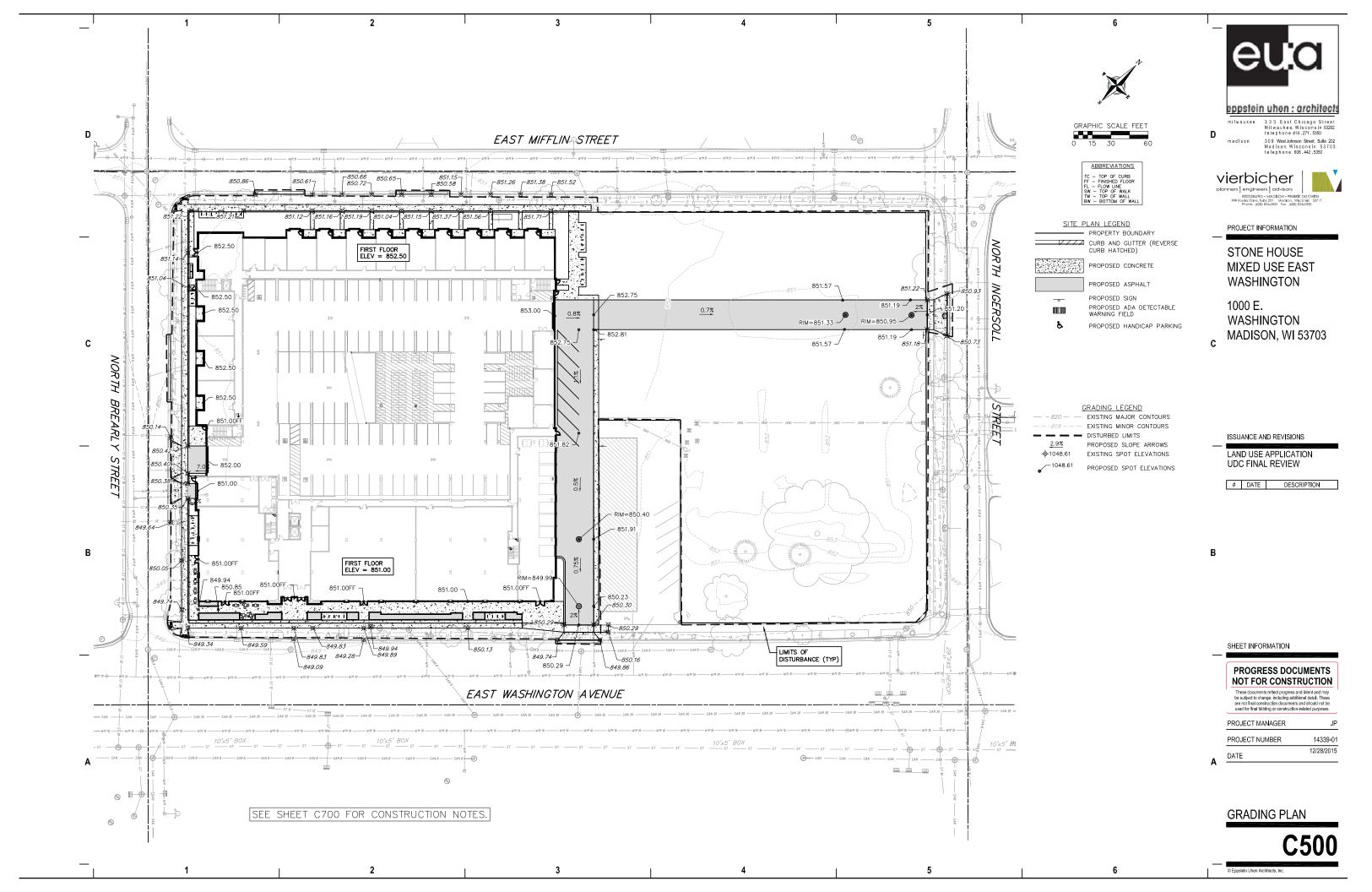
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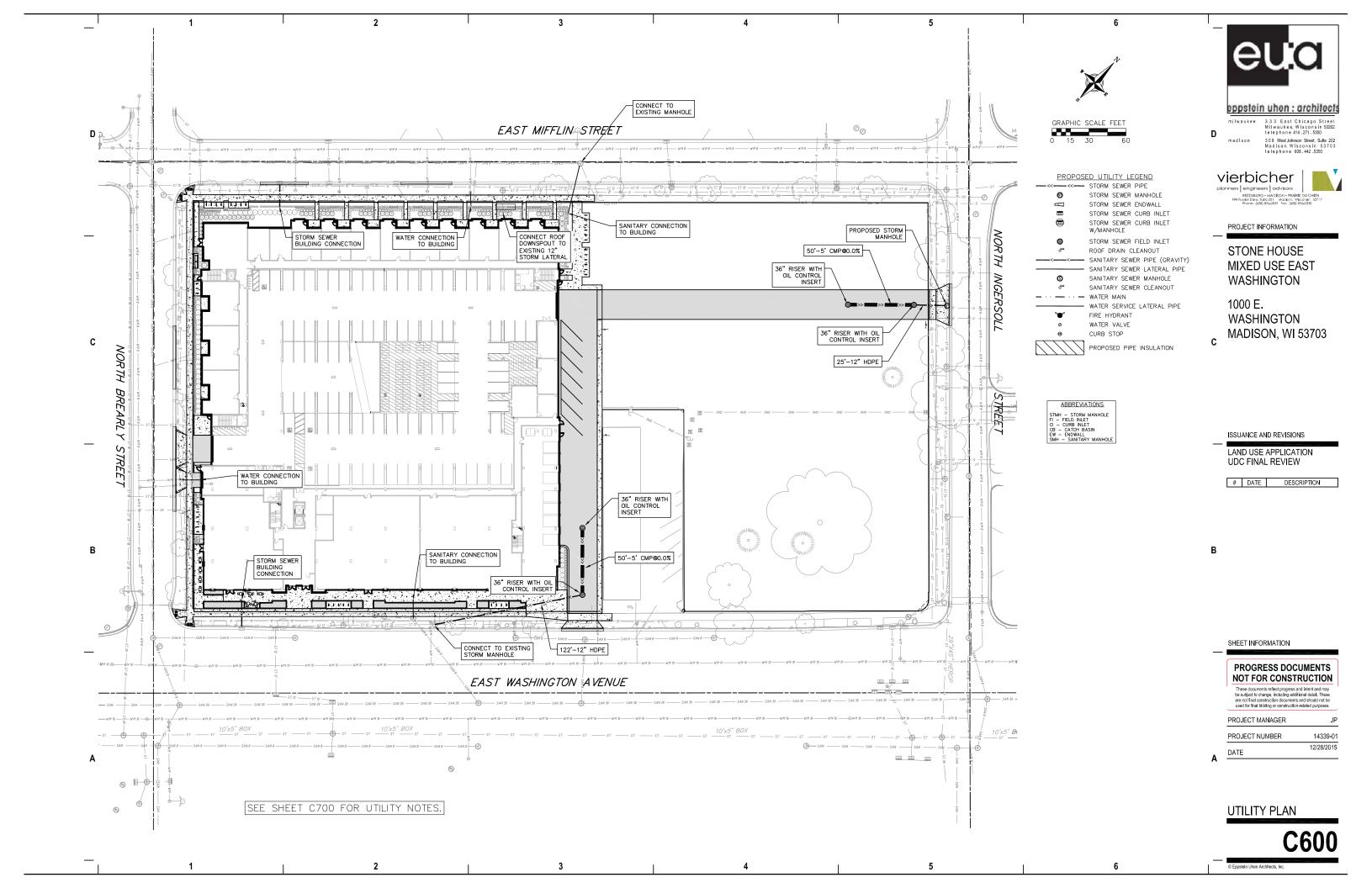












- THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRELORS. THE OWNER AND THE ENGINEER DO NOT ASSUBER RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE
- 2. STORM AND SANITARY LATERALS WERE HAND DRAWN BASED ON CITY OF MADISON GIS DATA FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS.
- 3. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF CONSTRUCTION RELATED
- 4. THESE DRAWINGS ASSUME THAT THE CONTRACTOR WILL UTILIZE AN ELECTRONIC DRAWING FILE AND STAKE ALL SITE IMPROVEMENTS USING COORDINATES TIED INTO CONTROL POINTS. THE DIMENSIONS INDICATED ON THE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY.
- 5. PRIOR TO THE USE OF THESE DRAWINGS FOR CONSTRUCTION PURPOSES, THE USER SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF BUILDINGS WITH THE FOUNDATION DRAWINGS AND ARCHITECTURAL SITE PLAN. IF CONFLICTS EXIST THE USER OF THESE DRAWINGS SHALL CONTACT THE ENGINEER IMMEDIATELY
- CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER AND THE CITY OF MADISON A MINIMUM OF 48 HOURS IN ADVANCE OF PERFORMING ANY WORK.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- 7. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER TBD).

SITE CONSTRUCTION NOTES:

- CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE. SEE SHEET C-XX FOR DETAILS.
- 2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
- 3. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, OR
- 4. CONTRACTOR SHALL OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, WORK IN RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
- 5. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- 6. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER TBD).
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.

DEMOLITION PLAN NOTES:

- DEMOLITION ACTIVITIES SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DEPENDIT, INCLUDING BUT NOT LIMITED TO, THE REUSE AND RECYCLING PLAN. THE DEMOLITION
- 2. PRIOR TO TREE REMOVAL, CONTRACTOR SHALL OBTAIN A CITY OF MADISON TREE
- 3. EXISTING STREET TREES SHALL BE PROTECTED. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. IF THE SIDEWALK IS REMOVED, TREE PROTECTION FENCING SHALL BE EXTENDED OUT INTO THE SIDEWALK AREA NEAR THE TREES TO PROTECT THE ROOTS THAT EXIST UNDER THE WALK, NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THY OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESCARY CONTRACTORS SHALL CONTROL CITY FORESTRY (2004 A16) PRIDE TO OUISIDE EDGE OF A IREE IRONK. IF EXCAVATION WITHIN 5 FEEL OF ANY IREE IS NECESSARY, CONTRACTORS SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. PRIOR TO CONSTRUCTION ACTIVITIES, TREE PRUNING AND A PRE-CONSTRUCTION MEETING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION

 -HTTP://WWW.CITYOFMADISON.COM/BUSINESS/PW/DOCUMENTS/STDSPECS/2013/PARTI.PDF.
- 4. THE SANITARY SEWER LATERALS WILL BE PLUGGED BY THE CONTRACTOR AT THE PROPERTY LINE, AND WILL ALSO BE PLUGGED BY CITY ENGINEERING AT THE SANITARY
- 5. THE CONTRACTOR SHALL NOTIFY CITY ENGINEERING CONSTRUCTION INSPECTOR 266-4514 AT LEAST 24 HOURS IN ADVANCE AND SHALL ALLOW ENTRY ON THE PROPERTY TO INSPECT THE SEWER PLUG.
- THE CONTRACTOR SHALL BACKFILL THE EXCAVATION WITH SUPERVISION OF THE CITY ENGINEER TO ENSURE NO DAMAGE IS DONE TO THE LATERAL PLUG BY THE BACKFILL

EROSION CONTROL MEASURE NOTES:

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- 2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (http://dnr.wi.gov/runoff/stormwater/techstds.htm) and Wisconsin construction site best management practice handbook.
- 3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, ETC.) PRIOR TO INITIATING LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- 5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS

REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

- 6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNT TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC
- 7. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7—CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT PAVED AREA OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN
- 8. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWERNCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SUPFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SOUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCUMPEDED IN A MANIETO TEAT OF ALIGNED PROVIDED STATE OF THE SITE A MERCAPORPHIC SITE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING). PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.
- 9. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT AS NECESSARY BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM
- 10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS REDE WISCONSIN D.O.T. TYPE D. INLET. PROTECTION. THE FILTERS SHALL BE MAINTAINED UNIT. THE CITY HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
- 11. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
- 12. ALL AREAS WHICH ARE NOT PAVED SHALL RECEIVE A MINIMUM OF 4" TOPSOIL PRIOR
- 13. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- 14. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- 15. EROSION MAT (TYPE I CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- 16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B. PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- 17. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY.
- 18. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- 19. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY
- 20. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF MADISON.
- 21. THE CITY OF MADISON, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.
- 22. IF THE TERRACE IN THE R/W IS TO BE DISTURBED, CONTRACTOR SHALL CONSIDER PLACING STONE/MULCH TO MINIMIZE RUNOFF.
- 23. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER TBD).

CONSTRUCTION SEQUENCE:

- 1. INSTALL SILT FENCE AND TRACKING PAD.
- 2. INSTALL INLET PROTECTION ON EXISTING INLETS ADJACENT TO PROPERTY.
- 3. PERFORM SITE DEMOLITION AND REMOVE PAVEMENT (AS NECESSARY).
- 4. STRIP SITE TOPSOIL AND STOCKPILE/REMOVE EXCESS
- 5. ROUGH GRADE FOR BUILDING PADS AND WALKS
- CONSTRUCT UNDERGROUND UTILITIES. 7. INSTALL INLET PROTECTION ON NEW INLETS
- 8. CONSTRUCT WALKS, DRIVE, CURB AND GUTTER AND LOADING AREA.
- 9. FINAL GRADE SITE. INSTALL TOPSOIL, SEED, FERTILIZER AND MULCH
- 10. REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED.

SEEDING RATES:

I USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

TEMPORARY AND PERMANENT:
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:

USE ½" TO 1-½" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR

- PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(d).
- 2. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM
- 3. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(11)(h) AND COMM 82.40(8)(k).
- 4. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(8)(b.).
- 5. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
- 6. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
- 7. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE
- 8. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
- 10. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
- 11. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- 12. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
- 13. THE DEVELOPER SHALL INSTALL THE 3M™ FLECTRONIC MARKER SYSTEM (FMS) 4" EXTENDED RANGE 5' BALL MARKERS-WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
- 14. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
- 15. PUBLIC RIGHT-OF-WAY IMPROVEMENTS TO BE CONSTRUCTED PER CITY OF MADISON PLANS (PROJECT NUMBER TBD).
- 16. ALL DAMAGE TO THE PAVEMENT ON SOUTH PARK STREET AND FISH HATCHERY ROAD ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE
- 18. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED

 BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.



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3 0 9 West Johnson Street, Sulte 202 Madison, Wisconsin 53703 telephone 608.442.5350

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PROJECT INFORMATION

STONE HOUSE MIXED USE EAST WASHINGTON

1000 E. WASHINGTON MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION **UDC FINAL REVIEW**

DATE DESCRIPTION

SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

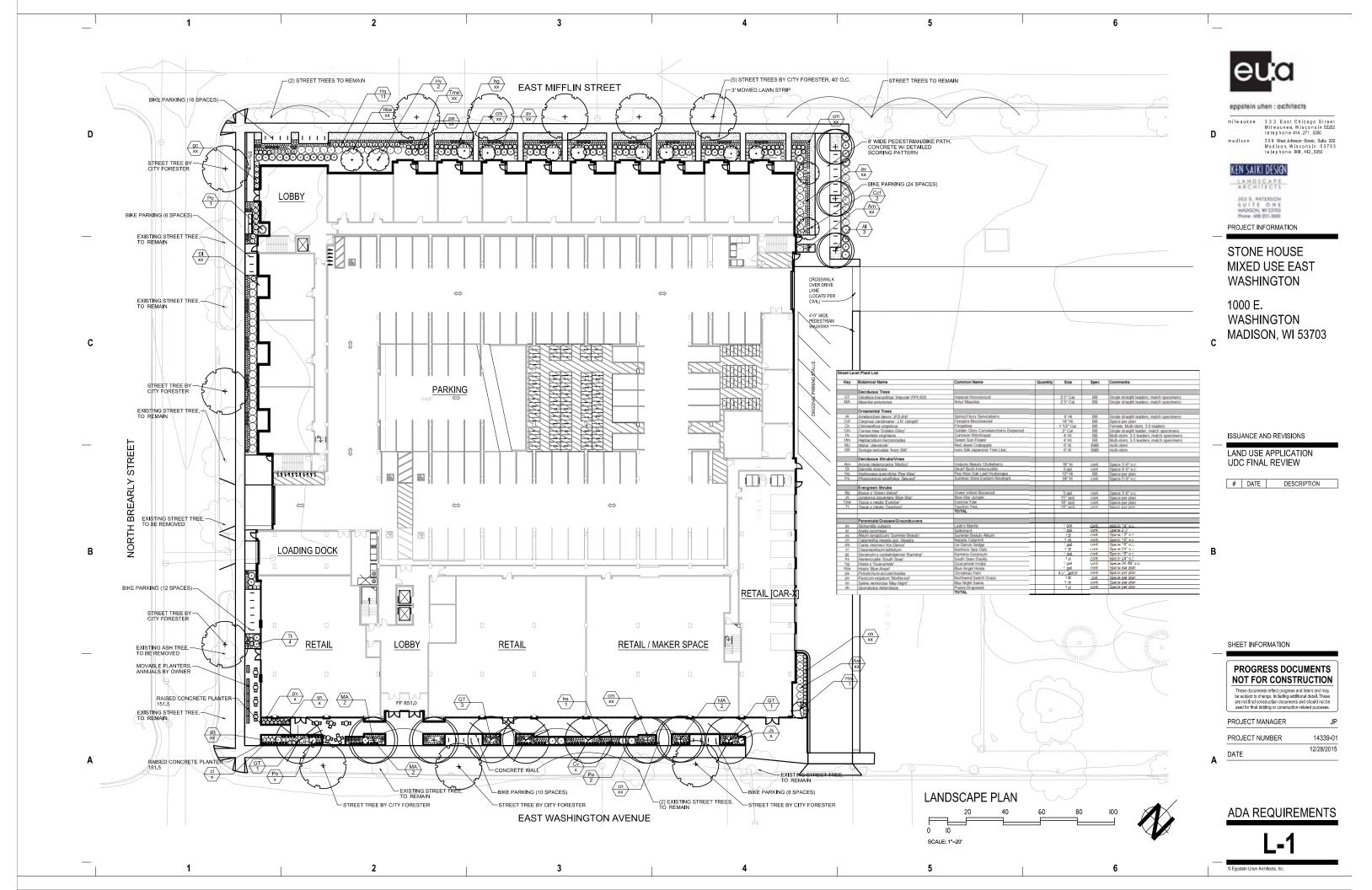
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PROJECT MANAGER

PROJECT NUMBER 14339-01 12/28/2015 DATE

CONSTRUCTION

NOTES



3rd Floor Green Roof Plant List 12"-16" ht. Multi-stemmed 12"-16" ht. Specimen UNIT B.1 431 SF Extensive Green Roof - mix 1 8" spd 4".5" ht Extensive Green Roof - mix 2 Sedum acre 'Aureum' Sedum album 'Coral Caspel' Sedum eliacombarum Sedum floziscum Welhenstechane Sedum sexangulare 'Datum' Sedum sexangulare 'Datum' Sedum sexangulare 'Dragon's Blood' 5' FIRE EGRESS PATH RAISED GARDEN BEDS -SINGLE/SHARED 8'X12' PLOTS MS Allium 'Summer Beauty' ◆ Aster sericeus ♣ Coreopsis verticillata 'Tweety' ⊙ Nepeta x faassenii 'Walker's Low'
 ⊙ Sedum floriferum 'Weihenstephan
 ⊙ Sedum spectabilis 'Brilliant' PERGOLA -GAS -FIREPLACE Sesleria autumnalis GRILL STATION SEDUM MIX —PAVER EDGE 3RD FLOOR ROOF TERRACE LANDSCAPE PLAN

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В



eppstein uhen : aichite

milwaukee 3 3 3 East Chicago Street
Milwaukee, Wisconsin 53202
telephone 414.271.5350

madison 30.9 West Johnson Street, Sulte 202 Madison, Wisconsin 53703 telephone 608.442.5350

KEN SAIKI DESIGN

LANDS CAPE ARCHITECTS

303 S. PATERSON S U I T E O N E MADISON, WI 53703 Phone: 608 951-3600

PROJECT INFORMATION

STONE HOUSE MIXED USE EAST WASHINGTON

1000 E. WASHINGTON MADISON, WI 53703

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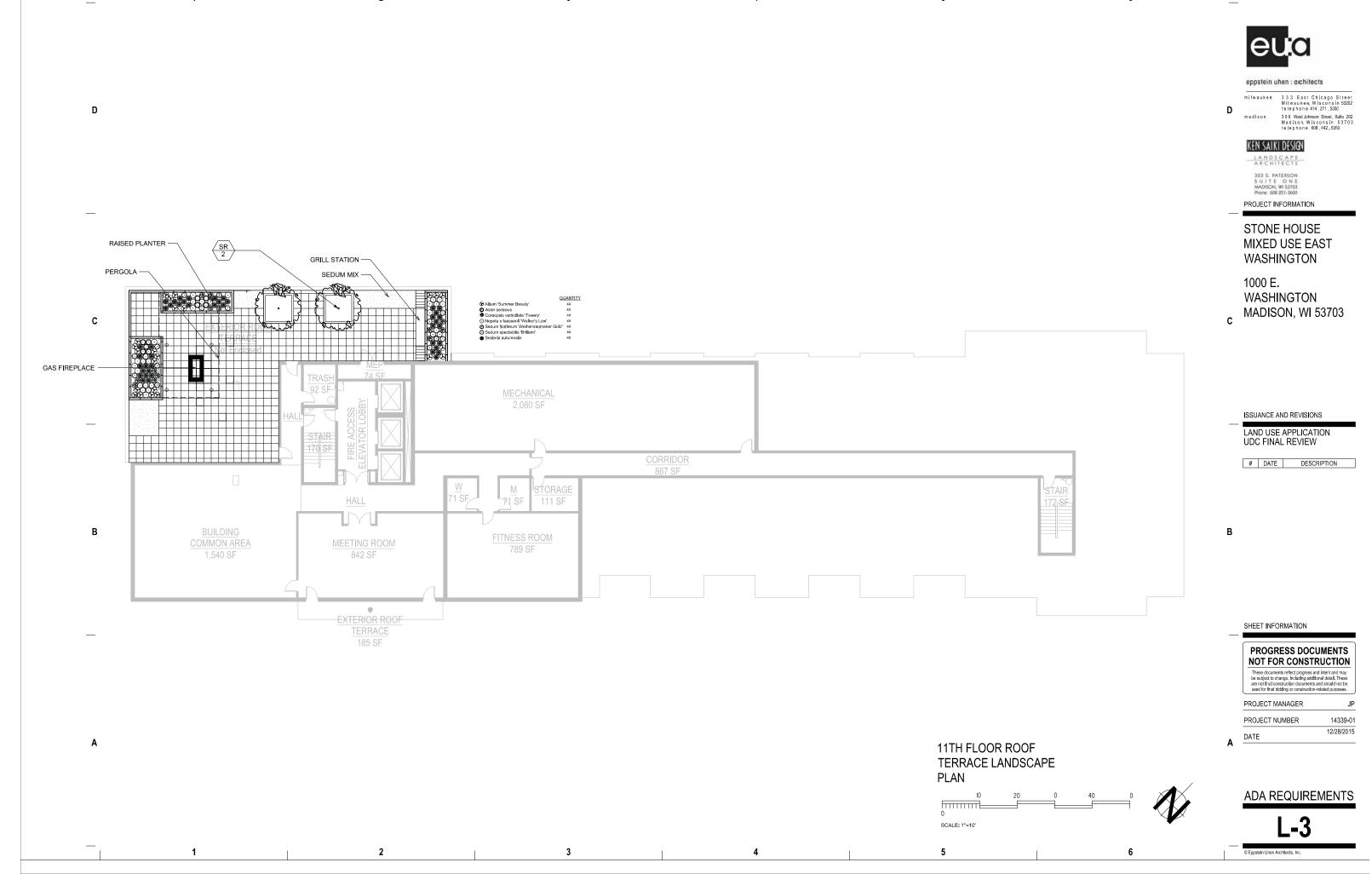
DATE

ADA REQUIREMENTS

SCALE: 1"=20'

L-2

postein Uhen Architects, Inc.





PROJECT INFORMATION

STONE HOUSE MIXED USE EAST WASHINGTON

1000 E. WASHINGTON MADISON, WI 53703



VIEW FROM EAST WASHINGTON AND LIVINGSTON LOOKING EAST

D



VIEW FROM EAST WASHINGTON LOOKING EAST



VIEW FROM EAST WASHINGTON AND INGERSOLL LOOKING WEST

ISSUANCE AND REVISIONS

LAND USE APPLICATION UDC FINAL REVIEW

DATE DESCRIPTION

SHEET INFORMATION

PROGRESS DOCUMENTS

PROJECT NUMBER

EXISTING SITE

14339-01



VIEW FROM MIFFLIN AND INGERSOLL LOOKING SOUTH



VIEW FROM MIFFLIN LOOKING SOUTH



VIEW FROM MIFFLIN AND BREARLY LOOKING EAST



309 West Johnson Street, Suite 202 Madison, Wisconsin 53703 telephone 608,442,5350

PROJECT INFORMATION

STONE HOUSE MIXED USE EAST WASHINGTON

1000 E. WASHINGTON MADISON, WI 53703



VIEW FROM EAST WASHINGTON OF EXISTING MADISON DAIRY





VIEW FROM EAST WASHINGTON LOOKING NORTHEAST





VIEW FROM MIFFLIN AND INGERSOLL LOOKING WEST



VIEW FROM MIFFLIN LOOKING NORTHEAST



VIEW FROM INSIDE BREESE STEVENS FIELD LOOKING WEST

LAND USE APPLICATION UDC FINAL REVIEW

DATE DESCRIPTION

SHEET INFORMATION

PROGRESS DOCUMENTS

PROJECT NUMBER

EXISTING SITE

14339-01



milwaukee 333 Milw telep

3 3 3 East Chicago Street Milwaukee, Wisconsin 53202 telephone 414.271,5350 3 0 9 West Johnson Chere, Suite 202 Madison, Wisconsin 53703 telephone 608.442,5350

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1000 E. WASHINGTON MADISON, WI 53703

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PROJECT MANAGER

PROJECT NUMBER

DATE

BUILDING SETBACKS

A02

14339-01

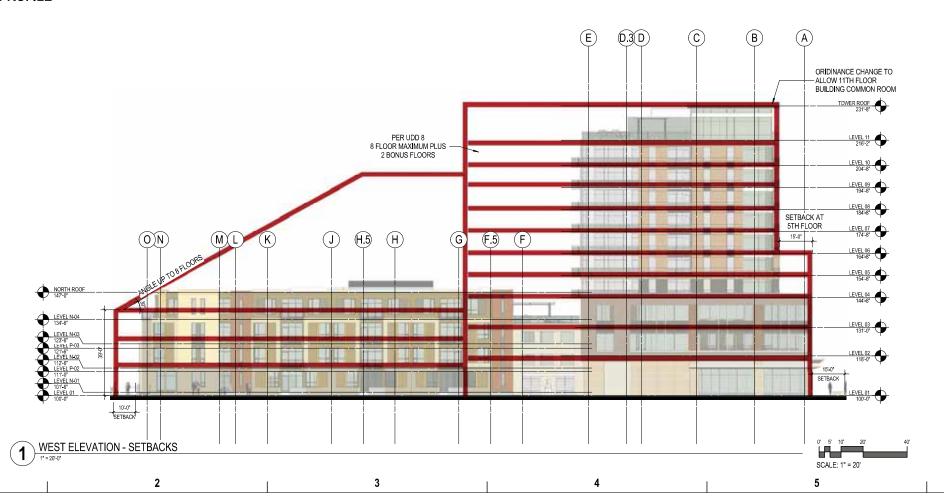
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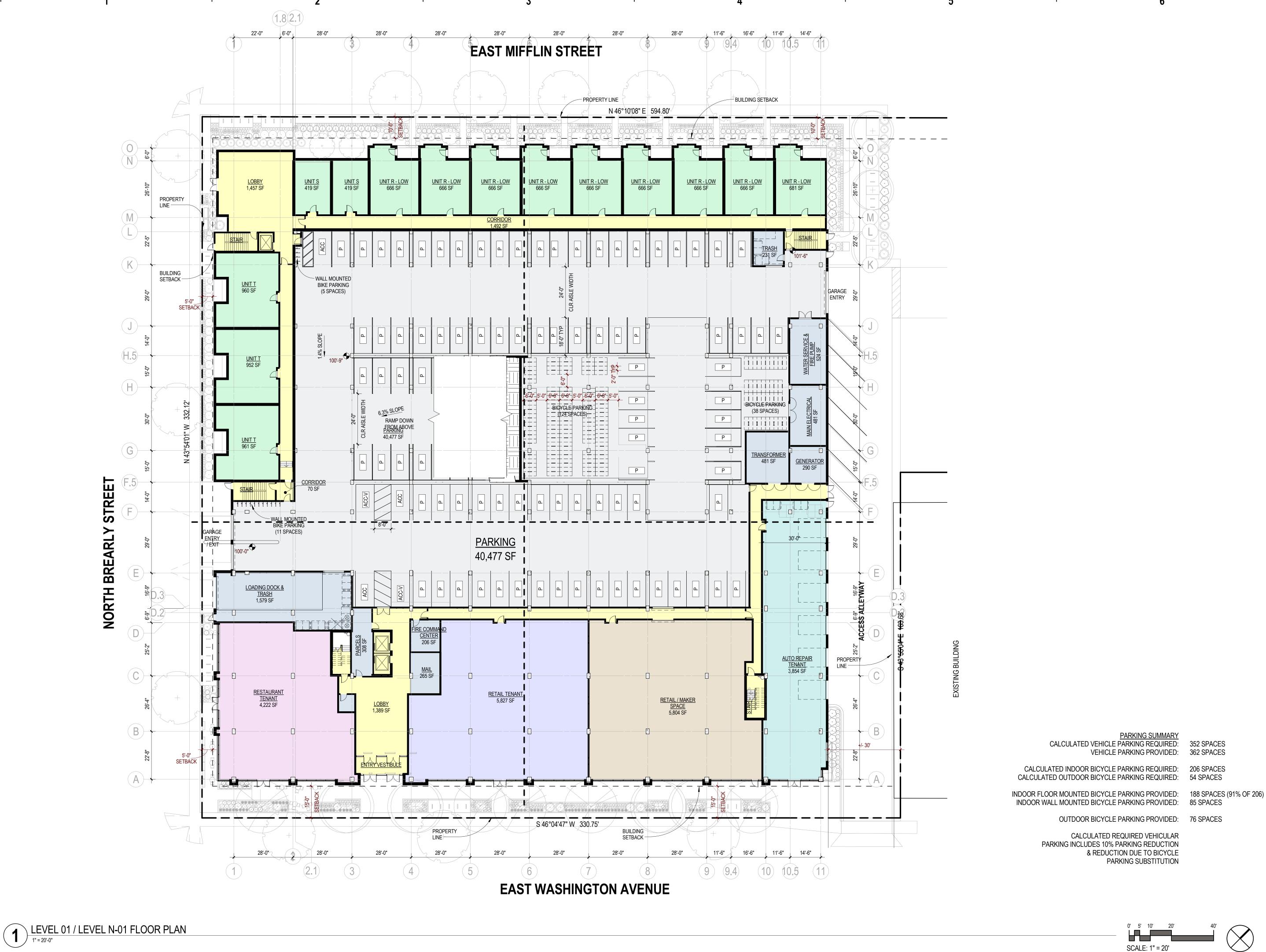
CONSTELLATION 12 STORIES GALAXIE 14 STORIES BREESE STEVENS FIELD PROPOSED DEVELOPLMENT 10 STORIES



DENSITY PROFILE

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eu:c

eppstein uhen : architects

milwaukee 3 3 3 East Chicago Street Milwaukee, Wisconsin 53202 telephone 414 . 271 . 5350 309 West Johnson Street, Suite 202 Madison, Wisconsin 53703 telephone 608.442.5350

PROJECT INFORMATION

STONE HOUSE MIXED USE EAST WASHINGTON

1000 E. WASHINGTON MADISON, WI 53703

ISSUANCE AND REVISIONS

LAND USE APPLICATION UDC REVIEW

DATE DESCRIPTION

SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

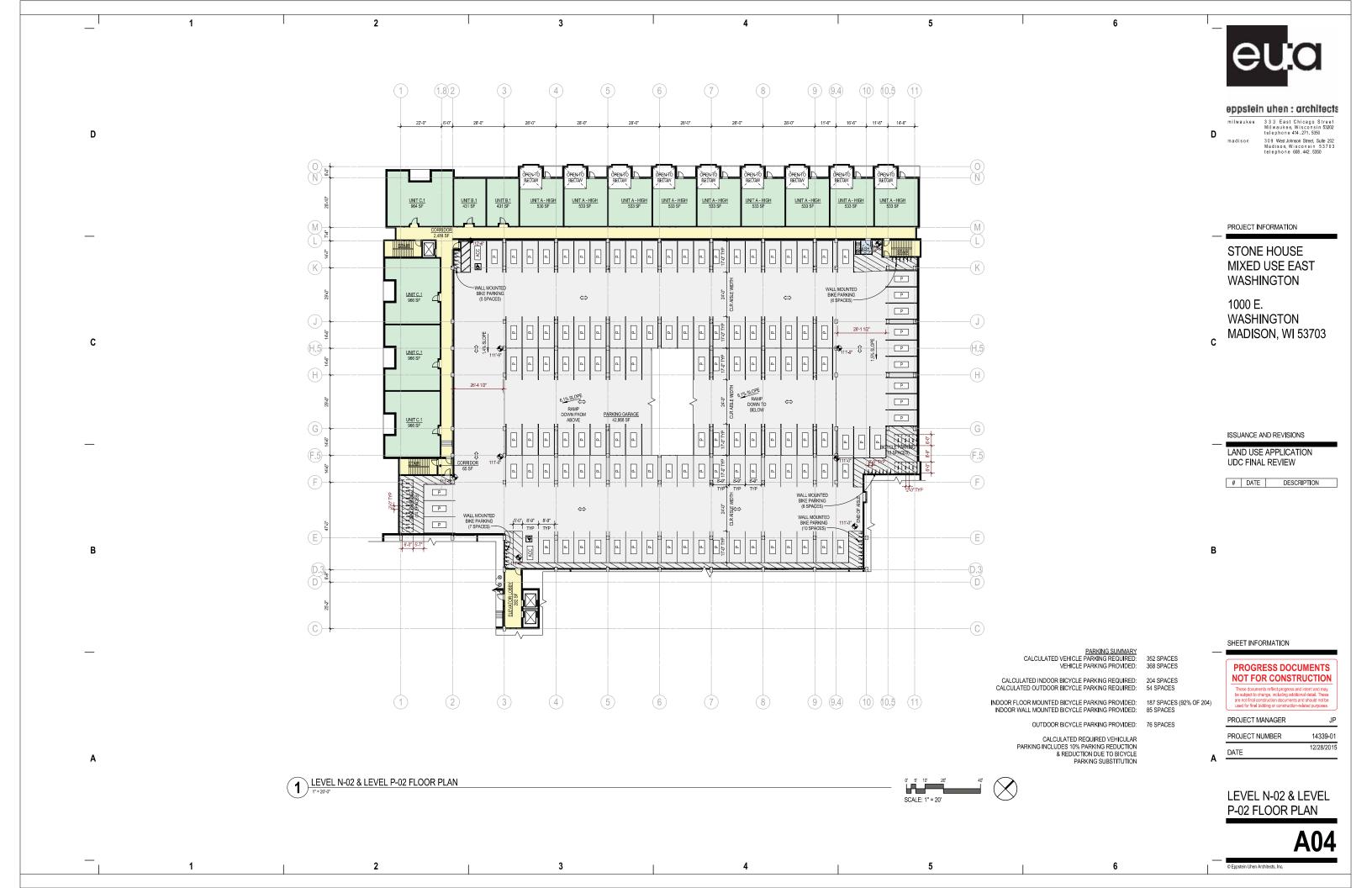
PROJECT MANAGER PROJECT NUMBER

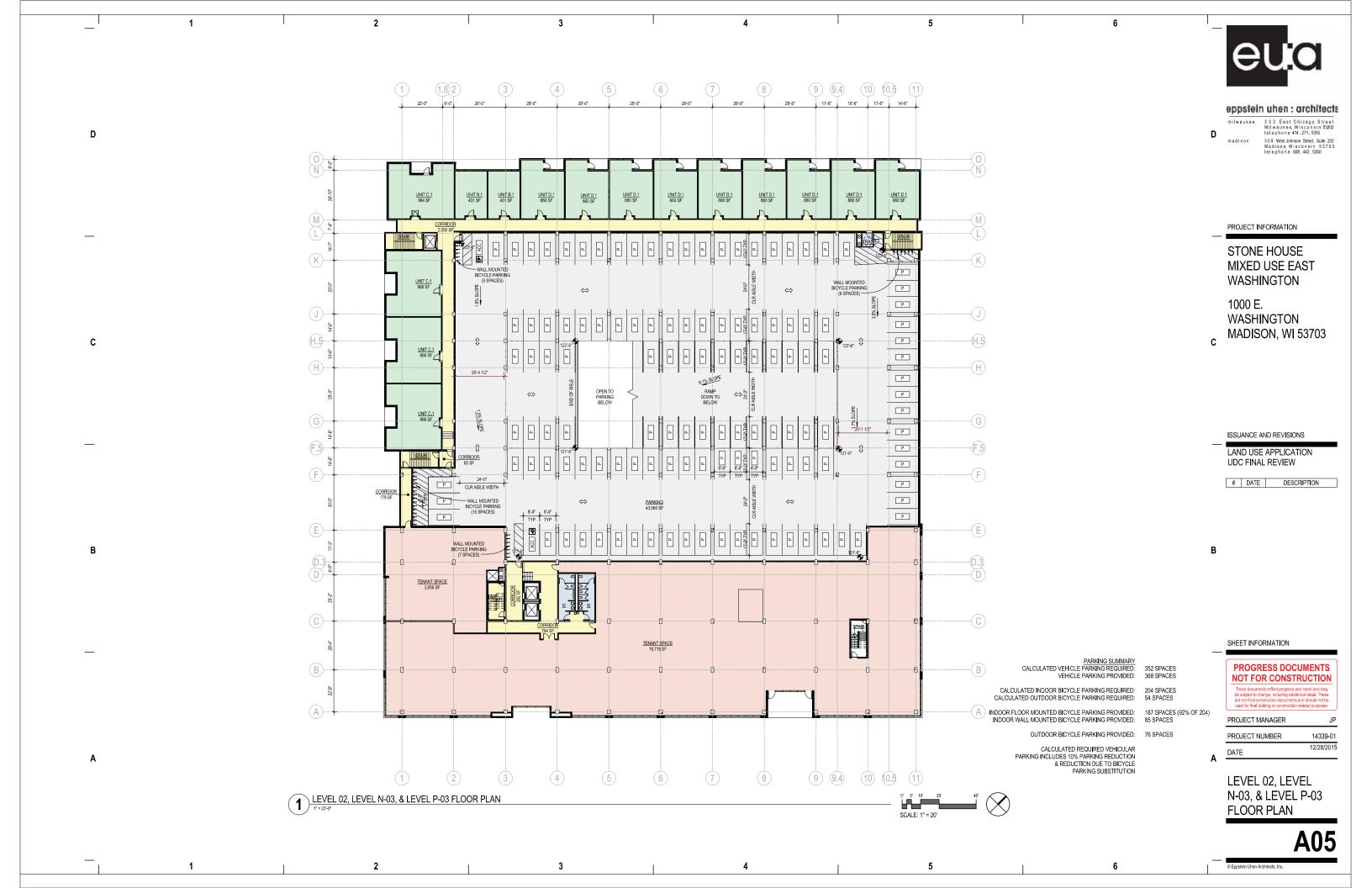
LEVEL 01 & LEVEL N-01 FLOOR PLAN

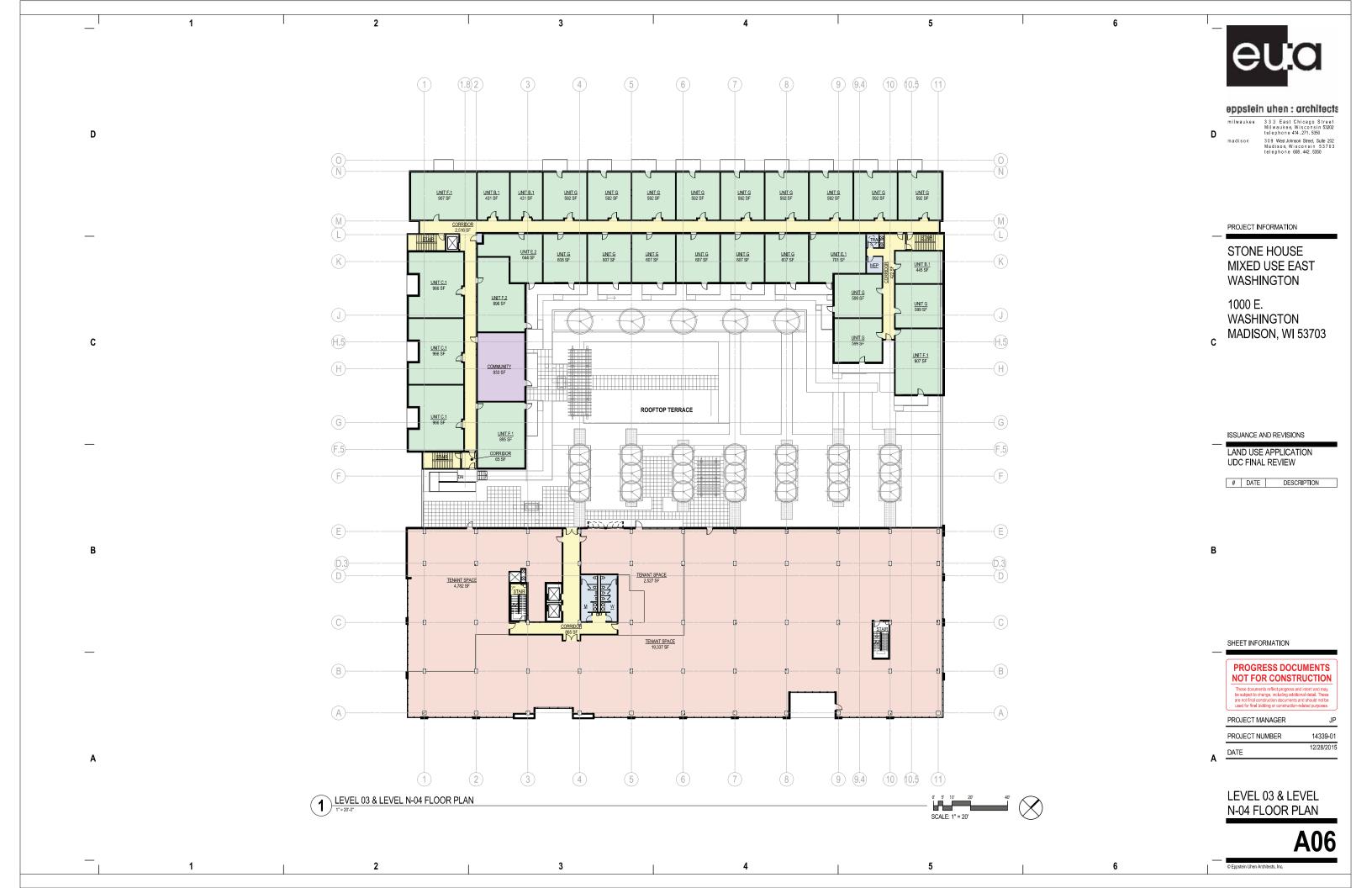
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12/28/2015

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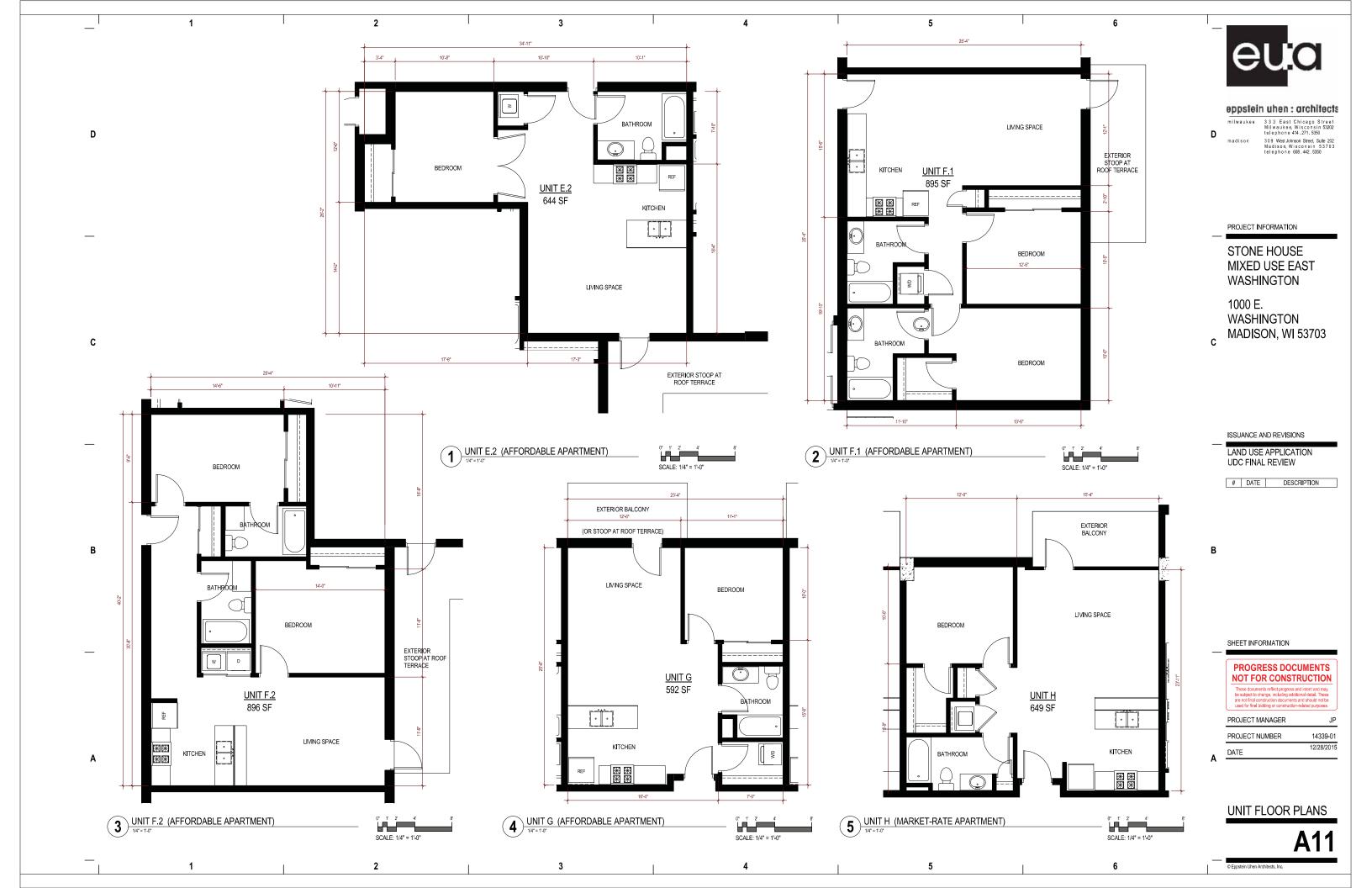


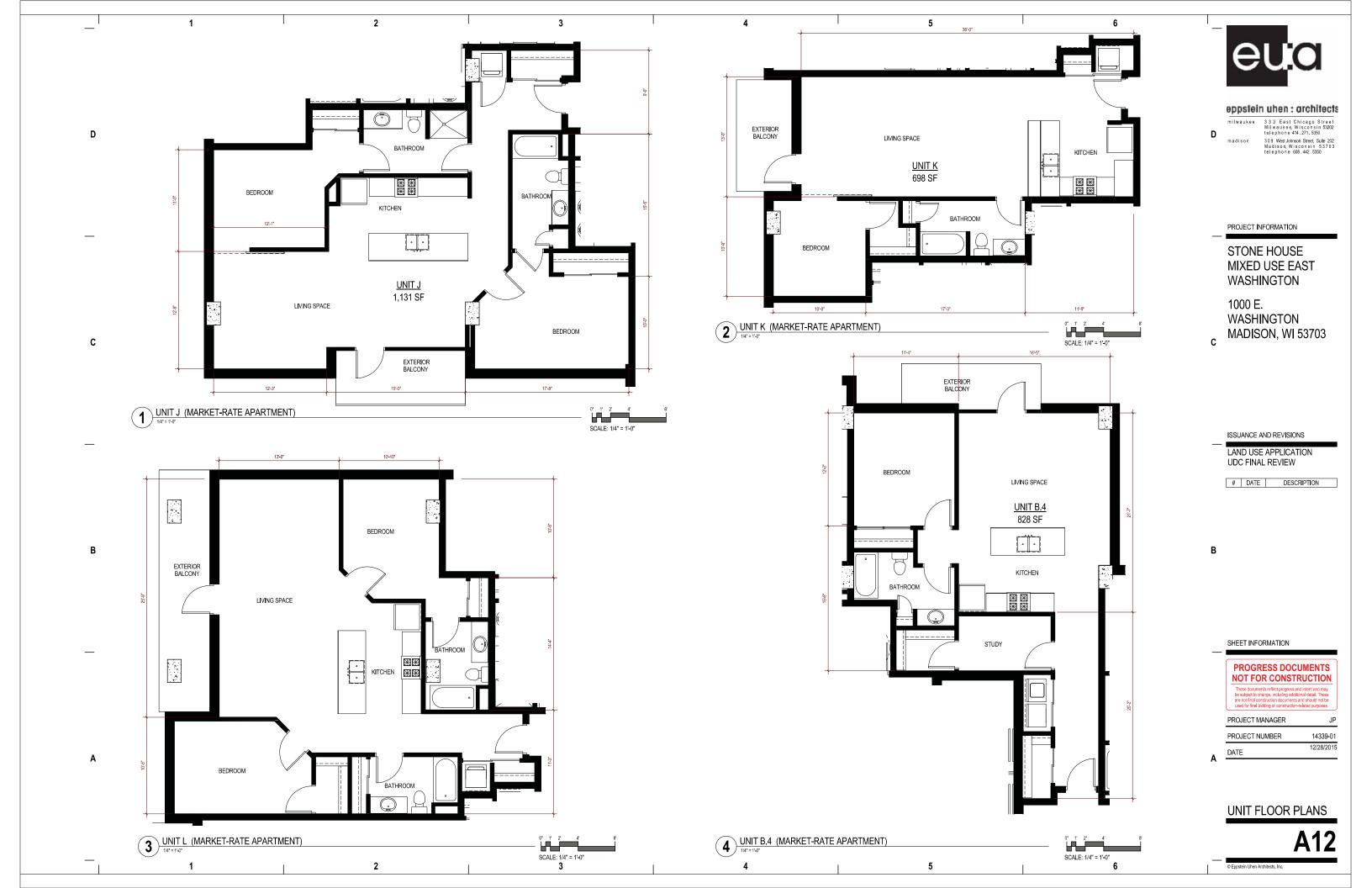






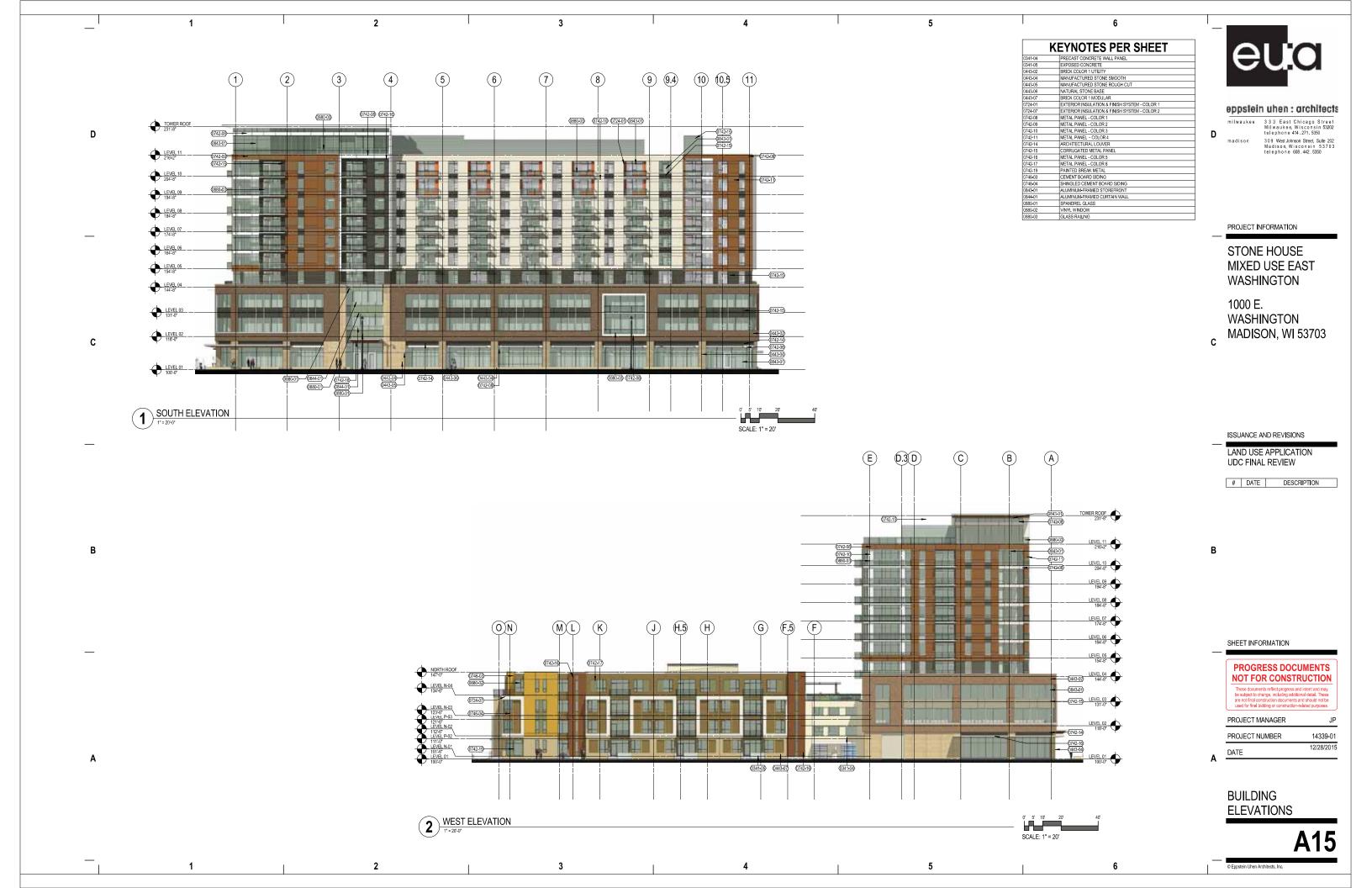


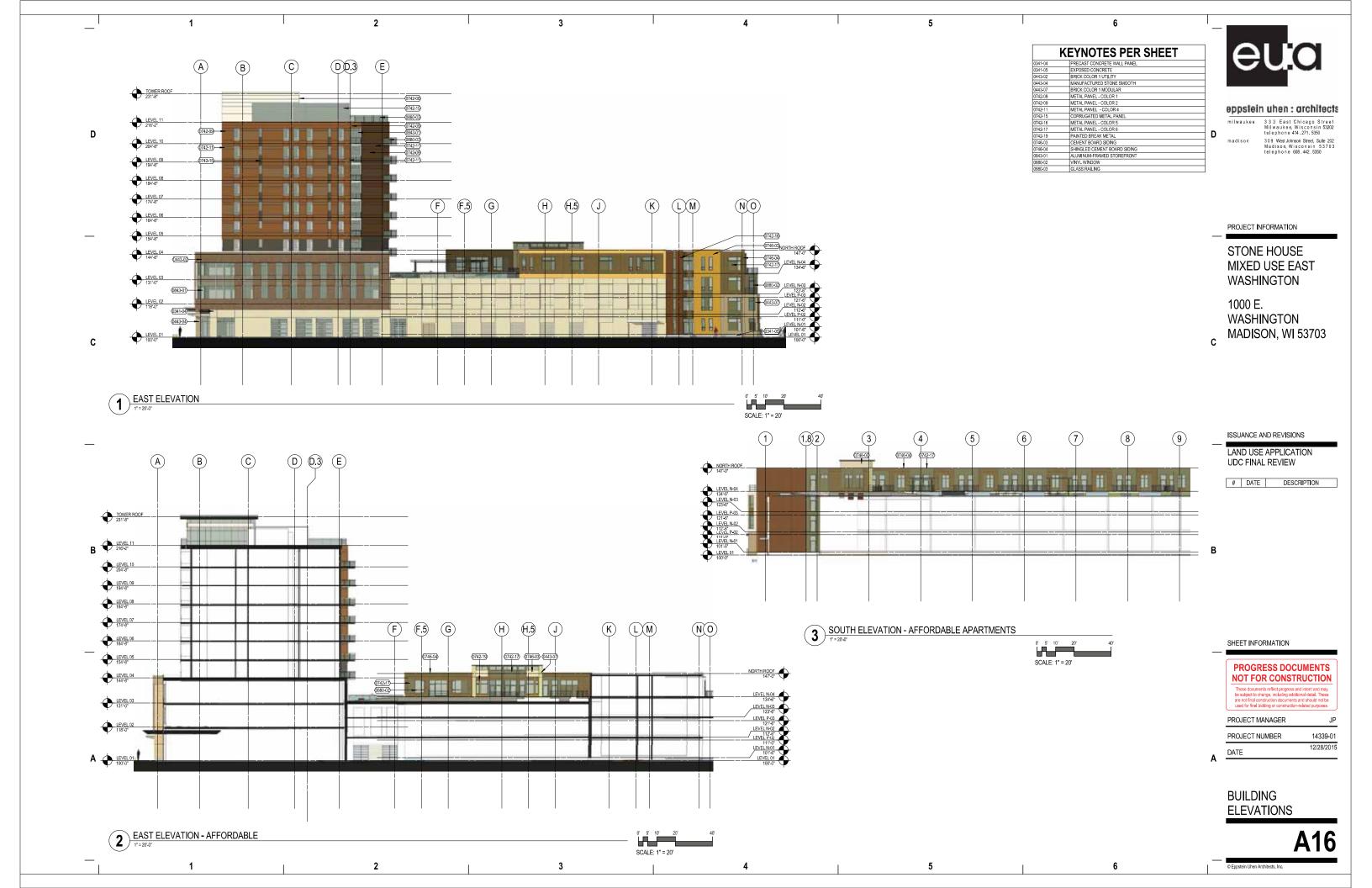














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14339-01

STREET VIEW FROM THE CORNER OF EAST WASHINGTON AND BREARLY

С



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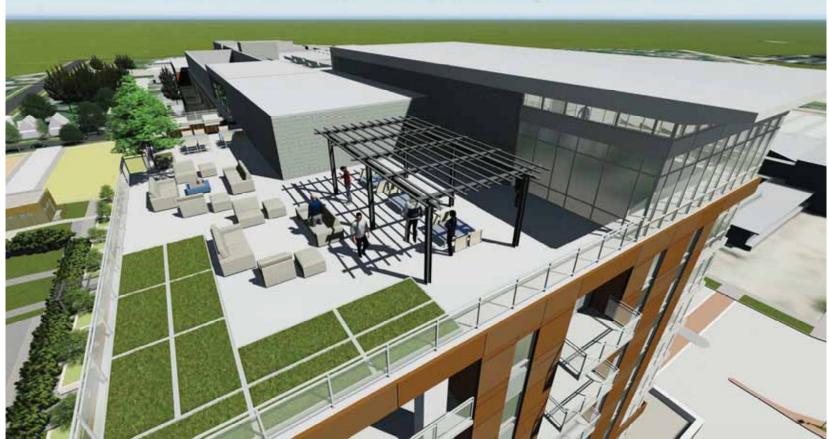
PERSPECTIVES

14339-01

VIEW FROM THE CORNER OF EAST WASHINGTON AND BREARLY



STREET VIEW FROM THE CORNER OF **EAST WASHINGTON AND BREARLY**



3 3 3 East Chicago Street Milwaukee, Wisconsin 53002 telephone 414.271.5350 3 0 9 West Johnson Street, Suite 202 Madison, Wisconsin 5 3 7 0 3 telephone 508.442.5350

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14339-01

ROOFTOP VIEW OF THE ELEVENTH FLOOR TERRACE

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VIEW OF THE AFFORDABLE HOUSING FROM THE CORNER OF MIFFLIN AND BREARLY



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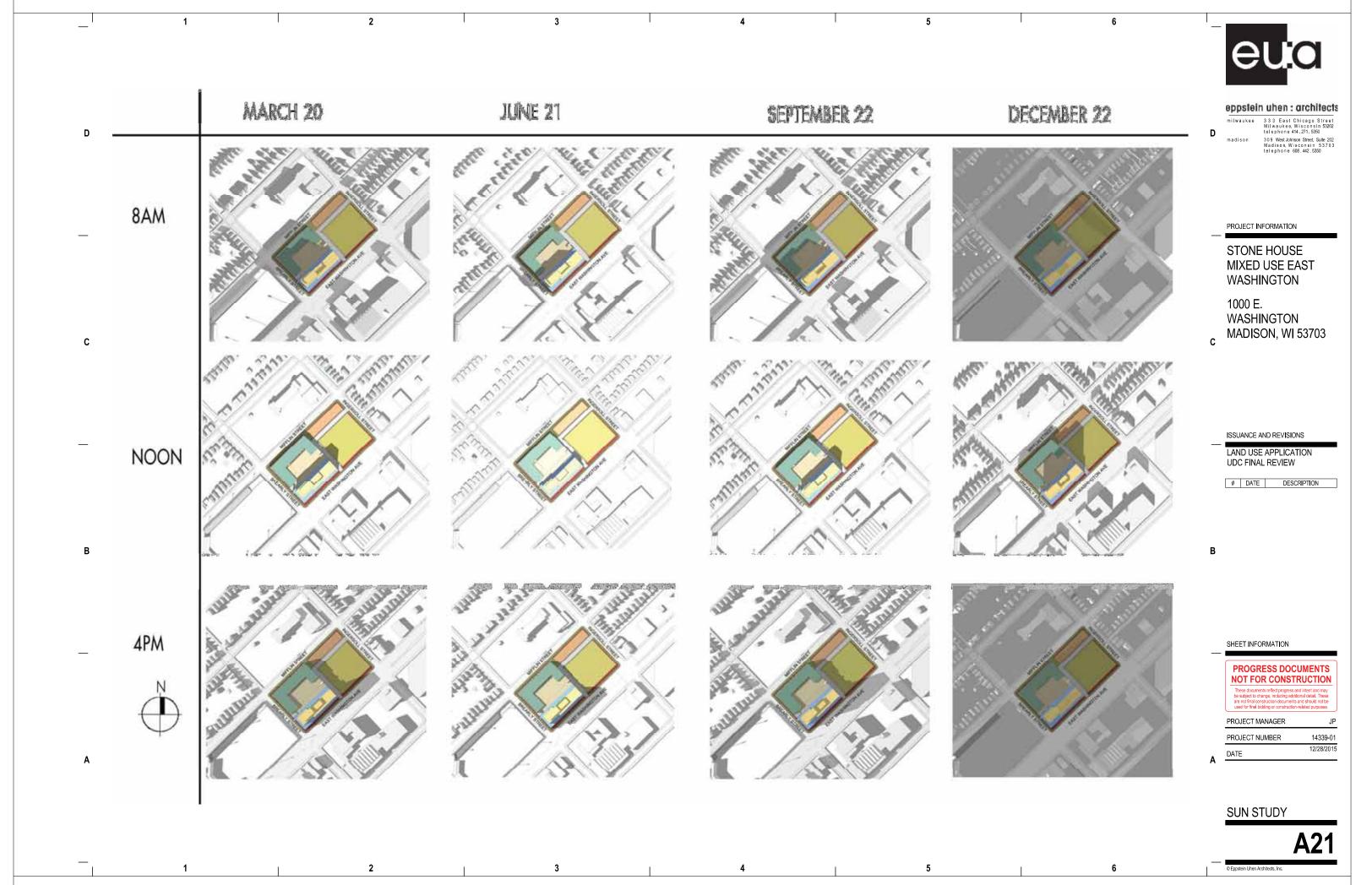
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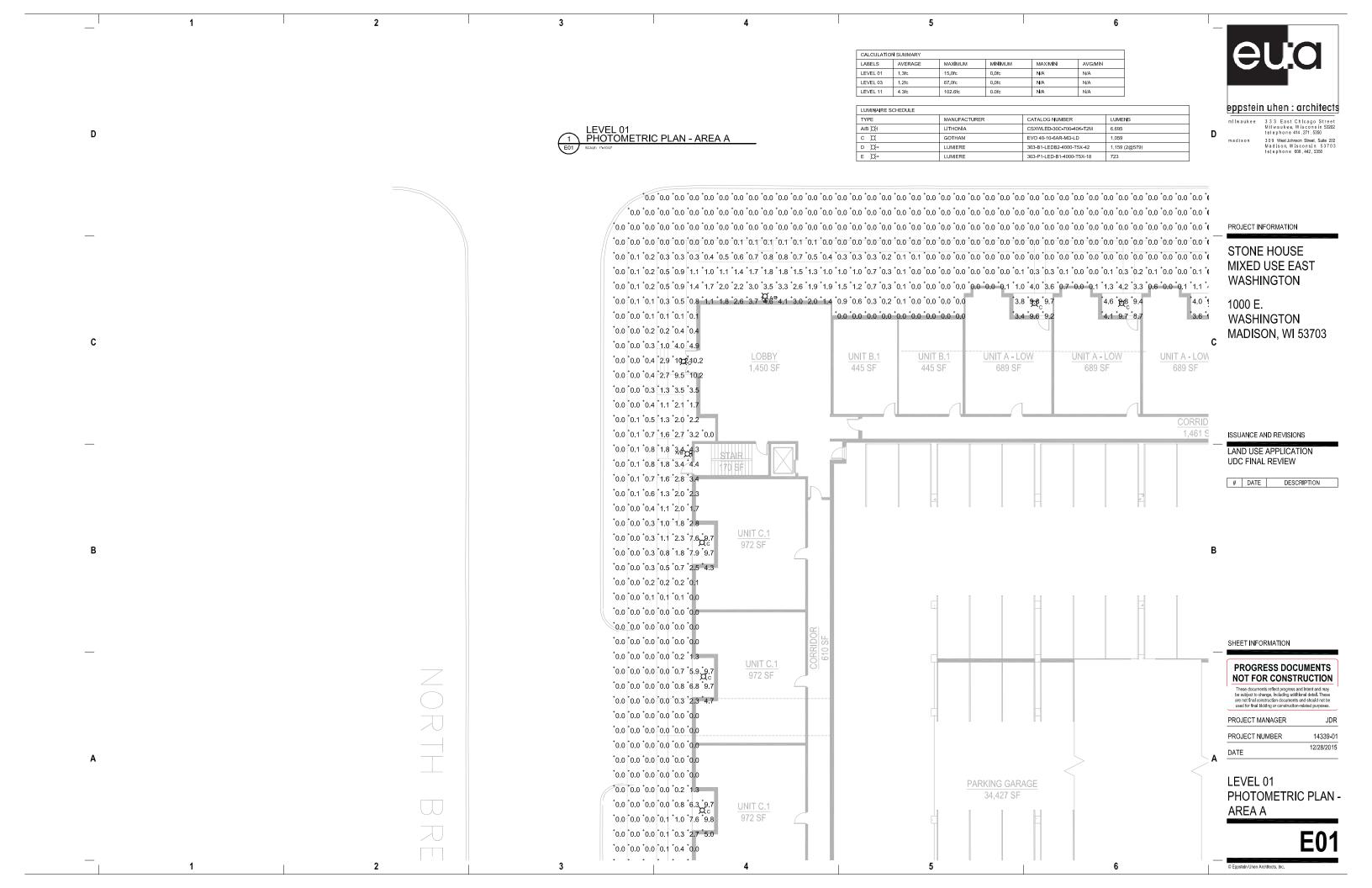
STREET VIEW FROM THE CORNER OF MIFFLIN AND BREARLY

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STREET VIEW OF THE AFFORDABLE **HOUSING FROM MIFFLIN**





CALCULATION SUMMARY

LABELS AVERAGE MAXIMUM MINIMUM MAX/MIN AVG/MIN

LEVEL 01

LEVEL 03

1.3fc

1.2fc

LEVEL 01 PHOTOMETRIC PLAN - AREA B

15.0fc

67.0fc

102.6fc

LUMINAIRE SCHEDULE			
TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
A/B XH	LITHONIA	CSXWLED-30C-700-40K-T2M	6,695
c¤	GOTHAM	EVO 40-10-6AR-MD-LD	1,059
□ X→	LUMIERE	303-B1-LEDB2-4000-T5X-42	1,159 (2@579)
E 74	LUMIERE	202 B1 LED B1 4000 TEV 19	700

N/A

N/A

N/A

N/A

N/A

N/A

0.0fc

0.0fc

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Madison, Wisconsin 5 3 7 0 3
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LAND USE APPLICATION UDC FINAL REVIEW

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PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

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PROJECT MANAGER

PROJECT NUMBER

DATE

LEVEL 01

PHOTOMETRIC PLAN -AREA B

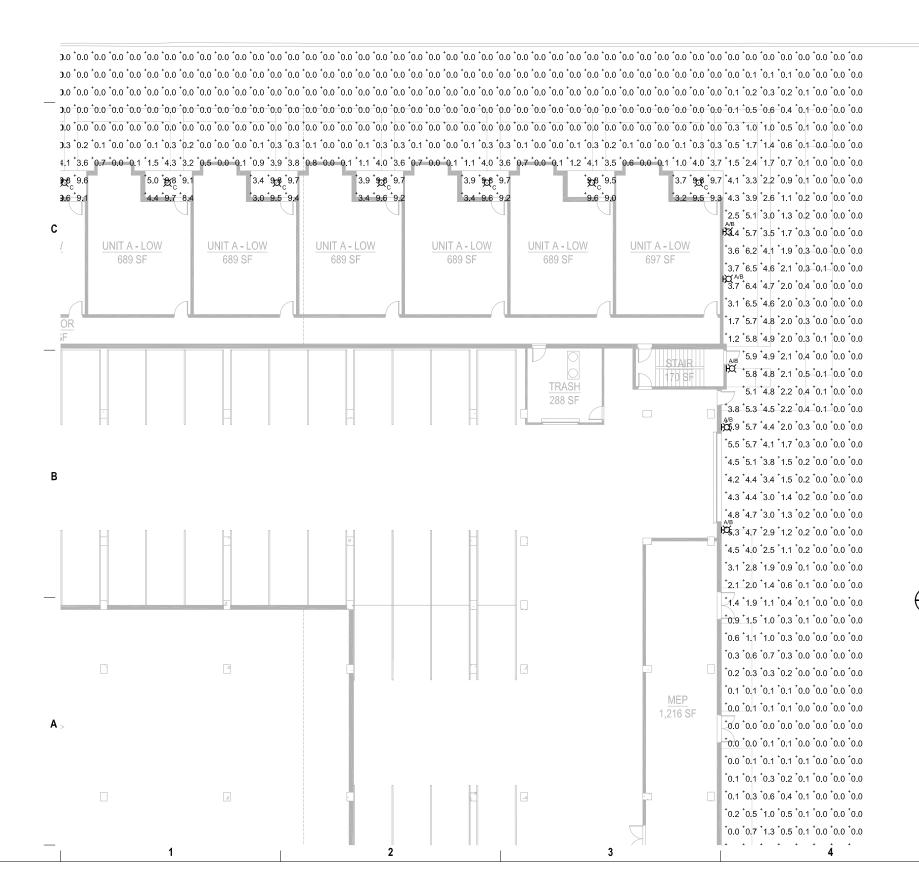
E02

JDR

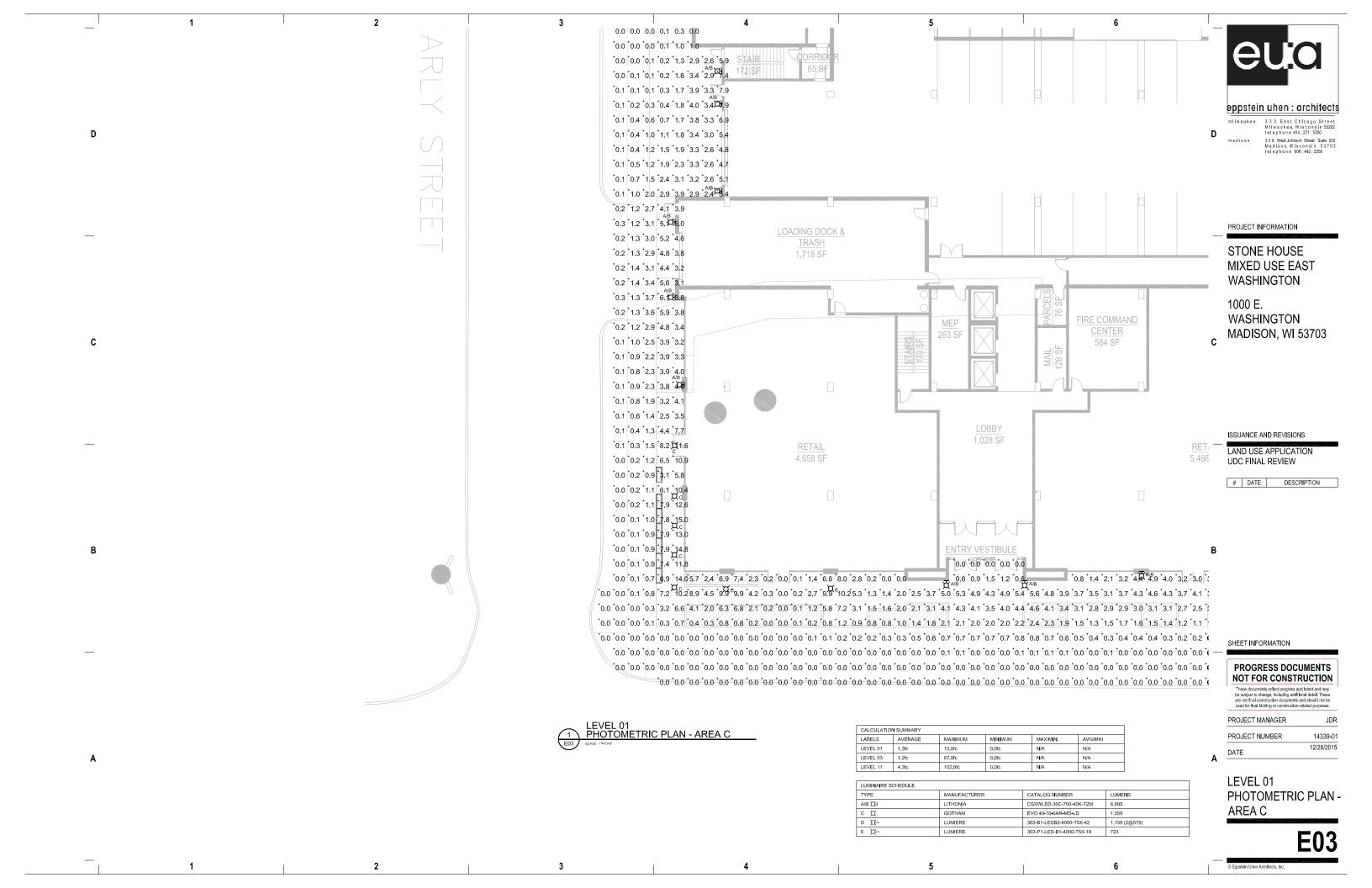
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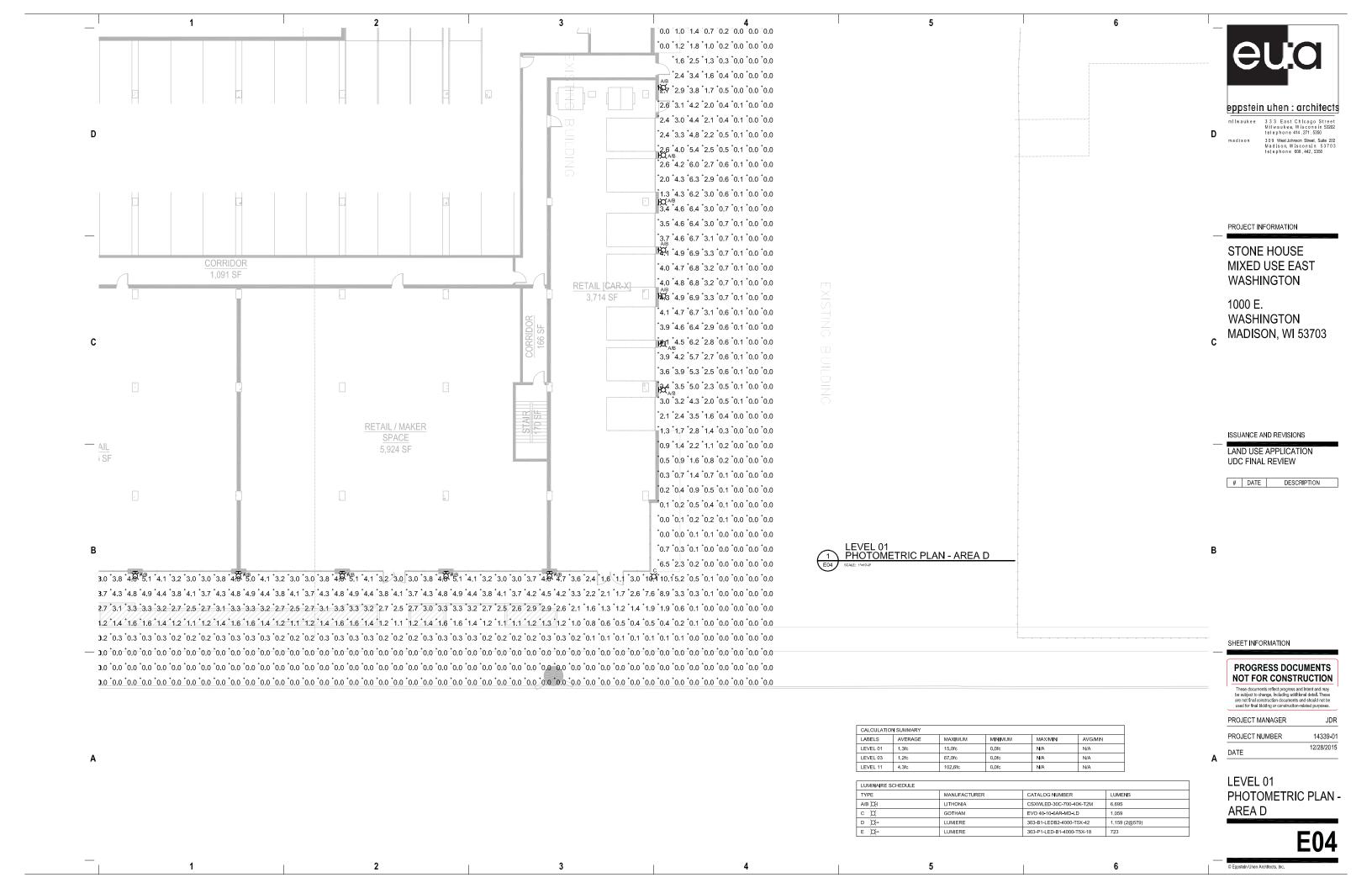
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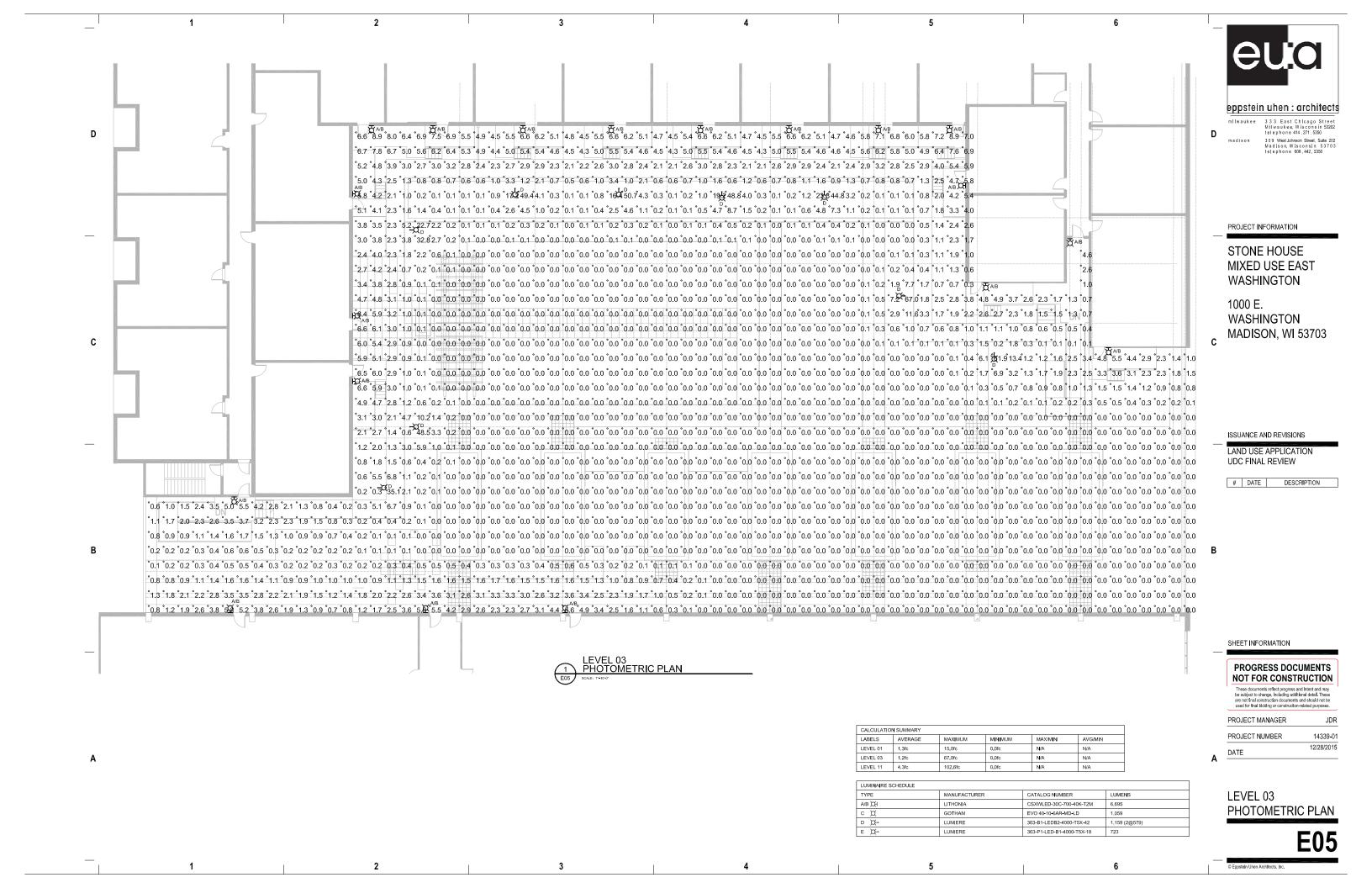
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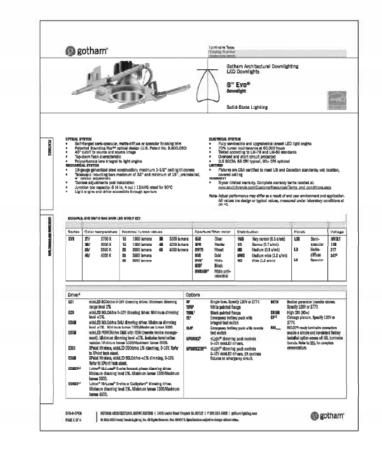


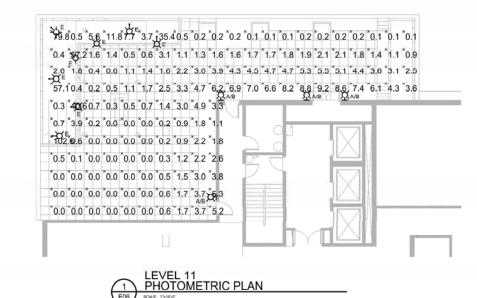






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309 West Johnson Street, Suite 202 Madison, Wisconsin 53703 telephone 608.442.5350 madison

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ISSUANCE AND REVISIONS

LAND USE APPLICATION UDC FINAL REVIEW

DATE DESCRIPTION

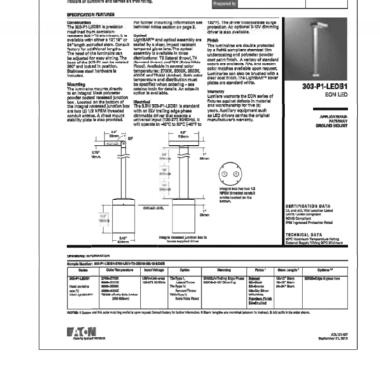
SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

PROJECT MANAGER PROJECT NUMBER 14339-01 12/28/2015 DATE

LEVEL 11 PHOTOMETRIC PLAN

E06



CALCULATION SUMMARY LABELS AVERAGE MAX/MIN AVG/MIN N/A LEVEL 03 67.0fc 0.0fc N/A 1.2fc 0.0fc LEVEL 11 4.3fc 102.6fc

LUMINAIRE SCHEDUL	E		
TYPE	MANUFACTURER	CATALOG NUMBER	LUMENS
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c ¤	GOTHAM	EVO 40-10-6AR-MD-LD	1,059
□ ₩•	LUMIERE	303-B1-LEDB2-4000-T5X-42	1,159 (2@579)
E 💢•	LUMIERE	303-P1-LED-B1-4000-T5X-18	723

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F:T•N

LUMIÈRE'

303-B1-LEDB1

LUMIÈRE'