

CATALINA CROSSING  
APARTMENTS

4525 Secret Garden Drive  
Madison, Wisconsin



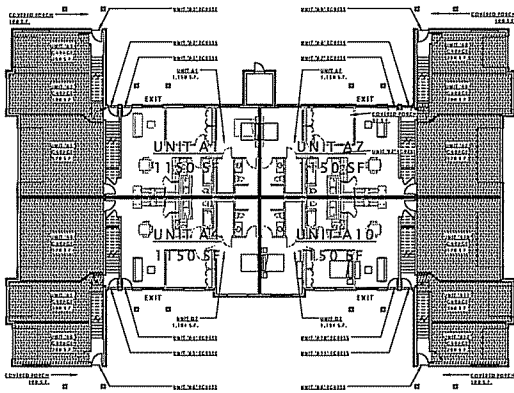
CONDITIONAL USE SUBMITTAL

**JLA**  
architects

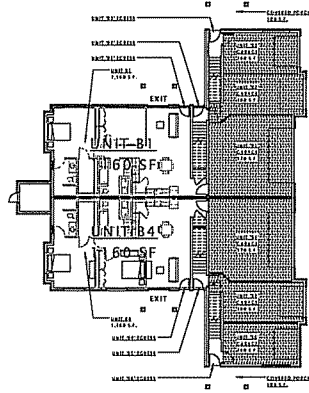
JLA PROJECT NUMBER: 14-1103

04 FEBRUARY 2015

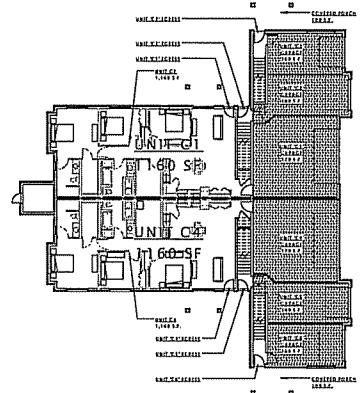




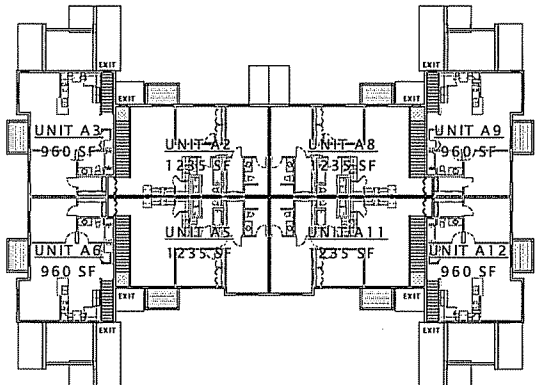
7 FIRST FLOOR PLAN - BUILDING 'A'  
1/16" = 1'-0"



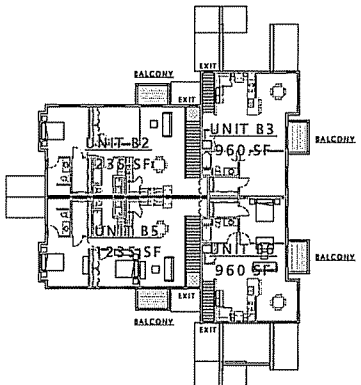
8 FIRST FLOOR PLAN - BUILDING 'B'  
1/16" = 1'-0"



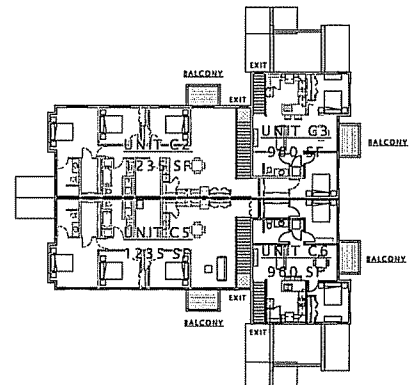
9 FIRST FLOOR PLAN - BUILDING 'C'  
1/16" = 1'-0"



10 SECOND FLOOR PLAN - BUILDING 'A'  
1/16" = 1'-0"



13 SECOND FLOOR PLAN - BUILDING 'B'  
1/16" = 1'-0"



14 SECOND FLOOR PLAN - BUILDING 'C'  
1/16" = 1'-0"

**LIFE SAFETY LEGEND**

INCIDENTAL USE AREAS SEPARATED WITH FIRE BARRIERS PER 2009 IBC TABLE 508.2.5

**NOTES:**

- ALL RESIDENTIAL UNITS ARE SEPARATED WITH 1 HR RATED FIRE PARTITIONS.

EXIT TRAVEL DISTANCE - "B" BUILDING		
Unit ID	Travel Distance	Distance

**JLA**  
ARCHITECTS

JOSEPH LEE & ASSOCIATES  
2410 CENTRAL EXPRESS DRIVE, SUITE 200  
MILWAUKEE, WISCONSIN 53212  
TEL: 414.224.1100 FAX: 414.224.1101  
WWW.JLA-ARCHITECTS.COM

AA PROJECT NUMBER: 14-0130

DECKER PROPERTIES, INC.

CATALINA CROSSING APARTMENTS

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional dates. These are not final construction documents and should not be used for final building or construction-related purposes.

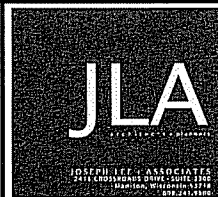
DATE OF ISSUANCE		04 FEBRUARY 2015	
Revision Schedule			
Mark	Description		Date

**SHEET TITLE**

CODE INFORMATION

**SHEET NUMBER**

G002



JLA PROJECT NUMBER: 14-1103

D'OHORIO KOTTRK AND ASSOCIATES, INC.  
 7530 Westview Way, Madison, WI 53717  
 Phone 608.833.7530 • Fax 608.833.1089  
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DECKER PROPERTIES, INC.

CATALINA CROSSING  
 PROGRESS SET

**PROGRESS DOCUMENTS**  
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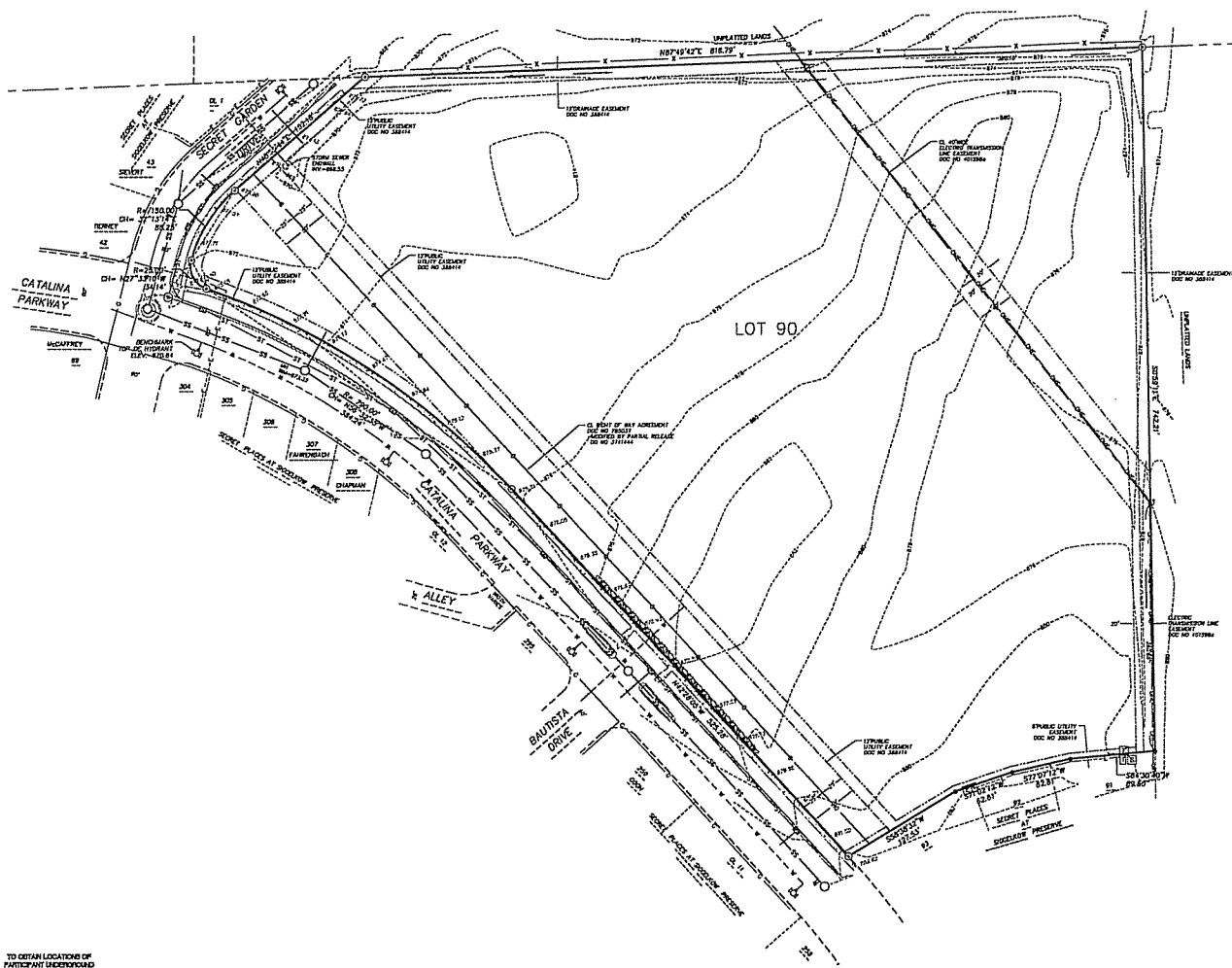
DATE OF ISSUANCE: 04 FEBRUARY 2015

Mark	Description	Date

SHEET TITLE: EXISTING CONDITIONS

SHEET NUMBER: C100

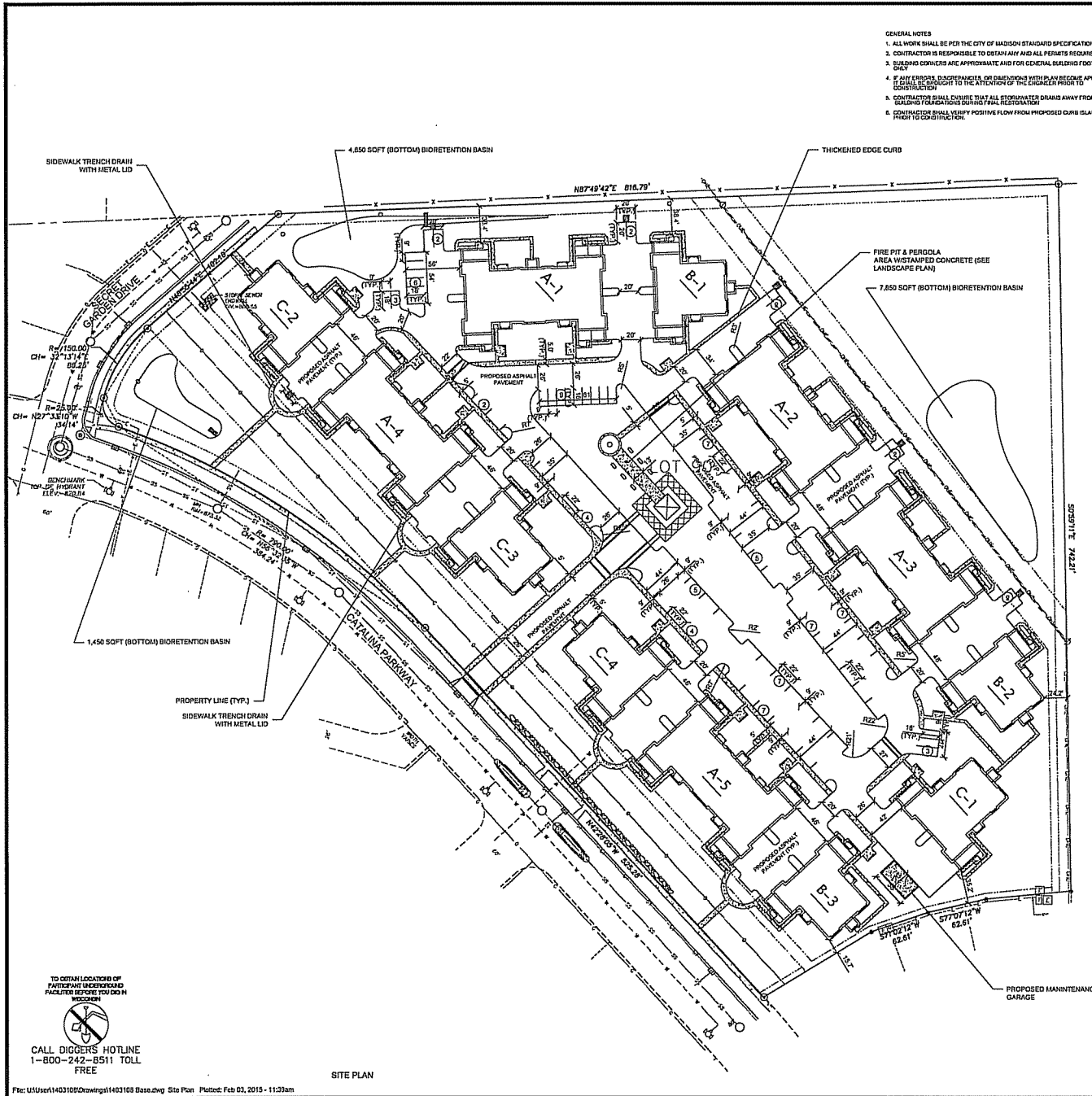
- LEGEND**
- FOUND 1-1/4" RIM REBAR
  - FOUND 3/4" RIM REBAR
  - UNDERGROUND ELECTRIC
  - SANITARY SEWER
  - WATER MAIN
  - GAS MAIN
  - OVERHEAD ELECTRIC
  - STORM SEWER
  - ELECTRIC TRANSFORMER
  - TELEPHONE PEDESTAL
  - MANHOLE
  - CATCH BASIN/PALET
  - PUMP POLE
  - HYDRANT
  - CONCRETE
  - BOLLARD RETAINING WALL
  - CONC. CURB
  - DRAINAGE DIRECTION (SEE NOTE 9)
  - EXISTING CONTOUR



TO OBTAIN LOCATIONS OF PARTICULAR UNDERGROUND FACILITIES BEFORE YOU DIG, WE COVER  
 CALL DIGGERS HOTLINE  
 1-800-242-8511 TOLL FREE

EXISTING CONDITIONS





- GENERAL NOTES**
1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
  2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
  3. BUILDING FOOTPRINTS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY
  4. IF ANY ERRORS, DISCREPANCIES, OR DIMENSIONS WITH PLAN BECOME APPARENT, CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
  5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOOTPRINTS DURING FINAL REGISTRATION.
  6. CONTRACTOR SHALL VERIFY POSITIVE FLOW FROM PROPOSED CURB ISLANDS PRIOR TO CONSTRUCTION.

**LEGEND**

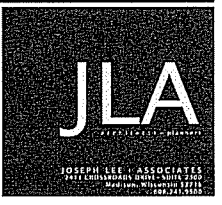
- CONCRETE PAVEMENT
- FIRE LANE ACCESS (30' WIDE LANE AT ALL POINTS & ALL INSIDE TURNING RADI ARE 28' AS REQUIRED)

**EXISTING CONDITIONS LEGEND**

- FOUND 3/4" SOLID ROUND IRON STAKE
- UNDERGROUND ELECTRIC
- SANITARY SEWER
- WATER MAIN
- GAS MAIN
- OVERHEAD ELECTRIC
- TELECOMMUNICATION LINE
- STEEL PIPE
- ELECTRIC TRANSFORMER
- TELEPHONE PEDESTAL
- MANHOLE
- CATCH BASIN/VALET
- POWER POLE
- LIGHT POLE
- GAS METER
- VALVE
- HYDRANT
- GUY WIRE
- CONCRETE
- SHOULDER RETAINING WALL
- CHAIN-LINK FENCE
- CONC. CURB
- EXISTING CONTOUR
- TOP OF CURB SPOT ELEVATION (0 DECIMAL PT.)
- SPOT ELEVATION (0 DECIMAL PT.)
- "RECORDED AS" INFORMATION

**SITE PLAN INFORMATION BLOCK**  
CATALINA CROSSING

LOT AREA	7.81 AC ±
EXISTING TOTAL IMPERVIOUS AREA	0 SF ±
PROPOSED TOTAL IMPERVIOUS AREA	241,160 SF ±
TOTAL BUILDING ROOF AREA	107,275 SF ±
NUMBER OF PROPOSED SURFACE PARKING STALLS	88



JLA PROJECT NUMBER: 14-1101

**D'HOFFRIED KOTKIE AND ASSOCIATES, INC.**  
7530 Wenhaven Way, Madison, WI 53717  
Phone: 608.833.7530 • Fax: 608.833.1089  
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

**DECKER PROPERTIES, INC.**

**CATALINA CROSSING**  
PROGRESS SET

**PROGRESS DOCUMENTS**  
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**DATE OF ISSUANCE** 04 FEBRUARY 2015

Mark	Revision Schedule	Date

SHEET TITLE  
**SITE PLAN**

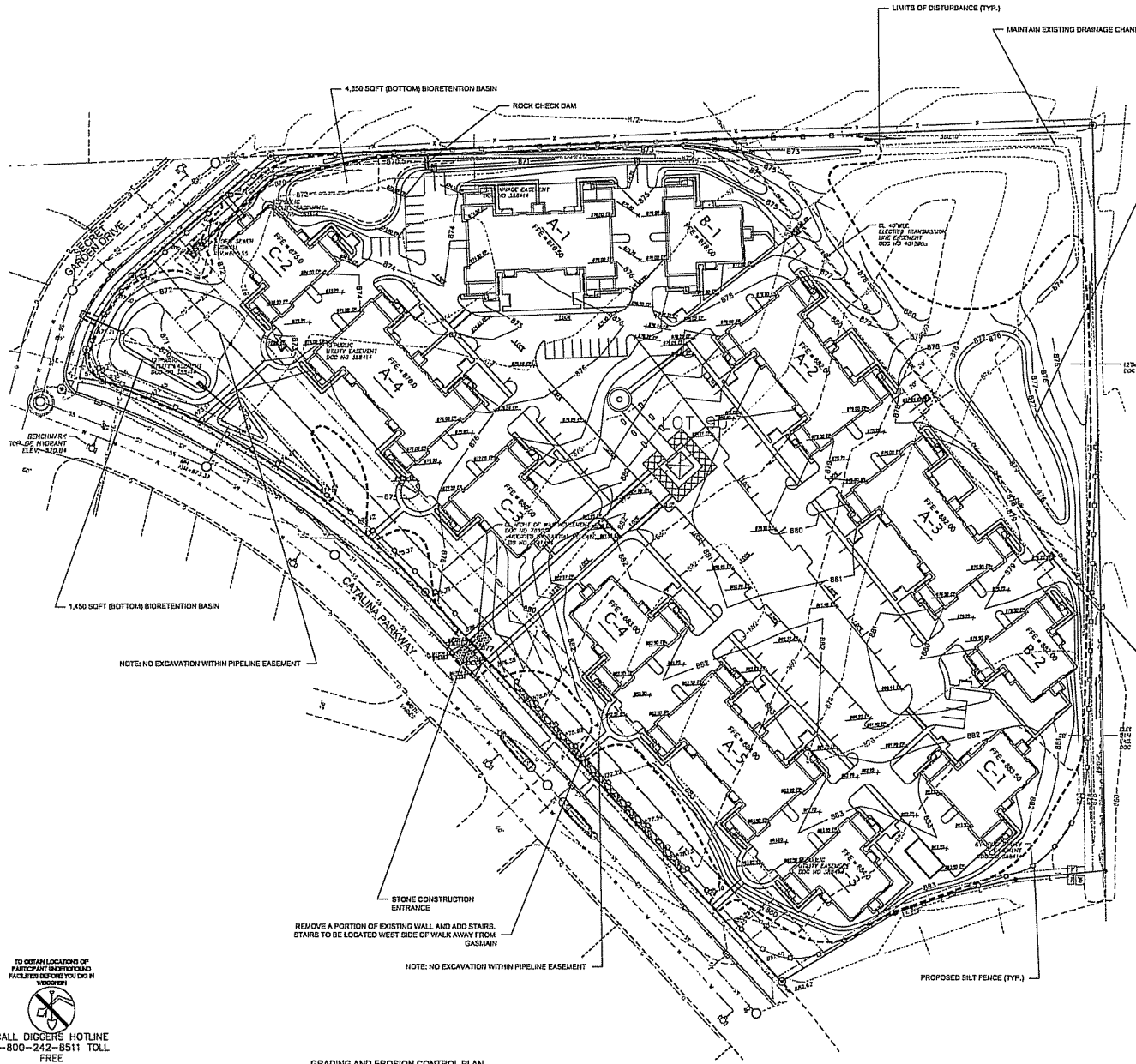
SHEET NUMBER  
**C101**

TO OBTAIN LOCATION OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN MADISON  
CALL DIGGERS HOTLINE  
1-800-242-8511 TOLL FREE

SITE PLAN

LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION  
BY EDGE OF PAVEMENT
- LIMITS OF DISTURBANCE
- FLOW ARROW
- SILT FENCE/STOCK
- RIPRAP PAD



- GENERAL NOTES
- ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
  - CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
  - RECORD COPIES ARE APPROPRIATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
  - IF ANY ERROR, OMISSIONS, CONFLICTS OR INCONSISTENCIES ARE IDENTIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING THEM PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATIONS AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
  - CONTRACTOR SHALL VERIFY POSITIVE FLOW FROM PROPOSED CURB ISLANDS PRIOR TO CONSTRUCTION.

- GRADING AND EROSION CONTROL NOTES:
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR ACCORDING WITH THE FOLLOWING TECHNICAL STANDARDS. IF IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
  - THE LIMITS OF DISTURBANCE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO PREVENT EROSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE LIMITS THROUGHOUT CONSTRUCTION. IF MODIFICATIONS COME UP TO WORK TECHNICAL STANDARDS.
  - EROSION CONTROL MEASURES INSTALLED ON THE PLANS SHALL BE CONSIDERED SUFFICIENT UNLESS OTHERWISE NOTED OTHERWISE. ADDITIONAL MEASURES SHALL BE INSTALLED TO PREVENT EROSION FROM LEAVING THE SITE.
  - ROCK CHECK DAMS SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR. ROCK CHECK DAMS SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR. ROCK CHECK DAMS SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR.
  - NO EROSION CONTROL MEASURES SHALL BE REMOVED UNTIL AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SURFACES FINISHED AND SLOPES STABILIZED.
  - INSTALL SILT FENCE PROTECTION IN ALL STORM DRAINAGE AREAS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS. INSTALL SILT FENCE PROTECTION IN ALL STORM DRAINAGE AREAS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS. INSTALL SILT FENCE PROTECTION IN ALL STORM DRAINAGE AREAS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM DISTURBED AREAS.
  - CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1
  - SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
  - ALL EXPOSED AND UNPROTECTED SOILS SHALL BE COVERED WITH EROSION CONTROL MATTING OR OTHER EROSION CONTROL MEASURES. EROSION CONTROL MATTING SHALL BE COVERED WITH EROSION CONTROL MATTING OR OTHER EROSION CONTROL MEASURES.
  - ANY DISTURBED AREA THAT REMAINS UNACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH EROSION CONTROL MATTING OR OTHER EROSION CONTROL MEASURES.
  - PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
  - INSTALL EROSION CONTROL MEASURES ON THE DOWNSTREAM SIDE OF STOCKPILES.
  - AT A MINIMUM ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL. TOPSOIL SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 100 SQ FT ON ALL DISTURBED AREAS. TOPSOIL SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 100 SQ FT ON ALL DISTURBED AREAS. TOPSOIL SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 100 SQ FT ON ALL DISTURBED AREAS.
  - SEEDING SHALL BE CONDUCTED PER WORK STORM WATER MANAGEMENT TECHNICAL STANDARDS.



JLA PROJECT NUMBER: 14-1103

D'ONOFRIO KOTKE AND ASSOCIATES, INC.  
7530 Wisconsin Way, Madison, WI 53717  
Phone: 608.833.7340 • Fax: 608.833.1895  
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DECKER PROPERTIES, INC.

CATALINA CROSSING  
PROGRESS SET

PROGRESS DOCUMENTS  
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DATE OF ISSUANCE	04 FEBRUARY 2015
Mark	Revision Schedule Date

SHEET TITLE  
GRADING AND EROSION CONTROL PLAN

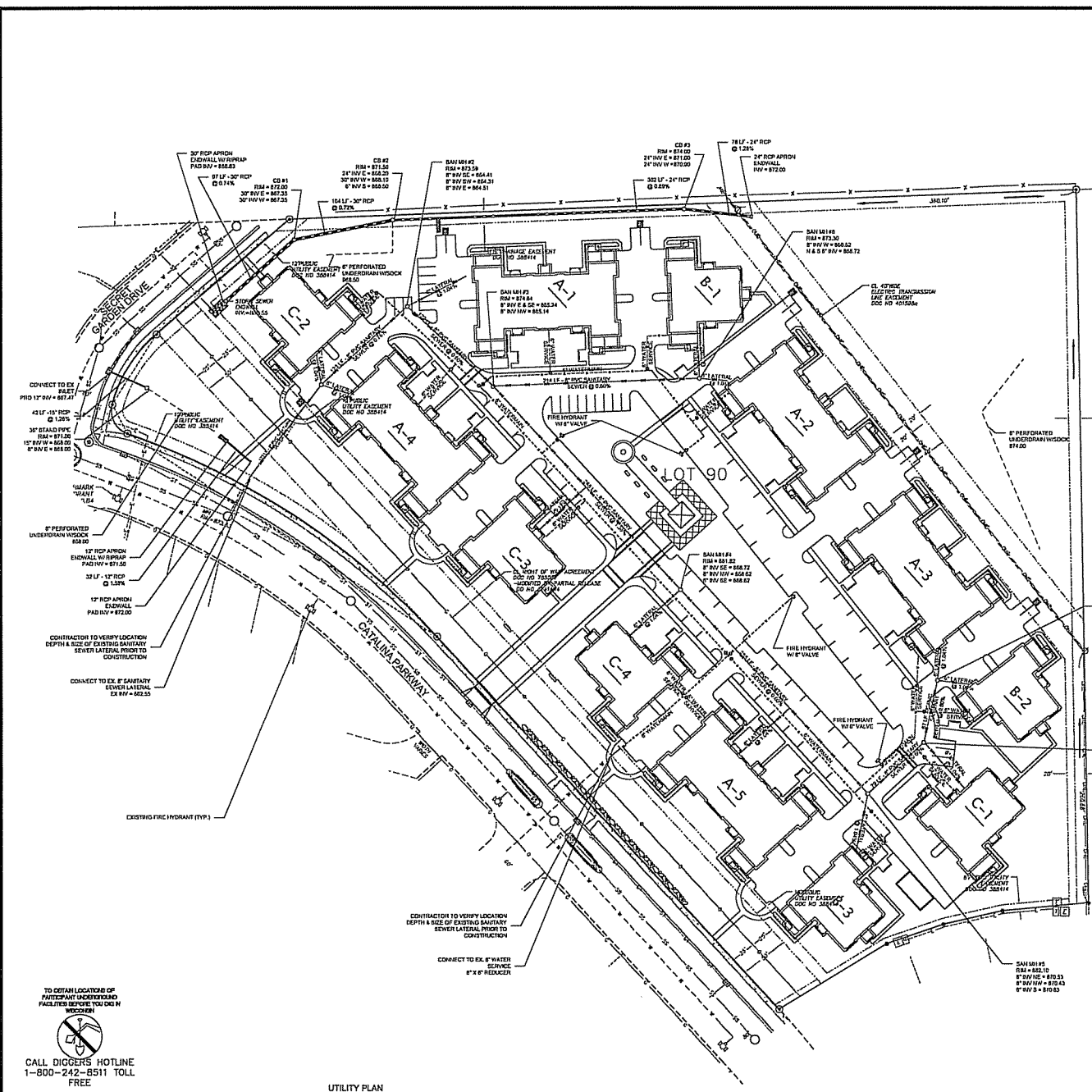
SHEET NUMBER  
C102

TO OBTAIN LOCATION OF PARTICIPANT UNDERSTANDING FACILITIES BEFORE YOU DIG IN WISCONSIN  
CALL DIGGERS HOTLINE  
1-800-242-8511 TOLL FREE

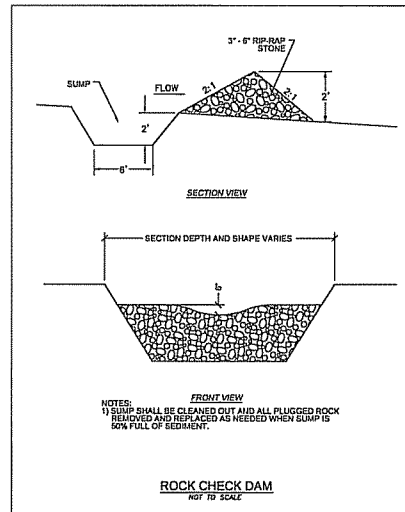
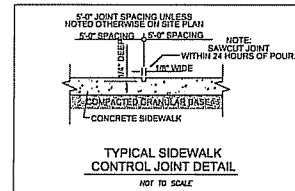
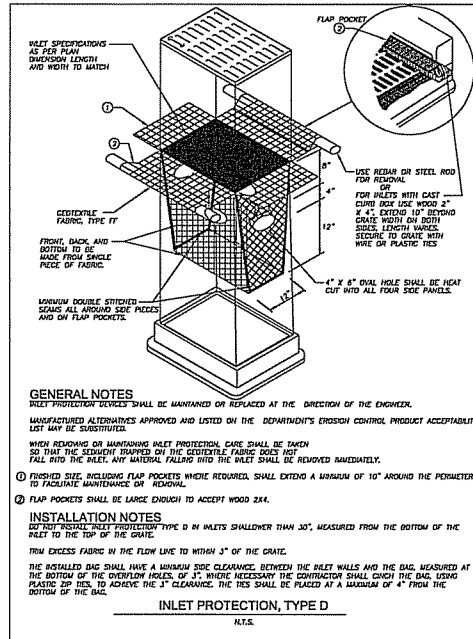
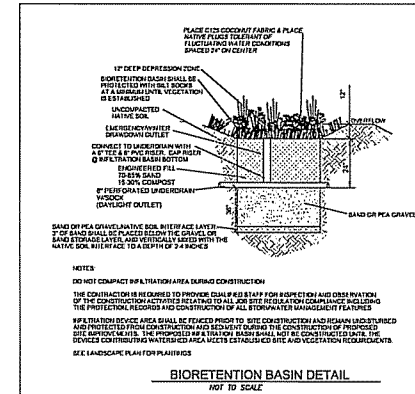
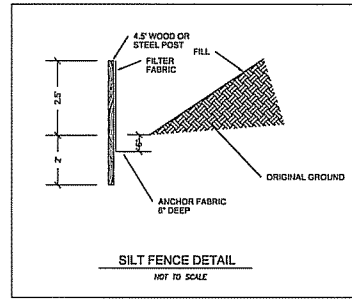
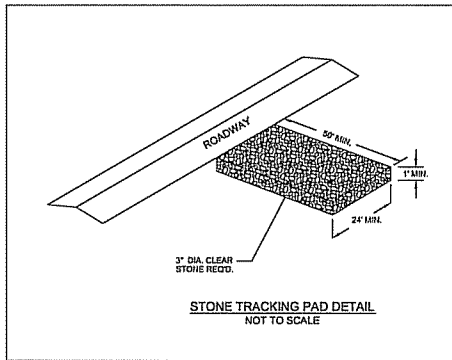
Mark	Revision Schedule	Date

- GENERAL NOTES**
1. ALL WORK SHALL BE PER THE CITY OF MADISON STANDARD SPECIFICATIONS
  2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
  3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
  4. IF ANY ERRORS, DISCREPANCIES OR OMISSIONS ARE APPARENT, CONTRACTOR SHALL BE RESPONSIBLE TO THE EXTENT OF THE WORK PRIOR TO CONSTRUCTION.
  5. CONTRACTOR SHALL EXAMINE THAT ALL STORMWATER CHANNELS AWAY FROM BUILDING FOUNDATIONS DURING FINAL RESTORATION.
  6. CONTRACTOR SHALL VERIFY POSITIVE FLOW FROM PROPOSED CURB ISLANDS PRIOR TO CONSTRUCTION.

- SITE UTILITY NOTES**
1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. PROTECTION OF EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY.
  2. CONTRACTOR TO VERIFY LOCATION DEPTH & SIZE OF EXISTING WATER AND SEWER PRIOR TO CONSTRUCTION.
  3. CONTRACTOR TO VERIFY AND COORDINATE SANITARY AND WATER SERVICE CONNECTION LOCATION WITH ARCHITECTURAL PLUMBING PLAN.
  4. CONTRACTOR TO COORDINATE ELECTRIC, GAS, PHONE & CABLE INSTALLATION WITH THE RESPECTIVE UTILITY COMPANIES.
  5. UTILITY CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY GRADES AND NOTIFY THE PROJECT SUPERINTENDENT IF A CONFLICT ARISES WITH THE INSTALLATION OF NEW UTILITIES.
  6. ALL WATER SERVICES AND HYDRANTS SHALL BE INSTALLED WITH A VALVE.
  7. ALL STORM MANHOLES TO BE 48" DIAMETER MANHOLE WITH MEEHAN R-2001 VALVE FRAME, GRATE WITH TYPE G LID UNLESS NOTED AS SOLID LID ON PLAN.



TO OBTAIN LOCATION OF PARTICIPANT UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
 CALL DIGGERS HOTLINE  
 1-800-242-8511 TOLL FREE



**GENERAL NOTES**

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DISCRETION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

① FINISHED SIDE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

② FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

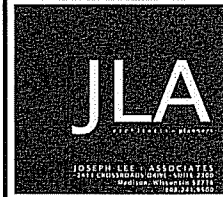
**INSTALLATION NOTES**

DO NOT INSTALL INLET PROTECTION TYPE D IN WALETS SMALLER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CATCH THE BAG USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

DETAIL SHEET



JLA PROJECT NUMBER: 14-1103

D'ONOFRIO KOTIWE AND ASSOCIATES, INC.  
7530 Weymouth Way, Malibu, CA 90263  
Phone: 608.833.7530 Fax: 608.833.1089  
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

DECKER PROPERTIES, INC.

CATALINA CROSSING  
PROGRESS SET

**PROGRESS DOCUMENTS**

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DATE OF ISSUANCE 04 FEBRUARY 2015

Mark	Revision Schedule	Date

SHEET TITLE  
**DETAIL SHEET**

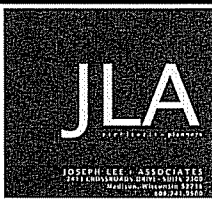
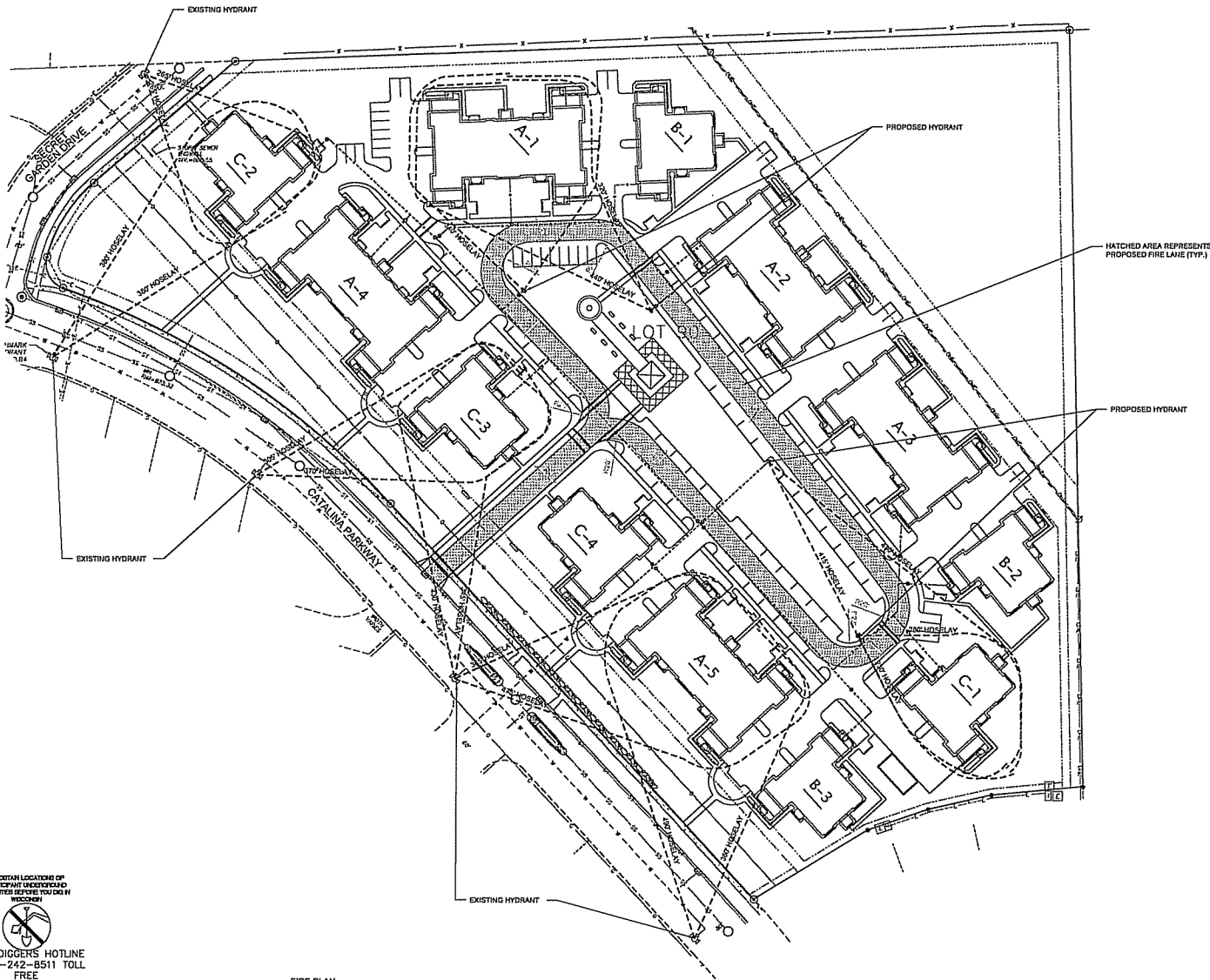
SHEET NUMBER  
**C104**



LEGEND



FIRE LANE ACCESS (20' WIDE LANE AT ALL POINTS & ALL INSIDE TURNING RADI ARE 20' AS REQUIRED)



JLA PROJECT NUMBER: 14-1102

**D'ONOFRIO KOTKE AND ASSOCIATES, INC.**  
 7530 Wernand Way, Madison, WI 53717  
 Phones 608.833.7330 • Fax 608.833.1089  
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

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CATALINA CROSSING  
 PROGRESS SET

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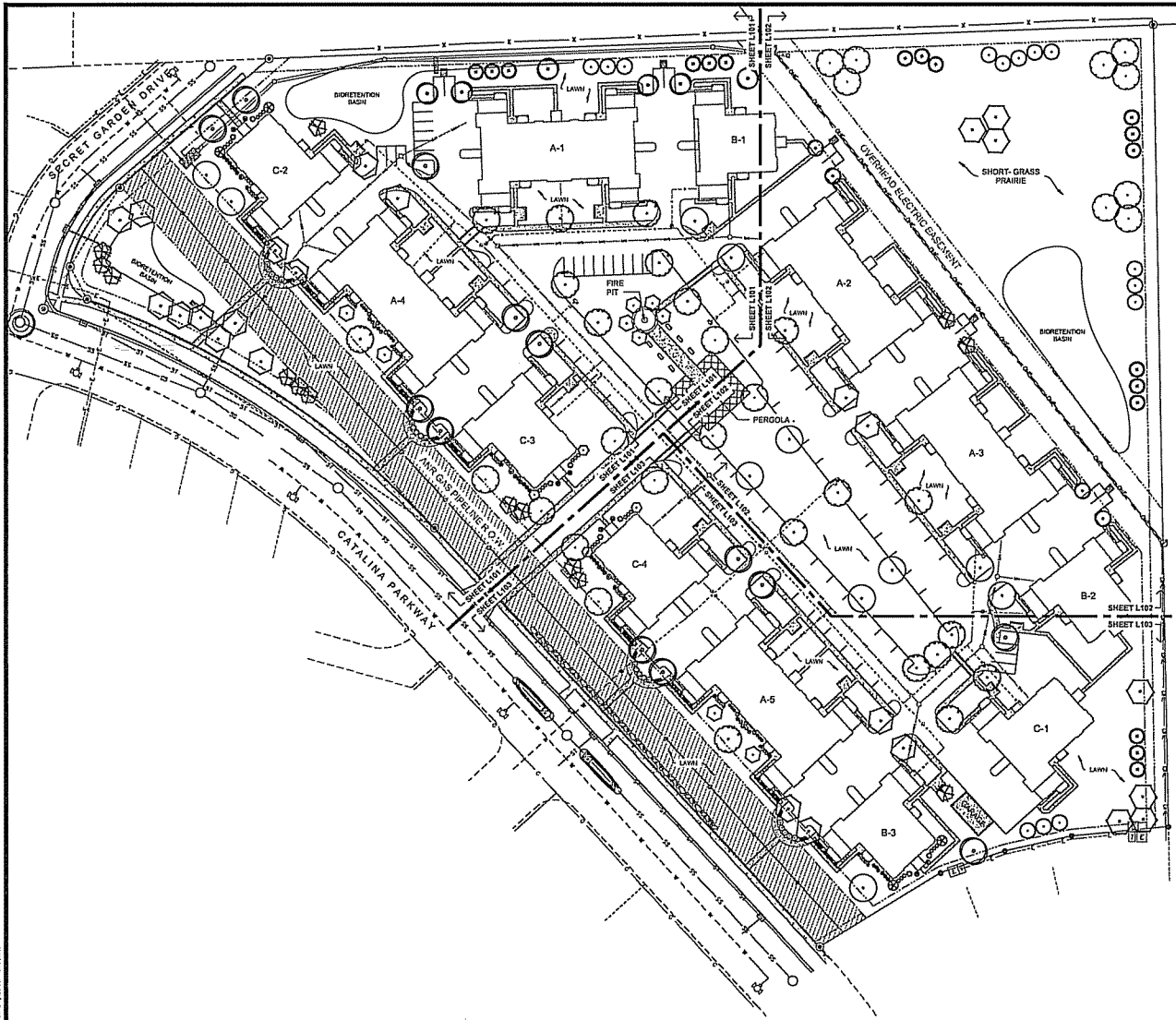
DATE OF ISSUANCE		04 FEBRUARY 2015	
Revision Schedule			
Blank	Revision	Deviation	Date

SHEET TITLE  
**FIRE PLAN**

SHEET NUMBER  
**C105**

TO OBTAIN LOCATION OF PARTICIPANT GREENERIES AND FACILITIES BEFORE YOU DIG IN WISCONSIN  
 CALL DIGGERS HOTLINE  
 1-800-242-8511 TOLL FREE

FIRE PLAN



**LANDSCAPE REQUIREMENTS SUMMARY**

**BUILDING TYPE A (5)**  
 AREA = 10,328 SF (51,640 SF)  
 PERIMETER = 827 LF (3,135 SF)

**BUILDING TYPE B (3)**  
 AREA = 6,222 SF (15,666 SF)  
 PERIMETER = 379 LF (1,137 LF)

**BUILDING TYPE C (4)**  
 AREA = 5,888 SF (23,544 SF)  
 PERIMETER = 407 LF (1,628 LF)

**TOTAL BUILDINGS**  
 AREA = 90,850 SF  
 PERIMETER = 5,900 LF

**DEVELOPED AREA REQUIREMENT:**  
 6 PTS PER 300 SQ FT OF DEVELOPED AREA  
 GROSS DEVELOPED AREA = 326,823 SQ FT  
 BUILDING FOOTPRINTS = 90,850 SQ FT  
 NET DEVELOPED AREA = 235,973 SQ FT

POINTS REQUIRED = 3,833 POINTS  
 POINTS PROVIDED = 5,926 POINTS

**STREET FRONTAGE REQUIREMENT:**  
 1 OVERSTORY TREE OR 2 EVERGREEN & 5 SHRUB PER 30 FT

**CATALINA PARKWAY FRONTAGE = 935 FT**  
 PLANTS REQUIRED = 31 OVERSTORY TREES OR  
 62 EVERGREEN / ORNAMENTAL TREES  
 156 SHRUBS  
 PLANTS PROVIDED = 25 OVERSTORY TREES  
 14 ORNAMENTAL TREES  
 189 SHRUBS

**SECRET GARDEN DRIVE FRONTAGE = 99 FT**  
 PLANTS REQUIRED = 3 OVERSTORY TREES OR  
 7 EVERGREEN / ORNAMENTAL TREES  
 17 SHRUBS  
 PLANTS PROVIDED = 3 OVERSTORY TREES  
 18 SHRUBS

**PARKING LOT LANDSCAPING REQUIREMENT:**  
 1 OVERSTORY TREE PER 160 SQ FT OF REQUIRED AREA

TOTAL PARKING LOT AREA = 114,454 SQ FT  
 REQUIRED LANDSCAPED AREA = 9,156 SQ FT (8% TOTAL PARKING LOT AREA)

LANDSCAPED AREA PROVIDED = 28,416 SQ FT  
 OVERSTORY TREES REQUIRED = 57 OVERSTORY TREES  
 OVERSTORY TREES PROVIDED = 57 OVERSTORY TREES

**PLANT SCHEDULE**




JLA PROJECT NUMBER: 14-1103

**D'ONOFRIO KOTKIE AND ASSOCIATES, INC.**  
 7330 Westward Way, Madison, WI 53717  
 Phone: 608.833.7330 • Fax: 608.833.1089  
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

**DECKER PROPERTIES, INC.**

**CATALINA CROSSING  
 PROGRESS SET**

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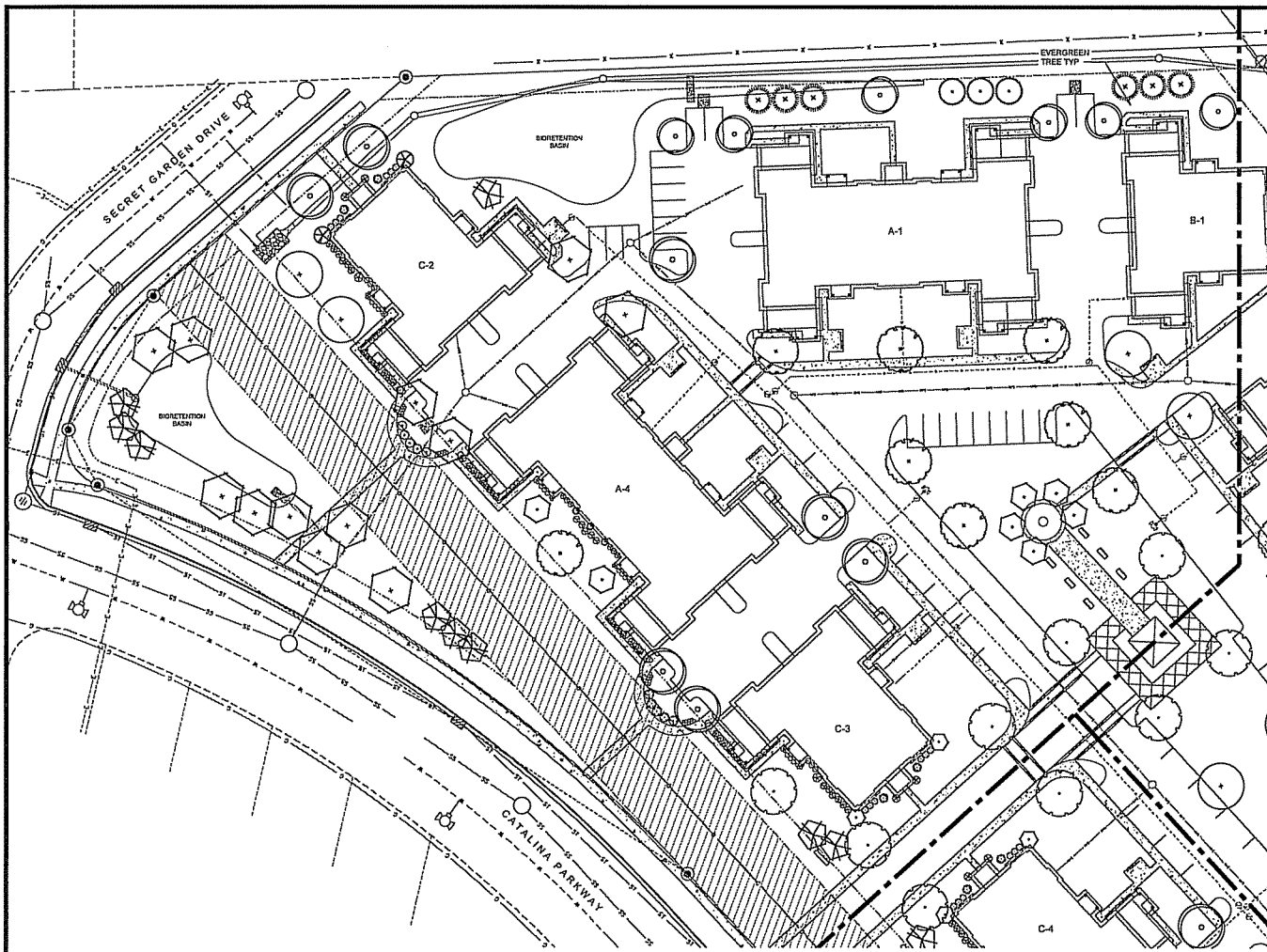
SHEET TITLE: **OVERALL LANDSCAPE PLAN**

SHEET NUMBER: **L100**

File: L100.dwg (1/23/2015 10:00 AM) Project: Feb 04, 2015 - 9:01 AM

TO OBTAIN LOCATIONS OF PARTICIPANT LANDSCAPING FACILITIES BEFORE YOU DIG IN WISCONSIN  
 CALL DIGGERS HOTLINE  
 1-800-242-8511 TOLL FREE





**PLANT SCHEDULE**




JLA PROJECT NUMBER: 14-1103

**D'ONOFRIO KOTTKE AND ASSOCIATES, INC.**  
 7530 Wardway Way, Madison, WI 53717  
 Phone: 608.833.7530 • Fax: 608.833.1689  
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

**DECKER PROPERTIES, INC.**

**CATALINA CROSSING  
 PROGRESS SET**

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DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule	
Rev.	Date
1	

Rev.	Disposition	Date

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

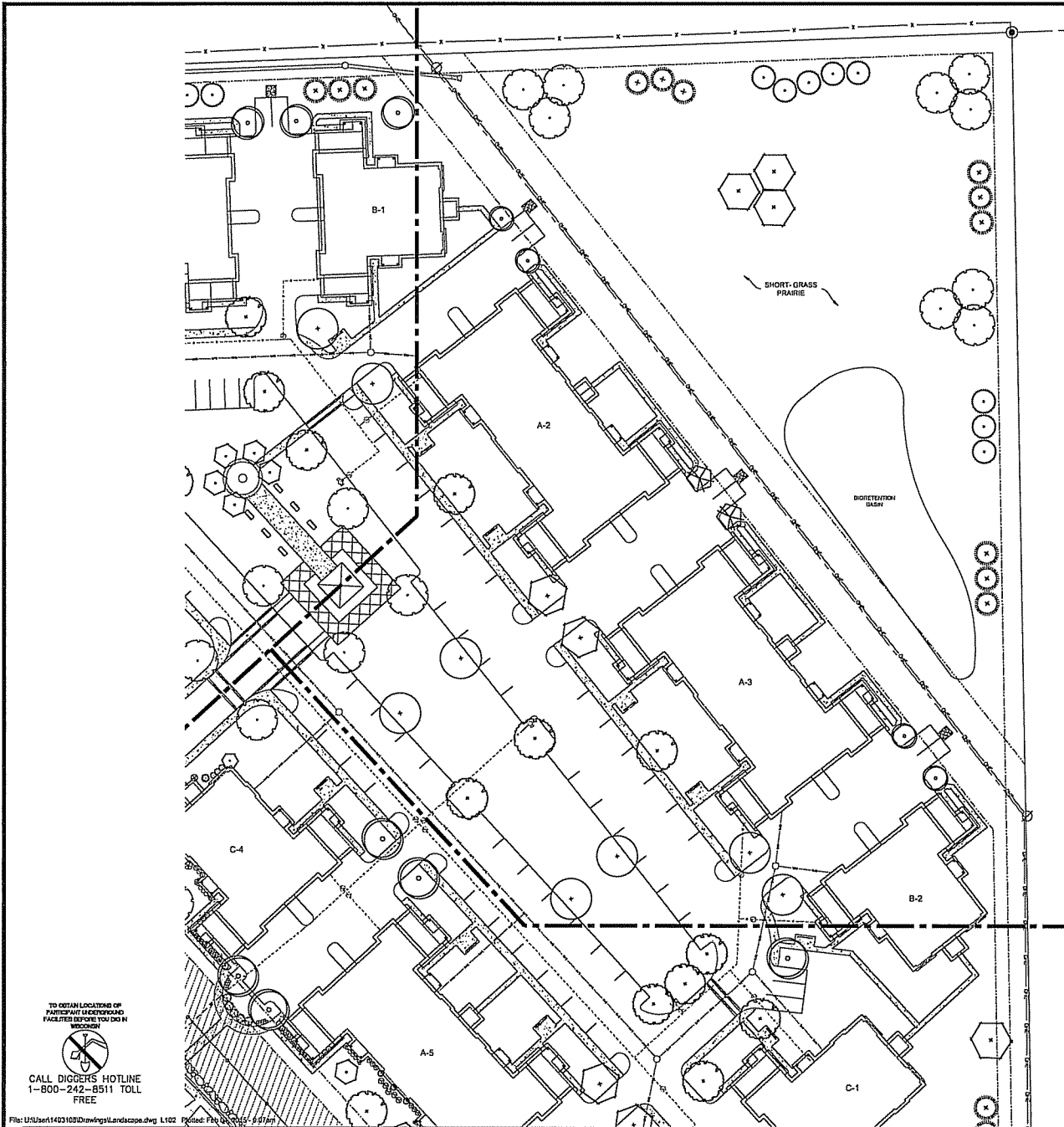
L101

TO CERTAIN LOCATIONS OF PARTICIPANT LANDOWNERS FACILITIES BEFORE YOU DO ANY WORK.



CALL DIGGERS HOTLINE  
 1-800-242-8511 TOLL FREE





PLANT SCHEDULE




JLA PROJECT NUMBER: 14-1103

**D'ONOFRIO KOTKE AND ASSOCIATES, INC.**  
 7530 Wardway Way, Madison, WI 53717  
 Phone 608.833.7330 • Fax 608.833.1089  
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

**DECKER PROPERTIES, INC.**

**CATALINA CROSSING  
 PROGRESS SET**

**PROGRESS DOCUMENTS**  
 These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE		04 FEBRUARY 2015
Revision Schedule		
Mark	Description	Date

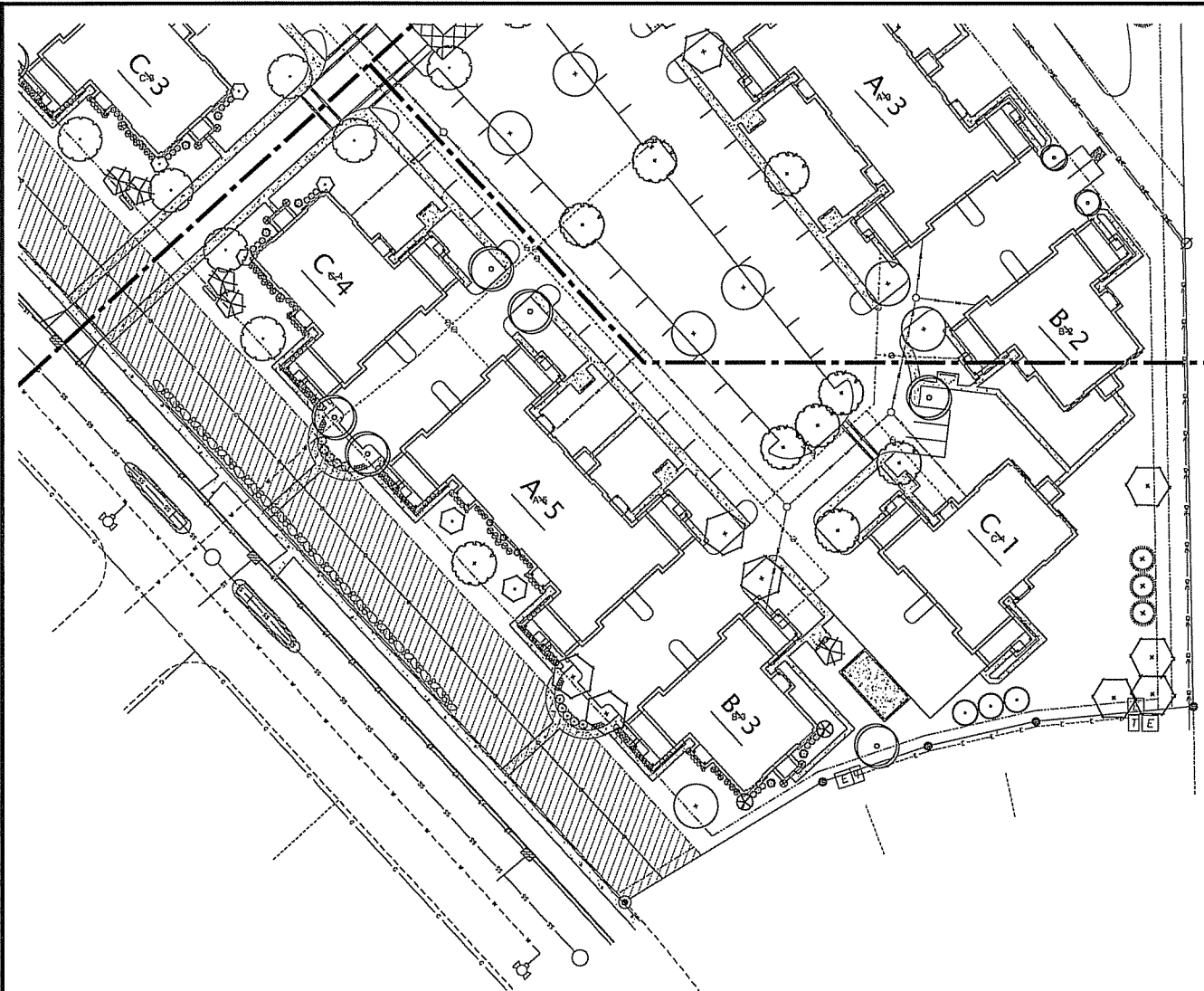
SHEET TITLE  
**LANDSCAPE PLAN**

SHEET NUMBER  
**L102**

TO OBTAIN LOCATIONS OF PARTICIPATE LANDSCAPING FACILITIES REPORT YOU DO NOT NEED  
  
 CALL DIGGERS HOTLINE  
 1-800-242-8511 TOLL FREE







PLANT SCHEDULE

Plant	Quantity	Notes
Plant 1	10	
Plant 2	15	
Plant 3	20	
Plant 4	25	
Plant 5	30	
Plant 6	35	
Plant 7	40	
Plant 8	45	
Plant 9	50	
Plant 10	55	
Plant 11	60	
Plant 12	65	
Plant 13	70	
Plant 14	75	
Plant 15	80	
Plant 16	85	
Plant 17	90	
Plant 18	95	
Plant 19	100	
Plant 20	105	
Plant 21	110	
Plant 22	115	
Plant 23	120	
Plant 24	125	
Plant 25	130	
Plant 26	135	
Plant 27	140	
Plant 28	145	
Plant 29	150	
Plant 30	155	
Plant 31	160	
Plant 32	165	
Plant 33	170	
Plant 34	175	
Plant 35	180	
Plant 36	185	
Plant 37	190	
Plant 38	195	
Plant 39	200	
Plant 40	205	
Plant 41	210	
Plant 42	215	
Plant 43	220	
Plant 44	225	
Plant 45	230	
Plant 46	235	
Plant 47	240	
Plant 48	245	
Plant 49	250	
Plant 50	255	
Plant 51	260	
Plant 52	265	
Plant 53	270	
Plant 54	275	
Plant 55	280	
Plant 56	285	
Plant 57	290	
Plant 58	295	
Plant 59	300	
Plant 60	305	
Plant 61	310	
Plant 62	315	
Plant 63	320	
Plant 64	325	
Plant 65	330	
Plant 66	335	
Plant 67	340	
Plant 68	345	
Plant 69	350	
Plant 70	355	
Plant 71	360	
Plant 72	365	
Plant 73	370	
Plant 74	375	
Plant 75	380	
Plant 76	385	
Plant 77	390	
Plant 78	395	
Plant 79	400	
Plant 80	405	
Plant 81	410	
Plant 82	415	
Plant 83	420	
Plant 84	425	
Plant 85	430	
Plant 86	435	
Plant 87	440	
Plant 88	445	
Plant 89	450	
Plant 90	455	
Plant 91	460	
Plant 92	465	
Plant 93	470	
Plant 94	475	
Plant 95	480	
Plant 96	485	
Plant 97	490	
Plant 98	495	
Plant 99	500	
Plant 100	505	

JLA PROJECT NUMBER: 14-1103

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**CATALINA CROSSING  
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DATE OF ISSUANCE: 04 FEBRUARY 2015

Revision Schedule		
Mark	Description	Date

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

L103



File: L103.dwg (1/30/2015 10:00 AM) Plot: L103.dwg (1/30/2015 10:00 AM)

TO OBTAIN LOCATIONS OF PARTICIPATING REGISTERED FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE  
 1-800-242-8511 TOLL FREE

DECKER PROPERTIES,  
 INC.

CATALINA CROSSING  
 APARTMENTS

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional details. They are for informational purposes only and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

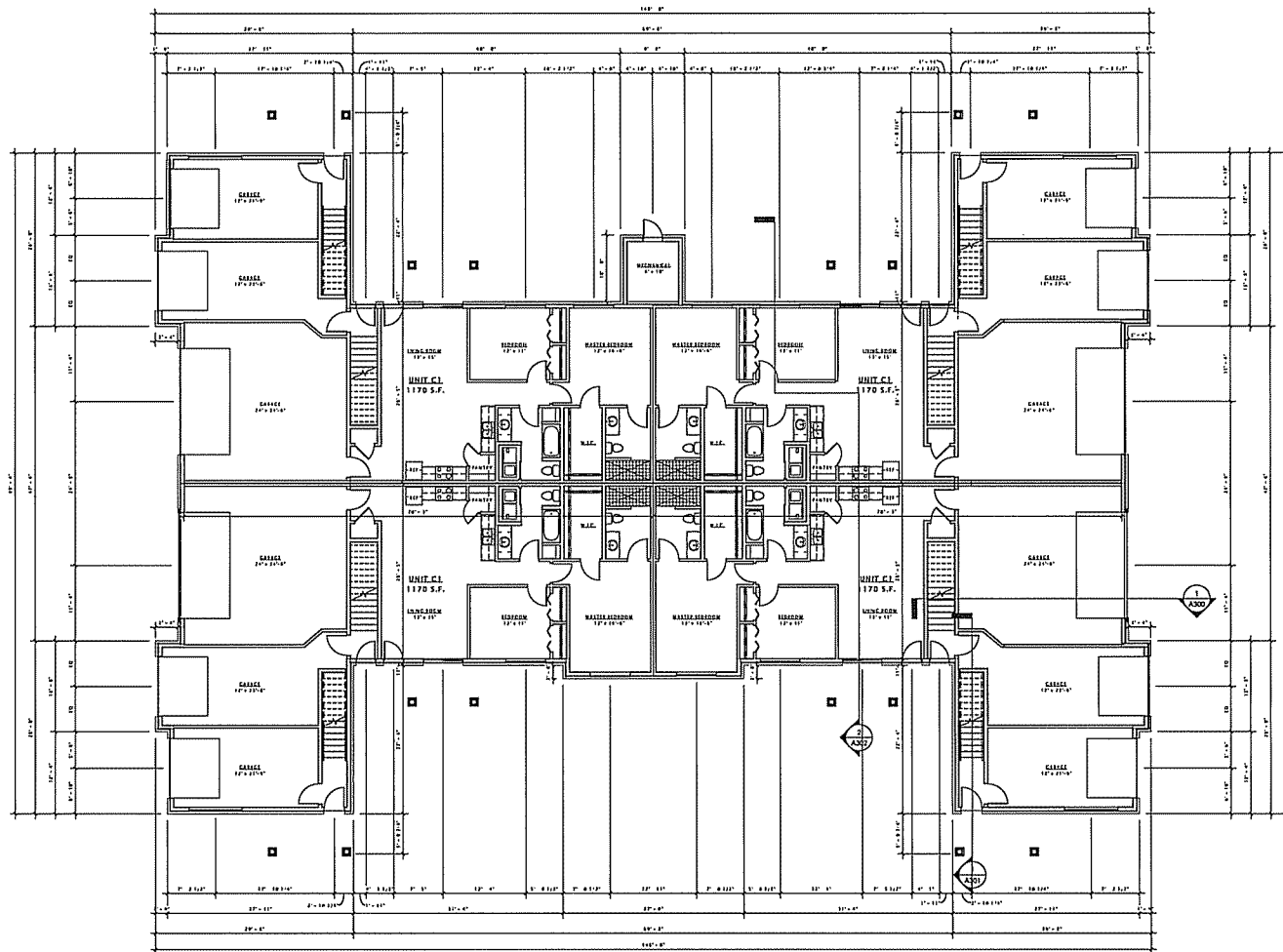
Prepared by:	Brian Schaefer
Checked by:	
Drawn by:	
Date:	

SHEET TITLE

FIRST FLOOR PLAN -  
 BUILDING TYPE 'A'

SHEET NUMBER

A101-A



# JLA

JOSEPH LEE & ASSOCIATES  
 300 EAST BROADWAY, SUITE 2000  
 MADISON, WISCONSIN 53702  
 TEL: 608.261.1100  
 FAX: 608.261.1105

DECKER PROPERTIES,  
 INC.

CATALINA CROSSING  
 APARTMENTS

**PROGRESS DOCUMENTS**

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DATE OF ISSUANCE 04 FEBRUARY 2015

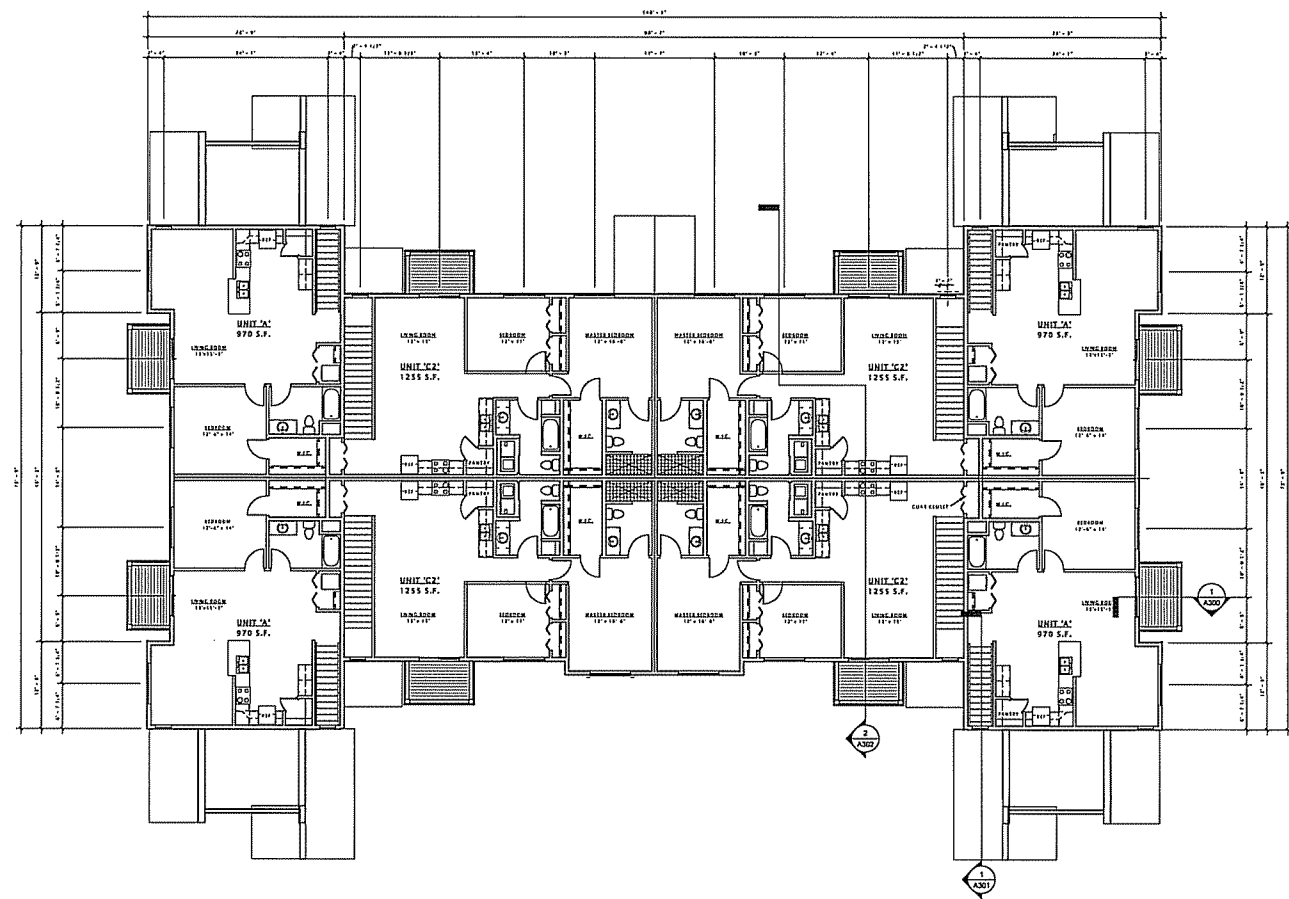
Revision Schedule	
Mark	Date

**SHEET TITLE**

SECOND FLOOR PLAN  
 - BUILDING TYPE 'A'

**SHEET NUMBER**

A102-A



16 SECOND FLOOR PLAN - BUILDING 'A'  
 1/8" = 1'-0"

DECKER PROPERTIES,  
 INC.

CATALINA CROSSING  
 APARTMENTS

**PROGRESS DOCUMENTS**  
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DATE OF ISSUANCE: 04 FEBRUARY 2015

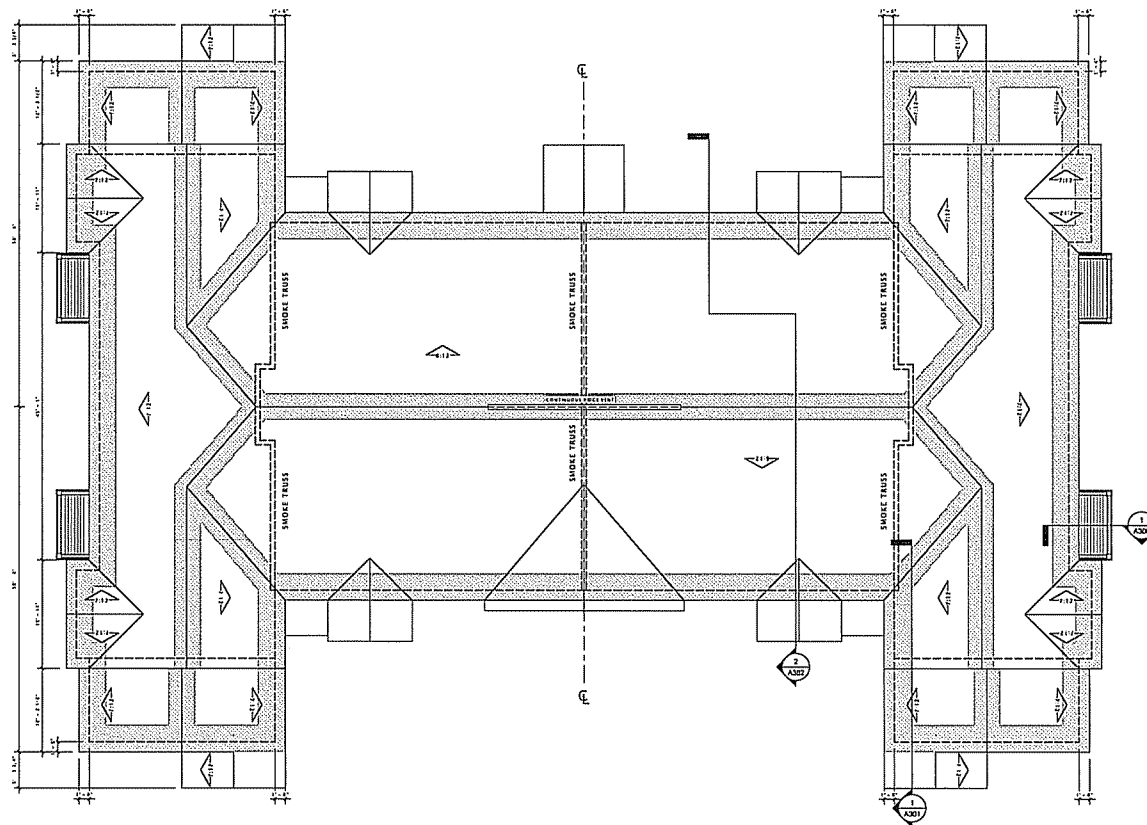
Borislin Scharf		
Mod.	Description	Date

SHEET TITLE

ROOF PLAN -  
 BUILDING TYPE 'A'

SHEET NUMBER

A109-A



① ROOF PLAN  
 1/8" = 1'-0"

# JLA

JOSEPH LEE & ASSOCIATES  
 ARCHITECTS  
 1000 W. WASHINGTON ST. SUITE 200  
 MADISON, WISCONSIN 53703  
 TEL: 608.261.1000  
 FAX: 608.261.1000

HA PROJECT NUMBER: 14-1183

DECKER PROPERTIES,  
 INC.

CATALINA CROSSING  
 APARTMENTS

**PROGRESS DOCUMENTS**

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DATE OF ISSUANCE: 04 FEBRUARY 2015

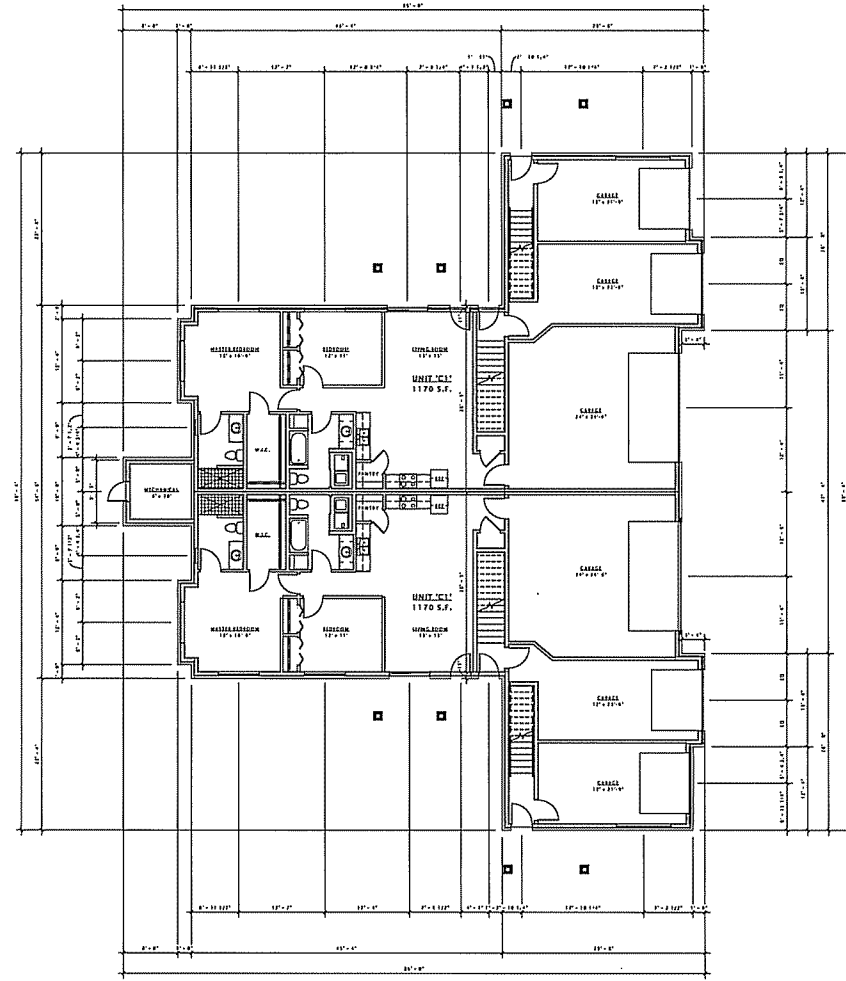
Rev.	Description	Date

**SHEET TITLE**

FIRST FLOOR PLAN -  
 BUILDING TYPE 'B'

**SHEET NUMBER**

A101-B



16 FIRST FLOOR PLAN - BUILDING 'B'  
 1/8" = 1'-0"

# JLA

JOSEPH LEE & ASSOCIATES  
 1404 KATYLAKE DRIVE - SUITE 200  
 MADISON, WISCONSIN 53718  
 608.261.6000

JLA PROJECT NUMBER: 14-1102

DECKER PROPERTIES,  
 INC.

CATALINA CROSSING  
 APARTMENTS

**PROGRESS DOCUMENTS**

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DATE OF ISSUANCE: 04 FEBRUARY 2015

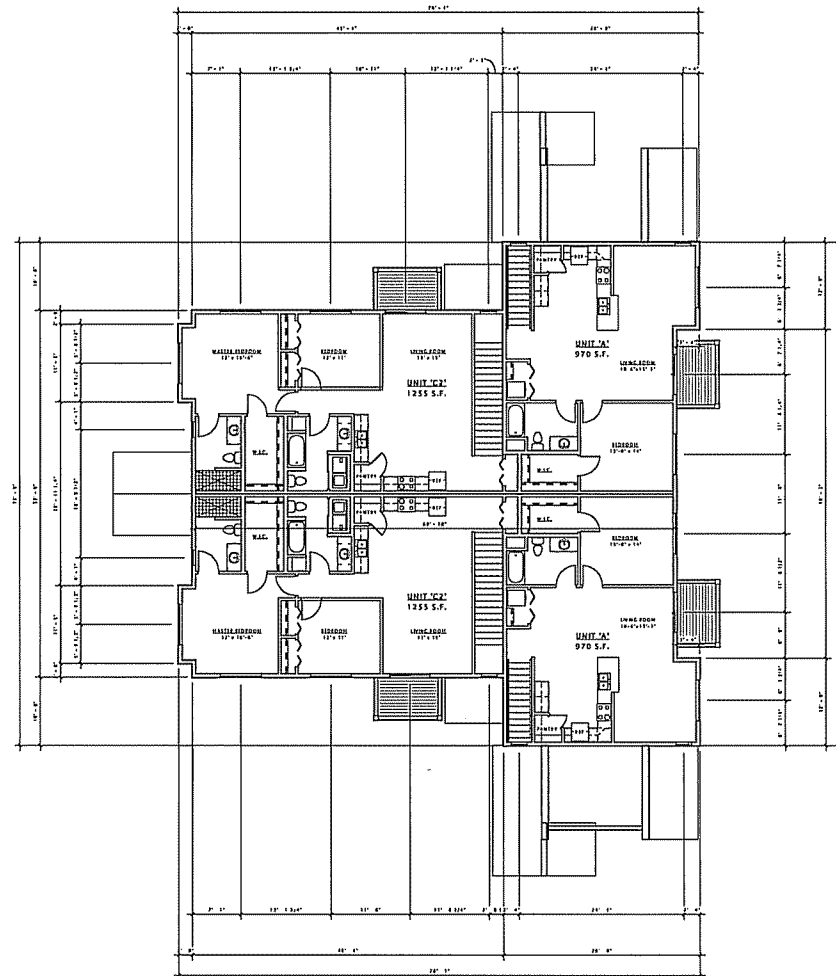
Revisions Schedule	Date

**SHEET TITLE**

SECOND FLOOR PLAN  
 - BUILDING TYPE 'B'

**SHEET NUMBER**

A102-B



10 SECOND FLOOR PLAN - BUILDING 'B'  
 1/8" = 1'-0"

# JLA

JOSEPH J. LEE ASSOCIATES  
2004 CROSSINGS DRIVE, SUITE 100  
MADISON, WISCONSIN 53718  
TEL: 608.241.1100  
FAX: 608.241.1100  
JLA PROJECT NUMBER: 14-109-B

DECKER PROPERTIES,  
INC.

CATALINA CROSSING  
APARTMENTS

#### PROGRESS DOCUMENTS

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DATE OF ISSUANCE 04 FEBRUARY 2015

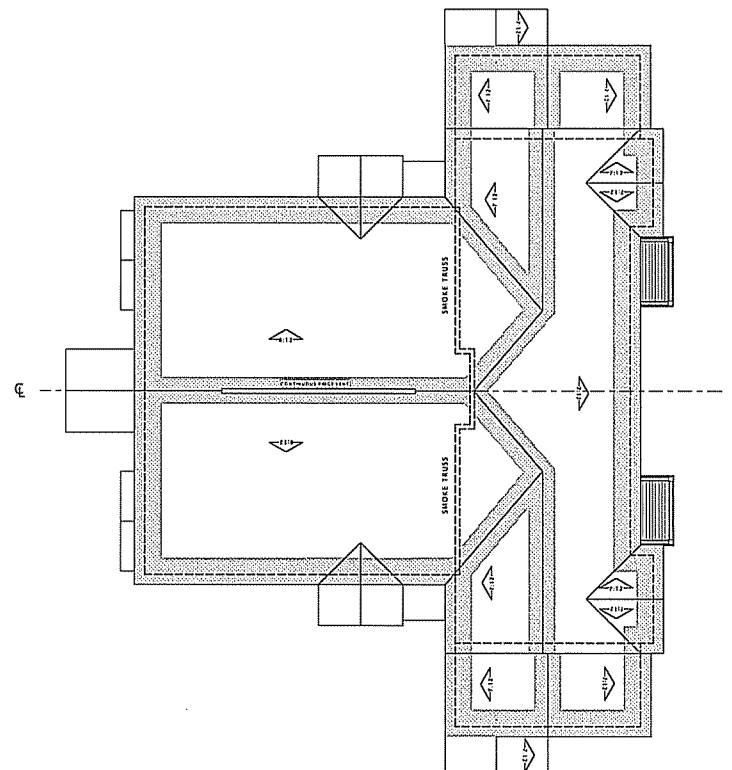
Revision Schedule	
Dist. #	Date

SHEET TITLE

ROOF PLAN -  
BUILDING TYPE 'B'

SHEET NUMBER

A109-B



① ROOF PLAN  
1/8" = 1'-0"

DECKER PROPERTIES,  
 INC.

CATALINA CROSSING  
 APARTMENTS

**PROGRESS DOCUMENTS**

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DATE OF ISSUANCE: 04 FEBRUARY 2015

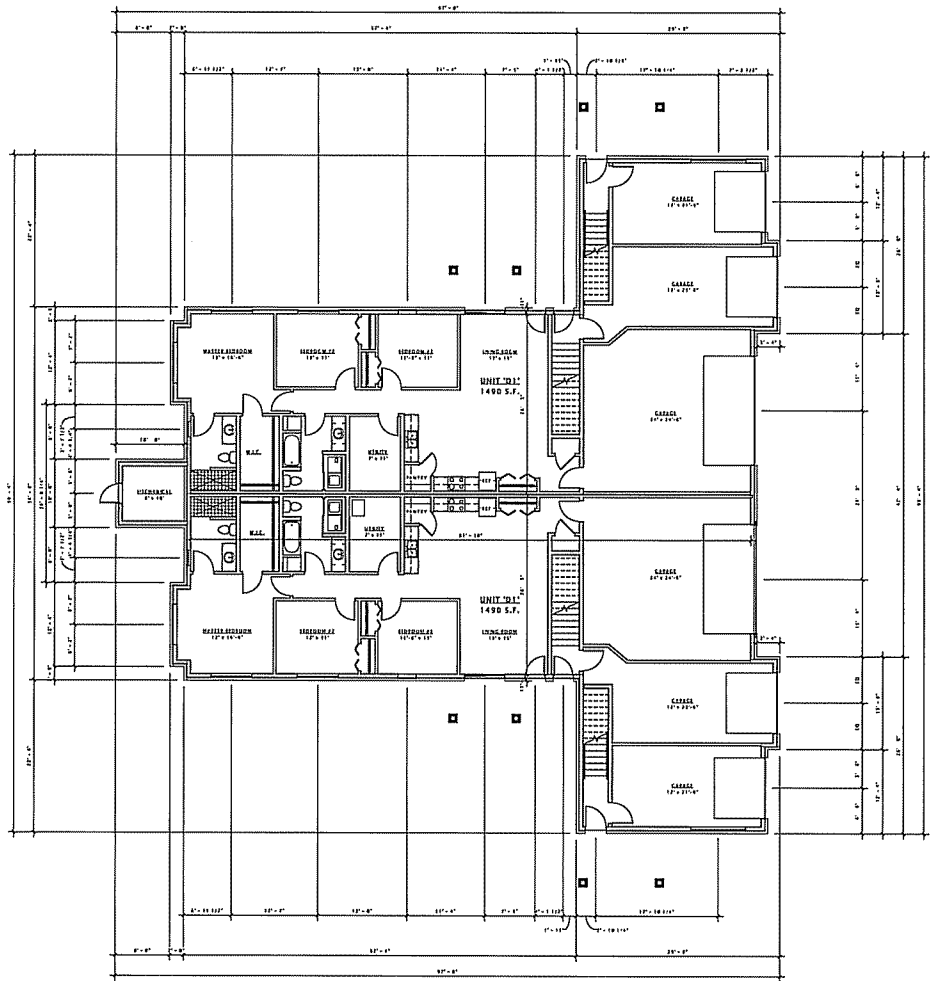
Mark	Description	Date

**SHEET TITLE**

FIRST FLOOR PLAN -  
 BUILDING TYPE 'C'

**SHEET NUMBER**

A101-C



16 FIRST FLOOR PLAN - BUILDING 'C'  
 1/8" = 1'-0"



DECKER PROPERTIES,  
 INC.

CATALINA CROSSING  
 APARTMENTS

**PROGRESS DOCUMENTS**

These documents reflect progress and what may be subject to change, including approval issues. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

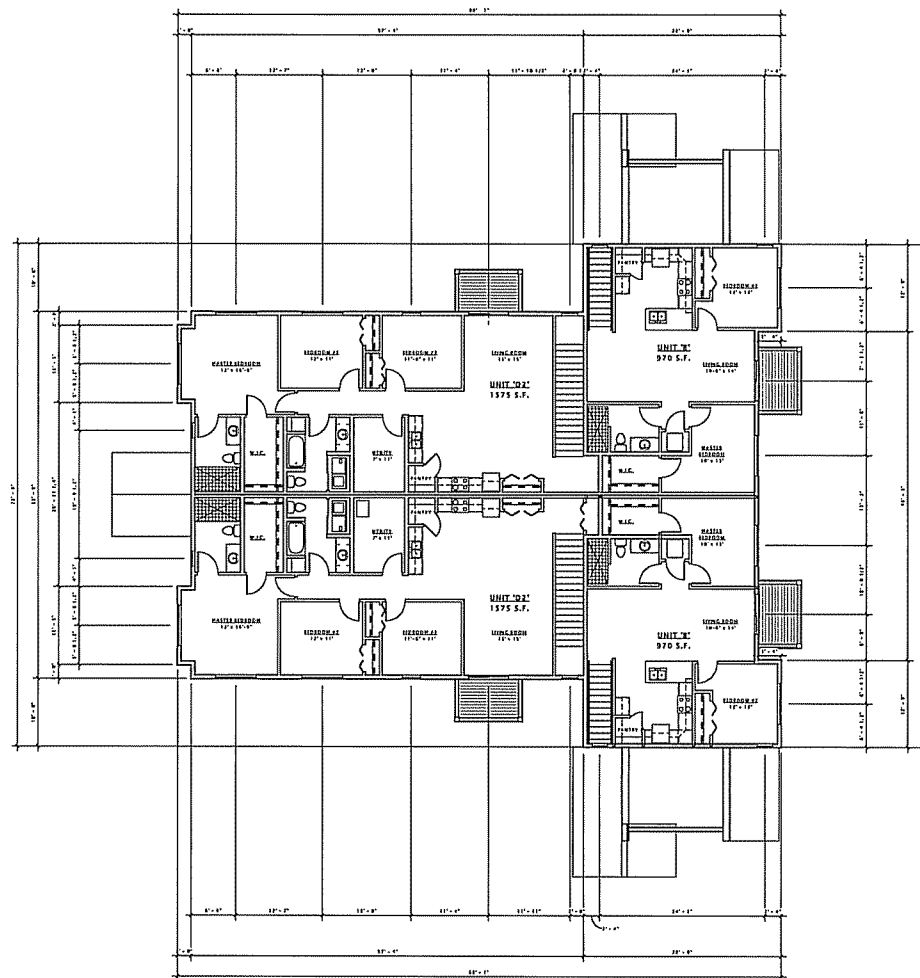
Revision Schedule		
Matr.	Description	Date

**SHEET TITLE**

SECOND FLOOR PLAN - BUILDING TYPE 'C'

**SHEET NUMBER**

A102-C



# JLA

JOSEPH LEICHT ASSOCIATES  
2474 CHALLENGER DRIVE - SUITE 200  
MADISON, WISCONSIN 53718  
608.261.9000

BA PROJECT NUMBER: 14-0183

DECKER PROPERTIES,  
INC.

CATALINA CROSSING  
APARTMENTS

#### PROGRESS DOCUMENTS

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DATE OF ISSUANCE 04 FEBRUARY 2015

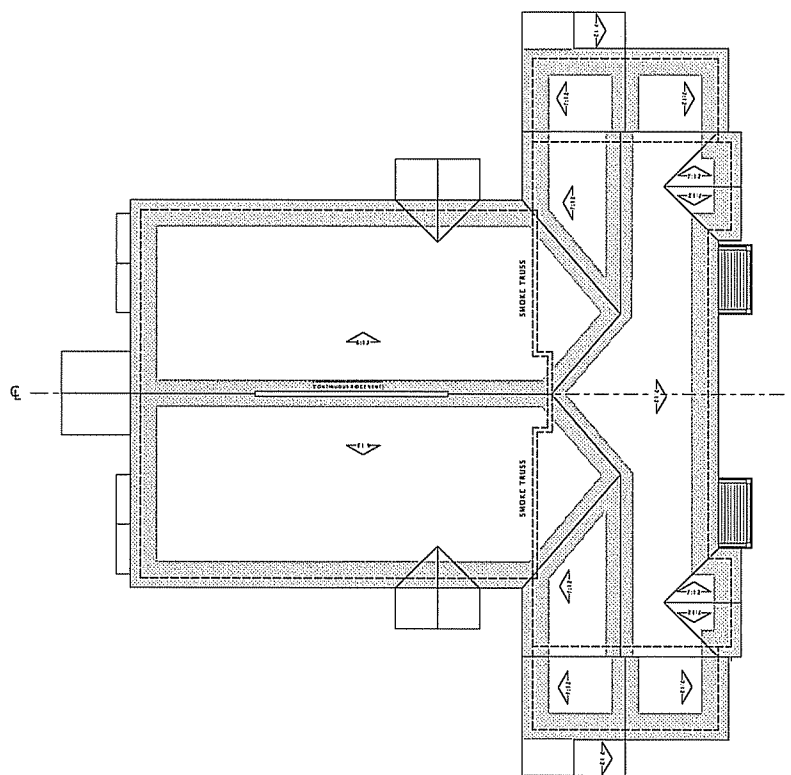
Work	Description	Date

SHEET TITLE

ROOF PLAN -  
BUILDING TYPE 'C'

SHEET NUMBER

A109-C



① ROOF PLAN  
1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
1. ROOF 1	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
2. ROOF 2	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
3. ROOF 3	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
4. ROOF 4	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
5. EXTERIOR WALLS	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
6. ROOF 5	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
7. ROOF 6	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
8. ROOF 7	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
9. ROOF 8	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
10. ROOF 9	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
11. ROOF 10	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding
12. ROOF 11	Asph/Flt Shingles	1" x 6" x 12" Cedar Shake Siding



16 BUILDING 'A' - ELEVATION 2  
1/8" = 1'-0"



16 BUILDING 'A' - ELEVATION 3  
1/8" = 1'-0"

**JLA**  
JOSEPH LEE ASSOCIATES

JOSEPH LEE ASSOCIATES  
2010 EASTMAN AVENUE, SUITE 200  
MILWAUKEE, WISCONSIN 53212  
TEL: 414.224.1100 FAX: 414.224.1101  
USA PROJECT NUMBER: 04-103

DECKER PROPERTIES,  
INC.

CATALINA CROSSING  
APARTMENTS

PROGRESS DOCUMENTS

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DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule		
Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A200-A

EXTERIOR MATERIAL SCHEDULE		
1. BRICK 1	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
2. BRICK 2	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
3. BRICK 3	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
4. BRICK 4	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
5. BRICK 5	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
6. BRICK 6	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
7. BRICK 7	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
8. BRICK 8	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
9. BRICK 9	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
10. BRICK 10	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
11. BRICK 11	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
12. BRICK 12	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
13. BRICK 13	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
14. BRICK 14	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
15. BRICK 15	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
16. BRICK 16	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
17. BRICK 17	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
18. BRICK 18	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
19. BRICK 19	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
20. BRICK 20	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
21. BRICK 21	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
22. BRICK 22	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
23. BRICK 23	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
24. BRICK 24	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
25. BRICK 25	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
26. BRICK 26	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
27. BRICK 27	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
28. BRICK 28	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
29. BRICK 29	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
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33. BRICK 33	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
34. BRICK 34	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
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36. BRICK 36	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
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45. BRICK 45	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
46. BRICK 46	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
47. BRICK 47	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
48. BRICK 48	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
49. BRICK 49	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
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52. BRICK 52	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
53. BRICK 53	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
54. BRICK 54	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
55. BRICK 55	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
56. BRICK 56	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
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63. BRICK 63	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
64. BRICK 64	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
65. BRICK 65	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
66. BRICK 66	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
67. BRICK 67	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
68. BRICK 68	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
69. BRICK 69	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
70. BRICK 70	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
71. BRICK 71	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
72. BRICK 72	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
73. BRICK 73	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
74. BRICK 74	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
75. BRICK 75	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
76. BRICK 76	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
77. BRICK 77	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
78. BRICK 78	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
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84. BRICK 84	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
85. BRICK 85	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
86. BRICK 86	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
87. BRICK 87	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
88. BRICK 88	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
89. BRICK 89	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
90. BRICK 90	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
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96. BRICK 96	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
97. BRICK 97	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
98. BRICK 98	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
99. BRICK 99	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT
100. BRICK 100	EXTERIOR WALL	3" BRICK WITH 1/2" GROUT



1 BUILDING 'A' - ELEVATION 1  
3/16" = 1'-0"



2 BUILDING 'A' - ELEVATION 4  
3/16" = 1'-0"

**JLA**  
JOSEPH LEE ASSOCIATES

JOSEPH LEE ASSOCIATES  
2414 FLORENCE DRIVE, SUITE 200  
HOUSTON, TEXAS 77059  
713.865.1111  
JLA@JLA.COM

RA PROJECT NUMBER: 14-0121

DECKER PROPERTIES,  
INC.

CATALINA CROSSING  
APARTMENTS

**PROGRESS DOCUMENTS**

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DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule	
Mark	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

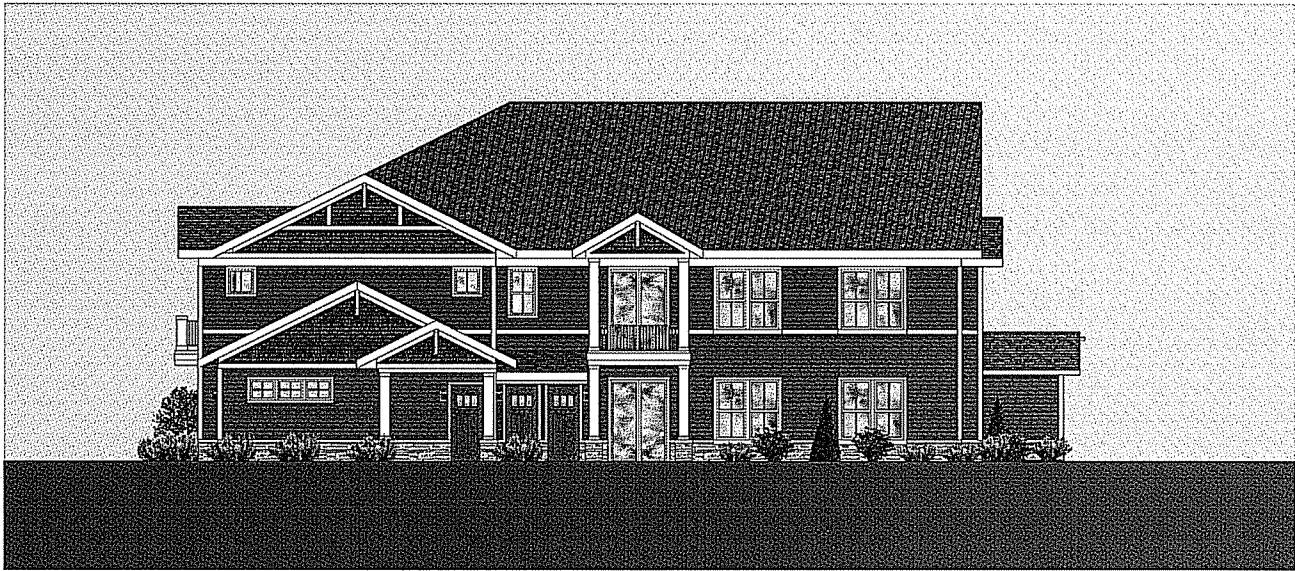
A201-A

**EXTERIOR MATERIAL SCHEDULE**

ITEM #	DESCRIPTION	QUANTITY (SQ. FT.)
1. ROOF 1	ASPH/FLT SHLS (SHRUBBER)	
2. ROOF 2	ASPH/FLT SHLS (SHRUBBER)	
3. ROOF 3	ASPH/FLT SHLS (SHRUBBER)	
4. ROOF 4	ASPH/FLT SHLS (SHRUBBER)	
5. EXTERIOR WALLS	BRICK (COMMON BRICK)	
6. ROOF 5	ASPH/FLT SHLS (SHRUBBER)	
7. ROOF 6	ASPH/FLT SHLS (SHRUBBER)	
8. ROOF 7	ASPH/FLT SHLS (SHRUBBER)	
9. ROOF 8	ASPH/FLT SHLS (SHRUBBER)	
10. ROOF 9	ASPH/FLT SHLS (SHRUBBER)	
11. ROOF 10	ASPH/FLT SHLS (SHRUBBER)	
12. ROOF 11	ASPH/FLT SHLS (SHRUBBER)	
13. ROOF 12	ASPH/FLT SHLS (SHRUBBER)	
14. ROOF 13	ASPH/FLT SHLS (SHRUBBER)	
15. ROOF 14	ASPH/FLT SHLS (SHRUBBER)	
16. ROOF 15	ASPH/FLT SHLS (SHRUBBER)	
17. ROOF 16	ASPH/FLT SHLS (SHRUBBER)	
18. ROOF 17	ASPH/FLT SHLS (SHRUBBER)	
19. ROOF 18	ASPH/FLT SHLS (SHRUBBER)	
20. ROOF 19	ASPH/FLT SHLS (SHRUBBER)	
21. ROOF 20	ASPH/FLT SHLS (SHRUBBER)	
22. ROOF 21	ASPH/FLT SHLS (SHRUBBER)	
23. ROOF 22	ASPH/FLT SHLS (SHRUBBER)	
24. ROOF 23	ASPH/FLT SHLS (SHRUBBER)	
25. ROOF 24	ASPH/FLT SHLS (SHRUBBER)	
26. ROOF 25	ASPH/FLT SHLS (SHRUBBER)	
27. ROOF 26	ASPH/FLT SHLS (SHRUBBER)	
28. ROOF 27	ASPH/FLT SHLS (SHRUBBER)	
29. ROOF 28	ASPH/FLT SHLS (SHRUBBER)	
30. ROOF 29	ASPH/FLT SHLS (SHRUBBER)	
31. ROOF 30	ASPH/FLT SHLS (SHRUBBER)	
32. ROOF 31	ASPH/FLT SHLS (SHRUBBER)	
33. ROOF 32	ASPH/FLT SHLS (SHRUBBER)	
34. ROOF 33	ASPH/FLT SHLS (SHRUBBER)	
35. ROOF 34	ASPH/FLT SHLS (SHRUBBER)	
36. ROOF 35	ASPH/FLT SHLS (SHRUBBER)	
37. ROOF 36	ASPH/FLT SHLS (SHRUBBER)	
38. ROOF 37	ASPH/FLT SHLS (SHRUBBER)	
39. ROOF 38	ASPH/FLT SHLS (SHRUBBER)	
40. ROOF 39	ASPH/FLT SHLS (SHRUBBER)	
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44. ROOF 43	ASPH/FLT SHLS (SHRUBBER)	
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136. ROOF 135	ASPH/FLT SHLS (SHRUBBER)	
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153. ROOF 152	ASPH/FLT SHLS (SHRUBBER)	
154. ROOF 153	ASPH/FLT SHLS (SHRUBBER)	
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160. ROOF 159	ASPH/FLT SHLS (SHRUBBER)	
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166. ROOF 165	ASPH/FLT SHLS (SHRUBBER)	
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175. ROOF 174	ASPH/FLT SHLS (SHRUBBER)	
176. ROOF 175	ASPH/FLT SHLS (SHRUBBER)	
177. ROOF 176	ASPH/FLT SHLS (SHRUBBER)	
178. ROOF 177	ASPH/FLT SHLS (SHRUBBER)	
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192. ROOF 191	ASPH/FLT SHLS (SHRUBBER)	
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196. ROOF 195	ASPH/FLT SHLS (SHRUBBER)	
197. ROOF 196	ASPH/FLT SHLS (SHRUBBER)	
198. ROOF 197	ASPH/FLT SHLS (SHRUBBER)	
199. ROOF 198	ASPH/FLT SHLS (SHRUBBER)	
200. ROOF 199	ASPH/FLT SHLS (SHRUBBER)	



② BUILDING 'B' - ELEVATION 2  
3/16" = 1'-0"



① BUILDING 'B' - ELEVATION 3  
3/16" = 1'-0"

**JLA**  
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TEL: 617.552.1234  
FAX: 617.552.1235  
JLA PROJECT NUMBER: 14-0102

DECKER PROPERTIES,  
INC.

CATALINA CROSSING  
APARTMENTS

**PROGRESS DOCUMENTS**  
These documents reflect progress and issues and may be subject to change, including addition or deletion. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE		
Month	Drawings	Date

**SHEET TITLE**  
EXTERIOR ELEVATIONS

**SHEET NUMBER**  
A 200 - B



EXTERIOR MATERIAL SCHEDULE		
1. WINDOW 1	FRAMING	1" x 4" SYPRESS, UNPAINTED
2. WINDOW 2	FRAMING	1" x 4" SYPRESS, UNPAINTED
3. WINDOW 3	FRAMING	1" x 4" SYPRESS, UNPAINTED
4. WINDOW 4	FRAMING	1" x 4" SYPRESS, UNPAINTED
5. WINDOW 5	FRAMING	1" x 4" SYPRESS, UNPAINTED
6. WINDOW 6	FRAMING	1" x 4" SYPRESS, UNPAINTED
7. WINDOW 7	FRAMING	1" x 4" SYPRESS, UNPAINTED
8. WINDOW 8	FRAMING	1" x 4" SYPRESS, UNPAINTED
9. WINDOW 9	FRAMING	1" x 4" SYPRESS, UNPAINTED
10. WINDOW 10	FRAMING	1" x 4" SYPRESS, UNPAINTED
11. WINDOW 11	FRAMING	1" x 4" SYPRESS, UNPAINTED
12. WINDOW 12	FRAMING	1" x 4" SYPRESS, UNPAINTED
13. WINDOW 13	FRAMING	1" x 4" SYPRESS, UNPAINTED
14. WINDOW 14	FRAMING	1" x 4" SYPRESS, UNPAINTED
15. WINDOW 15	FRAMING	1" x 4" SYPRESS, UNPAINTED



② BUILDING 'B' - ELEVATION 1  
3/16" = 1'-0"



① BUILDING 'B' - ELEVATION 4  
3/16" = 1'-0"

**JLA**  
ARCHITECTURE INCORPORATED

JOSEPH LEE & ASSOCIATES  
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SAN JOSE, CALIFORNIA 95131  
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04 PROJECT NUMBER: 142103

DECKER PROPERTIES,  
INC.

CATALINA CROSSING  
APARTMENTS

**PROGRESS DOCUMENTS**

These documents reflect progress and history and may be subject to change, including editorial error. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule		
Mark	Description	Date

SHEET TITLE  
EXTERIOR ELEVATIONS

SHEET NUMBER  
A201-B

EXTERIOR MATERIAL SCHEDULE		
1. WINDOW 1	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
2. WINDOW 2	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
3. WINDOW 3	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
4. WINDOW 4	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
5. WINDOW 5	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
6. WINDOW 6	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
7. WINDOW 7	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
8. WINDOW 8	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
9. WINDOW 9	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
10. WINDOW 10	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
11. WINDOW 11	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
12. WINDOW 12	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
13. WINDOW 13	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
14. WINDOW 14	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
15. WINDOW 15	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
16. WINDOW 16	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
17. WINDOW 17	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
18. WINDOW 18	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
19. WINDOW 19	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION
20. WINDOW 20	EXTERIOR FINISH	1" POLYURETHANE URETHANE INSULATION



Ⓢ BUILDING 'C' - ELEVATION 2  
3/16" = 1'-0"



Ⓢ BUILDING 'C' - ELEVATION 3  
3/16" = 1'-0"

**JLA**  
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04 PROJECT NUMBER: 14-0113

DECKER PROPERTIES,  
INC.

CATALINA CROSSING  
APARTMENTS

**PROGRESS DOCUMENTS**

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DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule		
Month	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A200-C

EXTERIOR MATERIAL SCHEDULE		
1. BRICK	Exterior	3" Solid Brick, Mortar Joint
2. BRICK	Exterior	3" Solid Brick, Mortar Joint
3. BRICK	Exterior	3" Solid Brick, Mortar Joint
4. BRICK	Exterior	3" Solid Brick, Mortar Joint
5. STONE	Exterior	3" Solid Brick, Mortar Joint
6. BRICK	Exterior	3" Solid Brick, Mortar Joint
7. BRICK	Exterior	3" Solid Brick, Mortar Joint
8. BRICK	Exterior	3" Solid Brick, Mortar Joint
9. BRICK	Exterior	3" Solid Brick, Mortar Joint
10. BRICK	Exterior	3" Solid Brick, Mortar Joint
11. BRICK	Exterior	3" Solid Brick, Mortar Joint
12. BRICK	Exterior	3" Solid Brick, Mortar Joint



1 BUILDING 'C' - ELEVATION 1  
3/16" = 1'-0"



2 BUILDING 'C' - ELEVATION 4  
3/16" = 1'-0"

**JLA**  
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RA PROJECT NUMBER: 14-0112

DECKER PROPERTIES,  
INC.

CATALINA CROSSING  
APARTMENTS

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DATE OF ISSUANCE: 04 FEBRUARY 2015  
Revision Schedule  
Mark Description Date

SHEET TITLE  
EXTERIOR ELEVATIONS

SHEET NUMBER  
A201-C



DECKER PROPERTIES,  
 INC.

CATALINA CROSSING  
 APARTMENTS

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional items. These are not final construction documents and should not be used for building or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

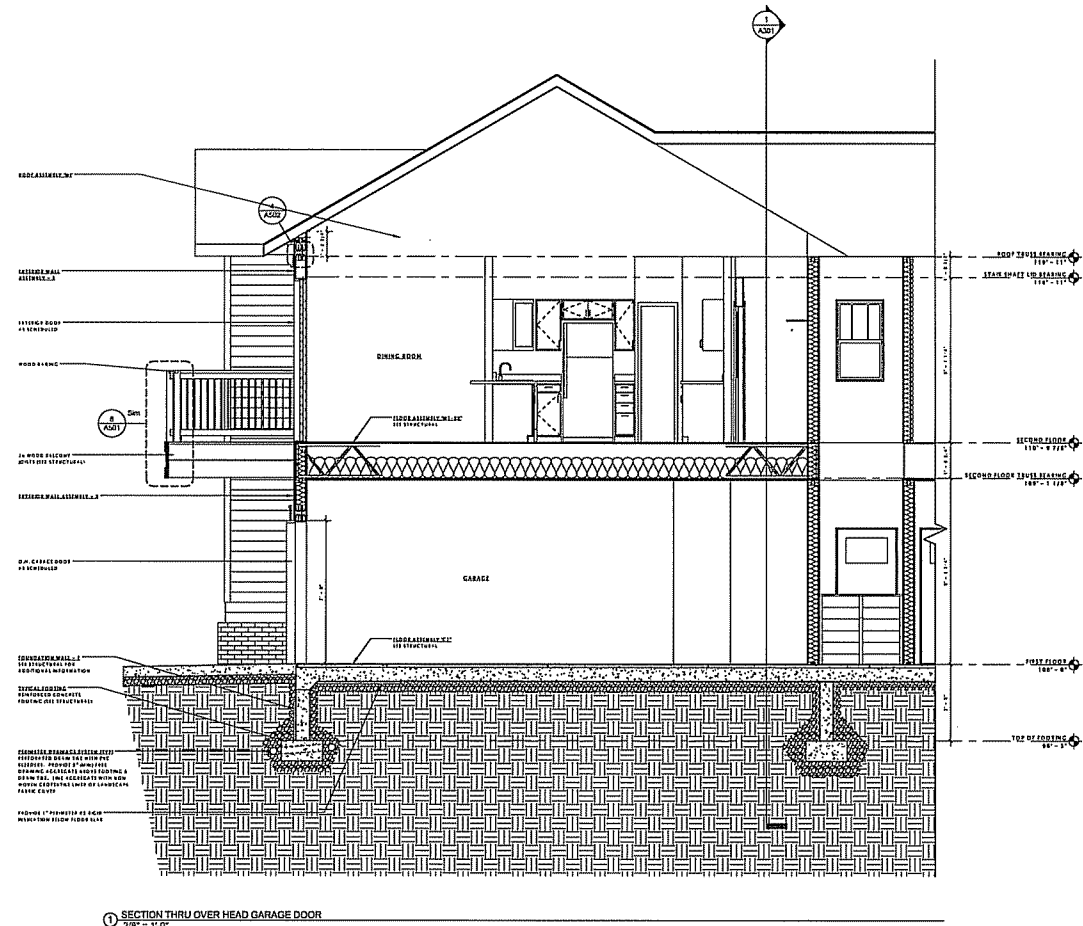
Revision Schedule		
No.	Description	Date

SHEET TITLE

**BUILDING SECTIONS**

SHEET NUMBER

**A300**



1 SECTION THRU OVER HEAD GARAGE DOOR  
 3/8" = 1'-0"

DECKER PROPERTIES, INC.

CATALINA CROSSING APARTMENTS

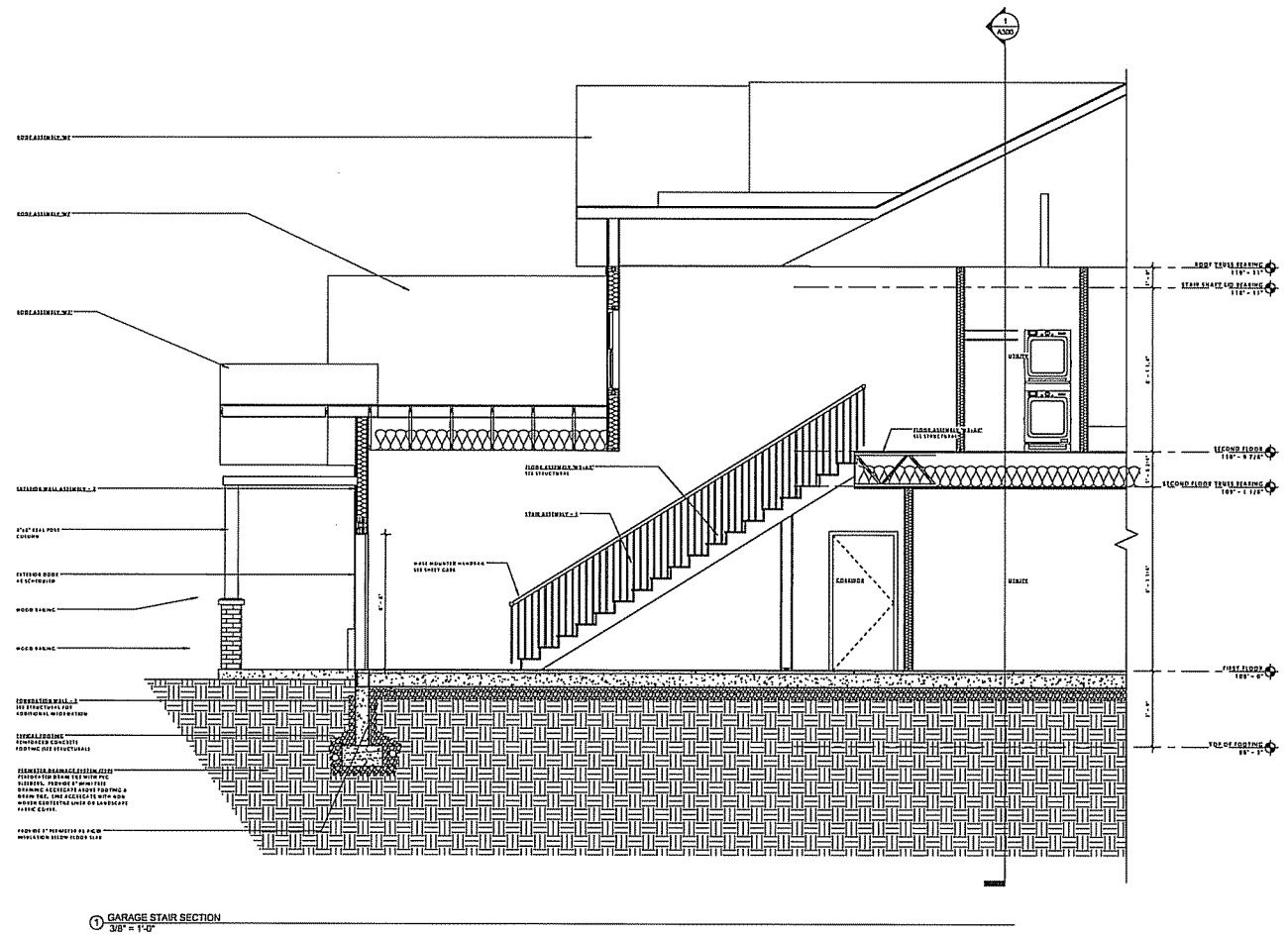
**PROGRESS DOCUMENTS**  
 These documents reflect progress and issues and may be subject to change, including additional detail. They are not final construction documents and should not be used for finalizing or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

Revision Schedule		
Rev.	Description	Date

SHEET TITLE  
**BUILDING SECTIONS**

SHEET NUMBER  
**A301**



① GARAGE STAIR SECTION  
 3/8" = 1'-0"

DECKER PROPERTIES, INC.

CATALINA CROSSING APARTMENTS

**PROGRESS DOCUMENTS**

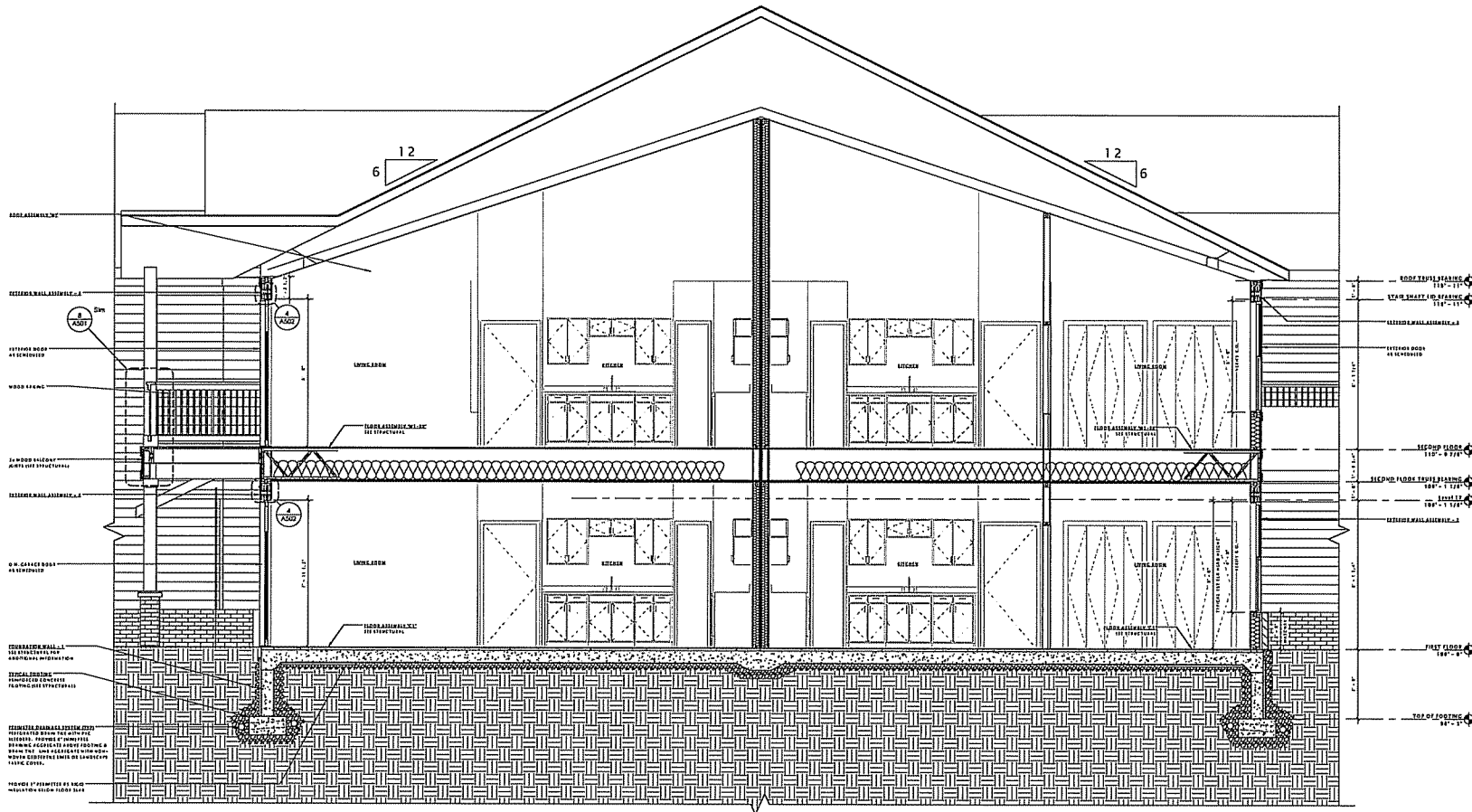
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DATE OF ISSUANCE: 04 FEBRUARY 2015

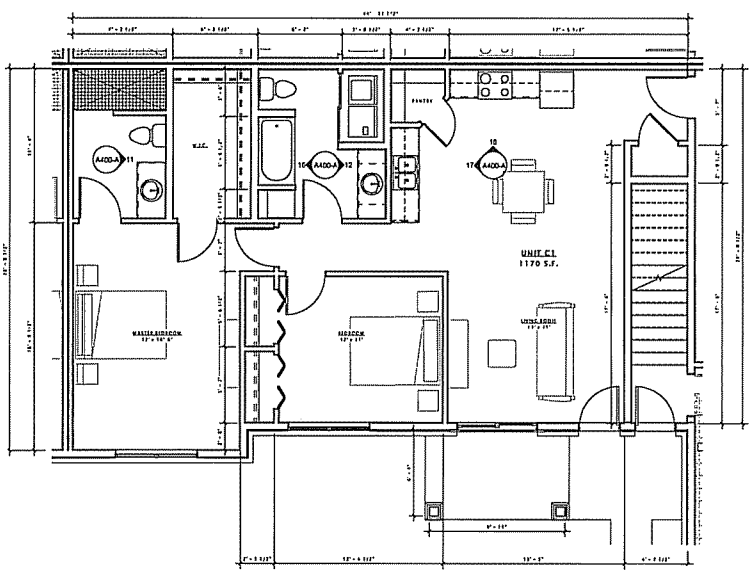
Mark	Description	Date

SHEET TITLE  
**BUILDING SECTIONS**

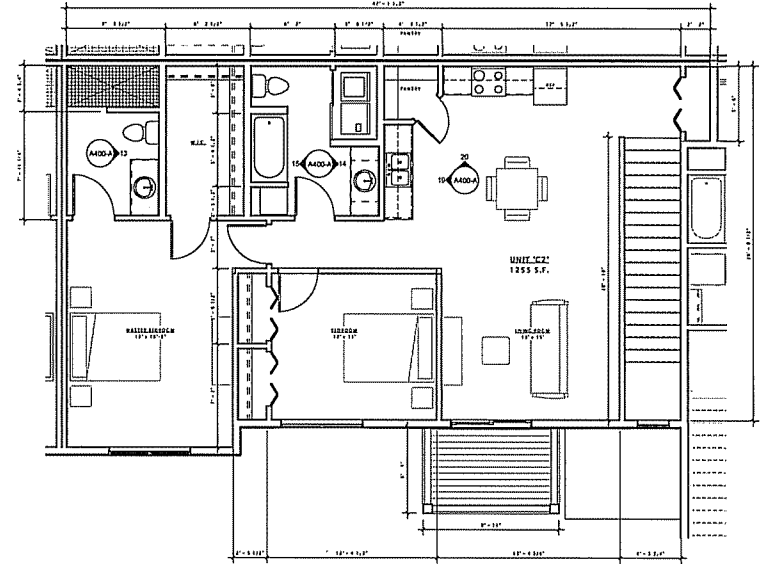
SHEET NUMBER  
**A302**



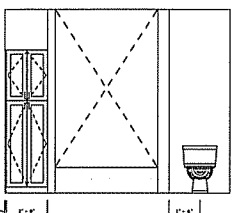
2 WALL SECTION  
 3/8" = 1'-0"



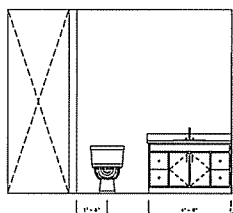
① UNIT 'A1' - FLOOR PLAN  
1/4" = 1'-0"



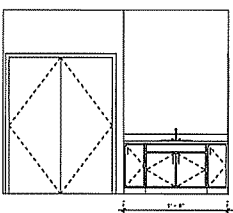
② UNIT 'A2' - FLOOR PLAN  
1/4" = 1'-0"



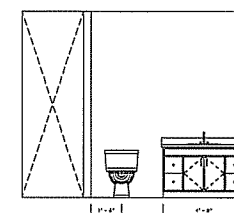
⑬ A1 - BATH 3  
3/8" = 1'-0"



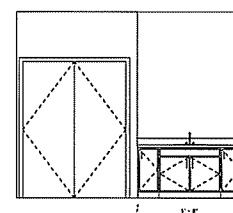
⑭ A1 - BATH 1  
3/8" = 1'-0"



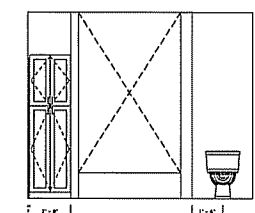
⑮ A1 - BATH 2  
3/8" = 1'-0"



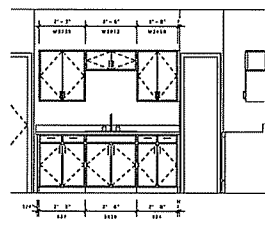
⑯ A2 - BATH 1  
3/8" = 1'-0"



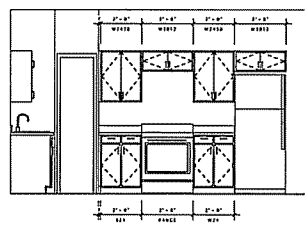
⑰ A2 - BATH 2  
3/8" = 1'-0"



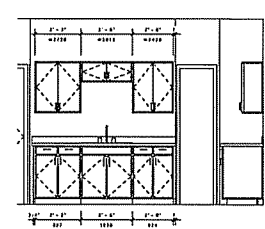
⑱ A2 - BATH 3  
3/8" = 1'-0"



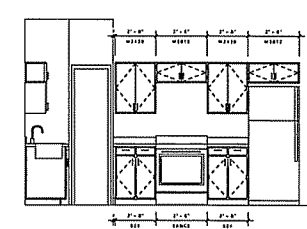
⑲ A1 - KITCHEN 1  
3/8" = 1'-0"



⑳ A1 - KITCHEN 2  
3/8" = 1'-0"



㉑ A2 - KITCHEN 1  
3/8" = 1'-0"



㉒ A2 - KITCHEN 2  
3/8" = 1'-0"

# JLA

JOSEPH J. LEI ASSOCIATES  
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JLA PROJECT NUMBER: 14-1181

DECKER PROPERTIES,  
INC.

CATALINA CROSSING  
APARTMENTS

**PROGRESS DOCUMENTS**

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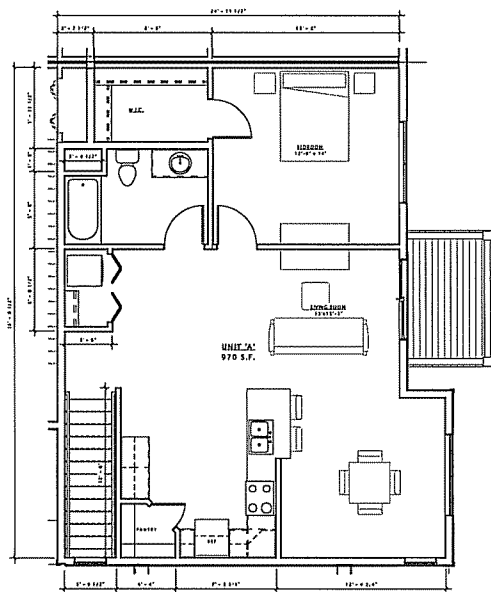
DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule	
Mat'd	Date

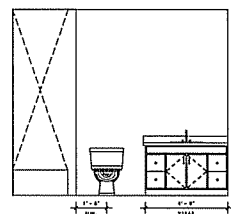
SHEET TITLE  
**PLANS & INTERIOR  
ELEVATIONS -  
BUILDING TYPE 'A'**

SHEET NUMBER

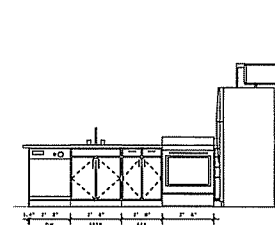
**A400-A**



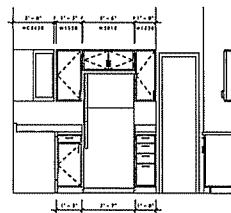
② SECOND FLOOR PLAN - BUILDING 'A'  
1/4" = 1'-0"



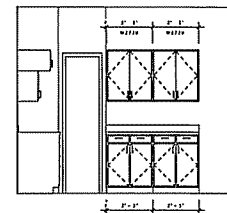
④ A3 - BATH  
3/8" = 1'-0"



⑤ A3 - KITCHEN 1  
3/8" = 1'-0"



⑥ A3 - KITCHEN 2  
3/8" = 1'-0"



⑦ A3 - KITCHEN 3  
3/8" = 1'-0"

**JLA**  
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JLA PROJECT NUMBER: 14-1181

DECKER PROPERTIES,  
INC.

CATALINA CROSSING  
APARTMENTS

**PROGRESS DOCUMENTS**

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DATE OF ISSUANCE 04 FEBRUARY 2015

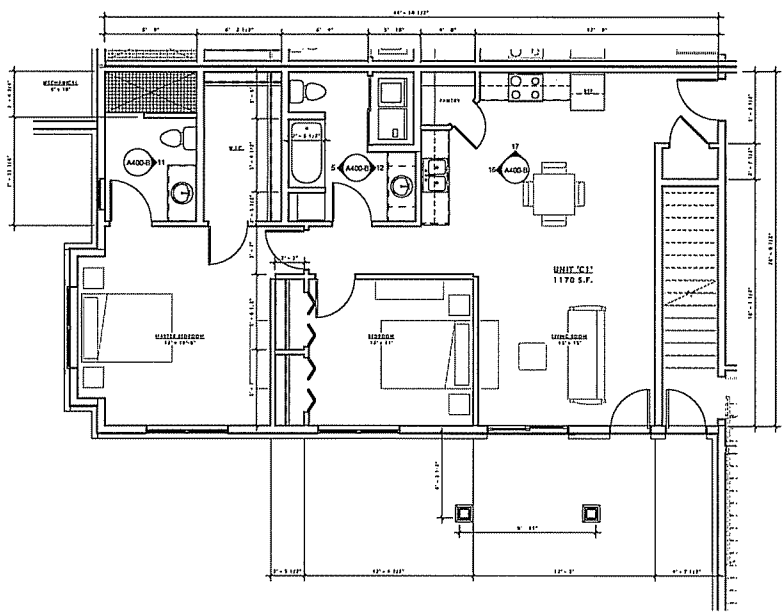
Rev.	Revision Schedule	Date
001	02/02/15	02/02/15

**SHEET TITLE**

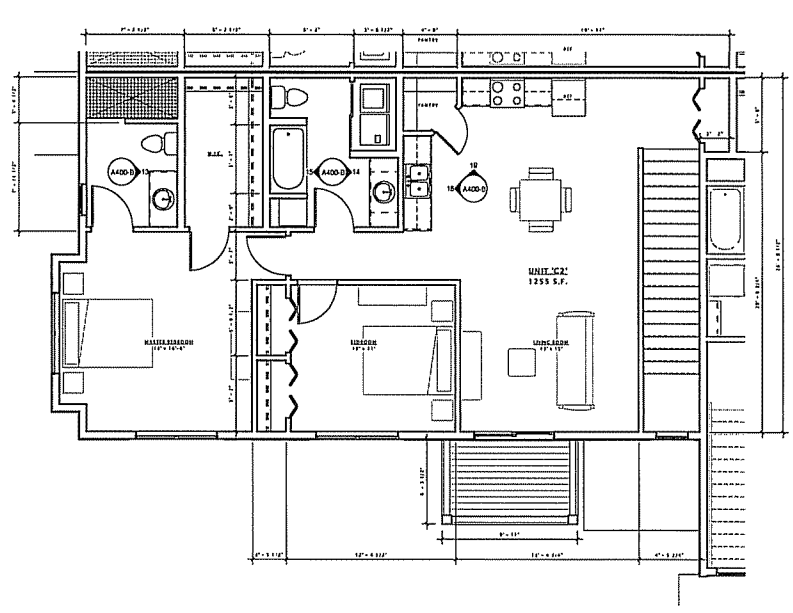
PLANS & INTERIOR  
ELEVATIONS -  
BUILDING TYPE 'A'

**SHEET NUMBER**

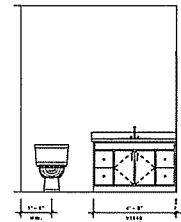
A401-A



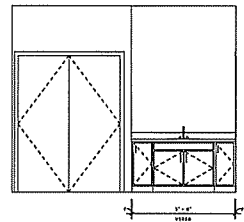
① UNIT 'B1' - FLOOR PLAN  
 1/4" = 1'-0"



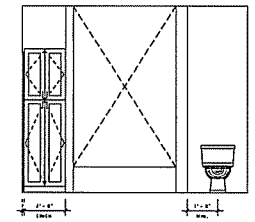
② UNIT 'B2' - FLOOR PLAN  
 1/4" = 1'-0"



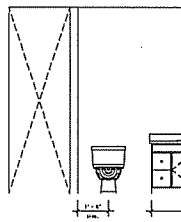
③ B1 - BATH 1  
 3/8" = 1'-0"



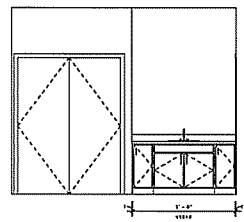
④ B1 - BATH 2  
 3/8" = 1'-0"



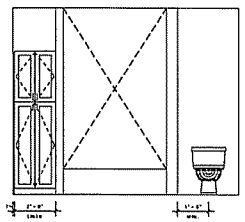
⑤ B1 - BATH 3  
 3/8" = 1'-0"



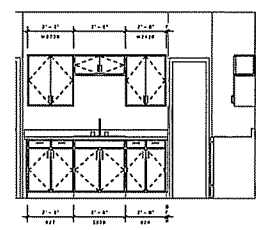
⑥ B2 - BATH 1  
 3/8" = 1'-0"



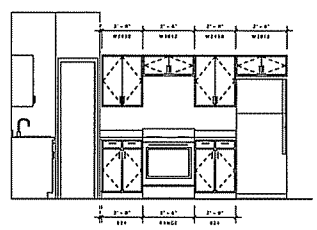
⑦ B2 - BATH 2  
 3/8" = 1'-0"



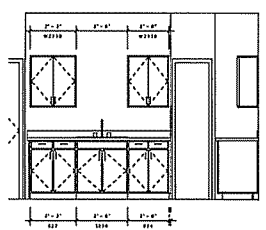
⑧ B2 - BATH 3  
 3/8" = 1'-0"



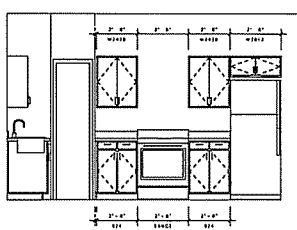
⑨ B1 - KITCHEN 1  
 3/8" = 1'-0"



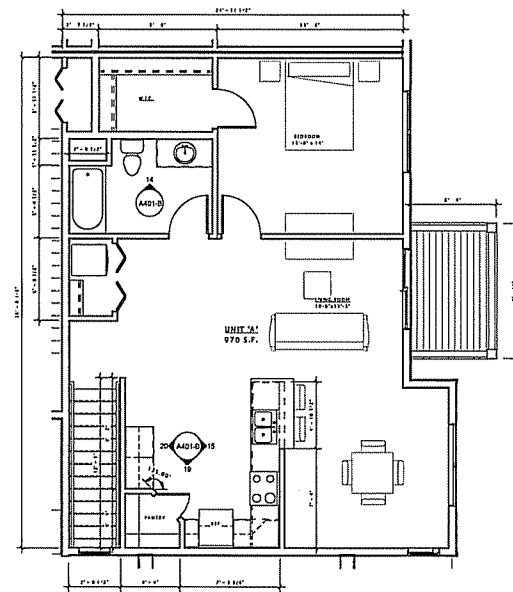
⑩ B1 - KITCHEN 2  
 3/8" = 1'-0"



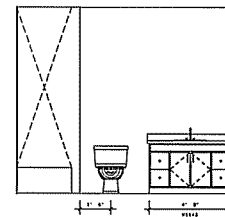
⑪ B2 - KITCHEN 1  
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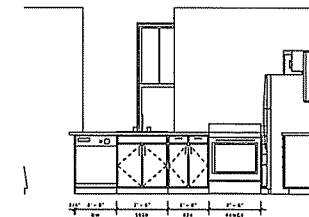
⑫ B2 - KITCHEN 2  
 3/8" = 1'-0"



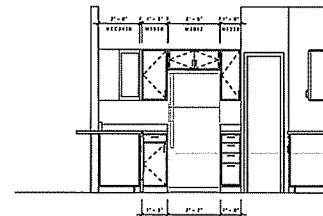
② SECOND FLOOR PLAN - BUILDING 'B'  
1/4" = 1'-0"



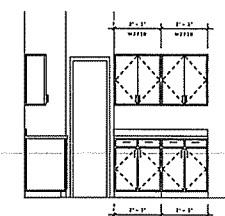
⑬ B3 - BATH  
3/8" = 1'-0"



⑭ B3 - KITCHEN 1  
3/8" = 1'-0"



⑮ B3 - KITCHEN 2  
3/8" = 1'-0"



⑯ B3 - KITCHEN 3  
3/8" = 1'-0"

**JLA**  
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JLA PROJECT NUMBER: 14-1193

DECKER PROPERTIES,  
INC.

CATALINA CROSSING  
APARTMENTS

**PROGRESS DOCUMENTS**

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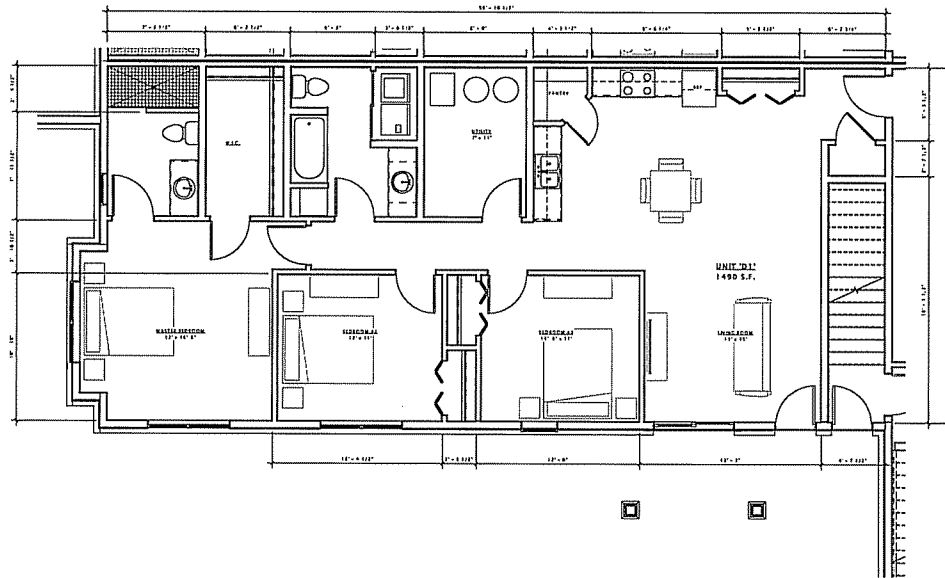
Revision Schedule	
Rev. 1	Description

SHEET TITLE

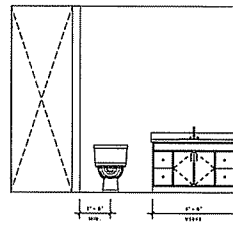
PLANS & INTERIOR  
ELEVATIONS -  
BUILDING TYPE 'B'

SHEET NUMBER

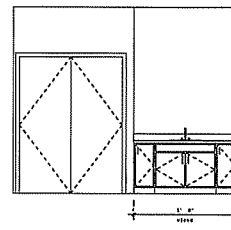
A401-B



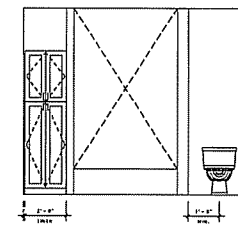
8 FIRST FLOOR PLAN - BUILDING 'C'  
1/4" = 1'-0"



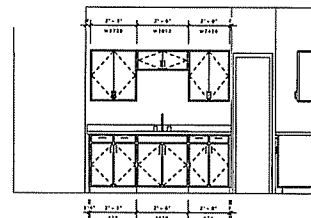
13 C1 - BATH 1  
3/8" = 1'-0"



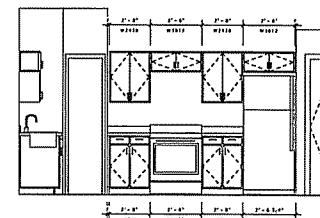
14 C1 - BATH 2  
3/8" = 1'-0"



15 C1 - BATH 3  
3/8" = 1'-0"



16 C1 - KITCHEN 1  
3/8" = 1'-0"



17 C1 - KITCHEN 2  
3/8" = 1'-0"

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JLA PROJECT NUMBER: 14-1161

DECKER PROPERTIES,  
INC.

CATALINA CROSSING  
APARTMENTS

PROGRESS DOCUMENTS

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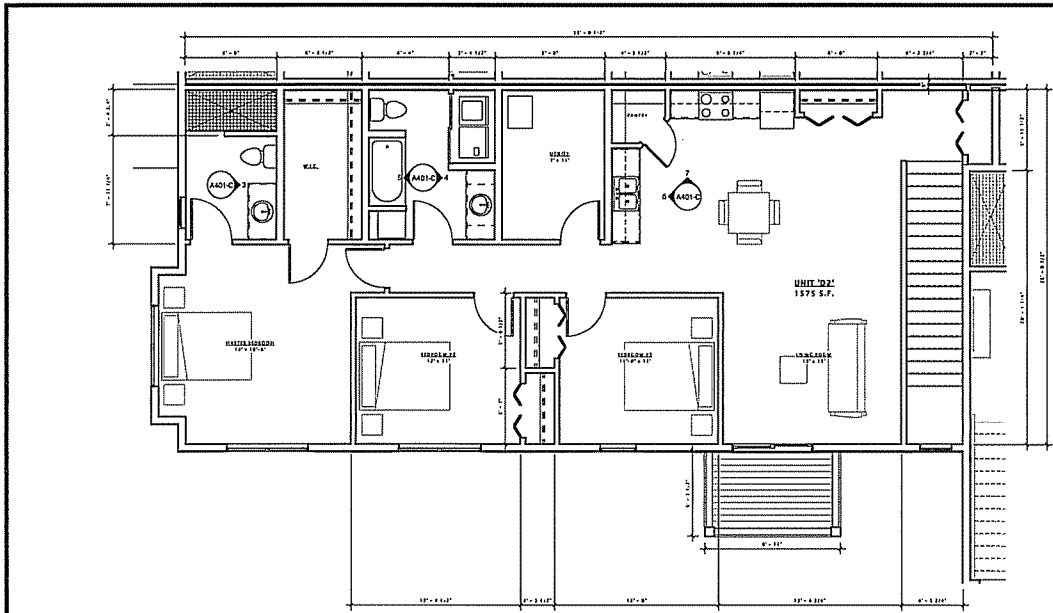
DATE OF ISSUANCE 04 FEBRUARY 2015

Revision Schedule	
Mat'd	Date

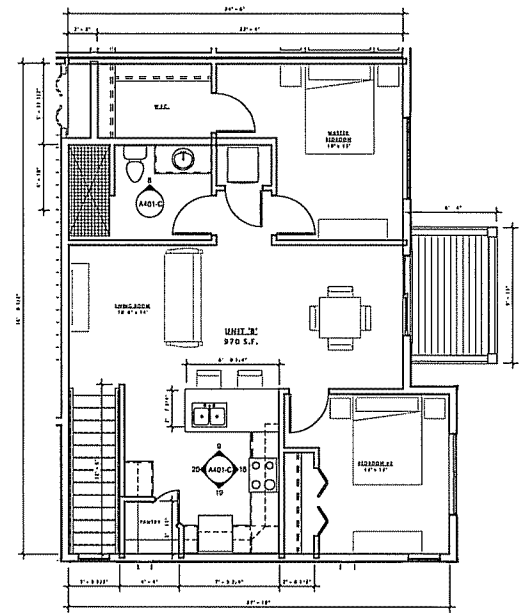
SHEET TITLE  
**PLANS & INTERIOR  
ELEVATIONS -  
BUILDING TYPE 'C'**

SHEET NUMBER  
**A400-C**

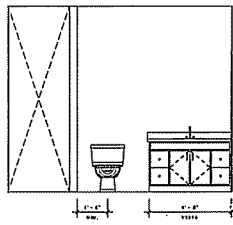




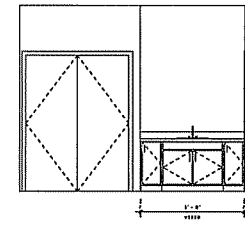
1 SECOND FLOOR PLAN - BUILDING 'C'  
1/4" = 1'-0"



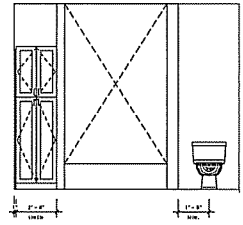
2 SECOND FLOOR PLAN - BUILDING 'C'  
1/4" = 1'-0"



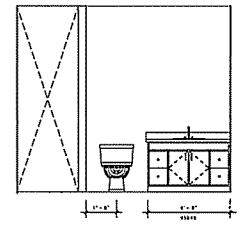
3 C2 - BATH1  
3/8" = 1'-0"



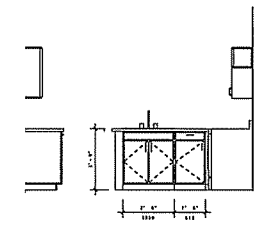
4 C2 - BATH2  
3/8" = 1'-0"



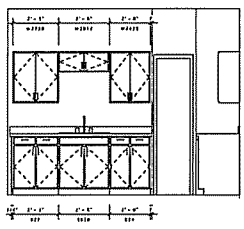
5 C2 - BATH3  
3/8" = 1'-0"



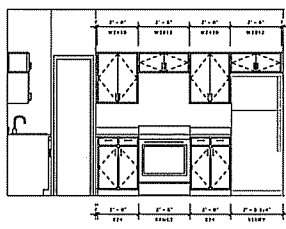
6 C3 - BATH  
3/8" = 1'-0"



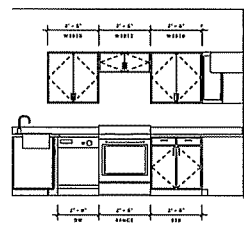
7 C3 - KITCHEN 1  
3/8" = 1'-0"



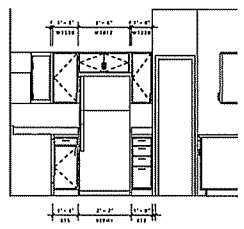
8 C2 - KITCHEN 1  
3/8" = 1'-0"



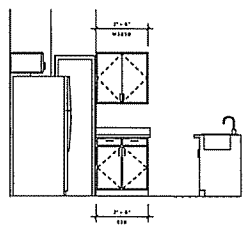
9 C2 - KITCHEN 2  
3/8" = 1'-0"



10 C3 - KITCHEN 2  
3/8" = 1'-0"



11 C3 - KITCHEN 3  
3/8" = 1'-0"



12 C3 - KITCHEN 4  
3/8" = 1'-0"

**JLA**  
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DECKER PROPERTIES,  
INC.

CATALINA CROSSING  
APARTMENTS

PROGRESS DOCUMENTS

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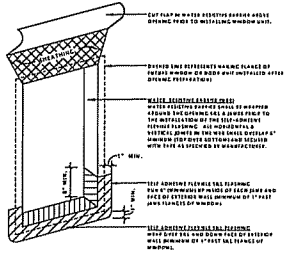
Revision Schedule	
Rev.	Date

SHEET TITLE  
PLANS & INTERIOR  
ELEVATIONS -  
BUILDING TYPE 'C'

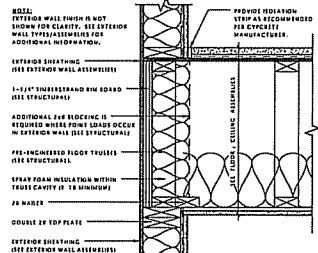
SHEET NUMBER  
A401-C



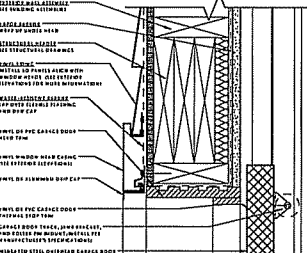




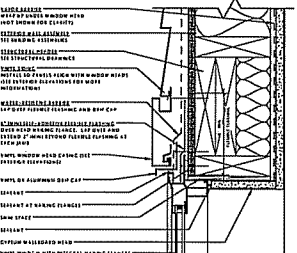
1 EXTERIOR OPENING PREPARATION  
1 1/2" = 1'-0"



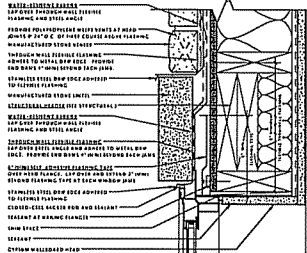
2 EXTERIOR WALL/FLOOR DETAIL - PARALLEL TO TRUSS  
1 1/2" = 1'-0"



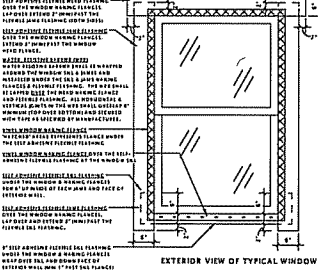
3 RESIDENTIAL GARAGE DOOR HEAD - VINYL SIDING  
3" = 1'-0"



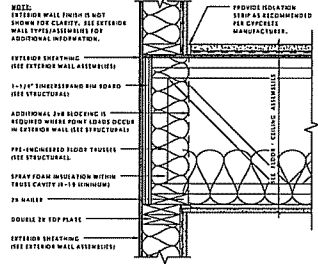
4 TYPICAL WINDOW HEAD AT SIDING  
3" = 1'-0"



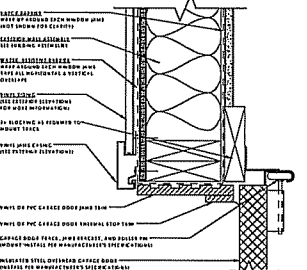
5 TYPICAL WINDOW HEAD AT STONE VENEER  
3" = 1'-0"



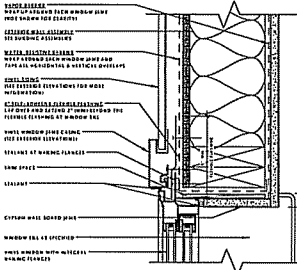
6 WINDOW/DOOR FLASHING DIAGRAM - VINYL  
3/4" = 1'-0"



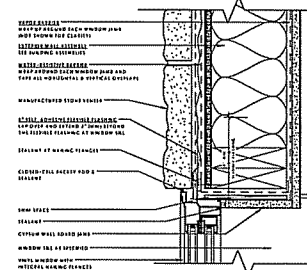
7 EXTERIOR WALL/FLOOR DETAIL - PERPENDICULAR TO TRUSS  
1 1/2" = 1'-0"



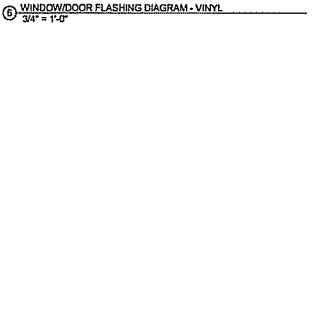
8 RESIDENTIAL GARAGE DOOR JAMB - VINYL SIDING  
3" = 1'-0"



9 TYPICAL WINDOW JAMB AT SIDING  
3" = 1'-0"



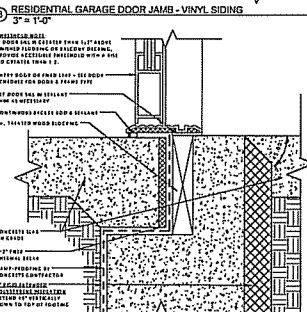
10 TYPICAL WINDOW JAMB AT STONE VENEER  
3" = 1'-0"



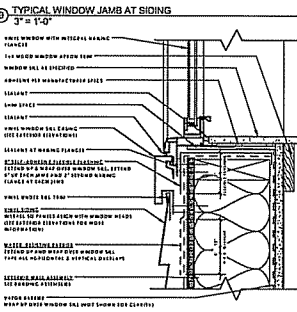
11 EXTERIOR DOOR THRESHOLD  
3" = 1'-0"



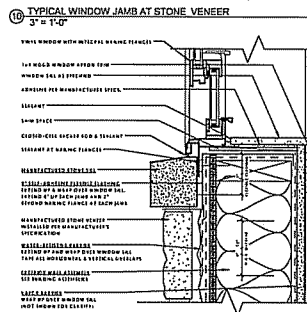
12 TYPICAL WINDOW SILL AT SIDING  
3" = 1'-0"



13 TYPICAL WINDOW SILL AT STONE VENEER  
3" = 1'-0"



14 VERTICAL MATERIAL TRANSITION  
3" = 1'-0"



15 TYPICAL WINDOW SILL AT STONE VENEER  
3" = 1'-0"

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FAX: 414.224.1101  
JLA PROJECT NUMBER: 14-1181

DECKER PROPERTIES, INC.

CATALINA CROSSING APARTMENTS

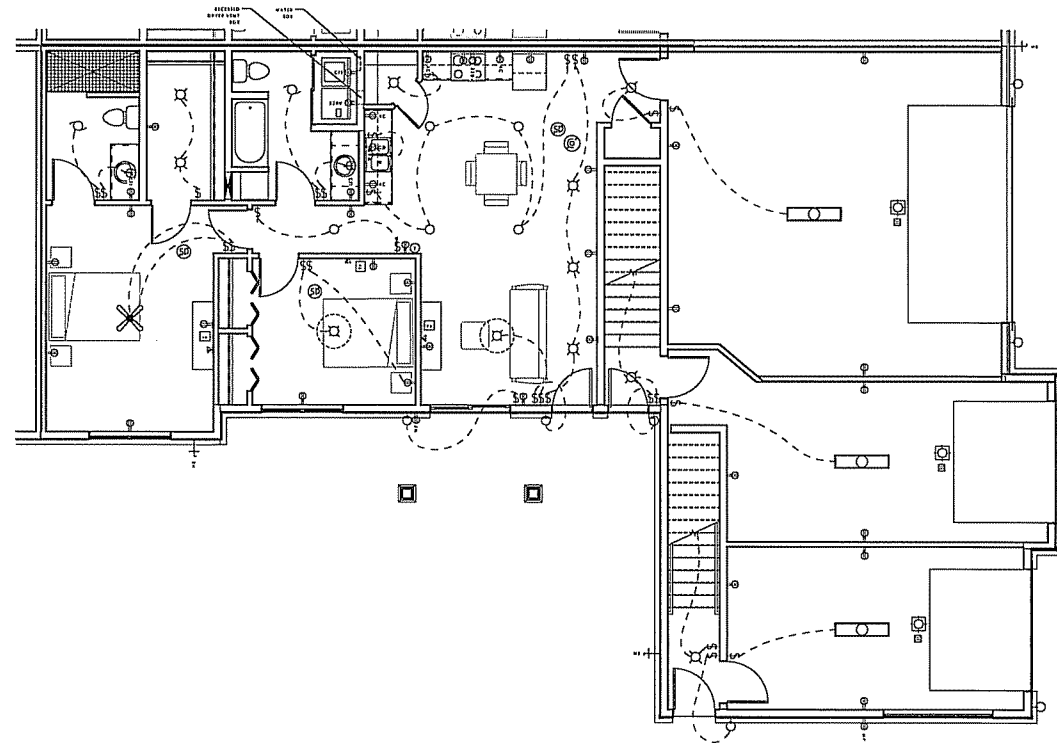
DATE OF ISSUANCE		04 FEBRUARY 2015	
Revision Schedule			
Mark	Description	Date	
SHEET TITLE			
BUILDING DETAILS			
SHEET NUMBER			
A502			

DEVICE PLACEMENT FIXTURE SYMBOLS			
	CEILING LIGHT (SURFACE MOUNTED)		ACCENT CEILING LIGHT (SURFACE MOUNTED)
	RECESSED CAN CEILING LIGHT		PENDANT LIGHT
	WALL LIGHT (SURFACE MOUNTED)		ACCENT WALL LIGHT (SURFACE MOUNTED)
	SPOT LIGHT (CEILING MOUNTED)		SPOT LIGHT (WALL MOUNTED)
	CEILING FAN & LIGHT (SURFACE SEPARATELY)		4' x 4' FLUORESCENT LIGHT FIXTURE (SURFACE MOUNTED)
	CEILING FAN (NO LIGHT)		4' x 4' FLUORESCENT LIGHT FIXTURE (RECESSED)
	FUTURE CEILING FAN (RECESSED ONLY)		4' x 4' FLUORESCENT LIGHT FIXTURE (RECESSED)
	UNDER-CABINET LIGHTING		4' FLUORESCENT STRIP (SURFACE MOUNTED)
	EXHAUST FAN & LIGHT		GARAGE DOOR OPERATOR MOTOR LIGHT
	SMOKE DETECTOR		CARBON MONOXIDE DETECTOR
	BATTERY OPERATED EMERGENCY LIGHTING		HOT AIR VENT

DEVICE PLACEMENT POWER & DATA SYMBOLS			
ELECTRICAL - DIVISION 28			
WALL	FLOOR	RECEPTACLES	UTILITIES
OS	ES	SHREDS	SP SINGLE POLE
OS	ES	OUTLETS	SP DOUBLE
OS	ES	TERMIN	SP DOUBLE POLE
OS	ES	QUADRAPLES	SP THREE WAY
OS	ES	PANELS (PANELS)	SP LOW VOLT 120
OS	ES	PANELS (OS 220V)	SP TINNER OPERATED
OS	ES	BLANK	SP LOW-VOLTAGE MASTER
OS	ES	CONDUIT	SP MEDIUM VOLTAGE
OS	ES	JUNCTION BOX	SP ELECTRICAL PANEL
COMMUNICATIONS - DIVISION 27			
WALL	FLOOR	RECEPTACLES	WALL MISCELLANEOUS
M		DATA	OH HURD CALL
M		VOICE	OH TELEPHONE
M		VOICE & DATA	OH SECURITY CAMERA
CM	CM	VOICE, DATA, & POWER TELEVISION	D WIRELESS ROUTER (PROVIDE POWER & DATA)
CM		TELEVISION	DL
SUBSCRIPT LEGEND			
AC	ABOVE COUNTER	R	RANGE
D	DEDICATED	S	SWITCHED
HT	HEIGHT (INCHES X FT)	W	WEATHER PROOF
J20V	220 VOLT	WF	WEATHER PROOF
CH	CROUCH PANEL INTERFERENCE	CS	CABLE, SERIAL, LOCAL

**DEVICE PLACEMENT PLAN GENERAL NOTES**

- ARCHITECTURAL DEVICE PLACEMENT PLANS ARE A GUIDELINE ONLY. DESIGN/BUILD CONTRACTOR SHALL MODIFY PLANS FOR OWNER APPROVAL AND CODE COMPLIANCE.
- ALL PENETRATIONS OF RATED WALL AND CEILING ASSEMBLIES SHALL BE SEALED WITH A U.S. APPROVED SYSTEM WITH AN HOURLY RATING EQUAL TO THAT OF THE WALL OR CEILING TO BE PENETRATED.
- PROVIDE 110V OUTLETS 12" FROM CEILING AT REPEATER LOCATIONS. (LOCATIONS TO BE DETERMINED.)
- FIXTURES SHALL BE RECESSED AT ANY ACT CEILINGS AND SURFACE MOUNTED AT ANY GWS CEILINGS UNLESS NOTED OTHERWISE.
- LOCATE CEILING MOUNTED FIXTURES IN THE CENTER OF THE ROOM UNLESS DIMENSIONED OTHERWISE.
- WIRE SECOND BEDROOM SWITCHES IN ALL 288 UNITS FOR FUTURE CEILING FAN AS INDICATED ON DEVICE PLACEMENT PLANS.
- DEDICATE SEPARATE CIRCUIT FOR REFRIGERATOR, STOVE, AND DISHWASHER.
- COORDINATE BATHROOM SWITCHES WITH TOWEL BARS AND MIRRORS.
- ALL BEDROOM, LIVING ROOM, AND DINING ROOM BOXES SHALL BE 3-WIRE.
- UNLESS DISHWASHER DISCONNECT IS CONCEALED, PROVIDE A SPECIAL COLORED SWITCH.
- AT EACH UNIT, PROVIDE DOUBLE GANG BOX WITH BLANK COVER FOR (2) RG6 & (1) CAT6 WIRES CONNECTED TO D-HAVE TELECOM PANEL IN BASEMENT
- COORDINATE POWER REQUIREMENTS FOR HVAC EQUIPMENT WITH HVAC CONTRACTOR.
- FOR FIREPLACE ALTERNATE COORDINATE POWER & VENTILATION REQUIREMENTS WITH HVAC & ELECTRICAL CONTRACTORS PER MANUFACTURER SPECIFICATIONS.



1 FIRST FLOOR PLAN - BUILDING 'A'  
1/4" = 1'-0"



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2425 CARROLLWOOD DRIVE, SUITE 200  
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JLA PROJECT NUMBER: 14-1185

DECKER PROPERTIES, INC.

CATALINA CROSSING APARTMENTS

**PROGRESS DOCUMENTS**

These documents reflect progress and review and may be subject to change, including additional detail. Please refer to the construction documents and check with the architect for the building or construction-related purposes.

DATE OF ISSUANCE 04 FEBRUARY 2015		
Revision Schedule		
Mark	Description	Date

SHEET TITLE  
**DEVICE PLACEMENT PLAN - FIRST FLOOR BUILDING 'A'**

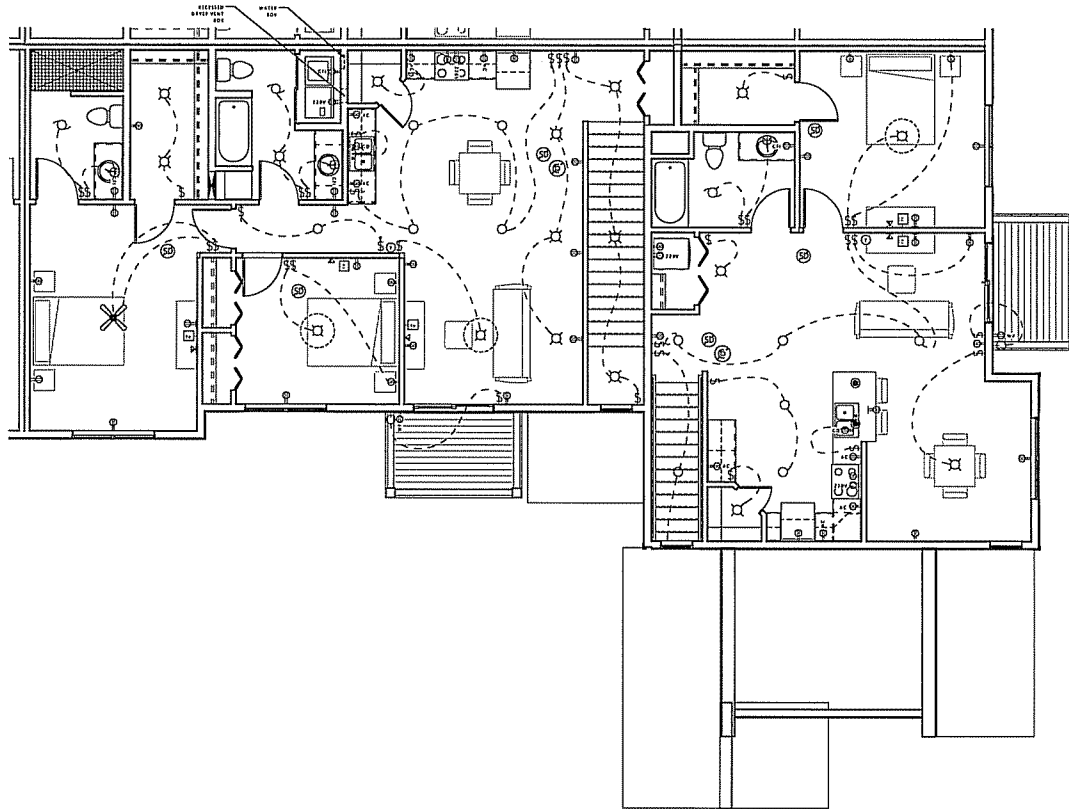
SHEET NUMBER  
**A900-A**

DEVICE PLACEMENT FEATURE SYMBOLS			
☒	CEILING LIGHT (SURFACE MOUNTED)	☒	ACCENT CEILING LIGHT (SURFACE MOUNTED)
○	CEILING LIGHT (RECESSED HIDDEN)	●	ACCENT CEILING LIGHT (RECESSED HIDDEN)
○	RECESSED CAN CEILING LIGHT	●	PENDANT LIGHT
○	WALL LIGHT (SURFACE MOUNTED)	○	ACCENT WALL LIGHT (SURFACE MOUNTED)
○	EFFI LIGHT (CEILING MOUNTED)	○	TRAY LIGHT (SMALL MOUNTED)
✕	CEILING FAN & LIGHT (SWITCH SEPARATE)	☒	2x4 FLOURESCENT LIGHT FIXTURE (SURFACE MOUNTED)
✕	CEILING FAN (NO LIGHT)	☒	2x4 FLOURESCENT LIGHT FIXTURE (RECESSED HIDDEN)
○	FUTURE CEILING FAN (RECESSED HIDDEN)	☒	2x4 FLOURESCENT RECESSED HIDDEN LIGHT FIXTURE
⊞	UNDER-CABINET LIGHTING	☒	4" FLOURESCENT TRAY (SURFACE MOUNTED)
⊞	EXHAUST FAN & LIGHT	☒	CHANCE DOOR (DOORS WITH LIGHT)
⊞	SMOKE DETECTOR	⊞	CARBON MONOXIDE DETECTOR
⊞	BATTERY OPERATED EMERGENCY LIGHTING	+	WIRE RUN

DEVICE PLACEMENT POWER & DATA SYMBOLS			
ELECTRICAL - DIVISION 26			
WALL	LEADER	RECEIZALS	SCHEDULES
⊞	⊞	⊞	WPN SINGLE POLE
⊞	⊞	⊞	WPN DOUBLE
⊞	⊞	⊞	WPN DOUBLE POLE
⊞	⊞	⊞	WPN THREE WAY
⊞	⊞	⊞	WPN 4-WAY
⊞	⊞	⊞	WPN 4-WAY TRIP
⊞	⊞	⊞	WPN LOW-VOLTAGE WASTE
⊞	⊞	⊞	NONION DETECTOR
⊞	⊞	⊞	ELECTRICAL PANEL
COMMUNICATIONS - DIVISION 27			
WALL	LEADER	RECEIZALS	WALL
⊞	⊞	⊞	UNIDIRECTIONAL
⊞	⊞	⊞	WIRELESS CALL
⊞	⊞	⊞	TELEPHONE
⊞	⊞	⊞	SECURITY CAMERA
⊞	⊞	⊞	WIRELESS ROUTER (PROVIDE POWER & DATA)
⊞	⊞	⊞	TV
SUBSYSTEM LEGEND			
AC	ACRYL COUNTER	R	RANGE
D	DEDICATED	S	SWITCHED
H	HIGHING HEIGHT (INCHES AFF)	T	TELECOM
220V	220 VOLT	W	WEATHER PAGES
ED	GROUND FAULT INTERUPPER	ED	CANAL DISPOSAL

### DEVICE PLACEMENT PLAN GENERAL NOTES

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- PROVIDE 110V OUTLETS 12" FROM CEILING AT REPEATER LOCATIONS. (LOCATIONS TO BE DETERMINED.)
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- LOCATE CEILING MOUNTED FIXTURES IN THE CENTER OF THE ROOM UNLESS DIMENSIONED OTHERWISE.
- WIRE SECOND BEDROOM SWITCHES IN ALL 2BR UNITS FOR FUTURE CEILING FAN AS INDICATED ON DEVICE PLACEMENT PLANS.
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- COORDINATE BATHROOM SWITCHES WITH TOWEL RACKS AND MIRRORS.
- ALL BEDROOM, LIVING ROOM, AND DINING ROOM BOXES SHALL BE 3-WIRE.
- UNLESS DISHWASHER DISCONNECT IS CONCEALED, PROVIDE A SPECIAL COLORED SWITCH.
- AT EACH UNIT, PROVIDE DOUBLE GANG BOX WITH BLANK COVER FOR (2) RG6 & (1) CAT5 WIRES CONNECTED TO D-WARE TELECOM PANEL IN BASEMENT.
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- FOR FIREPLACE ALTERNATE COORDINATE POWER & VENTILATION REQUIREMENTS WITH HVAC & ELECTRICAL CONTRACTORS PER MANUFACTURER SPECIFICATIONS.



1 SECOND FLOOR PLAN - BUILDING 'A'  
1/4" = 1'-0"

# JLA

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CATALINA CROSSING APARTMENTS

#### PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015

Sheet	Description	Date

SHEET TITLE

DEVICE PLACEMENT PLAN - SECOND FLOOR BUILDING 'A'

SHEET NUMBER

A901-A



DEVICE PLACEMENT FIXTURE SYMBOLS			
	CEILING LIGHT (SURFACE MOUNTED)		ACCENT CEILING LIGHT (SURFACE MOUNTED)
	CEILING LIGHT (RECESSED MOUNTED)		ACCENT CEILING LIGHT (RECESSED MOUNTED)
	RECESSED CAN CEILING LIGHT		PENDANT LIGHT
	WALL MOUNT (SURFACE MOUNTED)		ACCENT WALL LIGHT (SURFACE MOUNTED)
	EXIT LIGHT		EXIT LIGHT (WALL MOUNTED)
	CEILING FAN & LIGHT (SWITCH SEPARATELY)		1x4 FLUORESCENT LIGHT FIXTURE (SURFACE MOUNTED)
	CEILING FAN (NO LIGHT)		2x4 FLUORESCENT LIGHT FIXTURE (SURFACE MOUNTED)
	FUTURE CEILING FAN (DOUGH-IN ONLY)		2x4 FLUORESCENT RECESSED TROFFER LIGHT FIXTURE
	UNDER-CABINET LIGHTING		4' FLUORESCENT STRIP LIGHT FIXTURE (SURFACE MOUNTED)
	EXHAUST FAN & LIGHT		CABINET DOOR OPENER WITH LIGHT
	SMOKE DETECTOR		CARBON MONOXIDE DETECTORS
	BATTERY OPERATED EMERGENCY LIGHTING		HOSE BIBB

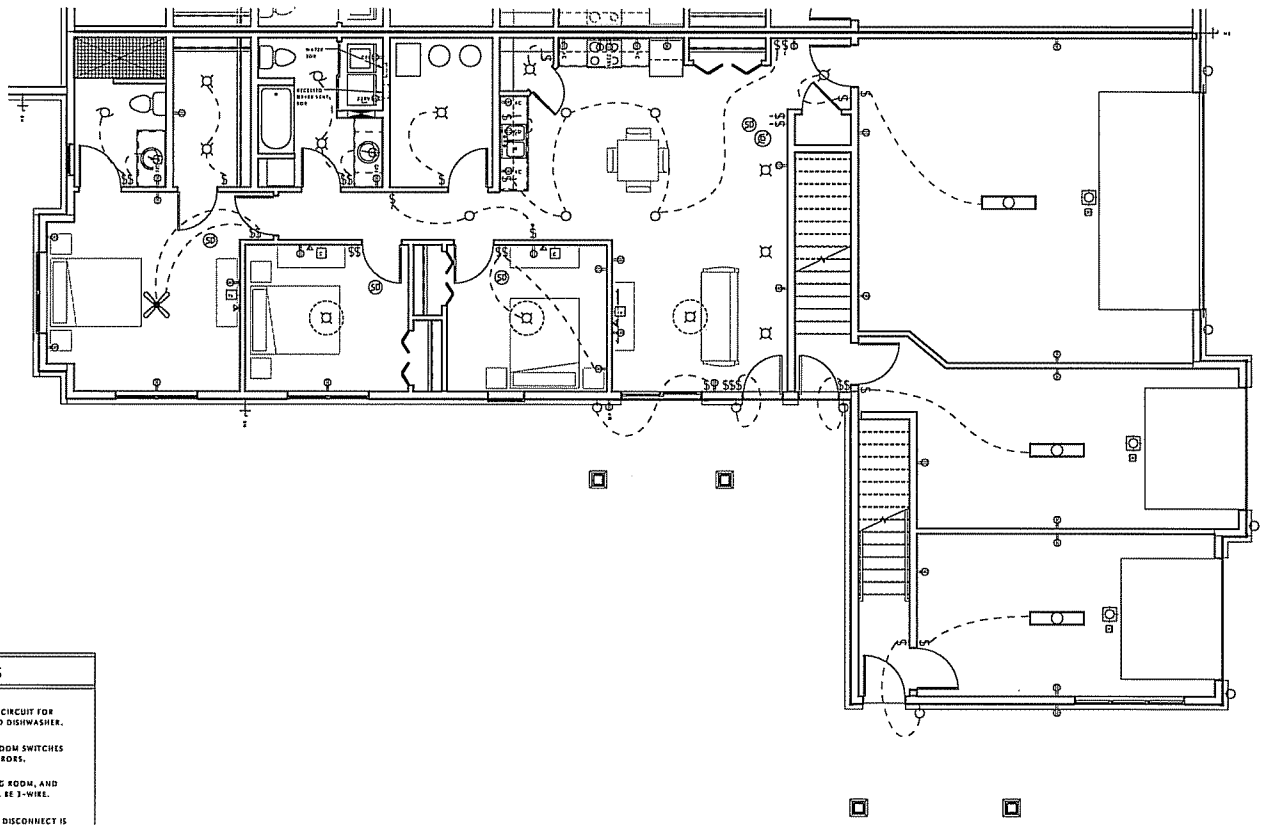
DEVICE PLACEMENT POWER & DATA SYMBOLS			
ELECTRICAL - DIVISION 26			
WALL	RECEPTACLES	SWITCHES	
EW	WALL	SW	SINGLE POLE
EW	WALL	SW	DOUBLE POLE
EW	WALL	SW	3-POLE
EW	WALL	SW	4-POLE
EW	WALL	SW	5-POLE
EW	WALL	SW	6-POLE
EW	WALL	SW	7-POLE
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DEVICE PLACEMENT FUTURE SYMBOLS			
CEILING LIGHT (SURFACE MOUNTED)	ACCENT CEILING LIGHT (SURFACE MOUNTED)	RECESSED CEILING LIGHT (RECESSED MOUNTED)	ACCENT CEILING LIGHT (RECESSED MOUNTED)
WALL LIGHT (SURFACE MOUNTED)	ACCENT WALL LIGHT (SURFACE MOUNTED)	PENDANT LIGHT	
WALL LIGHT (RECESSED MOUNTED)	ACCENT WALL LIGHT (RECESSED MOUNTED)	KEY LIGHT (WALL MOUNTED)	KEY LIGHT (WALL MOUNTED)
CEILING FAN & LIGHT (SWITCH SEPARATELY)	3x4 FLUORESCENT LIGHT FIXTURE (SURFACE MOUNTED)	CEILING FAN (NO LIGHT)	3x4 FLUORESCENT LIGHT FIXTURE (SURFACE MOUNTED)
FUTURE CEILING FAN (ROUGH-IN ONLY)	3x4 FLUORESCENT RECESSED INDIRECT LIGHT FIXTURE	UNDER-CABINET LIGHTING	4" FLUORESCENT STRIP (SURFACE MOUNTED)
EMERGENCY FAN & LIGHT	GARAGE DOOR OPERATOR WITH LIGHT	SHOULDER DETECTOR	CARBON MONOXIDE DETECTOR
BATTERY OPERATED EMERGENCY LIGHTING	NOISE BELL		

DEVICE PLACEMENT POWER & DATA SYMBOLS			
ELECTRICAL - DIVISION 26			
WALL FLOOR RECEPTACLES	SWITCHES		
15 AMP	15 AMP	SINGLE PHASE	
20 AMP	20 AMP	DIMMER	
20 AMP	20 AMP	GROUND FAULT	
20 AMP	20 AMP	THREE WAY	
20 AMP	20 AMP	RECYCLED	
20 AMP	20 AMP	KEY OPERATED	
20 AMP	20 AMP	TIME OPERATED	
20 AMP	20 AMP	LOW-VOLTAGE WALTER	
20 AMP	20 AMP	WIDEN DETECTOR	
20 AMP	20 AMP	ELECTRICAL PANEL	
COMMUNICATIONS - DIVISION 27			
WALL FLOOR RECEPTACLES	WALL MISCellaneous		
DATA	WALL CALL		
VOICE	TELEPHONE		
VOICE & DATA	SECURITY CAMERA		
VOICE, DATA, & POWER	WIRELESS ROUTER		
TELEVISION	PROVIDE POWER & DATA		
ROOFCRIP LIGHTING			
AC	ACROSS CORNER	3	ROOF
D	DEDICATED	1	ROOFED
12"	DOWNING HEIGHT DOWNLAP	1	
22KV	ZIP CODE	10V	WEATHER PROOF
CFI	GROUND FAULT INTERRUPTER	CD	GARAGE DISPOSAL

- DEVICE PLACEMENT PLAN GENERAL NOTES**
- ARCHITECTURAL DEVICE PLACEMENT PLANS ARE A GUIDELINE ONLY. DESIGN/FIELD CONTRACTOR SHALL MODIFY PLANS FOR OWNER APPROVAL AND CODE COMPLIANCE.
  - ALL PENETRATIONS OF RATED WALL AND CEILING ASSEMBLIES SHALL BE SEALED WITH A U.L. APPROVED SYSTEM WITH AN EQUAL RATING EQUAL TO THAT OF THE WALL OR CEILING TO BE PENETRATED.
  - PROVIDE 110V OUTLETS 12" FROM CEILING AT RECEPTER LOCATIONS. (LOCATIONS TO BE DETERMINED.)
  - FIXTURES SHALL BE RECESSED AT ANY ACET CEILING AND SURFACE MOUNTED AT ANY GWE CEILING UNLESS NOTED OTHERWISE.
  - LOCATE CEILING MOUNTED FIXTURES IN THE CENTER OF THE ROOM UNLESS DIMENSIONED OTHERWISE.
  - WIRE SECOND BEDROOM SWITCHES IN ALL 2BR UNITS FOR FUTURE CEILING FAN AS INDICATED ON DEVICE PLACEMENT PLANS.
  - DEDICATE SEPARATE CIRCUIT FOR REFRIGERATOR, STOVE, AND DISHWASHER.
  - COORDINATE BATHROOM SWITCHES WITH TOWEL BARS AND MIRRORS.
  - ALL BEDROOM, LIVING ROOM, AND DINING ROOM BOXES SHALL BE 3-WIRE.
  - UNLESS DISHWASHER DISCONNECT IS CONCEALED, PROVIDE A SPECIAL COLORED SWITCH.
  - AT EACH UNIT, PROVIDE DOUBLE GANG BOX WITH BLANK COVER FOR (2) RGC & (1) CAT5 WIRES CONNECTED TO D-MARK TELECOM PANEL IN BASEMENT.
  - COORDINATE POWER REQUIREMENTS FOR HVAC EQUIPMENT WITH HVAC CONTRACTOR.
  - FOR FIREPLACE ALTERNATE COORDINATE POWER & VENTILATION REQUIREMENTS WITH HVAC & ELECTRICAL CONTRACTORS PER MANUFACTURER SPECIFICATIONS.



1/4" = 1'-0"  
FIRST FLOOR PLAN - BUILDING 'C'

**JLA**  
JOSEPH LEE & ASSOCIATES  
2000 CALIFORNIA DRIVE, SUITE 1200  
MADISON, WISCONSIN 53718  
TEL: 608.261.2500  
FAX: 608.261.2502  
JLA PROJECT NUMBER: 14-1181

DECKER PROPERTIES, INC.

CATALINA CROSSING APARTMENTS

**PROGRESS DOCUMENTS**  
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for field building or construction-related purposes.

DATE OF ISSUANCE: 04 FEBRUARY 2015		
Revision Schedule		
Mark	Description	Date

**SHEET TITLE**  
DEVICE PLACEMENT PLAN - FIRST FLOOR BUILDING 'C'

**SHEET NUMBER**  
A900-C

A901-C

SHEET NUMBER

DEVICE PLACEMENT  
PLAN - SECOND  
FLOOR BUILDING 'C'

SHEET TITLE

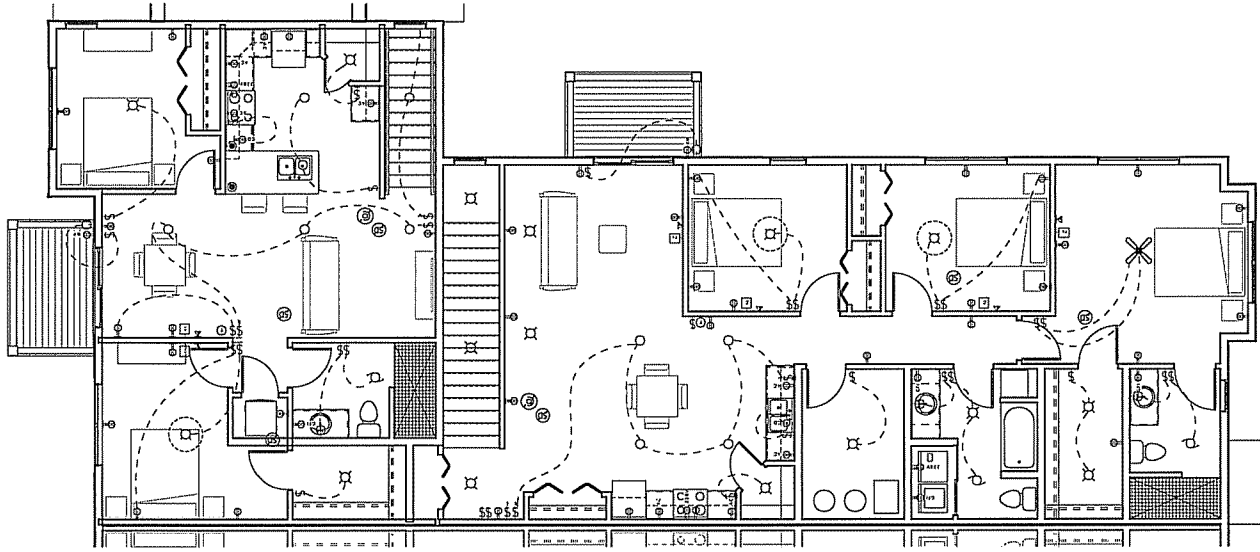
DATE OF ISSUANCE 04 FEBRUARY 2015  
DESIGNER  
CHECKER

PROGRESS DOCUMENTS  
These documents reflect progress and shall not be used for final bidding or construction-related purposes.  
The location of equipment shall be determined by the contractor and shall be subject to change without additional notice. These drawings shall be used in conjunction with the approved electrical drawings.

CATALINA CROSSING  
APARTMENTS

DECKER PROPERTIES,  
INC.

LA PROJECT NUMBER: LA-1308  
LA PROJECT NAME: CATALINA CROSSING APARTMENTS  
LA PROJECT LOCATION: 1000 N. GARDEN AVENUE, ANAHEIM, CA 92810  
JLA



① SECOND FLOOR PLAN - BUILDING 'C'  
1/4" = 1'-0"

**DEVICE PLACEMENT PLAN GENERAL NOTES**

- 1) ARCHITECTURAL DEVICE PLACEMENT SHALL BE A CONCERN ONLY. CONTRACTOR SHALL VERIFY PLANS FOR OWNERS, REFRIGERATOR, STOVE, AND DISHWASHER.
- 2) ALL PERFORATIONS OF RATED WALL AND APPROVED SYSTEM WITH AN HOURLY RATING SHALL BE SEaled WITH A RATED PENETRATION.
- 3) ALL ROOMS, LIVING ROOM, AND DINING ROOM ROSES SHALL BE 3-WIRE. PENETRATIONS TO BE EQUAL TO THAT OF THE WALL OR CEILING TO BE PENETRATED.
- 4) PROVIDE 120V OUTLETS 12" FROM CEILING AT REPEATED LOCATIONS. LOCATIONS TO BE CONCEALED, PROVIDE A SPECIAL COLORED SWITCH.
- 5) FIFTEES SHALL BE EXPOSED AT ANY ACT ROOM WITH BLANK COVER FOR (2) RGS & (1) CEILING UNLESS NOTED OTHERWISE. DATA WIRES CONNECTED TO H-WIRE TELECOM PANEL IN RASSEMBLY.
- 6) LOCATE CEILING FIXTURES IN THE CENTER OF THE ROOM UNLESS DIMENSIONS OTHERWISE.
- 7) WIRE SECOND ROOMSWITCHES IN ALL 2X8 WIRE FOR FUTURE CEILING FAN AS INDICATED ON DEVICE PLACEMENT PLANS.
- 8) FOR INTERFAC ALTERNATE COORDINATE HVAC & ELECTRICAL CONTRACTORS PER MANUFACTURER SPECIFICATIONS.

**DEVICE PLACEMENT POWER & DATA SYMBOLS**

1	120V LIGHT	1	120V LIGHT
2	120V LIGHT	2	120V LIGHT
3	120V LIGHT	3	120V LIGHT
4	120V LIGHT	4	120V LIGHT
5	120V LIGHT	5	120V LIGHT
6	120V LIGHT	6	120V LIGHT
7	120V LIGHT	7	120V LIGHT
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9	120V LIGHT	9	120V LIGHT
10	120V LIGHT	10	120V LIGHT
11	120V LIGHT	11	120V LIGHT
12	120V LIGHT	12	120V LIGHT
13	120V LIGHT	13	120V LIGHT
14	120V LIGHT	14	120V LIGHT
15	120V LIGHT	15	120V LIGHT
16	120V LIGHT	16	120V LIGHT
17	120V LIGHT	17	120V LIGHT
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19	120V LIGHT	19	120V LIGHT
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97	120V LIGHT	97	120V LIGHT
98	120V LIGHT	98	120V LIGHT
99	120V LIGHT	99	120V LIGHT
100	120V LIGHT	100	120V LIGHT

**DEVICE PLACEMENT FREQUENCY SYMBOLS**

1	120V LIGHT	1	120V LIGHT
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