

# URBAN DESIGN COMMISSION APPLICATION

# UDC

City of Madison  
Planning Division  
126 S. Hamilton St.  
P.O. Box 2985  
Madison, WI 53701-2985  
(608) 266-4635



## FOR OFFICE USE ONLY:

Paid \_\_\_\_\_ Receipt # \_\_\_\_\_

Date received \_\_\_\_\_

Received by \_\_\_\_\_

Aldermanic District \_\_\_\_\_

Zoning District \_\_\_\_\_

Urban Design District \_\_\_\_\_

Submittal reviewed by \_\_\_\_\_

Complete all sections of this application, including the desired meeting date and the action requested.

*If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.*

## 1. Project Information

Address: 555 W Washington Avenue

Title: \_\_\_\_\_

## 2. Application Type (check all that apply) and Requested Date

UDC meeting date requested August 8, 2018

- New development       Alteration to an existing or previously-approved development  
 Informational       Initial approval       Final approval

## 3. Project Type

- Project in an Urban Design District  
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)  
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)  
 Planned Development (PD)  
     General Development Plan (GDP)  
     Specific Implementation Plan (SIP)  
 Planned Multi-Use Site or Residential Building Complex

### Signage

- Comprehensive Design Review (CDR)  
 Signage Variance (i.e. modification of signage height, area, and setback)

### Other

- Please specify \_\_\_\_\_

## 4. Applicant, Agent, and Property Owner Information

Applicant name Brendan Baxter Company PJB-II Inc.

Street address 2303 W. Beltline Hwy City/State/Zip Madison, WI 53713

Telephone 608-276-0244 Email baxter.bt@gmail.com

Project contact person Kevin Burow Company Knothe and Bruce Architects

Street address 7601 University Ave. Ste 201 City/State/Zip Middleton, WI 53562

Telephone 608-836-3690 Email kburow@knothebruce.com

Property owner (if not applicant) \_\_\_\_\_

Street address \_\_\_\_\_ City/State/Zip \_\_\_\_\_

Telephone \_\_\_\_\_ Email \_\_\_\_\_

**5. Required Submittal Materials**

- Application Form**
- Letter of Intent**
  - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
  - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans** (Refer to checklist provided below for plan details)
- Filing fee**
- Electronic Submittal\***

Each submittal must include fourteen (14) 11" x 17" collated paper copies. Landscape and Lighting plans (if required) must be full-sized. Please refrain from using plastic covers or spiral binding.

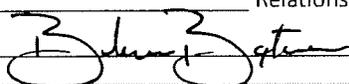
Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

*\*Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to [udcapplications@cityofmadison.com](mailto:udcapplications@cityofmadison.com). The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

**6. Applicant Declarations**

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Heather Stouder, Kevin Firchow, Bill Freuling on February 12, 2018.
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Applicant name Brendan Baxter Relationship to property Owner  
 Authorized signature of Property Owner  Date 5/2/2018

**7. Application Filing Fees**

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

## Introduction

The City of Madison's Urban Design Commission (UDC) has been created to:

- Encourage and promote high quality in the design of new buildings, developments, remodeling, and additions so as to maintain and improve the established standards of property values within the City.
- Foster civic pride in the beauty and nobler assets of the City, and in all other ways possible assure a functionally efficient and visually attractive City in the future.

## Types of Approvals

There are three types of requests considered by the UDC:

- Informational Presentation. Applicants may, at their discretion, request to make an Informational Presentation to the UDC prior to seeking any approvals to obtain early feedback and direction before undertaking detailed design. Applicants should provide details on the context of the site, design concept, site and building plans, and other relevant information to help the UDC understand the proposal and provide feedback. (Does not apply to CDR's or Signage Variance requests)
- Initial Approval. Applicants may, at their discretion, request initial approval of a proposal by presenting preliminary design information. As part of their review, the Commission will provide feedback on the design information what should be addressed at Final Approval stage.
- Final Approval. Applicants may request Final Approval of a proposal by presenting all final project details. Recommendations or concerns expressed by the UDC in the initial approval must be addressed at this time.

## Presentations to the Commission

Primarily, the UDC is interested in the appearance and design quality of projects. Emphasis should be given to the site plan, landscape plan, lighting plan, building elevations, exterior building materials, color scheme, and graphics.

When presenting projects to the UDC, applicants must fill out a registration slip provided in the meeting room and present it to the Secretary. Presentations should generally be limited to 5 minutes or as extended by motion by consent of the Commission. The Commission will withhold questions until the end of the presentation.

Applicants are encouraged to consider the use of various graphic presentation material including a locator map, photographs, renderings/model, scale drawings of the proposal in context with adjacent buildings/uses/signs, etc., as may be deemed appropriate to describe the project and its surroundings. Graphics should be mounted on rigid boards so that they may be easily displayed. **Applicants/presenters are responsible for all presentation materials, AV equipment and easels.**

# URBAN DESIGN DEVELOPMENT PLANS CHECKLIST

The items listed below are minimal application requirements for the type of approval indicated. Please note that the UDC and/or staff may require additional information in order to have a complete understanding of the project.

## 1. Informational Presentation

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan
- Two-dimensional (2D) images of proposed buildings or structures.

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

### Requirements for All Plan Sheets

1. Title block
2. Sheet number
3. North arrow
4. Scale, both written and graphic
5. Date
6. Fully dimensioned plans, scaled at 1"= 40' or larger

**\*\* All plans must be legible, including the full-sized landscape and lighting plans (if required)**

## 2. Initial Approval

- Locator Map
- Letter of Intent (If the project is within a Urban Design District, a summary of how the development proposal addresses the district criteria is required)
- Contextual site information, including photographs and layout of adjacent buildings/structures
- Site Plan showing location of existing and proposed buildings, walks, drives, bike lanes, bike parking, and existing trees over 18" diameter
- Landscape Plan and Plant List (*must be legible*)
- Building Elevations in both black & white and color for all building sides (include material callouts)
- PD text and Letter of Intent (if applicable)

Providing additional information beyond these minimums may generate a greater level of feedback from the Commission.

## 3. Final Approval

All the requirements of the Initial Approval (see above), **plus:**

- Grading Plan
- Proposed Signage (if applicable)
- Lighting Plan, including fixture cut sheets and photometrics plan (*must be legible*)
- Utility/HVAC equipment location and screening details (with a rooftop plan if roof-mounted)
- PD text and Letter of Intent (if applicable)
- Samples of the exterior building materials (presented at the UDC meeting)

## 4. Comprehensive Design Review (CDR) and Variance Requests (Signage applications only)

- Locator Map
- Letter of Intent (a summary of how the proposed signage is consistent with the CDR or Signage Variance criteria is required)
- Contextual site information, including photographs of existing signage both on site and within proximity to the project site
- Site Plan showing the location of existing signage and proposed signage, dimensioned signage setbacks, sidewalks, driveways, and right-of-ways
- Proposed signage graphics (fully dimensioned, scaled drawings, including materials and colors, and night view)
- Perspective renderings (emphasis on pedestrian/automobile scale viewsheds)
- Graphic of the proposed signage as it relates to what the Ch. 31, MGO would permit

June 20, 2018

Ms. Heather Stouder  
Department of Planning & Development  
City of Madison  
146 S. Hamilton Street  
PO Box 2985  
Madison, Wisconsin 53701



Re: Letter of Intent  
555 W. Washington Ave.  
**KBA Project #1713**

Ms. Heather Stouder:

The following is submitted together with the plans and application for the staff and Plan Commission's consideration of approval.

**Organizational structure:**

Owner:	PJB II, Inc. 2303 W. Beltline Hwy Madison, WI 53713 608-276-0244 Contact: Brendan Baxter baxter.bt@gmail.com	Architect:	Knothe & Bruce Architects, LLC 7601 University Avenue, Ste 201 Middleton, WI 53562 608-836-3690 Contact: Kevin Burow <a href="mailto:kburow@knothebruce.com">kburow@knothebruce.com</a>
Engineer:	Vierbicher Associates, Inc. 999 Fourier Dr. Madison, WI 53717 (608) 826-0532 (608) 826-0530 fax Contact: Justin Zampardi <a href="mailto:jzam@vierbicher.com">jzam@vierbicher.com</a>	Landscape Design:	Saiki Design 1110 S. Park Street Madison, WI 53715 (608) 251-3600 Contact: Ken Saiki <a href="mailto:ksaiki@ksd-la.com">ksaiki@ksd-la.com</a>

**Introduction:**

The site is located at the east corner of W. Washington Ave. and S. Bedford St. The site is currently occupied by a two-story office building and is zoned UMX (Urban Mixed Use District). This application requests demolition of the existing structure and a conditional use approval to allow the construction of a new 5-story multi-family apartment building.

**Project Description:**

This proposed project is a multi-family apartment building consisting of 45 units along with 12 parking stalls in the first floor garage and 33 parking stalls in the basement parking garage. The building will be five stories total, with step-backs occurring at the fourth and fifth floors.

The UMX district allows for four stories, and up to two "bonus" stories can be approved with a conditional use approval if the Plan Commission and UDC find the design to be in line with the recommendations in adopted plans and the project demonstrates "exceptional design."

The proposed project is designed with a set of criteria that set it apart from a typical apartment building:

- **Unique and timeless architecture**
  - The project blends together three distinct architectural styles to complement the character of the neighborhood
    - Quintessential residential brownstone along W. Washington Ave.
    - Simple and traditional warehouse style along S. Bedford St.
    - Sleek, clean, and modern “cap” on the fourth and fifth floors
- **Thoughtful density through the use of careful site design and massing**
  - Improved setbacks along both W. Washington Ave. and S. Bedford St. allow for lush “front yards” that benefit the residents of the building as well as add to the character of the street.
  - The three story façade along W. Washington Ave. allows the project to blend with the adjacent single family homes on the street.
  - Generous step backs on the fourth and fifth floor reduce the visible scale from the street.
- **Use of historic materials**
  - Solid stone brownstone
  - Modular all-brick warehouse
  - All four sides of the building are stone or brick
- **Capture and accentuate the essence of residential enjoyment in an urban setting**
  - Ground floor units will have direct walk-up access with private front doors
  - Every unit has an outdoor living space, whether that is a street level patio, an upper floor balcony, or a thoughtfully landscaped roof terrace.
  - Generous roof terraces allow residents to enjoy an outdoor experience in urban surroundings, including lake and Capital view sheds
  - Green roofs on the second, fourth, and fifth floors introduce a softer, more natural environmental atmosphere

The massing of the proposed building was carefully designed to incorporate several unrequired setbacks and stepbacks in order to seamlessly blend with the scale of the adjacent neighborhood. A four-story, zero setback building, which is permitted at this location, would be much more visually obtrusive than this proposed building. A four story mass built up to the lot lines at W. Washington and Bedford would reduce views and diminish the scale of the surroundings. Even with the addition of a fifth story (which will be imperceptible at street level), the massing of this proposed building will be significantly less disruptive to the character of the neighborhood.

### **Site Development Data:**

#### Densities:

Gross Lot Area	16,735 sf / .38 Acres
Dwelling Units	45 DU
Lot Area / D.U.	372 sf / unit
Density	128 units/acre
Building Height	3 to 5 stories

Lot Coverage 13,747 S.F. = 82% (90% Max.)  
Usable Open Space 6,348 sf (570sf required - 10sf/bedroom)

Dwelling Unit Mix:

Efficiency	12
One Bedroom	21
<u>Two Bedroom Apartments</u>	<u>12</u>
Total Dwelling Units	45

Vehicle Parking:

First Floor Garage	12 stalls
<u>Underground</u>	<u>33 stalls</u>
Total	45 stalls

Bicycle Parking:

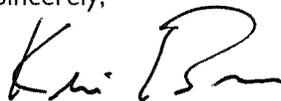
Surface	5 stalls
First Floor Garage	6 stalls
<u>Underground Garage</u>	<u>39 stalls (Std. 2'x6')</u>
Total	50 stalls

**Project Schedule:**

It is anticipated that the construction on this site will begin spring of 2019 with a final completion date of spring of 2020.

Thank you for your time reviewing our proposal.

Sincerely,



Kevin Burow, AIA



W. Washington Avenue

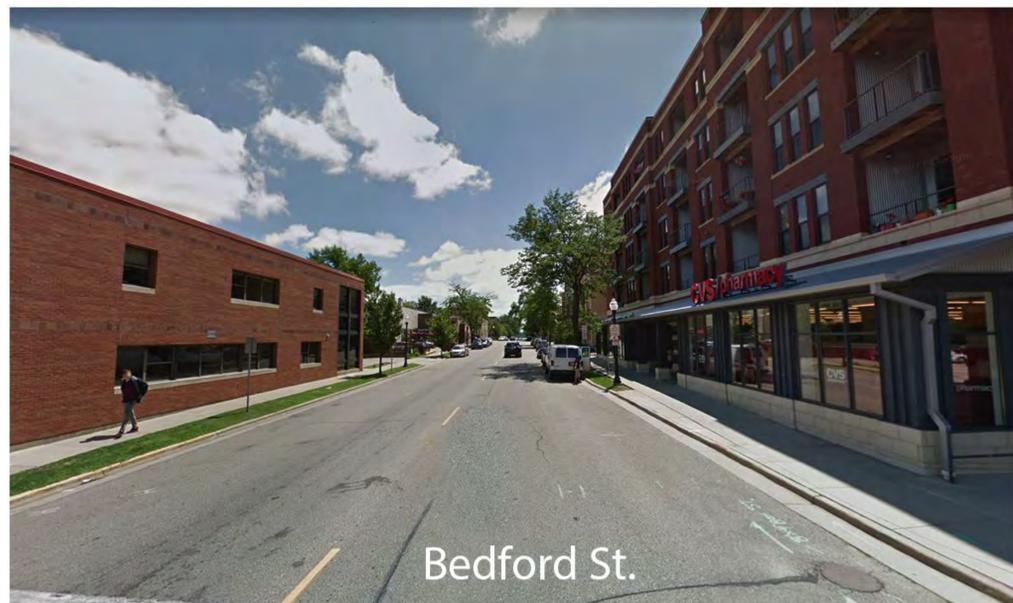
S. Bedford Street

Site Aerial  
555 W. Washington Avenue

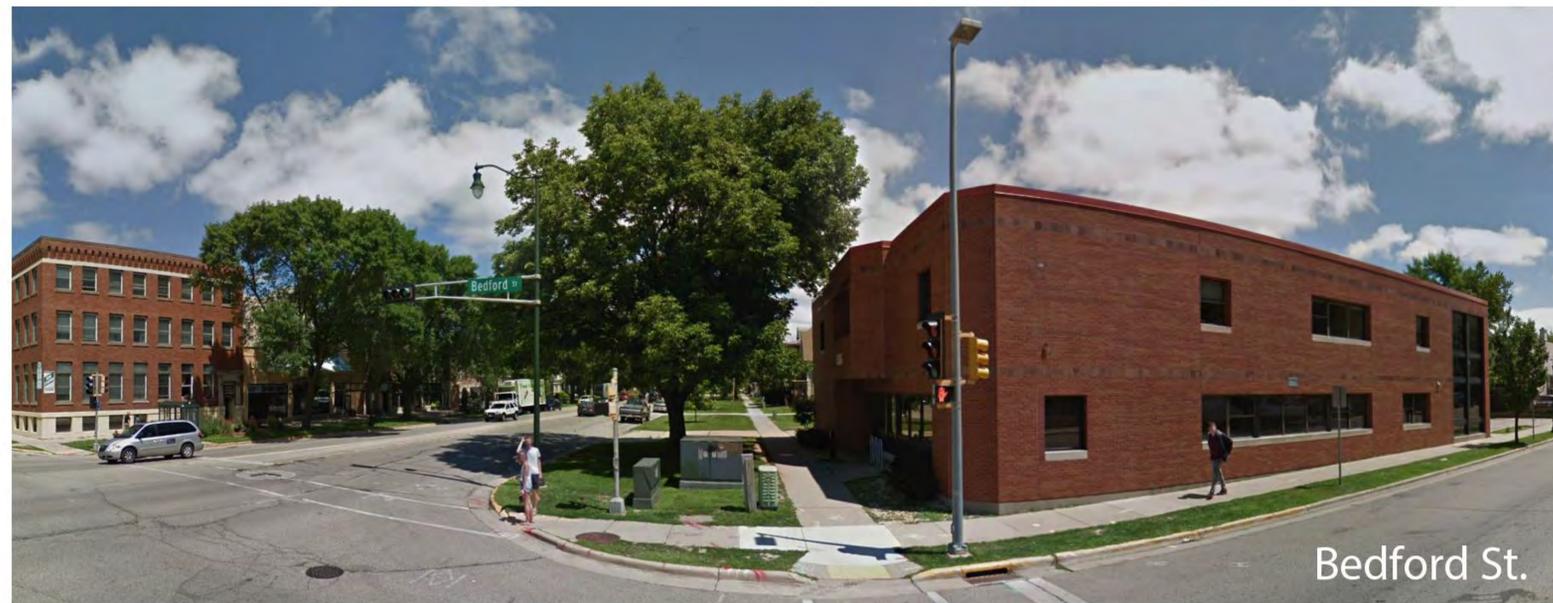




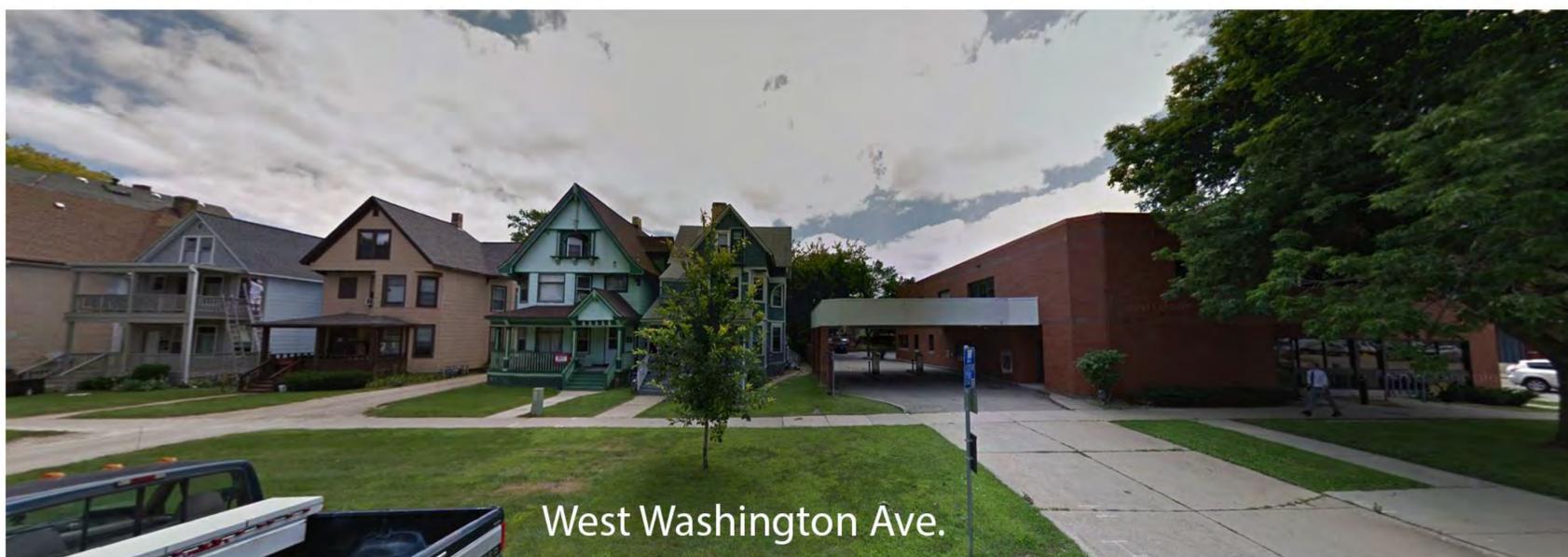
View From Corner of West Wash. & N Bedford St.



Bedford St.



Bedford St.



West Washington Ave.



West Washington Ave.

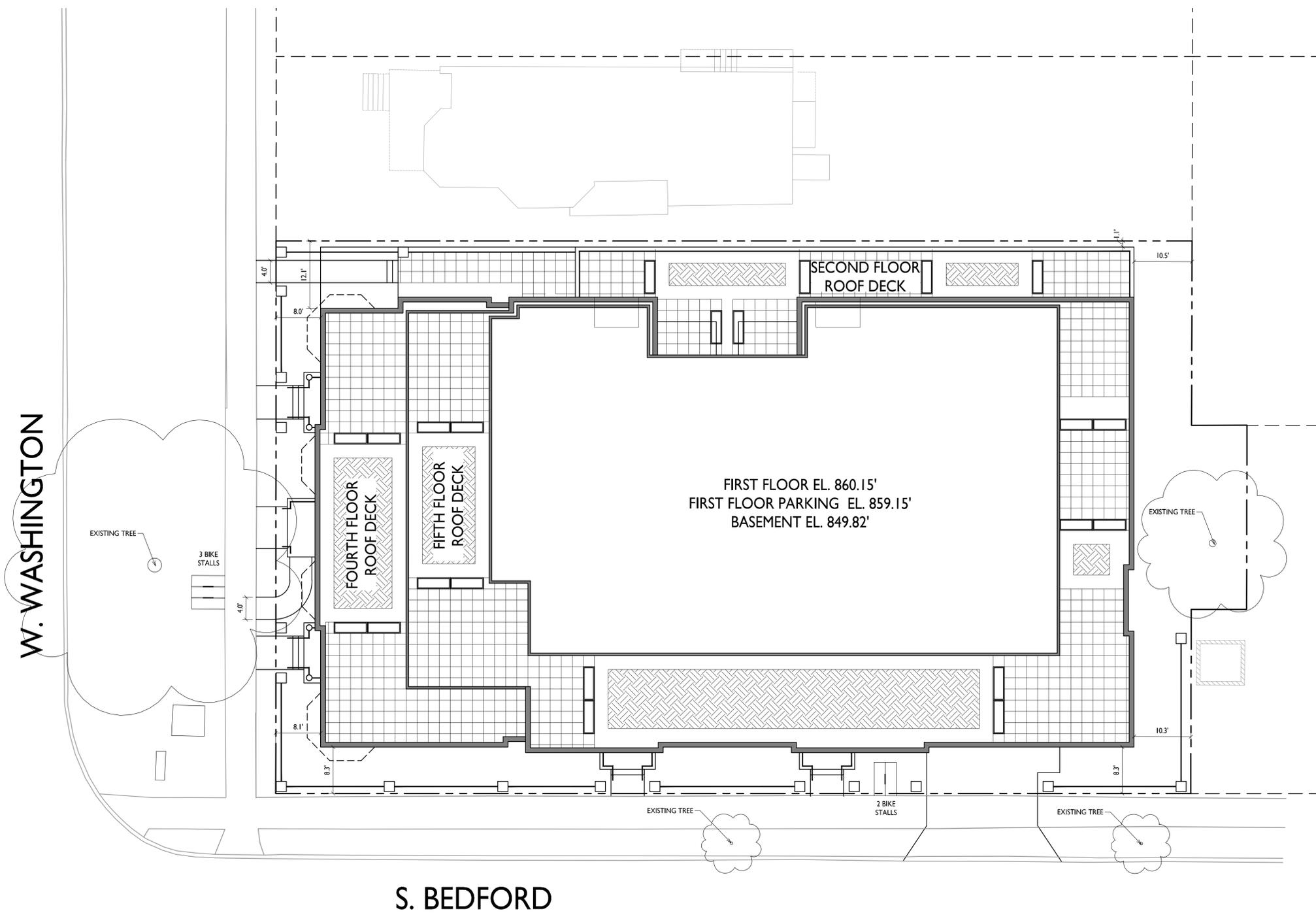
**SHEET INDEX**

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C-1.4	USABLE OPEN SPACE
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C-4.0	GRADING & EROSION CONTROL PLAN
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	ROOF TERRACES LANDSCAPE PLAN
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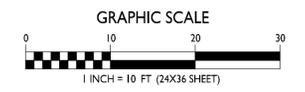
**SITE DEVELOPMENT DATA**

<b>DENSITIES:</b>	
LOT AREA	16,735 SF / .38 ACRES
DWELLING UNITS	45 DU
LOT AREA / D.U.	372 SF / UNIT
DENSITY	128 UNITS/ACRE
<b>BUILDING HEIGHT</b>	
	3-5 STORIES
<b>LOT COVERAGE</b>	
USABLE OPEN SPACE	13,747 S.F. = 82% (90% MAX.)
	6,348 S.F. ( 570 S.F. REQ'D)
<b>DWELLING UNIT MIX:</b>	
EFFICIENCY	12
ONE BEDROOM	21
TWO BEDROOM	12
TOTAL DWELLING UNITS	45
<b>VEHICLE PARKING:</b>	
FIRST FLOOR GARAGE	12 STALLS
UNDERGROUND	33 STALLS
TOTAL	45 STALLS
<b>BICYCLE PARKING:</b>	
SURFACE	5 STALLS
FIRST FLOOR GARAGE	6 STALLS
UNDERGROUND GARAGE	39 STALLS (STD. 2'X6')
TOTAL	50 STALLS

- GENERAL NOTES:**
1. THE APPLICANT SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
  2. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
  3. ALL DAMAGE TO THE PAVEMENT, ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
  4. EASEMENT LINES SHOWN ON THIS SHEET ARE FOR GENERAL REFERENCE ONLY - SEE CSM AND CIVIL SHEETS FOR ADDITIONAL AND MORE COMPLETE EASEMENT INFORMATION.
  5. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
  6. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.



**SITE PLAN**  
C-1.1  
1" = 10'-0"





**knothe-bruce**  
ARCHITECTS

Phone: 7601 University Ave, Ste 201  
608.836.3690 Middleton, WI 53562

ISSUED  
Issued for Land Use - June 20, 2018

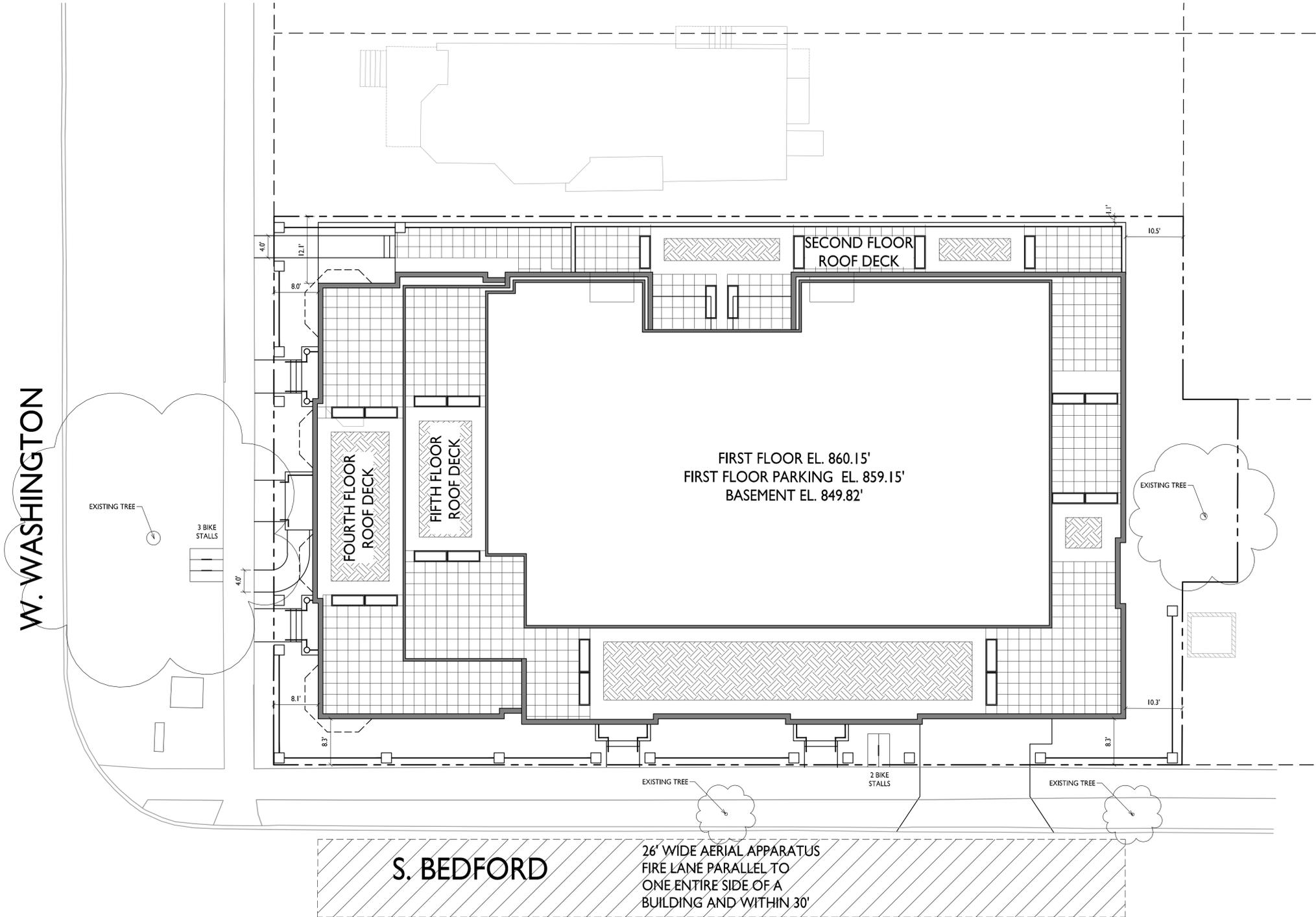
PROJECT TITLE  
**BAXTER**  
West Washington  
Development

555 W Washington Ave.  
SHEET TITLE  
**Fire Department  
Access Plan**

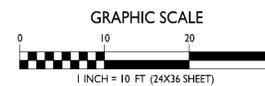
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**C-1.2**

PROJECT NO. **1713**  
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**FIRE DEPARTMENT ACCESS PLAN**  
1" = 10'-0"



**USABLE OPEN SPACE**

ZONING: UMX

REQUIRED OPEN SPACE: 10 S.F. / BEDROOM

DWELLING UNITS: 45      BEDROOMS: 57

10 X 57 = 570 S.F. OPEN SPACE REQUIRED

OPEN SPACE PROVIDED:

BALCONIES/ROOF TERRACES: 3,719 S.F.

SURFACE: 2,629 S.F.

TOTAL: 6,348 S.F.

ISSUED  
Issued for Land Use - June 20, 2018

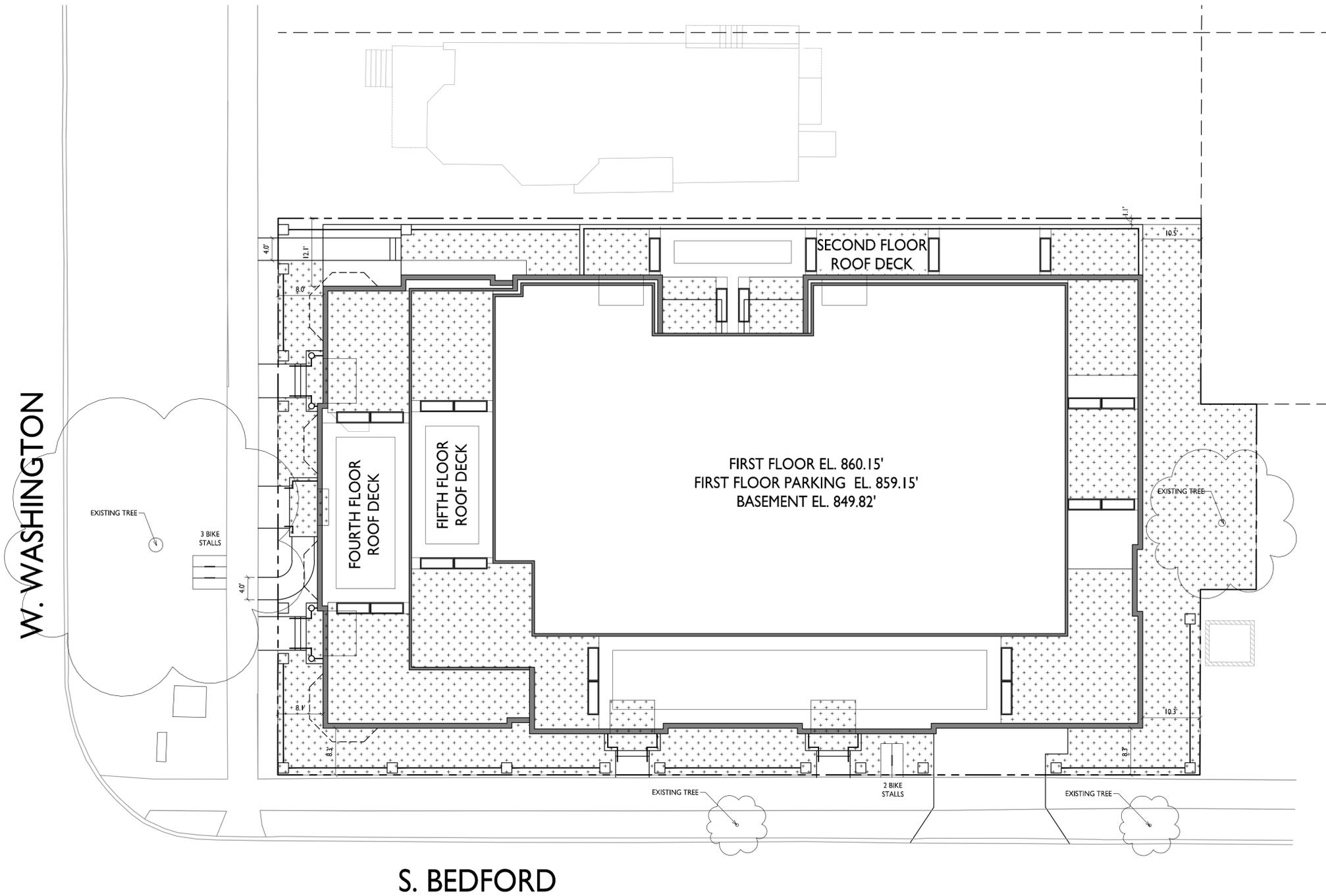
PROJECT TITLE  
**BAXTER**  
West Washington  
Development

555 W Washington Ave.  
SHEET TITLE  
**Usable Open  
Space**

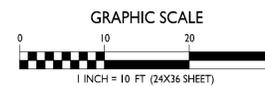
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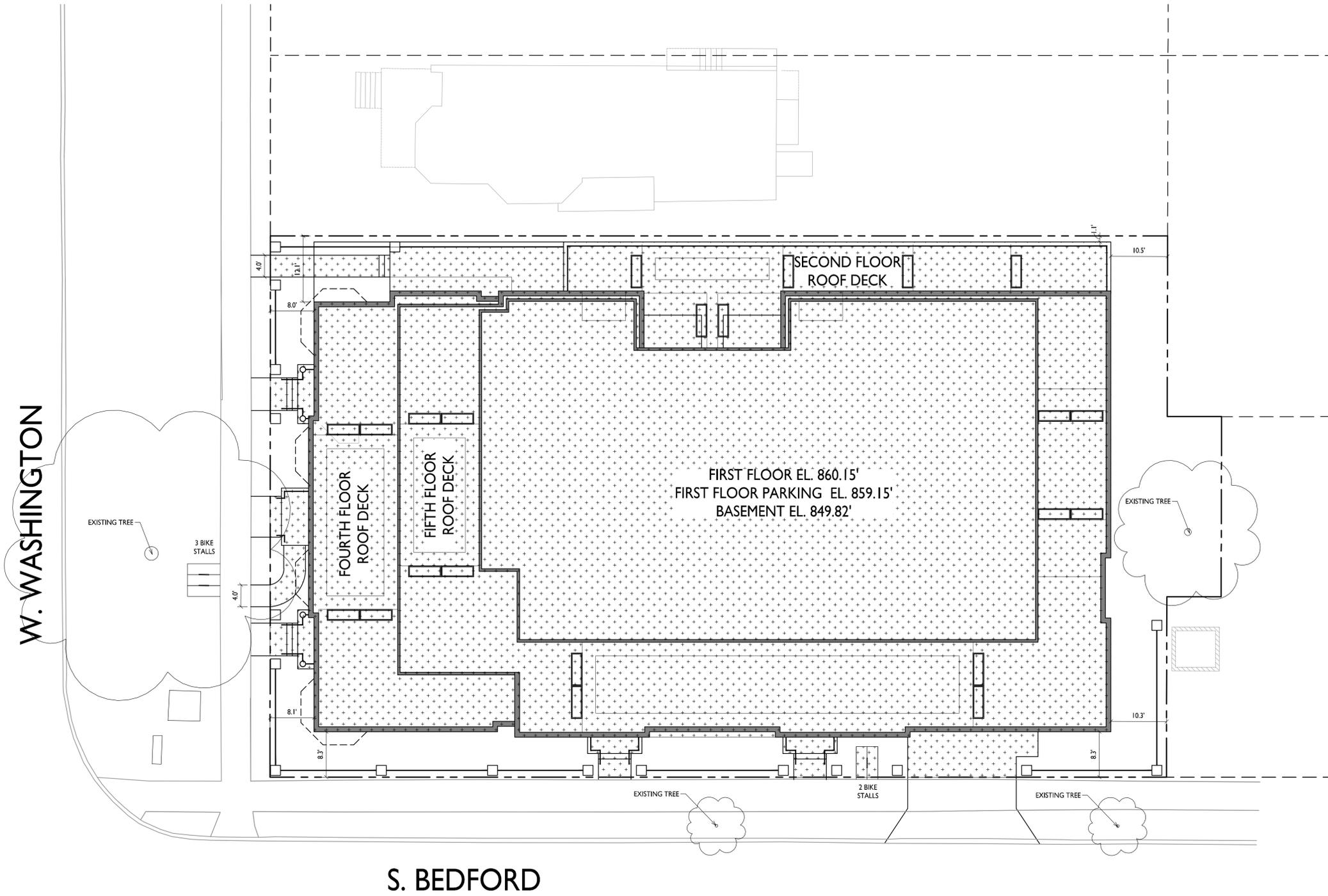
**C-1.3**

PROJECT NO. **1713**  
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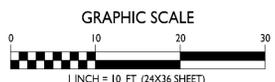
**USABLE OPEN SPACE**  
1" = 10'-0"

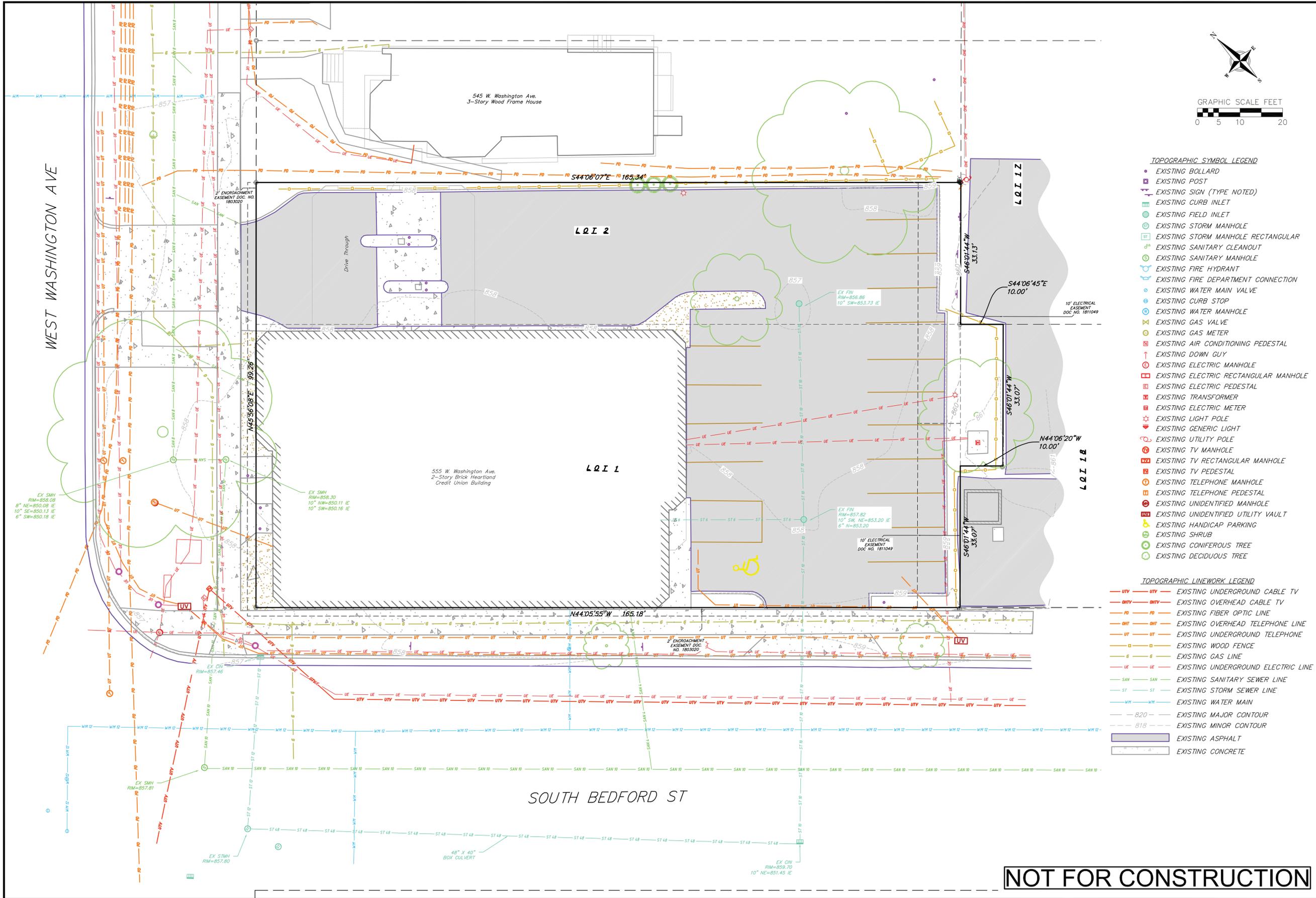




**LOT COVERAGE**

C-1.4 1" = 10'-0"





- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING BOLLARD
  - EXISTING POST
  - EXISTING SIGN (TYPE NOTED)
  - EXISTING CURB INLET
  - EXISTING FIELD INLET
  - EXISTING STORM MANHOLE
  - EXISTING STORM MANHOLE RECTANGULAR
  - EXISTING SANITARY CLEANOUT
  - EXISTING SANITARY MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING FIRE DEPARTMENT CONNECTION
  - EXISTING WATER MAIN VALVE
  - EXISTING CURB STOP
  - EXISTING WATER MANHOLE
  - EXISTING GAS VALVE
  - EXISTING GAS METER
  - EXISTING AIR CONDITIONING PEDESTAL
  - EXISTING DOWN GUY
  - EXISTING ELECTRIC MANHOLE
  - EXISTING ELECTRIC RECTANGULAR MANHOLE
  - EXISTING ELECTRIC PEDESTAL
  - EXISTING TRANSFORMER
  - EXISTING ELECTRIC METER
  - EXISTING LIGHT POLE
  - EXISTING GENERIC LIGHT
  - EXISTING UTILITY POLE
  - EXISTING TV MANHOLE
  - EXISTING TV RECTANGULAR MANHOLE
  - EXISTING TV PEDESTAL
  - EXISTING TELEPHONE MANHOLE
  - EXISTING TELEPHONE PEDESTAL
  - EXISTING UNIDENTIFIED MANHOLE
  - EXISTING UNIDENTIFIED UTILITY VAULT
  - EXISTING HANDICAP PARKING
  - EXISTING SHRUB
  - EXISTING CONIFEROUS TREE
  - EXISTING DECIDUOUS TREE
- TOPOGRAPHIC LINWORK LEGEND**
- UTV --- EXISTING UNDERGROUND CABLE TV
  - OHVTV --- EXISTING OVERHEAD CABLE TV
  - FO --- EXISTING FIBER OPTIC LINE
  - OHT --- EXISTING OVERHEAD TELEPHONE LINE
  - UT --- EXISTING UNDERGROUND TELEPHONE
  - W --- EXISTING WOOD FENCE
  - G --- EXISTING GAS LINE
  - UE --- EXISTING UNDERGROUND ELECTRIC LINE
  - SAN --- EXISTING SANITARY SEWER LINE
  - ST --- EXISTING STORM SEWER LINE
  - WM --- EXISTING WATER MAIN
  - 820 --- EXISTING MAJOR CONTOUR
  - 818 --- EXISTING MINOR CONTOUR
  - EXISTING ASPHALT
  - EXISTING CONCRETE

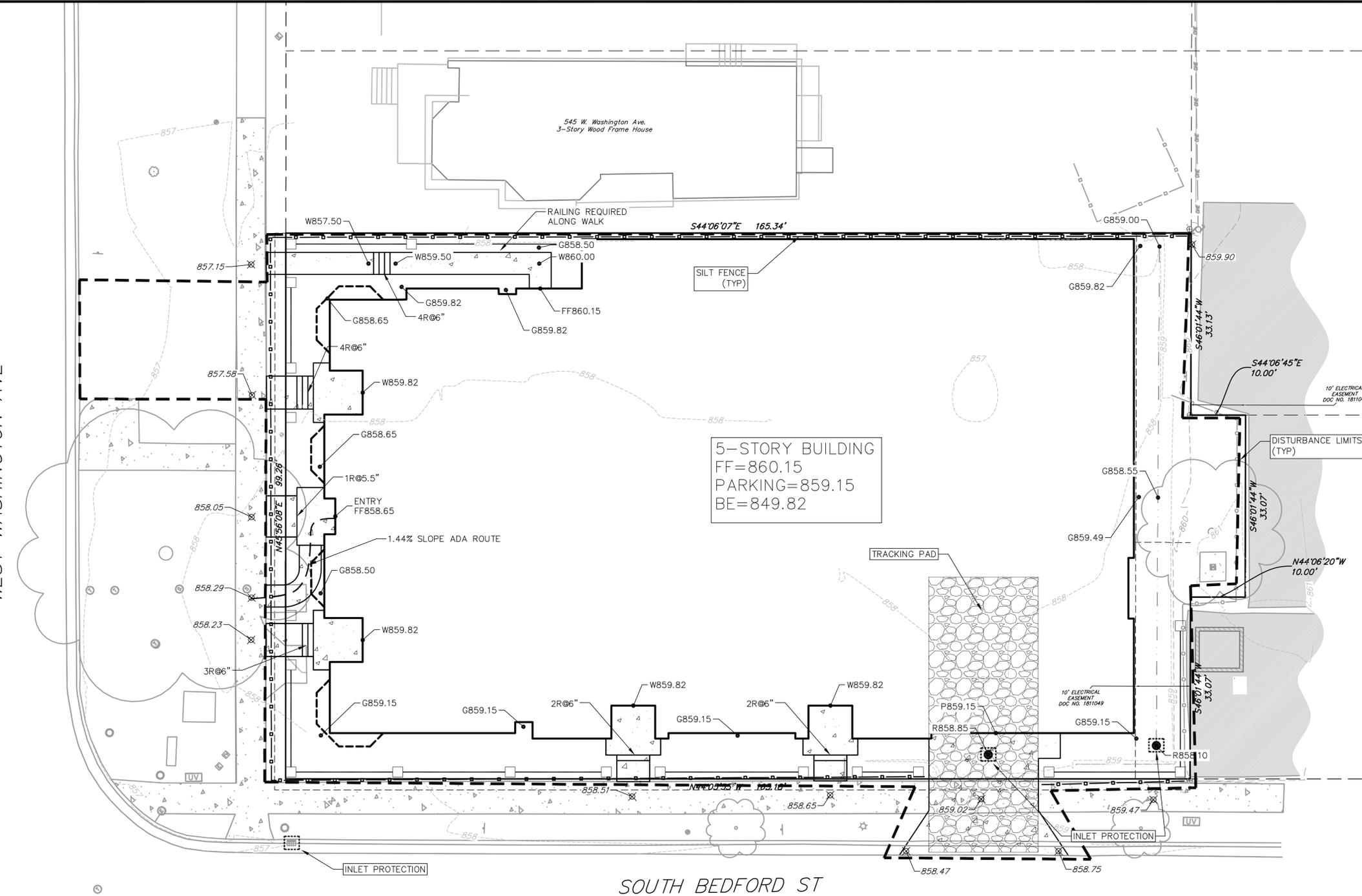
NO.	DATE	REVISIONS	REMARKS

**NOT FOR CONSTRUCTION**



WEST WASHINGTON AVE

SOUTH BEDFORD ST



**EROSION CONTROL NOTES:**

- CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
- INSTALL A 50'L X 20'W X 1.5'D TRACKING PAD AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- INSTALL WISDOT TYPE D INLET PROTECTION IN EXISTING CURB INLETS AND WISDOT TYPE A IN FIELD INLETS.
- ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING.
- THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT

ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.

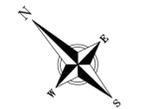
- SEE DETAIL SHEETS FOR ADDITIONAL EROSION CONTROL NOTES.

**RIGHT-OF-WAY WORK:**

- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS NECESSARY TO SERVE THE PROJECT ARE TO BE COMPLETED PER THE CITY ISSUED PLANS.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANYTIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPTS.

**GRADING PLAN/SITE CONSTRUCTION NOTES:**

- CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
- CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
- ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- TYPICAL SIDEWALK CROSS SECTION IS 1.5% SLOPE. THIS APPLIES TO ALL WALKWAYS IN THIS PLAN UNLESS OTHERWISE NOTED.



**GRADING AND EROSION CONTROL LEGEND**

- 820 - EXISTING MAJOR CONTOURS
- 818 - EXISTING MINOR CONTOURS
- - - - DITCH CENTERLINE
- - - - SILT FENCE/SILT SOCK
- - - - DISTURBED LIMITS
- - - - ADA ACCESSIBLE ROUTE
- - - - DRAINAGE DIRECTION
- - - - PROPOSED SLOPE ARROWS
- - - - EXISTING SPOT ELEVATIONS
- - - - PROPOSED SPOT ELEVATIONS
- - - - INLET PROTECTION
- - - - TRACKING PAD

**ABBREVIATIONS**

- TC - TOP OF CURB
- P - PAVEMENT
- W - TOP OF WALK
- R - RISER
- FF - FINISHED FLOOR
- G - GROUND
- FF - FINISHED FLOOR
- BE - BASEMENT ELEVATION
- R - RIM

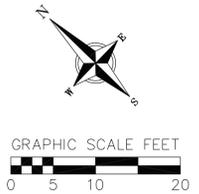
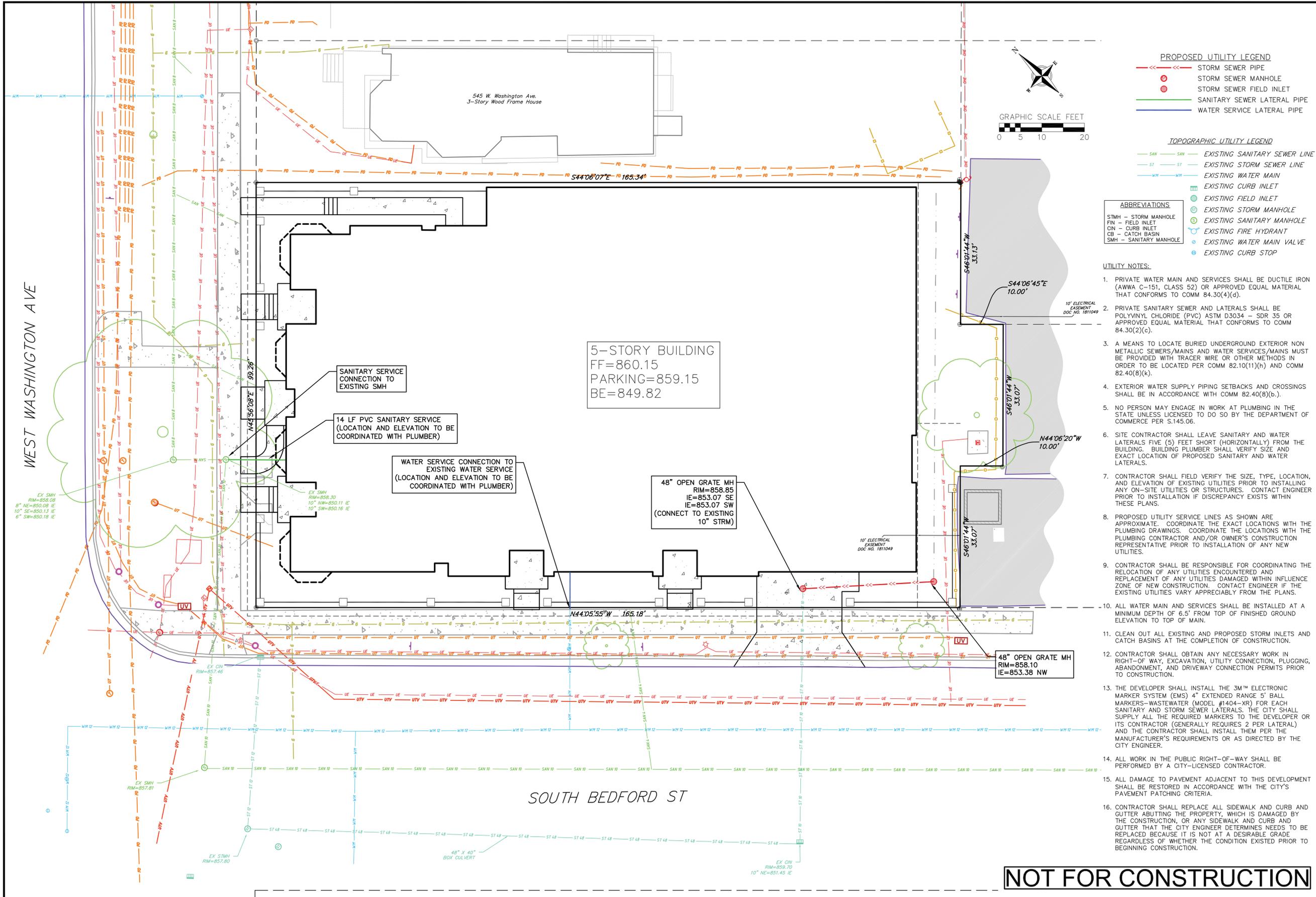


**Grading & Erosion Control Plan**  
 555 W. Washington Ave  
 City of Madison  
 Dane County, Wisconsin

NO.	DATE	REVISIONS	REMARKS

SCALE	AS SHOWN
DATE	06/20/2018
DRAFTER	JARC
CHECKED	JZAM
PROJECT NO.	180133
SHEET	3 OF 4
DWG. NO.	C-3.0

**NOT FOR CONSTRUCTION**



- PROPOSED UTILITY LEGEND**
- >>> STORM SEWER PIPE
  - STORM SEWER MANHOLE
  - STORM SEWER FIELD INLET
  - SANITARY SEWER LATERAL PIPE
  - WATER SERVICE LATERAL PIPE

- TOPOGRAPHIC UTILITY LEGEND**
- SAN EXISTING SANITARY SEWER LINE
  - ST EXISTING STORM SEWER LINE
  - WM EXISTING WATER MAIN
  - CI EXISTING CURB INLET
  - FI EXISTING FIELD INLET
  - EXISTING STORM MANHOLE
  - EXISTING SANITARY MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER MAIN VALVE
  - EXISTING CURB STOP

- ABBREVIATIONS**
- STMH - STORM MANHOLE
  - FI - FIELD INLET
  - CI - CURB INLET
  - CB - CATCH BASIN
  - SMH - SANITARY MANHOLE

- UTILITY NOTES:**
1. PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151, CLASS 52) OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(4)(d).
  2. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO COMM 84.30(2)(c).
  3. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER COMM 82.10(1)(h) AND COMM 82.40(8)(k).
  4. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH COMM 82.40(8)(b).
  5. NO PERSON MAY ENGAGE IN WORK AT PLUMBING IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF COMMERCE PER S.145.06.
  6. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE AND EXACT LOCATION OF PROPOSED SANITARY AND WATER LATERALS.
  7. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
  8. PROPOSED UTILITY SERVICE LINES AS SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
  9. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
  10. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
  11. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
  12. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
  13. THE DEVELOPER SHALL INSTALL THE 3M™ ELECTRONIC MARKER SYSTEM (EMS) 4" EXTENDED RANGE 5" BALL MARKERS--WASTEWATER (MODEL #1404-XR) FOR EACH SANITARY AND STORM SEWER LATERALS. THE CITY SHALL SUPPLY ALL THE REQUIRED MARKERS TO THE DEVELOPER OR ITS CONTRACTOR (GENERALLY REQUIRES 2 PER LATERAL) AND THE CONTRACTOR SHALL INSTALL THEM PER THE MANUFACTURER'S REQUIREMENTS OR AS DIRECTED BY THE CITY ENGINEER.
  14. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
  15. ALL DAMAGE TO PAVEMENT ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
  16. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

5-STORY BUILDING  
 FF=860.15  
 PARKING=859.15  
 BE=849.82

SANITARY SERVICE CONNECTION TO EXISTING SMH

14 LF PVC SANITARY SERVICE (LOCATION AND ELEVATION TO BE COORDINATED WITH PLUMBER)

WATER SERVICE CONNECTION TO EXISTING WATER SERVICE (LOCATION AND ELEVATION TO BE COORDINATED WITH PLUMBER)

48" OPEN GRATE MH  
 RIM=858.85  
 IE=853.07 SE  
 IE=853.07 SW  
 (CONNECT TO EXISTING 10" STRM)

48" OPEN GRATE MH  
 RIM=858.10  
 IE=853.38 NW

**NOT FOR CONSTRUCTION**

REVISIONS		NO.	DATE	REMARKS

SCALE AS SHOWN

DATE: 06/20/2018

DRAFTER: JARC

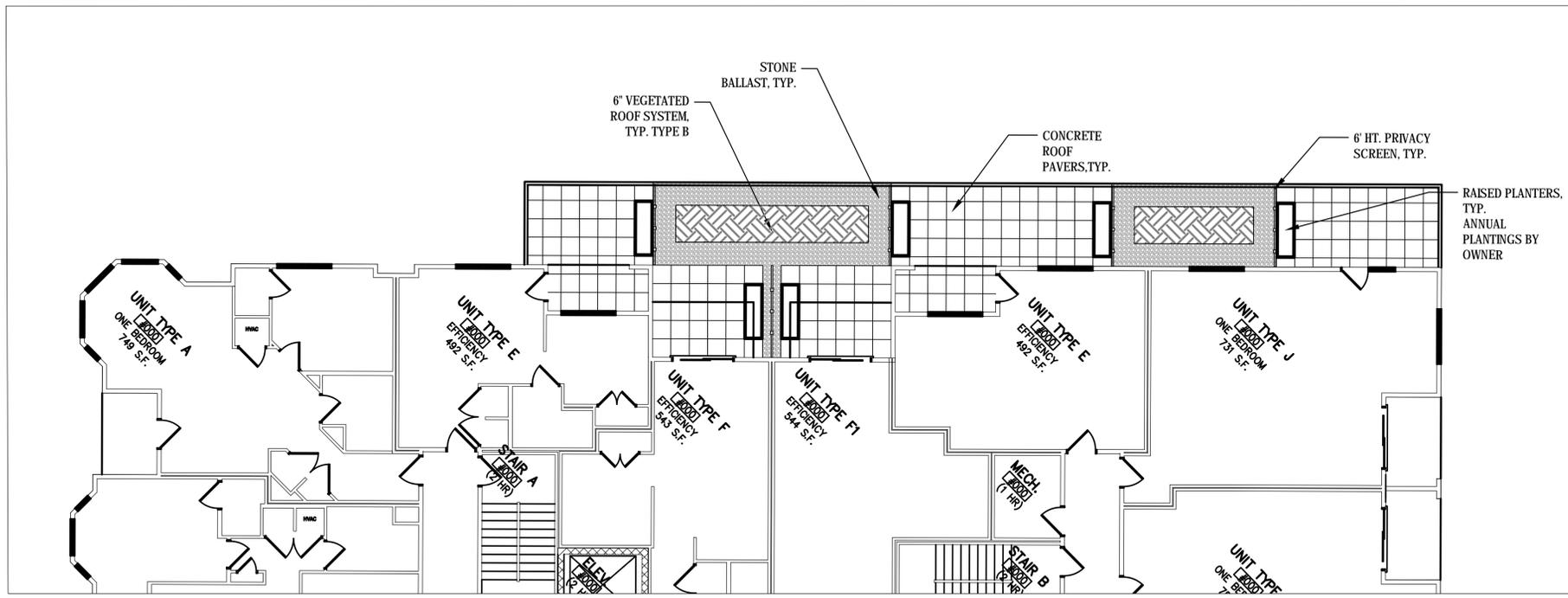
CHECKED: JZAM

PROJECT NO.: 180133

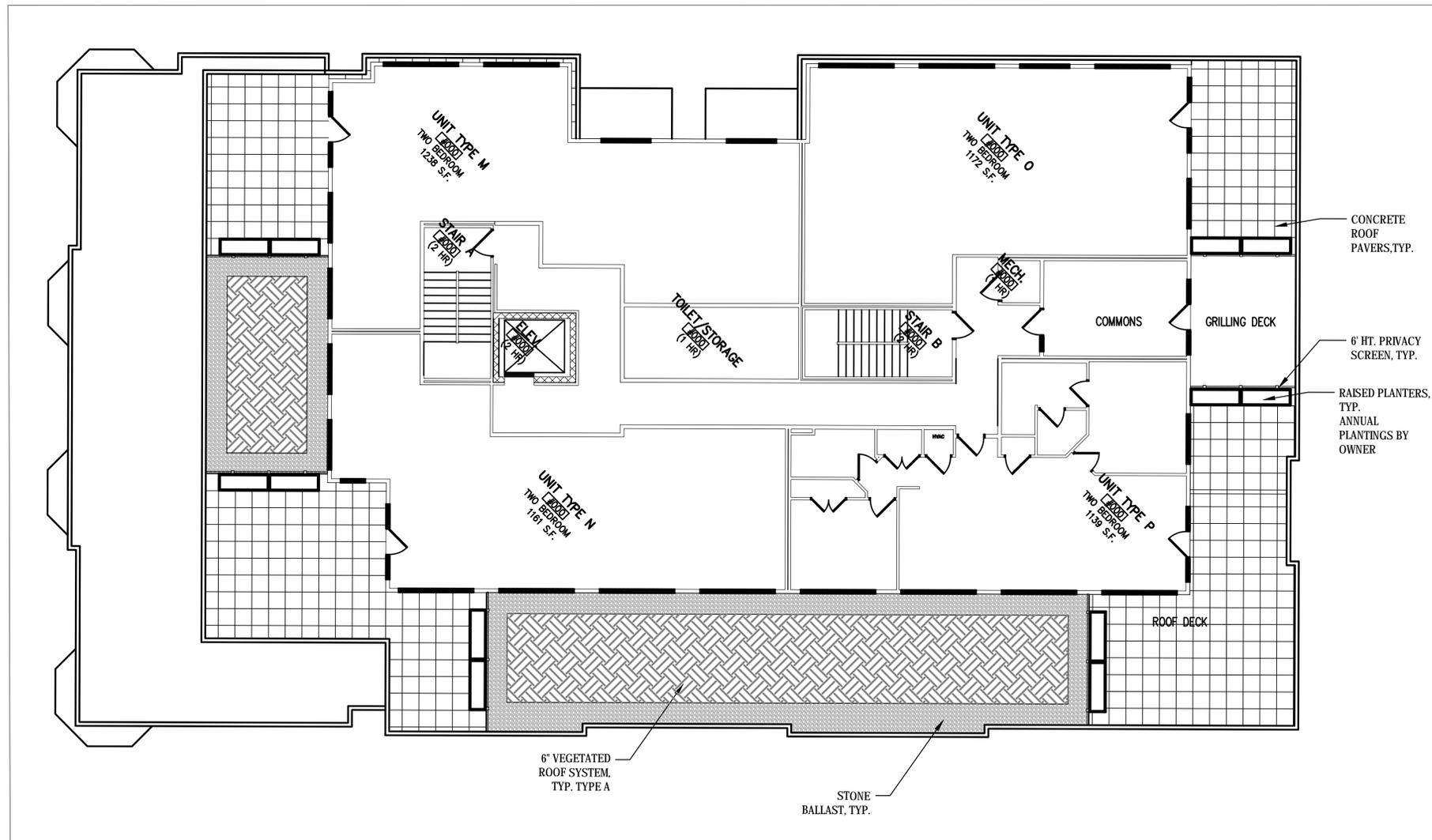
SHEET: 4 OF 4

DWG. NO.: C-4.0

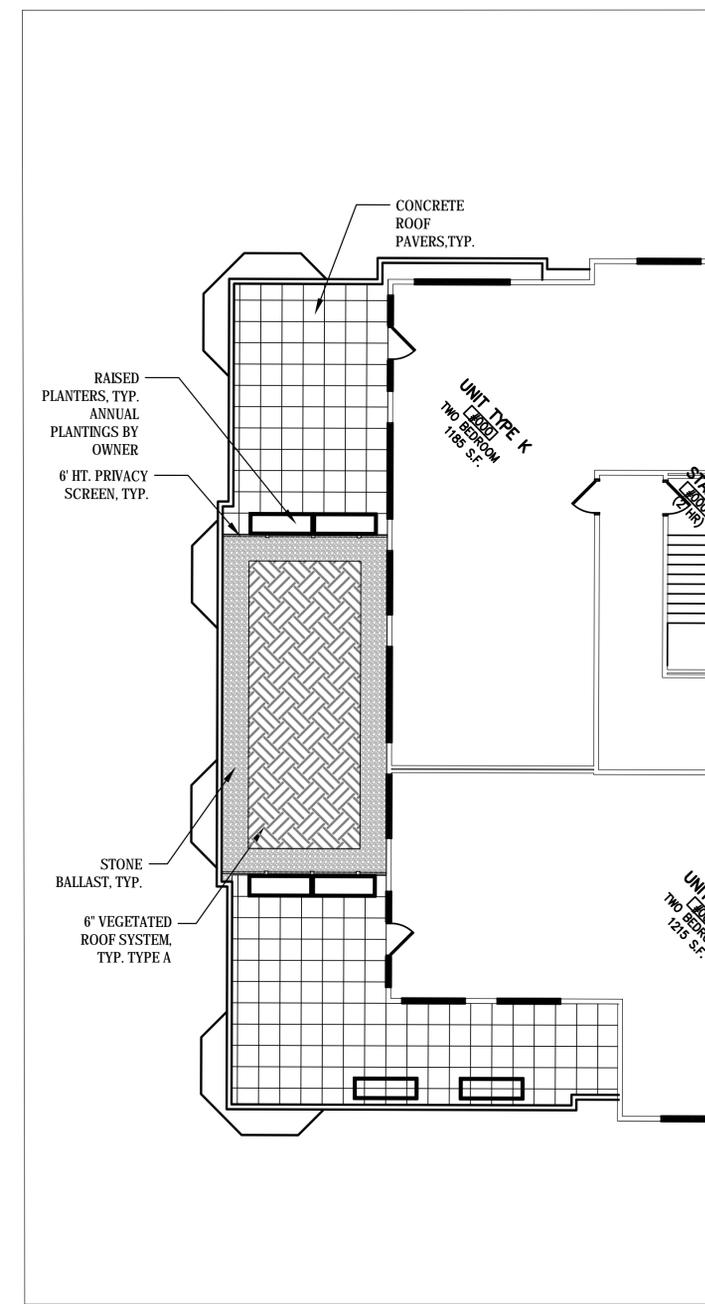




SECOND FLOOR TERRACE

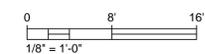


FIFTH FLOOR TERRACE



FOURTH FLOOR TERRACE

<b>Type A:</b>	
Propogated Sedum Tray 'Tough Extreme Mix' by Liveroof or approved equal. Interplant with 2.5" perennial plugs.	
<b>Perennial Plugs</b>	
Allium tanguticum 'Summer Beauty'	Summer Beauty Allium
Calamintha nepeta 'Montrose White'	Montrose White Calamint
Sedum kamschaticum 'Takahira Dake'	Takahira Dake Stonecrop
Sedum spectabilie 'Neon'	Neon Stonecrop
Sesleria autumnalis	Autumn Moor Grass
<b>Type B:</b>	
Propogated Sedum Tray 'Shade Serene Mix' by Liveroof or approved equal. Interplant with 2.5" perennial plugs.	
<b>Perennial Plugs</b>	
Geranium maculatum	Wild Geranium
Heuchera villosa var. atropurpurea	Maple-leaved Alum Root
Smilacina racemosa	False Solomon's Seal
Dryopteris marginalis	Leatherleaf Woodfern
Tiarella cordifolia	Foamflower





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ARCHITECTS

Phone: 7601 University Ave, Ste 201  
608.836.3690 Middleton, WI 53562

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Issued for Land Use - June 20, 2018

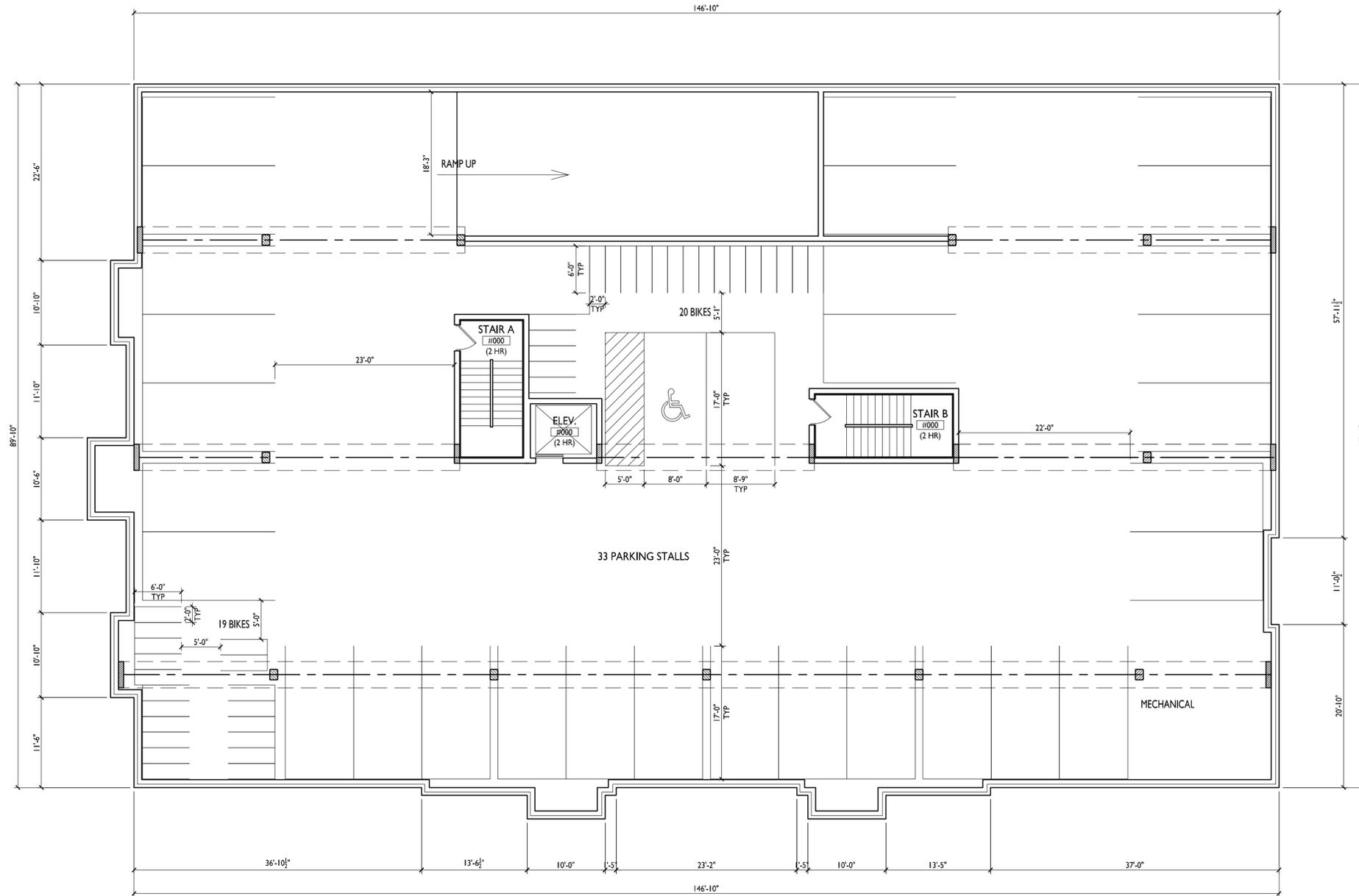
PROJECT TITLE  
**BAXTER**  
West Washington  
Development

555 W Washington Ave.  
SHEET TITLE  
**Basement Plan**

SHEET NUMBER

**A-1.0**

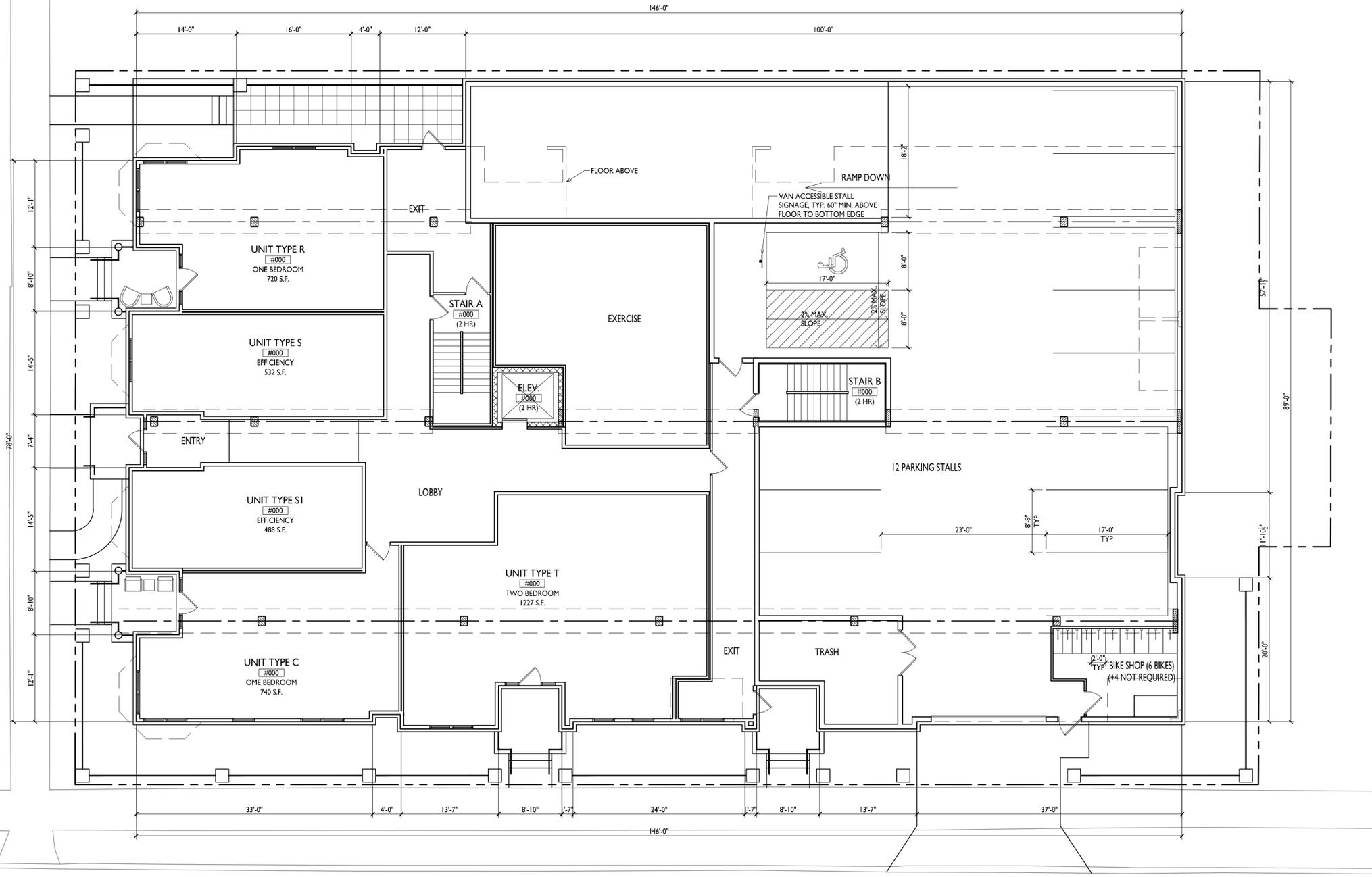
PROJECT NO. **1713**  
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**I** BASEMENT PLAN  
A-1.0 1/8"=1'-0"



W. WASHINGTON



S. BEDFORD



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ARCHITECTS

Phone: 7601 University Ave, Ste 201  
608.836.3690 Middleton, WI 53562

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PROJECT TITLE  
**BAXTER**  
West Washington  
Development

555 W Washington Ave.  
SHEET TITLE  
First Floor Plan

SHEET NUMBER

**A-1.1**

PROJECT NO. **1713**  
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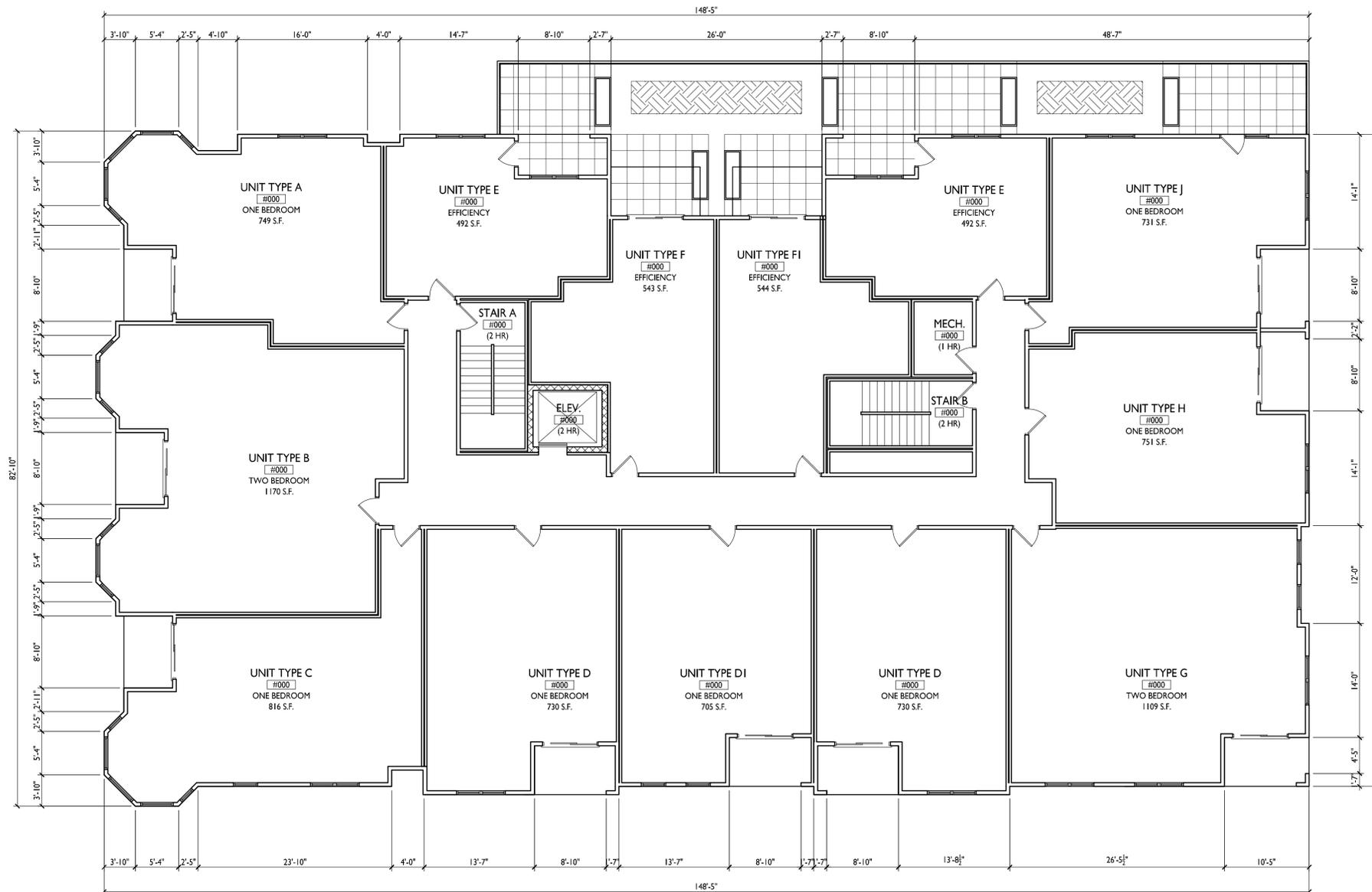
**I** FIRST FLOOR PLAN  
A-1.1 1/8"=1'-0"





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608.836.3690 Middleton, WI 53562



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PROJECT TITLE

**BAXTER**

West Washington  
Development

555 W Washington Ave.

SHEET TITLE

**Second Floor Plan**

SHEET NUMBER

**A-1.2**

PROJECT NO.

**1713**

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**I SECOND FLOOR PLAN**  
A-1.2 1/8"=1'-0"





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Issued for Land Use - June 20, 2018

PROJECT TITLE  
**BAXTER**  
West Washington  
Development

555 W Washington Ave.  
SHEET TITLE  
**Third Floor Plan**

SHEET NUMBER

**A-1.3**

PROJECT NO. **1713**  
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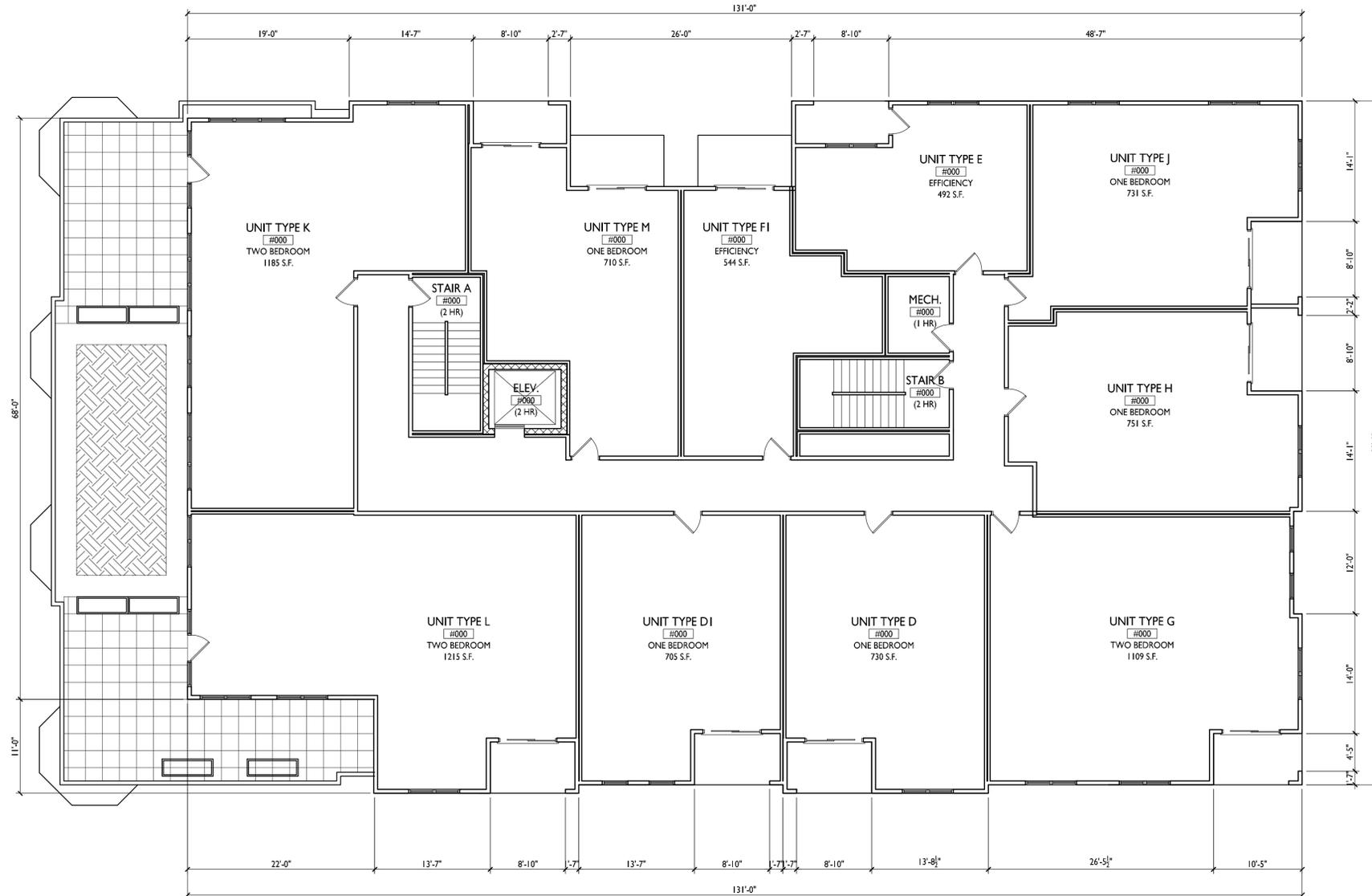
**THIRD FLOOR PLAN**  
1/8"=1'-0"





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ARCHITECTS

Phone: 7601 University Ave, Ste 201  
608.836.3690 Middleton, WI 53562



ISSUED  
Issued for Land Use - June 20, 2018

PROJECT TITLE  
**BAXTER**  
West Washington  
Development

555 W Washington Ave.  
SHEET TITLE  
**Fourth Floor Plan**

SHEET NUMBER

**FOURTH FLOOR PLAN**  
A-1.5 1/8"=1'-0"



**A-1.4**

PROJECT NO. **1713**  
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Issued for Land Use - June 20, 2018

PROJECT TITLE  
**BAXTER**  
West Washington  
Development

555 W Washington Ave.  
SHEET TITLE  
**Fifth Floor Plan**

SHEET NUMBER

**A-1.5**

PROJECT NO. **1713**  
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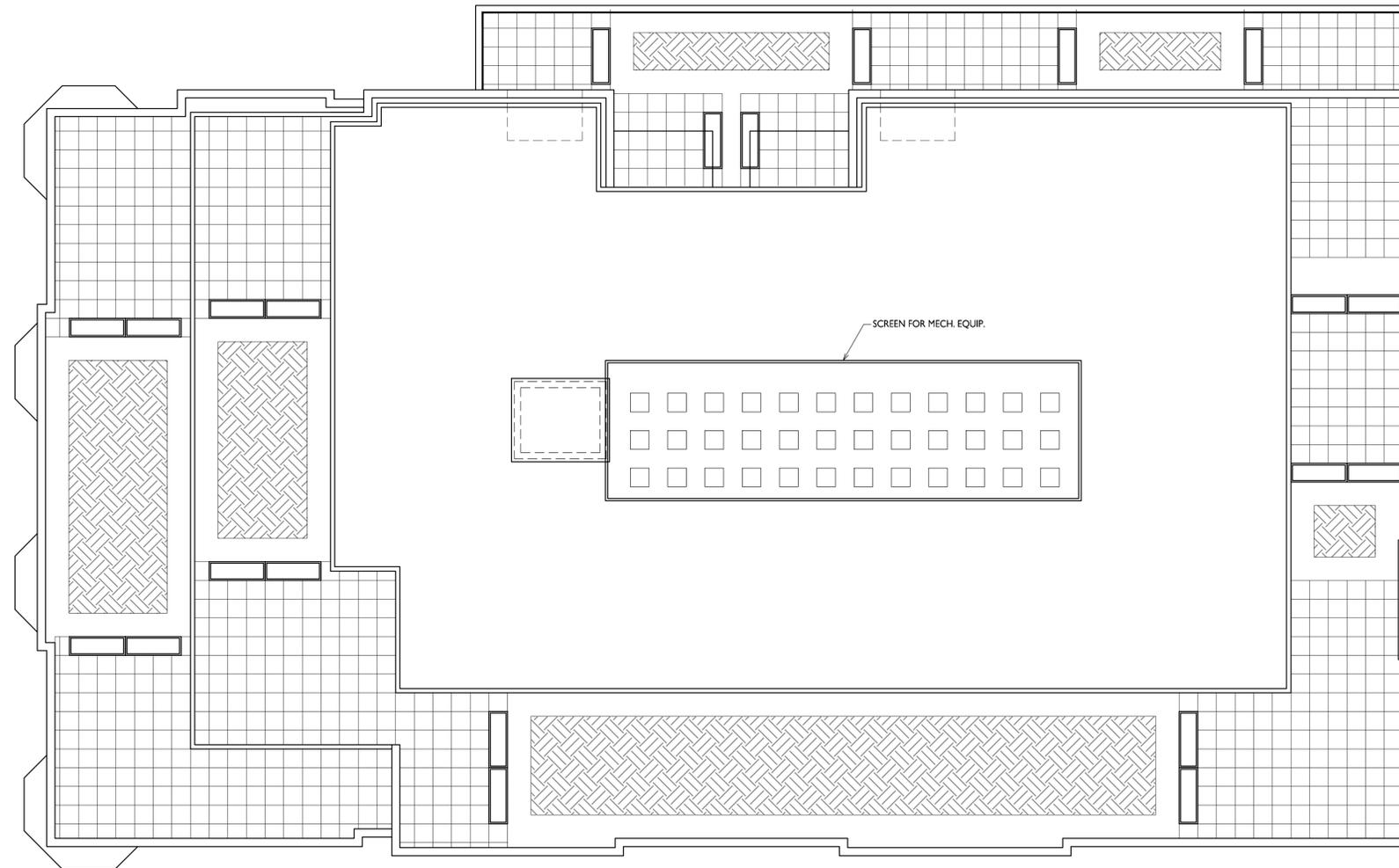
**FIFTH FLOOR PLAN**  
A-1.5 1/8"=1'-0"





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ISSUED  
Issued for Land Use - June 20, 2018

PROJECT TITLE  
**BAXTER**  
West Washington  
Development

555 W Washington Ave.  
SHEET TITLE  
**Roof Plan**

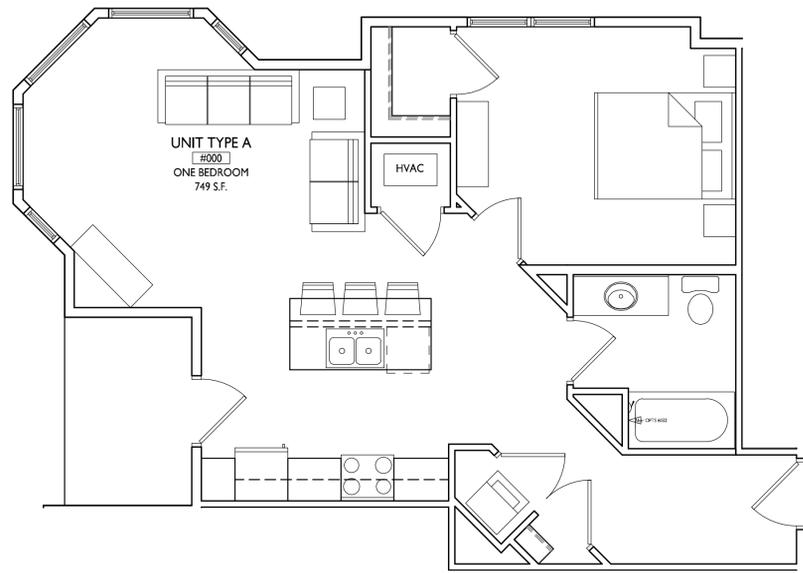
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**A-1.6**

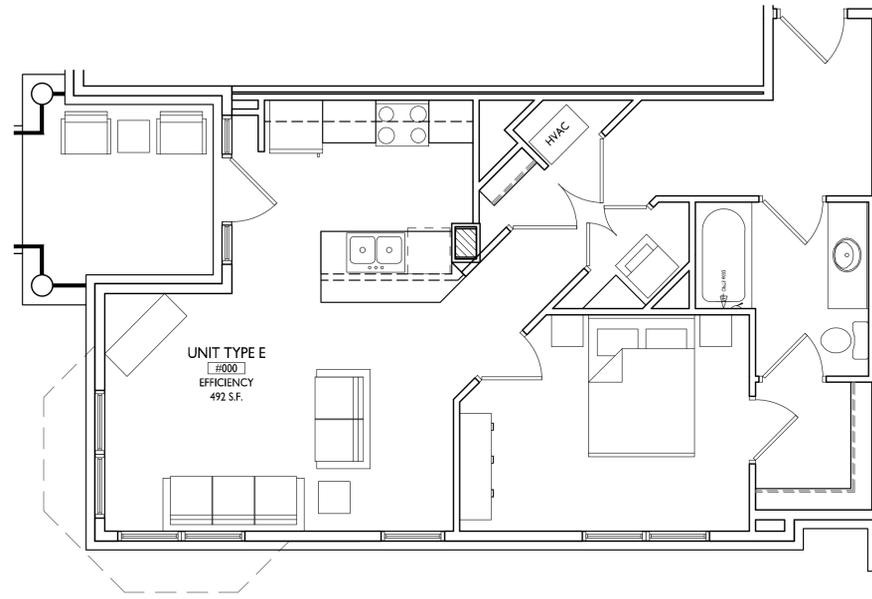
PROJECT NO. **1713**  
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**ROOF PLAN**  
A-1.6 1/8"=1'-0"

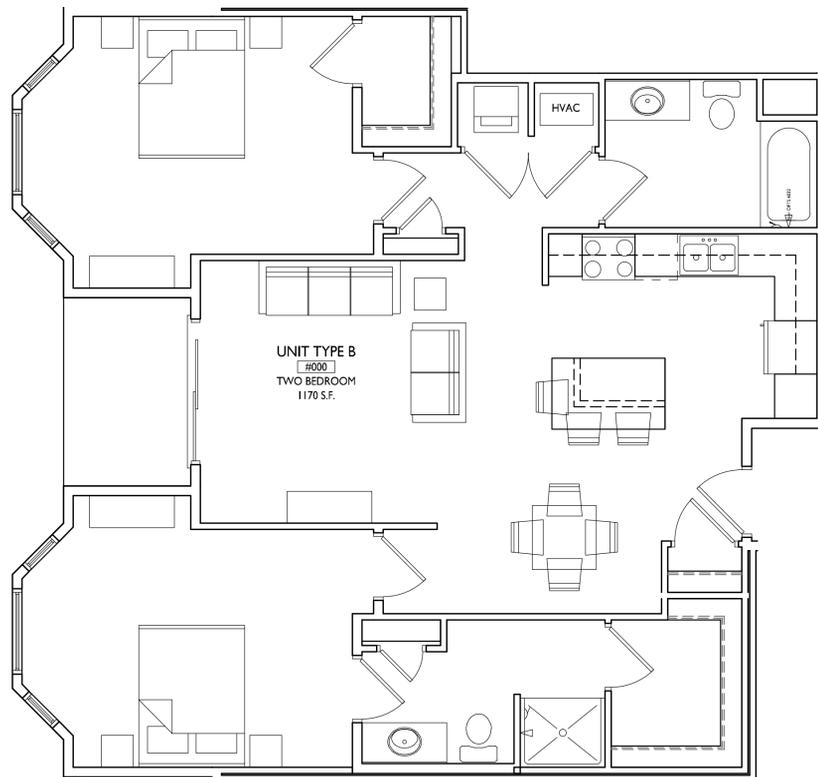




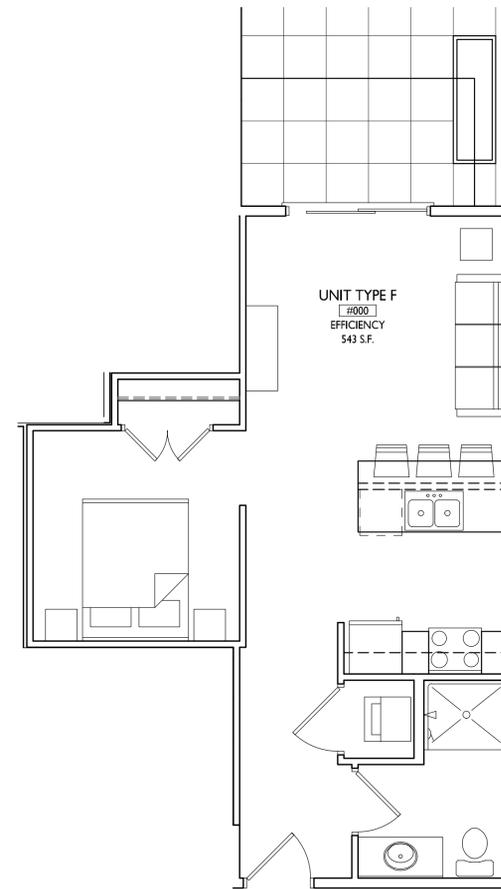
4 UNIT TYPE A  
A-5.1 1/4"=1'-0"



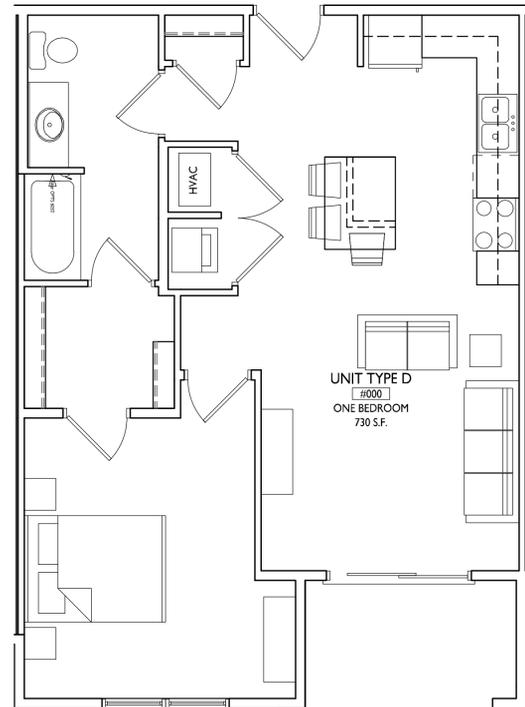
3 UNIT TYPE E  
A-5.1 1/4"=1'-0"



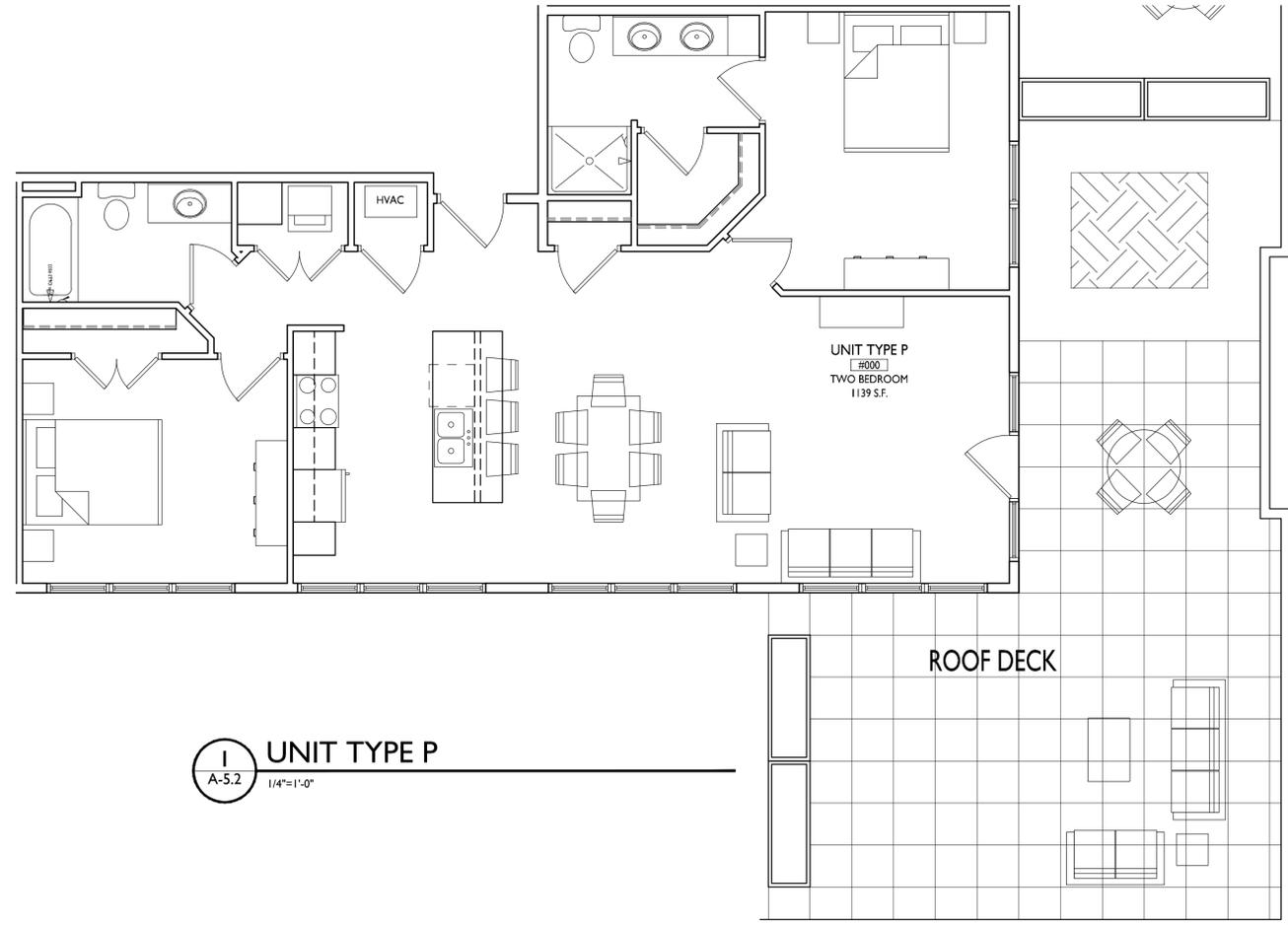
2 UNIT TYPE B  
A-5.1 1/4"=1'-0"



1 UNIT TYPE F  
A-5.1 1/4"=1'-0"



**2** UNIT TYPE D  
A-5.2 1/4"=1'-0"



**1** UNIT TYPE P  
A-5.2 1/4"=1'-0"

ISSUED  
Issued for Land Use - June 20, 2018

PROJECT TITLE  
**BAXTER**  
West Washington  
Development

555 W Washington Ave.  
SHEET TITLE  
**Typical Unit Plans**

SHEET NUMBER

**A-5.2**

PROJECT NO. **1713**  
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ROOFTOP SCREENING SYSTEM



1 NorthEast  
A-2.1 1/16" = 1'-0"

ISSUED  
Issued for Land  
Use - June 20,  
2018

PROJECT TITLE



2 NorthWest  
A-2.1 1/16" = 1'-0"

SHEET TITLE  
Exterior  
Elevations

SHEET NUMBER

A-2.1



2 SouthWest  
 A-2.2 1/16" = 1'-0"



1 SouthEast  
 A-2.2 1/16" = 1'-0"

ISSUED  
 Issued For Land  
 Use - June 20,  
 2018

PROJECT TITLE

SHEET TITLE  
 Exterior  
 Elevations

SHEET NUMBER

A-2.2



555 West Washington  
June 20, 2018



555 West Washington  
June 20, 2018



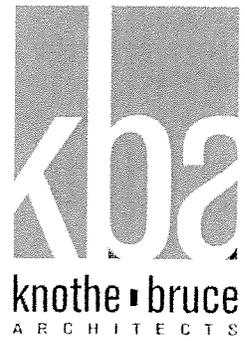
555 West Washington  
June 20, 2018



555 West Washington  
June 20, 2018



555 West Washington  
June 20, 2018



July 2, 2018

Ms. Janine Glaeser  
Urban Design Committee  
City of Madison  
146 S. Hamilton Street  
PO Box 2985  
Madison, Wisconsin 53701

Re: Letter of Intent  
555 W. Washington Ave.  
**KBA Project #1713**

Ms. Janine Glaeser:

The exterior lighting will be a combination of wall sconces and downlights. We are required to provide illumination at each exit door to light the exit pathway. The main entry will have a recessed downlight and each balcony/patio will have a wall sconce light fixture. The exact light fixtures are yet to be determined.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kevin Burow'.

Kevin Burow, AIA



**1**  
A-2.1  
NORTHEAST ELEVATION  
1/8"=1'-0"

ISSUED  
Issued for Review - June 1, 2018  
Issued for UDC Supplement - July 2, 2018



**2**  
A-2.1  
NORTHWEST ELEVATION  
ALONG WEST WASHINGTON  
1/8"=1'-0"

PROJECT TITLE

555 W Washington Ave.  
SHEET TITLE  
Exterior Elevations

EXTERIOR MATERIAL SCHEDULE	
BRICK	BRAMPTON - MORGAN - QUEEN SIZE
STONE MASONRY	CORDOVA - BUFF
PANELS & TRIM	COMPOSITE SIDING - DARK BRONZE
WINDOWS	FIBREX - DARK BRONZE
RAILING	ALUMINUM - DARK BRONZE
FACIA	ALUMINUM - MATCH TRIM

SHEET NUMBER

**A-2.1**

PROJECT NO. 1713

**TYPICAL MATERIALS**

- ALUMINUM WRAPPED FACIA
- COMPOSITE TRIM
- COMPOSITE METAL PANELS
- BRICK VENEER
- ALUMINUM RAILINGS
- VINYL WINDOWS
- CAST STONE SILLS & BANDS
- MASONRY UNITS
- MASONRY BANDS



**2**  
A-2.2  
1/8"=1'-0"

**SOUTHWEST ELEVATION  
ALONG SOUTH BEDFORD STREET**

**TYPICAL MATERIALS**

- ALUMINUM WRAPPED FACIA
- COMPOSITE TRIM
- COMPOSITE METAL PANELS
- BRICK VENEER
- ALUMINUM RAILINGS
- VINYL WINDOWS
- CAST STONE SILLS & BANDS
- COMPOSITE SIDING
- MASONRY BANDS



**1**  
A-2.2  
1/8"=1'-0"

**SOUTHEAST ELEVATION**

EXTERIOR MATERIAL SCHEDULE	
BRICK	BRAMPTON - MORGAN - QUEEN SIZE
STONE MASONRY	CORDOVA - BUFF
PANELS & TRIM	COMPOSITE SIDING - DARK BRONZE
WINDOWS	FIBREX - DARK BRONZE
RAILING	ALUMINUM - DARK BRONZE
FACIA	ALUMINUM - MATCH TRIM

ISSUED  
Issued for Review - June 1, 2018  
Issued for UDC Supplement - July 2, 2018

PROJECT TITLE

555 W Washington Ave.  
SHEET TITLE  
**Exterior  
Elevations**

SHEET NUMBER

**A-2.2**

PROJECT NO. **1713**  
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