



City of Madison Planning Division  
215 Martin Luther King Jr. Blvd. | Room LL.100 | P.O. Box 2985 | Madison, WI 53701-2985

# Madison Landmarks Commission APPLICATION

## 1. LOCATION

Project Address: 601 Williamson Street Aldermanic District: 6

## 2. PROJECT

Date Submitted: July 18, 2014

Project Title / Description: Machinery Row Turret Reconstruction

This is an application for: (check all that apply)

- Alteration / Addition to a Designated Madison Landmark
- Alteration / Addition to a building adjacent to a Designated Madison Landmark
- Alteration / Addition to a building in a Local Historic District (specify):
  - Mansion Hill  Third Lake Ridge  First Settlement
  - University Heights  Marquette Bungalows
- New Construction in a Local Historic District (specify):
  - Mansion Hill  Third Lake Ridge  First Settlement
  - University Heights  Marquette Bungalows
- Demolition
- Variance from the Landmarks Ordinance
- Referral from Common Council, Plan Commission, or other referral
- Other (specify): \_\_\_\_\_

## 3. APPLICANT

Applicant's Name: James McFadden Company: McFadden & Company

Address: 380 West Washington Avenue City/State: Madison, Wisconsin Zip: 53703

Telephone: (608) 251-1350 E-mail: mcfadden@mailbag.com

Property Owner (if not applicant): Seven J's Inc

Address: P.O. Box 267 City/State: Madison, Wisconsin Zip: 53701

Property Owner's Signature: \_\_\_\_\_ Date: July 18, 2014

### GENERAL SUBMITTAL REQUIREMENTS

Twelve (12) collated paper copies and electronic (.pdf) files of the following: (Note the filing deadline is 4:30 PM on the filing day)

- Application
- Brief narrative description of the project
- Scaled plan set reduced to 11" x 17" or smaller pages. Please include:
  - Site plan showing all property lines and structures
  - Building elevations, plans and other drawings as needed to illustrate the project
  - Photos of existing house/building
  - Contextual information (such as photos) of surrounding properties
- Any other information that may be helpful in communicating the details of the project and how it complies with the Landmarks Ordinance, including the impacts on existing structures on the site or on nearby properties.

**Questions?** Please contact the Historic Preservation Planner:  
Amy Scanlon  
Phone: 608.266.6552  
Email: [ascanlon@cityofmadison.com](mailto:ascanlon@cityofmadison.com)

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

## Memo

From: McFadden & Company  
380 West Washington Avenue  
Madison, Wisconsin 53703  
608 251 1350 (Voice)



To: Madison Landmarks Commission  
City of Madison Planning Division  
215 Martin Luther King Jr. Blvd  
Madison, Wisconsin 5370

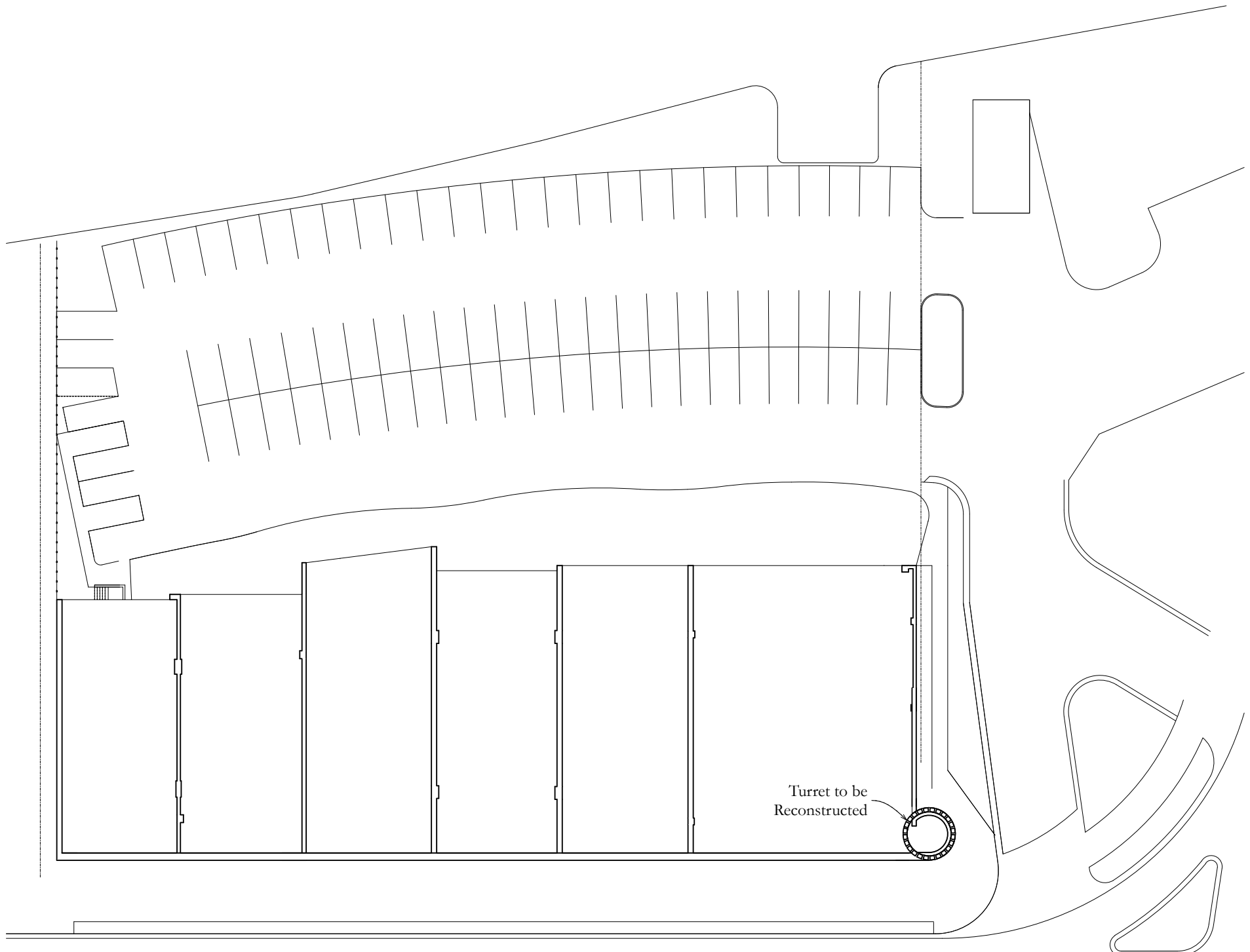
Date: July 18, 2014

Project: Machinery Row Turret Reconstruction

The original turret atop the Northwest corner was constructed with the building in 1898 and no doubt plagued by problems similar to those it currently suffers was removed sometime prior to the early 1950's. The turret was rebuilt in 1998 to match the original in both form and construction as a solid wall with three wythes of reclaimed brick.

Due to the problems inherent to all parapets, the utilization of cracked brick and less than perfect tooling of the mortar joints on the interior face moisture penetrated into the parapet. This water subjected to repeated freeze/thaw cycles has led to the failure of individual bricks and the mortar joints resulting the expansion outward of the upper portion of the wall creating an unacceptable hazard.

Proposed is the reconstruction of the turret with the new one being visually identical but utilizing a modern reinforced and well drained cavity wall system. The existing parapet would be deconstructed, the best brick culled and combined with brick reclaimed from other portions of the building turret rebuilt with a new single wythe of re-reclaimed face brick with an air space for breathing and drainage and a reinforced 8" CMU backup as illustrated on the following pages.



Turret to be  
Reconstructed

Site/Roof Plan @ 1'=40'  
Machinery Row Turret Replacement  
July 18, 2014



Existing Conditions  
Machinery Row Turret Replacement  
July 15, 2014

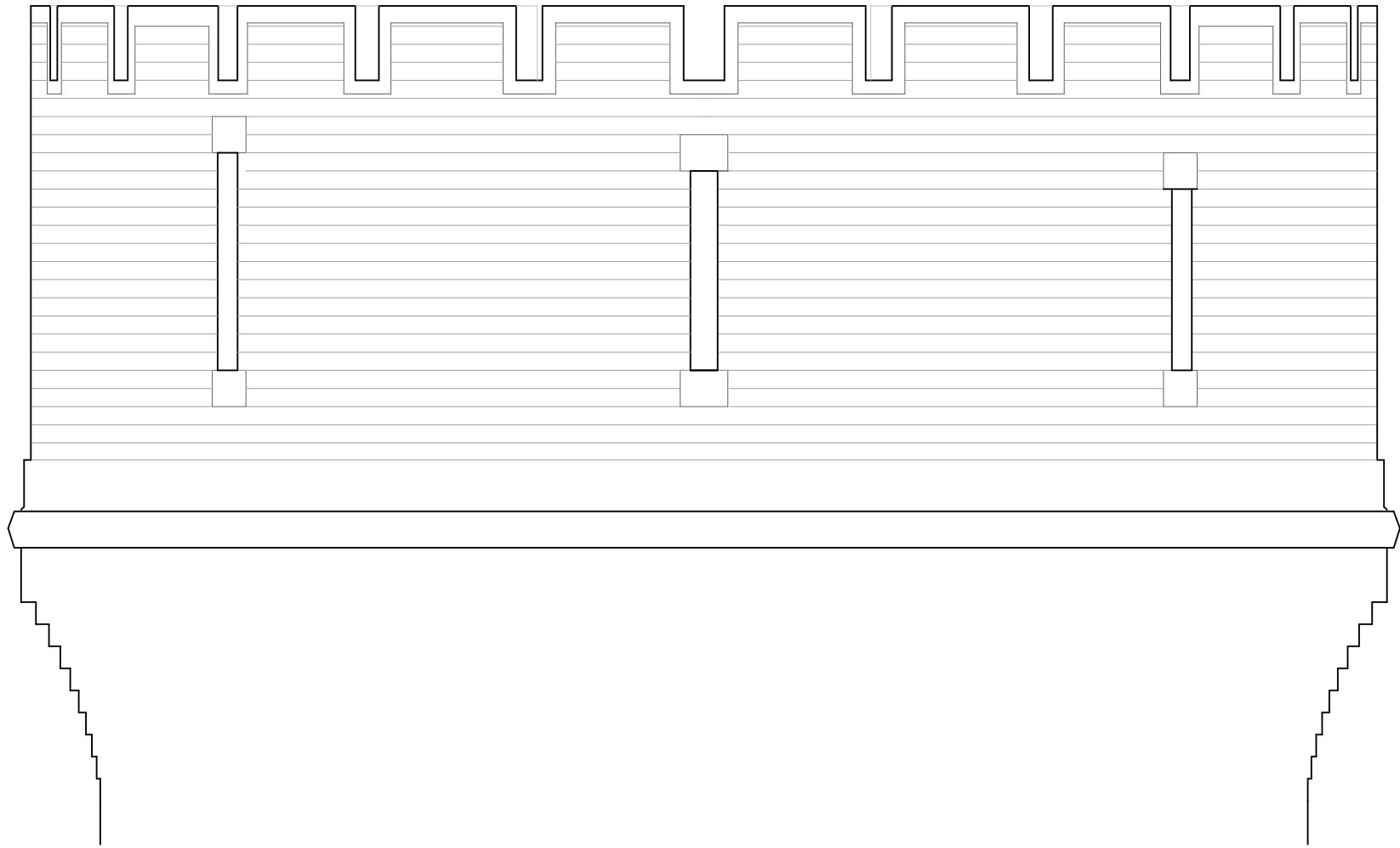


North Elevation

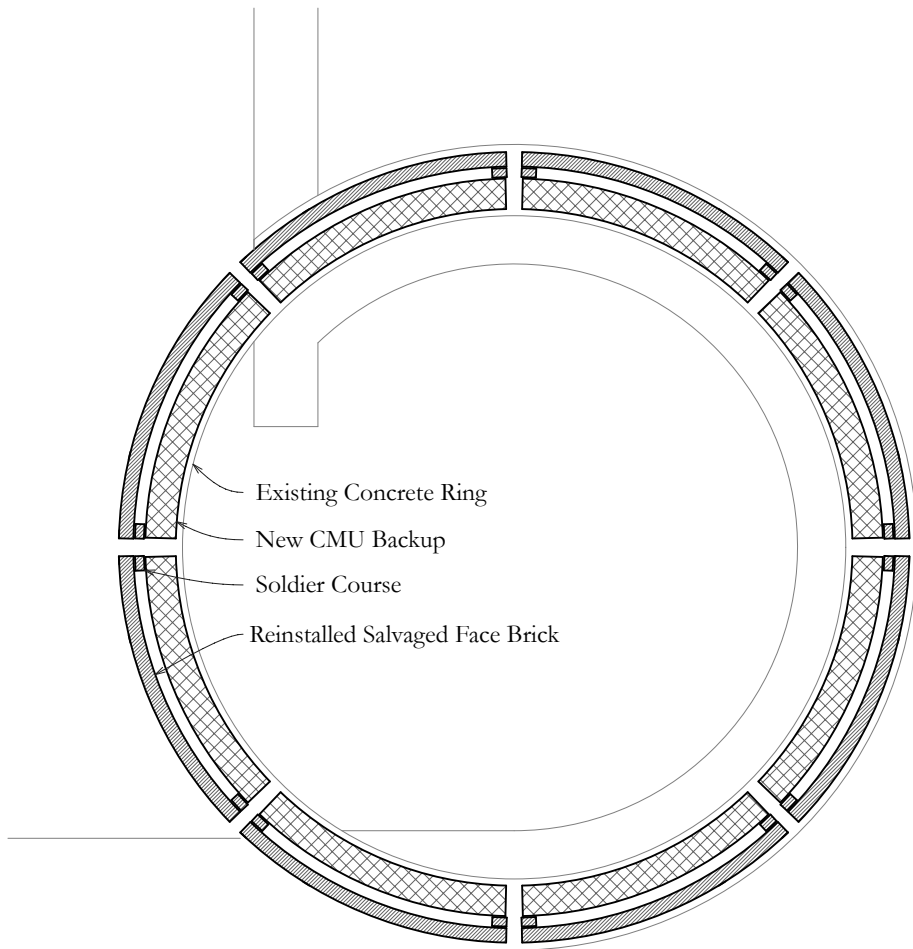


West Elevation

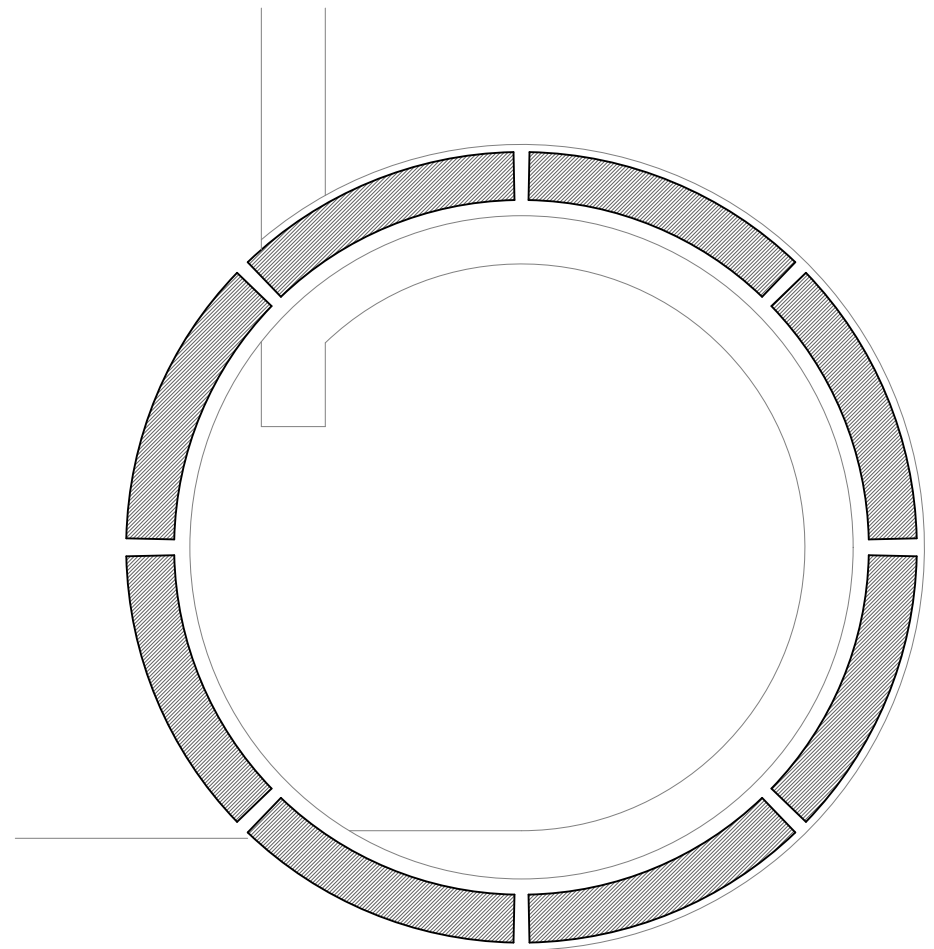
Existing / Proposed Elevations @ 1/16" = 1'-0"  
Machinery Row Turret Replacement  
July 15, 2014



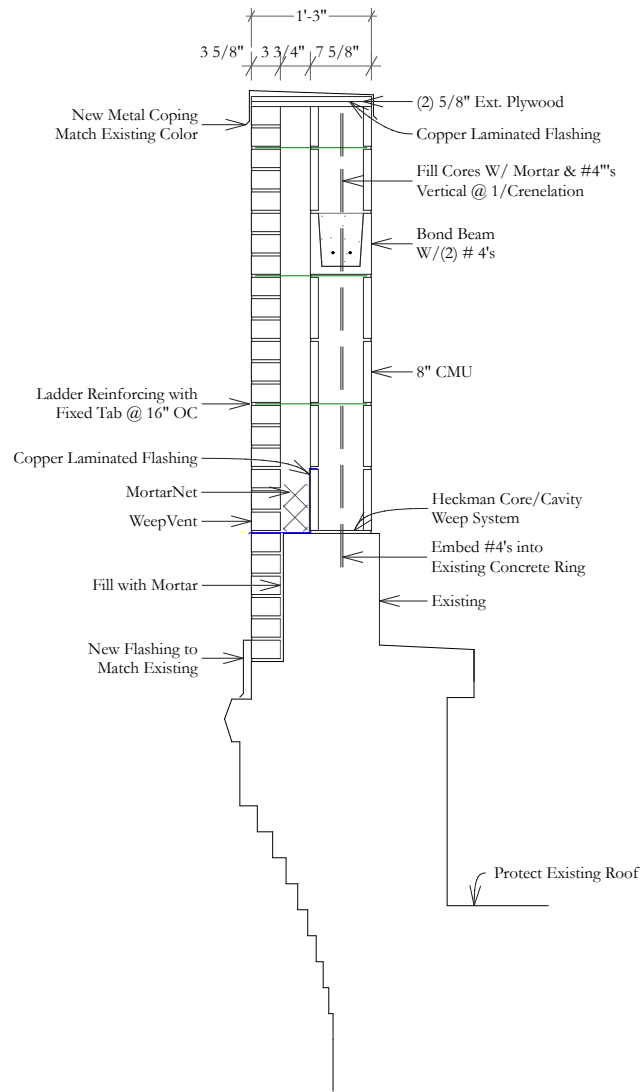
Existing / Proposed Elevation @ 1/2"=1'-0"  
Machinery Row Turret Replacement  
July 15, 2014



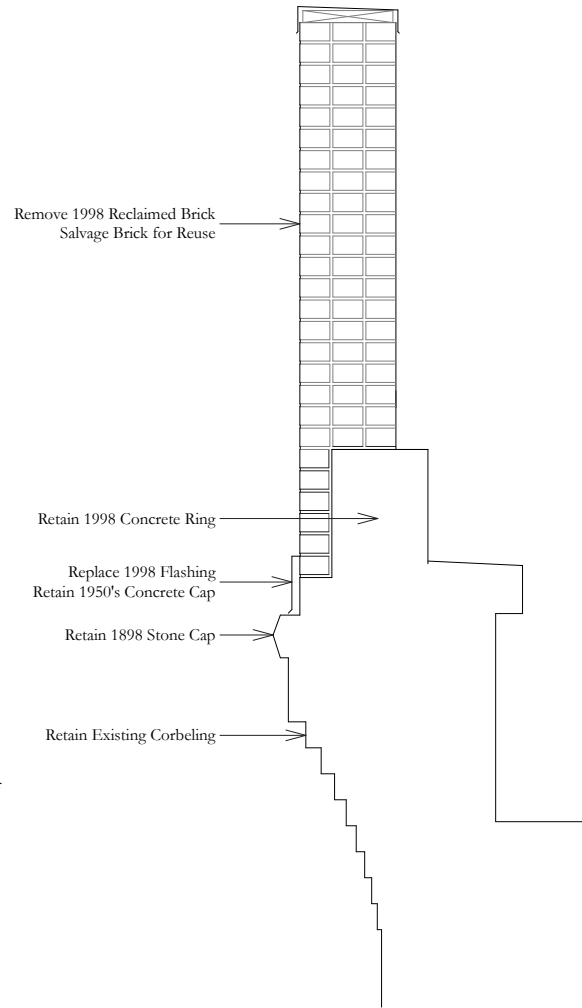
Proposed Plan



Existing Plan



Proposed



Existing