

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

COPY

AGENDA ITEM # _____
Project # _____
Legistar # _____

DATE SUBMITTED: <u>FEBRUARY 27, 2013</u>	Action Requested
UDC MEETING DATE: <u>MARCH 20, 2013</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PLEASE PRINT!

PLEASE PRINT!

PROJECT ADDRESS: 34 SCHROEDER COURT

ALDERMANIC DISTRICT: 19

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:
BETHLINE MADISON, LLC RYAN SIGNS, INC.

40431 W. LOUIS RD #210 3007 PERRY ST.

GREENFIELD, WI 53221 MADISON, WI 53713

CONTACT PERSON: MARY BETH BROWNEY SELENE

Address: 3007 PERRY ST.
MADISON, WI 53713

Phone: 271-7979

Fax: 271-7853

E-mail address: mbgrowneyselene@ryansigns.net

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required) AMENDMENT TO EXISTING CDP.
- Street Graphics Variance* (Fee required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

Ryan Signs, Inc.

3007 Perry Street
Madison, WI 53713
608-271-7979 Phone
608-271-7853 Fax
mbgrowneyselene@ryansigns.net

February 27, 2013

TO: Mr. Al Martin
Secretary to the City of Madison Urban Design Commission

FROM: Mary Beth Growney Selene, Serving as Agent

RE: **BELTLINE MADISON, LLC**
34 SCHRODER COURT
AMENDMENT TO AN EXISTING COMPREHENSIVE DESIGN PLAN

Dear Urban Design Commission Members;

Attached please find our submittal for your review and approval of an Amendment to an Existing Comprehensive Design Review for Beltline Madison, LLC located at 34 Schroeder Court.

BACKGROUND

1. The property is owned by Beltline Madison, LLC.
2. The building has been occupied by Advanced Pain Management since 2007 with additional tenants since that time.
3. The property is zoned SE and is located in Urban Design District #2.
4. In August of 2007, the UDC approved a sign package component for the medical facility development. On April 9, 2008, the UDC approved a Comprehensive Design Plan for the development. The details of the amended approval are included below.

EXISTING COMPREHENSIVE SIGN PLAN

1. **NORTH ELEVATION**
 - A. To allow for one wall sign not to exceed 100 square feet.
 - B. To allow for up to two additional wall signs not to exceed 40 square feet each.
2. **EAST ELEVATION**
 - A. To allow for up to two wall signs not to exceed 40 square feet each.
3. **MONUMENT SIGN**
 - A. To allow for one monument sign, not to exceed 42.88 square feet with messages not to exceed 15-20 words, numbers and logos.

FOLLOWING IS OUR REQUEST TO AMEND THE EXISTING COMPREHENSIVE DESIGN PLAN.

1. NORTH ELEVATION

Option A

To allow for up to five (5) tenant wall signs above the third floor windows to relate to the architectural detail of the windows (this represents an increase of two (2) wall signs from the April 9, 2008 UDC approval).

Option B

To allow for up to four (4) tenant wall signs above the third floor windows to relate to the architectural detail of the windows (this represents an increase of one (1) wall sign from the April 9, 2008 UDC approval).

2. EAST ELEVATION

To allow for up to two (2) tenant wall signs located above the 2nd and 3rd floor windows to relate to the architectural detail of the windows (this does not represent a change to the April 9, 2008 UDC approval).

Urban Design Commission
Comprehensive Design Plan
Beltline Madison, LLC
34 Schroeder Court
UDC Meeting of March 20, 2013
Page 2

3. MONUMENT SIGN

To allow for a multi-tenant directory with no more than eight (8) symbols/words per tenant. This will allow the owner to provide street level entrance signage to their tenants and offer reinforcement to their patients and visitors that they are in the right place. The sign is not visible to any of the residential neighbors.

The attached documents outline our request for variances from the UDD #2 and we are requesting they be approved as our Amendment to an Existing Comprehensive Design Plan.

Thank you for your consideration.

Respectfully Submitted,

RYAN SIGNS, INC.



Mary Beth Growney Selene
President
Serving as Agent for Beltline Madison, LLC

Ryan Signs, Inc.

3007 Perry Street
Madison, WI 53713
608-271-7979 Phone
608-271-7853 Fax

mbgrowneyselene@ryansigns.net

February 27, 2013

Beltline Madison, LLC
34 Schroeder Road

The following is the Amendment to an Existing Comprehensive Design Plan:

Wall Signs – Option A

North Elevation

TENANT A (Currently ADVANCED PAIN MANAGEMENT)

The tenant shall be allowed one sign, **not to exceed 40 square feet.**

The sign shall consist of illuminated letters, mounted on a raceway. Tenant shall have the ability to propose signage in any color and design and the signage may include logos. The location of the sign may not necessarily be placed in proximity to the tenant's leased space. The sign shall be approved by the landlord, in writing. Approvals must accompany sign permit applications.

TENANT B (Currently ADVANCED DENTAL SPECIALISTS)

The tenant shall be allowed one sign, not to exceed 40 square feet.

The sign shall consist of illuminated letters, mounted on a raceway. Tenant shall have the ability to propose signage in any color and design and the signage may include logos. The location of the sign may not necessarily be placed in proximity to the tenant's leased space. The sign shall be approved by the landlord, in writing. Approvals must accompany sign permit applications.

TENANT C (Currently UW COLLEGES ONLINE)

The tenant shall be allowed one sign, not to exceed 40 square feet.

The sign shall consist of illuminated letters, mounted on a raceway. Tenant shall have the ability to propose signage in any color and design and the signage may include logos. The location of the sign may not necessarily be placed in proximity to the tenant's leased space. The sign shall be approved by the landlord, in writing. Approvals must accompany sign permit applications.

TENANT D

The tenant shall be allowed one sign, not to exceed 40 square feet.

The sign shall consist of illuminated letters, mounted on a raceway. Tenant shall have the ability to propose signage in any color and design and the signage may include logos. The location of the sign may not necessarily be placed in proximity to the tenant's leased space. The sign shall be approved by the landlord, in writing. Approvals must accompany sign permit applications.

TENANT E

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The sign shall consist of illuminated letters, mounted on a raceway. Tenant shall have the ability to propose signage in any color and design and the signage may include logos. The location of the sign may not necessarily be placed in proximity to the tenant's leased space. The sign shall be approved by the landlord, in writing. Approvals must accompany sign permit applications.

Wall Signs – Option B

North Elevation

TENANT A (Currently ADVANCED PAIN MANAGEMENT)

The tenant shall be allowed one sign, **not to exceed 100 square feet**. The sign shall consist of illuminated letters, mounted on a raceway. Tenant shall have the ability to propose signage in any color and design and the signage may include logos. The location of the sign may not necessarily be placed in proximity to the tenant's leased space. The sign shall be approved by the landlord, in writing. Approvals must accompany sign permit applications.

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Monument Sign

Schroeder Court

One monument sign shall be allowed at the entrance to the site on Schroeder Road. The sign will be revised to serve as a multi-tenant directory, not to exceed eight (8) symbols/words per tenant. The use of the multi-tenant directory allows for confirmation to the tenant's clients that they have arrived at the correct location. The W. Beltline Hwy. signage does not provide in any way for directional information and, given that access to the site is not at all related to the W. Beltline Hwy., this sign serves as reinforcement to each tenant's clientele. The existing sign is 42.88 square feet, with an overall height of 9'-0" and has a setback of at least 20 feet from the public ROW.

Parking Lot Regulation Signs

Parking Lot Regulation Signs shall be allowed as needed throughout the development. Existing signs include Handicap Parking, Loading and Unloading Zone and No Parking Fire Lane. These signs are all 18" x 12". Similar regulatory signs will be allowed as needed.

Variance from UDD #2

1. Wall Sign Option B:
To allow for one sign on the North elevation to exceed 40 square feet in effective area.
2. Wall Sign Option A or B:
Signs will not necessarily be located adjacent to their tenant space.
2. To allow for more than eight (8) symbols or words on the monument sign.

=====
COMPREHENSIVE DESIGN REVIEW CRITERIA

- A. The sign plan shall create visual harmony between the signs, buildings and building site through unique and exceptional use of materials, design, color, any lighting, and other design elements , and **shall result in signs of appropriate scale and character to the uses and buildings** on the zoning lot as well as adjacent buildings, structures and uses.
The signs will be designed for their specific façade placement, thereby enhancing the architecture of the building. Each of the signs will be varied in their design and colors. The signs will be illuminated using LED.
- B. Each element of the Sign Plan shall be found to be necessary due to unique or unusual design aspects in the architecture or limitations in the building site or surrounding environment.
The building design allows for multiple windows on all levels. The signs are to be located in such a manner that they line up with the window lines.
- C. The Sign Plan does not violate any of the stated purposes of 31.02(1) or 33.24(2).
- D. All signs will meet the minimum construction requirements of the sign ordinance.
- E. The Sign Plan does not include billboards or off-premise directional signs.
- F. There are no hazards, no obstruction of views at ingress/egress points, and none of the signs will be located on public property.

URBAN DESIGN DISTRICT #2 SIGNAGE GUIDELINES & REQUIREMENTS

4. Private Signs. Because of the relationship between the residential and commercial activities of this area, it is necessary that the location and treatment of signs be appropriate to both activities. In this sense the Urban Design Commission shall evaluate proposed private signs based on the following guidelines and requirements:
 - a. Guidelines.
 - i. Signs should identify the activity without imposing upon the view of residents, businesses, or activities of the districts.
 - ii. Signs shall be appropriate to the type of activity and clientele at which its message is aimed.
 - iii. Signs should be designed so as to be legible to the intended viewer in relation to the surrounding circumstances.
 - iv. Signs should avoid covering or impinging upon landscape features or significant structures.
 - b. Requirements.
 - i. Signs, if located on or adjacent to buildings, shall be integrated with the architectural design of the buildings.
 - ii. Signs shall be located and designed only to inform the intended clientele.
 - iii. Signs shall be used only as identification of the establishment and shall have no more than eight (8) symbols and/or words.
 - iv. No portion of an illuminated sign shall have a luminance greater than 200 foot lamberts for any portion of the sign within a circle two feet in diameter.
 - v. No sign nor part of any sign shall move, flash, rotate, or change its illumination more than once per hour.
 - vi. A minimum setback of five (5) feet is required of all detached signs. A minimum setback of ten (10) feet from the public ROW is required for signs exceeding 10 square feet in effective area and 15' in height. A minimum setback of 20 feet is required for all signs exceeding 20 square feet in effective area or 20 feet in height. No detached sign shall exceed 75 square feet in effective area and 25 feet in height. Based upon the following criteria, the UDC may specifically approve a larger sign to reduce the setbacks above:
 - A. An exception from the size and setback limitation is necessary for a sign located on the site of an establishment to be identifiable and legible from the nearest road at prevailing speeds; and
 - B. An exception from the size and setback limitation will result in a sign more in scale with the building and site and will result in a superior overall design.
 - vii. No detached sign shall occupy the space between 2 feet and 10 feet above grade within 15 feet of the public ROW except for its support, which shall not exceed a cross-section area of one square foot.
 - viii. The effective area of an attached sign of any occupancy on any façade shall not exceed 40 square feet.
 - ix. All signs and their words shall be mounted parallel to the building surface to which they are attached. No sign or words shall project more than 18" from the surface to which they are attached. Attached signs shall not be mounted on roofs and shall not project above roofs.

bing Maps

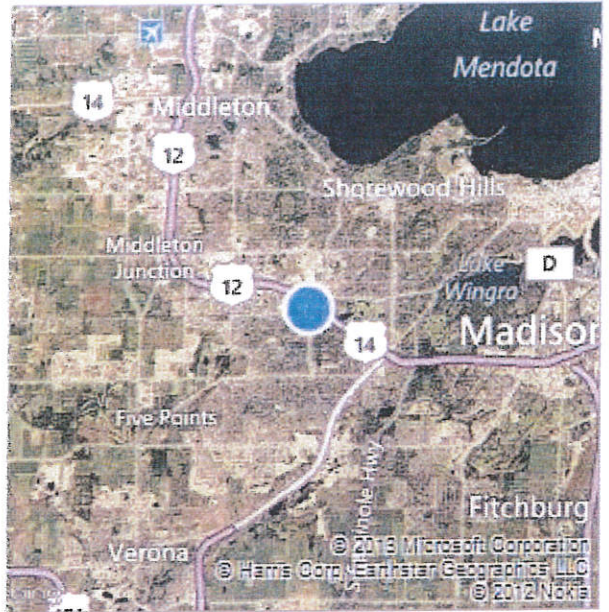
34 Schroeder Ct, Madison, WI 53711

My Notes

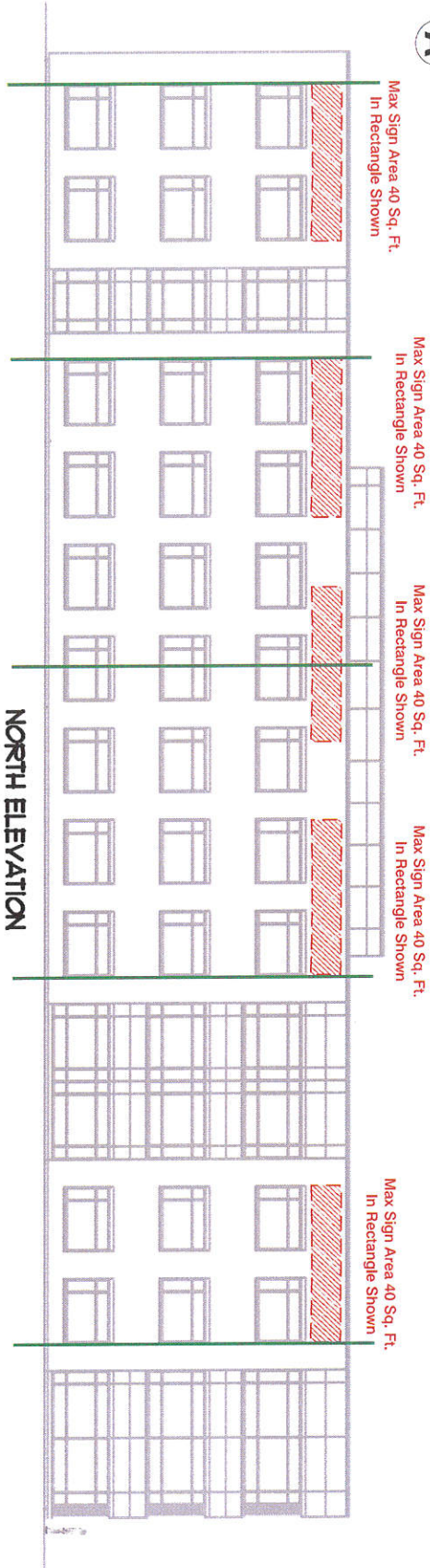
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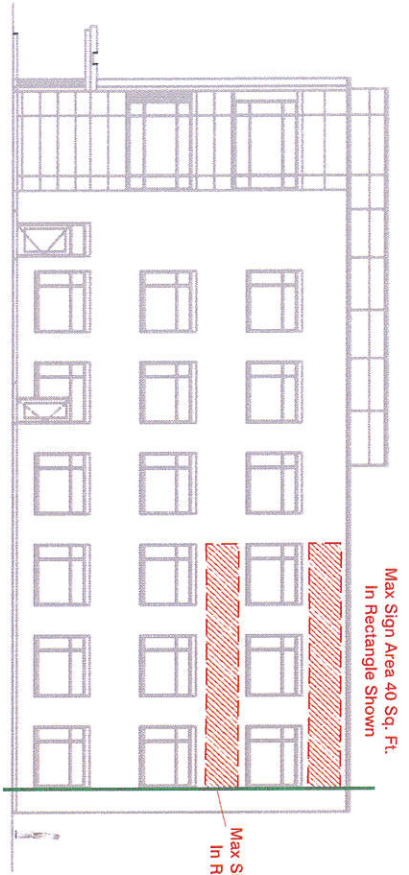
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A



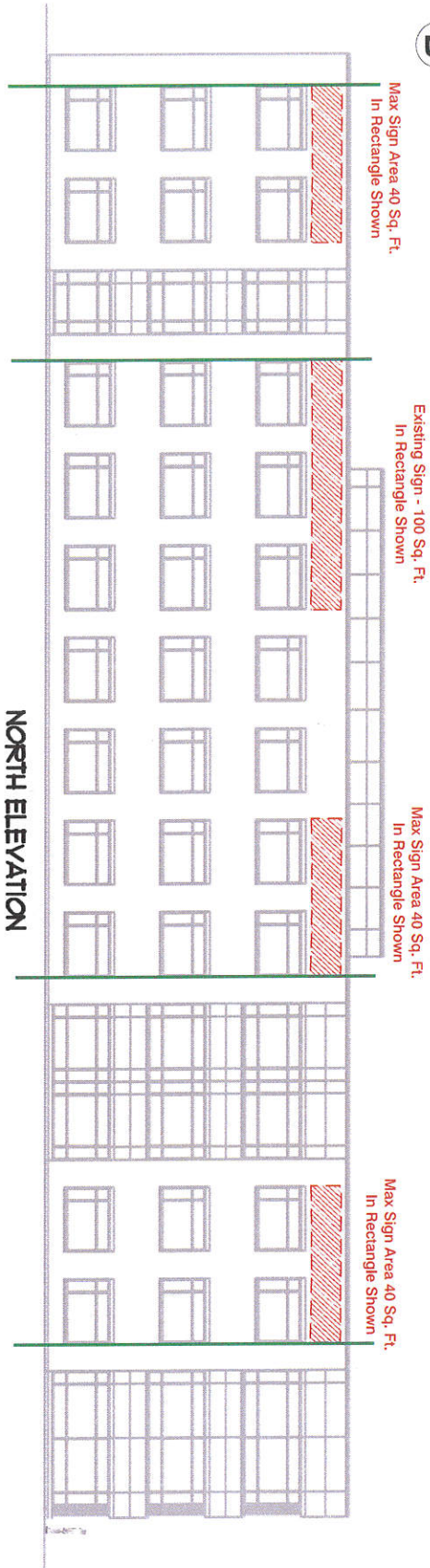
NORTH ELEVATION



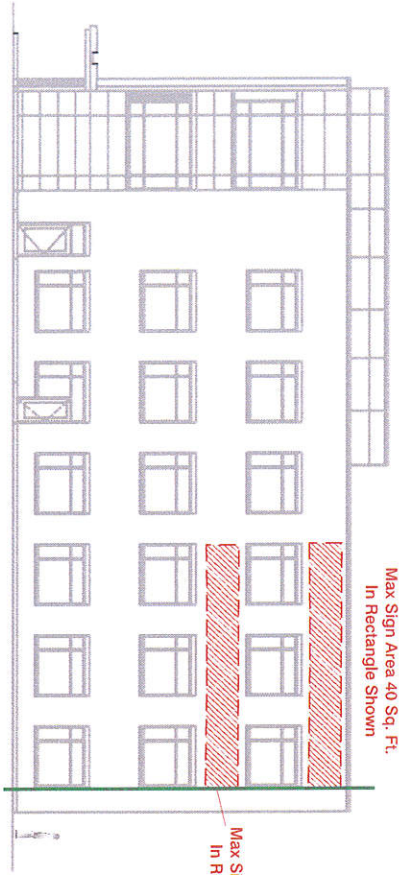
EAST ELEVATION

Ryan Signs, Inc.		SCALE: 1/16" = 1'-0"	APPROVED:
3007 Dairy Street • Madison, WI 53713 • Tel: 608.271.7979 • Fax: 608.271.7975		DATE: 2/28/13	
BELTONE MADISON LLC-ADVANCED PAIN MANAGEMENT		DRAWN: S.J. / T.S.	
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		PROJECT NO:	5349

B



NORTH ELEVATION



EAST ELEVATION

Ryan Signs, Inc.		SCALE: 1/16" = 1'-0"	APPROVED:
3007 Dorian Street • Madison, WI 53713 • Tel: 608.271.2729 • Fax: 608.271.7205		DATE: 2/28/13	
BELTLINE MADISON LLC-ADVANCED PAINT MANAGEMENT		PROJECT: 5349A	
<small>These plans are the exclusive property of Ryan Signs, Inc. and are to read and be used only in conjunction with the contract documents. No part of these plans may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Ryan Signs, Inc. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations.</small>		PROJECT NO: 5349A	DATE: 2/28/13

A



Exact Tenants TBD

Exact Tenants TBD

edward
advent

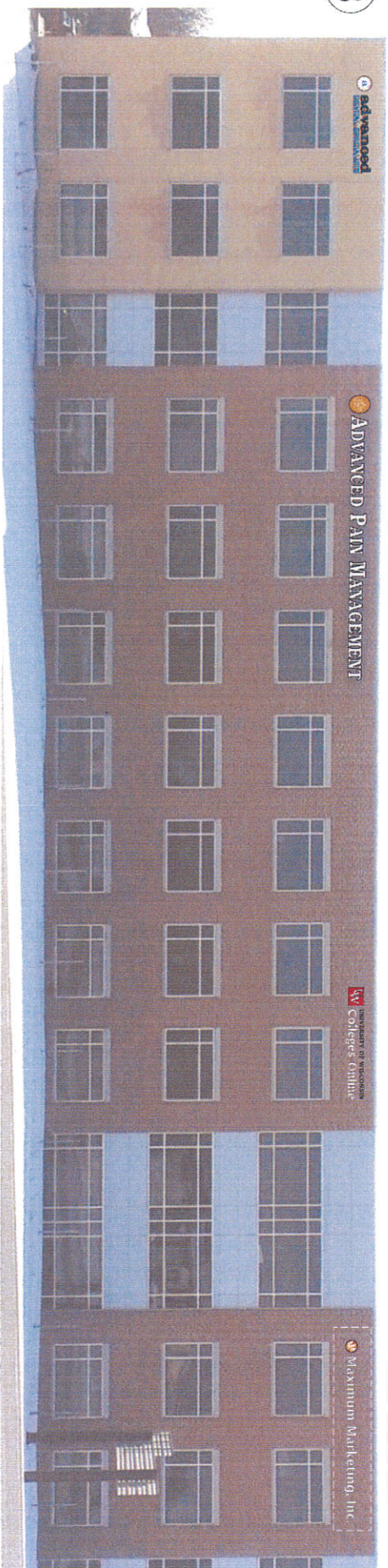
ADVANCED PAIN MANAGEMENT

Supercor Solutions

UNIVERSITY OF WESTERN
COLLEGE ONLINE

Maximum Marketing, Inc.

B



North Elevation

Exact Tenants TBD

edward
advent

ADVANCED PAIN MANAGEMENT

UNIVERSITY OF WESTERN
COLLEGE ONLINE

Maximum Marketing, Inc.

North Elevation

NOT TO SCALE

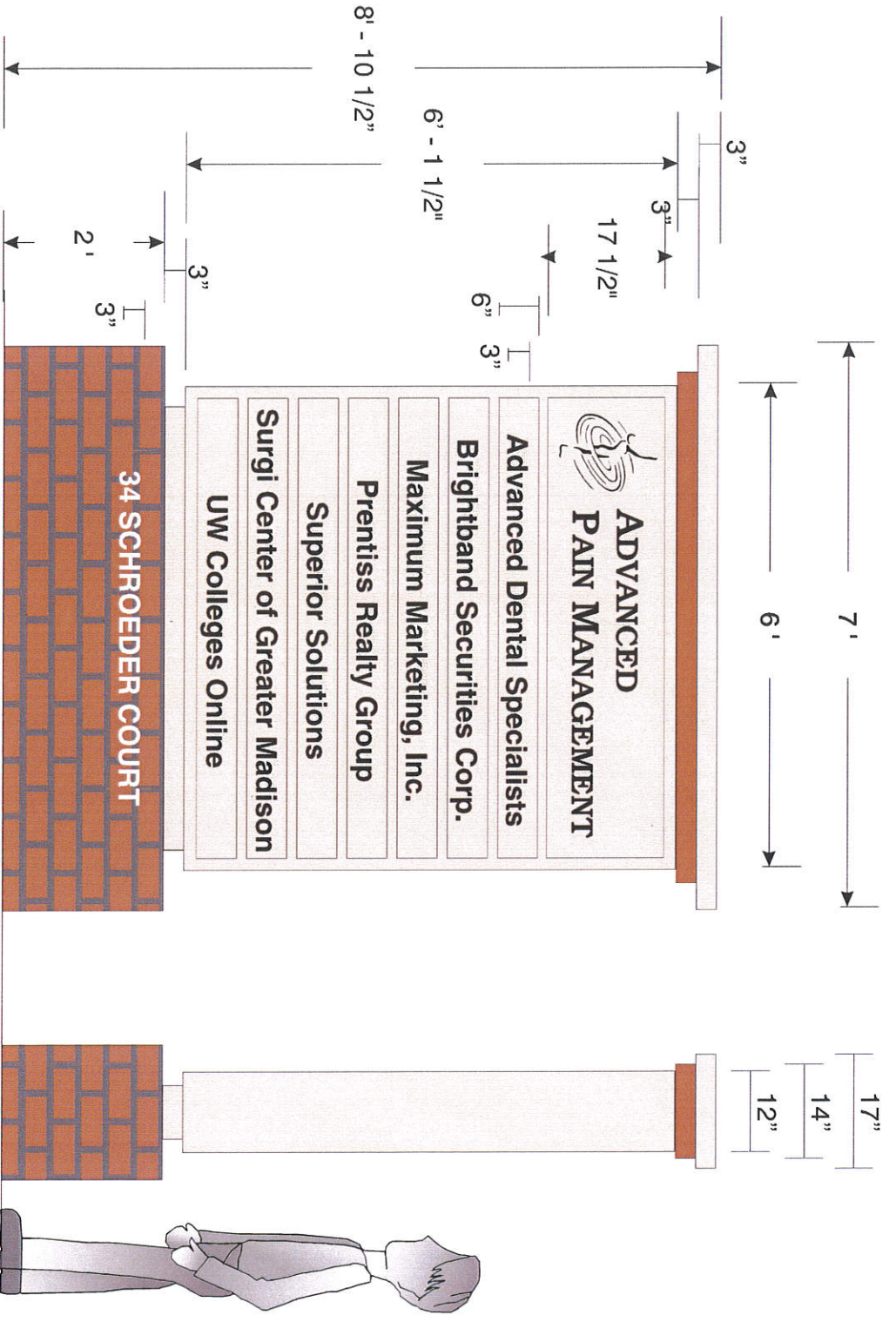
Ryan Signs, Inc. PROJECT NO: 2126/173 APPROVED: 2018/09/13

2021 SOUTH BENTLEY & CHANDLER, WILCOX, GA 30754 TEL: 706/322-1250 FAX: 706/322-1250

BELTONE MAILSON LLC-ADVANCED PAIN MANAGEMENT ESTABLISHED: 2017

3500 North State Street, Suite 1000, Dayton, OH 45424-1500
 12000 W. North Branch Road, Suite 1000, Dayton, OH 45428-1400
 11800 Eastwick Road, Suite 1000, Dayton, OH 45424-1000
 10900 North Branch Road, Suite 1000, Dayton, OH 45428-1400
 10000 W. North Branch Road, Suite 1000, Dayton, OH 45428-1400

5349B



Ryan Signs, Inc.		SCALE: 1/8" = 1'-0"	APPROVED:
3007 Perry Street • Madison, WI 53713 • Tel: (608) 271-7979 • Fax: (608) 271-7853		DATE: 2/26/13	DRAWING NUMBER: 5349D
BETLINE MADISON LLC-ADVANCED PAIN MANAGEMENT		REVISED: 3/7/13	
		DRAWN BY: KIW	
<small>These plans, and the finished product of Ryan Signs, Inc., and the result of the original design work of its employees. They are submitted to you or your company for the sole purpose of your consideration of whether to purchase or commission the manufacture of a sign similar to the one embodied herein. Distribution or exhibition of these plans to anyone other than employees of your company or use of these plans to construct a sign similar to the one embodied herein is expressly prohibited in the event that such use, distribution or exhibition occurs, the undersigned agrees to indemnify and hold Ryan Signs, Inc. harmless from all claims, damages and expenses, including reasonable attorneys' fees, that may be asserted against Ryan Signs, Inc. in the event of such use, distribution or exhibition. Payment of this fee is a condition of the contract and is non-refundable. Payment of this fee is a condition of the contract and is non-refundable. Payment of this fee is a condition of the contract and is non-refundable.</small>			

Existing Signage

