



City of Madison

Proposed Rezoning

Location
5851 Gemini Dr & 841 Jupiter Dr

Applicant
Dan Brinkman – DSI Real Estate Group/
Brian Munson – Vandewalle Associates

From: PD-GDP To: Amended
PD-GDP-SIP

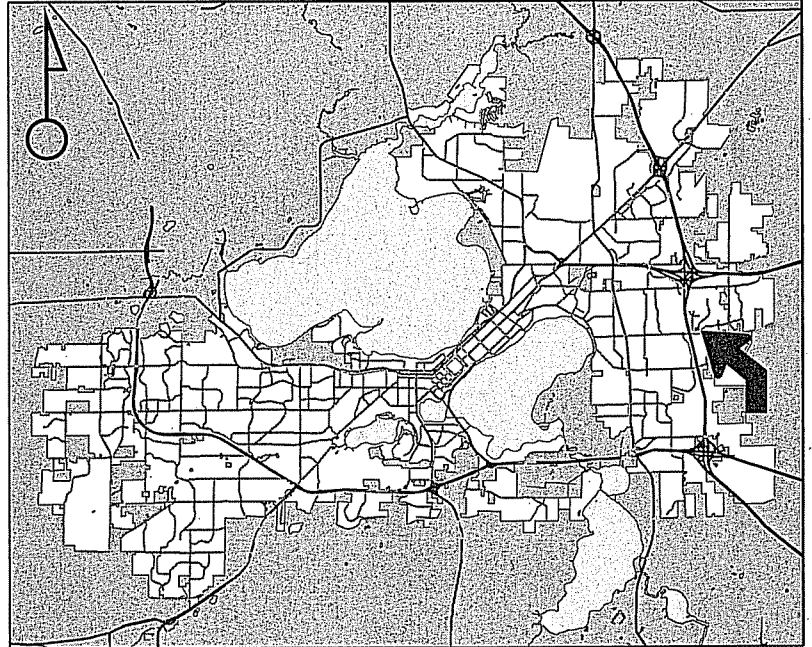
Existing Use
Vacant Land

Proposed Use
Construct mixed-use building w/2,000–
15,000 sq. ft. of commercial space and 82
apartments, and approve GDP for adjacent
future 38-unit apartment building

Public Hearing Date

Plan Commission
13 January 2014

Common Council
21 January 2014

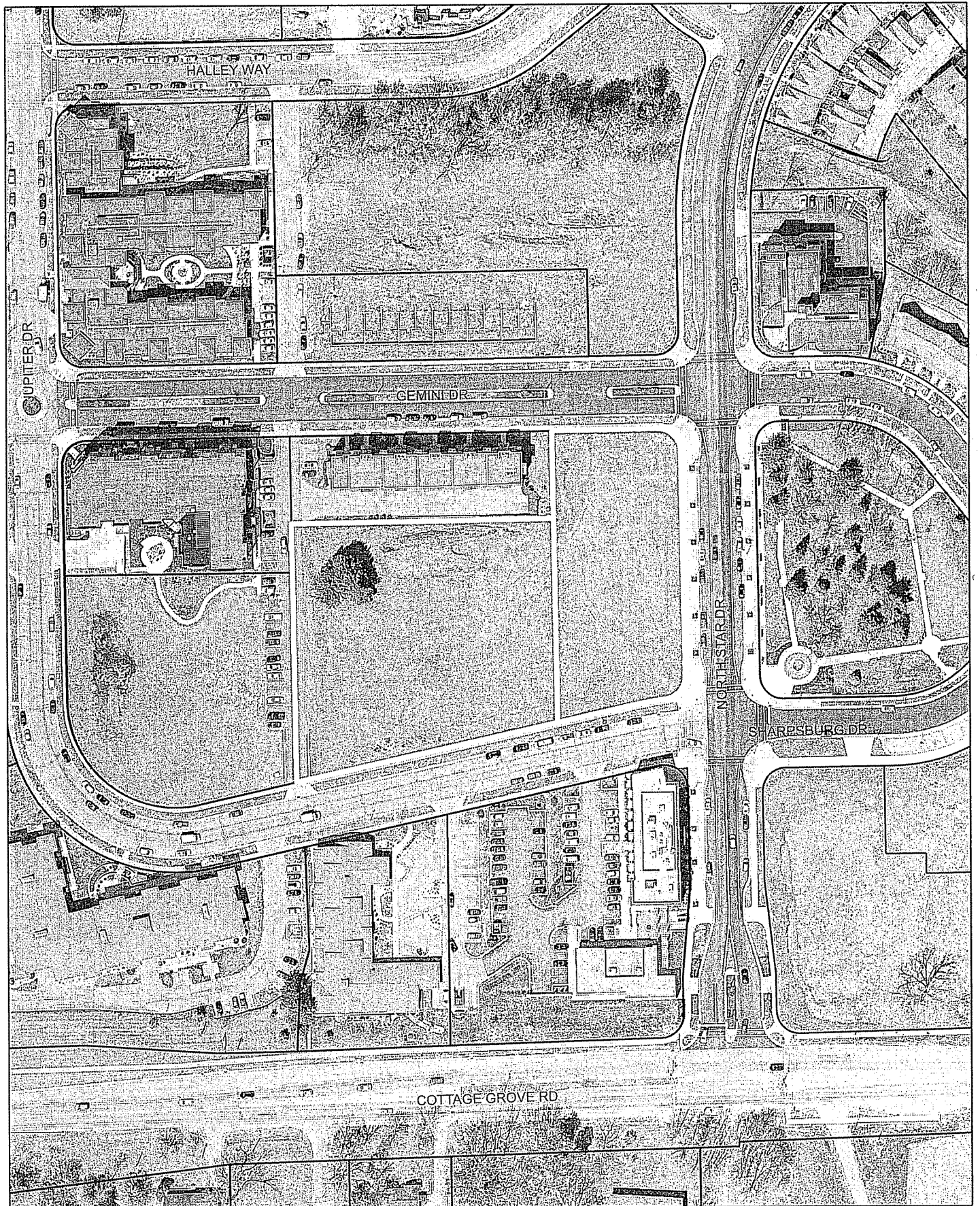


For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 06 January 2014





LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

FOR OFFICE USE ONLY:

Amt. Paid \$ 1950 Receipt No. 148868
 Date Received 11/6/13
 Received By JLK
 Parcel No. 0710-112-18015
 Aldermanic District 3 Lauren Crare
 Zoning District PD
 Special Requirements zone PD/Eng
 Review Required By:
 Urban Design Commission Plan Commission
 Common Council Other: _____

Form Effective: February 21, 2013

- x All Land Use Applications should be filed with the Zoning Administrator at the above address.
- x The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- x This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

1. Project Address: 5851 Gemini Drive, 841 Jupiter Drive
 Project Title (if any): Grandview Commons E1/E5 Building

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from PD-GDP to PD-GDP/SIP
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Dan Brinkman Company: DSI Real Estate Group, Inc.
 Street Address: 2800 Royal Avenue City/State: Madison, WI Zip: 53713
 Telephone: (608) 226.3060 Fax: (608) 223.0668 Email: pdanlb@dsirealestate.com

Project Contact Person: Brian Munson Company: Vandewalle & Associates
 Street Address: 120 East Lakeside Street City/State: Madison, WI Zip: 53715
 Telephone: (608) 255.3988 Fax: (608) 255.0814 Email: bmunson@vandewalle.com

Property Owner (if not applicant): _____
 Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Mixed Use building

Development Schedule: Commencement 2014 Completion 2015

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Information & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
Alder Cnare (September 18, 2013), McClellan Park Neighborhood Association (September 18, 2013)

Æ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: DAT Date: 9.26.2013 Zoning Staff: DAT Date: 9.26.13

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Brian Munson Relationship to Property: Agent

Authorizing Signature of Property Owner  Date 11/5/13



VANDEWALLE & ASSOCIATES INC.

November 6, 2013

Katherine Cornwell
Department of Planning & Development
City of Madison
215 Martin Luther King, Jr. Blvd.
Madison, WI 53710-2985

RE: E1 Building Grandview Commons Neighborhood
Rezoning application

Dear Katherine,

The following document and plans outline the request for Amended General Development Plan/Specific Implementation Plan zoning for the E1 building, a mixed use building in the Grandview Commons Neighborhood. This five story building forms the western edge of the Village Green and features a range of residential units set above a first floor designed as flex commercial space. The uses, mass, placement, and configuration are consistent with the adopted General Development Plan with the only modification request is to transfer some of the units from the E5 building (Town Center Residential) to the E1 building (Town Center Mixed Use) while maintaining the overall approved unit count.

We look forward to working with the City on the review and implementation of this project.

Sincerely,

Brian Munson
Principal

120 East Lakeside Street • Madison, Wisconsin 53715 • 608.255.3988 • 608.255.0814 Fax
342 North Water Street • Milwaukee, Wisconsin 53202 • 414.421.2001 • 414.732.2035 Fax
www.vandewalle.com

Shaping places, shaping change

APPLICANT:

DSI Real Estate Group, Inc.
2800 Royal Avenue
Madison, WI 53713
Phone: 608.226-3060
Fax: 608.223-0668
Dan Brinkman
pdanlb@dsirealestate.com

DESIGN TEAM:

Architecture:
JLA Architects
5325 Wall Street - Suite 2700
Madison, Wisconsin 53718
Phone: 608.241.9500
Fax: 608.241.9800
Joe Lee
jlee@jla-ap.com

Planning:
Vandewalle & Associates
120 East Lakeside Street
Madison, Wisconsin 53715
Phone: 608.255.3988
Fax: 608.255.0814
Brian Munson
bmunson@vandewalle.com

Engineering:
D'Onofrio Kottke
7530 Westward Way
Madison, Wisconsin 53717
Phone: 608.833.7530
Fax: 608.833.1089
Dan Day
dday@donofrio.cc

Landscape Architecture:
Olson Toon Landscaping
4387 Schwartz Road
Middleton, Wisconsin 53562
Phone: 608.827.9401
Brad Freigen
brad@olsontoon.com

Existing Conditions:

Existing Zoning:	PD: GDP
Proposed Zoning:	PD:GDP/SIP
Addresses/PIN:	802 North Star 0710-112-1801-5 841 Jupiter Drive 0710-112-1802-3
Aldermanic District:	District 3 Alder Cnare
Neighborhood Association:	McClelland Park Neighborhood Association
Notifications:	Alder Cnare September 18, 2013 McClelland Park September 18, 2013 Neighborhood Meetings September 24, 2013 October 28, 2013 UDC Informational September 25, 2013 DAT Meeting September 26, 2013
Legal Description:	See Attached
Filing Fee:	A check in the amount of \$1,950 made out to City of Madison Treasurer is enclosed for the Filing and Notification Fees. Re-Zoning Fee \$1,900 Notification Fee \$50

Zoning Text

Permitted Uses:

Allowable uses per the NMX zoning district

Proposed Use:

E1 Site:

82 units

2,000-15,500 square feet of first floor commercial

First Floor Alternate:

The first floor is designed to use flex commercial that will allow the first floor to be built out with a combination of residential and commercial/retail uses at time of initial construction. This floor can later be re-configured to accommodate additional commercial/retail uses, per the first floor alternatives included in the plan set.

Fifth Floor Alternate:

The fifth floor may be built out as apartments or as an alternative as condominiums, as illustrated by the alternate floor plan included in the plan set.

E5 Site

38 units (Future SIP Amendment)

Lot Area:

2.60 acres

Floor Area Ratio:

As shown on approved plans.

Height

As shown on approved plans.

Yard Requirements:

Yard areas will be provided as shown on approved plans.

Landscaping:

Site landscaping areas will be provided as shown on approved plans.

Off-Street Parking & Loading:

Accessory off-street parking and loading will be provided as shown on approved plans.

Lighting:

Site lighting will be provided as shown on approved plans.

Signage:

Signage for the project shall be limited to the maximum permitted in the NMX zoning district and as approved by the Urban Design Commission or its secretary, and Zoning Administrator.

Alterations and Revisions:

No alterations or revisions of this planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.

Legal Description

Lots 2 and 3, Certified Survey Map Number 11827, recorded in Volume 72 of Certified Survey Maps on pages 223-227 as Document Number 4203096, Dane County Registry, located in the SE1/4 of the NW1/4 of Section 11, T7N, R10E, City of Madison, Dane County, Wisconsin. Containing 113,121 square feet (2.60 acres).

GRANDVIEW COMMONS APARTMENTS

MADISON, WISCONSIN



SPECIFIC INFORMATION PLAN

JLA
architects

JLA PROJECT NUMBER: 13-0111

NOVEMBER 6, 2013

D'ONOFRIO KOTKKE AND ASSOCIATES, INC.

7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

**GRANDVIEW COMMONS
APARTMENTS
802 NORTH STAR DRIVE**

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE

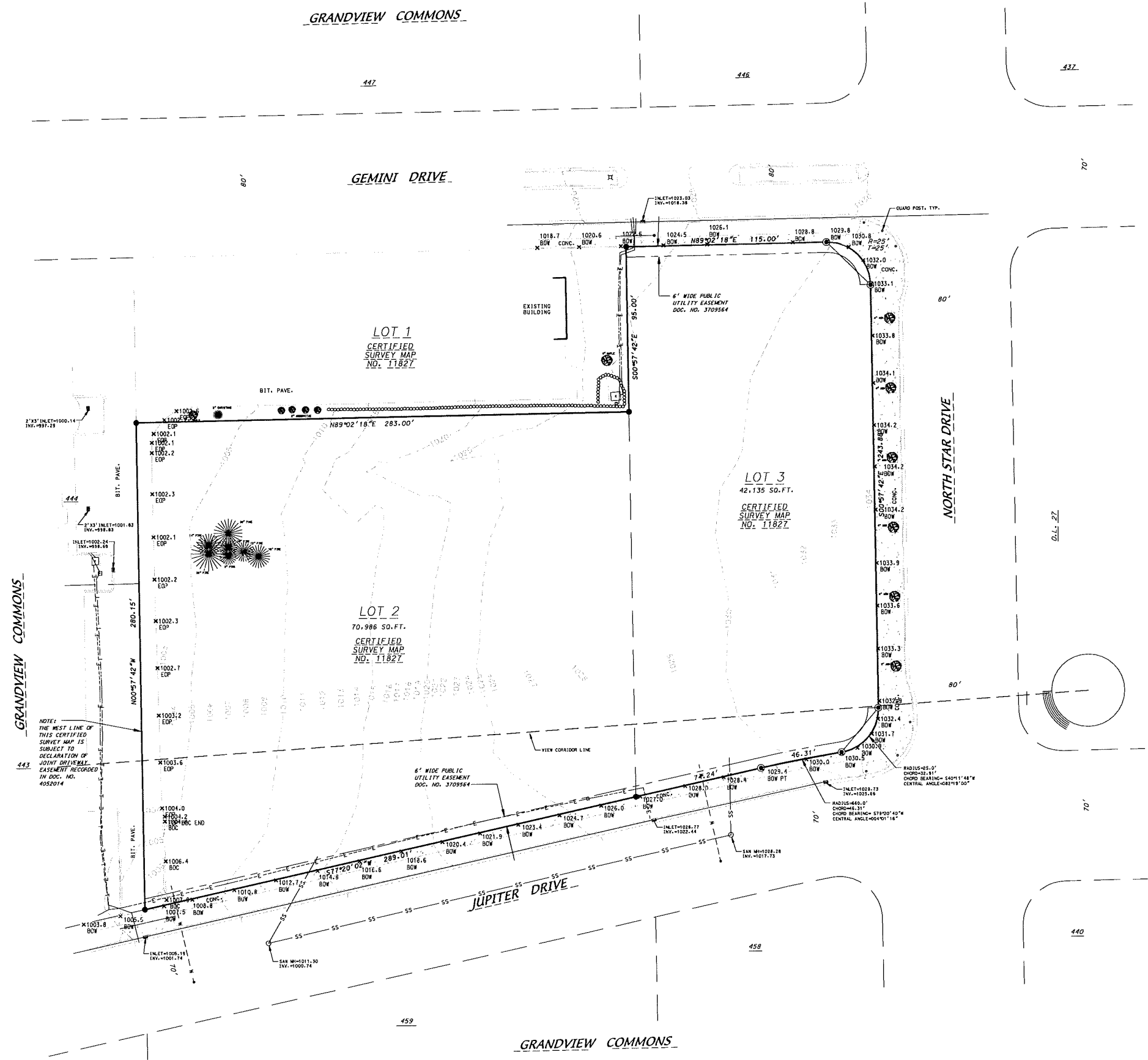
Revision Schedule		
Mark	Description	Date

SHEET TITLE

**EXISTING
CONDITIONS MAP**

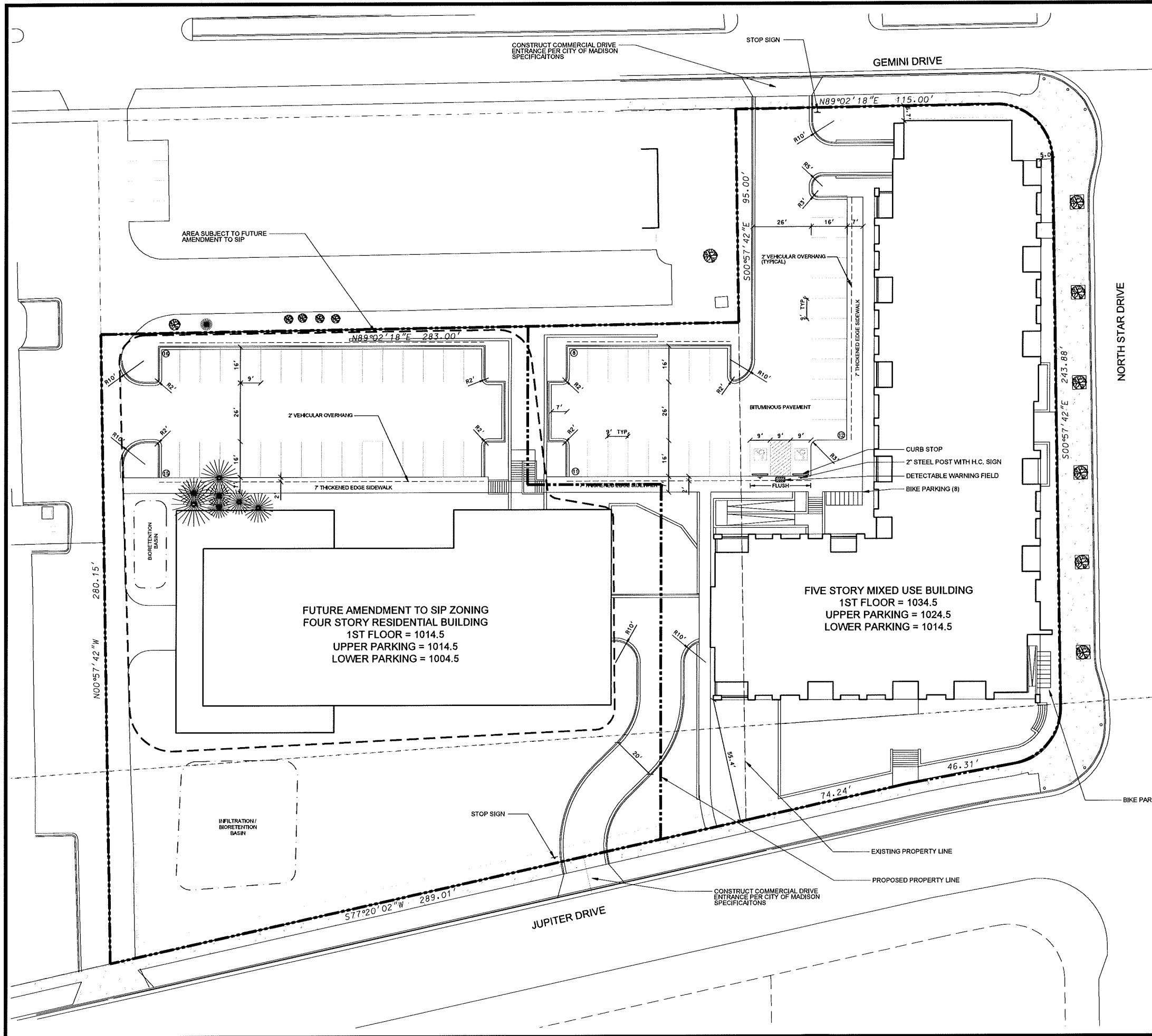
SHEET NUMBER

C001



- LEGEND**
- E---E--- UNDERGROUND ELECTRIC
 - SS---SS--- SANITARY SEWER
 - W---W--- WATER MAIN
 - G---G--- GAS MAIN
 - T---T--- UNDERGROUND TELECOMMUNICATION LINE
 - ELECTRIC TRANSFORMER
 - TELEPHONE PEDESTAL
 - MANHOLE
 - ⊗ CATCH BASIN/INLET
 - ⊗ LIGHT POLE
 - VALVE
 - TREE
 - BOULDER RETAINING WALL
 - CONC. CURB
 - EXIST. CONTOUR
 - FOUND 3/4" ROW REBAR
 - FOUND 1 1/4" ROW REBAR





LEGEND

- PROPERTY LINE
- 18" CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- PROPOSED RETAINING WALL

GENERAL NOTES

1. ALL SITE WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
4. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION
5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION
6. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED
7. PARCELS SUBJECT TO JOINT DRIVEWAY, PEDESTRIAN ACCESS, AND CROSS PARKING AGREEMENT.

**SITE PLAN INFORMATION BLOCK
802 NORTH STAR DRIVE**

PROJECT AREA	54,570 SF
PROPOSED BUILDING AREA	23,500 SF
PROPOSED TOTAL IMPERVIOUS	43,450 SF
NUMBER OF PROPOSED SURFACE PARKING STALLS	31
NUMBER OF PROPOSED UNDERGROUND PARKING STALLS	104
NUMBER OF ACCESSIBLE STALLS	2
TOTAL NUMBER OF STALLS	135
NUMBER OF SURFACE BICYCLE STALLS	16
NUMBER OF UNDERGROUND BICYCLE STALLS	120
TOTAL NUMBER OF BICYCLE STALLS	136

JLA
JOSEPH LEE ASSOCIATES
2410 UNIVERSITY AVENUE, SUITE 200
MADISON, WISCONSIN 53706
TEL: 608.333.7530 FAX: 608.333.1089

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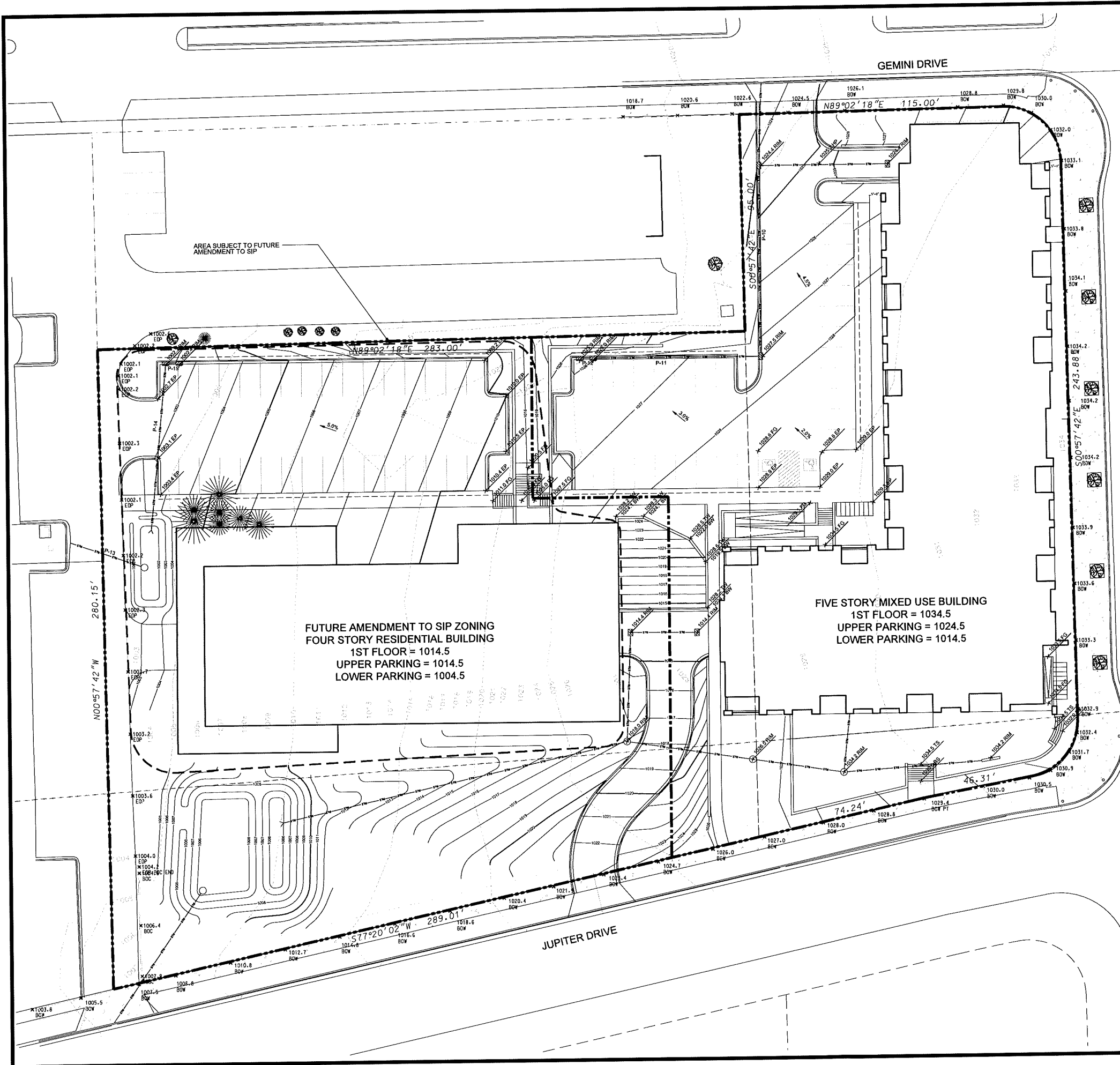
SITE PLAN

SHEET NUMBER

C101



SCALE: 1" = 20'
PAGE SIZE: 24x36
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LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- FLOW ARROW
- SPOT ELEVATION
 - EP - EDGE OF PAVEMENT
 - TC - TOP OF CURB
 - TW - TOP OF WALL (GROUND ELEVATION)
 - BW - BOTTOM OF WALL (GROUND ELEVATION)
 - HP - HIGHPOINT
- PROPOSED RETAINING WALL

NORTH STAR DRIVE

GRADING AND EROSION CONTROL NOTES:

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDR TECHNICAL STANDARDS.
3. EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS. IF DETERMINED NECESSARY DURING CONSTRUCTION THE COUNTY OR TOWN WILL REQUIRE ADDITIONAL MEASURES TO BE INSTALLED TO PREVENT SEDIMENT FROM LEAVING THE SITE.
4. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
5. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
6. NO SITE GRADING OUTSIDE OF THE LIMITS OF DISTURBANCE
7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER
8. INSTALL INLET PROTECTION IN ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS
9. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1
10. SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
11. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
12. ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH
13. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
14. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
15. AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL FERTILIZER, SEED AND MULCH. SEE MIXTURE SHALL BE WISCONSIN DOT SEED MIX #40 OR EQUIVALENT APPLIED AT A RATE OF 5 POUNDS PER 1000 SQFT ON ALL DISTURBED AREAS. ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 SQFT SHALL BE ADDED TO THE MIXTURE. FERTILIZER SHALL BE PLACED PER A SOIL TEST. SEE LANDSCAPE PLAN FOR A MORE DETAILED PLANTING PLAN AND LANDSCAPE DETAILS.
16. DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDR STORM WATER MANAGEMENT TECHNICAL STANDARD 1051.



JOSEPH LEE - ASSOCIATES
2114 COLLEGE DR. SUITE 210
MADISON, WI 53706
TEL: 608.261.1111 FAX: 608.261.1110

JLA PROJECT NUMBER: 13-0111

D'ONOFRIO KOTKKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

GRANDVIEW COMMONS APARTMENTS
802 NORTH STAR DRIVE

PROGRESS DOCUMENTS

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Revision Schedule		
Mark	Description	Date

SHEET TITLE

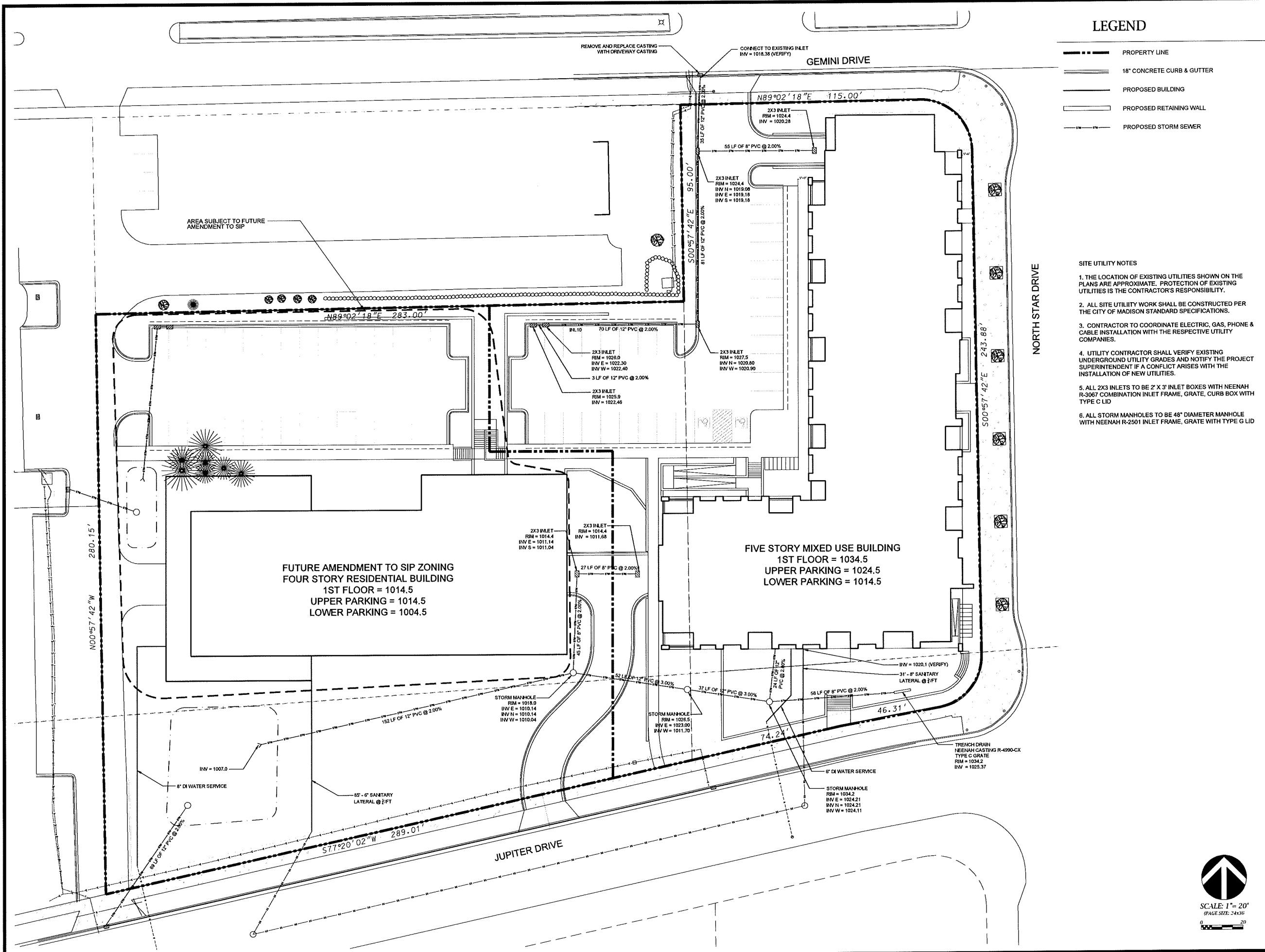
GRADING & EROSION CONTROL PLAN

SHEET NUMBER

C102



SCALE: 1" = 20'
PAGE SIZE: 24x36



LEGEND

- PROPERTY LINE
- 18" CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- PROPOSED RETAINING WALL
- PROPOSED STORM SEWER

SITE UTILITY NOTES

1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
2. ALL SITE UTILITY WORK SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
3. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
4. UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.
5. ALL 2X3 INLETS TO BE 2' X 3' INLET BOXES WITH NEENAH R-3067 COMBINATION INLET FRAME, GRATE, CURB BOX WITH TYPE C LID
6. ALL STORM MANHOLES TO BE 48" DIAMETER MANHOLE WITH NEENAH R-2501 INLET FRAME, GRATE WITH TYPE G LID

JLA
JOSEPH LEE & ASSOCIATES
 2400 E. MONROE DRIVE, SUITE 200
 MADISON, WISCONSIN 53704
 TEL: 608.833.7530 FAX: 608.833.1089

JLA PROJECT NUMBER: 13-0111

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 7530 Westward Way, Madison, WI 53717
 Phone: 608.833.7530 • Fax: 608.833.1089
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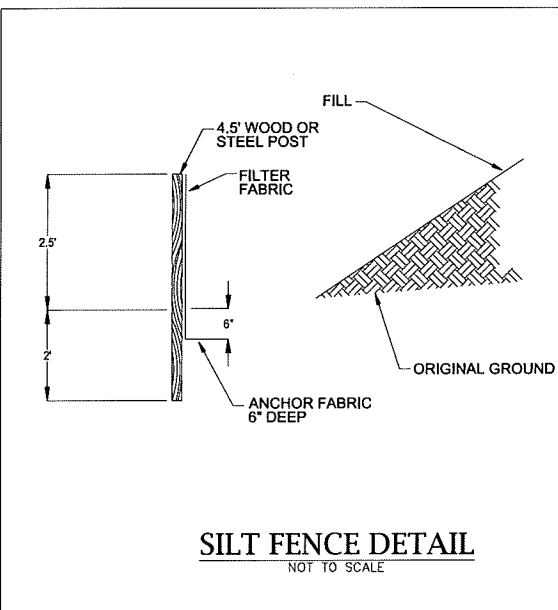
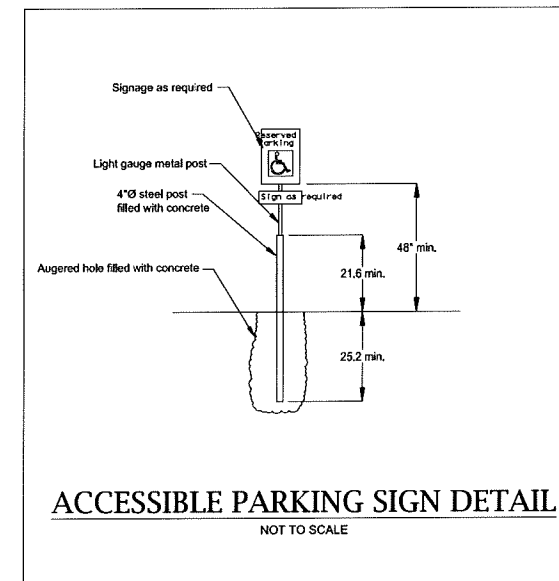
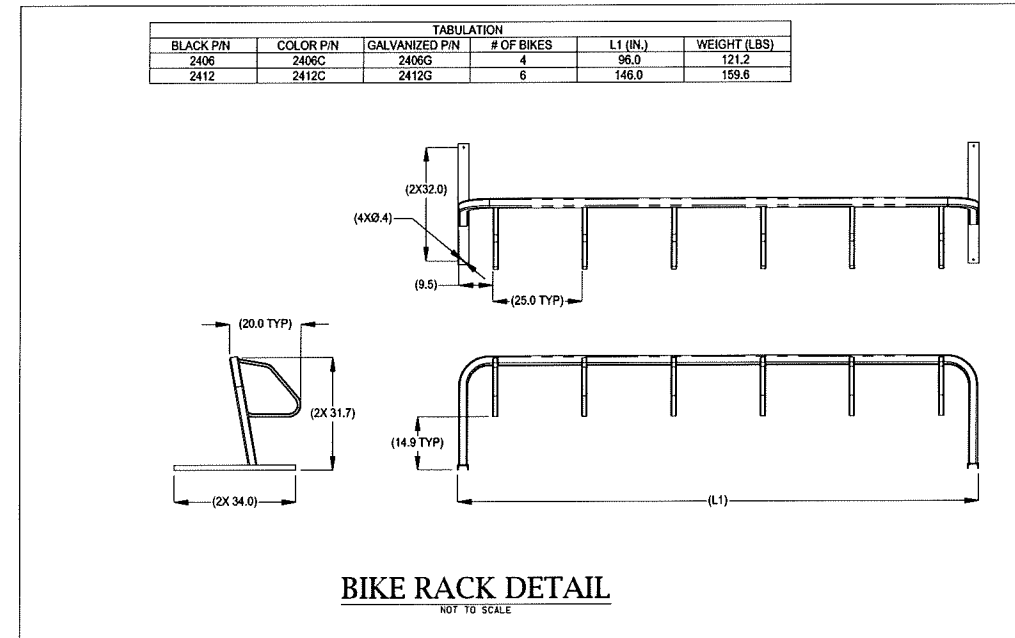
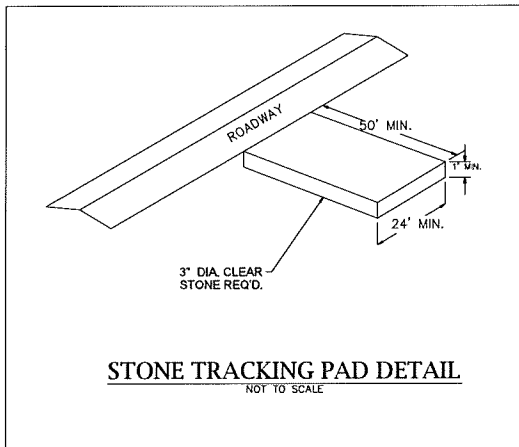
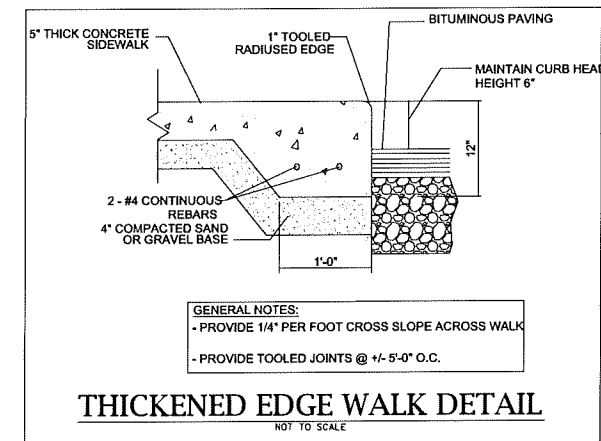
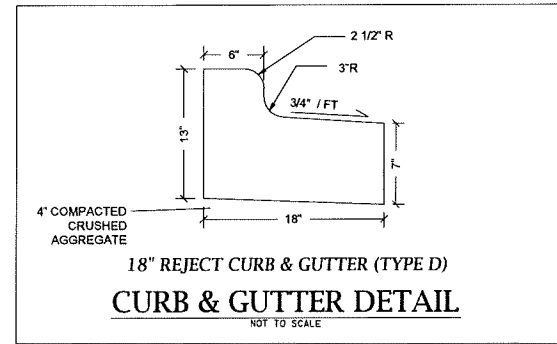
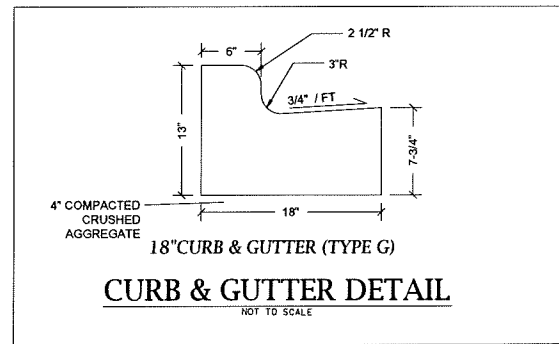
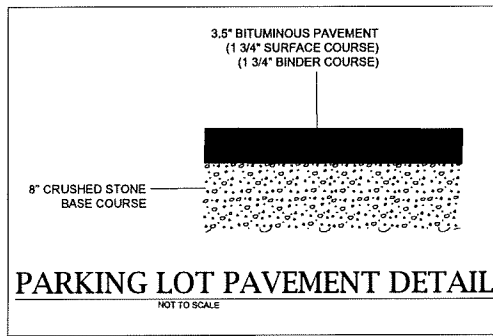
UTILITY PLAN

SHEET NUMBER

C103



SCALE: 1" = 20'
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JLA

JOSEPH LEE & ASSOCIATES
2400 E. STANLEY ST. SUITE 200
MADISON, WISCONSIN 53717
TEL: 608.833.7530 FAX: 608.833.1089

JLA PROJECT NUMBER: 13-0111

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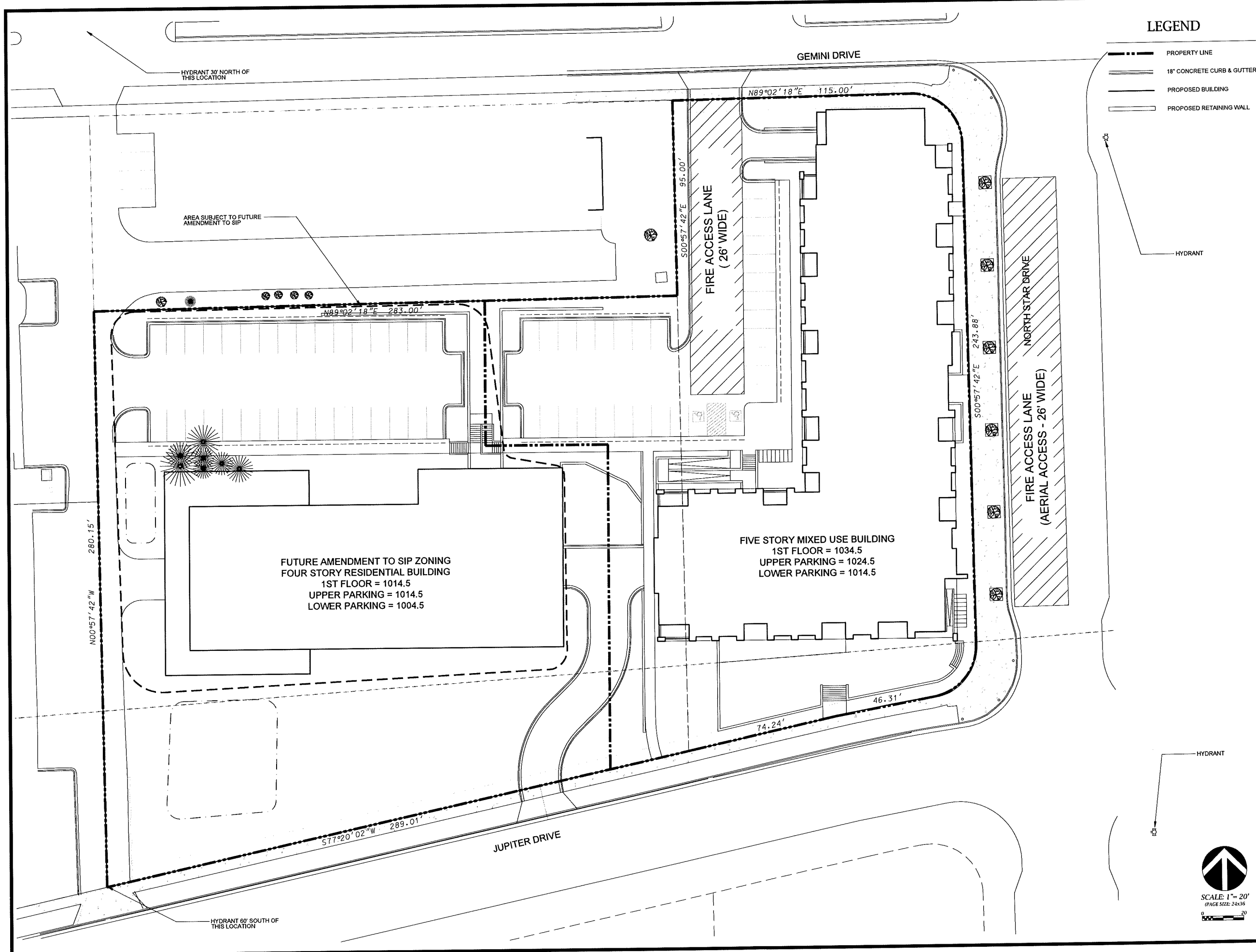
Mark	Description	Date

SHEET TITLE

DETAILS

SHEET NUMBER

C104



- LEGEND**
- PROPERTY LINE
 - 18" CONCRETE CURB & GUTTER
 - PROPOSED BUILDING
 - PROPOSED RETAINING WALL

JLA
JOSEPH LEE ASSOCIATES
 2412 W. GRAND AVENUE, SUITE 200
 MADISON, WISCONSIN 53704
 TEL: 608.833.7530 FAX: 608.833.1089

JOSEPH LEE ASSOCIATES
 JLA PROJECT NUMBER: 13-0111

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**GRANDVIEW COMMONS
 APARTMENTS
 802 NORTH STAR DRIVE**

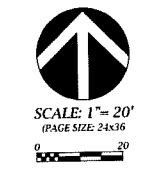
PROGRESS DOCUMENTS
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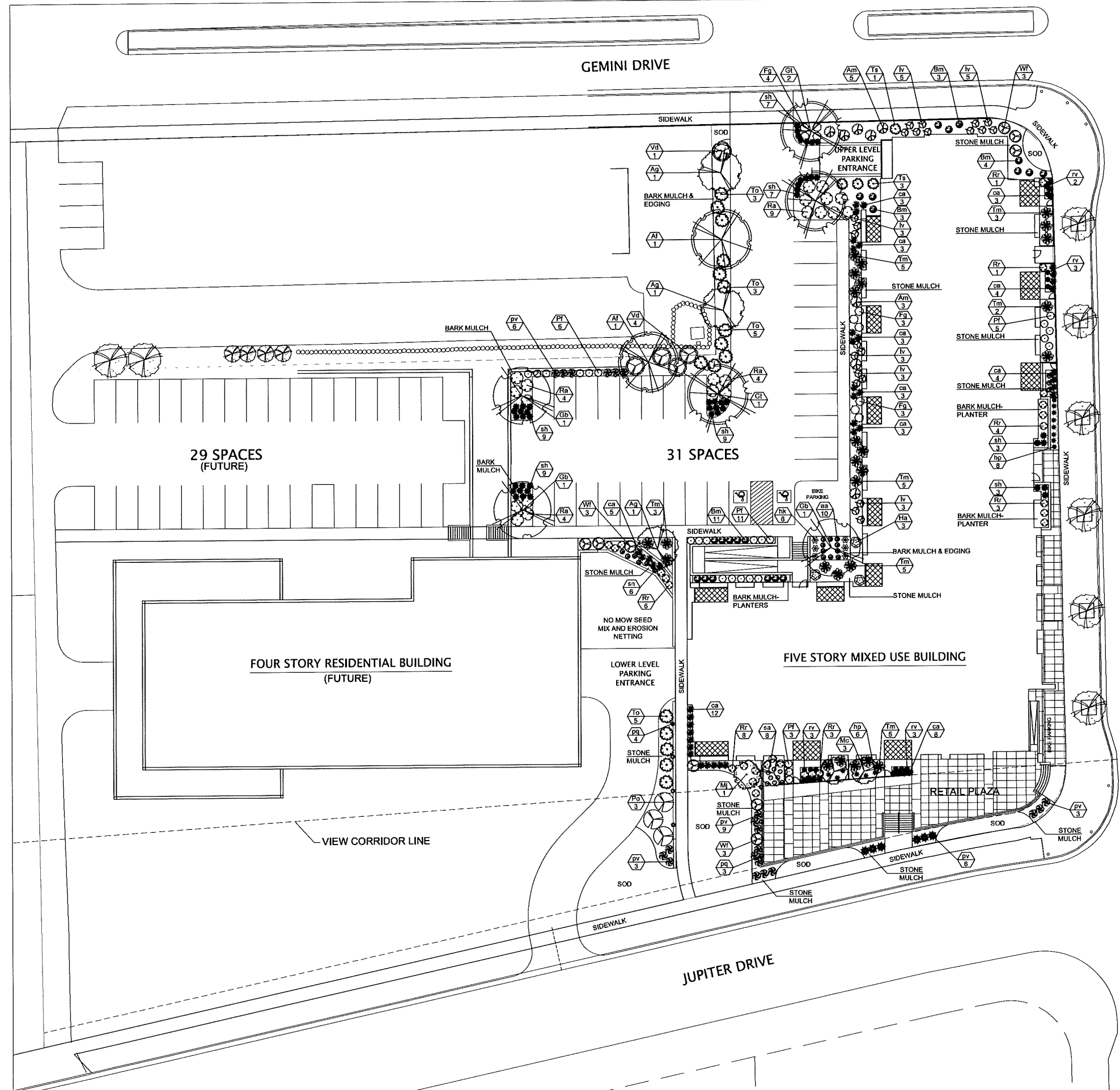
DATE OF ISSUANCE

Revision Schedule		
Mark	Description	Date

SHEET TITLE
FIRE ACCESS PLAN

SHEET NUMBER
C105





CITY OF MADISON LANDSCAPING REQUIREMENTS

Total Developed Square Footage	44,350
Required Landscape Units (Total / 300 sq ft)	148
Required Landscape Points (Units x 5 points)	733

LANDSCAPE POINTS CALCULATION

PLANT TYPE (MINIMUM SIZE)	POINTS VALUE	CREDITS FOR EXISTING LANDSCAPING		PROPOSED LANDSCAPING	
		QUANTITY	POINTS	QUANTITY	POINTS
Overstory Deciduous Tree (2.5' caliper)	35	0	0	8	280
Ornamental Tree (1.5' caliper)	15	0	0	7	105
Evergreen Tree (3 feet tall)	15	0	0	20	300
Shrub, deciduous (18" or 3 gal. container)	2	0	0	129	258
Shrub, evergreen (18" or 3 gallon container)	2	0	0	47	94
Ornamental Grasses (18" or 3 gallon container)	2	0	0	127	254
Ornamental / decorative fencing or wall (per 10 in. ft.)	4	0	0	0	0
SUBTOTAL		0	0	133	1,331
TOTAL OF PROVIDED POINTS				1,331	

PLANTING SCHEDULE

Symbol	Scientific Name	Common Name	Size	Quantity	Root
OVERSTORY DECIDUOUS TREES					
Al	Acer x freemanii 'Jefferson'	Autumn Blaze Maple	2.5'	2	B&B
Ob	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	2.5'	3	B&B
Or	Gleditsia triacanthos var. 'Skyline'	Skyline Honeylocust	2.5'	3	B&B
ORNAMENTAL TREES					
Aq	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	Ø cump	3	B&B
Mb	Malus 'Carmel'	Carmel Crabapple	1.75'	3	B&B
Mj	Malus 'Jewelbol'	Red Jewel Crabapple	1.75'	1	B&B
EVERGREEN TREES					
To	Thuja occidentalis 'Techny'	Techny / Mission Arborvitae	Ø	18	B&B
Ts	Thuja occidentalis 'Smaragd'	Emerald Arborvitae	Ø	4	B&B
DECIDUOUS SHRUB					
Am	Amorpha nancivora var. elata	Glossy Black Chokeberry	Ø5	8	Cont.
Fa	Fothergilla ardeniifolia	Dwarf Fothergilla	Ø3	10	Cont.
Ha	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	Ø3	3	Cont.
Iv	Ilex vitifolia 'Scribble'	Little Henry Dwarf Sweetgum	Ø3	19	Cont.
Pf	Potentilla fruticosa 'McKay's White'	McKay's White Potentilla	Ø3	25	Cont.
Po	Physocarpus opulifolius 'Monro'	Diablo Ninebark	Ø5	3	Cont.
Ra	Rhus aromatica 'Gro-Low'	Gro-Low Flaggant Sumac	Ø3	21	Cont.
Ri	Rosa 'Flagrant'	Knockout Shrub Rose	Ø3	28	Cont.
Vt	Viburnum acerifolium 'Syrrethved'	Chicago Lustre Arrowwood Viburnum	Ø5	5	Cont.
Wf	Weigela florida 'Alabaster'	White & Rose Weigela	Ø5	9	Cont.
EVERGREEN SHRUB					
Tm	Taxus x media 'Taunton'	Taunton Yew	2'	26	B&B
Bm	Buxus microvar. 'Koreana Green Velvet'	Green Velvet Boxwood	Ø3	21	Cont.
ORNAMENTAL GRASSES					
sh	Sporobolus heterolepis	Prairie Dropseed	Ø3	47	B&B
ca	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Reed Grass	Ø3	53	Cont.
cv	Panicum virgatum 'Prairie Fire'	Prairie Fire Switch Grass	Ø3	27	Cont.
PERENNIALS					
co	Parthenocissus quinquefolia	Virginia Creeper (Vine)	Ø1	7	Cont.
aa	Asclepias tuberosa 'Fanal'	Fanal Asclepiad	Ø1	10	Cont.
hk	Hemerocallis 'Process Rain'	Hemera Royal Hosta	Ø1	6	Cont.
rv	Hemerocallis 'Parson's'	Parson's Day Lily	Ø1	14	Cont.
td	Rudbeckia 'Vistula Little Star'	Black-eyed Susan	Ø1	11	Cont.
ss	Sedum spectabile 'Autumn Joy'	Autumn Joy Sedum	Ø1	8	Cont.
sn	Saxifraga oppositifolia 'Machef'	New Night Saxifrage	Ø1	6	Cont.

GENERAL NOTES:

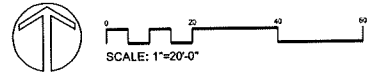
- BARK MULCH TO BE BROWN DYED, RECYCLED HARDWOOD, WITH PRE-EMERGENT HERBICIDE.
- WASHED STONE TO BE 1.5" CAPITOL WASHED WITH WEED BARRIER FABRIC.
- BED EDGING TO BE BLACK DIAMOND POLY-VINYL.

STREET TREE NOTES:

- EXISTING TERRACE TREES TO REMAIN.

BIKE PARKING AND AMENITIES NOTES:

- SEE SITE PLAN FOR DETAILED LAYOUT



NORTHSTAR DRIVE

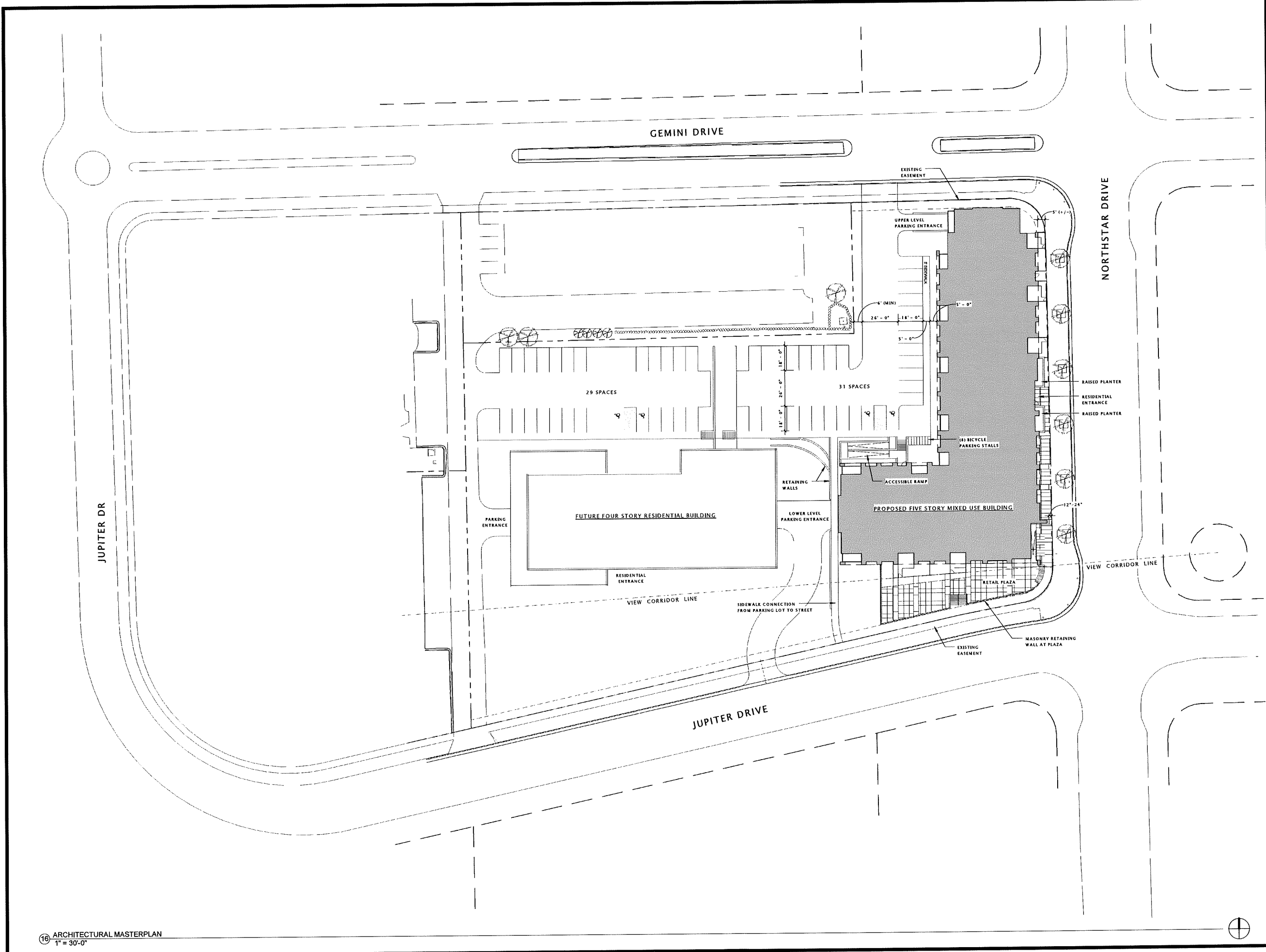
Grandview Commons E1
Jupiter Drive & North Star Drive
Madison, Wisconsin

Date: 10-17-13
Scale: 1"=20'-0"
Designer: BNF
Job #

Seal:
To protect against legal liability, the plans presented herein are "schematic" and should not be outsourced as "biddable" or "construction documents" unless approved by the Landscape Designer. This is not an original document unless stamped in red, as ORIGINAL.

Revisions:
October 23, 2013
October 31, 2013
November 1, 2013
November 4, 2013

Reference Name:
DSI



GRANDVIEW COMMONS APARTMENTS

PROGRESS DOCUMENTS
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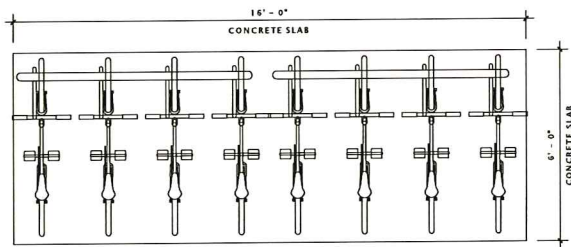
Revision Schedule		
Mark	Description	Date

SHEET TITLE
ARCHITECTURAL SITE PLAN

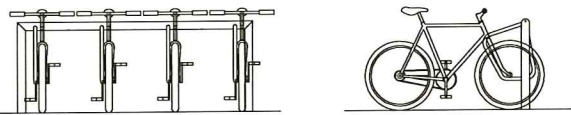
SHEET NUMBER
ASP-100



EXTERIOR BIKE RACKS:
EXTERIOR BIKE RACKS SHALL BE 'DERO CAMPUS - 54" OR EQUAL WITH IN-GROUND MOUNT (SHOWN IN PHOTO) & STAINLESS STEEL FINISH. ONE 54" RACK SHALL BE LOCATED AT THE ENTRY OF EACH RESIDENTIAL BUILDING AS NOTED ON THE PLANS.



PLAN VIEW



FRONT VIEW

SIDE VIEW



6 TYPICAL EXTERIOR BIKE RACK
3/8" = 1'-0"

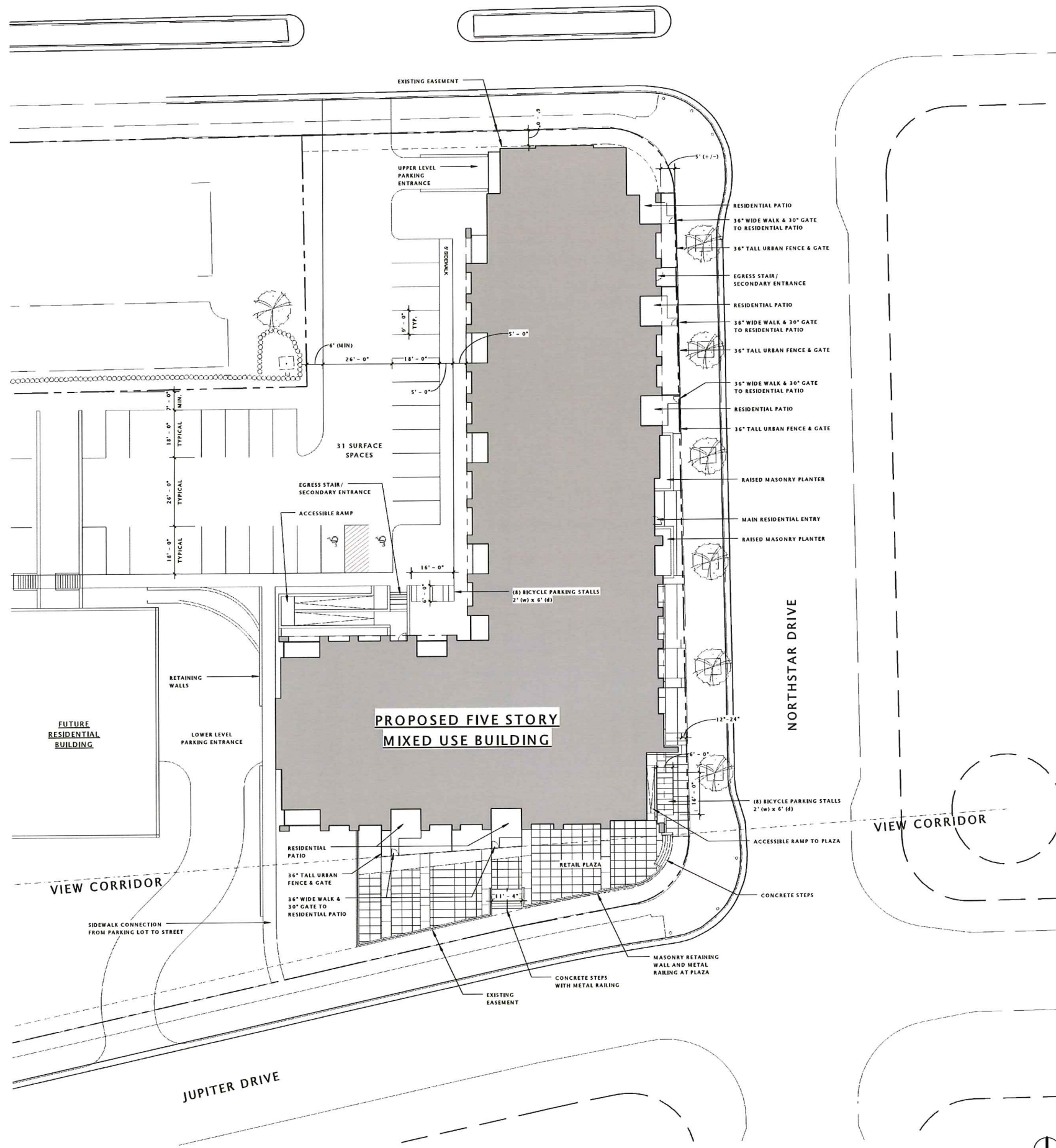
FLRS	UNITS					PARKING PROVIDED			
	1BR	1BR+	2BR	3BR	TOTAL	BEDS	COVERED	SURFACE	RATIO
5	7	0	10	0	17	27			
4	7	0	10	0	17	27			
3	7	0	10	0	17	27			
2	7	0	10	0	17	27			
1	8	0	6	0	14	20			
T.	36	0	46	0	82	128	104	31	1.05 / BR
	44%	0%	56%	0%					1.65 / UNIT

NOTES:
PARKING COUNTS DO NOT INCLUDE STREET PARKING.

	REQUIRED		PROVIDED	
	#	#	#	RATIO
82 RESIDENTIAL UNITS	82	122		1.48/UNIT
GUEST STALLS	9	9		1.0/GUEST
2000 SQ FT RETAIL	1	7		3.5/1,000 SQ FT

	REQUIRED		PROVIDED	
	#	#	#	RATIO
68 RESIDENTIAL UNITS	68	122		1.79/UNIT
GUEST STALLS	7	7		1.0/GUEST
16000 SQ FT RETAIL	8	9		.6/1,000 SQ FT

NOTES:
PARKING COUNT INCLUDES BICYCLE HOOKS ABOVE EACH COVERED CAR PARKING STALL



17 ARCHITECTURAL SITE PLAN
1" = 20'-0"

GRANDVIEW COMMONS
APARTMENTS

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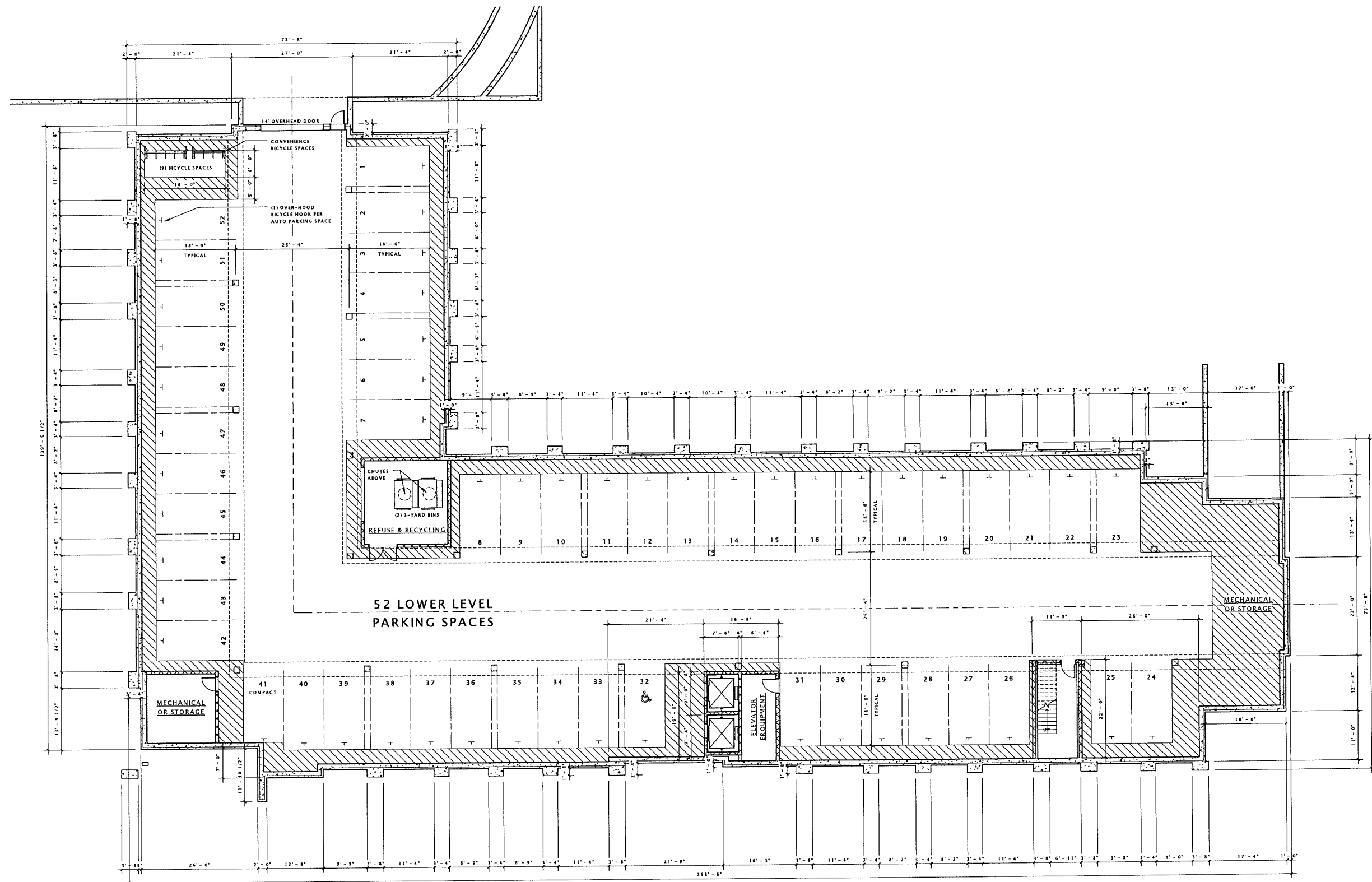
Revision Schedule		
Mark	Description	Date

SHEET TITLE

ARCHITECTURAL SITE
PLAN

SHEET NUMBER

ASP-101



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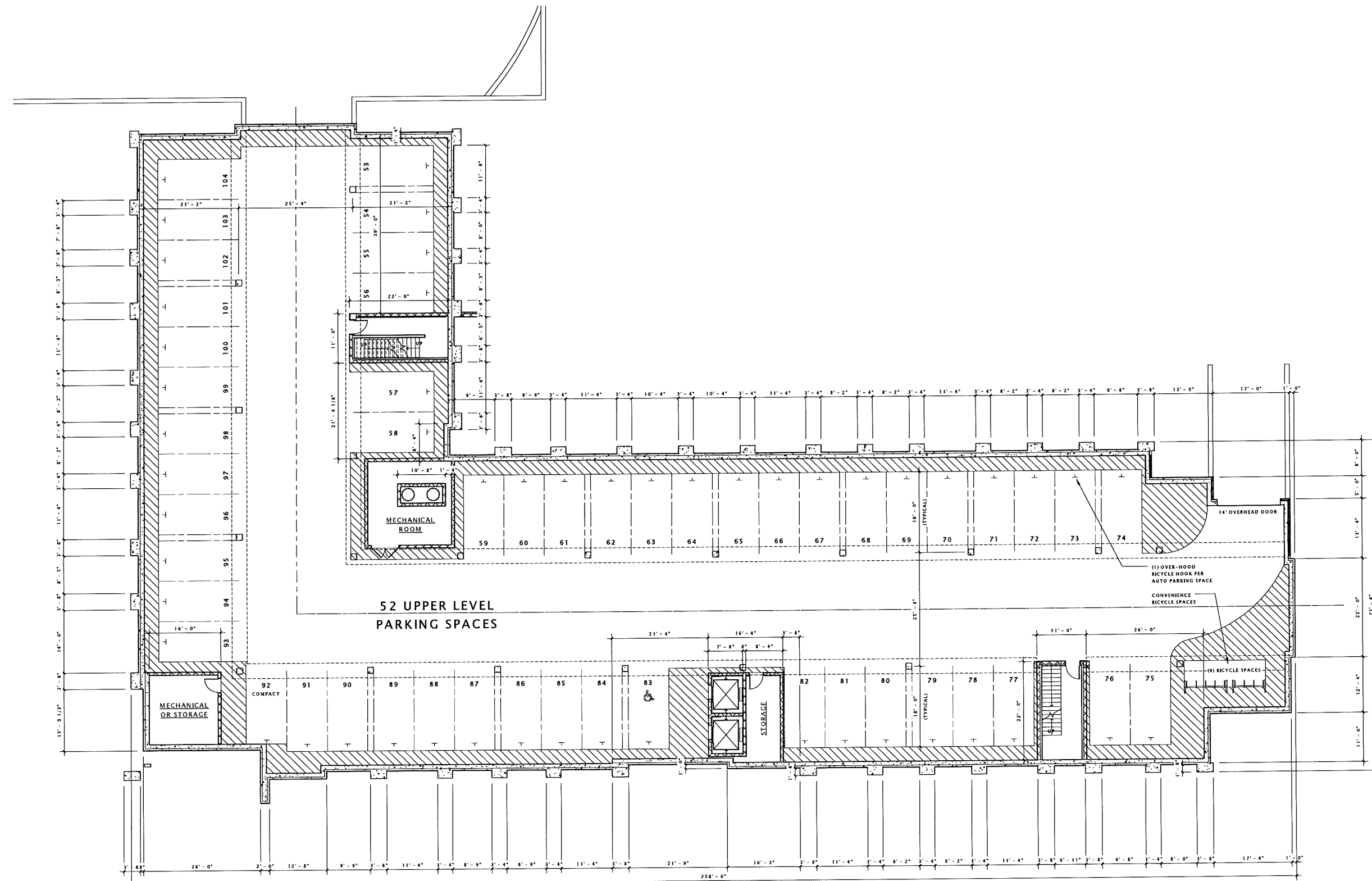
DATE OF ISSUANCE: NOVEMBER 6, 2013

Revision Schedule		
Mark	Description	Date

SHEET TITLE
**BUILDING 'E1'
LOWER LEVEL PLAN**

SHEET NUMBER
A100

1 LOWER LEVEL PARKING
3/32" = 1'-0"



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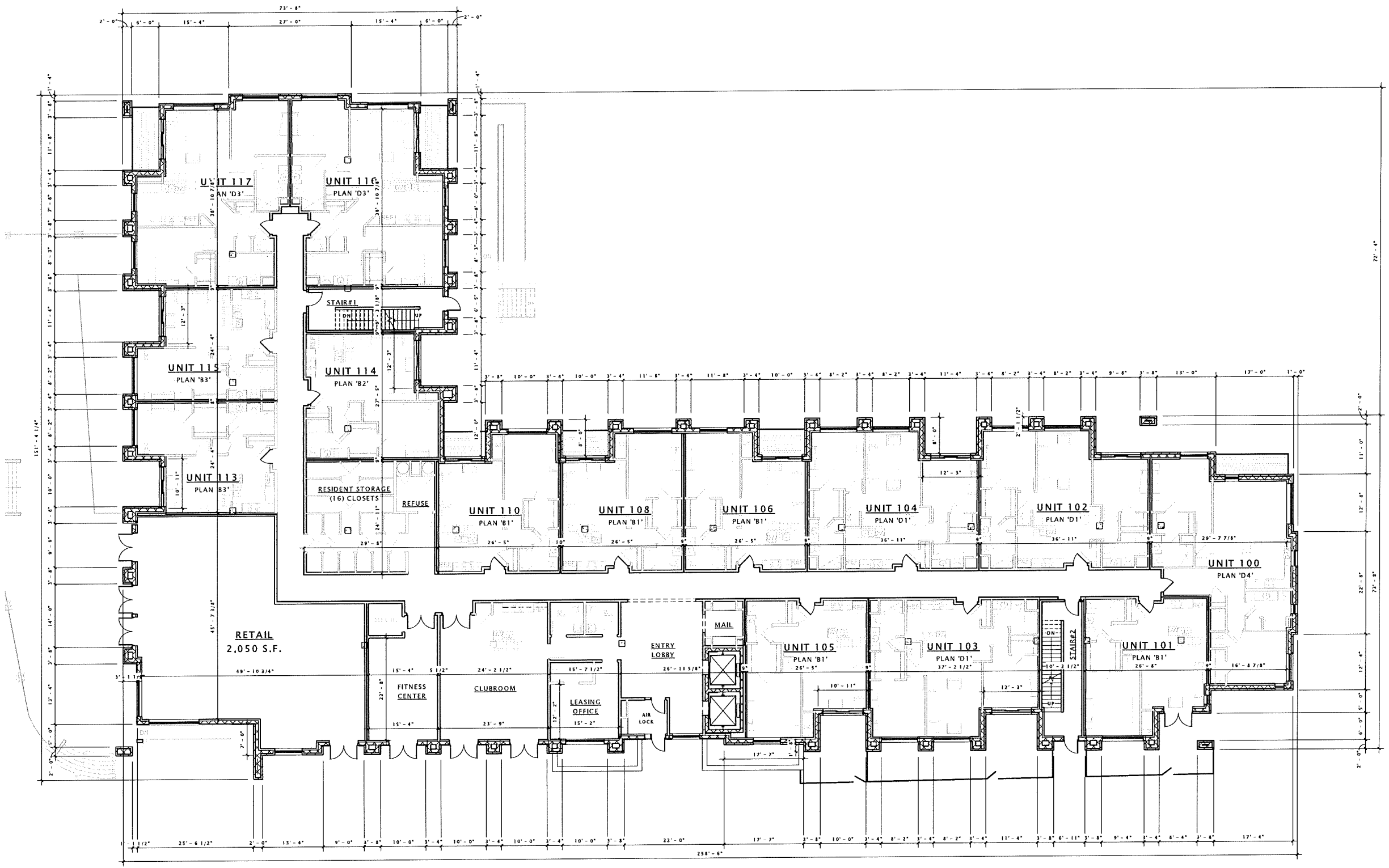
Revision Schedule		
Mark	Description	Date

SHEET TITLE
BUILDING 'E1' - UPPER LEVEL PLAN

SHEET NUMBER
A100.1

① UPPER LEVEL PARKING
3/32" = 1'-0"





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Revision Schedule		
Mark	Description	Date

SHEET TITLE
**BUILDING 'E1'
 FIRST FLOOR PLAN -
 MINIMUM RETAIL**

SHEET NUMBER
A101

16 FIRST FLOOR - INITIAL RETAIL
 3/32" = 1'-0"



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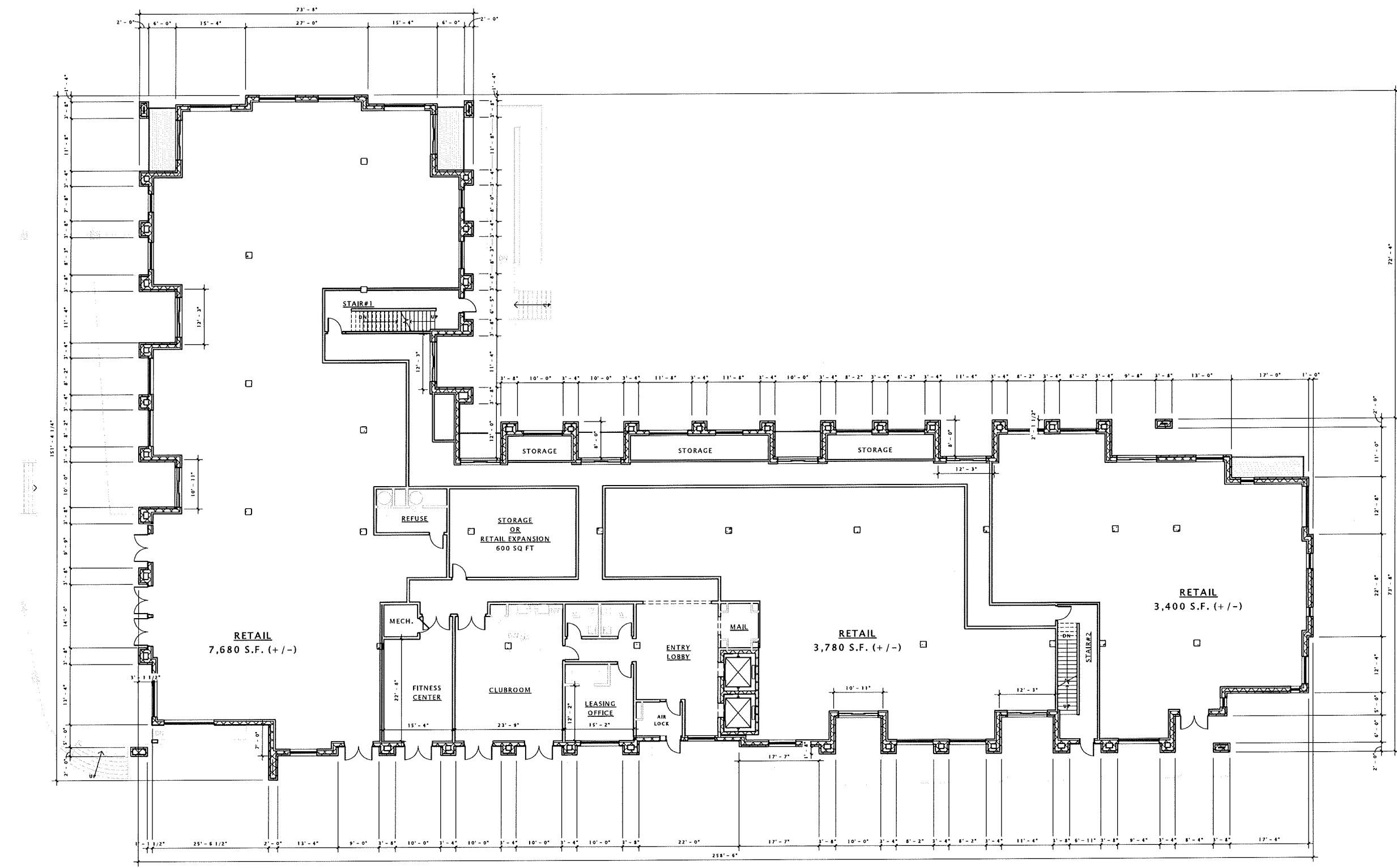
DATE OF ISSUANCE: NOVEMBER 6, 2013

Revision Schedule

Mark	Description	Date

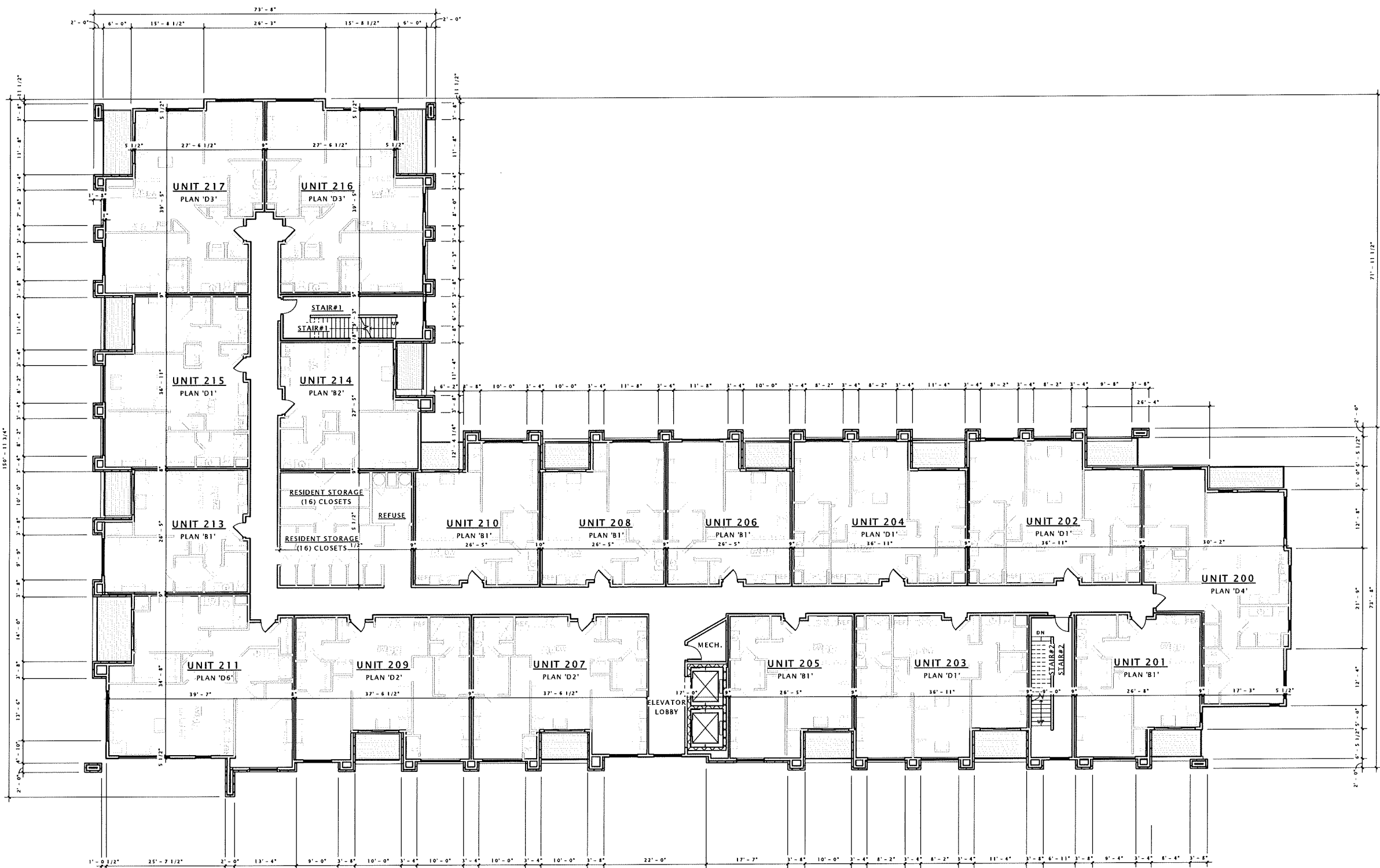
SHEET TITLE
BUILDING 'E1' - FIRST FLOOR PLAN - RETAIL POTENTIAL

SHEET NUMBER
A101.1



① FIRST FLOOR - RETAIL POTENTIAL
3/32" = 1'-0"





16 SECOND FLOOR
 3/32" = 1'-0"

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DATE OF ISSUANCE		NOVEMBER 6, 2013
Revision Schedule		
Mark	Description	Date

SHEET TITLE
**BUILDING 'E1'
 SECOND FLOOR PLAN**

SHEET NUMBER
A102

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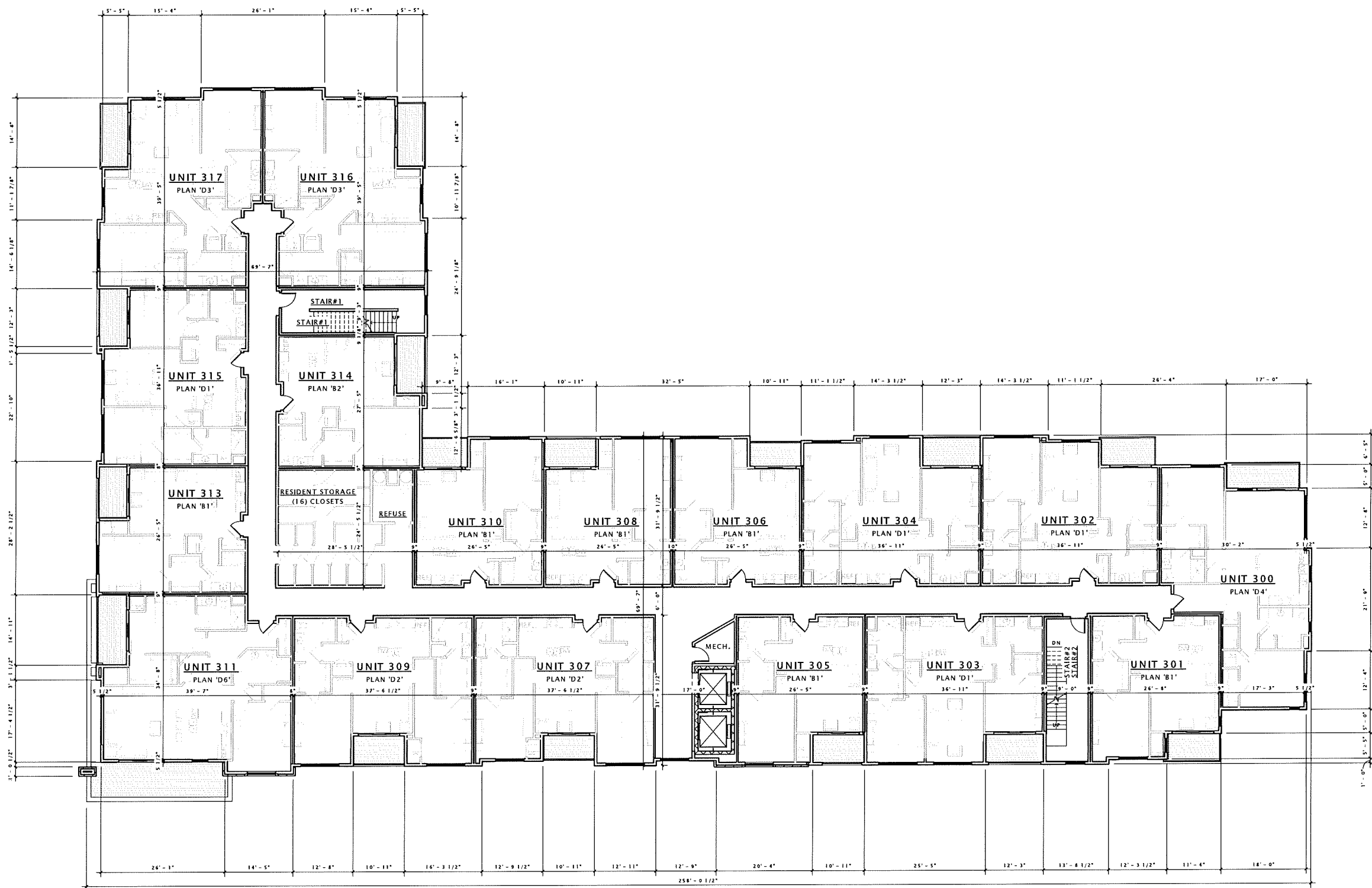
Revision Schedule		
Mark	Description	Date

SHEET TITLE

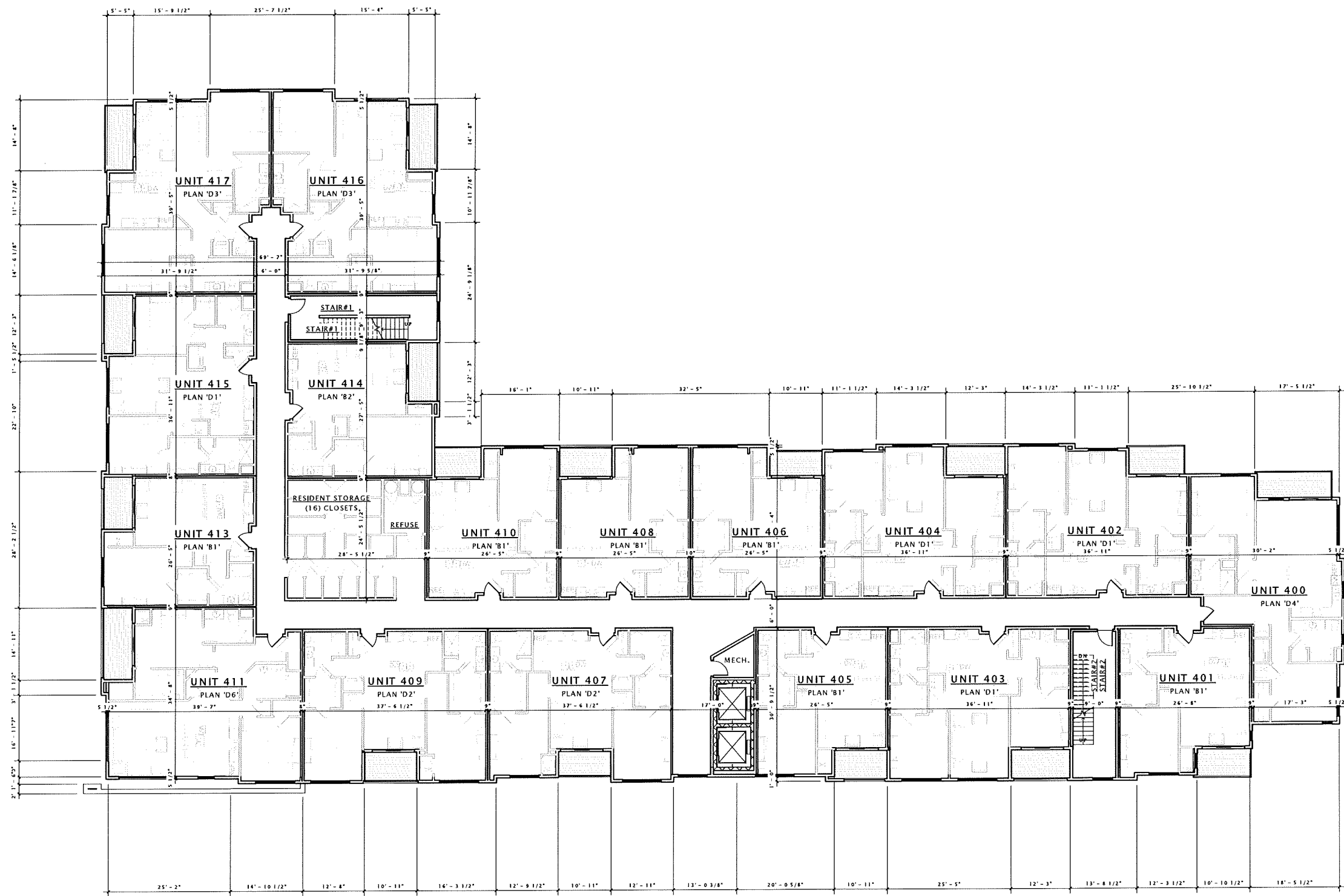
BUILDING 'E1'
THIRD FLOOR PLAN

SHEET NUMBER

A103



16 THIRD FLOOR
 3/32" = 1'-0"



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Revision Schedule		
Mark	Description	Date

SHEET TITLE
**BUILDING 'E1' -
 FOURTH FLOOR PLAN**

SHEET NUMBER
A104

① FOURTH FLOOR
 3/32" = 1'-0"



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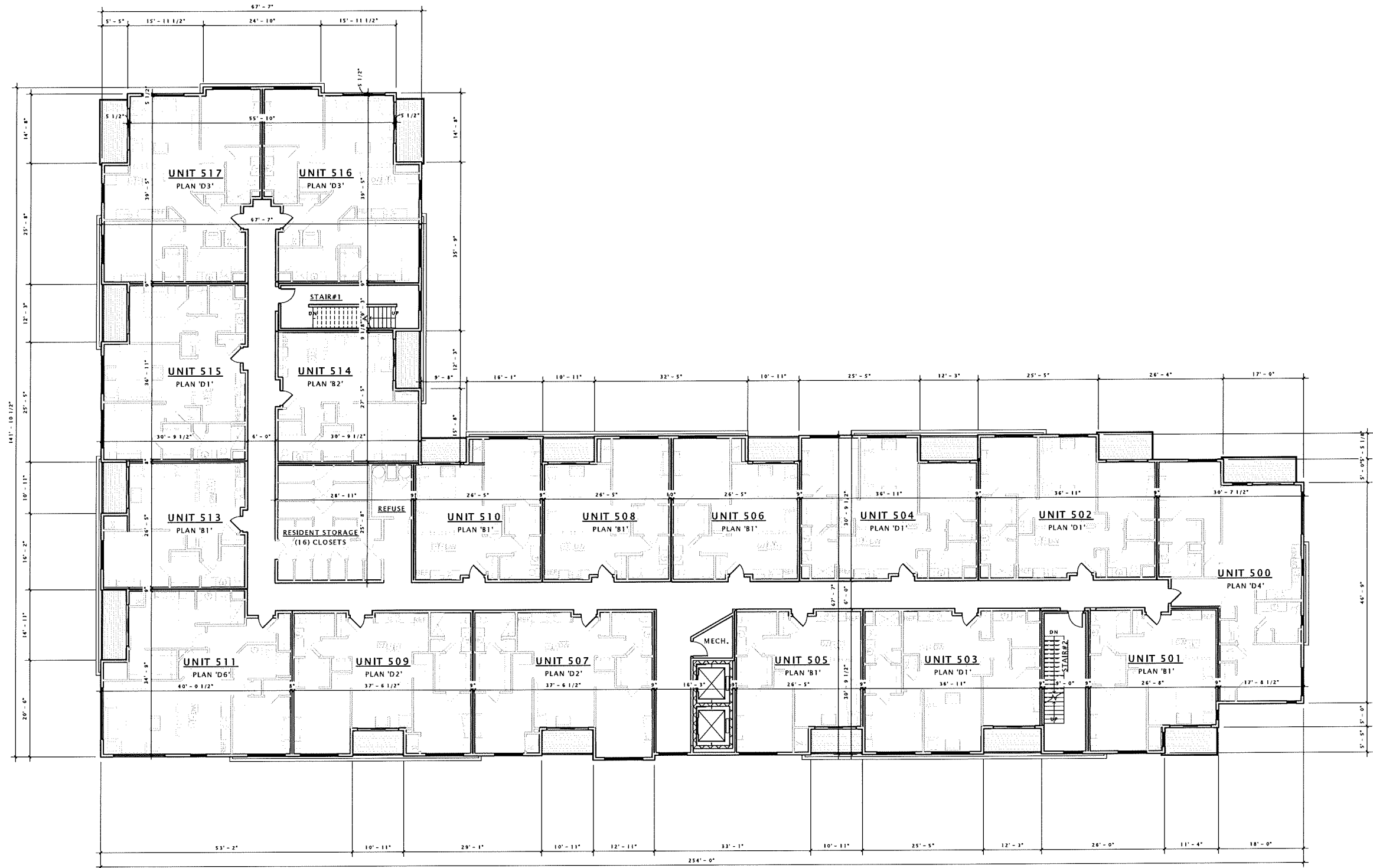
Revision Schedule		
Mark	Description	Date

SHEET TITLE

BUILDING 'E1' - FIFTH FLOOR PLAN - APARTMENTS OPTION

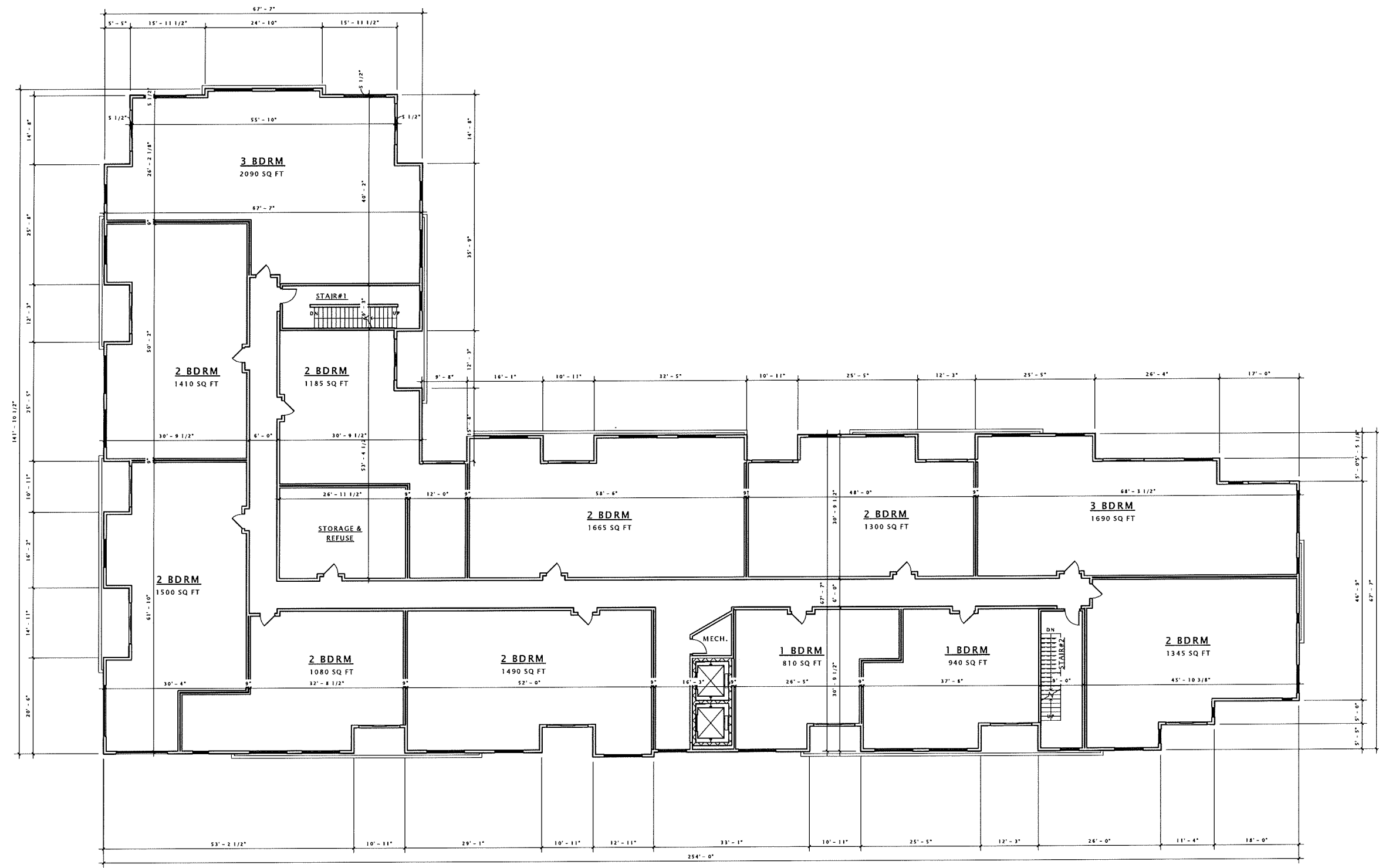
SHEET NUMBER

A105



① FIFTH FLOOR APARTMENT OPTION
 3/32" = 1'-0"





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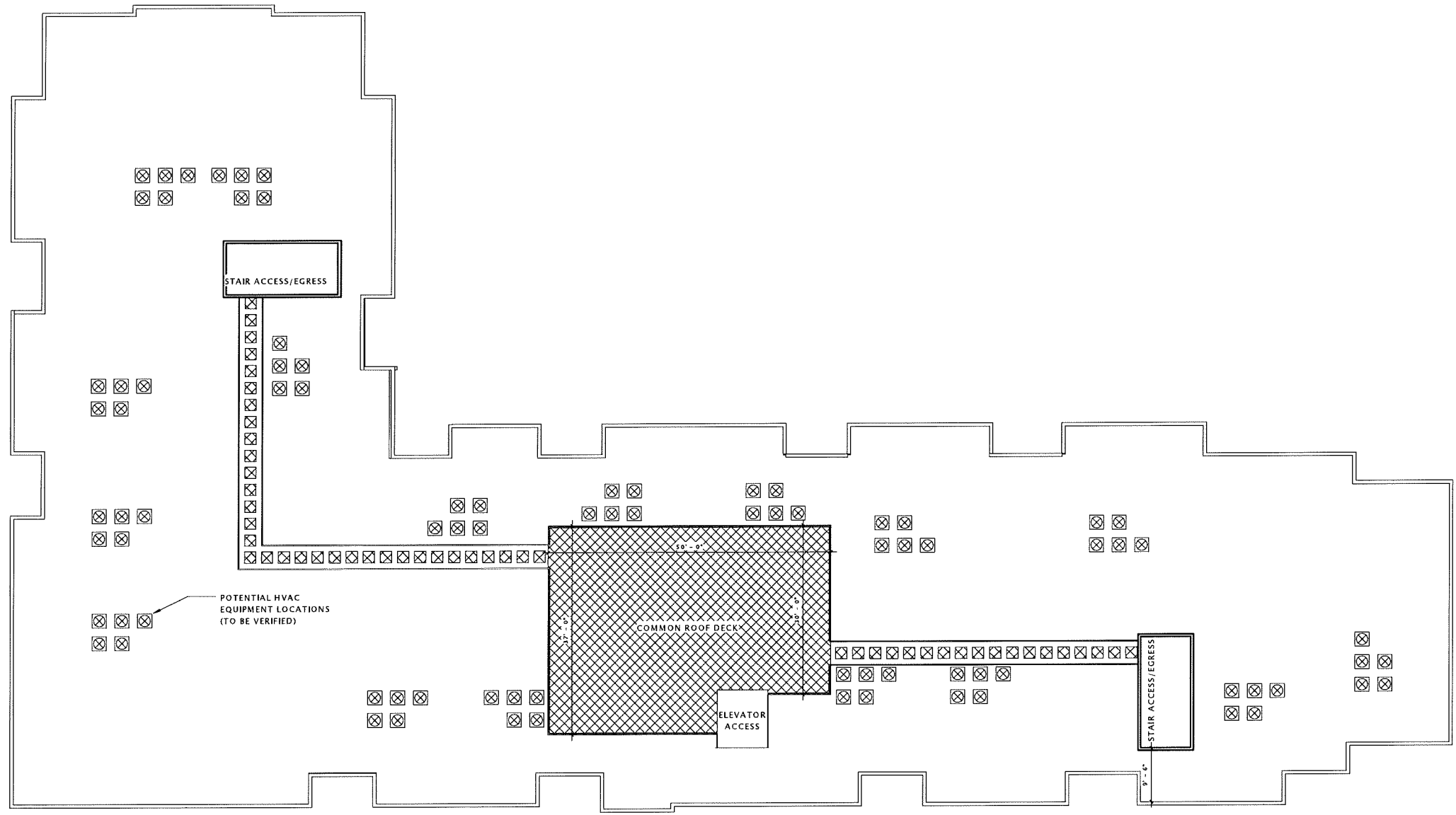
DATE OF ISSUANCE		NOVEMBER 6, 2013
Revision Schedule		
Mark	Description	Date

SHEET TITLE
BUILDING 'E1' - FIFTH FLOOR PLAN - CONDO OPTION

SHEET NUMBER
A105.1

① FIFTH FLOOR CONDO OPTION
3/32" = 1'-0"





① ROOF LEVEL
 3/32" = 1'-0"



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Mark	Description	Date

SHEET TITLE

BUILDING 'E1' - ROOF PLAN

SHEET NUMBER

A106



② EAST ELEVATION
3/32" = 1'-0"



① NORTH ELEVATION
3/32" = 1'-0"

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Revision Schedule		
Mark	Description	Date

SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A200



① WEST ELEVATION
 3/32" = 1'-0"



② SOUTH ELEVATION
 3/32" = 1'-0"

GRANDVIEW COMMONS
 APARTMENTS

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Revision Schedule		
Mark	Description	Date

SHEET TITLE
 EXTERIOR ELEVATIONS

SHEET NUMBER
 A201



JLA

JOSEPH LEE & ASSOCIATES
 748 CROSSROADS DRIVE SUITE 2100
 MADISON, WISCONSIN 53718
 608.277.6500

JLA PROJECT NUMBER: 13-0111

GRANDVIEW COMMONS APARTMENTS

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SHEET TITLE

**BUILDING 'E1' -
 EXTERIOR VIEWS**

SHEET NUMBER

A107



JLA

JOSEPH LEE + ASSOCIATES
24 W. CROSSROADS DRIVE, SUITE 2100
MADISON, WISCONSIN 53718
608.241.0500

JLA PROJECT NUMBER: 13-0111

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Mark	Description	Date

SHEET TITLE

**BUILDING 'E1' -
EXTERIOR VIEWS**

SHEET NUMBER

A107.1