



Location  
6601 Odana Road

Project Name  
CarMax

Applicant  
Boucher Properties/  
Travis Schreiber - Vierbicher

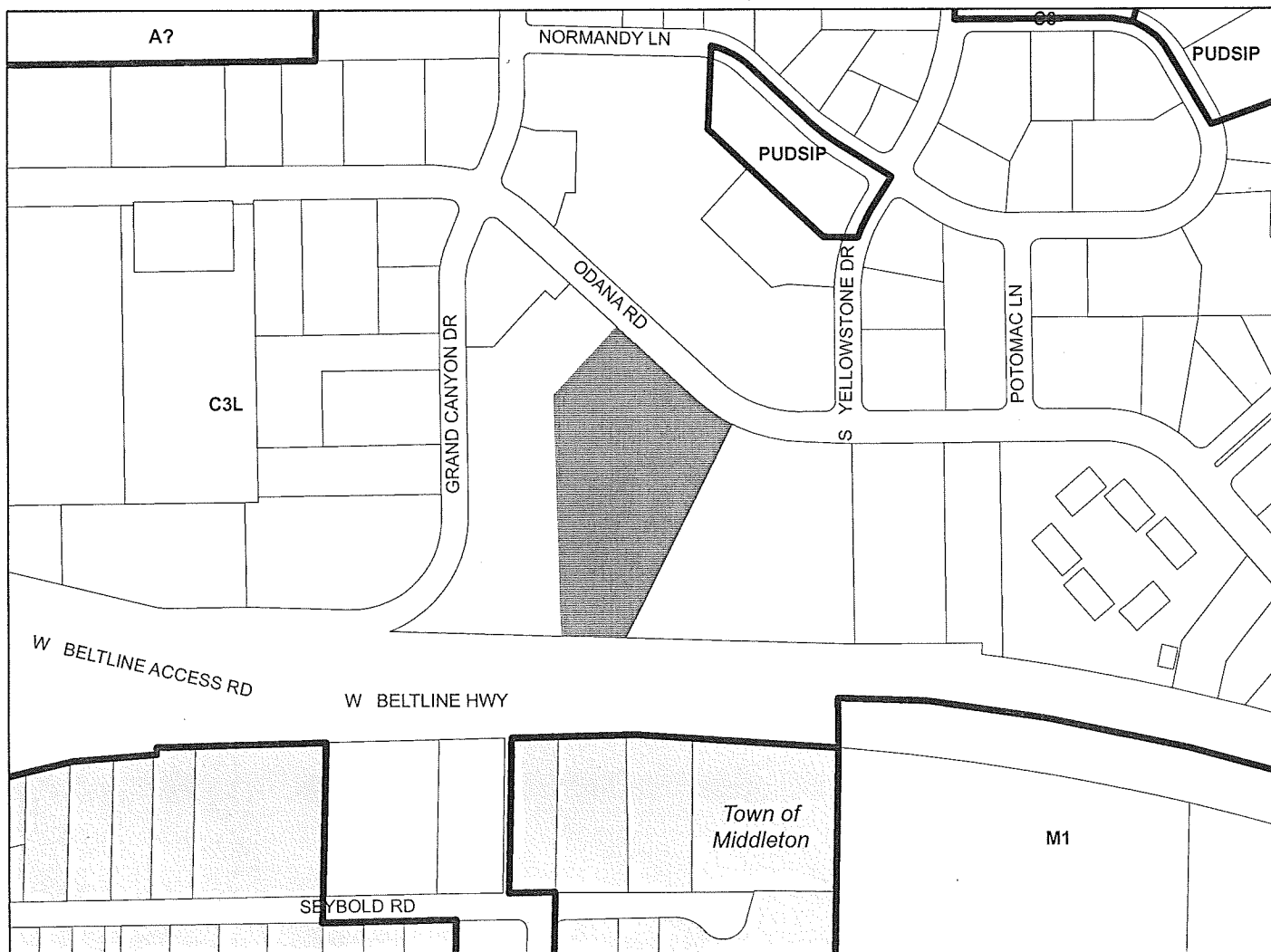
Existing Use  
Automobile dealership

Proposed Use  
Demolish existing automobile dealership  
and construct new automobile dealership

Public Hearing Date  
Plan Commission  
05 December 2011

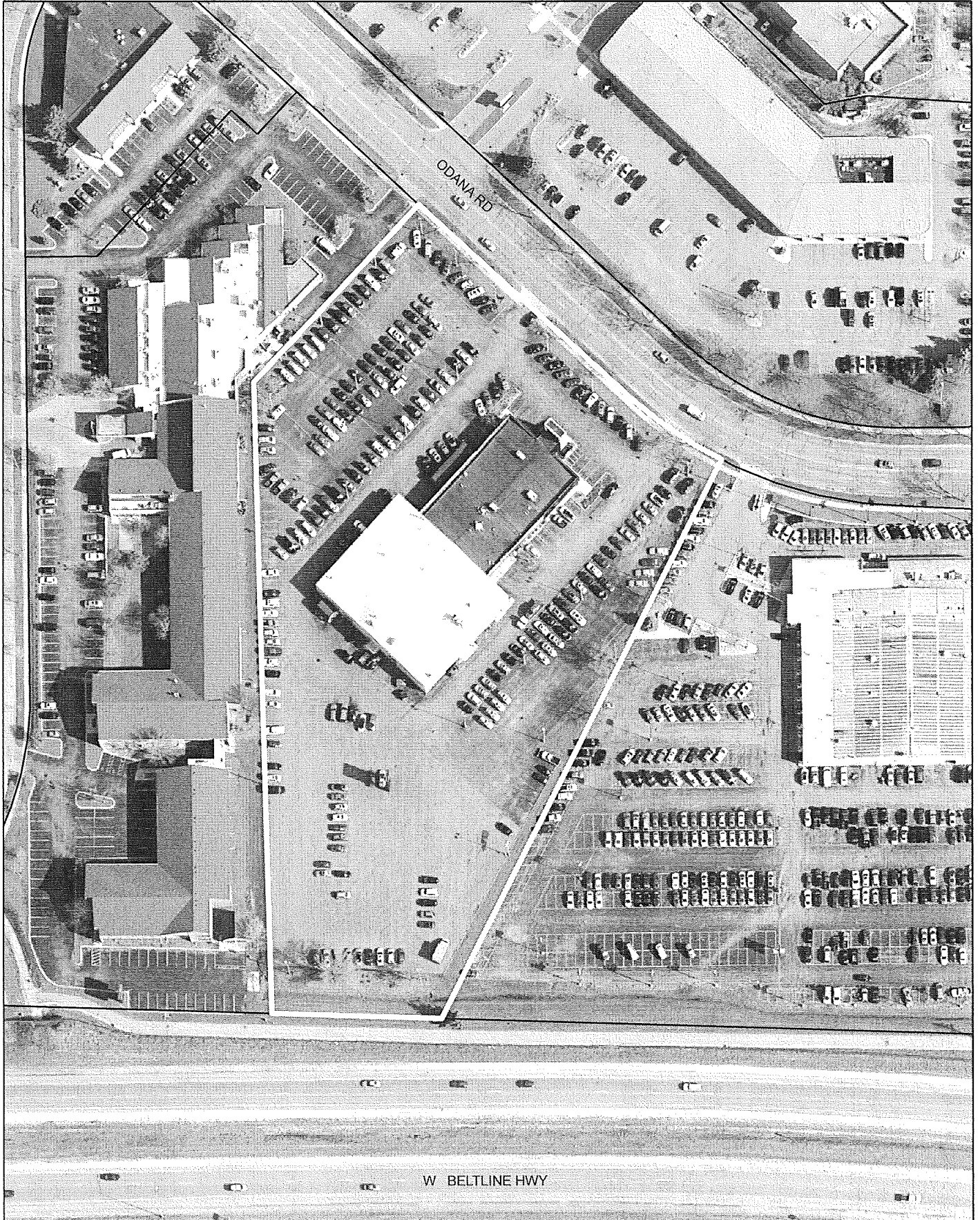


For Questions Contact: Kevin Firchow at: 267-1150 or [kfirchow@cityofmadison.com](mailto:kfirchow@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 17 November 2011





# LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All Land Use Applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid <u>\$550<sup>00</sup></u>	Receipt No. <u>125968</u>
Date Received <u>10/19/11</u>	
Received By <u>JJK</u>	
Parcel No. <u>0708-252-0701-6</u>	
Aldermanic District <u>19-Mark Clear</u>	
GQ <u>CU; landscape buffer</u>	
Zoning District <u>C31</u>	
For Complete Submittal	
Application	Letter of Intent <input checked="" type="checkbox"/>
IDUP <u>N/A</u>	Legal Descript. <input checked="" type="checkbox"/>
Plan Sets <input checked="" type="checkbox"/>	Zoning Text <u>N/A</u>
Alder Notification <u>Sep 6 2011</u>	Waiver <input type="checkbox"/>
Ngrhd. Assn Not. <input type="checkbox"/>	Waiver <input type="checkbox"/>
Date Sign Issued <u>10/19/11</u>	

1. **Project Address:** 6601 Odana Road **Project Area in Acres:** 4.85

**Project Title (if any):** CarMax

2. **This is an application for:**

Zoning Map Amendment (check the appropriate box(es) in only one of the columns below)		
<input type="checkbox"/> <b>Rezoning to a Non-PUD or PCD Zoning Dist.:</b> Existing Zoning: _____ to _____ Proposed Zoning (ex: R1, R2T, C3): _____	<b>Rezoning to or Amendment of a PUD or PCD District:</b> <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-GDP <input type="checkbox"/> Ex. Zoning: _____ to PUD/PCD-SIP <input type="checkbox"/> Amended Gen. Dev. <input type="checkbox"/> Amended Spec. Imp. Plan	
<input type="checkbox"/> <b>Conditional Use</b>	<input checked="" type="checkbox"/> <b>Demolition Permit</b>	<input type="checkbox"/> <b>Other Requests (Specify):</b> _____

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: Amanda Steinle Company: CenterPoint Integrate Solutions, LLC  
Street Address: 1240 Bergen Parkway Suite A-250 City/State: Evergreen, CO Zip: 80439  
Telephone: (303) 679-6978 Fax: (303) 670-4172 Email: ASteinle@centerpoint-is.com

Project Contact Person: Travis Schreiber Company: Vierbicher  
Street Address: 999 Fourier Drive, Suite 201 City/State: Madison Zip: WI  
Telephone: (608) 821-3960 Fax: (608) 826-0530 Email: tsch2@vierbicher.com

Property Owner (if not applicant): Boucher Properties  
Street Address: 4141 S. 108th Street City/State: Greenfield, WI Zip: 53228

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: \_\_\_\_\_

Redevelopment of current Gordie Boucher Lincoln Mitsubishi car dealership into a CarMax automobile dealership.

Development Schedule: Commencement To Be Determined Completion To Be Determined 4

**5. Required Submittals:**

- Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
  - **7 copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
  - **7 copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
  - **1 copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent (12 copies):** describing this application in detail including, but not limited to: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications proposing rezoning to more than one district, a separate description of each district shall be submitted.
- Filing Fee:** \$ 550 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.

**In Addition, The Following Items May Also Be Required With Your Application:**

- For any applications proposing demolition or removal of existing buildings, the following items are required:
  - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: <https://www.cityofmadison.com/developmentCenter/demolitionNotification/>
  - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
  - Note: A Reuse and Recycling Plan approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits and the start of construction.
- Zoning Text (12 copies):** must accompany Planned Community or Planned Unit Development (PCD/PUD) submittals.

**6. Applicant Declarations:**

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
  - The site is located within the limits of Comprehensive Plan, which recommends: General Commercial development, including auto-oriented uses such as car dealerships, for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood & business associations in writing no later than **30** days prior to filing this request:
  - List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:  
Alder: Mark Clear - letter sent September 6, 2011. No neighborhood/business assoc. associated with the site.
  - NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.
- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.
  - Planning Staff: Tim Parks Date: 6/16/11 Zoning Staff: \_\_\_\_\_ Date: \_\_\_\_\_
- Check here if this project will be receiving a public subsidy.** If so, indicate type in your Letter of Intent.

**The signer attests that this form is accurately completed and all required materials are submitted:**

Printed Name Travis Schreiber Date 10/18/11  
 Signature *Travis Schreiber* Relation to Property Owner Agent of Company with OTP.

Authorizing Signature of Property Owner *Anthony M. Karabon* Date 10-18-11  
Anthony M. Karabon  
General Counsel



October 19, 2011

City of Madison Planning Commission  
c/o Tim Parks  
215 Martin Luther King Jr. Blvd., Room LL100  
Madison, WI 53703

**CarMax Redevelopment Letter of Intent**

Site Address: 6601 Odana Road

Dear Planning Commission:

This letter is to accompany the Land Use Application for a Demolition Permit for the current Gordie Boucher Lincoln Mitsubishi car dealership at 6601 Odana Road. CarMax, a used car retailer with over 100 locations nationwide, is proposing a redevelopment of the 4.85 acre site (211,266 SF) for their fourth Wisconsin location, and first location in Dane County.

**Existing Conditions**

According to City Assessor records, the site was originally developed in 1979 with two buildings. Those existing structures, which are connected, total 24,171 square feet. The existing 32-year old structure is dated, and does not meet CarMax's standards for their car sales and service operations. Additionally, the layout of the current structure on the site does not meet CarMax's needs as far as separating customer and employee parking from vehicle sales and service operations. CarMax is proposing to demolish both structures and construct a new sales/service building and car wash outbuilding.

**Proposed Uses and Building Square Footage**

The sales building is proposed to be approximately 20,600 square foot consisting of a sales floor (~12,870 SF), vehicle presentation space (~4,310 SF) and six service bays (~3,340 SF). The car wash outbuilding is proposed to be approximately 1,000 square feet, which will only be used to prepare vehicles "for sale" or in association with vehicle service (and not open to the general public). Activities and uses that will or could be part of CarMax's operations include: sales and purchasing of pre-owned vehicles, initial vehicle and final quality control inspections, limited retail vehicle servicing, vehicle detailing and reconditioning, vehicle appraisals, vehicle auction, non-public carwash, non-public fuel storage and dispenser and a temporary sales staging area.

**Site Layout**

The new building will be set back further from the street than the existing building to allow for a clearly designated customer parking area that is separated from the vehicle sales area – something that is often lacking from car dealerships. Landscaping will be concentrated along the Odana Road frontage rather than the Beltline frontage to enhance the Odana side for both passers-by and arriving customers. Unlike the current building, there will be a pedestrian connection to the Odana Road sidewalk.

The sales display area will be physically separated from the general public, the customer and employee parking lot and surrounding properties via a guard rail and fencing. The sales display lot contains 268

parking stalls (note that there will be additional parking lot area adjacent to the service bays that will be un-striped and used for staging of vehicles awaiting service). The sales display area features a stamped concrete walkway down the center of the display area. The parking stall dimensions in the sales display area are slightly smaller than standard City parking stall dimensions. We feel the smaller dimensions are appropriate for the lot because the sales display area is: separated from customer parking, is stocked with "for-sale" vehicles by CarMax employees, only employees will drive vehicles in this area and it essentially functions as an outdoor inventory area rather than a traditional parking lot.

The customer and employee parking lot will include 125 stalls, including 5 handicap stalls. Vehicles that are not presently "for sale" in the sales display area are kept in the secured non-public sales staging area on a temporary basis. As a visual screen, and to provide security for the vehicles, the sales staging area is screened and secured by a six foot high masonry wall. Because the staging of vehicles within this area changes on a daily basis, parking spaces are not designated on the site plan.

**Signage**

The sign information submitted with this application is for informational purposes. CarMax will submit a formal signage package to City staff for review and approval at a later date.

**Hours of Operation**

Store management will set operating hours closer to the opening date; however, typical CarMax operating hours are:

Showroom: M-F 10AM-9PM; Sat 9AM-9PM; Sun 12PM – 7PM  
 Service: M-F 7:30AM-6PM; Closed Sat and Sun

These hours are typical and they can vary at the store manager's discretion from market to market.

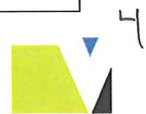
**Employment**

CarMax expects to employ as many as 75-85 full and part-time associates at this location upon store maturity, mostly hired from the local market. Initially, the management team will be comprised of experienced managers from other existing locations across the country to ensure a successful opening. CarMax provides its associates with competitive salaries, comprehensive benefits, bonus programs, and professional development opportunities.

**Construction Schedule**

The construction of new CarMax stores is determined by a firm-wide grand opening schedule that takes into account a number of potential stores nationwide and a variety of economic factors. For those reasons, a specific construction schedule for this location has not been established. The **project team** is as follows:

<b>Future Owner</b> CarMax c/o John McNamara 12800 Tackahoe Creek Parkway Richmond, VA 23238 Phone: (804) 747-0422	<b>Civil Engineer &amp; Landscape Architect</b> Vierbicher c/o Travis Schreiber, PE 999 Fourier Drive, Suite 201 Madison, WI 53717 Phone: (608) 826-0532 Email: <a href="mailto:tsch2@vierbicher.com">tsch2@vierbicher.com</a>
<b>Project Entitlement Coordination</b> CenterPoint Integrated Solutions, LLC c/o Amanda Steinle 1240 Bergen Parkway, Suite A-250 Evergreen, CO 80439 Phone: (303) 679-6978	<b>Architect</b> POH Architects c/o David Hold 3000 Royal Blvd. South Alpharetta, GA 30022 Phone: (678) 942-4838
<b>Contractor</b> The contractor is not yet selected	<b>Landscaper</b> The landscaper is not yet selected



October 19, 2011

Page 3 of 3

The alder for the area, Mark Clear, was mailed notification on September 6, 2011. Discussion was also held with Mr. Clear regarding the intent to submit materials and review of the project. Notification of a future request to demolish a building has also been filed via the City's website.

If you have any questions concerning the above information or attached plans, please contact me at [tsch2@vierbicher.com](mailto:tsch2@vierbicher.com) or 826-0532.

Sincerely,



Travis Schreiber, PE

Attachments: Land Use Application Form  
Building Photos of 6601 Odana Road  
Site Plan Packet for 6601 Odana Road  
Legal Description of 6601 Odana Road  
Reuse & Recycling Plan

CC: John McNamara, CarMax  
Amanda Steinle, CenterPoint Integrated Solutions, LLC

M:\CenterPoint Integrated\53117597\_CarMax\PLANNING & COMM DEV\Oct 2011 City Submittal\101911 CarMax Demo Permit Cover Ltrr.docx

City of Madison, WI  
Demolition Permit & Site Plan Approval Request  
October 19, 2011



### Plan Sheets

- A-1: Building Elevations
- A-2: Floor Plan
- C-1: Existing Conditions
- C-2: Demolition Plan
- C-3: Site Plan
- C-4: Grading and Erosion Control Plan
- C-5: Utility Plan
- C-6 - C-11: Construction Details
- P-1 - P-3: Detention System Plans
- L-1: Landscape Plan
- LO-1: Lighting Plan



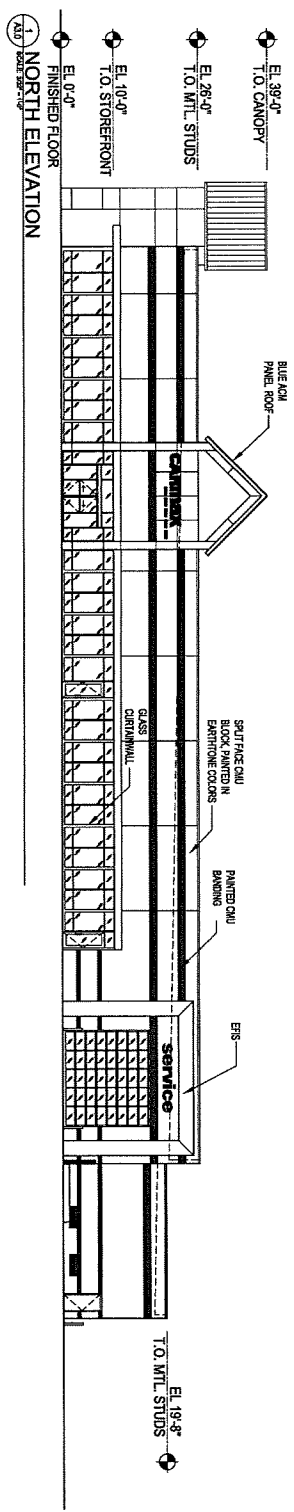
c/o John McNamara  
12800 Tuckahoe Creek Parkway  
Richmond, VA 23238

**Engineer & Landscape Architect:**  
Vierbicher  
c/o Travis Schreiber  
999 Fourier Drive, Suite 201  
Madison, WI 53717  
Phone: (608) 826-0532

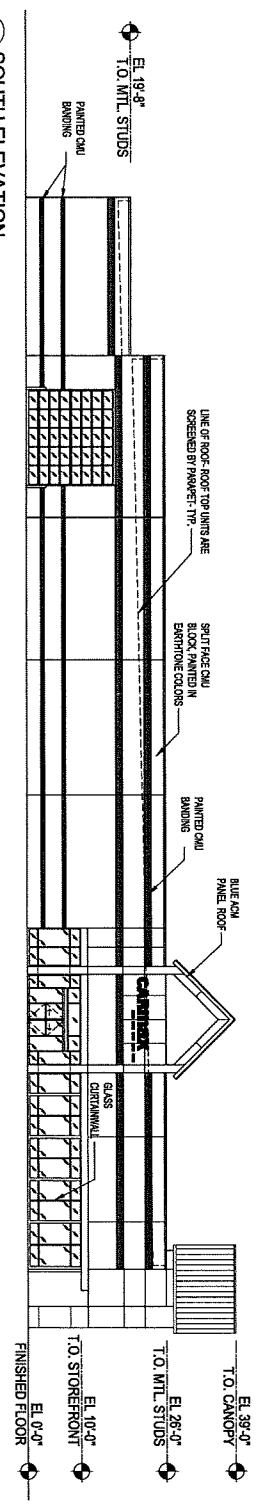
**Project Entitlement Coordination:**  
CenterPoint Integrated Solutions, LLC  
c/o Amanda Steidle  
1240 Bergen Parkway, Suite A-250  
Evergreen, CO 80439  
Phone: (303) 679-6978



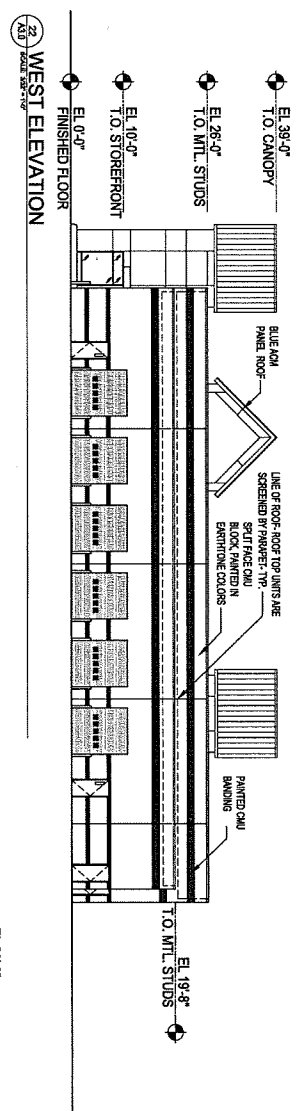
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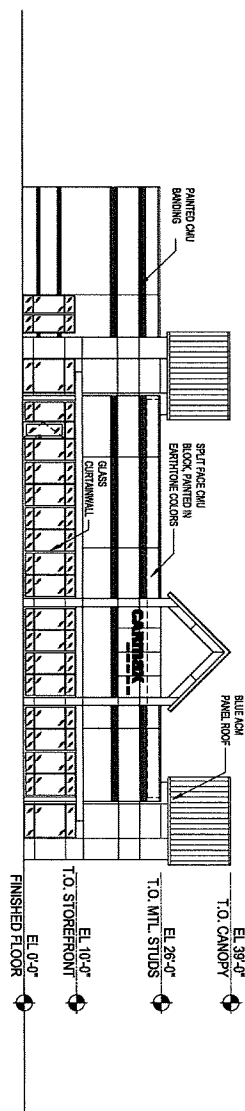
1 NORTH ELEVATION



8 SOUTH ELEVATION



22 WEST ELEVATION



23 EAST ELEVATION

**TERRY L HERR**  
ARCHITECT

IN ASSOCIATION WITH  
PIERCE O'BRIEN HERR ARCHITECTS

1000 W. WISCONSIN AVENUE, SUITE 200  
MADISON, WI 53703  
TEL: 608.261.1111  
WWW.TERRYHERRARCHITECTS.COM

NOT RELEASED FOR CONSTRUCTION

REVISIONS	NO.	DATE	DESCRIPTION	BY

**CARmax**  
THE AUTO SUPERSTORE

CARMAX THE AUTO SUPERSTORE WHIST CONY, INC.  
8800 THURGOOD CREEK PARKWAY, FREDERICK, VA 22604  
800.474.6888

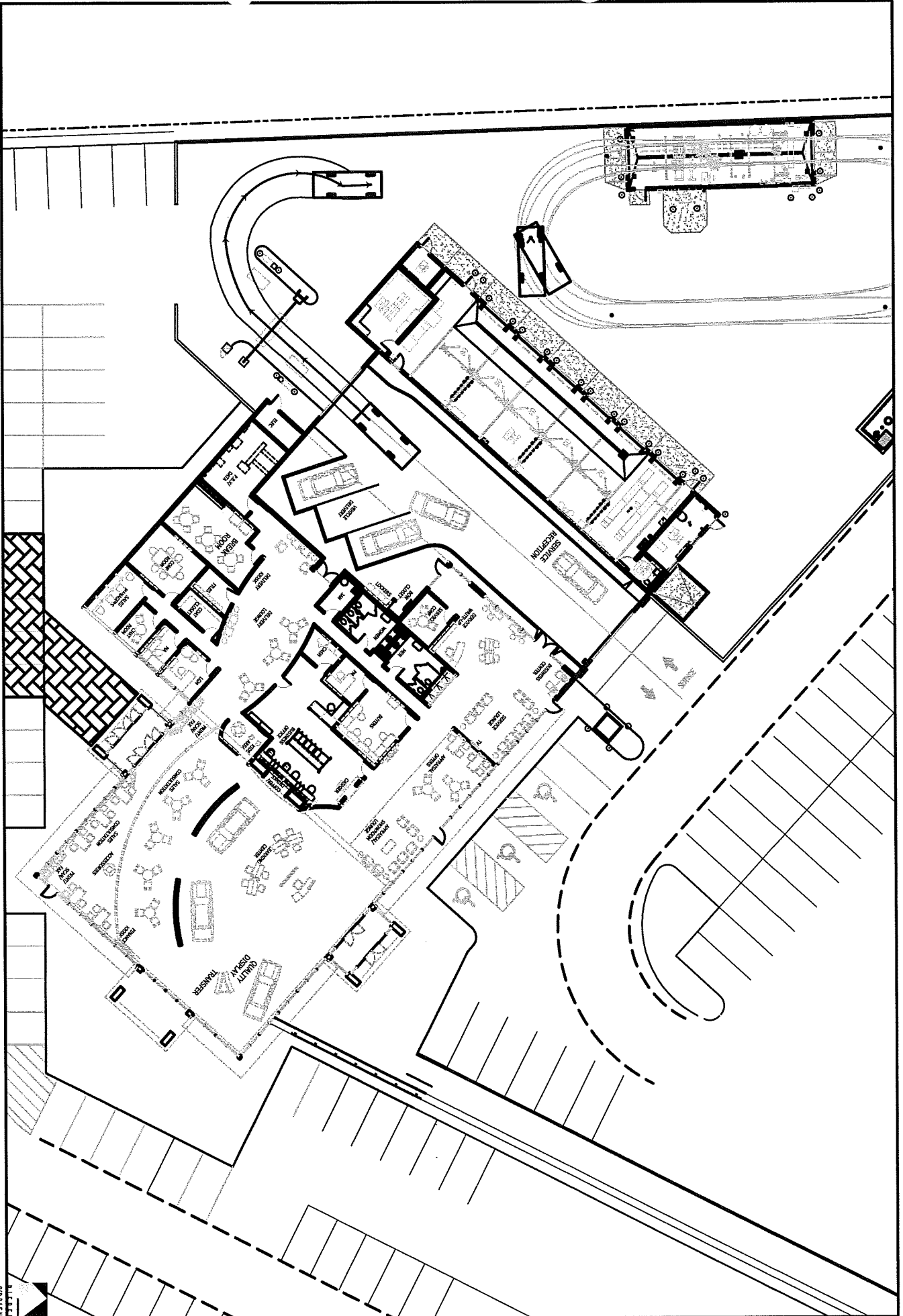
MADISON, WI  
STORE NO. 6057

PROJECT NO. 20-10110.00  
DATE 29 JULIAN 11  
SHEET TITLE PRELIMINARY EXTERIOR ELEVATIONS - SALES & SERVICE

SHEET NO. **A-1**

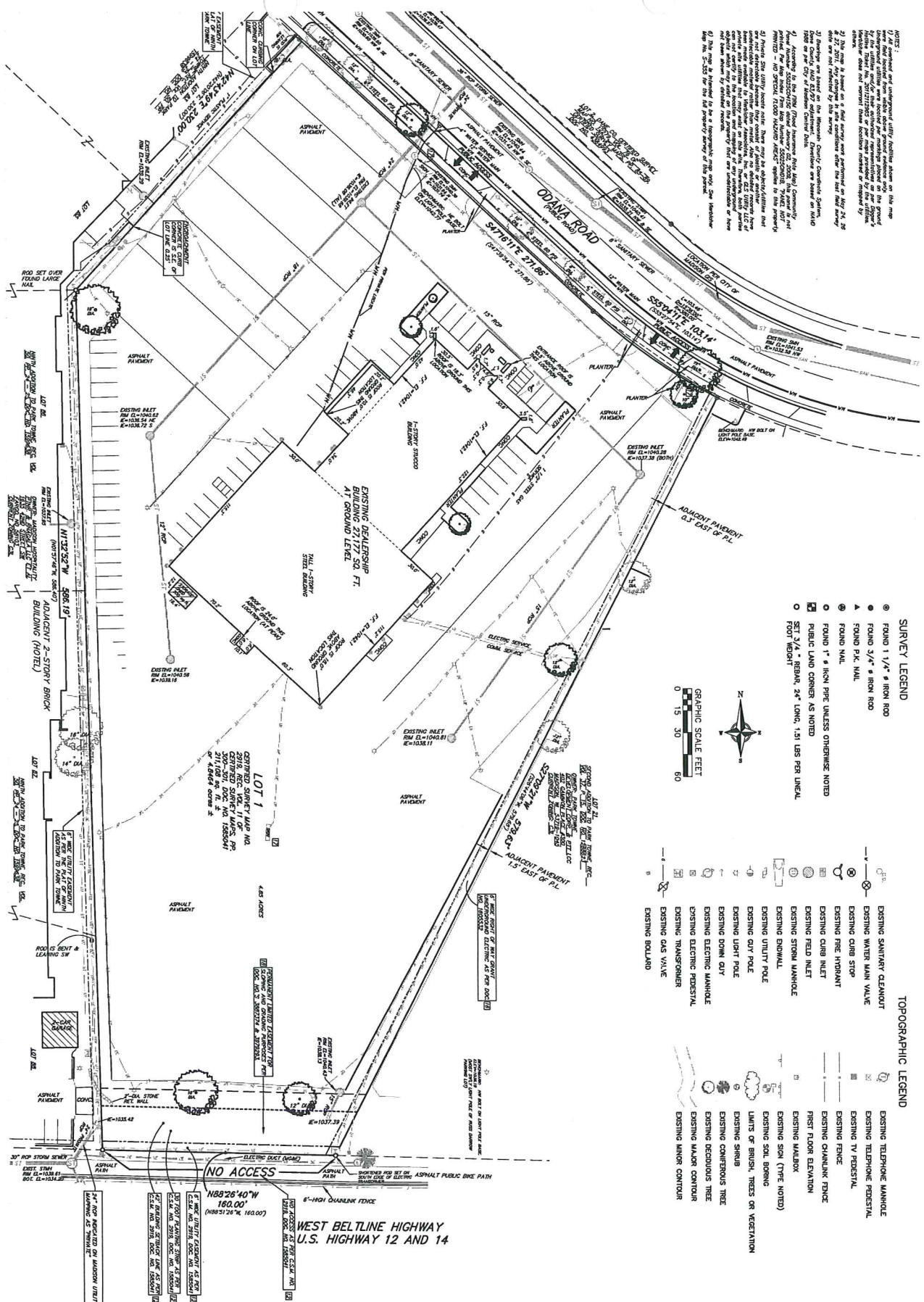
MADISON, WI Store XXXX  
Next Gen Micro Sales / Micro Service

FLOOR PLAN



02811EN  
HERR/  
REVISED  
© 2011

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NOTES:  
 1) All contained and uncontained utility facilities shown on this map were located by hand excavation and/or by means of ground penetrating radar (GPR) or other methods approved by the utility owners. There are no warranties or representations by the utility owners regarding the accuracy of the utility information shown on this map.  
 2) This map is based on a field survey performed on May 24, 2011. It may change if a field survey is performed at a later date.  
 3) Develop on based on the Wisconsin County, Columbia System, Town of Madison, and City of Madison, Wisconsin.  
 4) According to the 1998 (Third Edition) Wisconsin State Building Code, the existing building is not permitted to be converted to a different use without the approval of the local authority having jurisdiction.  
 5) Any and all utility lines shown on this map are shown as existing. They may be subject to change without notice. The utility owners are responsible for the accuracy of the utility information shown on this map. It is the responsibility of the user to verify the accuracy of the utility information shown on this map before any construction or other activity is undertaken on or near the utility lines shown on this map.  
 6) The user of this map is advised that the information shown on this map is not to be used as a basis for any construction or other activity without the approval of the utility owners.

- SURVEY LEGEND**
- FOUND 1/4" # IRON ROD
  - FOUND 3/4" # IRON ROD
  - ▲ FOUND P.C. NAIL
  - FOUND NAIL
  - FOUND 1" # IRON PIPE UNLESS OTHERWISE NOTED
  - ◻ PUBLIC LAND CORNER AS NOTED
  - ◻ SET 3/4" REBAR, 24" LONG, 1.51 LBS PER LINEAL FOOT WEIGHT



- TOPOGRAPHIC LEGEND**
- ⊖ EXISTING SANITARY CLEANOUT
  - ⊖ EXISTING WATER MAIN VALVE
  - ⊖ EXISTING CURB STOP
  - ⊖ EXISTING FIRE HYDRANT
  - ⊖ EXISTING CURB INLET
  - ⊖ EXISTING FIELD INLET
  - ⊖ EXISTING ELECTRIC MANHOLE
  - ⊖ EXISTING DOWNSPILL
  - ⊖ EXISTING UTILITY POLE
  - ⊖ EXISTING GUY POLE
  - ⊖ EXISTING LIGHT POLE
  - ⊖ EXISTING DOWN GUY
  - ⊖ EXISTING ELECTRIC MANHOLE
  - ⊖ EXISTING ELECTRIC PEDESTAL
  - ⊖ EXISTING GAS VALVE
  - ⊖ EXISTING BOLLARD
  - ⊖ EXISTING TELEPHONE MANHOLE
  - ⊖ EXISTING TELEPHONE PEDESTAL
  - ⊖ EXISTING TV PEDESTAL
  - ⊖ EXISTING FENCE
  - ⊖ EXISTING CHAINLINK FENCE
  - ⊖ FIRST FLOOR ELEVATION
  - ⊖ EXISTING MAILBOX
  - ⊖ EXISTING SIGN (TYPE NOTED)
  - ⊖ EXISTING SOIL BORING LIMITS OF ERRORS, TREES OR VEGETATION
  - ⊖ EXISTING SHRUB
  - ⊖ EXISTING CONTOUR TREE
  - ⊖ EXISTING DECIDUOUS TREE
  - ⊖ EXISTING MAJOR CONTOUR
  - ⊖ EXISTING MINOR CONTOUR

**EXISTING CONDITIONS**

201.041(10.00)

10/18/2011

**CARMAX**

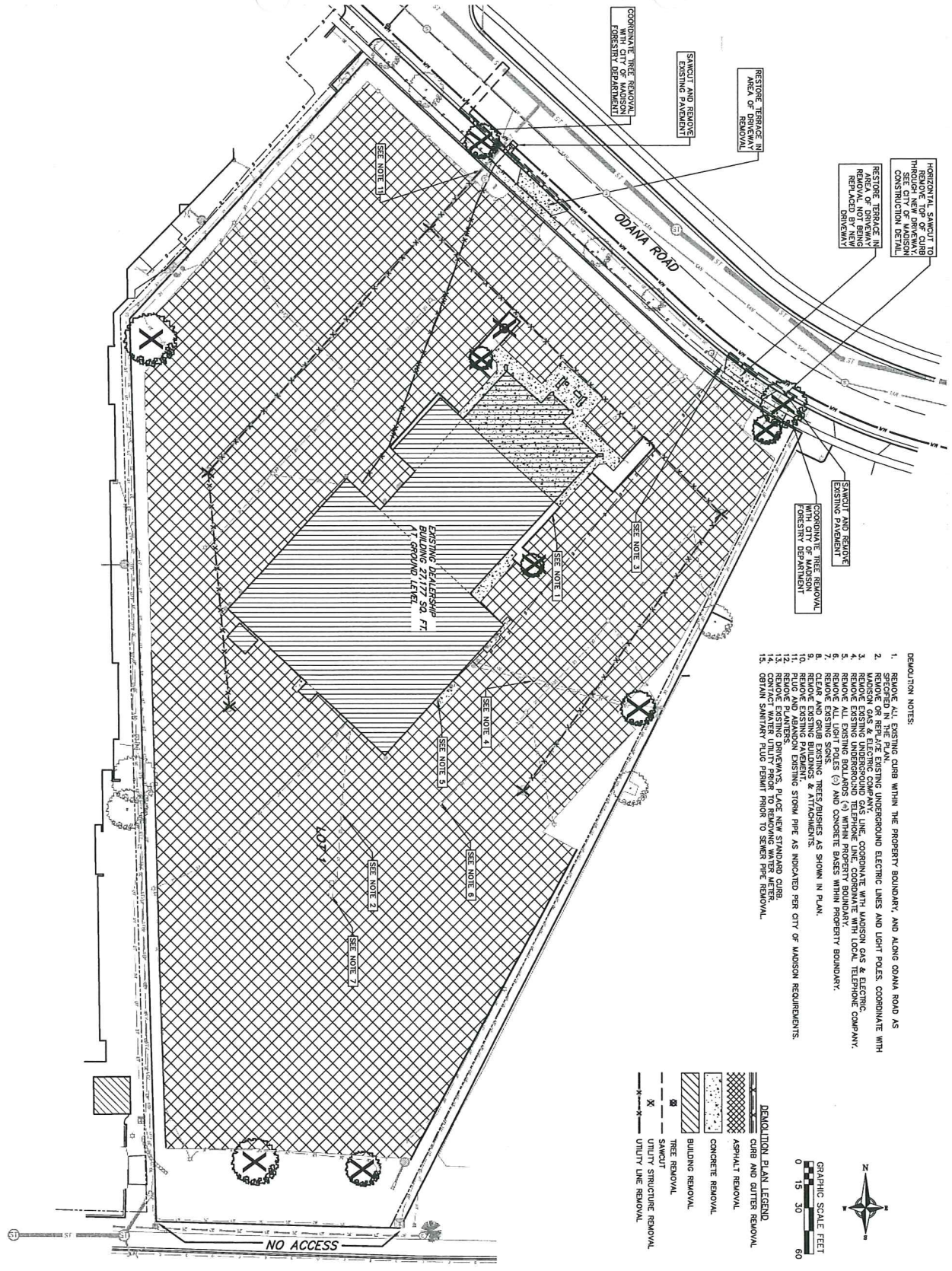
STORE NO. 6057  
6601 ODANA ROAD  
MADISON WI

NOT RELEASED PER CONSTRUCTION

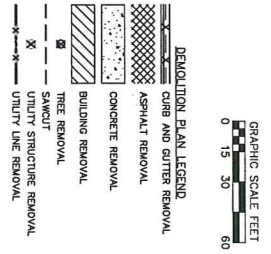
NO.	DATE	DESCRIPTION	BY

**vierbicher**  
planners | engineers | advisors

REEDSBURG - MADISON - PRAIRIE DU CHIEN  
999 Fourter Drive, Suite 201 Madison, Wisconsin 53717  
Phone: (608) 826-0532 Fax: (608) 826-0530



- DEMOLITION NOTES:**
1. REMOVE ALL EXISTING CURB WITHIN THE PROPERTY BOUNDARY, AND ALONG ODANA ROAD AS SPECIFIED IN THE PLAN.
  2. REMOVE OR REPAIR ALL EXISTING UNDERGROUND ELECTRIC LINES AND LIGHT POLES, COORDINATE WITH THE CITY OF MADISON.
  3. REMOVE EXISTING UNDERGROUND GAS LINE, COORDINATE WITH MADISON GAS & ELECTRIC COMPANY.
  4. REMOVE EXISTING UNDERGROUND TELEPHONE LINE, COORDINATE WITH LOCAL TELEPHONE COMPANY.
  5. REMOVE ALL EXISTING UNDERGROUND CABLES, COORDINATE WITH LOCAL TELEPHONE COMPANY.
  6. REMOVE ALL LIGHT POLES (L) AND CONCRETE BASES WITHIN PROPERTY BOUNDARY.
  7. REMOVE EXISTING SIGNS.
  8. CLEAN EXISTING SIGNAGE STRUCTURES AS SHOWN IN PLAN.
  9. REMOVE EXISTING SIGNAGE STRUCTURES AS SHOWN IN PLAN.
  10. REMOVE EXISTING DRIVEWAYS, PLACE NEW STANDARD CURB.
  11. REMOVE EXISTING DRIVEWAYS, PLACE NEW STANDARD CURB.
  12. REMOVE ALL LIGHTS IN EXISTING STORM PIPE AS INDICATED PER CITY OF MADISON REQUIREMENTS.
  13. REMOVE EXISTING DRIVEWAYS, PLACE NEW STANDARD CURB.
  14. REMOVE EXISTING DRIVEWAYS, PLACE NEW STANDARD CURB.
  15. OBTAIN SANITARY PLUG PERMIT FROM TO SEWER PIPE REMOVAL.



WEST BELTLINE HIGHWAY  
U.S. HIGHWAY 12 AND 14

PROJECT NO.	23-10110.0
DATE	10/18/2011
DEMOLITION PLAN	
C-2	

**CARmax**

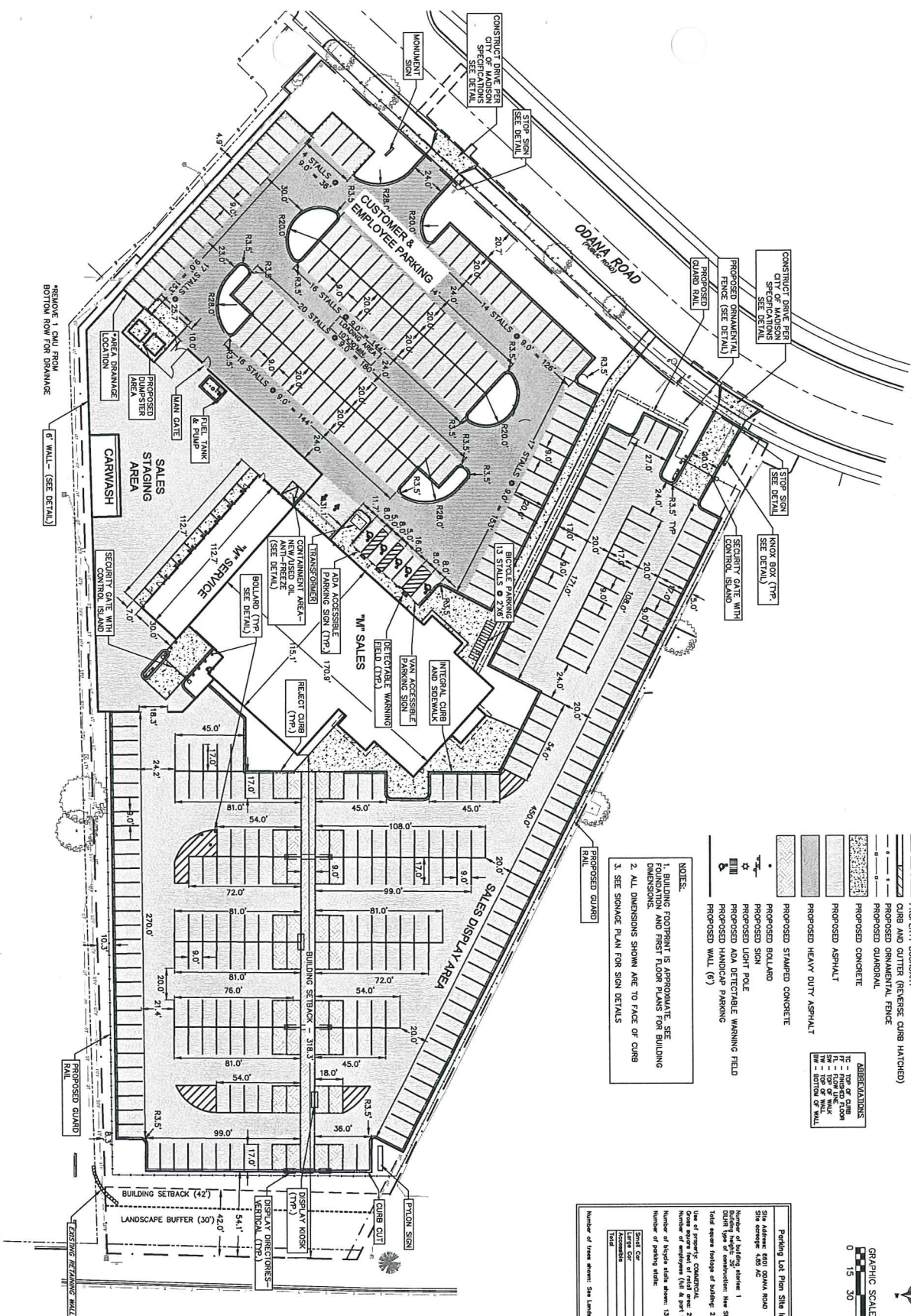
STORE NO. 6057  
6601 ODANA ROAD  
MADISON WI

NO. REV.	DATE	DESCRIPTION

**vierbicher**  
planners | engineers | advisors

REEDSBURG - MADISON - PRAIRIE DU CHIEN  
999 SoStar Drive, Suite 200 | Reedsburg, Wisconsin 53717  
Phone: (608) 826-0532 Fax: (608) 826-0530

T



**SITE PLAN LEGEND**

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED ORNAMENTAL FENCE
- PROPOSED GRANULAR
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED STAMPED CONCRETE
- PROPOSED BOLLARD
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANGCAP PARKING
- PROPOSED WALL (6)

**ABBREVIATIONS**

- TC - TOP OF CURB
- FL - FINISH FLOOR
- BL - BOTTOM OF WALL
- HW - TOP OF WALL
- BW - BOTTOM OF WALL

**NOTES:**

- BUILDING FOOTPRINT IS APPROXIMATE. SEE 1, BUILDING AND FIRST FLOOR PLANS FOR BUILDING DIMENSIONS
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB
- SEE SIGNAGE PLAN FOR SIGN DETAILS

Parking Lot Plan Site Information Book

Site Address: 6601 ODANA ROAD  
 Site ID: 159-02

Number of Building Stories: 1  
 Number of Units: 0  
 Type of Property: COMMERCIAL  
 Gross square feet of retail space: 21,443 SF  
 Number of employees (full & part time): 63  
 Number of parking stalls: 13

Small Car	9
Large Car	120
Handicapped	120
Trucks	120

Number of trees shown: See Landscape Plan



WEST BELTLINE HIGHWAY U.S.  
HIGHWAY 12 AND 14

**CARmax**

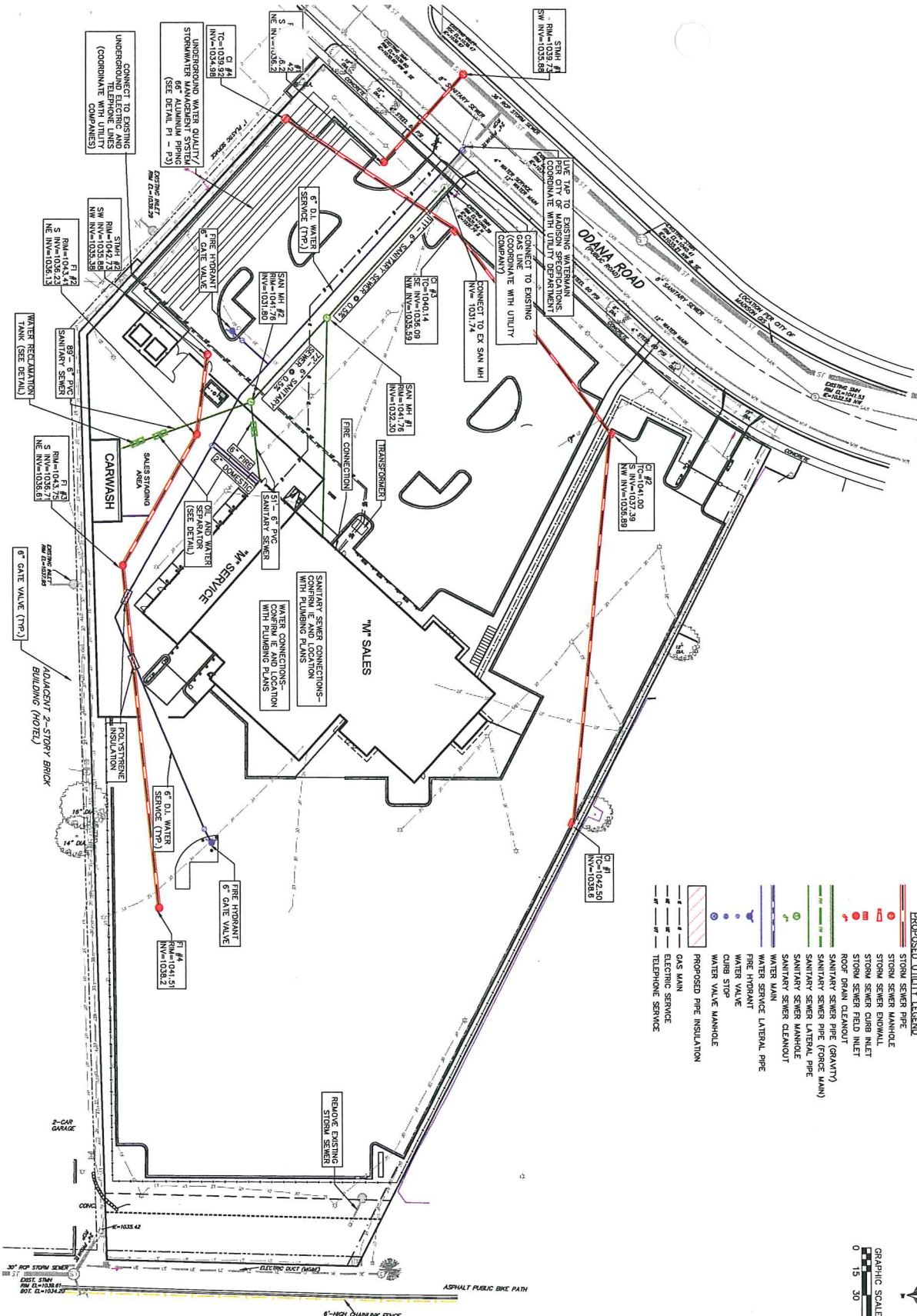
STORE NO. 6057  
 6601 ODANA ROAD  
 MADISON WI

**vierbicher** | engineers | advisors

REEDSBURG - MADISON - PRAIRIE DU CHIEN  
 999 Fourier Drive, Suite 201 Madison, Wisconsin 53717  
 Phone: (608) 824-0352 Fax: (608) 824-0350

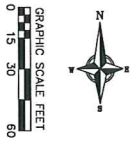
DATE: 10/10/2011  
 TIME: 10:19:20 AM  
 SHEET: C-3





**PROPOSED UTILITY LEGEND**

- STORM SEWER PIPE
- STORM SEWER MANHOLE
- STORM SEWER ENDWALL
- STORM SEWER CURB INLET
- STORM SEWER FIELD INLET
- STORM SEWER FIELD INLET
- ROOF DRAIN CLEANOUT
- SANITARY SEWER PIPE (GRAVITY)
- SANITARY SEWER PIPE (FORCE MAIN)
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- SANITARY SEWER LATERAL PIPE
- WATER SERVICE LATERAL PIPE
- WATER SERVICE WATER VALVE
- WATER VALVE
- CURB STOP
- WATER VALVE MANHOLE
- PROPOSED PIPE INSULATION
- GAS MAIN
- ELECTRIC SERVICE
- TELEPHONE SERVICE



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CALL DIGGER HOTLINE  
1-800-242-6511  
FOR ALL UTILITY LOCATIONS  
BEFORE ANY EXCAVATION  
OR TRENCHING WORK  
TO PREVENT DAMAGE TO  
UNDERGROUND UTILITIES  
AND TO PROTECT THE  
PUBLIC SAFETY.

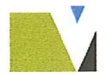
PROJECT NO.	20-011000
DATE	10/18/2011
DRAWN BY	UTILITY PLAN
CHECKED BY	
SCALE	C-5

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MADISON WI

NO.	REVISION	DATE

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Phone: (608) 826-0332 Fax: (608) 826-0330

### EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 210 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONTRACTOR AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN NON-TECHNICAL STANDARDS (http://www.dnr.wisconsin.gov/conservation/conservation.htm) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL STRUCTURES (TRAFFICING PAD, FERTILIZER SET FENCE, SILT PROTECTION, ETC.) PRIOR TO REMOVING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO HAVE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN AS MUCH WORK AS POSSIBLE IS COMPLETED WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM REGULATIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTOR, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRAFFICING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC ROAD SURF. SEDIMENT TRAFFICING PAD SHALL CONFORM TO WISCONSIN TECHNICAL STANDARD 107. SEDIMENT REACHING THE TRAFFICING PAD SHALL BE REMOVED BY STREET CLEANING (NOT PROHIBITED TUSINGS) BEFORE THE END OF EACH WORK DAY.
7. STABILIZED BANKS, FROM ADVANCEMENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED BANKS, FROM ADVANCEMENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
9. UNLESS THEY PERIODIC OR NOT, SHALL NOT BE LOCATED WITHIN 25-Feet OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE.
10. UNLESS THEY PERIODIC OR NOT, SHALL NOT BE LOCATED WITHIN 25-Feet OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE.
11. RESTORATION (SEED, FERTILIZER AND MULCH) SHALL BE PER SPECIFICATIONS ON THE SHEET DATE. AND SEEDING DATE STANDARD OF DETAIL BLOCK TO PLAN) UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
12. TERAPAZ, FERTILIZER AND MULCH SHALL BE RESTORED WITHIN 7 DAYS AFTER FILL GRADE HAS BEEN ESTABLISHED. IF INSTALLED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER FILL GRADE, TEMPORARY SEED SHALL BE PLACED.
13. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SO) OF A DISTURBED AREA, INCLUDE SCHEDULE WATERING ON THIS PLAN, 1 TIME PER WEEK.
14. EROSION MAT (TYPE 1 CLASS A PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
15. EROSION MAT (TYPE 1 CLASS B PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
16. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE APPLIED TO ALL SLOPES GREATER THAN 3:1. SOIL STABILIZERS SHALL BE APPLIED TO ALL SLOPES GREATER THAN 3:1. SOIL STABILIZERS SHALL BE APPLIED TO ALL SLOPES GREATER THAN 3:1. SOIL STABILIZERS SHALL BE APPLIED TO ALL SLOPES GREATER THAN 3:1. SOIL STABILIZERS SHALL BE APPLIED TO ALL SLOPES GREATER THAN 3:1.
17. SET TOP OF EROSION MAT SHALL BE INSTALLED ALONG THE CORNERS AT 100 FOOT INTERVALS DOWN THE SLOPE OF THE DISTURBED SLOPES.
18. SET TOP OF EROSION MAT SHALL BE INSTALLED ALONG THE CORNERS AT 100 FOOT INTERVALS DOWN THE SLOPE OF THE DISTURBED SLOPES.
19. INSTALL TYPICAL 6" x 7" WIRE MESH ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TRENCH. IF THIS AREA WILL NOT BE SEEDING AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL.
20. SET TOP OF CURB TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
21. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
22. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
23. CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT MINIMUM 24 HOURS PRIOR TO CONSTRUCTION.
24. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

### CONSTRUCTION SEQUENCE

1. INSTALL SILT FENCE AND TRAFFICING PAD.
2. CONSTRUCT EROSION CONTROL STRUCTURES PER PLAN.
3. CONSTRUCT DRAINAGE SYSTEMS PER PLAN.
4. CONSTRUCT PERMANENT PAVING LOT.
5. CONSTRUCT PERMANENT PAVING LOT (STONE BASE, CURB & GUTTER, AND SIDEWALK).
6. RESTORE GREEN AREAS, SILT FENCE, AND OTHER EROSION CONTROL MEASURES AFTER INSTALLED AREAS ARE RESTORED.

### SEEDING RATES

- TEMPORARY:
1. USE ANNUAL DATE AT 3.0 LB/1,000 SF FOR SPRING AND SUMMER PLANTINGS.
  2. USE ANNUAL DATE AT 3.0 LB/1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15TH.
- PERMANENT:
- USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB/1,000 SF.

### FERTILIZING RATES

TEMPORARY AND PERMANENT:

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB/1,000 SF.

### MULCHING RATES

TEMPORARY AND PERMANENT:

USE 1/2" TO 1-1/2" STRAW OR LAY MULCH, COMPOST PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.

DO NOT INSTALL SILT PROTECTION TYPE B IN AREAS SHALL LOWER THAN 3% GRADE.

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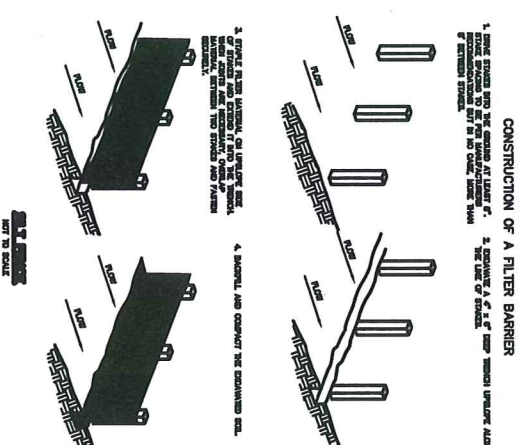
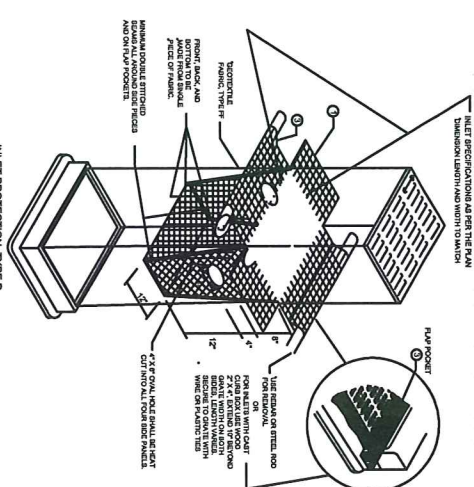
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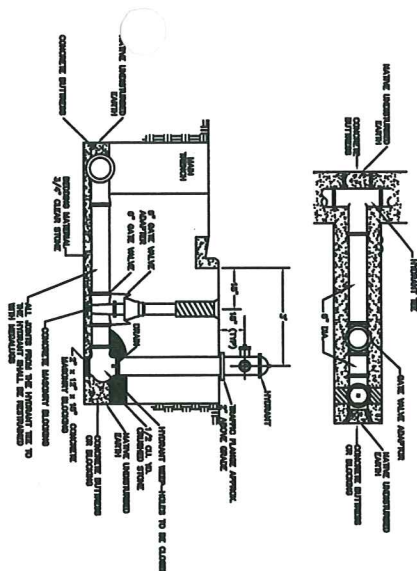
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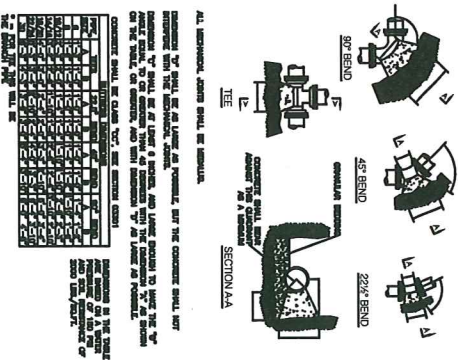
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PROJECT NO. 26-10110.00  
DATE 10/18/2011  
SHEET NO. C-6

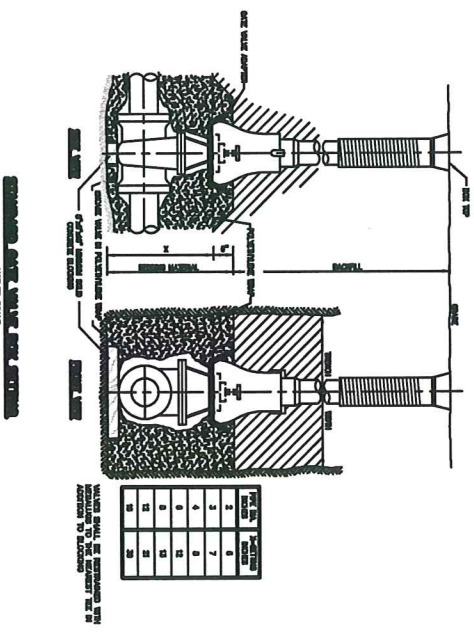




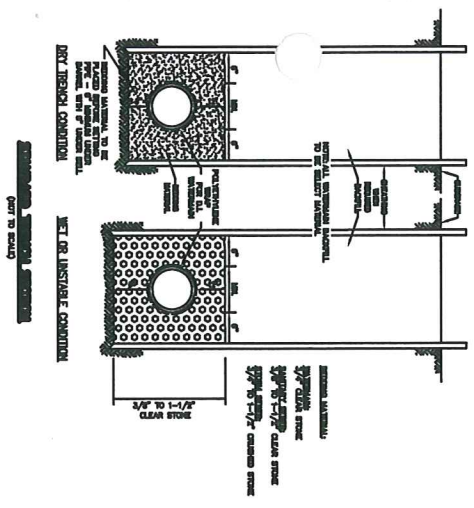
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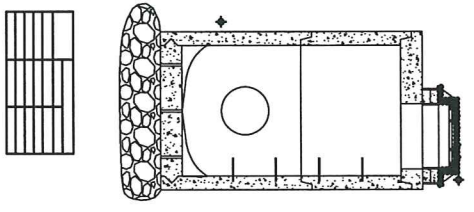
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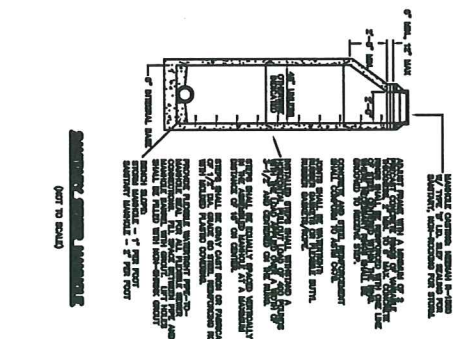
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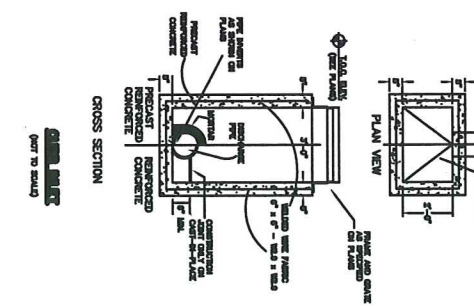
WALL CONDITIONS



WALL SECTION



WALL SECTION



CROSS SECTION

NOT RELEASED FOR CONSTRUCTION

PROJECT NO.	20-1011000
DATE	10/18/2011
REVISION	
NO.	
DATE	
BY	
CHECKED BY	
DATE	

CONSTRUCTION DETAILS

SHEET NO. C-7

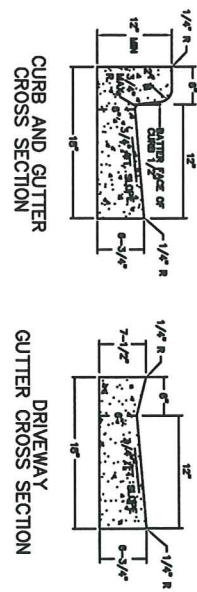
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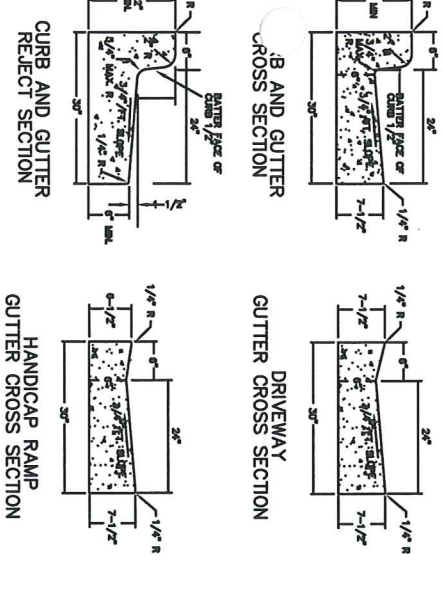
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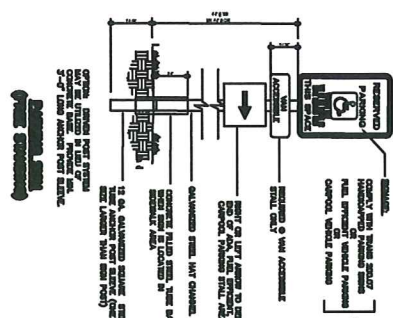
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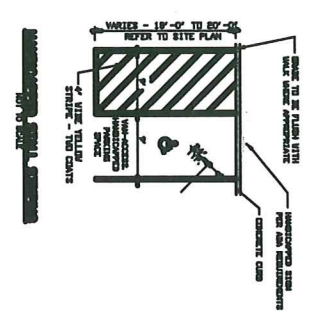
CURB AND GUTTER CROSS SECTION DRIVEWAY  
 CURB AND GUTTER CROSS SECTION HANDICAP RAMP



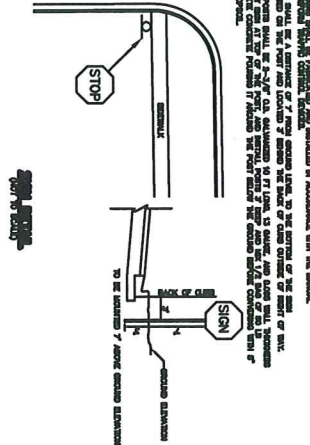
CURB AND GUTTER CROSS SECTION DRIVEWAY  
 CURB AND GUTTER CROSS SECTION HANDICAP RAMP



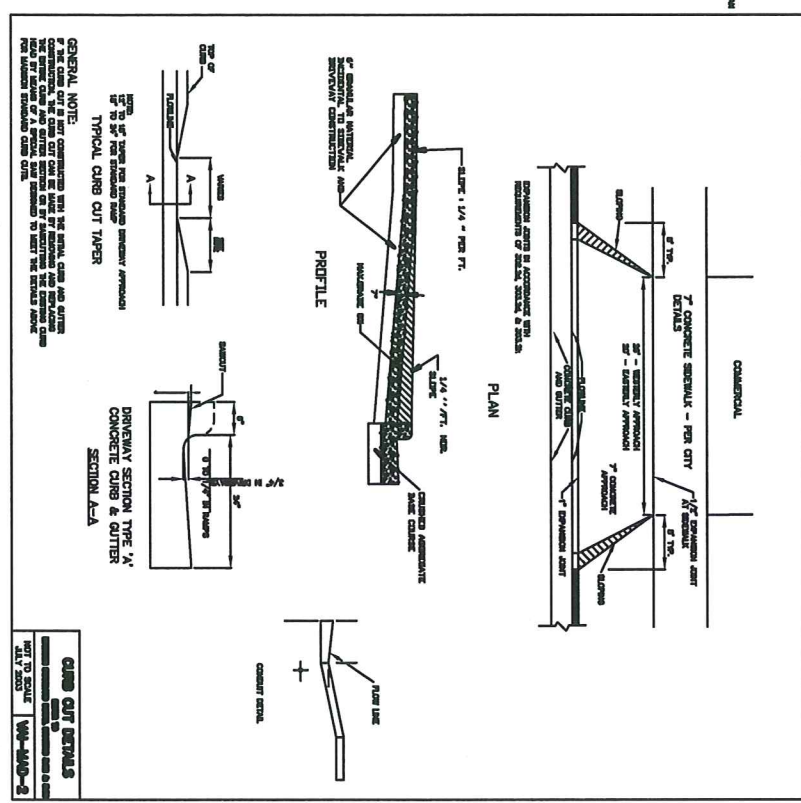
CONCRETE CURB AND GUTTER PLAN



CONCRETE CURB AND GUTTER PLAN



CONCRETE CURB AND GUTTER PLAN



CONCRETE CURB AND GUTTER PLAN

**SIGNAGE NOTES:**

1. ALL SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUAL.
2. SIGNAGE SHALL BE A MINIMUM OF 7 FEET ABOVE GRADE, TO THE CENTER OF THE SIGN.
3. SIGNAGE SHALL BE LOCATED ON THE RIGHT SIDE OF THE ROAD, UNLESS OTHERWISE NOTED.
4. SIGNAGE SHALL BE LOCATED ON THE RIGHT SIDE OF THE ROAD, UNLESS OTHERWISE NOTED.
5. SIGNAGE SHALL BE LOCATED ON THE RIGHT SIDE OF THE ROAD, UNLESS OTHERWISE NOTED.

**CURB CUT DETAILS**

CONCRETE CURB AND GUTTER  
 WA-100-2

**C-8**

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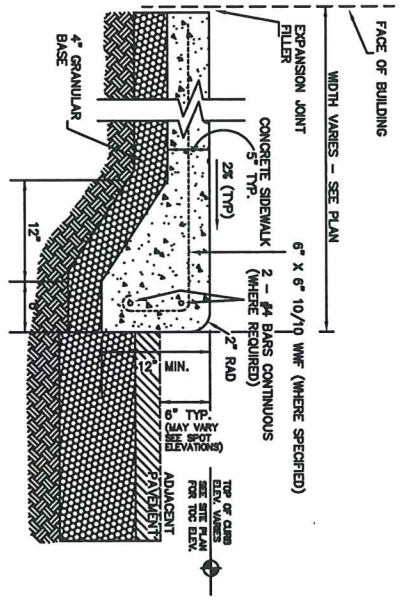
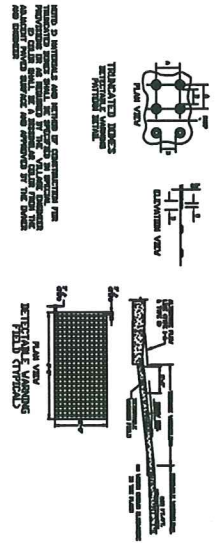
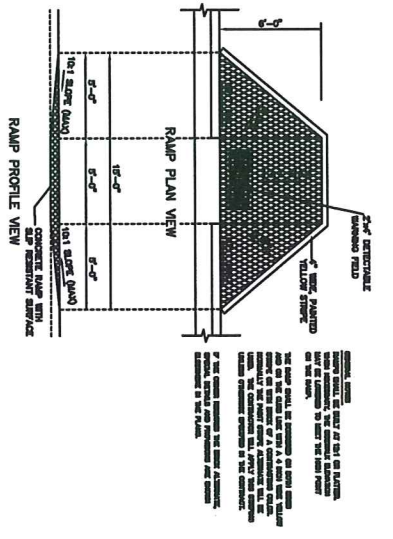
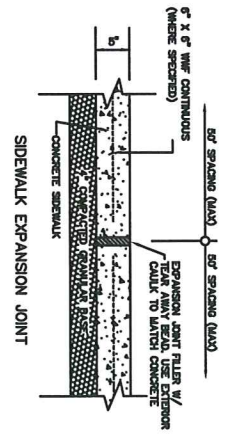
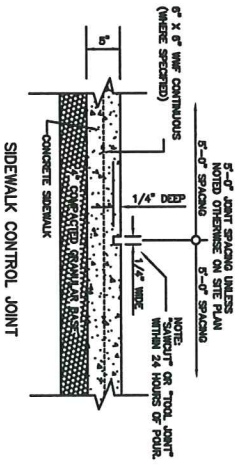
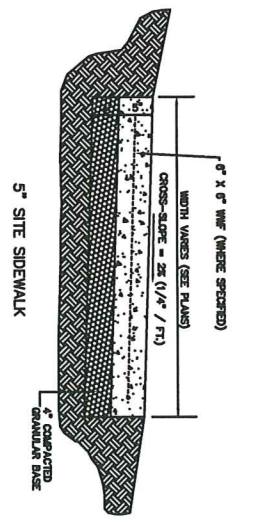
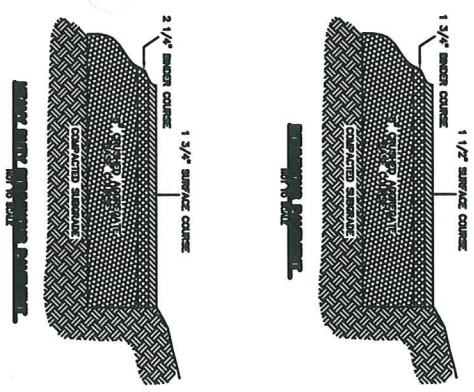
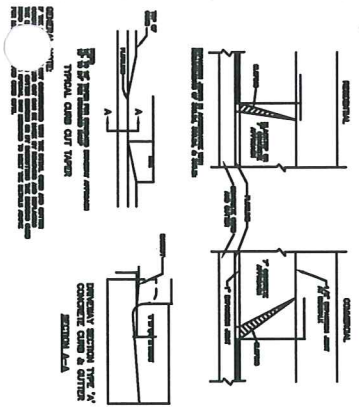
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 999 Fourier Drive, Suite 201 Madison, Wisconsin 53717  
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STORE NO. 6057  
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 MADISON WI

20-10140-00  
 10/19/2011

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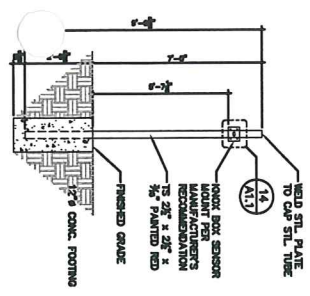
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DATE	10/09/2011
DATE	
DATE	

CONSTRUCTION DETAILS

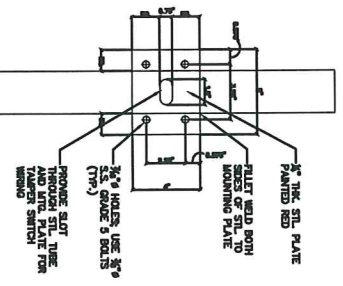
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6601 ODANA ROAD  
MADISON WI

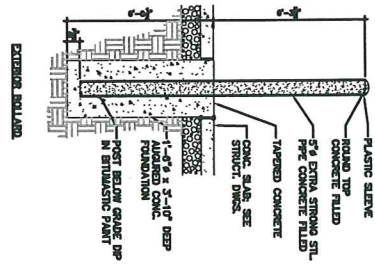
NO.	REVISIONS FOR CONSTRUCTION



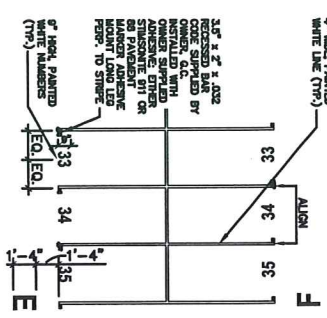
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NOT TO SCALE



1 KNOX BOX DETAIL  
NOT TO SCALE

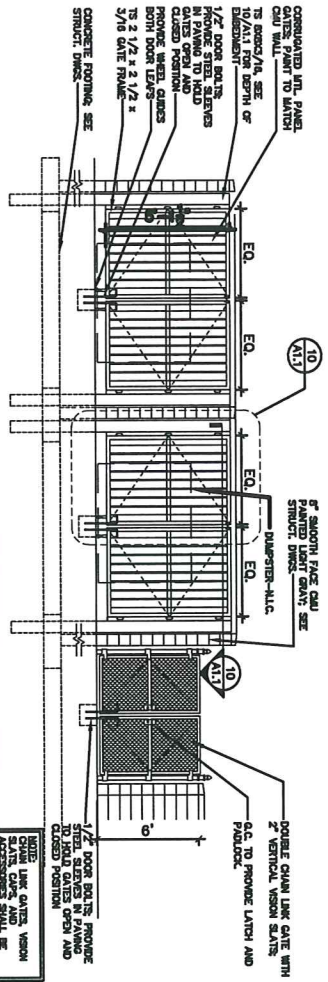


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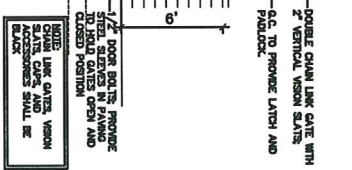


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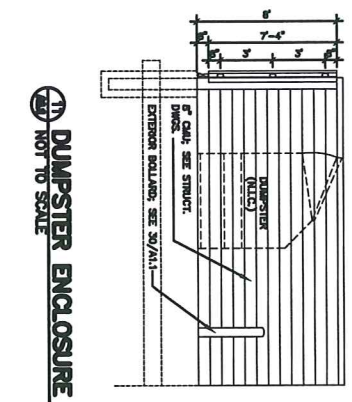
**NOTE:**  
BAG CONES SHALL BE LOCATED ON THE LEFT HAND SIDE OF THE STALL WHEN FACING INTO THE DIRECTION OF TRAFFIC.



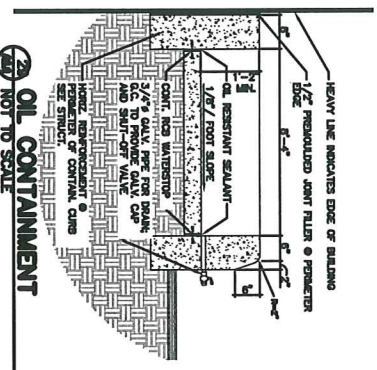
10 DUMPSTER AND TIRE ENCLOSURES  
NOT TO SCALE



10 GATE LEAF  
NOT TO SCALE



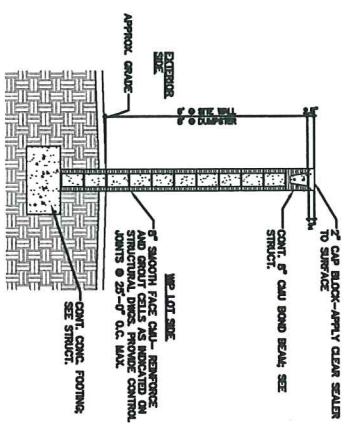
10 DUMPSTER ENCLOSURE  
NOT TO SCALE



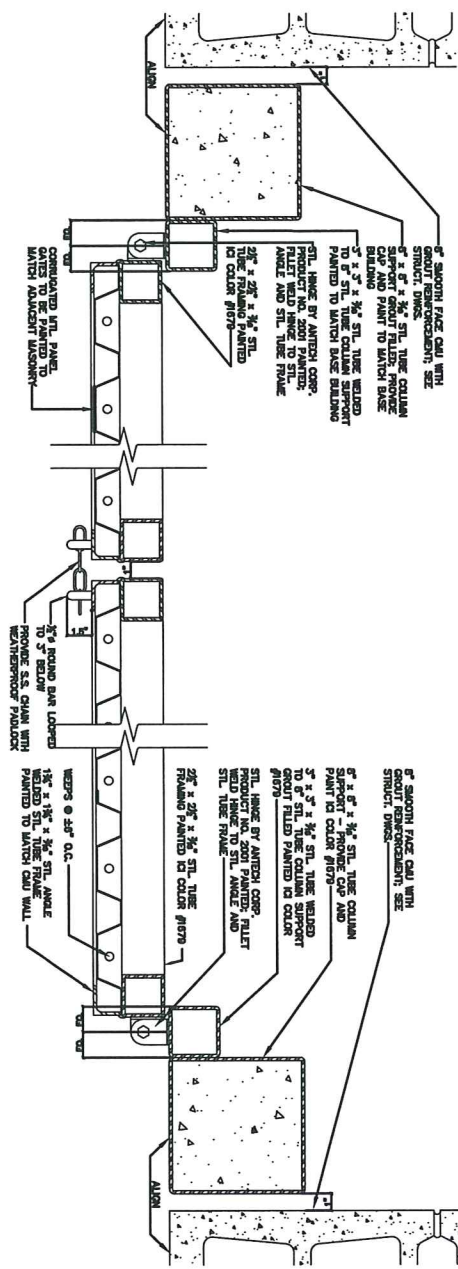
20 OIL CONTAINMENT  
NOT TO SCALE

20 SITE WALL DETAIL  
NOT TO SCALE

**PAINTING/SEALING NOTES:**  
1. PAINT ALL CAB AT SITE WALL TO MATCH BUILDING, REFER TO SPEC CONTAINING PERFORMANCE REQUIREMENTS.  
2. SPECIFIC STAINING CAP-APP'Y CLEAR SEALER ONLY. REFER TO SPEC SECTION OTHER WATER RESISTANTS.



NOT RELEASED FOR CONSTRUCTION	
DATE	DESCRIPTION



**HINGE AND LATCH DETAIL**  
 NOT TO SCALE

PRODUCT NO.	26-10110.00
DATE	10/18/2011
CONSTRUCTION DETAILS	
SHEET NO.	C-11

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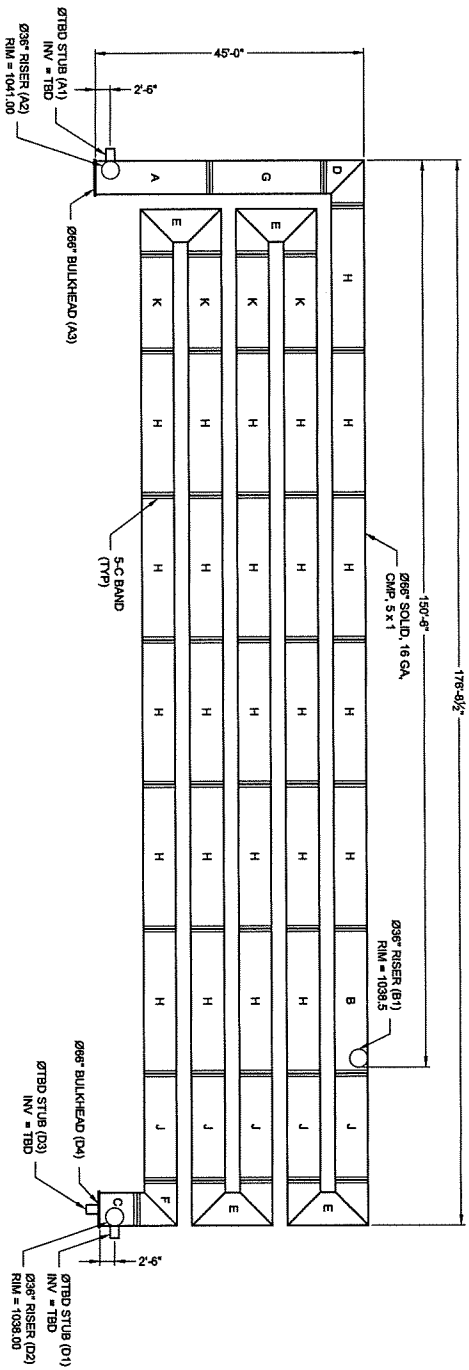
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 999 Fourter Drive, Suite 201 Madison, Wisconsin 53717  
 Phone: (608) 824-0532 Fax: (608) 824-0530



**ASSEMBLY**  
 SCALE: 1" = 20'  
 VOLUME: 21,587 C.F.  
 LOADING: H20/H45  
 SYSTEM INV = 1031.48

THE UNDERSIGNED HEREBY APPROVES THE ATTACHED (3) PAGES.  
 \_\_\_\_\_ DATE \_\_\_\_\_  
 CUSTOMER \_\_\_\_\_

- NOTES**
- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE
  - ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS SHALL BE FIELD VERIFIED BY THE ENGINEER OF RECORD PRIOR TO RELEASING FOR FABRICATION.
  - ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A998.
  - ALL RISERS AND STUBS ARE 2 3/4" x 7/8" CORRUGATION AND 16 GAGE UNLESS OTHERWISE NOTED.
  - RISERS TO BE FIELD TRIMMED TO GRADE.

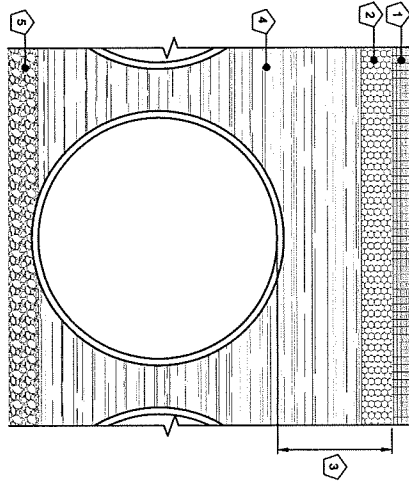
MARK	DATE	REVISION DESCRIPTION	BY

**CONTECH**  
 CONSTRUCTION PRODUCTS INC.  
 www.contech-cpi.com  
 8025 Centre Pointe Dr., Suite 400, West Chester, OH 45398  
 603-338-1122 513-945-7000 513-945-7883 FAX

**CONTECH**  
 CMP DETENTION SYSTEMS  
 PROPOSAL  
 DRAWING

Ø66" DETENTION SYSTEM - 448445-001  
 MADISON WATER QUALITY  
 MADISON, WI  
 SITE DESIGNATION: Ø66" CMP DETENTION SYSTEM

PROJECT NO.	448445	REV. NO.	001	DATE	9/21/2011
DRAWN BY	MJK	CHECKED BY	KJB	APPROVED BY	
SHEET NO.	P1	OF	P3		



- KEY**
1. RIGID OR FLEXIBLE PAVEMENT
  2. GRANULAR ROAD BASE
  3. 12" MIN. FOR DIAMETERS THROUGH 96" AND LARGER MEASURED TO TOP OF RIGID OR BOTTOM OF FLEXIBLE PAVEMENT.
  4. SELECT GRANULAR FILL PER AASHTO M45 AT 1.25 OR 1.5 LIFTS (COMPACTED TO MIN. 90% STANDARD DENSITY PER AASHTO T99.)
  5. GRANULAR BEDDING, ROUGHLY SHAPED TO FIT THE BOTTOM OF PIPE, 4" TO 6" IN DEPTH

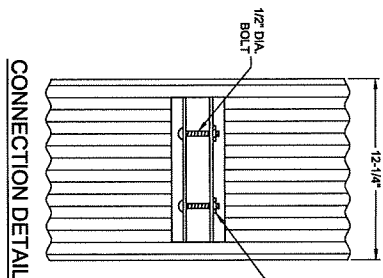
**FOUNDATION BEDDING PREPARATION**

PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSATURABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED OR GRADED TO A MINIMUM OF 18" BELOW THE BOTTOM OF A WELL-GRADED GRANULAR MATERIAL. SHALL BE PLACED AS THE BEDDING.

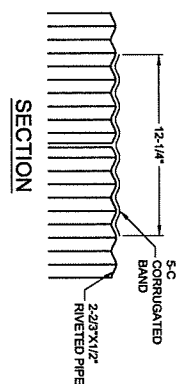
**BACKFILL**

THE BACKFILL SHALL BE AN A1, A2 OR A3 GRANULAR FILL PER AASHTO M45, OR A WELL-GRADED GRANULAR FILL AS APPROVED BY THE SITE ENGINEER (SEE INSTALLATION GUIDELINES). THE MATERIAL SHALL BE PLACED IN 6" TO 8" LIFTS AND COMPACTED TO THE PROPER DENSITY. WHEN PLACING THE FIRST LIFTS OF BACKFILL, IT IS IMPORTANT TO MAKE SURE THAT THE BACKFILL IS PROPERLY COMPACTED UNDER AND AROUND THE PIPE HANGERS. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO LIFT (16") DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE DETENTION SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON THE PIPE.

OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS, AS APPROVED BY THE ENGINEER.



**CONNECTION DETAIL**



**SECTION**

**GENERAL NOTES:**

1. BANDS ARE NORMALLY FURNISHED AS FOLLOWS:  
12" THRU 48", 1-PIECE  
54" THRU 96", 2-PIECES
2. BAND FASTENERS ARE ATTACHED WITH SPOT WELDS, RIVETS OR BAND WELDS.
3. ROLLED ANNULAR END CORRUGATIONS ARE NORMALLY 2-25" X 1/2". DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.

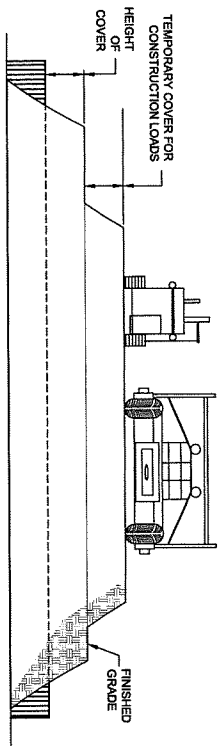
**2** 5-C BAND DETAIL  
SCALE: N.T.S.

**1** BACKFILL DETAIL  
SCALE: N.T.S.

<p>THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.</p>	
DATE:	9/21/2011
DRAWN BY:	MARK
CHECKED BY:	
APPROVED BY:	
PROJECT NO.:	448445-001
DRAWING NO.:	001
DATE:	9/21/2011
PROJECT:	Ø66" DETENTION SYSTEM - 448445-001
LOCATION:	MADISON WATER QUALITY
CITY:	MADISON, WI
DESCRIPTION:	SITE DESIGNATION: Ø66" CMP DETENTION SYSTEM
SHEET NO.:	P2 OF P3

**CONTECH**  
CONSTRUCTION PRODUCTS INC.  
www.contech-cpi.com  
8025 Centre Pointe Dr., Suite 400, West Chester, OH 45388  
603-398-1122 513-445-7000 513-445-7993 FAX

**CONTECH**  
CMP DETENTION SYSTEMS  
PROPOSAL  
DRAWING



PIPE SPAN, INCHES	AXLE LOADS (kips)				
	18-50	50-75	75-110	110-150	150-180
12-42	2.0	2.5	3.0	3.0	3.0
48-72	3.0	3.0	3.5	4.0	4.0
78-120	3.0	3.5	4.0	4.0	4.0
126-144	3.5	4.0	4.5	4.5	4.5

MINIMUM COVER MAY VARY, DEPENDING ON LOCAL CONDITIONS. THE CONTRACTOR MUST PROVIDE THE ADDITIONAL COVER REQUIRED TO AVOID DAMAGE TO THE PIPE. MINIMUM COVER IS MEASURED FROM THE TOP OF THE PIPE TO THE TOP OF THE MAINTAINED CONSTRUCTION ROADWAY SURFACE.

### 3 CONSTRUCTION LOADING DIAGRAM

SCALE: N.T.S.

**SPECIFICATION FOR CORRUGATED STEEL PIPE-ALUMINIZED TYPE 2 STEEL.**

**SCOPE**  
THIS SPECIFICATION COVERS THE MANUFACTURE AND INSTALLATION OF THE CORRUGATED STEEL PIPE (CSP) DETAILED IN THE PROJECT PLANS.

**MATERIAL**  
THE ALUMINIZED TYPE 2 STEEL COIL SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M274 OR ASTM A829.

**PIPE**  
THE CSP SHALL BE MANUFACTURED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF AASHTO M274 OR ASTM A760. THE PIPE SIZES, GAGES AND CORRUATIONS SHALL BE AS SHOWN ON THE PROJECT PLANS.

ALL FABRICATION OF THE PRODUCT SHALL OCCUR WITHIN THE UNITED STATES.

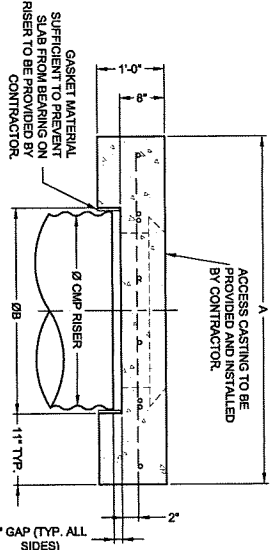
**HANDLING AND ASSEMBLY**

SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE NATIONAL CORRUGATED STEEL PIPE ASSOCIATION (NCSPP)

**INSTALLATION**

SHALL BE IN ACCORDANCE WITH AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES, SECTION 28, DIVISION I OR ASTM A789 AND IN CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. IF THERE ARE ANY INCONSISTENCIES OR CONFLICTS THE CONTRACTOR SHOULD DISCUSS AND RESOLVE WITH THE SITE ENGINEER.

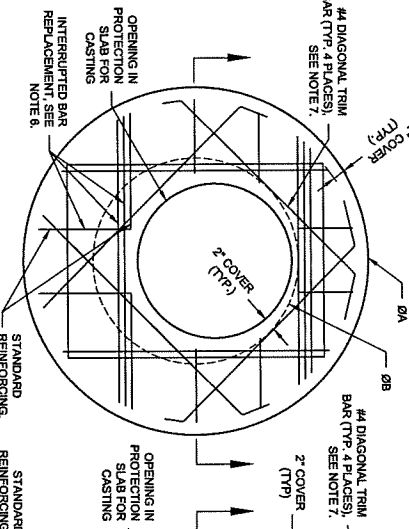
IT IS ALWAYS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.



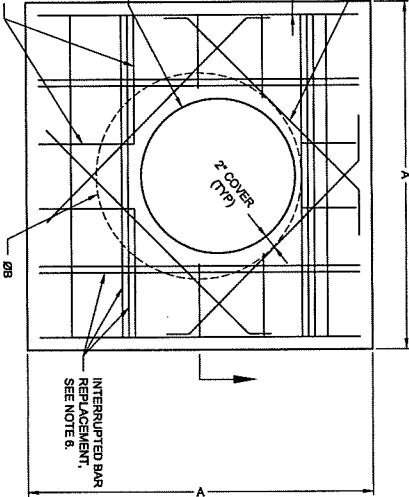
### SECTION VIEW

REINFORCING TABLE				
Ø CMP RISER	A	Ø B	REINFORCING	**BEARING PRESSURE (PSF)
24"	Ø 4"	28"	#5 @ 12" OCEW	2,410
30"	Ø 4.5"	32"	#5 @ 12" OCEW	1,760
36"	Ø 5"	38"	#5 @ 10" OCEW	1,530
42"	Ø 5.5"	44"	#5 @ 10" OCEW	1,890
48"	Ø 6"	50"	#5 @ 9" OCEW	1,350
	Ø 6"		#5 @ 8" OCEW	1,270
	Ø 6"		#5 @ 8" OCEW	1,100

\*\* ASSUMED SOIL BEARING CAPACITY



### ROUND OPTION PLAN VIEW



### SQUARE OPTION PLAN VIEW

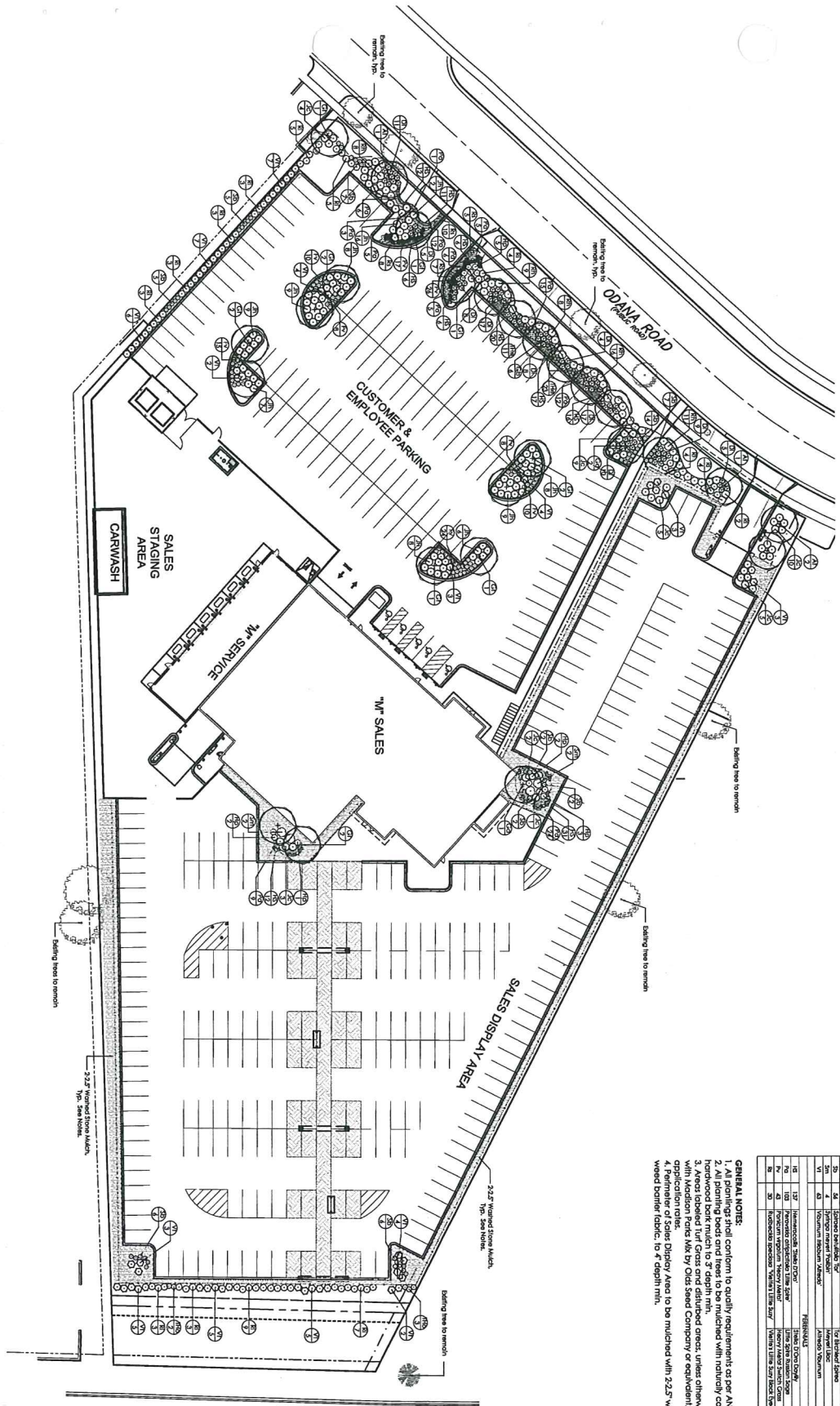
- NOTES:**
- DESIGN IN ACCORDANCE WITH AASHTO, 17TH EDITION.
  - DESIGN LOAD HS25.
  - EARTH COVER = 1' MAX.
  - CONCRETE STRENGTH = 3,500 psi.
  - REINFORCING STEEL = ASTM A615, GRADE 60.
  - PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.
  - TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
  - PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
  - DETAIL DESIGN BY DELTA ENGINEERING, BINGHAMTON, NY.

### 4 MANHOLE CAP DETAIL

SCALE: N.T.S.

9625 Centre Pointe Dr., Suite 400, West Chester, OH 45388 800-338-1122 513-945-7000 513-945-7993 FAX		PROJECT NO: 448445 BID NO: 001 DATE: 9/21/2011 DESIGNED: MLK DRAWN: KKB CHECKED: APPROVED:	
MARK: _____ DATE: _____ REVISION DESCRIPTION: _____	BY: _____	SHEET NO: P3 of P3	
SITE DESIGNATION: Ø66" CMP DETENTION SYSTEM MADISON, WI		Ø66" DETENTION SYSTEM - 448445-001 MADISON WATER QUALITY MADISON, WI	





**1. Number of trees required**  
 Total required quantity of trees and shrubs per acre  
 Required: 2-2.2' x 4.5'  
 Plants required for planting each 1" = 1 plant

**2. Number of landscape plants required**  
 Plants required for planting each 1" = 1 plant

Total Plants Required: 112

Plant	Plant	Quantity	Plant	Quantity
...	...	...	...	...
<b>TOTAL</b>		<b>112</b>		<b>112</b>

**PLANT LIST**

Qty	Plant Name	Common Name	Plant Size
1	...	...	...
2	...	...	...
...	...	...	...
<b>TOTAL</b>			<b>112</b>

**GENERAL NOTES:**  
 1. All plantings shall conform to quality requirements as per ANSI Z60.1.  
 2. All planting beds and trees to be mulched with naturally colored brown shredded hardwood bark mulch to 2" depth min.  
 3. All plantings shall be installed in accordance with the planting notes, to be provided with Madison Parks Mx by Olds Seed Company or equivalent, per specified application rates.  
 4. Perimeter of Sales Display Area to be mulched with 3.25" wetland river stone over weed barrier fabric, to 4" depth min.

GRAPHIC SCALE FEET  
 0 15 30 60

N

WEST BELTLINE HIGHWAY U.S. HIGHWAY 12 AND 14

**CARMAX**

STORE NO. 6057  
 6601 ODANA ROAD  
 MADISON WI

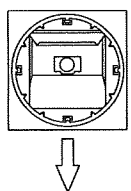
PROJECT NO. X000002010  
 DATE 10/18/11  
 LANDSCAPE PLAN

**vierbicher**  
 planners | engineers | advisors

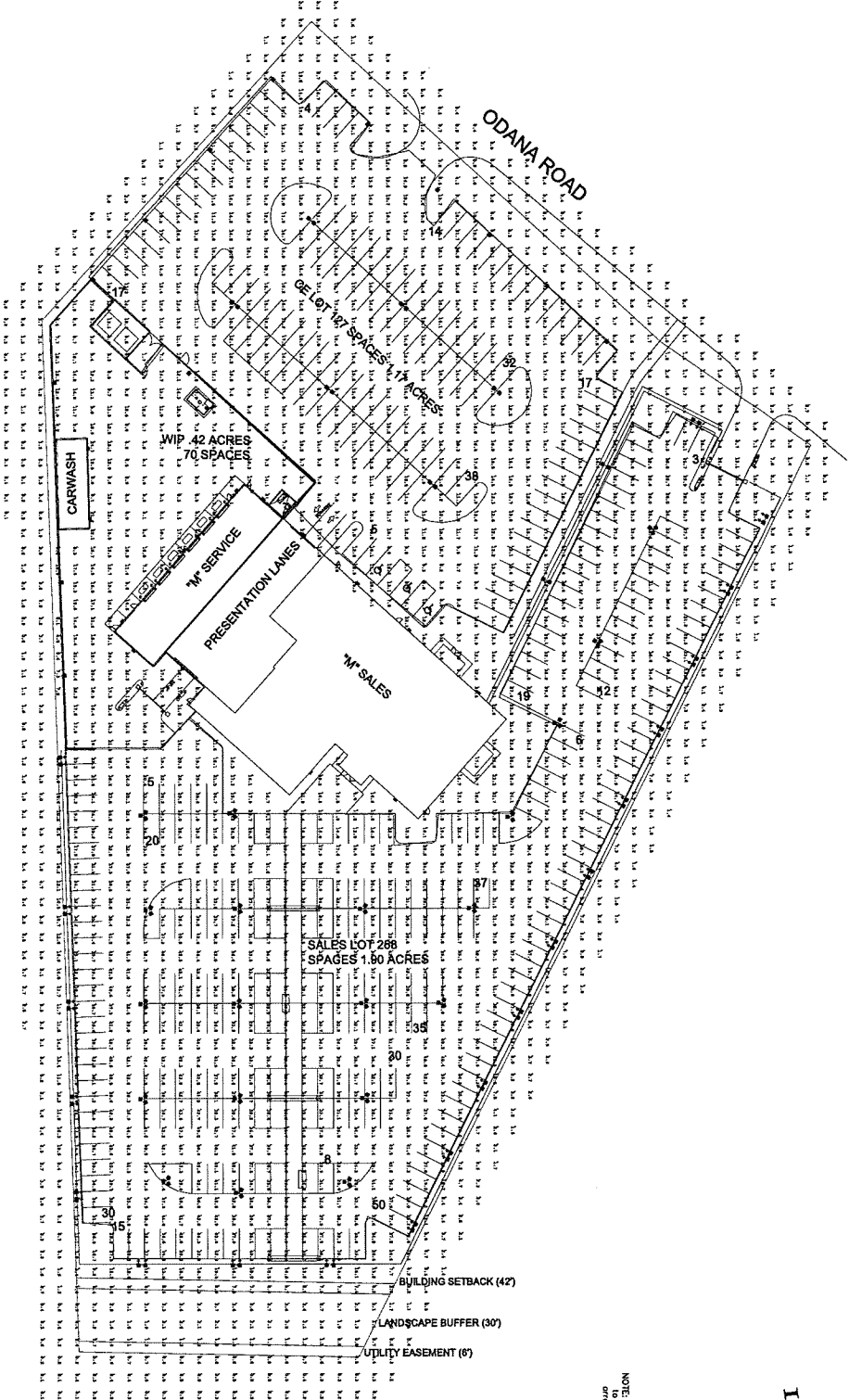
REEDSBURG - MADISON - PRAIRIE DU CHIEN  
 999 Foshier Drive, Suite 201  
 Phone: (608) 826-0532 Fax: (608) 826-0530

5

**IMPORTANT**



**ROTATED REFLECTOR**  
 NOTE: Reflector MUST be field raised by the CONTRACTOR to correspond with the direction indicated by the arrow on this layout.  
 EXAMPLE OF DIRECTIONAL ARROW



**MANUFACTURED HOMEWORKS LAYOUT AT 3" ABOVE GRADE**

CALCULATION SUMMARY		CH/TYPE	QUANTITY	UNIT	REQ.	MIN.	MAX.	AVG/VAL	MAX/VAL	MIN/VAL	MAX/VAL
LABOR	20	CH/TYPE	20	HR	14.17	4.7	31.1	14.17	31.1	4.7	31.1
GR/LOT	20	CH/TYPE	20	HR	21.7	4.7	31.1	21.7	31.1	4.7	31.1
SALES LOT	13	CH/TYPE	13	HR	32.38	50.4	4.0	32.38	4.0	50.4	4.0
WIP LOT	14	CH/TYPE	14	HR	11.70	26.6	1.7	11.70	1.7	26.6	1.7

**Luminaire Schedule**

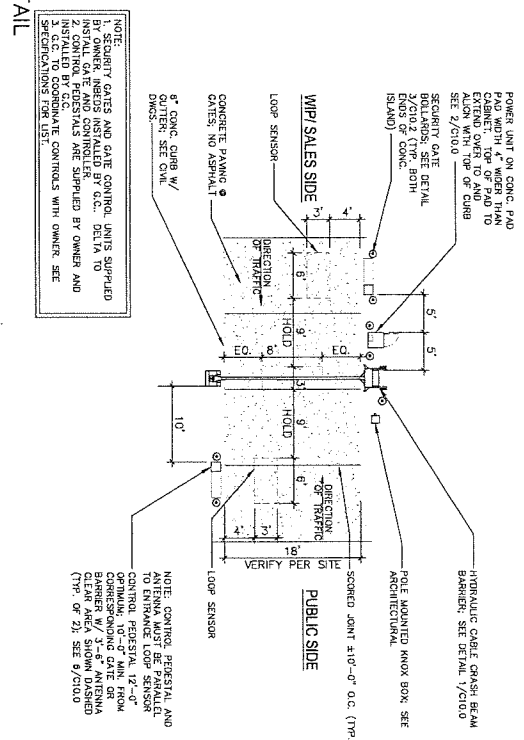
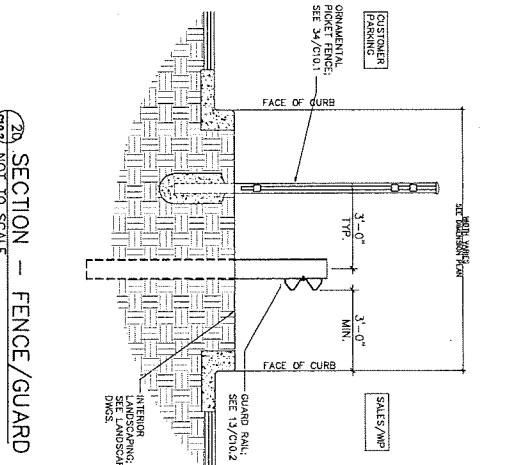
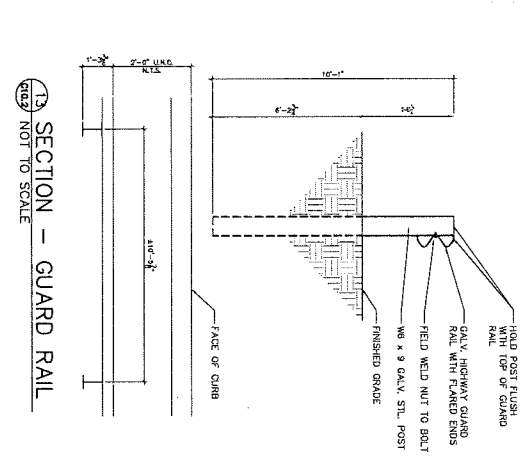
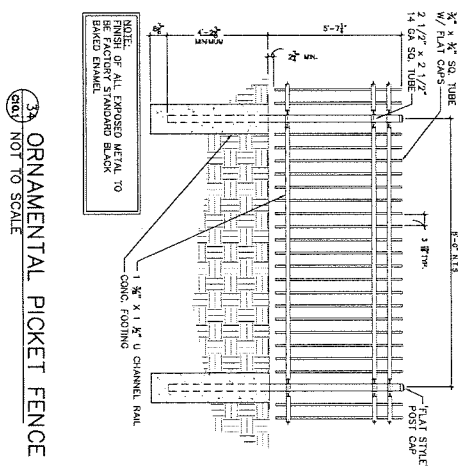
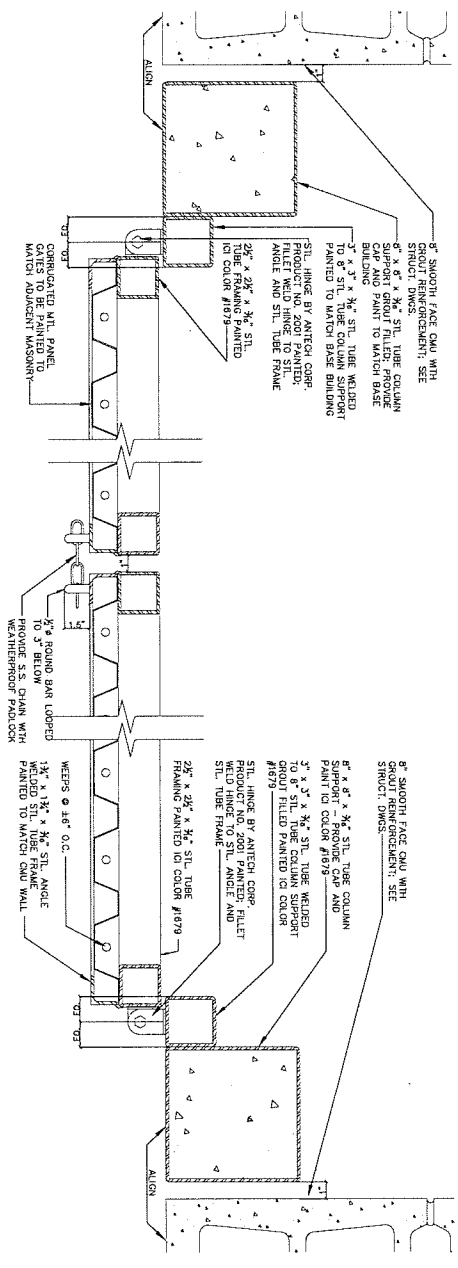
Symbol	Qty	Label	Arrangement	Description	HLF	Lumens/amp	Net Lum. Lumens	Net Watts
20	20	OLA	D180 ROTATED	GR-S-150-PHW-F-3HS-24	0.728	8200	53534	1624
8	8	OLA	3 X 8 120 DIAGNERS	GR-S-150-PHW-F-24	0.728	8200	16085	2436
13	13	OLA	D180	GR-S-150-PHW-F-24	0.728	8200	10710	1624
14	14	OLA	SINGLE	GR-S-150-PHW-F-24	0.728	8200	21151	2436
			SINGLE	GR-S-150-PHW-F-24	0.728	8200	20959	2436
			SINGLE	GR-S-150-PHW-F-24	0.728	8200	20959	2436

Based on the information provided, all dimensions and luminaire quantities shown represent estimated quantities. The estimator and engineer must determine applicability of this report to existing site conditions.

This lighting plan represents a preliminary layout and is not intended to be used for construction. Final lighting layout shall be determined after site visit and other available field conditions. Calculations do not include adjustments for site conditions, terrain, mounting, or any other conditions. Values shown are estimates.

**GREENBRIAR FLAT LENS MANUFACTURING**

**INDUSTRIES**  
 LIGHTING THROUGH 508  
 COMPANY, INC.  
 10-107346-3  
 SHEET 1 OF 1



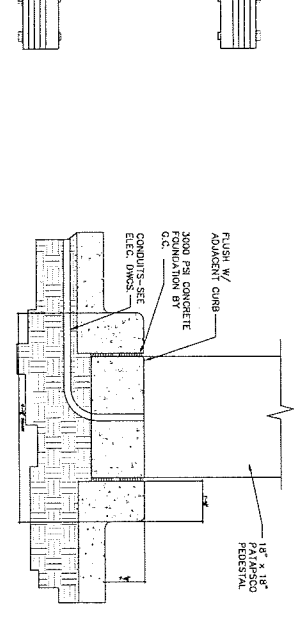
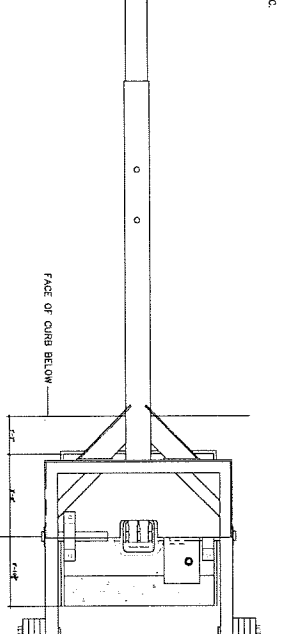
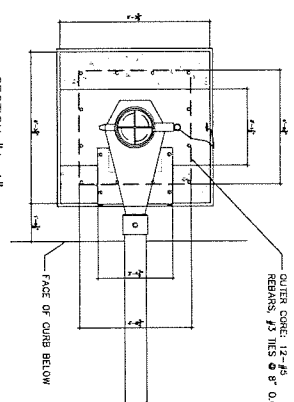
DATE: 26-01-10/09  
 DRAWN BY: 1018/0/11  
 CHECKED BY:  
 CONSTRUCTION DETAILS  
 C-11

**CARMAX**  
 STORE NO. 6057  
 6601 ODANA ROAD  
 MADISON WI

DATE RELEASED FOR CONSTRUCTION

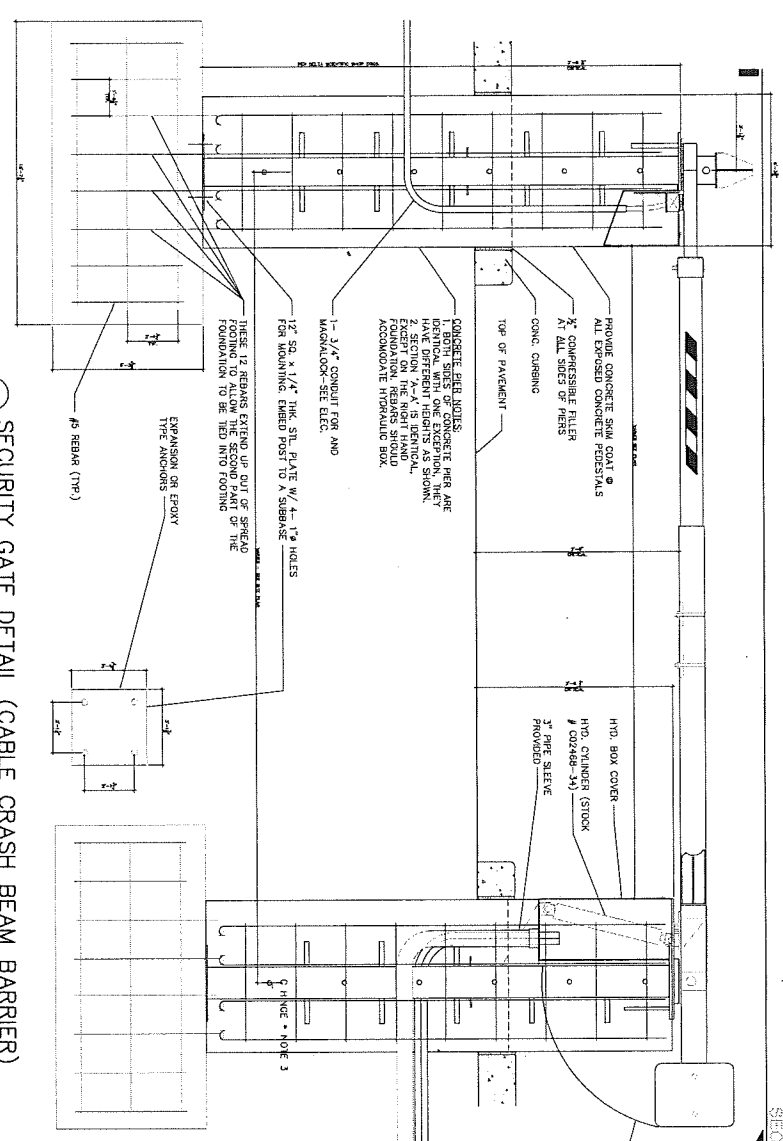
NO.	DATE	DESCRIPTION
1		
2		
3		
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8		
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10		

**vierbicher**  
 planners | engineers | advisors  
 REEDSBURG - MADISON - PRAIRIE DU CHIEN  
 999 Fowler Drive, Suite 201 Madison, Wisconsin 53717  
 Phone: (608) 826-0532 Fax: (608) 826-0530



NOTE: LOCATE PEDESTAL, 8" FROM FACE OF ADJACENT CURB (TYP.)

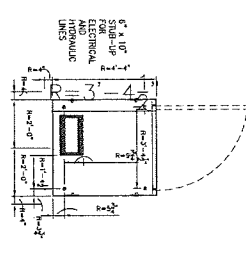
1 PATAPSCO PEDESTAL NOT TO SCALE



SECURITY GATE DETAIL (CABLE CRASH BEAM BARRIER) NOT TO SCALE

- NOTES:**
1. NOT USED
  2. NOT USED
  3. \* HINGE CENTERLINE IS NOT ON THE HINGE POST CENTERLINE.
  4. ALL INQUIRIES REGARDING BAR GATES (CRASH RATED CABLE BEAM BARRIER) SHALL BE DIRECTED TO:
    - BY CONTRACTORS TO POWER UNIT MOUNTED BEHIND BARRIER
    - BY CONTRACTORS TO UNIT SWITCH CONDUITS FOR UNIT SWITCH
  5. APPLY SKIN COAT OVER ALL EXPOSED CONC.-COLOR TO MATCH NATURAL CONC.
  6. THERE IS TO BE NO CROSS SLOPE IN THE PARALLEL DIRECTION TO THE DELTA GATE.
  7. CONCRETE POSTS MUST BE CAST WITHOUT TORQUE OR PLUMBNESS DIFFERENCE.
  8. GC TO VERIFY THE DIMENSIONAL VERTICAL DIFFERENCE BETWEEN THE TWO CONC. POSTS IS 2" AS SHOWN IN THE SECTION.

2 SECURITY GATE POWER UNIT NOT TO SCALE



DATE	20-10-10/02
BY	10/19/2011
APP'D	
CONSTRUCTION DETAILS	
C-12	

**CARmax**

STORE NO. 6057  
6601 ODANA ROAD  
MADISON WI

DATE	20-10-10/02
BY	10/19/2011
APP'D	
CONSTRUCTION DETAILS	
C-12	

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REEDSBURG - MADISON - PRAIRIE DU CHIEN  
5500 WISCONSIN AVENUE, SUITE 201 | MADISON, WISCONSIN 53717  
Phone: (608) 826-0532 Fax: (608) 826-0530

6601 Odana Road Building Photos—Side and Beltline Views



6601 Odana Road Building Photos—View From Odana Road

