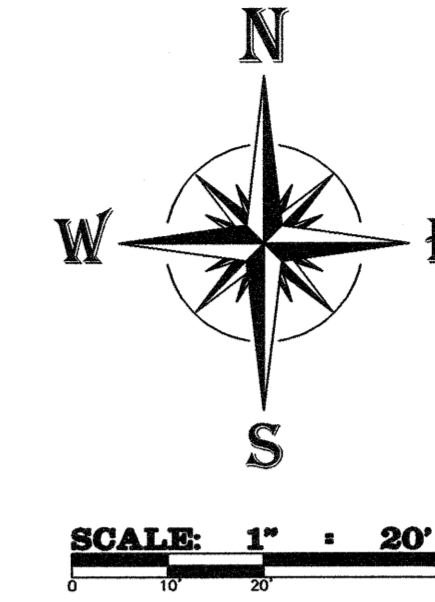


Craft - 12 North Few Street
Location Map
February 1, 2021

A0-0

Plat of Survey

LEGAL DESCRIPTION
 BEING THE NORTHWEST 66 FEET OF THE SOUTHEAST 150 FEET OF LOTS 10 AND 11,
 BLOCK 188, ORIGINAL PLAT OF MADISON, LOCATED IN THE NE1/4 OF THE NE1/4,
 SECTION 13, T. 7 N., R. 9 E., CITY OF MADISON, DANE COUNTY, WISCONSIN.



- LEGEND**
- SECTION CORNER AS NOTED
 - 3/4" X 18" IRON ROD SET (WT. = 1.5 LBS. / L.F.)
 - 3/4" IRON ROD FND.
 - PK NAIL FND.
 - 1" IRON PIPE FND.
 - ☆ LIGHT POST
 - ⊙ POWER POLE
 - ⋈ GUY WIRE
 - ⊕ SIGN
 - ⊕ TELEPHONE PEDESTAL
 - OHE— OVERHEAD UTILITY LINE
 - X X X— WOOD FENCE
 - () PREVIOUS SURVEY OR RECORD INFO.
 - ▨ CONCRETE SURFACE
 - ▩ ASPHALT SURFACE
 - ▧ BRICK SURFACE
 - 851.35 TYPICAL GROUND ELEVATION

HIGHLIGHTED AREA INDICATES EXTENTS OF DEMOLITION TO EXISTING SINGLE STORY CMU BUILDING.



SURVEYOR'S CERTIFICATE

I, **SCOTT P. HEWITT**, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS SURVEY IS IN COMPLIANCE WITH WISCONSIN ADMINISTRATIVE CODE AE7 AND I DO FURTHER CERTIFY THAT THIS SURVEYING AND MAPPING OF THESE LANDS ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Scott P. Hewitt
SCOTT P. HEWITT
 PROFESSIONAL LAND SURVEYOR, NO. 2229
 DATED: MAY 27, 2020
 FILE NO.: 520-214



OWNER

WORLD TRACKER KNS LLC
 12 NORTH FEV STREET
 MADISON, WI 53703

CLIENT

TORQUE COMPANIES
 C/O RANDALL ALEXANDER
 2797 LALOR ROAD
 FITCHBURG WI, 53575

SURVEYOR

SCOTT P. HEWITT
 P.O. BOX 373
 625 E. SLIFER STREET
 PORTAGE, WI 53901
 PHONE PORTAGE: (608) 742-7788
 PHONE SAUK PRAIRIE: (608) 644-8877
 FAX: (608) 742-0434
 e-mail: surveying@grothman.com

GROTHMAN & ASSOCIATES S.C.
 LAND SURVEYORS
 625 EAST SLIFER STREET, P.O. BOX 373 PORTAGE, WI. 53901
 PHONE: PORTAGE: (608) 742-7788 SAUK: (608) 644-8877
 FAX: (608) 742-0434 E-MAIL: surveying@grothman.com
(RED LOGO REPRESENTS THE ORIGINAL MAP)

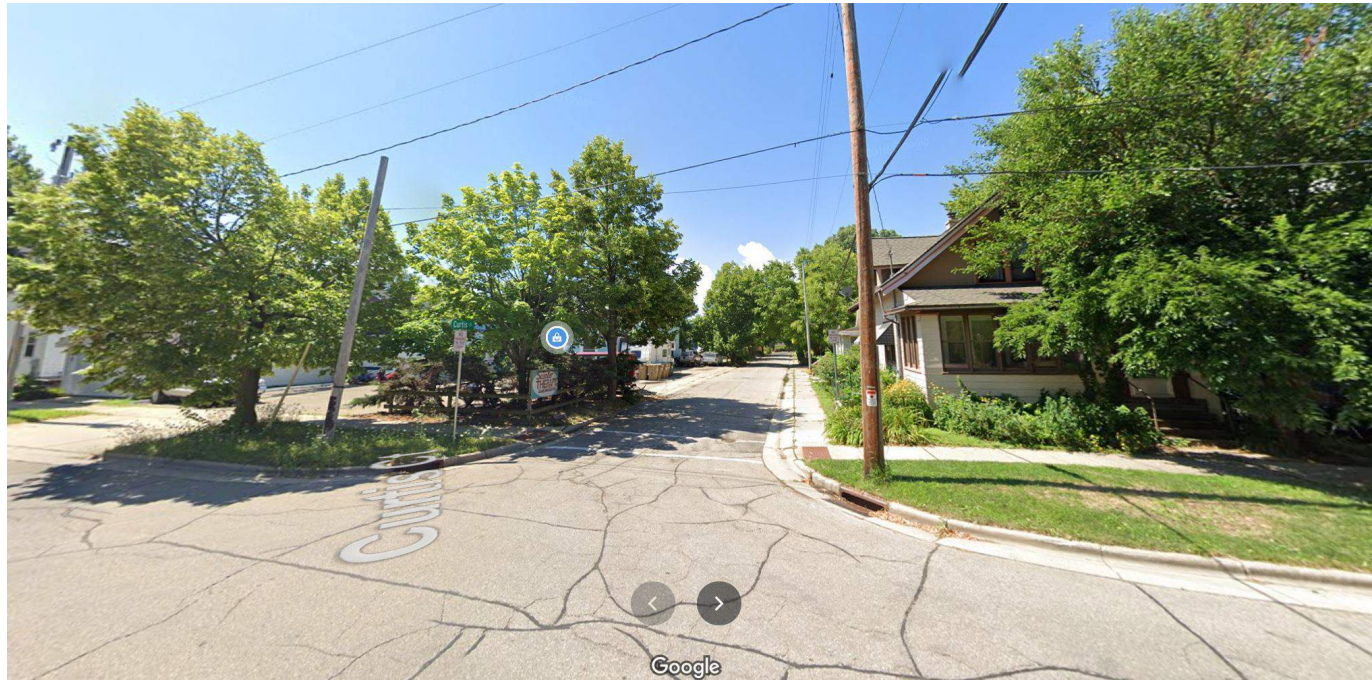
NO.	DATE	REVISION	BY	CHKD

THIS INSTRUMENT DRAFTED BY A. MAST SHEET 1 OF 1

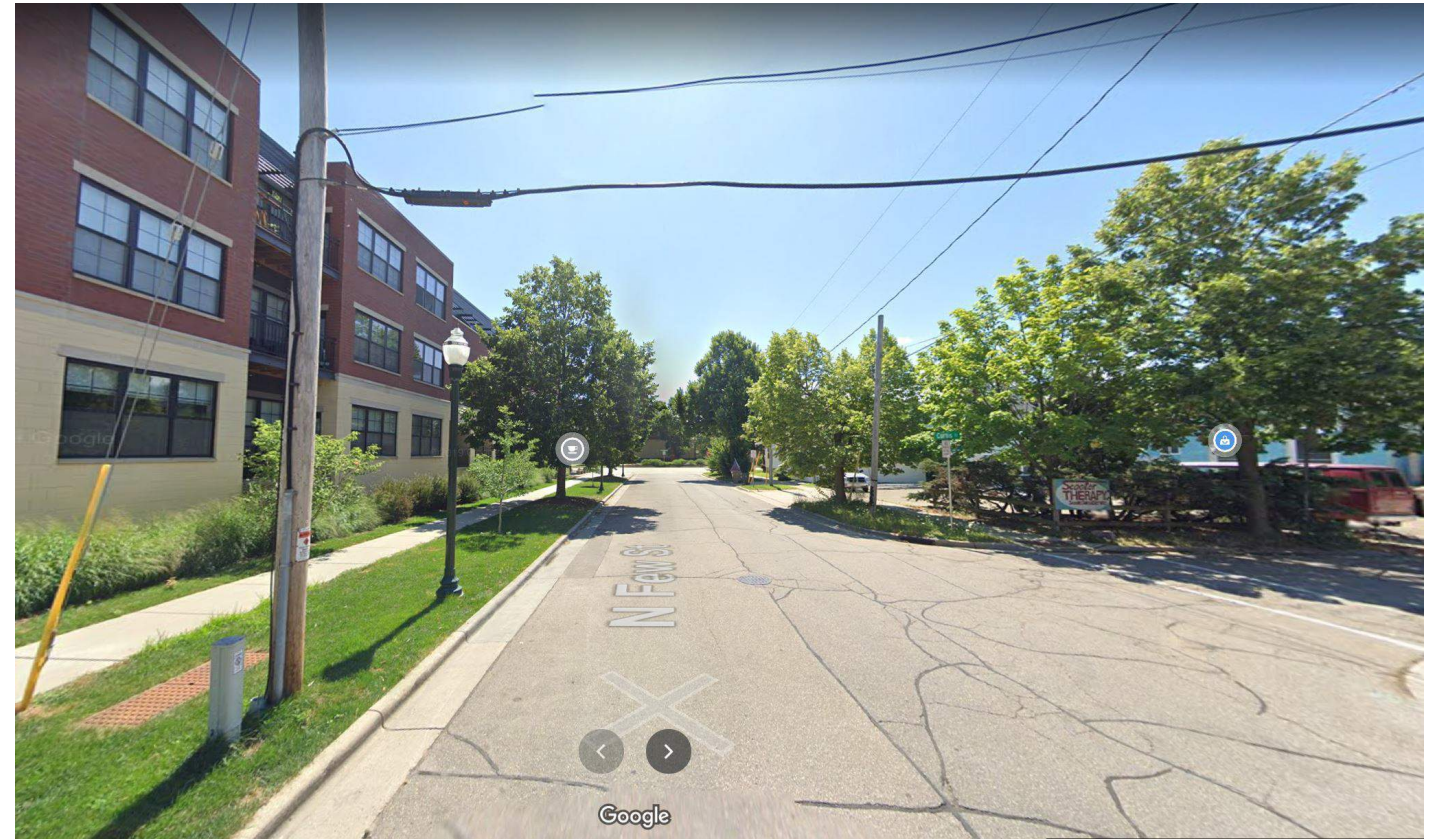
PLAT OF SURVEY
 FOR
TORQUE COMPANIES
 CITY OF MADISON
 DANE COUNTY, WISCONSIN

D-1

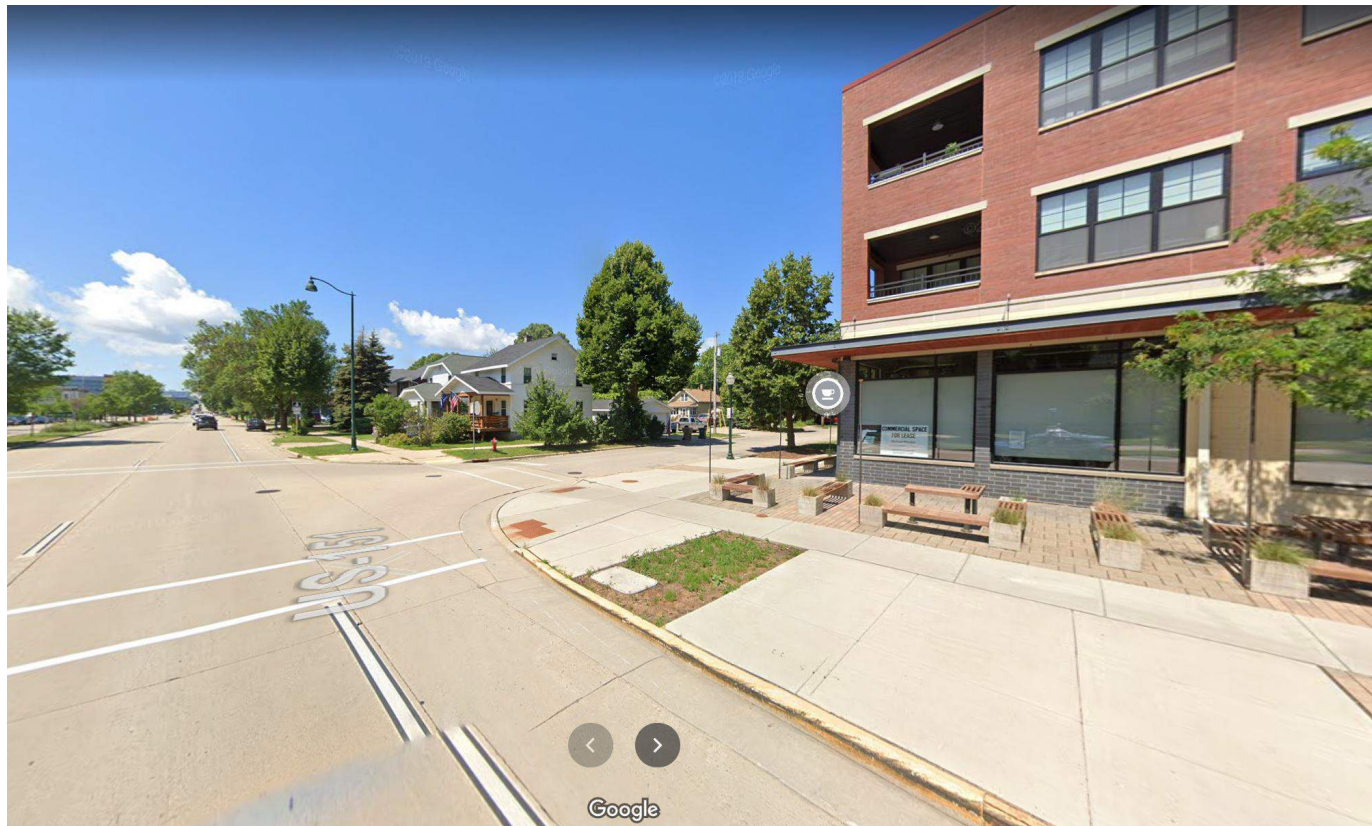
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PROJECT NO. 315-174
DRAWING NO. 520-214



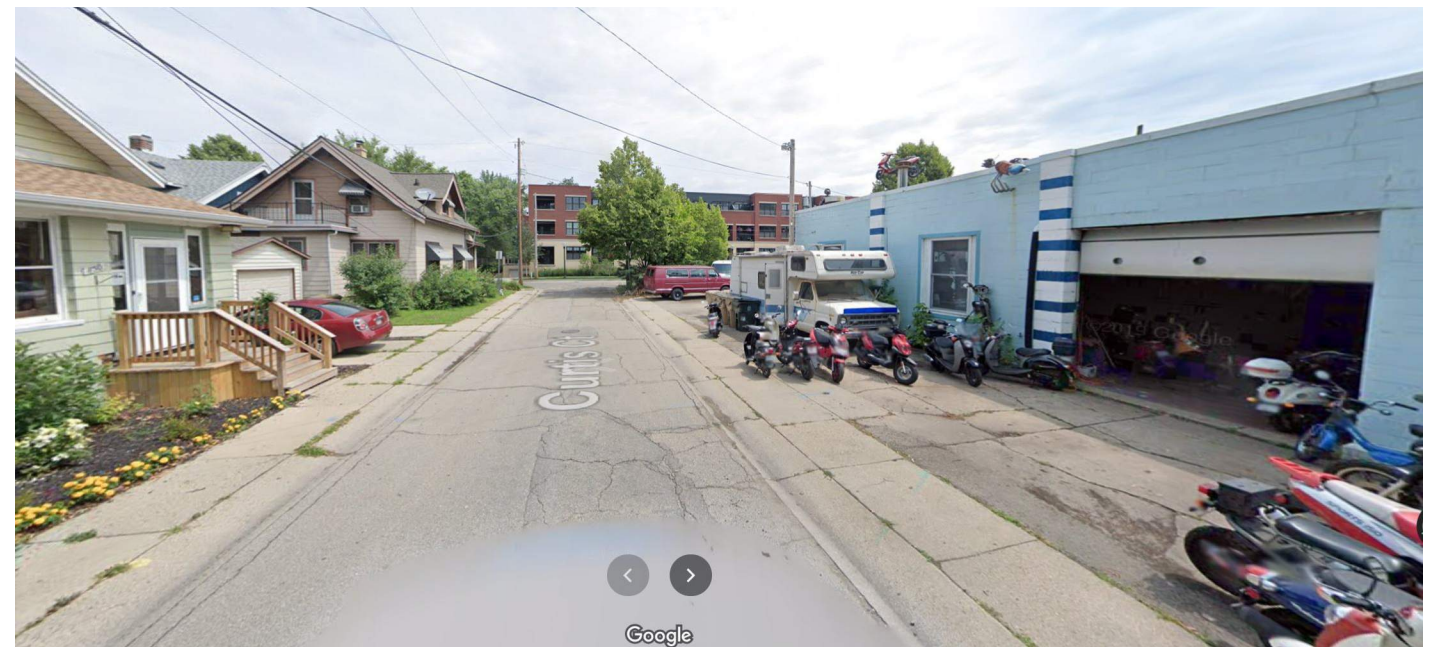
South West view looking down Curtis Court



View looking south down North Few near Curtis Court



South West view looking at corner of East Washington and North Few Street



View looking East down Curtis Court

SITE CONTEXT PHOTOS
12 North Few Street
Madison, Wisconsin

A0-1

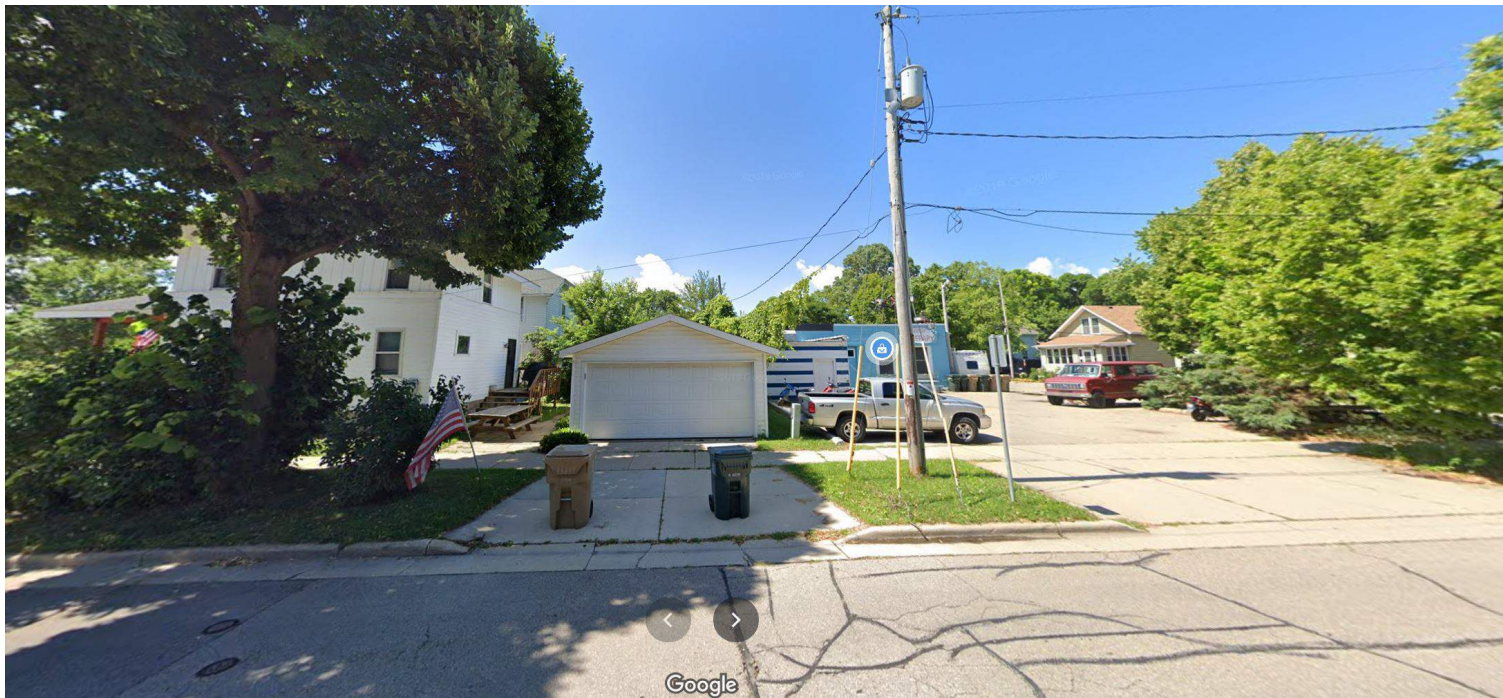
SEA Design



View looking East along Curtis Court nearing Intersection of North Few Street



View looking West along Curtis Court close to Intersection of North Few Street



View looking west at 12 North Few and adjacent southern property from North Few Street



View looking West along Curtis Court near corner of proposed site

SITE CONTEXT PHOTOS
12 North Few Street
Madison, Wisconsin

A0-2

SEA Design

PLAN MODIFICATIONS:

#	Date:	Description:
1	03.17.21	UDC SUBMITTAL
2		
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Design/Drawn:

Approved:

SHEET TITLE:

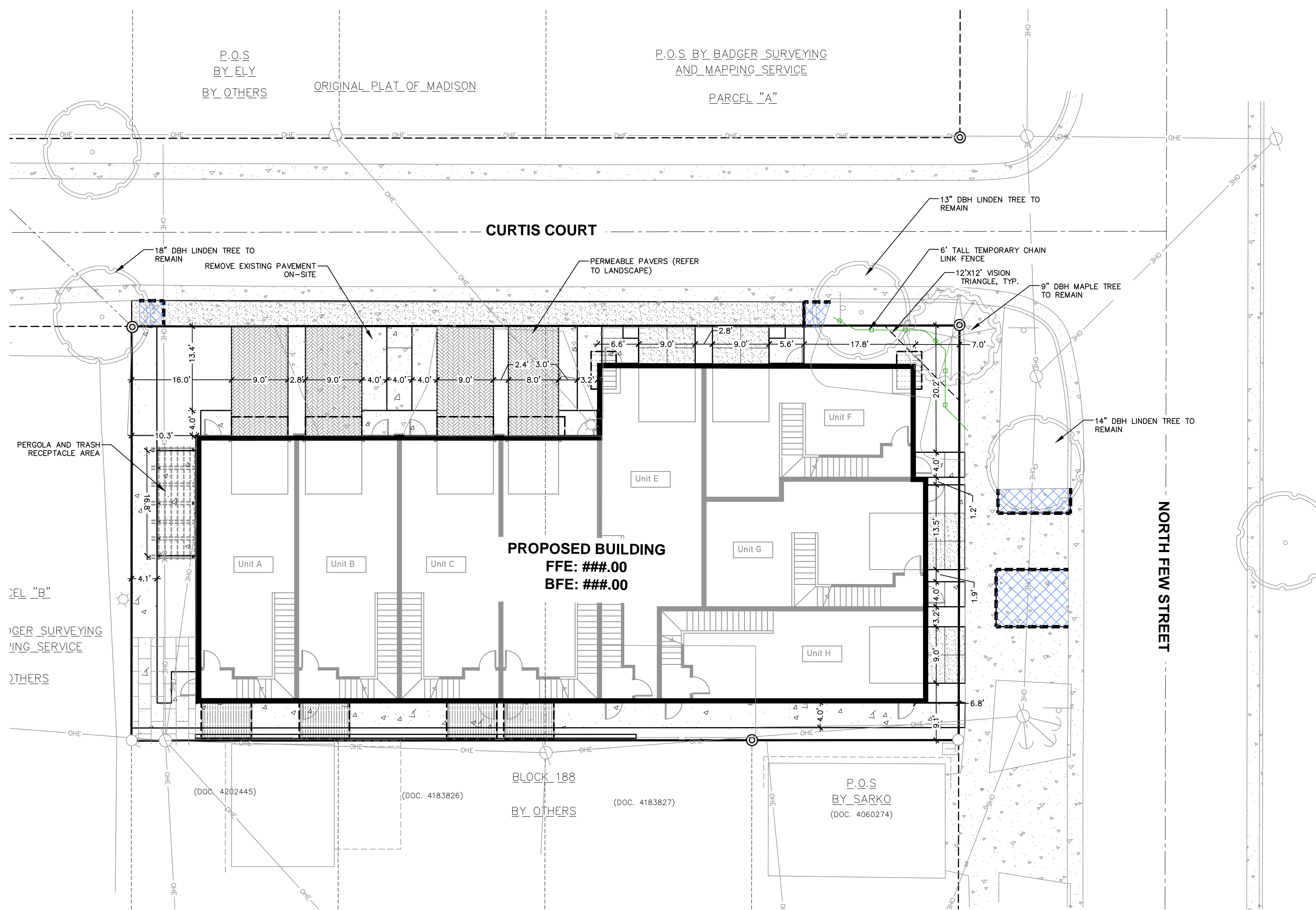
SITE PLAN

SHEET NUMBER:

C1.0

JSD PROJECT NO:

21-10369



LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING OVERHANG
	EDGE OF PAVEMENT
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	PAVEMENT REMOVAL (OFF-SITE)
	BIKE RACK
	SAWCUT EXISTING PAVEMENT
	TEMPORARY CONSTRUCTION FENCE
	PERMEABLE PAVERS (REFER TO LANDSCAPE)

SITE INFORMATION BLOCK

SITE ADDRESS	12 N. FEW STREET
PROPERTY ACREAGE	0.20 ACRES
NUMBER OF BUILDING STORIES	2
TOTAL BUILDING SQUARE FOOTAGE	5,558 SF
GROSS BUILDING SQUARE FOOTAGE	11,116 SF
EXISTING VS. PROPOSED SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	8,026 SF
EXISTING PERVIOUS SURFACE AREA	716 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.92
PROPOSED IMPERVIOUS SURFACE AREA	6,969 SF
PROPOSED PERVIOUS SURFACE AREA	1,743 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.799

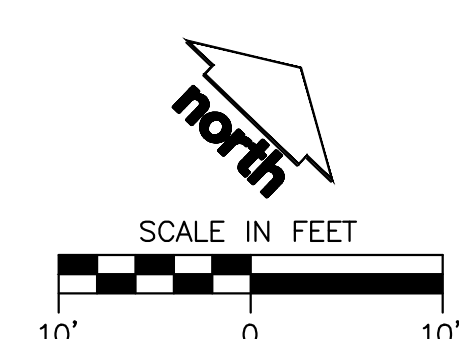
DEMOLITION NOTES

- PRIOR TO ANY WORK ON-SITE, THREE EXISTING TREES AT THE CORNER OF FEW STREET AND CURTIS COURT SHALL BE PROTECTED TO THE GREATEST EXTENT PRACTICE. CONTRACTOR SHALL INSTALL A 6' TALL TEMPORARY CHAIN LINK FENCE AS INDICATED ON THE PLANS.
- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTIES, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL // ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- ANY CONTAMINATED SOILS SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS TO AN APPROVED LANDFILL.
- ALL EXISTING UTILITIES TO BE FIELD LOCATED AND FLAGGED BY CONTRACTOR.
- EXISTING FIBER OPTIC LINE TO BE CLEARLY MARKED PRIOR TO ANY EXCAVATION. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING FIBER OPTIC LINE LOCATION.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
- WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF MADISON SPECIFICATIONS.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- DEMOLITION REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

PAVING NOTES

- GENERAL**
 - ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, APPLICABLE CITY OF MADISON ORDINANCES AND THE GEOTECHNICAL REPORT PREPARED BY GOC, INC. DATED FEBRUARY 10, 2021
 - SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
- CONCRETE PAVING SPECIFICATIONS**
 - CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
 - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
- PAVEMENT MARKING SPECIFICATIONS**
 - ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.



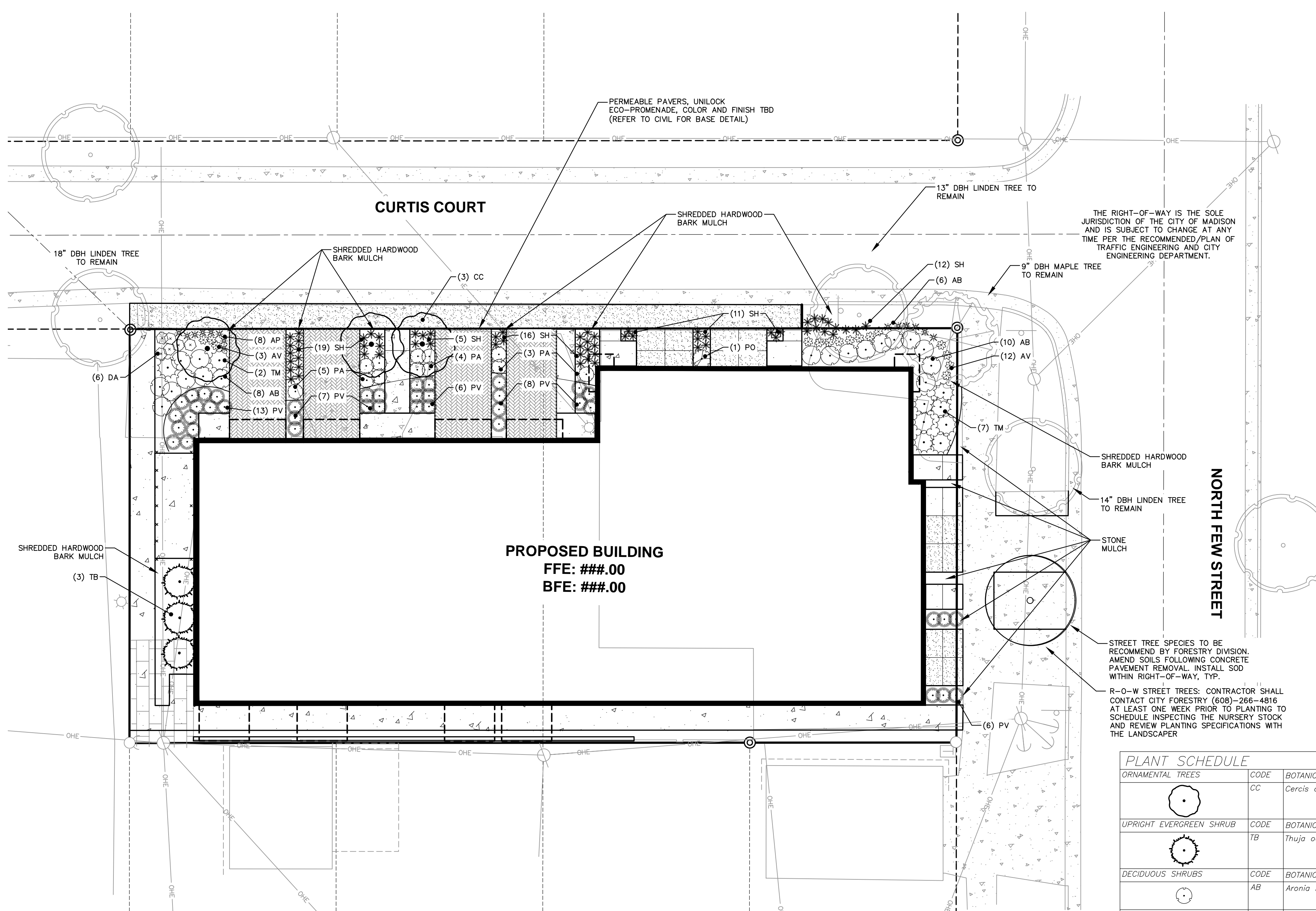
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LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING OVERHANG
	EDGE OF PAVEMENT
	ASPHALT PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	CONCRETE PAVEMENT
	PERMEABLE PAVERS
	ALUMINUM EDGING

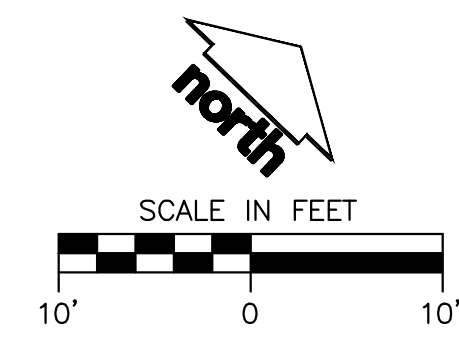
GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR
- REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE



PLANT SCHEDULE

ORNAMENTAL TREES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	QTY
	CC	<i>Cercis canadensis</i> / Eastern Redbud	B & B	1.5" Cal	15	3
UPRIGHT EVERGREEN SHRUB	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	QTY
	TB	<i>Thuja occidentalis</i> "BaliJahn" TM / Technito Globe Arborvitae	B & B	Min. 6" tall	18	3
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	QTY
	AB	<i>Aronia melanocarpa</i> "Morton" TM / Iroquois Beauty Black Chokeberry	#3	Min. 24" tall	3	18
	PO	<i>Physocarpus opulifolius</i> "Little Devil" TM / Dwarf Ninebark	#3	Min. 24" tall	3	1
EVERGREEN SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	QTY
	TM	<i>Taxus x media</i> "Everlow" / Everlow Yew	#3	Min. 24" wide	4	9
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	LS POINTS	QTY
	AP	<i>Astilbe chinensis</i> "Vision in Pink" / Vision in Pink Chinese Astilbe	#1	Min. 8"-18"	2	14
	AV	<i>Astilbe chinensis</i> "Vision in White" / Vision in White Chinese Astilbe	#1	Min. 8"-18"	2	15
	DA	<i>Dicentra x "Aurora"</i> / Aurora Bleeding-Heart	#1	Min. 8"-18"	2	6
	PV	<i>Panicum virgatum</i> "Shenandoah" / Shenandoah Switch Grass	#1	Min. 8"-18"	2	40
	PA	<i>Perovskia atriplicifolia</i> / Russian Sage	#1	Min. 8"-18"	2	12
	SH	<i>Sporobolus heterolepis</i> "Tara" / Prairie Dropseed	#1	Min. 8"-18"	2	63



CURTIS COURT

EXISTING PAVEMENT SHALL BE REMOVED BY HAND. EXCAVATION OF EXISTING STONE BASE AND BACKFILL OF TOPSOIL SHALL BE COMPLETED BY HAND. DO NOT EXCAVATE ANY DEEPER THAN EXISTING STONE BASE.

13" DIAMETER AT BREAST HEIGHT LINDEN TREE TO REMAIN

9" DIAMETER AT BREAST HEIGHT MAPLE TREE TO REMAIN

6' TALL TEMPORARY CHAIN LINK FENCE

LIMITS OF FOUNDATION EXCAVATION

PROPOSED BUILDING

14" DIAMETER AT BREAST HEIGHT LINDEN TREE TO REMAIN

EXISTING PAVEMENT SHALL BE REMOVED BY HAND. EXCAVATION OF EXISTING STONE BASE AND BACKFILL OF TOPSOIL SHALL BE COMPLETED BY HAND. DO NOT EXCAVATE ANY DEEPER THAN EXISTING STONE BASE.

PROPOSED ORNAMENTAL DECIDUOUS TREE WITHIN RIGHT OF WAY. SPECIES TO BE DETERMINED BY CITY FORESTRY

PAVEMENT REMOVAL SHALL EITHER TAKE PLACE BY HAND OR BY EQUIPMENT. EXCAVATION OF EXISTING STONE BASE AND BACKFILL OF TOPSOIL MAY BE COMPLETED BY HAND OR MACHINE.

NORTH FEW STREET

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	BUILDING OUTLINE
	BUILDING OVERHANG
	EDGE OF PAVEMENT
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	PAVEMENT REMOVAL (OFF-SITE)
	TEMPORARY 6' TALL CHAIN LINK FENCE

TREE PRESERVATION NOTES

- IT IS CRITICAL THAT THE PROJECT SUPERINTENDENT AND ALL SUBCONTRACTORS UNDERSTAND THE IMPORTANCE OF PROTECTING THE THREE EXISTING TREES AT THE CORNER OF NORTH FEW STREET AND CURTIS COURT.
- NO CONSTRUCTION ACTIVITY, MOVEMENT AND/OR PLACEMENT OF EQUIPMENT OR MATERIAL OR SPOILS STORAGE SHALL BE PERMITTED WITH THE FENCED IN PRESERVATION AREA.
- ALL REQUIRED PROTECTIVE FENCING OR OTHER PHYSICAL BARRIER MUST BE IN PLACE AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION. THE FENCING MUST REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PERIOD TO PREVENT THE IMPINGEMENT OF CONSTRUCTION VEHICLES, MATERIALS, SPOILS AND EQUIPMENT INTO OR UPON THE TREE PRESERVATION AREA.
- NO ATTACHMENTS, FENCES OR WIRES, OTHER THAN THOSE APPROVED FOR BRACING, GUYING OR WRAPPING, SHALL BE ATTACHED TO TREES DURING THE CONSTRUCTION PERIOD.
- IF ROOTS ARE EXPOSED OR CUT DURING THE EXCAVATION PROCESS, THEY SHALL BE CUT FLUSH AND PAINTED AT THE LIMITS OF THE EXCAVATION WALL TO MINIMIZE DECAY. ALL TREE PRUNING STANDARDS SET BY ANSI 2100 SHALL BE FOLLOWED.
- AVOID DROUGHT STRESS TO THE TREES BY HAVING THE PROJECT SUPERINTENDENT MONITOR WEATHER CONDITIONS AND WATER THE TREES AS NEEDED.
- IF, IN THE OPINION OF THE LANDSCAPE ARCHITECT, THE NECESSARY PRECAUTIONS AS SPECIFIED WERE NOT UNDERTAKEN BEFORE CONSTRUCTION COMMENCED, OR ARE NOT MAINTAINED AT ANY TIME DURING CONSTRUCTION, A STOP WORK ORDER SHALL BE ISSUED UNTIL SUCH TIME AS THE CONTRACTOR COMPLIES WITH THE PRECAUTIONS HEREIN.



EASTERN REDBUD



BAILY'S ARBORVITAE



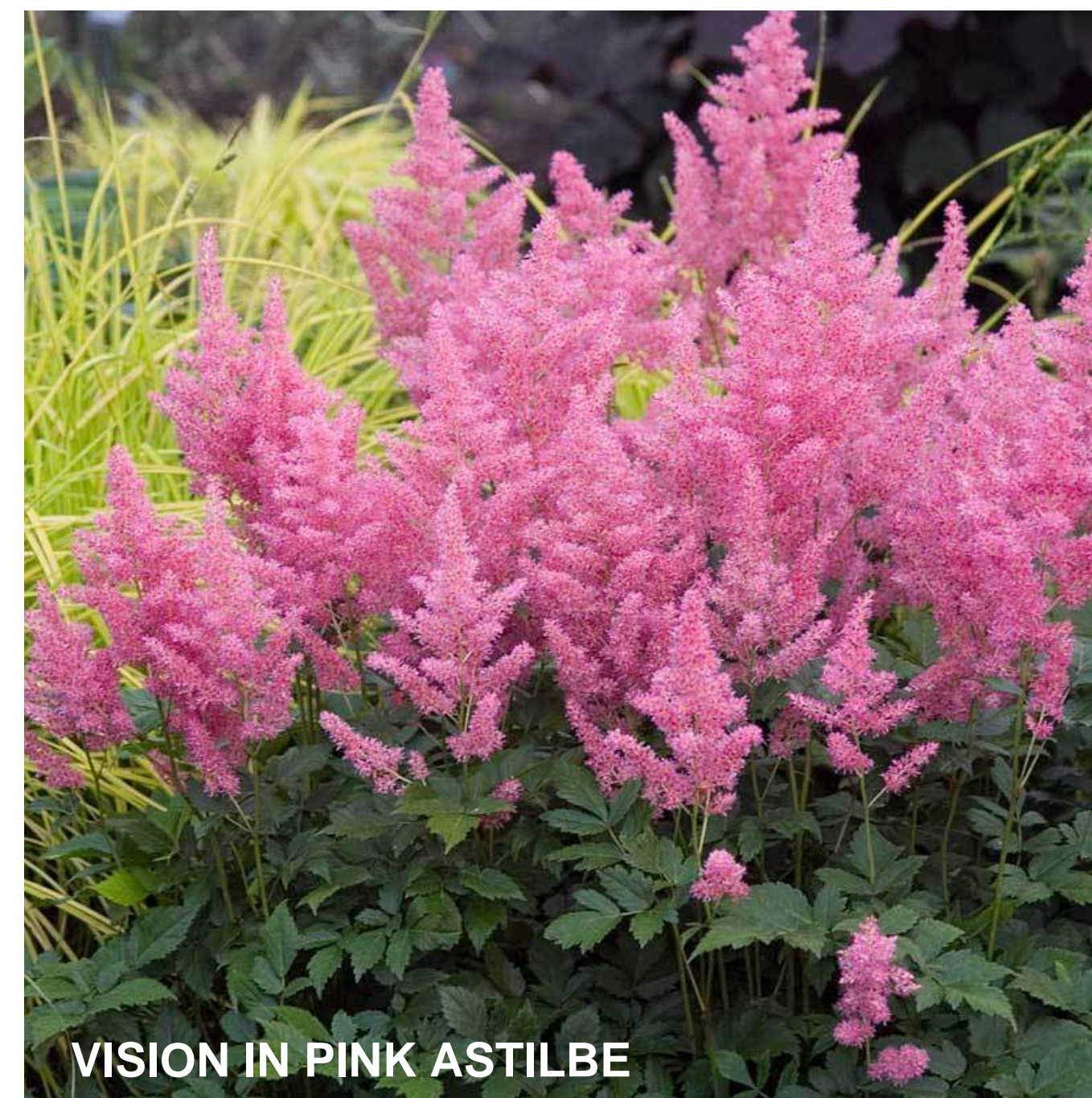
BLEEDING HEART



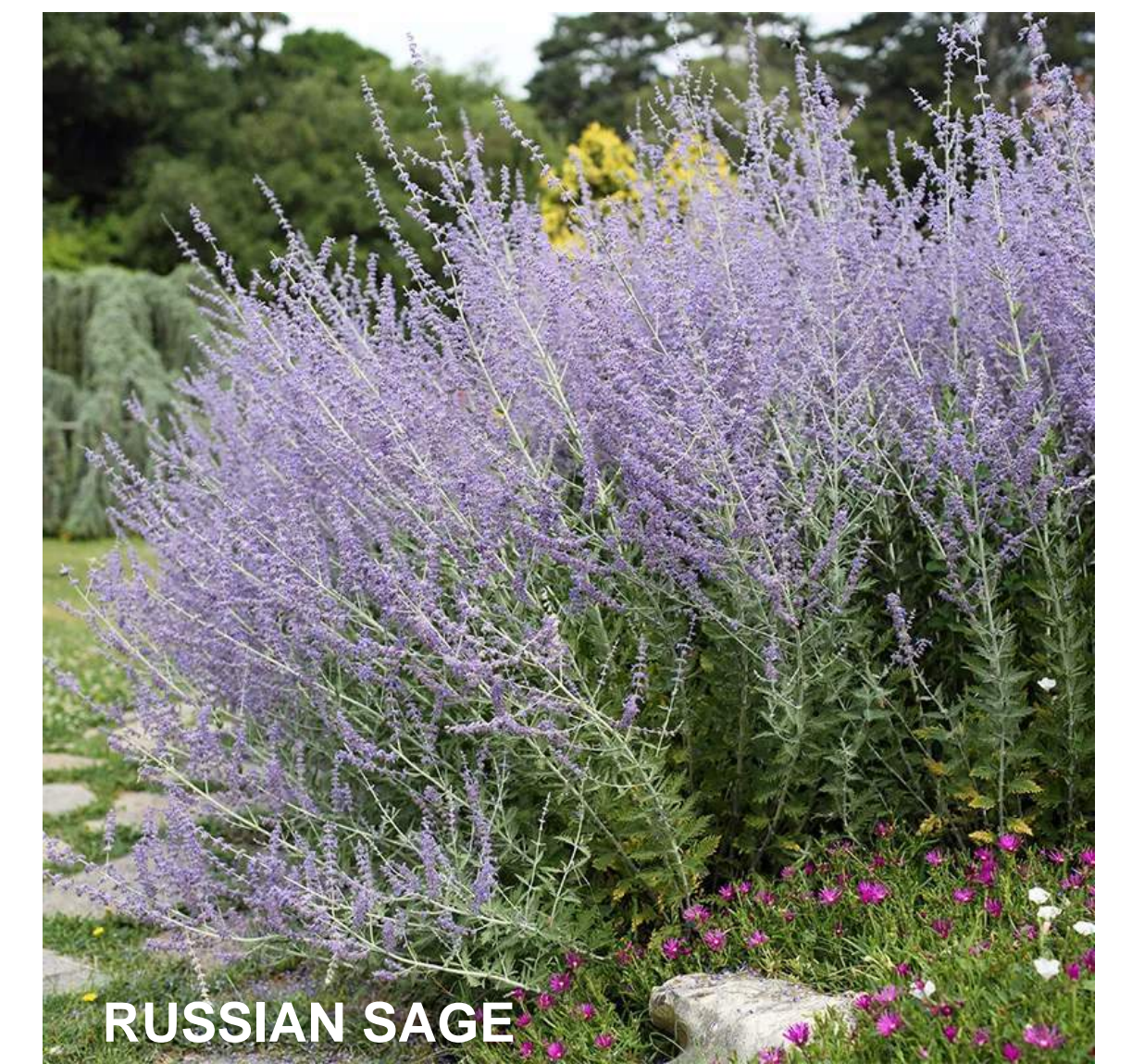
SHENANDOAH SWITCHGRASS



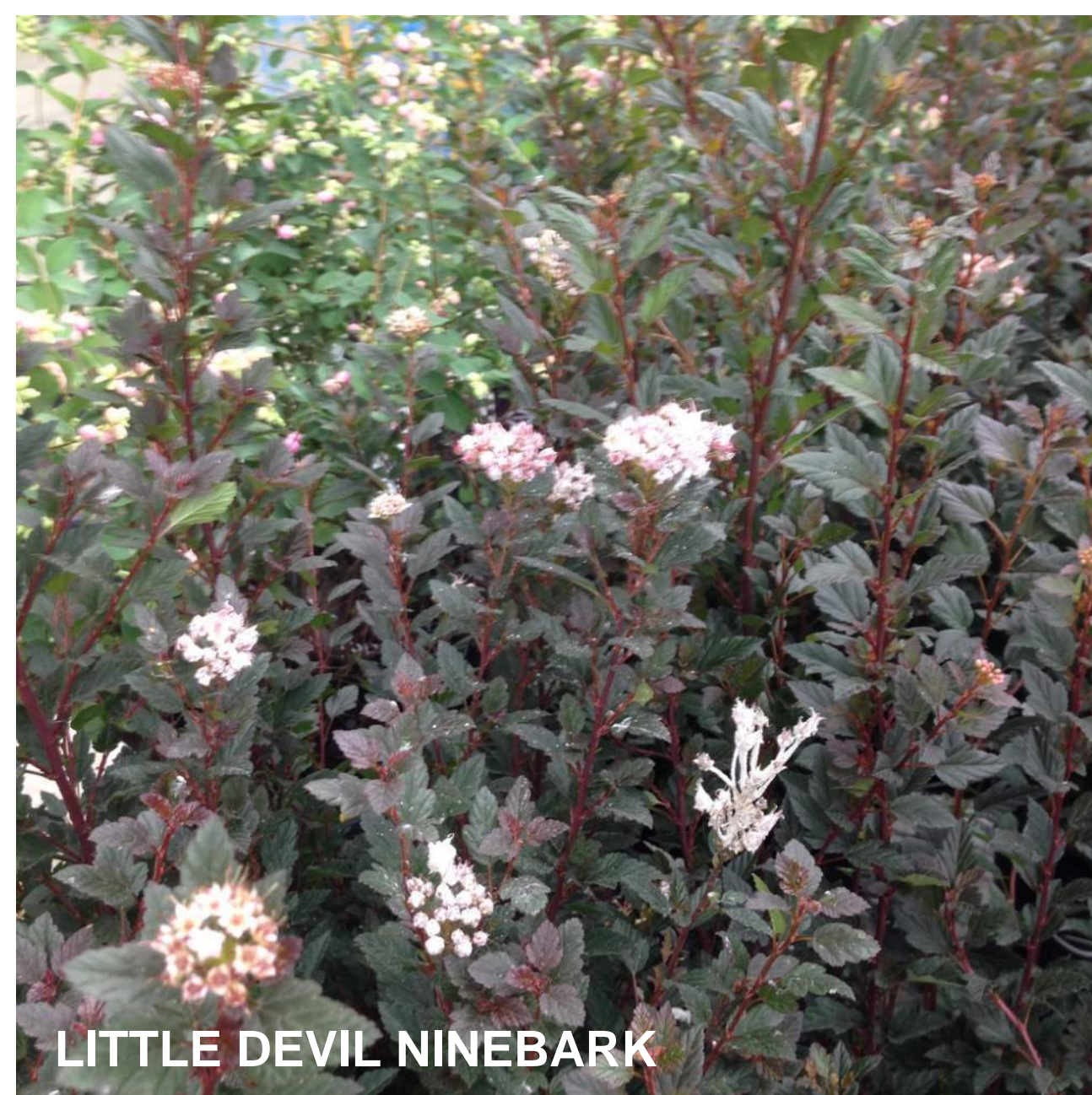
CHOKEBERRY



VISION IN PINK ASTILBE



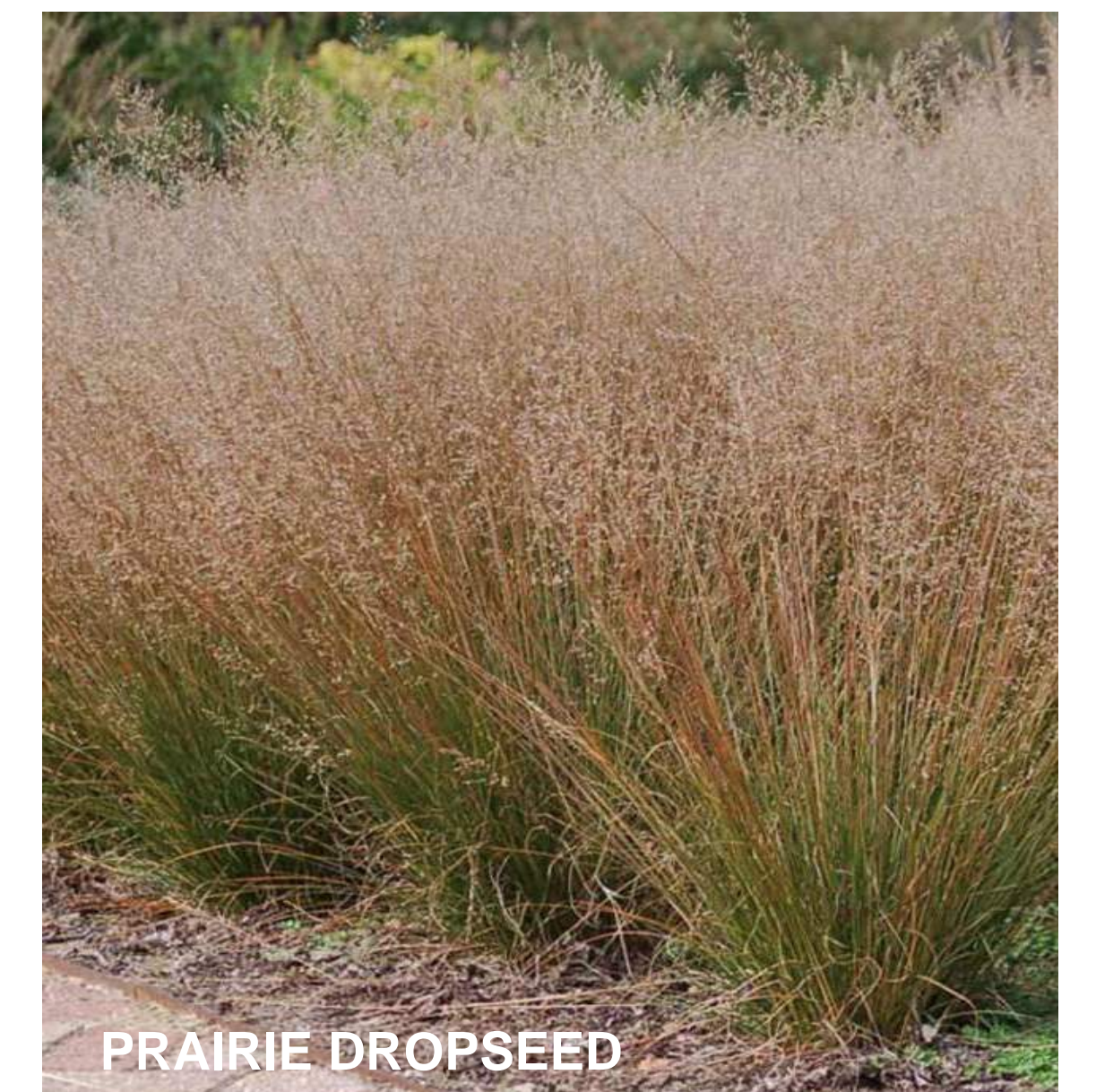
RUSSIAN SAGE



LITTLE DEVIL NINEBARK



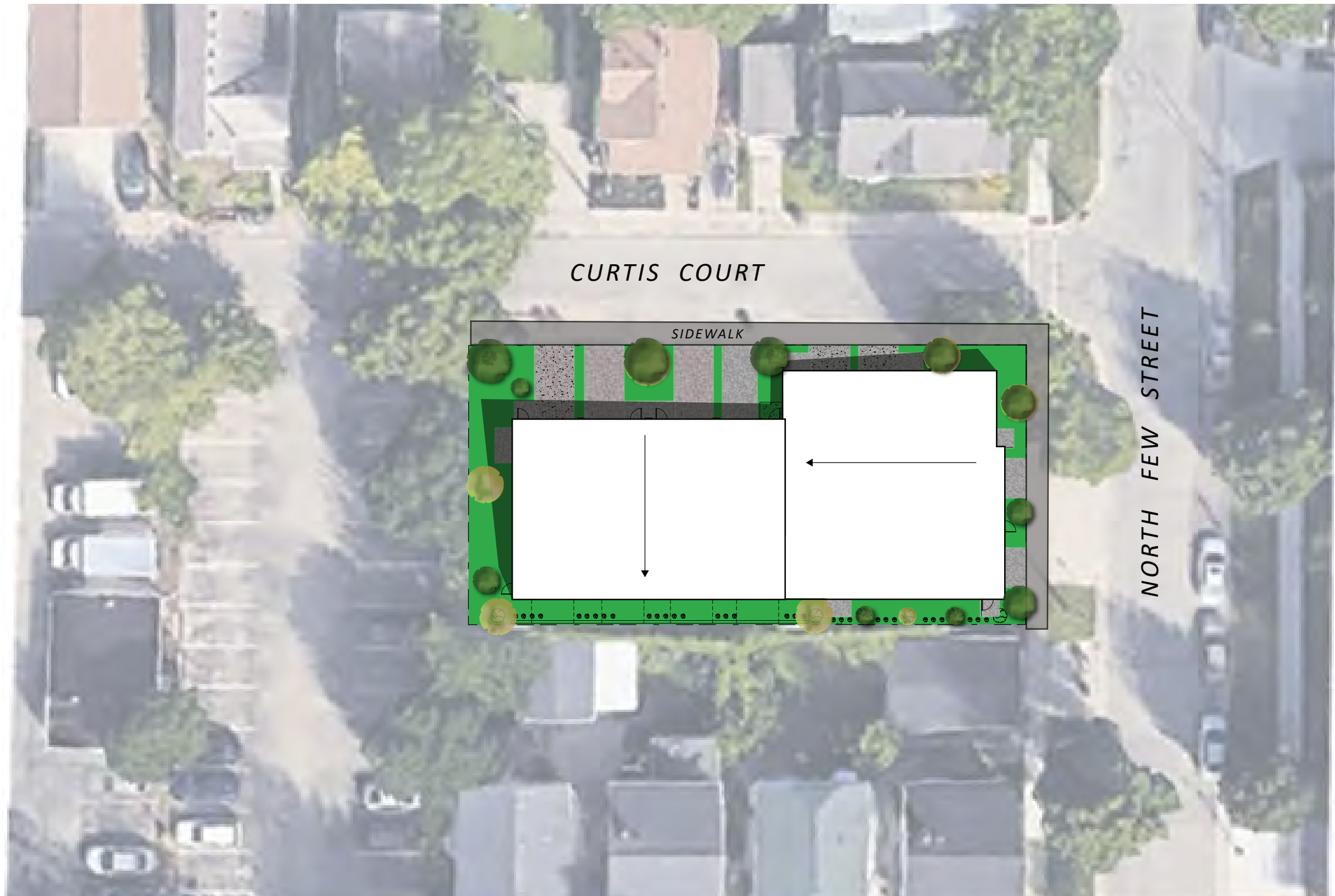
VISION IN WHITE ASTILBE



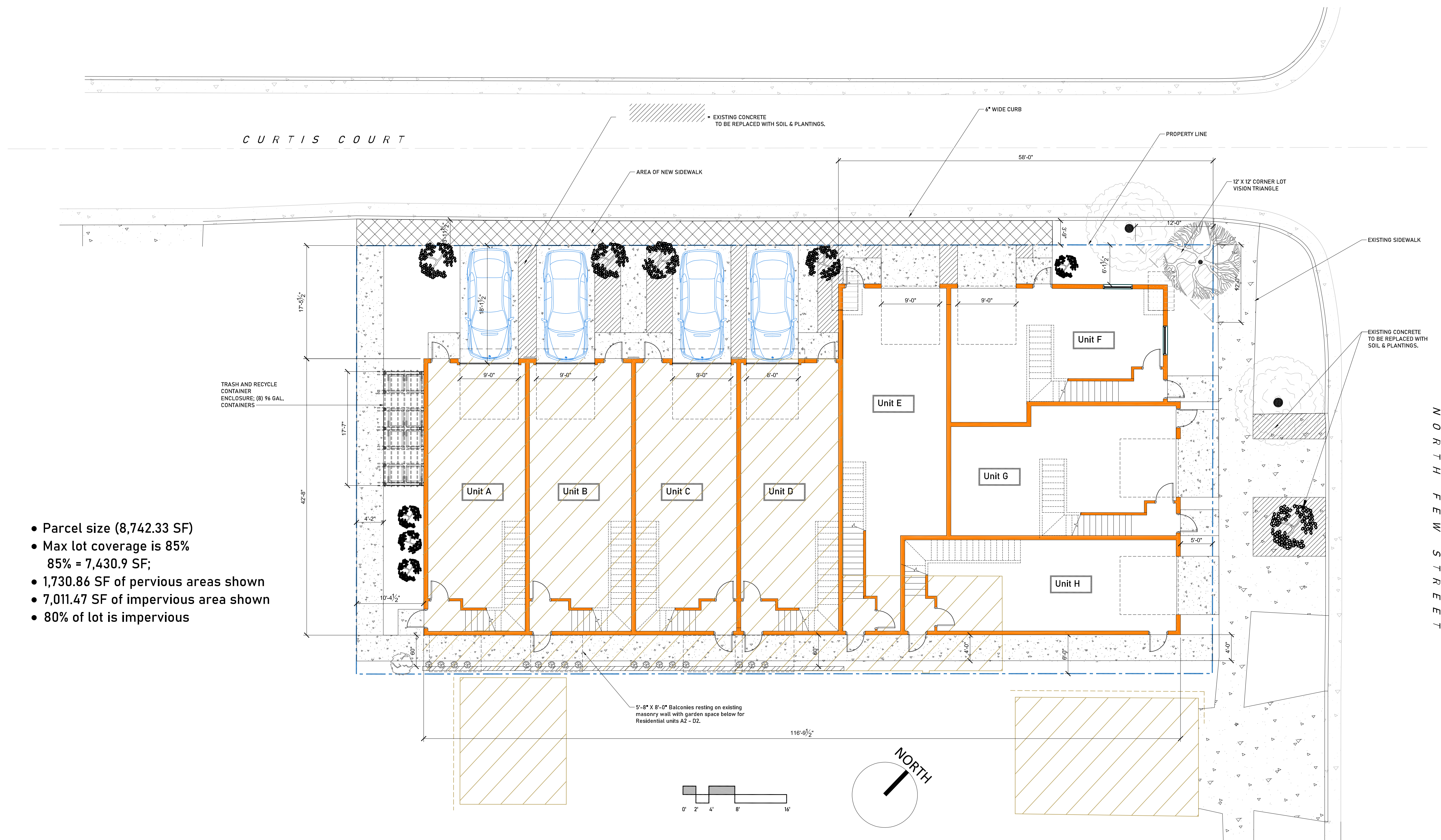
PRAIRIE DROPSEED



EVERLOW YEW



A0-3



- Parcel size (8,742.33 SF)
- Max lot coverage is 85%
85% = 7,430.9 SF;
- 1,730.86 SF of pervious areas shown
- 7,011.47 SF of impervious area shown
- 80% of lot is impervious

1 FIRST FLOOR - COMMERCIAL UNITS
Scale: 1/8" = 1'-0"

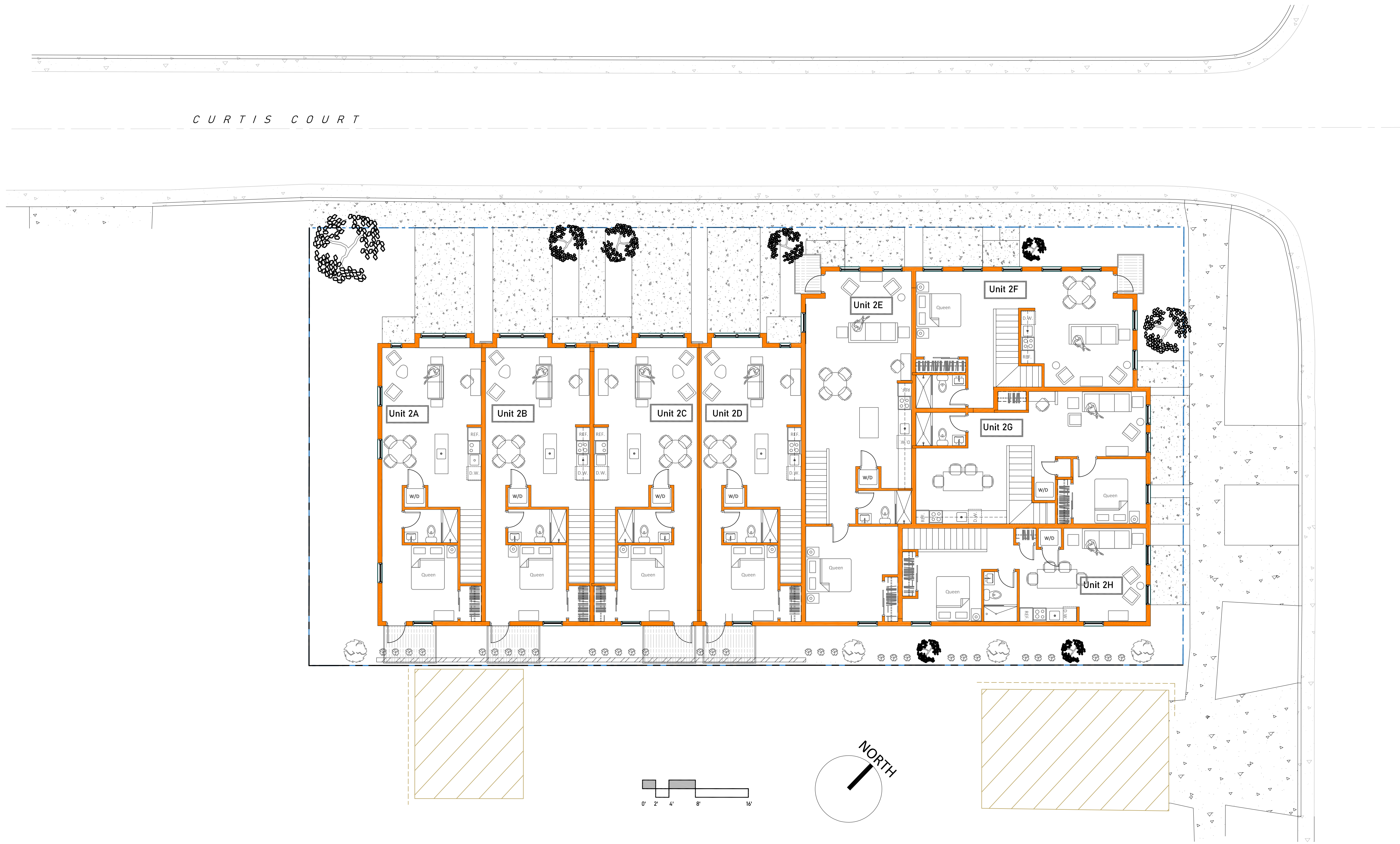
THIS SHEET FOR REFERENCE ONLY

CRAFT
12 North Few Street
Madison, Wisconsin 53703
FLOOR PLANS

Revisions:

Project #: 20.006
Issued For: Design Review
Date: 03/17/2021

A2.1



1 SECOND FLOOR - RESIDENTIAL UNITS
Scale: 1/8" = 1'-0"

THIS SHEET FOR REFERENCE ONLY

CRAFT

12 North Few Street
Madison, Wisconsin 53703

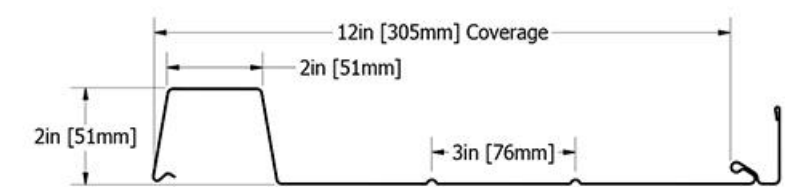
FLOOR PLANS

Revisions:	

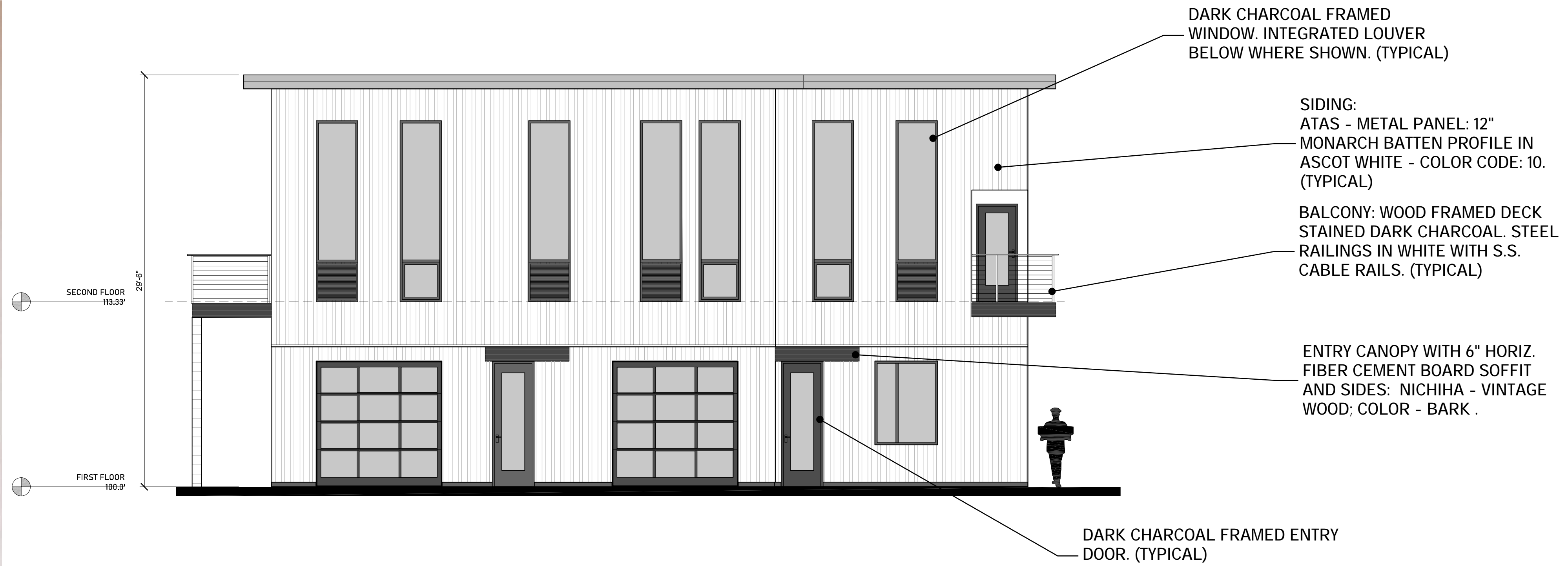
Project #: 20.006
Issued For: Design Review
Date: 03/17/2021



METAL PANEL BATTEN PRECEDENT PHOTO



CONCEALED FASTENER - MONARCH BATTEN PROFILE



2 EAST ELEVATION
Scale: 3/16" = 1'-0"

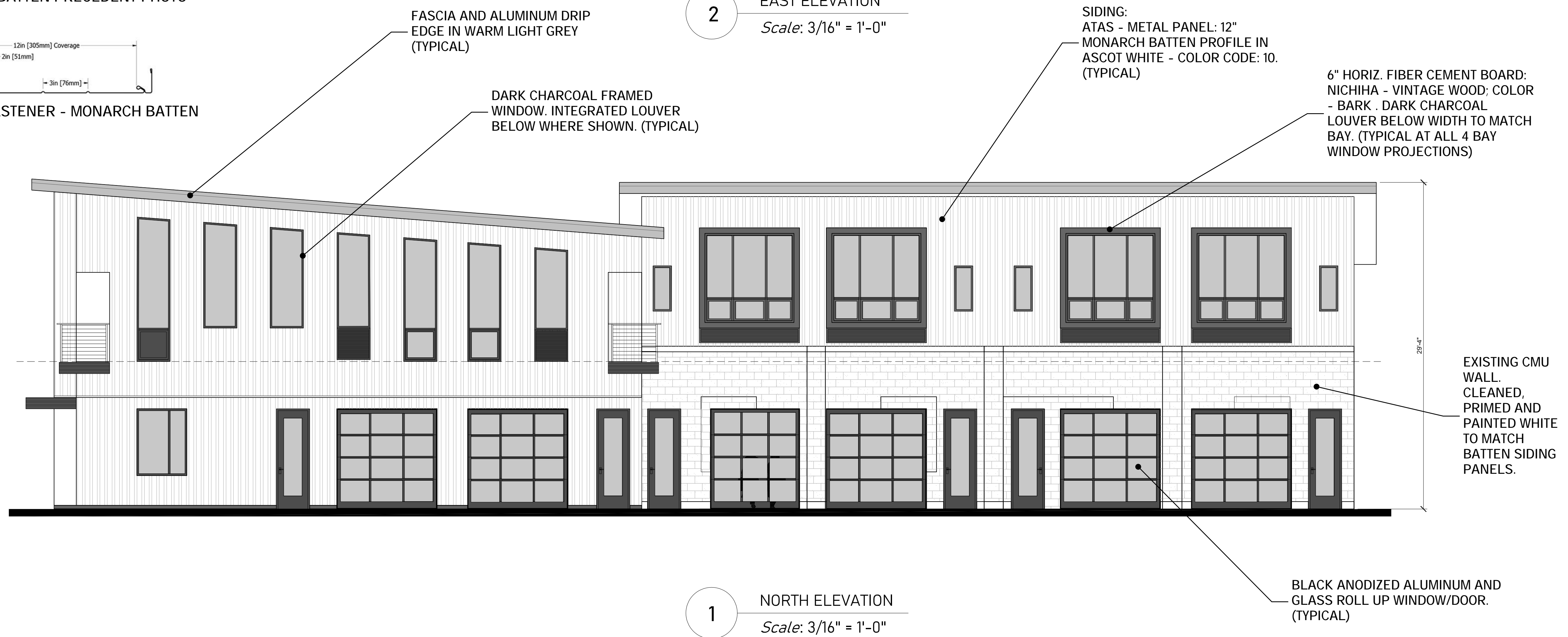
DARK CHARCOAL FRAMED WINDOW. INTEGRATED LOUVER BELOW WHERE SHOWN. (TYPICAL)

SIDING:
ATAS - METAL PANEL: 12"
MONARCH BATTEN PROFILE IN
ASCOT WHITE - COLOR CODE: 10.
(TYPICAL)

BALCONY: WOOD FRAMED DECK
STAINED DARK CHARCOAL. STEEL
RAILINGS IN WHITE WITH S.S.
CABLE RAILS. (TYPICAL)

ENTRY CANOPY WITH 6" HORIZ.
FIBER CEMENT BOARD SOFFIT
AND SIDES: NICHIIA - VINTAGE
WOOD; COLOR - BARK .

DARK CHARCOAL FRAMED ENTRY
DOOR. (TYPICAL)



1 NORTH ELEVATION
Scale: 3/16" = 1'-0"

SIDING:
ATAS - METAL PANEL: 12"
MONARCH BATTEN PROFILE IN
ASCOT WHITE - COLOR CODE: 10.
(TYPICAL)

6" HORIZ. FIBER CEMENT BOARD:
NICHIIA - VINTAGE WOOD; COLOR
- BARK . DARK CHARCOAL
LOUVER BELOW WIDTH TO MATCH
BAY. (TYPICAL AT ALL 4 BAY
WINDOW PROJECTIONS)

EXISTING CMU
WALL.
CLEANED,
PRIMED AND
PAINTED WHITE
TO MATCH
BATTEN SIDING
PANELS.

BLACK ANODIZED ALUMINUM AND
GLASS ROLL UP WINDOW/DOOR.
(TYPICAL)

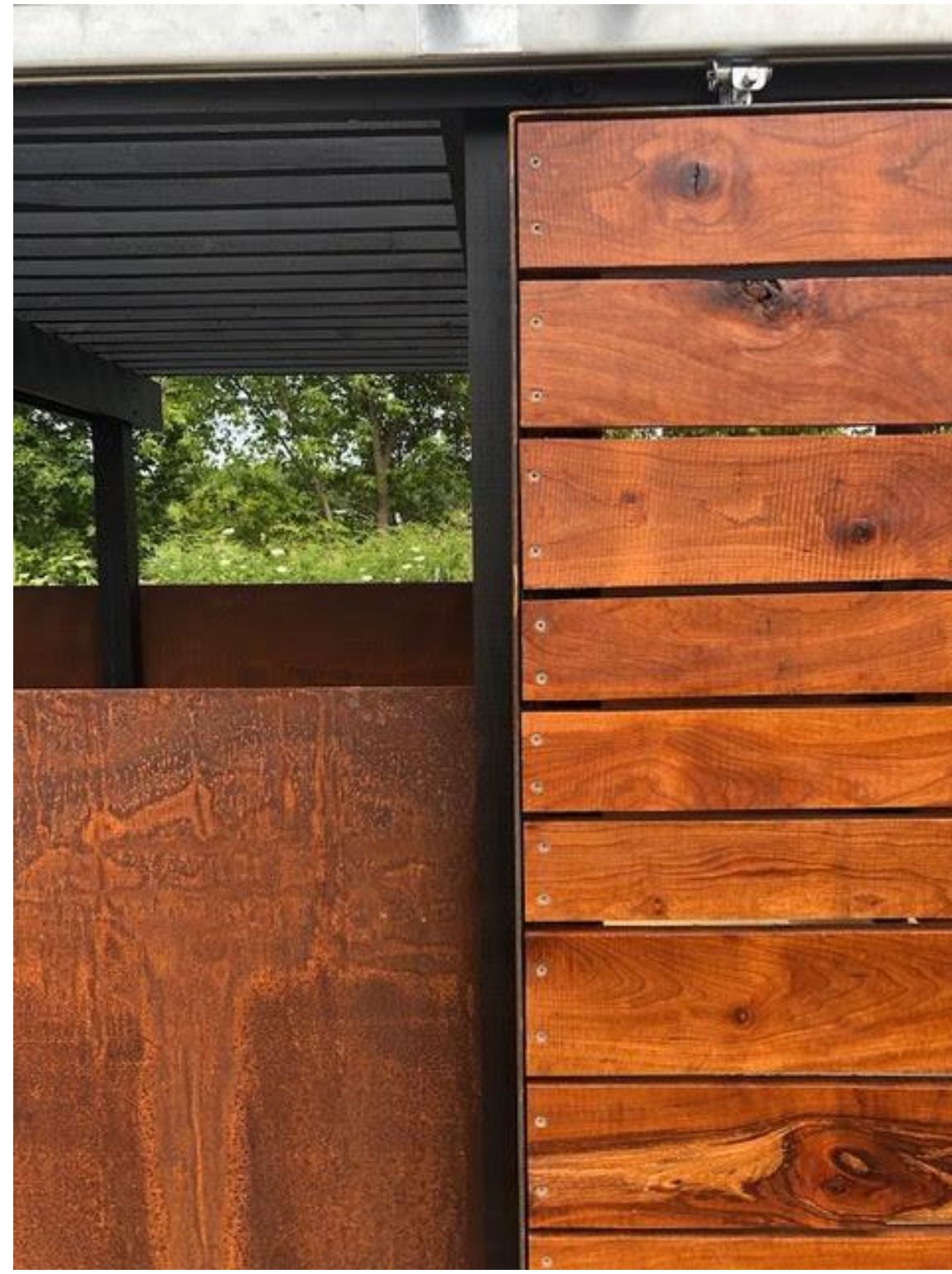
CRAFT
12 North Few Street
Madison, Wisconsin 53703
ELEVATIONS

Revisions:	

Project #: 20.006
Issued For: Design Review
Date: 03/17/2021

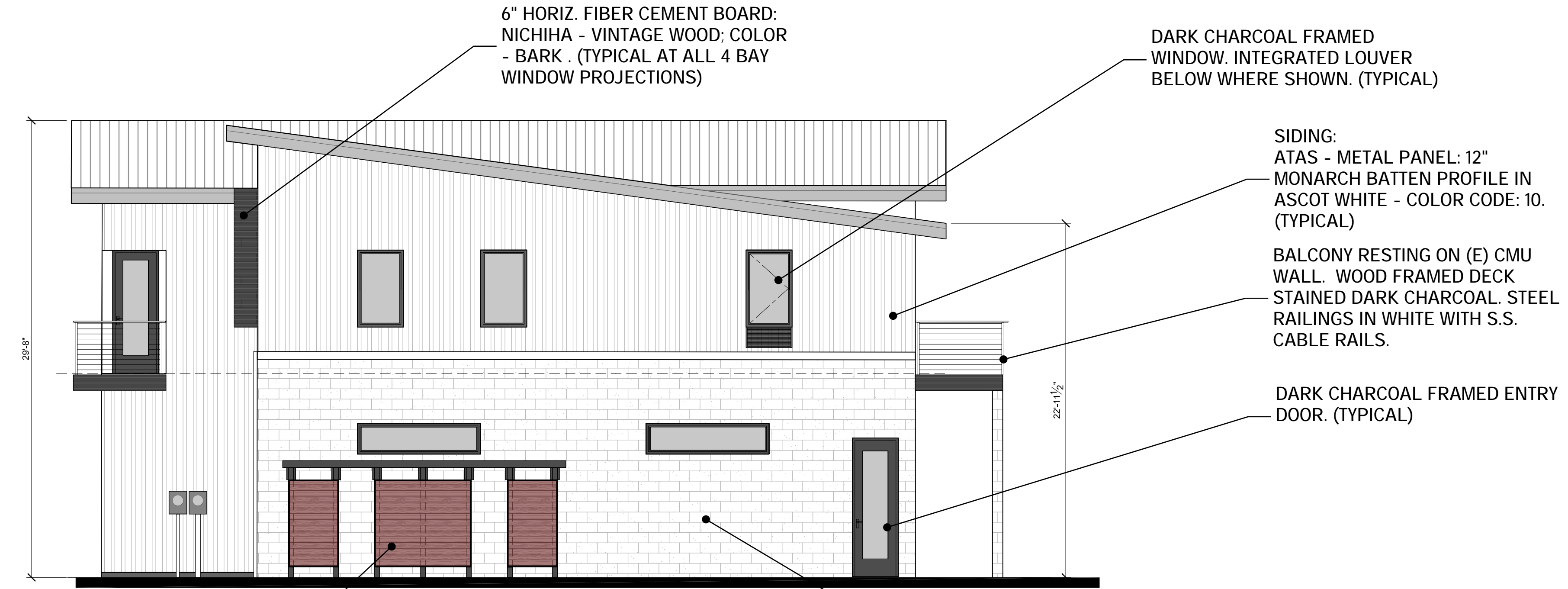
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ENCLOSURE PRECEDENT PHOTO

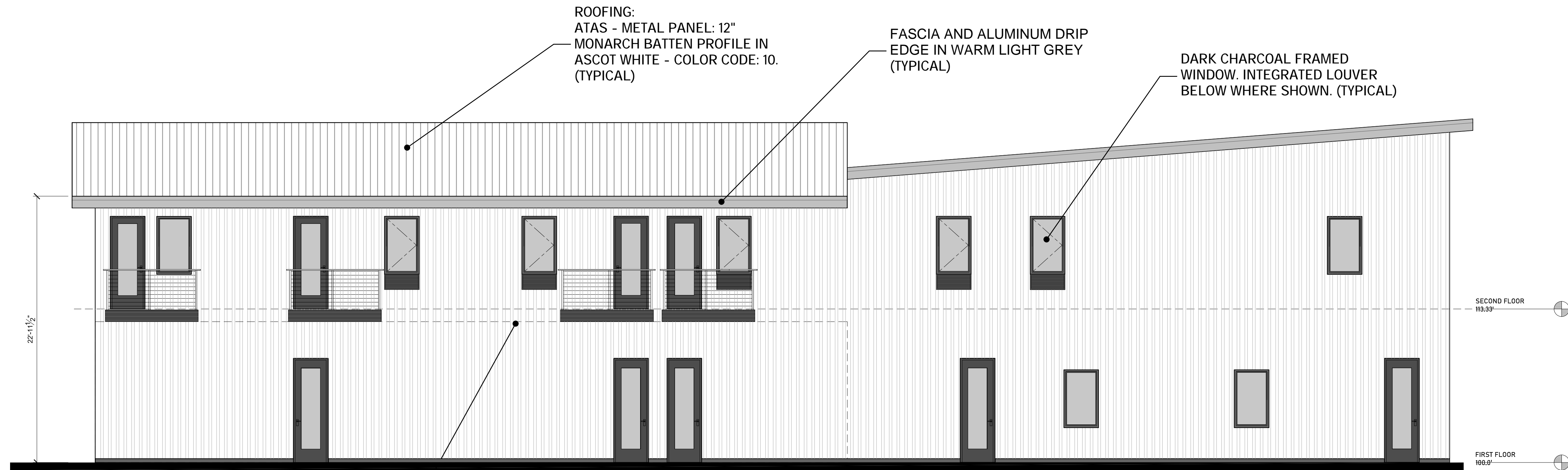
TRASH/RECYCLCLE ENCLOSURE:
WOOD FRAMED PERGOLA,
PAINTED DARK CHARCOAL.
SCREENING PANELS TO BE
LOCALLY SOURCED RECLAIMED
CHERRY IN BALC STEEL FRAME.



2

WEST ELEVATION

Scale: 3/16" = 1'-0"



1

SOUTH ELEVATION

Scale: 3/16" = 1'-0"

OUTLINE OF EXISTING CMU WALL.
CLEANED, PRIMED AND PAINTED
WHITE TO MATCH BATTEN SIDING
PANELS.

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ELEVATIONS

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