



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>December 17, 2014</u>	<input checked="" type="checkbox"/> Informational Presentation <input checked="" type="checkbox"/> Initial Approval <input checked="" type="checkbox"/> Final Approval
UDC Meeting Date: <u>January 14, 2015 (info) January 28, 2015 (initial/final)</u>	
Combined Schedule Plan Commission Date (if applicable): <u>February 9, 2014</u>	

1. **Project Address:** 202 E. Washington Avenue
Project Title (if any): AC Hotel

2. **This is an application for** (Check all that apply to this UDC application):

New Development **Alteration to an Existing or Previously-Approved Development**

A. Project Type:

- Project in an Urban Design District*** (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX)** (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)**
- Planned Development (PD)**
 - General Development Plan (GDP)**
 - Specific Implementation Plan (SIP)**
- Planned Multi-Use Site or Planned Residential Complex**

B. Signage:

- Comprehensive Design Review*** (public hearing-\$300 fee) **Street Graphics Variance*** (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District** (public hearing-\$300 fee)

C. Other:

Please specify: _____

3. **Applicant, Agent & Property Owner Information:**

Applicant Name: 202 E. Washington, LLC
Street Address: 1600 Aspen Commons, Suite 200
Telephone: (608-836-6060) **Fax:** (608-836-6399)

Company: The North Central Group
City/State: Middleton/WI **Zip:** 53562
Email: jlenz@ncghotels.com

Project Contact Person: Josh Wilcox
Street Address: 7780 Elmwood Avenue, Suite 204
Telephone: (608-829-1750) **Fax:** (608-829-3056)

Company: Gary Brink & Associates, Inc.
City/State: Middleton/WI **Zip:** 53562
Email: josh.wilcox@garybrink.com

Project Owner (if not applicant) : _____
Street Address: _____
Telephone:(____)_____ **Fax:**(____)_____

City/State:_____ **Zip:**_____

4. **Applicant Declarations:**

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin on 1/30/14.
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Josh Wilcox

Relationship to Property Architect

Authorized Signature _____

Date 12/17/14

AC HOTEL
BY MARRIOTT
DOWNTOWN HOTEL



202 E. WASHINGTON AVE.
MADISON, WISCONSIN

PROJECT LOCATION: 



UDC / PLAN COMMISSION
SUBMITTAL
DECEMBER 17, 2014

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 - EX.03 SHADOW STUDY
 - EX.04 FULLY DEVELOPED SITE CONTEXT IMAGES



GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVENUE
MIDDLETON, WI 53562
608.829.1750
608.829.0558 (FAX)

OWNER :
202 E. WASHINGTON LLC
C/O: NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WI 53562
PHONE: 608.836.6060
FAX: 608.836.6399
CONTACT: Andrew Inman
EMAIL: Ainman@ncghotels.com

ARCHITECT :
GARY BRINK & ASSOCIATES, INC.
7780 ELMWOOD AVE, SUITE 204
MIDDLETON, WISCONSIN 53562
PHONE: 608-829-3056
FAX: 608-829-3056
PRIMARY CONTACT: JOSH WILCOX
EMAIL: josh.wilcox@garybrink.com

CIVIL ENGINEER :
QUAM ENGINEERING, LLC
4604 SIGGELKOW RD, SUITE A
MCFARLAND, WI 53558
PHONE: 920-284-2262
PRIMARY CONTACT: RYAN D. QUAM
EMAIL: rquam@quamengineering.com



DOWNTOWN AC BY MARRIOTT							
Floor / Level	Guestroom Type					KEYS PER FLOOR	SQUARE FOOTAGE
	AC MODIFIED KING	AC MODIFIED KING - ALT	AC MODIFIED OQ	AC MODIFIED SUITE	AC MODIFIED SUITE - ALT		
G2	0	0	0	0	0	0	12503
G1	0	0	0	0	0	0	12574
1st	0	0	0	0	0	0	8531
2nd	3	7	5	1	0	16	10722
3rd	8	2	13	0	0	23	11100
4th	13	3	7	0	0	23	10306
5th	12	2	7	1	0	22	10306
6th	12	2	7	1	0	22	10306
7th	12	2	7	1	0	22	10306
8th	12	2	7	1	0	22	10306
9th	9	3	1	0	0	13	8935
10th	0	0	0	0	1	1	8909
Total	81	23	54	5	1	164	124574
Percentag	63.4%		32.9%		3.7%		PARKING SPOTS:
Total Units	164					80 INTERNAL VALET	

PROJECT:
AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON LLC
OWNER:
202 E. WASHINGTON LLC
C/O: NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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PROJECT: 201410
DRAWN BY: AB
DATE:
SCALE: AS NOTED

TITLE SHEET

T-1



LOOKING NORTH EAST



LOOKING WEST



LOOKING SOUTH EAST



LOOKING NORTH EAST



GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELMWOOD AVENUE
MIDDLETON, WI 53562
608-829-1750
608-829-5056 (FAX)

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON

202 E. WASHINGTON AVE
MADISON, WISCONSIN
OWNER

202 E. WASHINGTON LLC
CO-OP NORTH CENTRAL GROUP
1000 ASPEN COMMONS, SUITE 200 - ARDLETON, WISCONSIN

PROJECT: 201410
DRAWN BY: CONDITIONS
DATE:
SCALE: AS NOTED

AERIAL
IMAGES
EXISTING

EC.01



GARY BRINK & ASSOCIATES
ARCHITECTS
7740 ELMWOOD AVENUE
MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)



38 N. WEBSTER AVE.



E. WASHINGTON AVE. AT FRANKLIN



INTERSECTION OF WEBSTER AND E.
WASHINGTON AVE (LOOKING N. EAST)



202 E. WASHINGTON AVE.



201 E. WASHINGTON AVE



36 SOUTH PINKNEY STREET

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE
MADISON, WISCONSIN

OWNER:
202 E. WASHINGTON LLC
CO-OP/NORTH CENTRAL GROUP
1000 ASPEN COMMONS, SUITE 200 - ARDLETON, WISCONSIN

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SCALE: AS NOTED

ADJACENT
BUILDING
CONTEXT
EC.02



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MIDDLETON, WI 53562
608-829-1750
608-829-3056 (FAX)



LOOKING AT THE BACK OF 250 E. WASHINGTON AVE



LOOKING FROM ABOVE AT REAR YARD AREA



LOOKING BETWEEN BUILDINGS AT BACK OF 10 N. BUTLER



LOOKING AT THE LAMP HOUSE



LOOKING FROM ABOVE AT REAR YARD



LOOKING AT THE LAMP HOUSE

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE
MADISON, WISCONSIN

OWNER: 202 E. WASHINGTON LLC
CO-OP NORTH CENTRAL GROUP
1000 ASPEN COMMONS, SUITE 200 - ARDELTON, WISCONSIN

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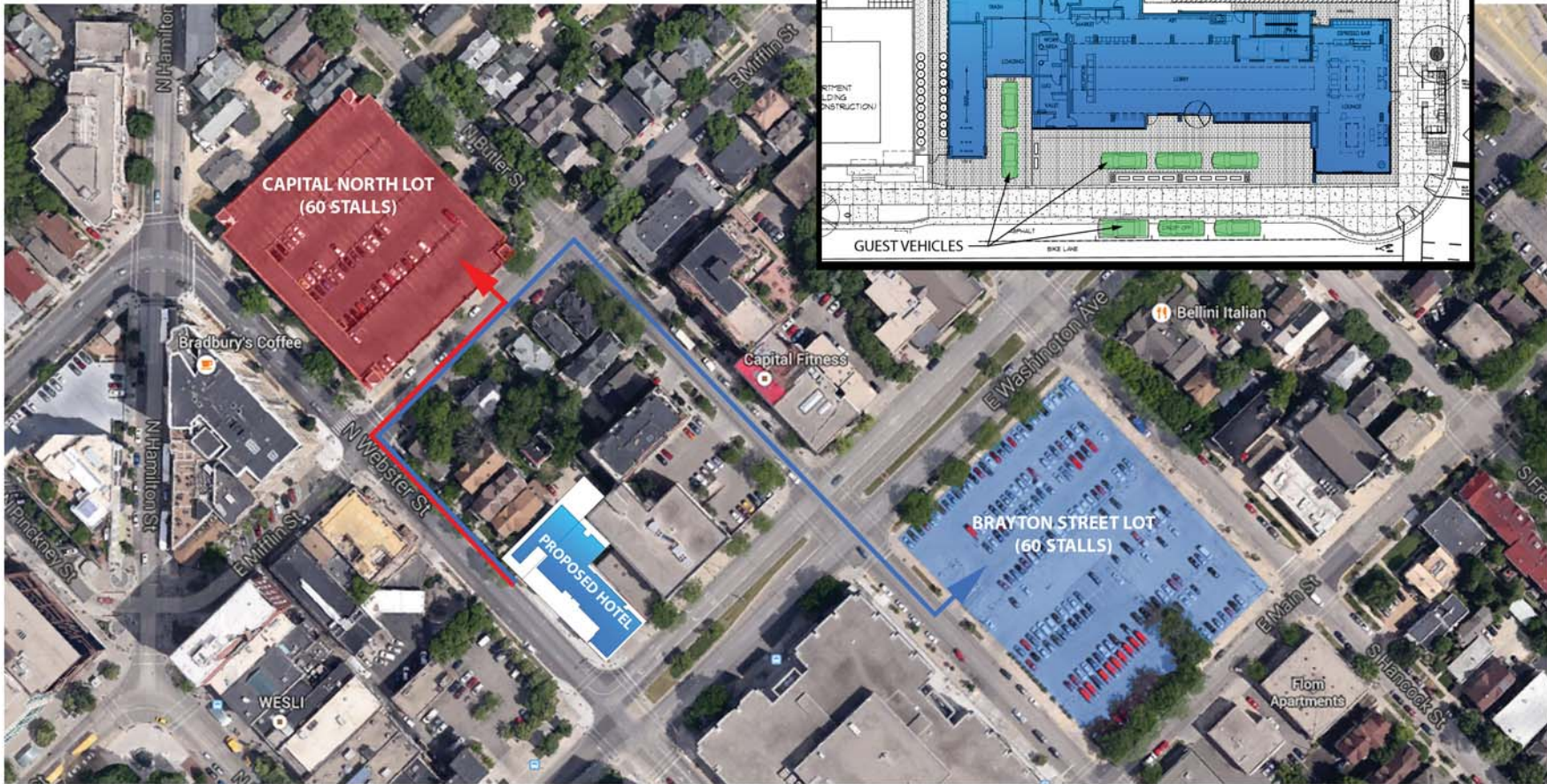
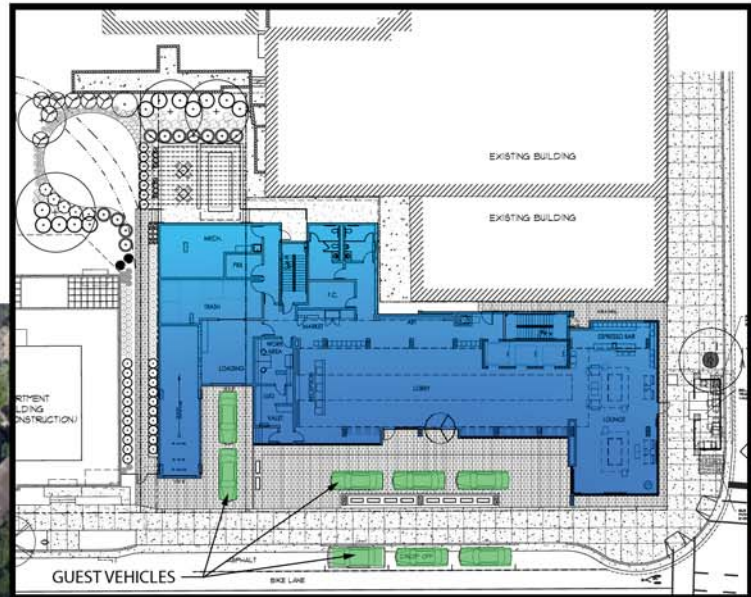
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DRAWN BY: CONDITIONS
DATE:
SCALE: AS NOTED

REAR YARD
AREA
EC.03



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7780 ELMWOOD AVENUE
MIDDLETON, WI 53552
608-429-1750
608-429-3054 (FAX)

PRELIMINARY VALET SCHEME



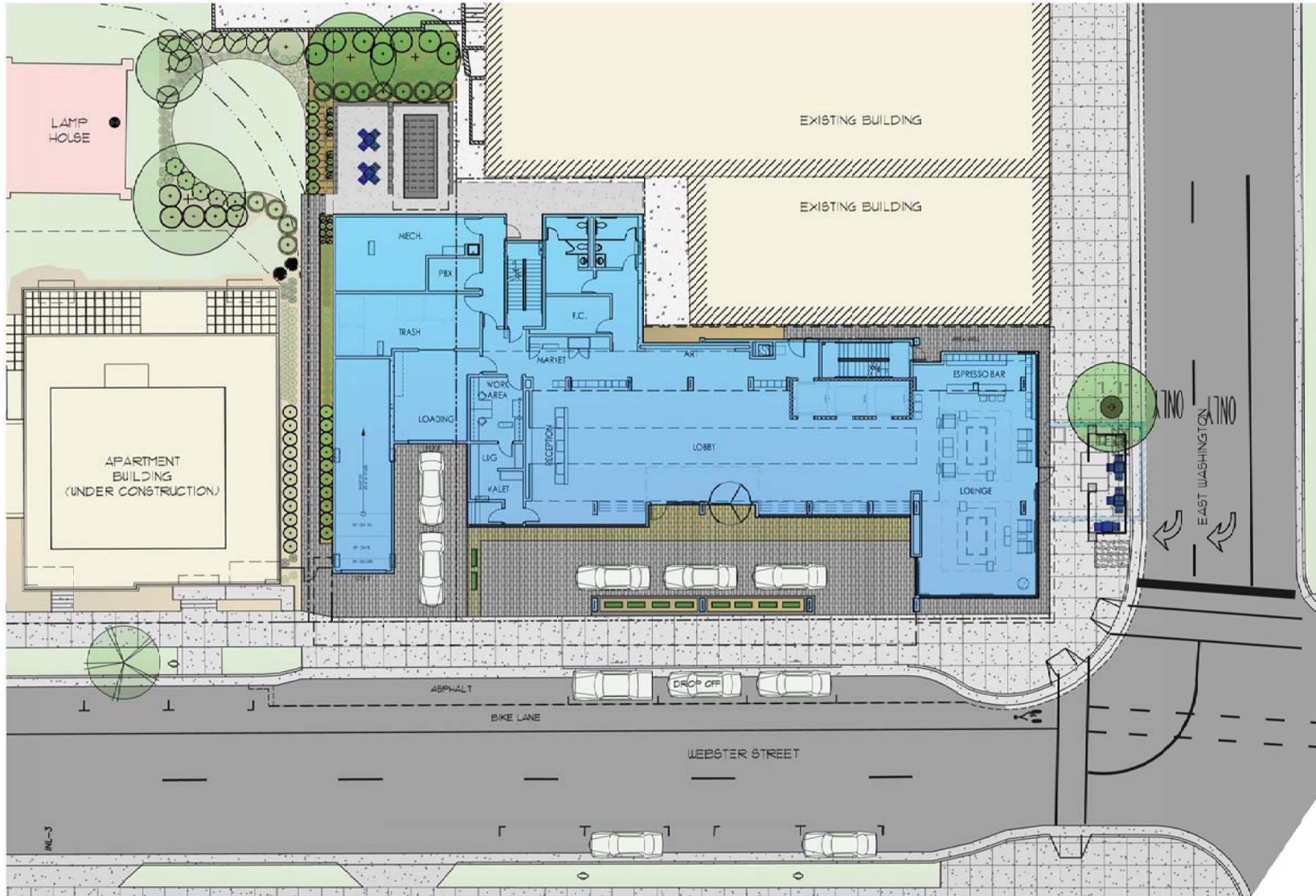
PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE
MADISON, WISCONSIN

OWNER: 202 E. WASHINGTON LLC
COO: NORTH CENTRAL GROUP
600 ASPEN COMMONS, SUITE 200 - MADISON, WISCONSIN

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GARY BRENK & ASSOCIATES
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1780 ELWOOD AVENUE
MIDDLETON, WI 53562
608.839.1758
608.827.3059 (FAX)



SITE PLAN
SCALE: 1" = 10'-0"

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
1000 WASHINGTON AVENUE
MADISON, WISCONSIN
OWNER: 202 E. WASHINGTON LLC
C/O NORTH CENTRAL GROUP
1600 AUBURN COMMONS, SUITE 200 - MADISON, WISCONSIN

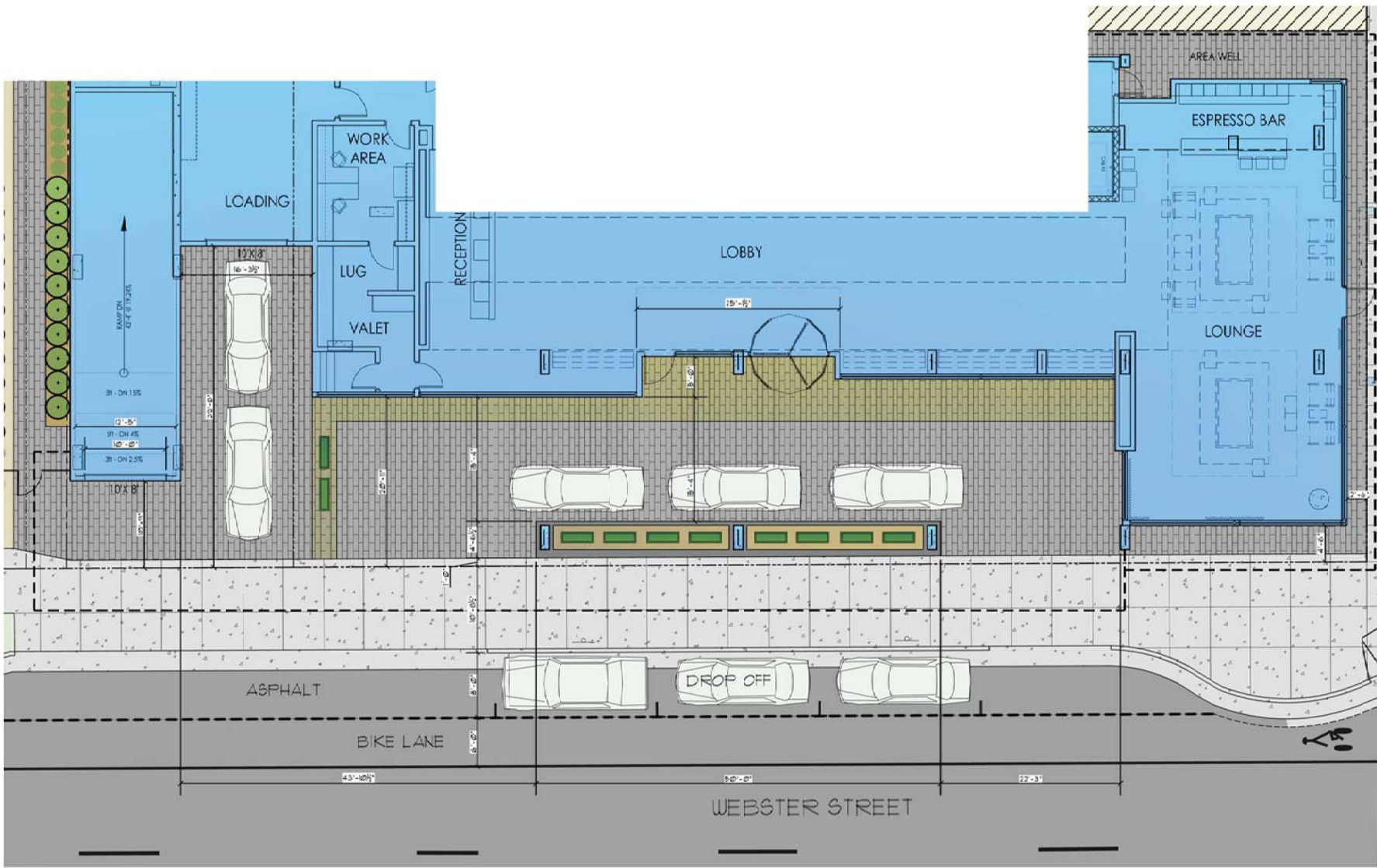
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SCALE: AS NOTED

SITE PLAN

A1.01



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MIDDLETON, WI 53542
608.839.1758
608.839.3059 (FAX)



PROJECT:
AC BY MARRIOTT - DOWNTOWN MADISON
1000 UNIVERSITY DRIVE
MADISON, WISCONSIN
OWNER:
202 E. WASHINGTON LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200 - MADISON, WISCONSIN

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PROJECT: 201146
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SCALE: AS NOTED

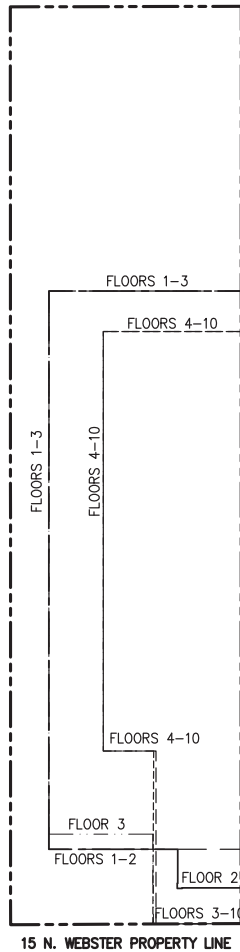
 ENLARGED SITE PLAN
SCALE: 1/8" = 1'-0"

ENLARGED
SITE PLAN

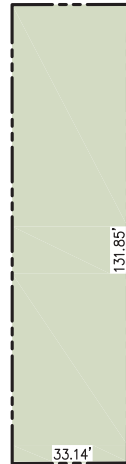
A1.02



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MIDDLETON, WI 53562
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608.826.9056 (FAX)

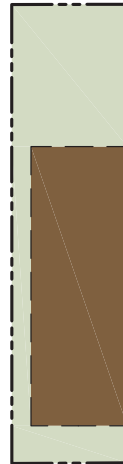


15 N. WEBSTER PROPERTY LINE



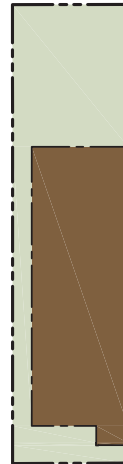
15 N. WEBSTER SITE

- 6 FLOOR MAX. HEIGHT: 88'-0" (ALLOWABLE MAX HEIGHT PER ZONING CODE)
- MAX. FLOOR AREA: 4,370 SF
- MAX. 6 FLOOR TOTAL VOLUME: 384,560 CF OF STRUCTURE
- CAP VIEW MAX. HEIGHT: 113'-9"
- MAX. FLOOR AREA: 4,370 SF
- MAX. TOTAL CUBIC AREA: 497,088 CF OF STRUCTURE



1ST FLOOR

- FLOOR HEIGHT: 15'-2"
- FLOOR AREA: 2,218 SF
- TOTAL VOLUME: 33,640 CF



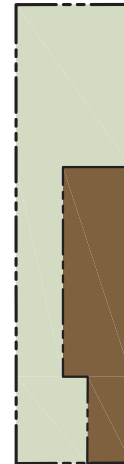
2ND FLOOR

- FLOOR HEIGHT: 12'-0"
- FLOOR AREA: 2,269 SF
- TOTAL VOLUME: 27,228 CF



3RD FLOOR

- FLOOR HEIGHT: 9'-0"
- FLOOR AREA: 2,326 SF
- TOTAL VOLUME: 20,934 CF



4TH-10TH FLOOR

- FLOOR HEIGHT: 70'-1"
- FLOOR AREA: 1,501 SF
- TOTAL VOLUME: 105,195 CF

- TOTAL PROPOSED VOLUME ON 15 N. WEBSTER PROPERTY: 186,997 CF



15 N. WEBSTER STUDY

SCALE: 1/8" = 1'-0"

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
15 N. WEBSTER, MADISON, WISCONSIN
OWNER: 202 E. WASHINGTON LLC
C/O: NORTH CENTRAL GROUP
180 ASPEN COMMONS, SUITE 200 - MADISON, WISCONSIN

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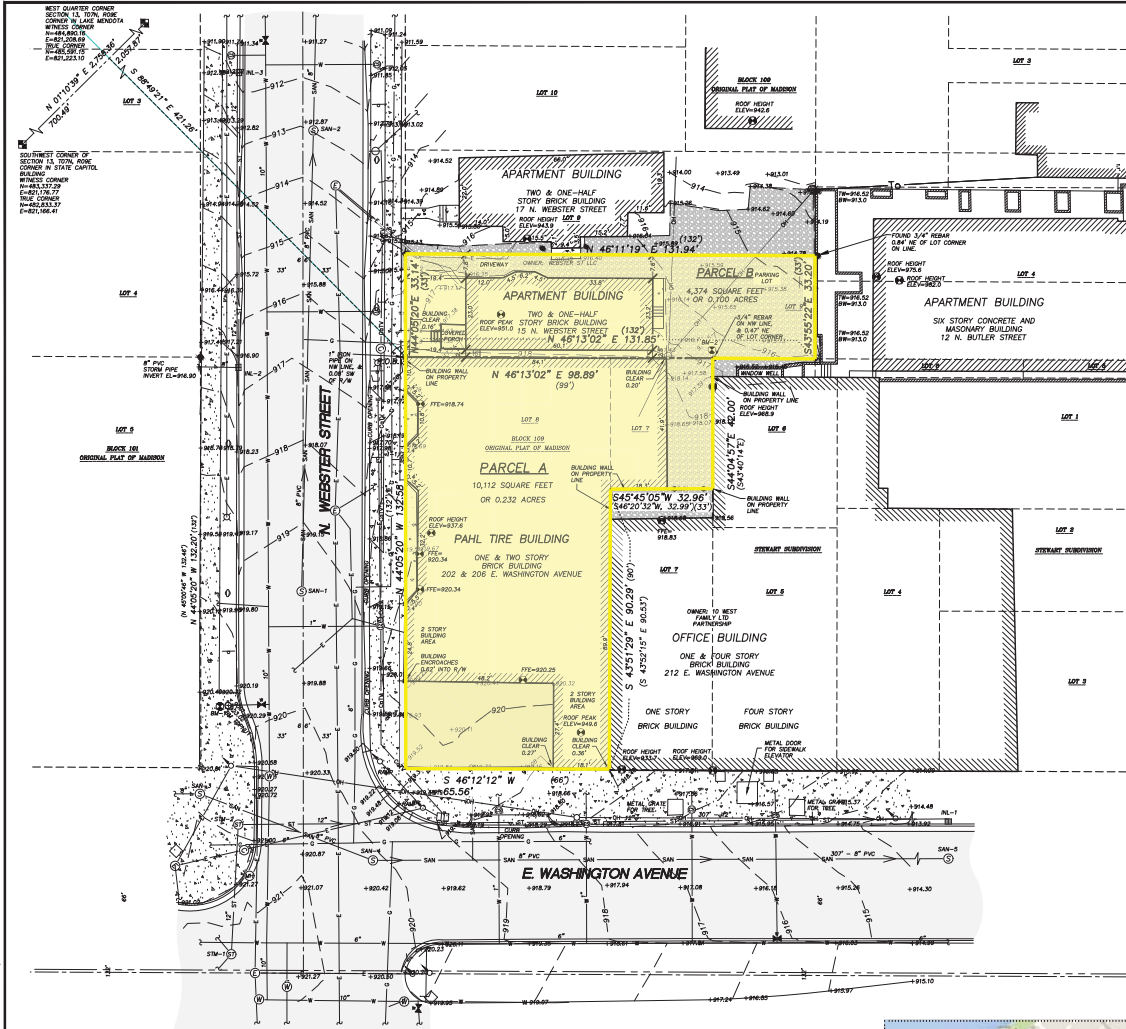
PROJECT: 201410
DRAWN BY: TELAJA
DATE:
SCALE: AS NOTED

PLAN MEETING 12.15.2014

15 N. WEBSTER STUDY

A1.03

FILE: I:\D012\12545CMG\DWG\12545CMG.DWG Layout: ALTA Profile: One - 09 - 2013 - 10:00am



LEGEND

- Government corner, Chiseled 'X' found, 1" iron pipe found, 1/4" rebar found, benchmark, finished floor & height location, sign, sanitary manhole, water manhole, hydrant, water valve, curb stop/service valve, storm manhole, curb inlet, gas regulator/meter, manhole, electric manhole, power pole, light pole, traffic signal, vault, deciduous tree, parcel boundary, centerline, right-of-way line, fence line, edge of pavement, concrete curb & gutter, edge of gravel, sanitary sewer, water line, storm sewer, natural gas, overhead utilities, underground electric, underground cable, building, index contour, intermediate contour, bituminous pavement, concrete pavement, gravel or rock, parking ring, discontinued mapped pipe line, recorded information.

NOTES

- 1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON APRIL 22 AND JULY 11, 2013.
2. BEARINGS FOR THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), DANE COUNTY, THE SOUTHEAST LINE OF BLOCK 109, BEARS N 46°12'2" E.
3. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A BRASS CAP IN CONCRETE MONUMENT MARKING THE MEASURER CORNER FOR THE SOUTHWEST CORNER OF SECTION 13, 17N, R9E, ELEVATION = 918.45
4. CONTOUR INTERVAL IS ONE FOOT.
5. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTEANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS: DIGGERS' HOTLINE TICKET NO. 2013160131, 2013480475 AND 2013480876.
6. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
7. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
8. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

NOTES CORRESPONDING TO TABLE A REQUIREMENTS:

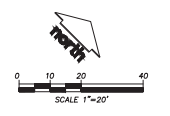
- ITEM 3 THE SUBJECT PROPERTY LIES WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA COMMUNITY PANEL NO. 550250C0409, REVISED JANUARY 02, 2009.
ITEM 6(a) THE CURRENT ZONING CLASSIFICATION IS "DOWNTOWN CORE" (DC) PER THE DANE COUNTY WEBSITE, ACCESS DATE:
ITEM 6(b) THE CURRENT BUILDING SETBACK REQUIREMENTS, HEIGHT AND FLOOR SPACE AREA RESTRICTIONS PER CITY OF MADISON ZONING CODE ORDINANCE FOR "DOWNTOWN CORE" ARE AS FOLLOWS:
MINIMUM FRONT YARD SETBACK = ZERO (0) FEET.
MAXIMUM FRONT YARD SETBACK = FIVE (5) FEET FOR BUILDINGS FACING CAPITOL SQUARE.
SIDE YARD SETBACK = ZERO (0) FEET FOR THE FIRST TWO (2) STORES OF ONE SIDE OF ALL BUILDINGS.
REAR YARD SETBACK = ZERO (0) FEET.
MINIMUM HEIGHT = TWO (2) STORES.
MAXIMUM HEIGHT = EIGHT (8) STORES. TWO (2) ADDITIONAL STORES ABOVE THE MAXIMUM BUILDING HEIGHT MAY BE ALLOWED IF APPROVED AS A CONDITIONAL USE UNDER SECTION 28.183 PROVIDED THAT HEIGHT IS THE ONLY BULK REQUIREMENT SOUGHT TO BE MODIFIED AND THE CONDITIONAL USE STANDARDS FOR ADDITIONAL HEIGHT ARE MET.
ITEM 9 PARKING SPACES: 3 REGULAR PARKING SPACES.
ITEM 16 NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SUBJECT PROPERTY.
ITEM 17 NO KNOWN PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES PER CITY OF MADISON ENGINEERING DEPARTMENT. NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. RECENT IS DEFINED AS WITHIN THE LAST THREE (3) MONTHS.
ITEM 18 NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.

LEGAL DESCRIPTION (AS FURNISHED)

(PER FIRST AMERICAN TITLE INSURANCE COMPANY; COMMITMENT NO: NCS-5827254-MAD, COMMITMENT DATE: September 8, 2013 AT 7:30 A.M.)
PARCEL A: ALL OF LOT EIGHT (8) AND THE NORTHWEST 42 FEET OF THE SOUTHWEST 1/2 OF LOT SEVEN (7), BLOCK ONE HUNDRED AND NINE (109), ORIGINAL PLAT OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.
PARCEL NO.'S: 251/0709-133-3102-4 AND 251/0709-133-3101-4
PROPERTY ADDRESSES: 202 & 206 EAST WASHINGTON AVENUE, MADISON, WI
PARCEL B: SOUTHEASTERNLY ONE-HALF OF LOT NINE (9), BLOCK ONE HUNDRED AND NINE (109), ORIGINAL PLAT OF MADISON, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.
PARCEL NO.: 251/0709-133-3118-1
PROPERTY ADDRESSES: 15 N. WEBSTER STREET, MADISON, WI

SURVEYOR'S CERTIFICATE

TO: 1) 202 E. WASHINGTON, LLC
2) JSL INVESTMENTS, LLC
3) FIRST AMERICAN TITLE INSURANCE COMPANY
DATE:
HANS P. JUSTISON, S-2363
REGISTERED LAND SURVEYOR



DRAFT

PREPARED FOR THE ALEXANDER COMPANY 145 E. BANGS ROAD MADISON, WI 53713

Table with 3 columns: BENCH MARK, ELEVATION, DESCRIPTION. Includes BM-1 and BM-2.

Table with 3 columns: SANITARY SEWER MANHOLES, STRUCT. ID, RIM ELEVATION, INVERT ELEVATION, PIPE SIZE, PIPE TYPE. Includes SAN-1 through SAN-5.

Table with 3 columns: STORM SEWER MANHOLES, STRUCT. ID, RIM ELEVATION, INVERT ELEVATION, PIPE SIZE, PIPE TYPE. Includes STM-1 and STM-2.

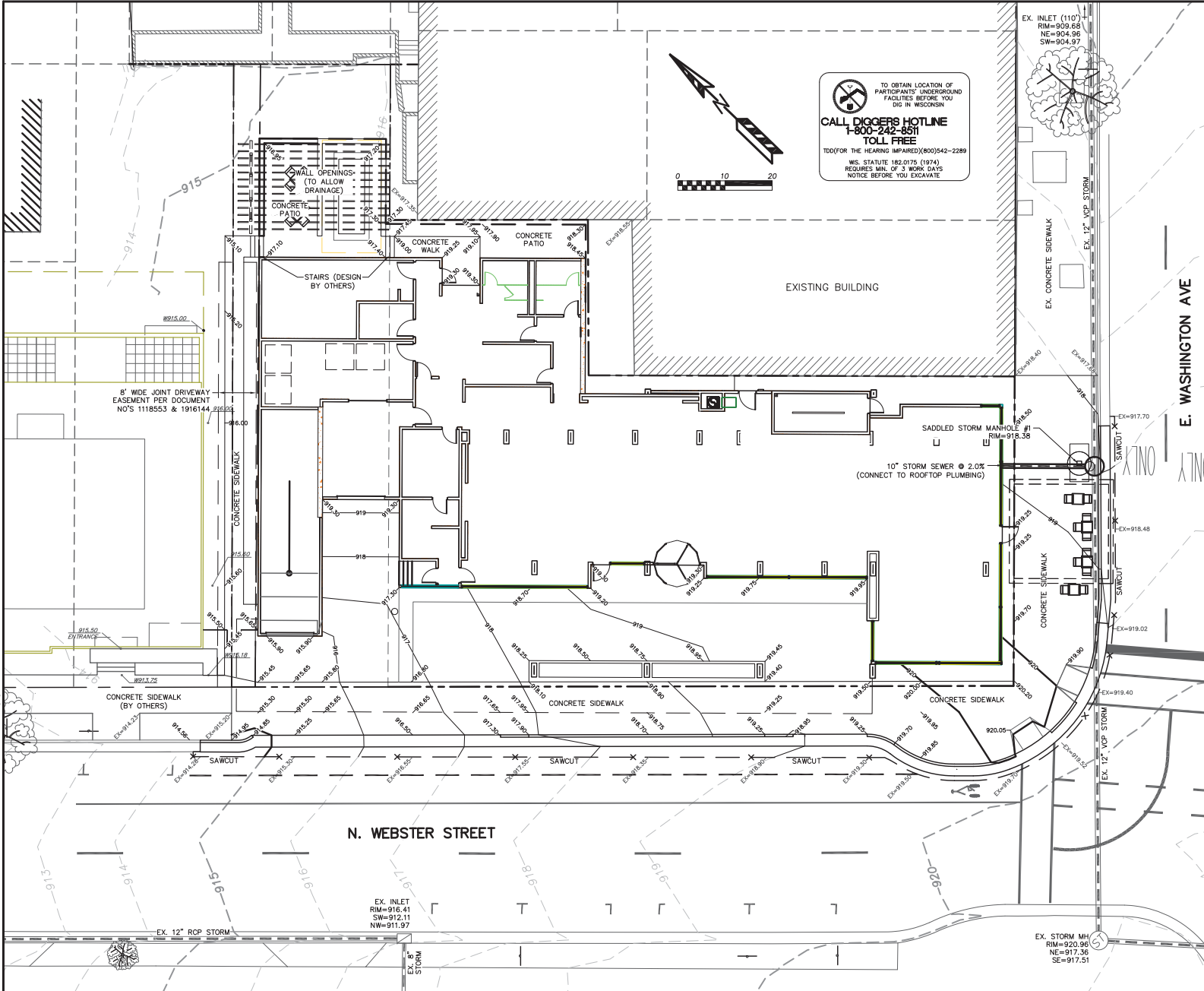
Table with 3 columns: STORM SEWER INLETS, INLET ID, RIM ELEVATION, INVERT ELEVATION, PIPE SIZE, PIPE TYPE. Includes INL-1 through INL-3.



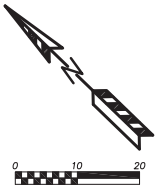
CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE

THE INFORMATION SHOWN ON THIS PLAN OR MAP IS THE PROPERTY OF JSD PROFESSIONAL SERVICES, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED THEREON. ANY REUSE OR MISUSE OF THIS INFORMATION WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC. IS STRICTLY PROHIBITED.

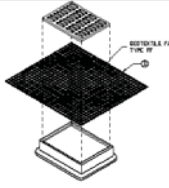
Project information table including Project No. 12-5453, File No. CA-352, Surveyed by JDS, F.B. No./Pg. 259/74, Sheet No. 1 OF 1, and dates for drawing, checked, and approved.



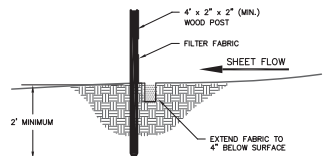
TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289
 WIS. STATUTE 182.9175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



EROSION NOTES:
 THE EXISTING PAVEMENT WILL SERVE AS THE STONE TRACKING PAD DURING CONSTRUCTION. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACK OF MUD OR DIRT SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
 EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
 EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
 INLET PROTECTION SHALL BE INSTALLED IN ALL STORM INLETS AS SOON AS THE INLET IS SET. INLET PROTECTION SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL PLACEMENT OF THE SURFACE COURSE OF ASPHALT. THE FILTER SHALL BE REMOVED AFTER THE FINAL LAYER OF ASPHALT IS PLACED.
 ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED AS NEEDED.
TIME SCHEDULE:
 MARCH 15, 2015 INSTALL EROSION CONTROL DEVICES.
 MARCH 15 - APRIL 30, 2015 REMOVE EXISTING BUILDINGS AND PARKING LOT.
 MAY 1, 2015 - AUGUST 31, 2016 CONSTRUCT BUILDING, SIDEWALK, UTILITIES AND RESTORE DISTURBED AREAS.
RESTORATION NOTES:
 ALL PVIOUSLY DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PVIOUSLY DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. WET DETENTION NATIVE SEED MIXTURES SHALL BE USED FOR THE BOTTOM OF THE DETENTION POND. SEED MIXTURE #0 SHALL BE USED ON ALL OTHER DISTURBED AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL HYPERGRASS SHALL BE ADDED TO THE MIX.
 SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 6%.
OWNER:
 NORTH CENTRAL GROUP
 1500 ASPEN COMMONS #200
 MIDDLETON, WI 53562
ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4604 SIGGELKOW ROAD, SUITE A
 MCFARLAND, WI 53558



TYPE B INLET PROTECTION DETAIL



SILT FENCE CONSTRUCTION (SHEET FLOW)

- LEGEND:**
- - - 894 - - - EXISTING MINOR CONTOUR.
 - - - 895 - - - EXISTING MAJOR CONTOUR.
 - - - 894 - - - PROPOSED MAJOR CONTOUR.
 - - - 895 - - - PROPOSED MAJOR CONTOUR.
 - EX=896.00 - EXISTING SPOT ELEVATION
 - 896.00 - PROPOSED SPOT ELEVATION
 - ☒ - INSTALL WDOT TYPE B INLET PROTECTION.

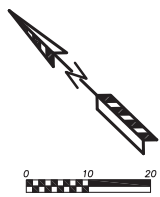
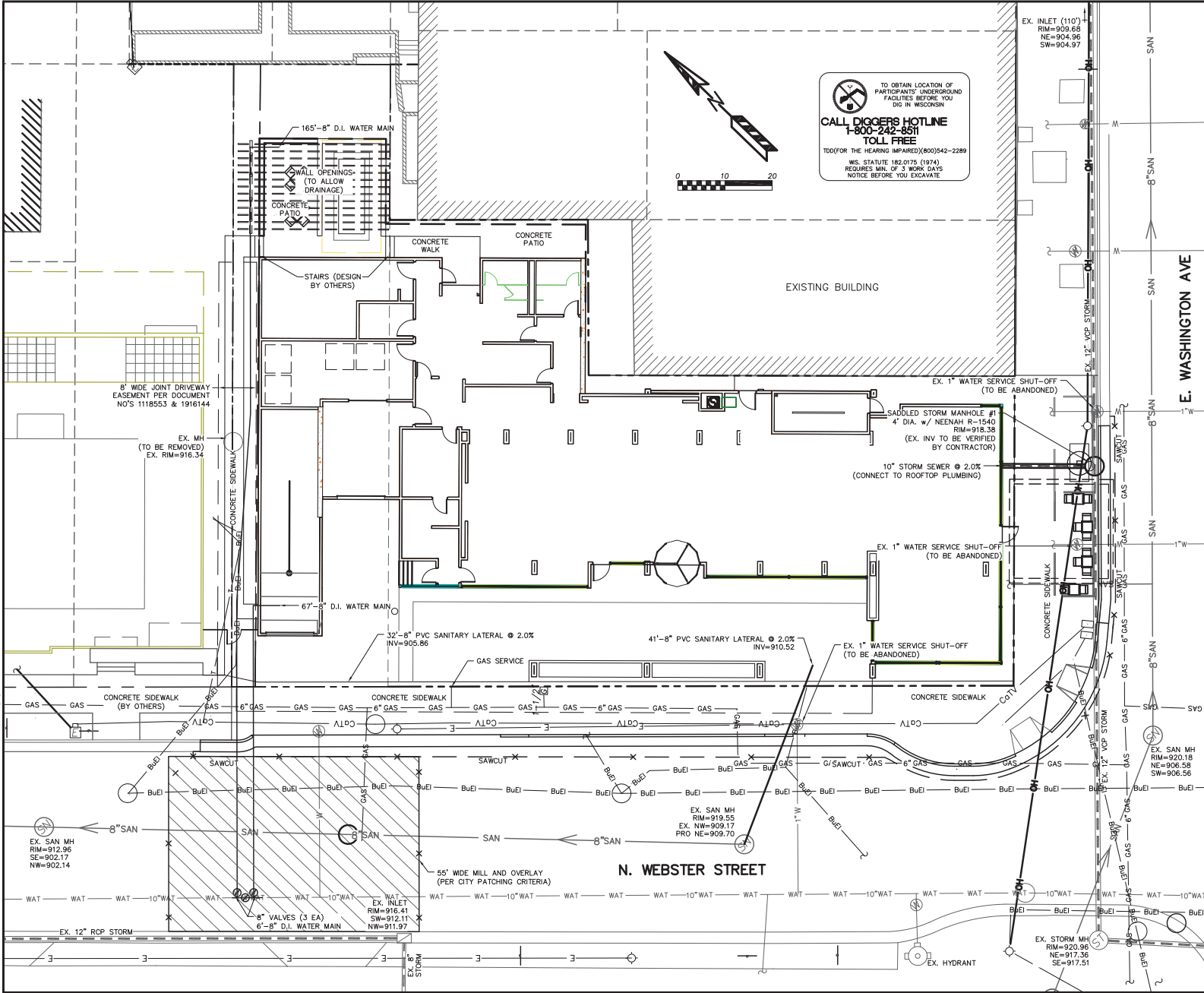
AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE.
 GRADING AND EROSION CONTROL PLAN
 DATED: DECEMBER 17, 2014

C-101

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants

www.quamengineering.com

4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289
 WS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

GENERAL NOTES:

ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A PRE-APPROVED CONTRACTOR AUTHORIZED TO WORK IN THE RIGHT-OF-WAY.

THE CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER WHICH ABUTS THE PROPERTY WHICH IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK AND CURB AND GUTTER WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.

THE CONTRACTOR SHALL OBTAIN A STREET EXCAVATION PERMIT FOR THE INSTALLATION OF UTILITIES REQUIRED TO SERVE THIS PROJECT. THE CONTRACTOR SHALL PAY THE PERMIT FEE, INSPECTION FEE, AND STREET DEGRADATION FEE AND SHALL COMPLY WITH ALL CONDITIONS OF THE PERMIT.

ANY DAMAGE TO THE PAVEMENT ON EAST WASHINGTON AVENUE AND NORTH WEBSTER STREET ADJACENT TO THE DEVELOPMENT WHICH IS DAMAGED BY THE CONSTRUCTION, SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.

CONTRACTOR SHALL FIELD VERIFY EXISTING SANITARY CONNECTION AND STORM SEWER CONNECTION INVERTS PRIOR TO BUILDING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ENGINEER.

PRIOR TO FINAL APPROVAL OF DEMOLITION PERMIT, CONTRACTOR SHALL OBTAIN A PERMIT TO PLUG EACH EXISTING SANITARY SEWER LATERAL THAT SERVES A BUILDING THAT IS PROPOSED FOR DEMOLITION. CONTRACTOR SHALL COMPLETE SEWER LATERAL PLUGGING APPLICATION AND PAY APPLICABLE PERMIT FEE.

UTILITY NOTES:

ALL WATER AND SEWER CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF MADISON AND WISCONSIN DSPS STANDARDS.

THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.

ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.

PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.

ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.

ALL UNDERGROUND EXTERIOR WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.075(2) OF STATE STATUTES.

THE PROPOSED ELECTRIC, TELEPHONE AND GAS UTILITY LOCATIONS ARE NOT SHOWN. ACTUAL LOCATIONS AND DESIGN SHALL BE COMPLETED BY OTHERS.

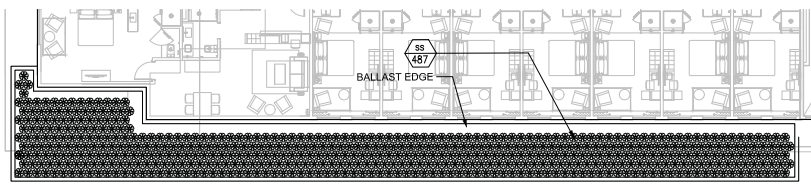
CONTRACTOR SHALL CONTACT MADISON WATER UTILITY TO REMOVE WATER METER AND PRIOR TO ABANDONING EXISTING WATER SERVICE AND INSTALLING 8" TAPPING VALVES AND PAY CITY INSPECTION FEE.

AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE.
 UTILITY PLAN
 DATED: DECEMBER 17, 2014

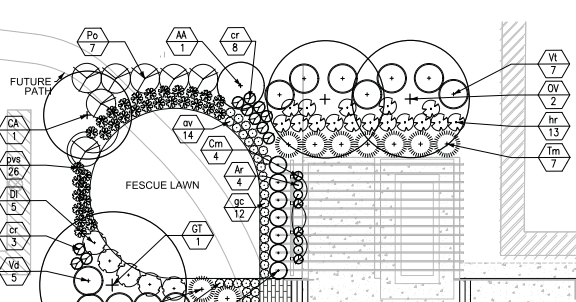
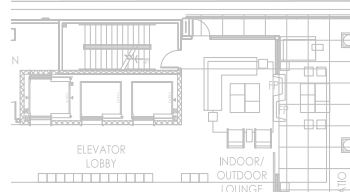
C-102
QUAM ENGINEERING, LLC
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 4604 Siggekow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752



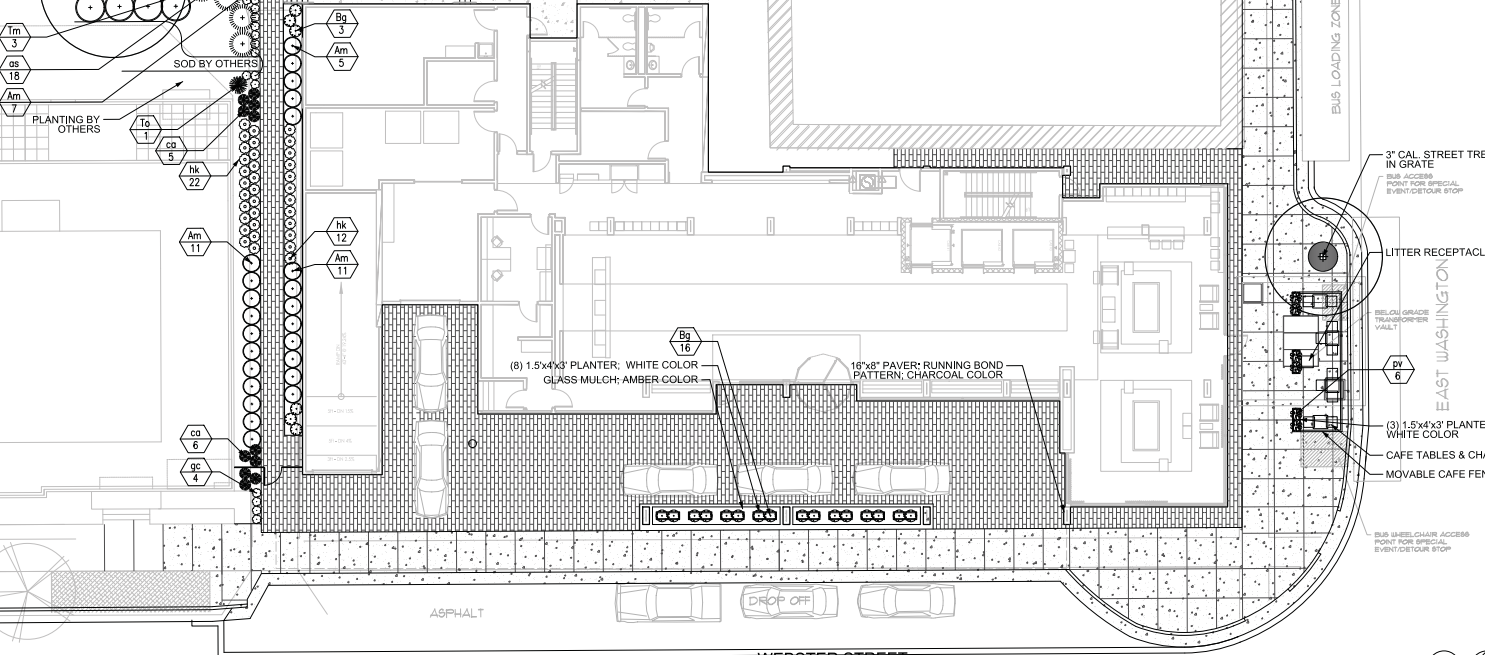
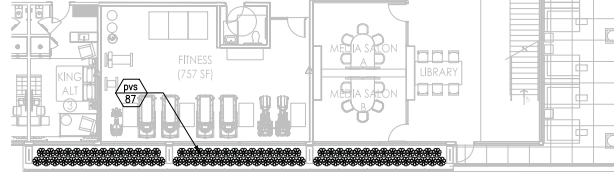
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ARCHITECTS
7780 ELMWOOD AVENUE
MIDDLETON, WI 53562
608.824.7350
608.829.9356 (FAX)



2 SECOND FLOOR LANDSCAPE PLAN
1" = 10'-0"



3 NINTH FLOOR LANDSCAPE PLAN
1" = 10'-0"



1 FIRST FLOOR LANDSCAPE PLAN
1" = 10'-0"

Plant	Common Name	Quantity	Size	Sp. Comments	Notes
CA	Cornus alternifolia	1	2.0' CA	Sp. 1	
CA	Cornus alternifolia	1	2.0' CA	Sp. 2	
CA	Cornus alternifolia	1	2.0' CA	Sp. 3	
CA	Cornus alternifolia	1	2.0' CA	Sp. 4	
CA	Cornus alternifolia	1	2.0' CA	Sp. 5	
CA	Cornus alternifolia	1	2.0' CA	Sp. 6	
CA	Cornus alternifolia	1	2.0' CA	Sp. 7	
CA	Cornus alternifolia	1	2.0' CA	Sp. 8	
CA	Cornus alternifolia	1	2.0' CA	Sp. 9	
CA	Cornus alternifolia	1	2.0' CA	Sp. 10	
CA	Cornus alternifolia	1	2.0' CA	Sp. 11	
CA	Cornus alternifolia	1	2.0' CA	Sp. 12	
CA	Cornus alternifolia	1	2.0' CA	Sp. 13	
CA	Cornus alternifolia	1	2.0' CA	Sp. 14	
CA	Cornus alternifolia	1	2.0' CA	Sp. 15	
CA	Cornus alternifolia	1	2.0' CA	Sp. 16	
CA	Cornus alternifolia	1	2.0' CA	Sp. 17	
CA	Cornus alternifolia	1	2.0' CA	Sp. 18	
CA	Cornus alternifolia	1	2.0' CA	Sp. 19	
CA	Cornus alternifolia	1	2.0' CA	Sp. 20	

City of Madison, WI Landscape Worksheet
13-Aug-14

Developed Lots	SF	Minimum Open Space Required (SF)	Landscape Points Subtotal
Total Developed Area	14,485	2,897	241
Landscape Points Required			241

Plant	Point Value	Quantity	Quantity	Points Achieved
Bermet	35	2	2	70
Ornamental Deciduous Tree	15	2	2	30
Ornamental Tree	15	2	2	30
Shrub, deciduous	3	15	15	45
Shrub, evergreen	4	18	18	72
Ornamental Grass/Perennial	2	33	33	66
Ornamental/Decorative Fence or Wall, 4' @ 10' SF	4	1	1	4
Foundation Plantings Total				283
TOTAL LANDSCAPE POINTS				283

- NOTE:
1. All plant beds shall have shredded hardwood bark mulch unless otherwise noted.
 2. All plantings shall be irrigated.
 3. Contractor shall contact City Forestry (266-4816) 7 days prior to planting street trees.
 4. Protect all pavements, curbs, utilities and other improvements during planting.
 5. Stone maintenance area shall use mill finish aluminum edging and 3" of 1-2" diameter washed stone on top of geotextile fabric.
 6. Contractor shall verify that a minimum of 18" of topsoil has been spread in plant bed areas at grade. Contractor shall mix 3" of compost soil amendment into the top 8" of plant bed areas.
 7. Green roof shall use 8" depth of green roof-specific growing medium.
 8. Potted plantings shall utilize manufactured container soil.
 9. All plant beds at-grade shall be treated with pre-emergent herbicide after planting and prior to mulching.
 10. All plants shall be warranted for 12 months following substantial completion.
 11. All plantings and seedlings shall be in healthy condition at the end of their warranty period as determined by owner's representative.

THE LOCATION OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

FAX A LOCATE 1-800-338-3860
TDD (FOR HEARING IMPAIRED) 1-800-542-2289

WIS. STATUTE 882.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON LLC
202 E. WASHINGTON AVE.
MADISON, WISCONSIN
C/O: NORTH CENTRAL GROUP
1800 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

PROJECT: 201440
DRAWN BY: ARM
DATE: 12/16/2014
SCALE: AS NOTED

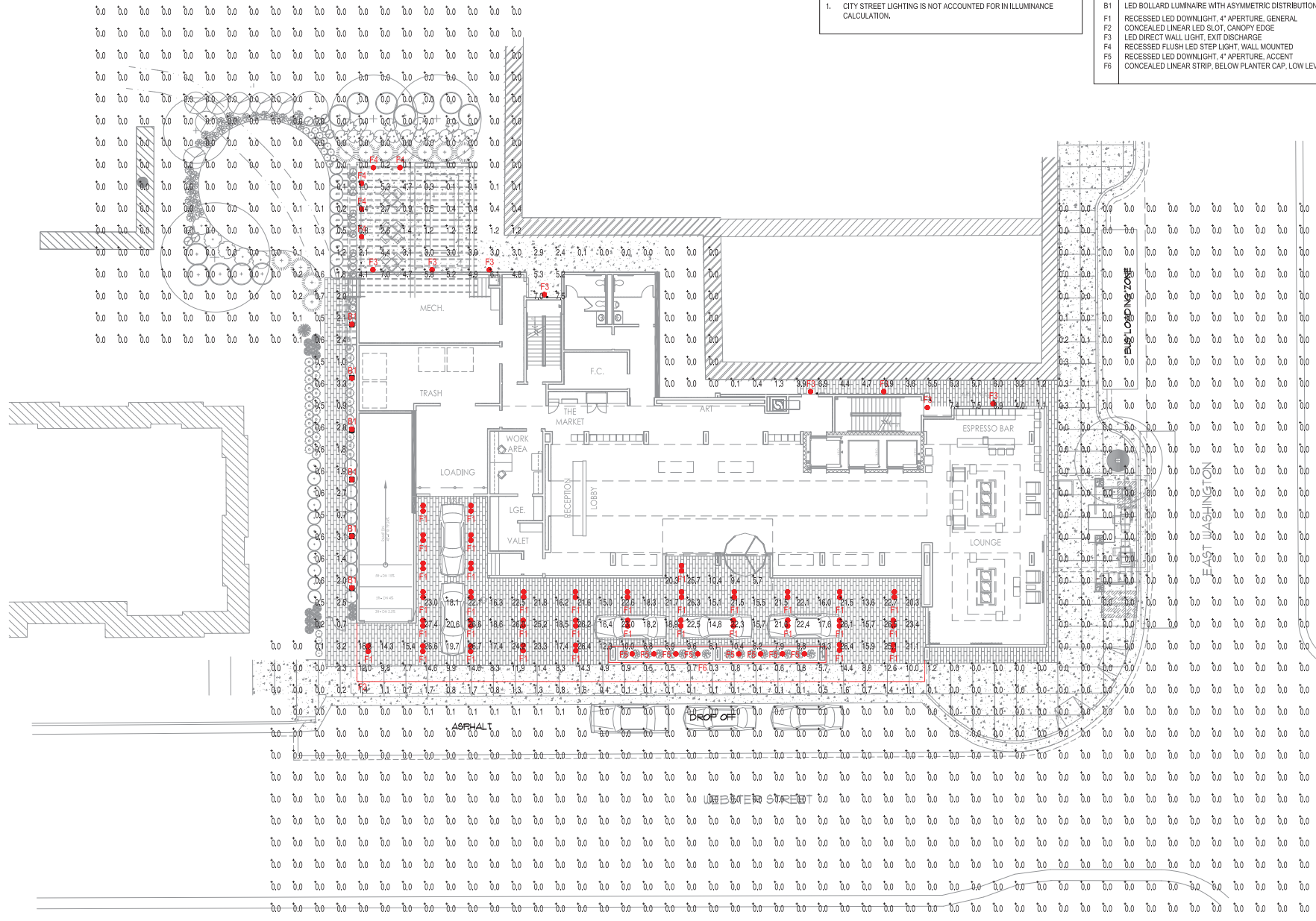


GARY BRINK & ASSOCIATES
ARCHITECTS
7780 ELWOOD AVENUE
MIDDLETON, WI 53162
608.824.7500
608.274.2056 (FAX)

GENERAL NOTES
1. CITY STREET LIGHTING IS NOT ACCOUNTED FOR IN ILLUMINANCE CALCULATION.

LUMINAIRE LEGEND

B1	LED BOLLARD LUMINAIRE WITH ASYMMETRIC DISTRIBUTION
F1	RECESSED LED DOWNLIGHT, 4" APERTURE, GENERAL CONCEALED LINEAR LED SLOT, CANOPY EDGE
F2	LED DIRECT WALL LIGHT, EXIT DISCHARGE
F3	RECESSED FLUSH LED STEP LIGHT, WALL MOUNTED
F4	RECESSED LED DOWNLIGHT, 4" APERTURE, ACCENT
F5	CONCEALED LINEAR STRIP, BELOW PLANTER CAP, LOW LEVEL



PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE.
MADISON, WISCONSIN

OWNER: 202 E. WASHINGTON LLC
C/O NORTH CENTRAL GROUP
1800 ASPEN COMMONS, SUITE 200 - MIDDLTON, WISCONSIN

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PROJECT: 201410
DRAWN BY:
DATE:
SCALE: AS NOTED



SITE PLAN
SCALE: 1" = 10'-0"

PHOTOMETRIC STUDY
SITE PLAN
E1.01



GARY BRINK & ASSOCIATES
ARCHITECTS
1780 ELMWOOD AVENUE
MIDDLETON, WI 53542
608-823-1750
608-429-3056 (FAX)

TYPE F1

githair

4' Track Lighting

Technical Specifications

Model	Length	Weight	Material	Finish	Color
4' x 1" x 1"	48"	1.5 lbs	Aluminum	Black	Black
4' x 1" x 1"	48"	1.5 lbs	Aluminum	White	White
4' x 1" x 1"	48"	1.5 lbs	Aluminum	Black	White
4' x 1" x 1"	48"	1.5 lbs	Aluminum	White	Black

TYPE F2

WiproLED Project

Technical Specifications

Model	Length	Weight	Material	Finish	Color
4' x 1" x 1"	48"	1.5 lbs	Aluminum	Black	Black
4' x 1" x 1"	48"	1.5 lbs	Aluminum	White	White
4' x 1" x 1"	48"	1.5 lbs	Aluminum	Black	White
4' x 1" x 1"	48"	1.5 lbs	Aluminum	White	Black

TYPE F3

SLIM12

RAB

SLIM12

Technical Specifications

Model	Length	Weight	Material	Finish	Color
4' x 1" x 1"	48"	1.5 lbs	Aluminum	Black	Black
4' x 1" x 1"	48"	1.5 lbs	Aluminum	White	White
4' x 1" x 1"	48"	1.5 lbs	Aluminum	Black	White
4' x 1" x 1"	48"	1.5 lbs	Aluminum	White	Black

TYPE F4

RAB

Technical Specifications

Model	Length	Weight	Material	Finish	Color
4' x 1" x 1"	48"	1.5 lbs	Aluminum	Black	Black
4' x 1" x 1"	48"	1.5 lbs	Aluminum	White	White
4' x 1" x 1"	48"	1.5 lbs	Aluminum	Black	White
4' x 1" x 1"	48"	1.5 lbs	Aluminum	White	Black

TYPE F5

githair

4' Track Lighting

Technical Specifications

Model	Length	Weight	Material	Finish	Color
4' x 1" x 1"	48"	1.5 lbs	Aluminum	Black	Black
4' x 1" x 1"	48"	1.5 lbs	Aluminum	White	White
4' x 1" x 1"	48"	1.5 lbs	Aluminum	Black	White
4' x 1" x 1"	48"	1.5 lbs	Aluminum	White	Black

TYPE F6

modaLIGHT SUPER AQUAFLEX™ 3000

modaLIGHT

Technical Specifications

Model	Length	Weight	Material	Finish	Color
4' x 1" x 1"	48"	1.5 lbs	Aluminum	Black	Black
4' x 1" x 1"	48"	1.5 lbs	Aluminum	White	White
4' x 1" x 1"	48"	1.5 lbs	Aluminum	Black	White
4' x 1" x 1"	48"	1.5 lbs	Aluminum	White	Black

TYPE B1

RAB

Technical Specifications

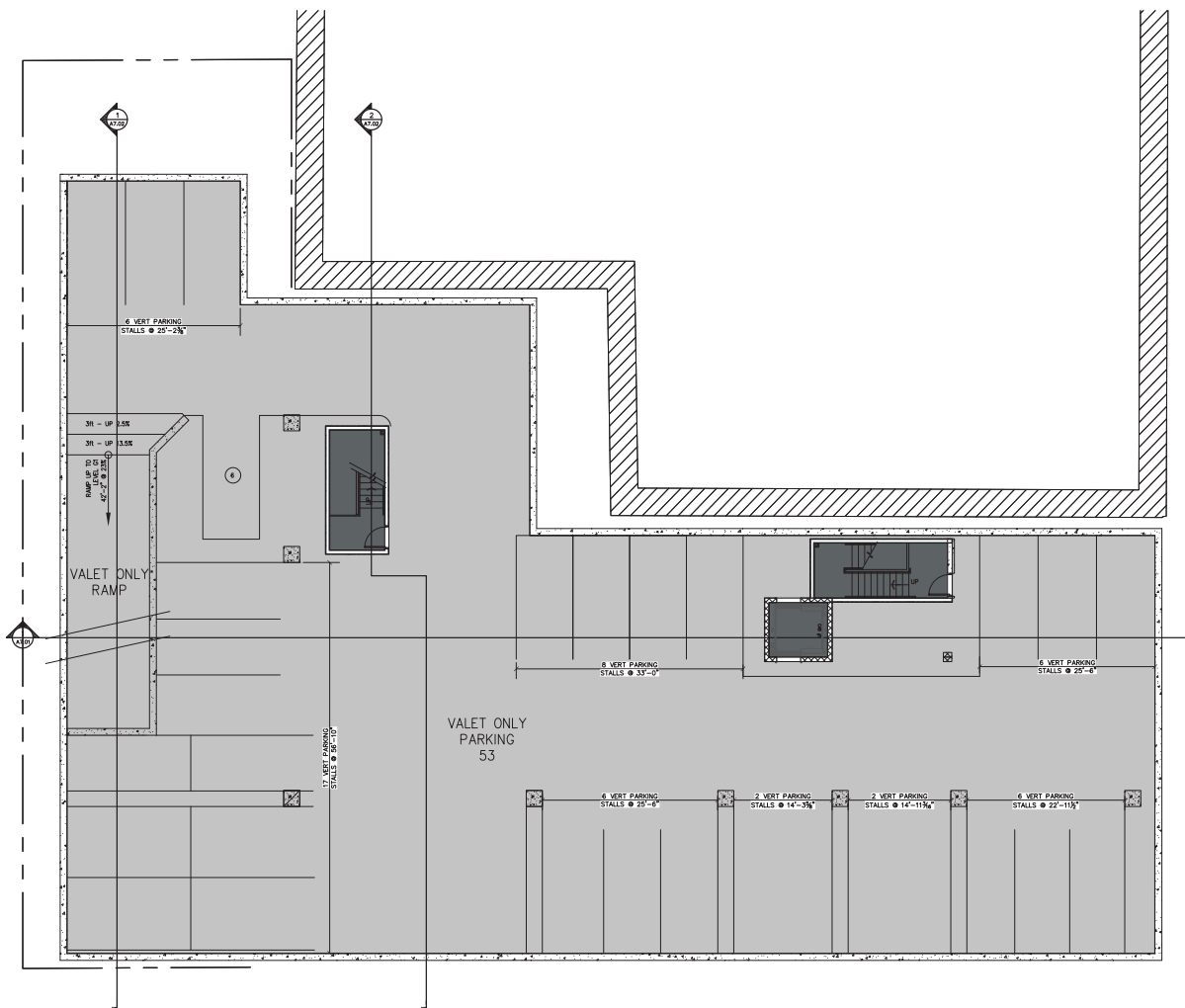
Model	Length	Weight	Material	Finish	Color
4' x 1" x 1"	48"	1.5 lbs	Aluminum	Black	Black
4' x 1" x 1"	48"	1.5 lbs	Aluminum	White	White
4' x 1" x 1"	48"	1.5 lbs	Aluminum	Black	White
4' x 1" x 1"	48"	1.5 lbs	Aluminum	White	Black

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
202 E WASHINGTON AVE
MADISON, WISCONSIN
OWNER: 202 E WASHINGTON LLC
C/O NORTH CENTRAL GROUP
1900 ASPEN COMMONS, SUITE 200 - MADISON, WISCONSIN

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PROJECT: 201410
DRAWN BY:
DATE:
SCALE: AS NOTED

PHOTOMETRIC
STUDY
LUMINAIRES
E1.02



- Hotel Functions
- Hotel Back of House Functions
- Proposed Restaurant / Bar
- Vertical / Horizontal Circulation
- Mechanical Services / Spaces
- Parking
- 'Eco' Roof
- Roof Top Terrace
- Ballasted Roof Membrane


 GARY BRINK & ASSOCIATES
 ARCHITECTS
 7780 ELMWOOD AVENUE
 MIDDLETON, WI 53562
 608.825.1700
 608.825.9056 (FAX)



PARKING LEVEL G2
 SCALE: 1/8" = 1'-0"



PROJECT: **AC BY MARRIOTT - DOWNTOWN MADISON**
 LOCATION: **202 E. WASHINGTON LLC**
 OWNER: **C/O NORTH CENTRAL GROUP**
 1800 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

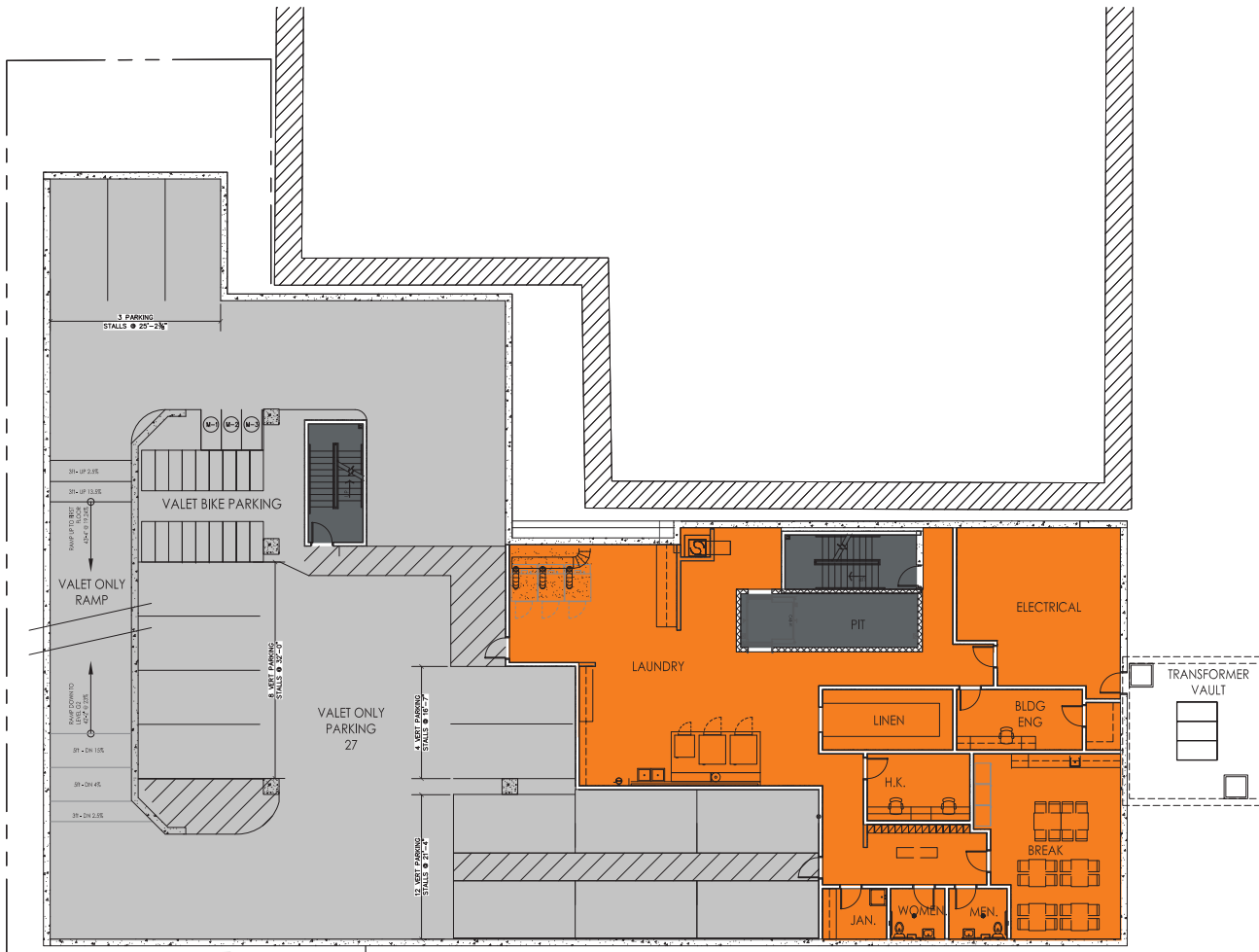
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 DRAWN BY: **AR**
 DATE:
 SCALE: **AS NOTED**



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608.825.1700
608.825.9036 (FAX)

- Hotel Functions
- Hotel Back of House Functions
- Proposed Restaurant / Bar
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- 'Eco' Roof
- Roof Top Terrace
- Ballasted Roof Membrane



PARKING LEVEL G1

SCALE: 1/8" = 1'-0"



PROJECT: **AC BY MARRIOTT - DOWNTOWN MADISON**

ARCHITECT: GARY BRINK & ASSOCIATES
MADISON, WISCONSIN
OWNER: **202 E. WASHINGTON LLC**
C/O NORTH CENTRAL GROUP
180 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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SCALE: **AS NOTED**

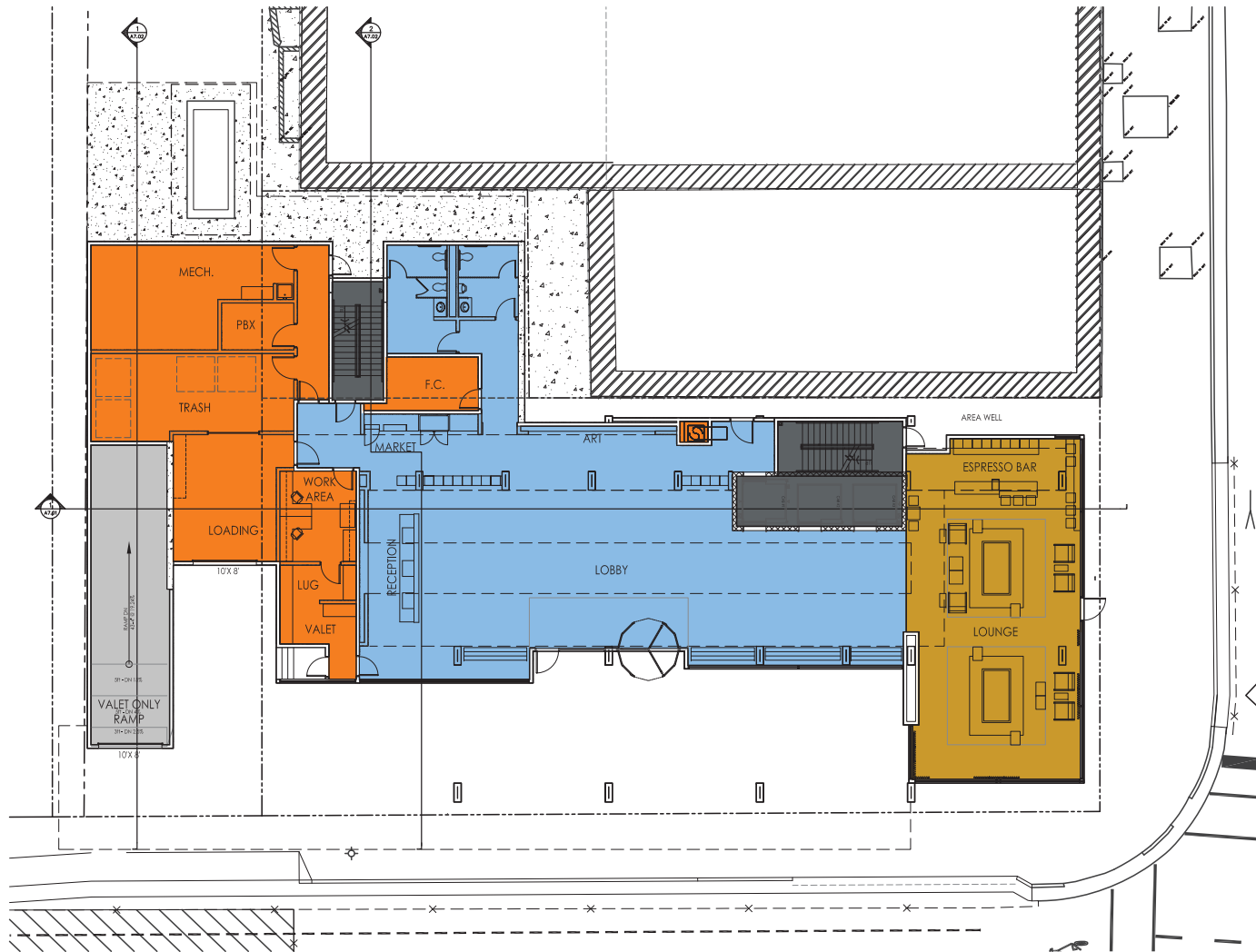
PARKING LEVEL
G1

A0.02



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ARCHITECTS
7780 ELMWOOD AVENUE
MIDDLETON, WI 53542
608.825.1700
608.825.9036 (FAX)

- Hotel Functions
- Hotel Back of House Functions
- Proposed Restaurant / Bar
- Vertical / Horizontal Circulation
- Mechanical Services / Spaces
- Parking
- 'Eco' Roof
- Roof Top Terrace
- Ballasted Roof Membrane



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

PROJECT: **ACBY MARRIOTT - DOWNTOWN MADISON**
ARCHITECT: GARY BRINK & ASSOCIATES ARCHITECTS
MADISON, WISCONSIN
OWNER: **202 E. WASHINGTON LLC**
C/O NORTH CENTRAL GROUP
180 ASPEN COMMONS, SUITE 200 - MADISON, WISCONSIN

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- Hotel Functions
- Hotel Back of House Functions
- Proposed Restaurant / Bar
- Vertical / Horizontal Circulation
- Mechanical Services / Spaces
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- 'Eco' Roof
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 ARCHITECTS
 7780 ELMWOOD AVENUE
 MIDDLETON, WI 53562
 608.826.1710
 608.826.9056 (FAX)


SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

PROJECT: **AC BY MARRIOTT - DOWNTOWN MADISON**
 ARCHITECT: GARY BRINK & ASSOCIATES ARCHITECTS, MADISON, WISCONSIN
 OWNER: **C/O WASHINGTON LLC**
 C/O NORTH CENTRAL GROUP
 180 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN
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608.835.1700
608.828.9006 (FAX)

- Hotel Functions
- Hotel Back of House Functions
- Proposed Restaurant / Bar
- Vertical / Horizontal Circulation
- Mechanical Services / Spaces
- Parking
- 'Eco' Roof
- Roof Top Terrace
- Ballasted Roof Membrane



THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"

 0'
 4'
 8'
 16'
 24'

PROJECT: **AC BY MARRIOTT - DOWNTOWN MADISON**
 LOCATION: **100 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN**
 OWNER: **202 E. WASHINGTON LLC**
 C/O: NORTH CENTRAL GROUP
 180 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN
 PROJECT: 201410
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608.825.1710
608.825.9056 (FAX)

- Hotel Functions
- Hotel Back of House Functions
- Proposed Restaurant / Bar
- Vertical / Horizontal Circulation
- Mechanical Services / Spaces
- Parking
- 'Eco' Roof
- Roof Top Terrace
- Ballasted Roof Membrane



@ 4th FLOOR ONLY:
 (2) KING ROOMS IN LIEU OF
 CORNER SUITE
 (REFER TO 3RD FLOOR PLAN)
 CORNER SUITE @ 5TH-8TH FLOORS

4TH - 8TH FLOOR PLAN
 SCALE: 1/8" = 1'-0"

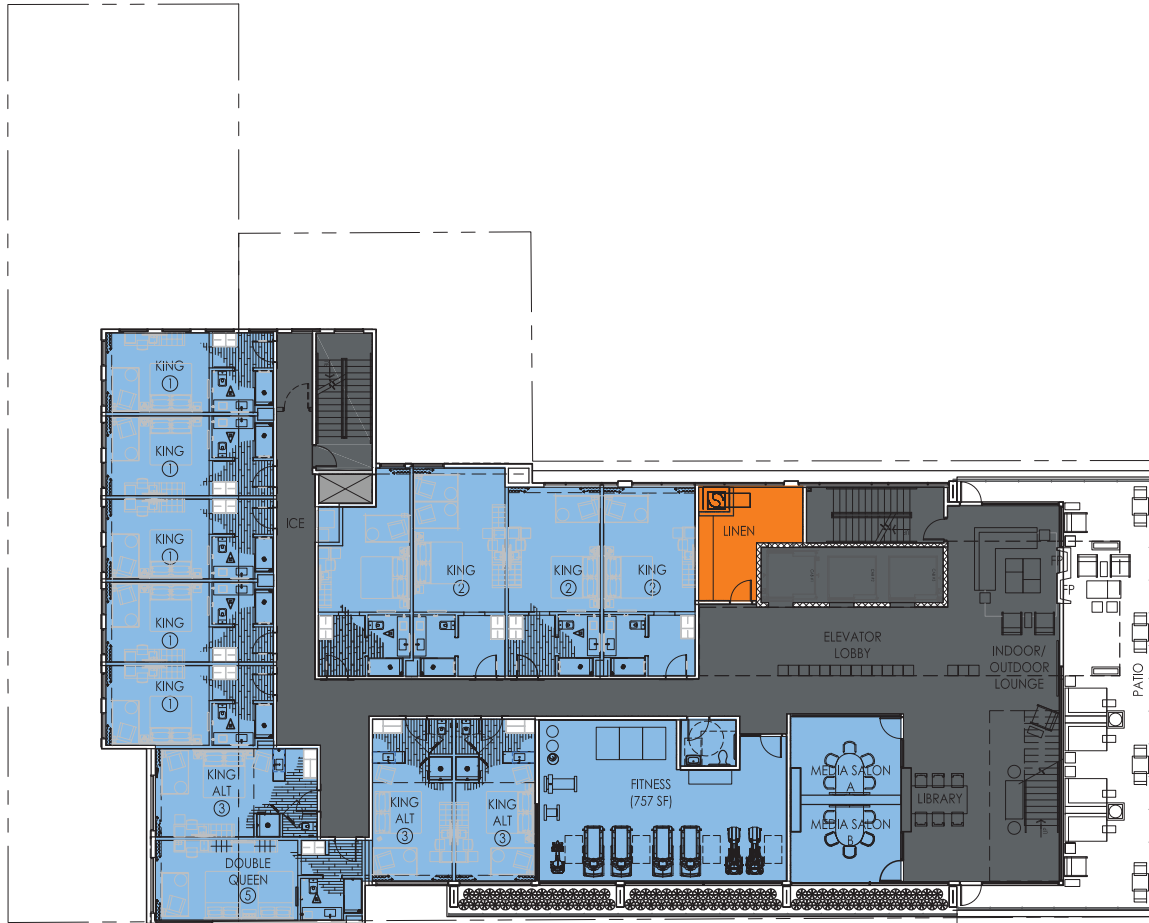
PROJECT: **AC BY MARRIOTT - DOWNTOWN MADISON**
 202 E. WASHINGTON LLC
 202 E. WASHINGTON AVE.
 MADISON, WISCONSIN
 OWNER: C/O NORTH CENTRAL GROUP
 180 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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9TH FLOOR PLAN
SCALE: 1/8" = 1'-0"



PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
1000 WASHINGTON AVE.
MADISON, WISCONSIN

OWNER: 202 E. WASHINGTON LLC
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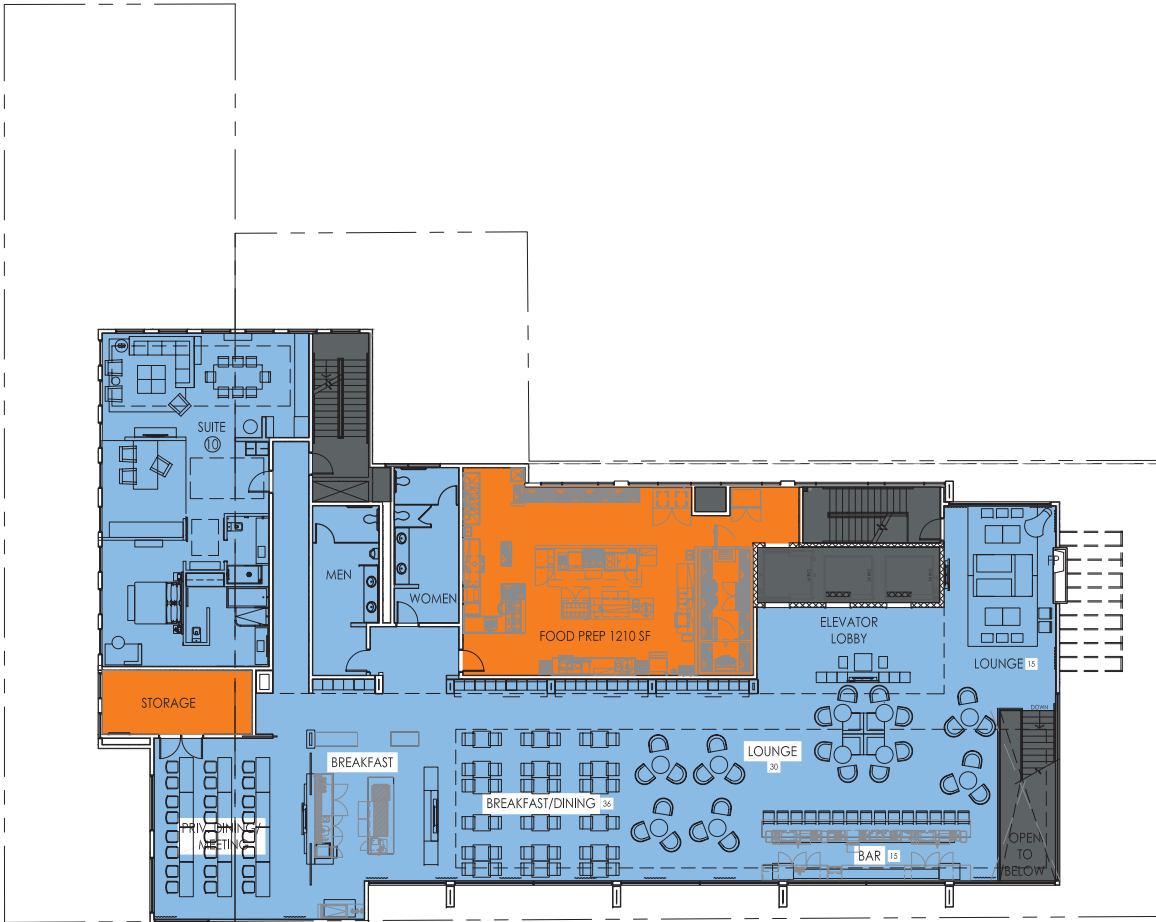
PROJECT: 201410
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SCALE: AS NOTED

NINTH
FLOOR PLAN
A2.05



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- Proposed Restaurant / Bar
- Vertical / Horizontal Circulation
- Parking
- 'Eco' Roof
- Roof Top Terrace
- Ballasted Roof Membrane



10TH FLOOR PLAN
SCALE: 1/8" = 1'-0"

0' 4' 8' 16' 24'

PROJECT: **ACBY MARRIOTT - DOWNTOWN MADISON**
ACBY MARRIOTT HOTEL
MADISON, WISCONSIN

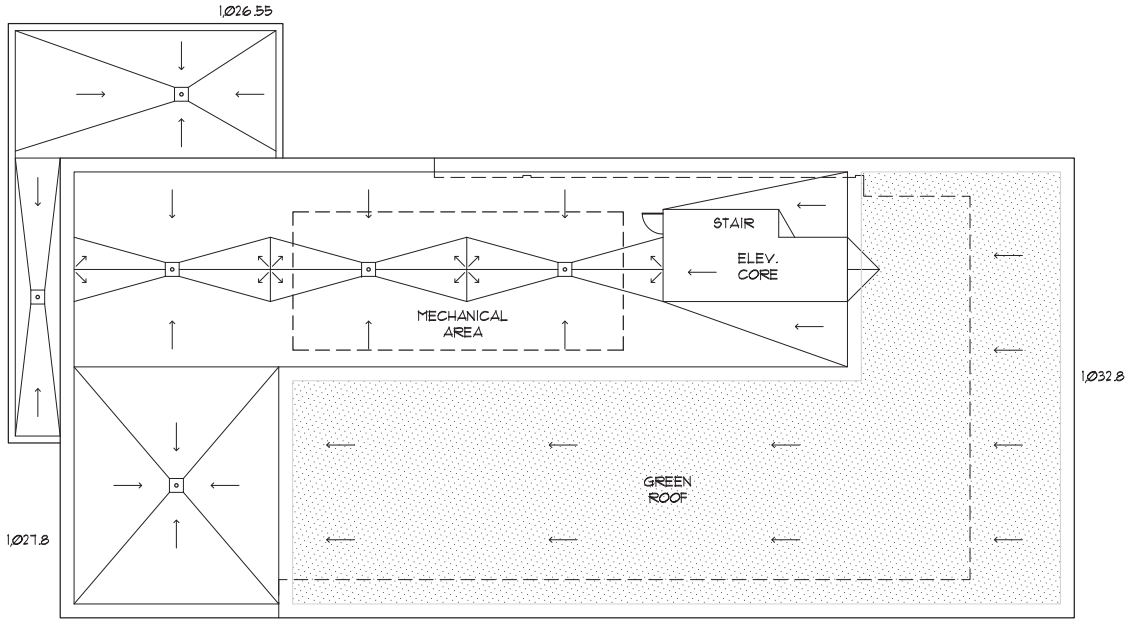
OWNER: **202 E. WASHINGTON LLC**
C/O: NORTH CENTRAL GROUP
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ROOF PLAN
SCALE: 1/8" = 1'-0"

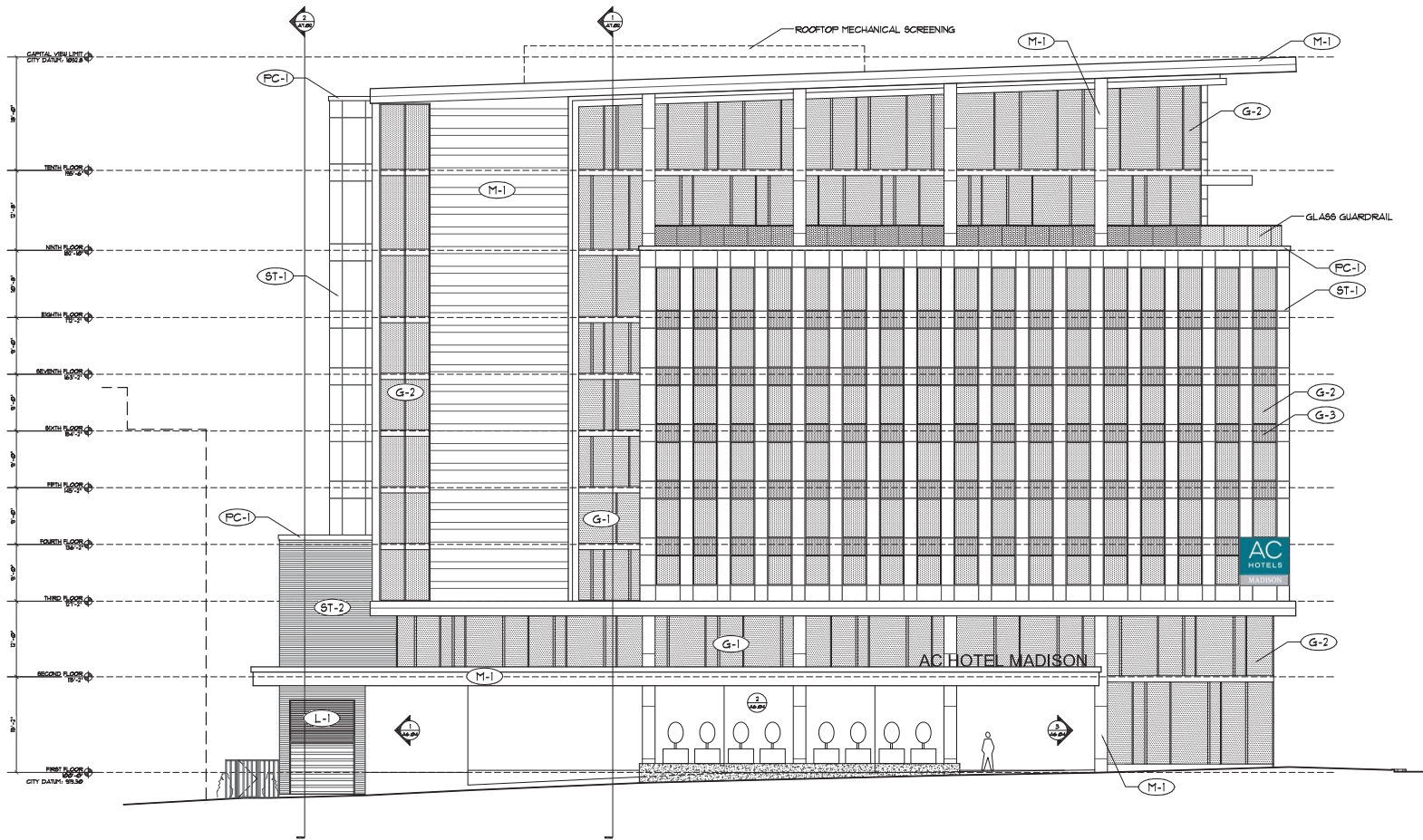


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OWNER: AC BY MARRIOTT, INC.
MADISON, WISCONSIN
OWNER: 202 E. WASHINGTON LLC
C/O NORTH CENTRAL GROUP
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1 PLAN SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
ARCHITECT: GARY BRINK & ASSOCIATES ARCHITECTS
OWNER: 202 E. WASHINGTON LLC
C/O NORTH CENTRAL GROUP
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DRAWN BY: MJB
DATE:
SCALE: AS NOTED

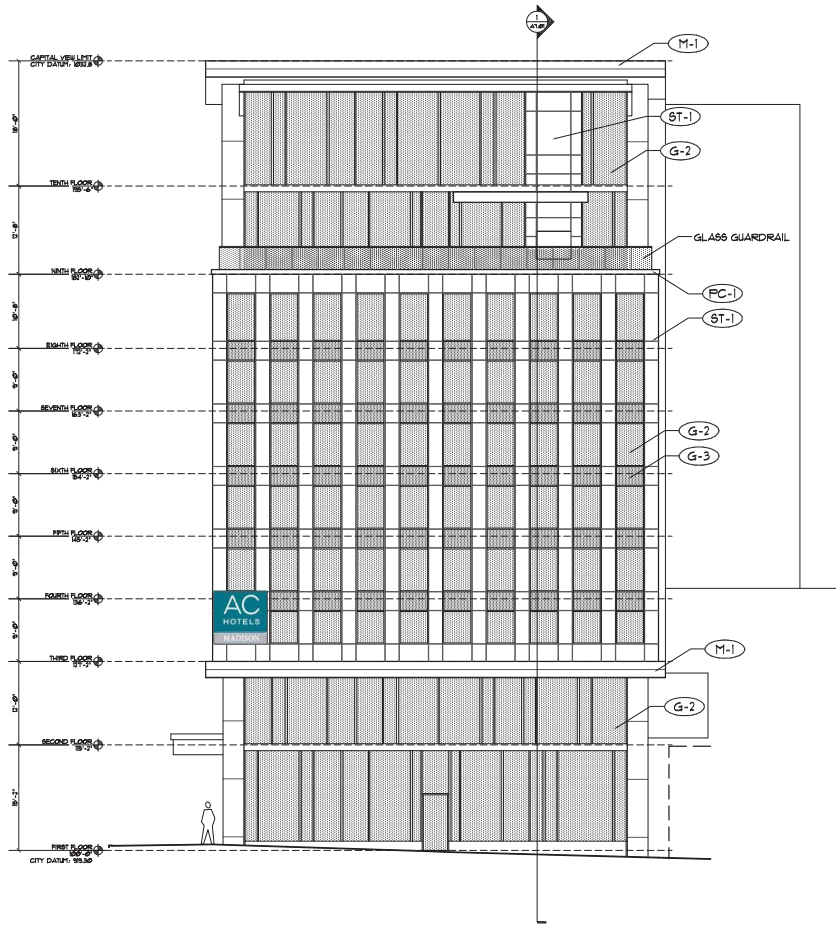
GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION	GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION	GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION
[Pattern]	G-1	HANGOUT FIELD MATERIAL: STONE PANELS SIZE: N/A COLOR: MOCHA CREME LIMESTONE	[Pattern]	G-2	METAL PANEL, CORNICE, PARAPET, ETC. MATERIAL: DRY-CLASH SIZE: VARIES, SEE ELEVATIONS COLOR: REDUP BRONZE	[Pattern]	G-3	CURTAIN WALL MATERIAL: TRO FRAME: RED, BRONZE/CLEAR ANODIZED
[Pattern]	G-2	HANGOUT FIELD MATERIAL: ROCKCAST SIZE: 4" x 24" COLOR: SLATE - SMOOTH FACE	[Pattern]	G-3	METAL PANEL MATERIAL: DRY-CLASH SIZE: VARIES, SEE ELEVATIONS COLOR: CLEAR ANODIZED	[Pattern]	L-1	SPANDREL GLASS MATERIAL: TRO FRAME: RED, BRONZE/CLEAR ANODIZED
[Pattern]	M-1	PRECAST HEADERS MATERIAL: ROCKCAST SIZE: N/A COLOR: SLATE	[Pattern]	G-1	STONE/PIENT MATERIAL: TRO FRAME: RED, BRONZE/CLEAR ANODIZED			LOUVER MATERIAL: TRO FRAME: DARK BRONZE

EXTERIOR ELEVATIONS

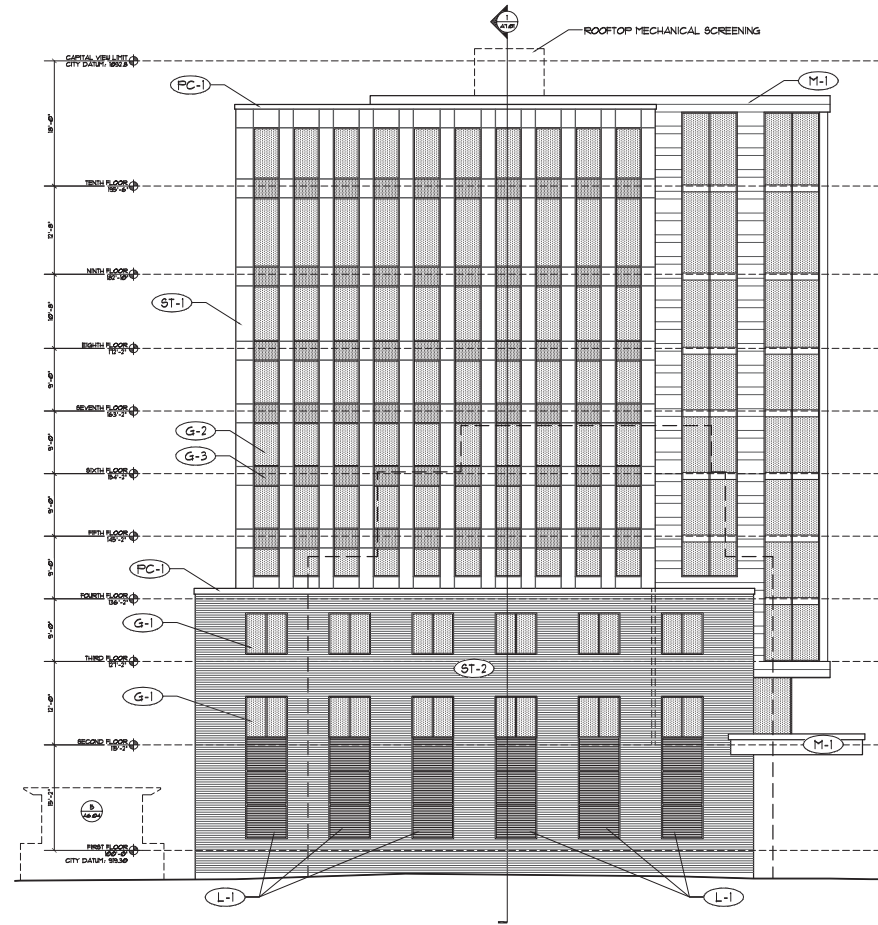
A6.01



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1 PLAN EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 PLAN WEST ELEVATION
SCALE: 1/8" = 1'-0"

GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION	GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION	GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION
[Pattern]	ST-1	HANGOUT FIELD MFR: STONE PANELS SIZE: N/A COLOR: MOCHA CREME LIMESTONE	[Pattern]	ST-2	METAL PANEL, CORNER, PARADISE, ETC. MFR: DRU-DESIGN SIZE: Varies, SEE ELEVATIONS COLOR: REDUP BRONZE	[Pattern]	G-2	CURTAIN WALL MFR: TBD FRAME: RED, BRONZE/CLEAR ANODIZED
[Pattern]	ST-2	HANGOUT FIELD MFR: ROCKCAST SIZE: 4" x 24" COLOR: SLATE - SMOOTH FACE	[Pattern]	ST-3	METAL PANEL MFR: DRU-DESIGN SIZE: Varies, SEE ELEVATIONS COLOR: CLEAR ANODIZED	[Pattern]	G-3	SPANDREL GLASS MFR: TBD FRAME: RED, BRONZE/CLEAR ANODIZED
[Pattern]	PC-1	PRECAST HEADERS MFR: ROCKCAST SIZE: N/A COLOR: SLATE	[Pattern]	ST-4	STONEFRONT MFR: TBD FRAME: RED, BRONZE/CLEAR ANODIZED	[Pattern]	L-1	LOWER MFR: TBD FRAME: DARK BRONZE

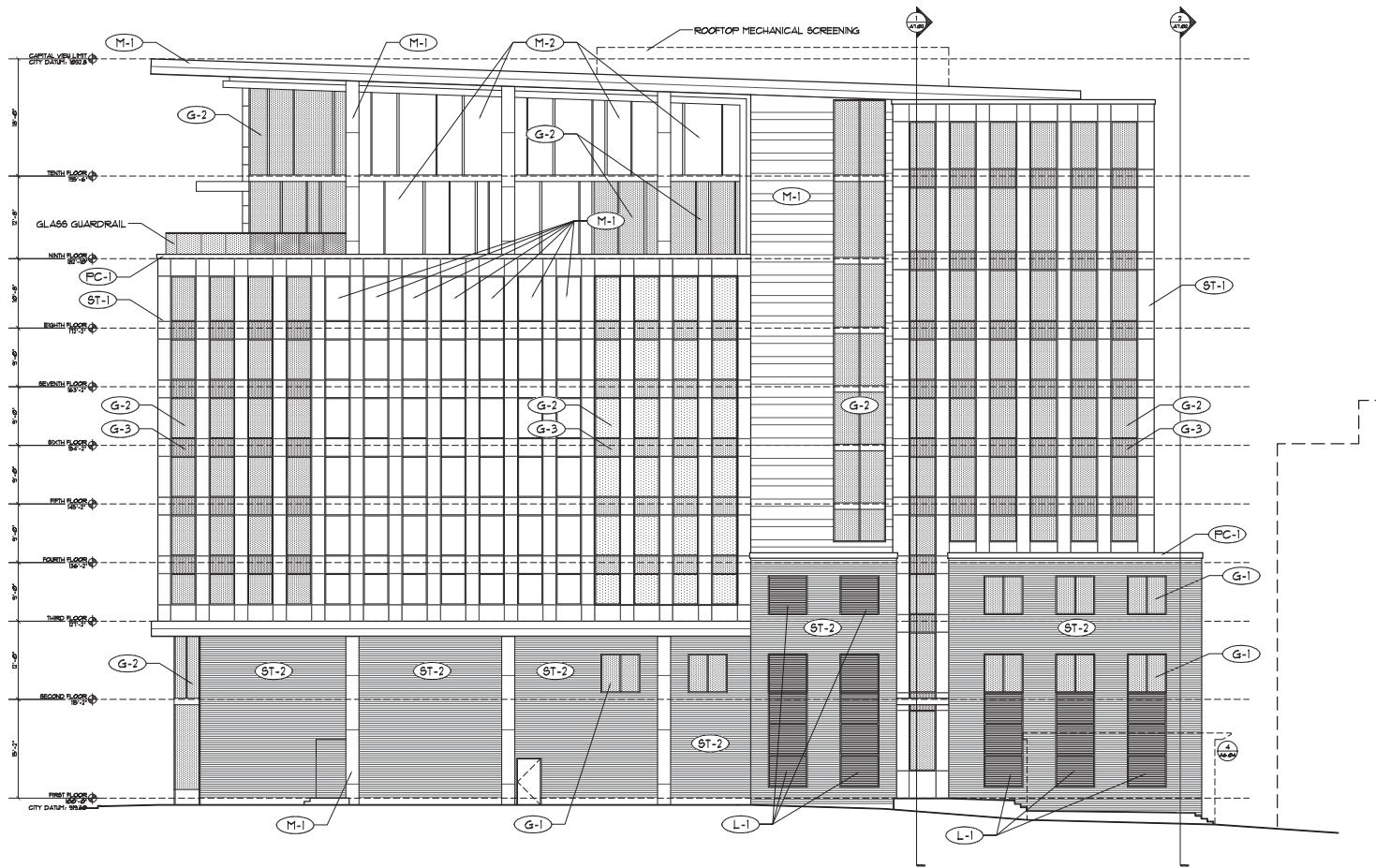
PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
OWNER: WASHINGTON LLC
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PROJECT: 201410
DRAWN BY: MJB
DATE:
SCALE: AS NOTED

EXTERIOR
ELEVATIONS

A6.02



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1 PLAN NORTH ELEVATION
SCALE: 1/8" = 1'-0"

GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION	GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION	GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION
[Pattern]	G-1	HANGOVER FIELD MFR: STONE PANELS SIZE: N/A COLOR: MOCHA CREME LIMESTONE	[Pattern]	ST-1	METAL PANEL, CORNER, PARAPET, ETC. MFR: DRP-CRUSH SIZE: VARIES, SEE ELEVATIONS COLOR: REDUP BRONZE	[Pattern]	G-2	CURTAIN WALL MFR: TBD PRIME: PFD, BRONZE/CLEAR ANODIZED
[Pattern]	G-2	HANGOVER FIELD MFR: ROCKCAST SIZE: 4" x 24" COLOR: SLATE - SMOOTH FACE	[Pattern]	ST-2	METAL PANEL MFR: DRP-CRUSH SIZE: VARIES, SEE ELEVATIONS COLOR: CLEAR ANODIZED	[Pattern]	G-3	SPANDREL GLASS MFR: TBD PRIME: PFD, BRONZE/CLEAR ANODIZED
[Pattern]	L-1	PRECAST HEADERS MFR: ROCKCAST SIZE: N/A COLOR: SLATE	[Pattern]	L-1	STONEFRONT MFR: TBD PRIME: PFD, BRONZE/CLEAR ANODIZED	[Pattern]	L-2	LOOPER MFR: TBD PRIME: DARK BRONZE

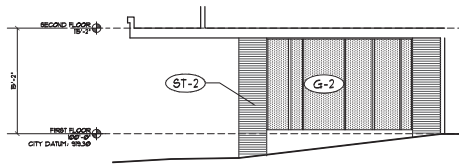
PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON LLC
180 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN
PROJECT: 201410
DRAWN BY: MJB
DATE:
SCALE: AS NOTED

EXTERIOR ELEVATIONS

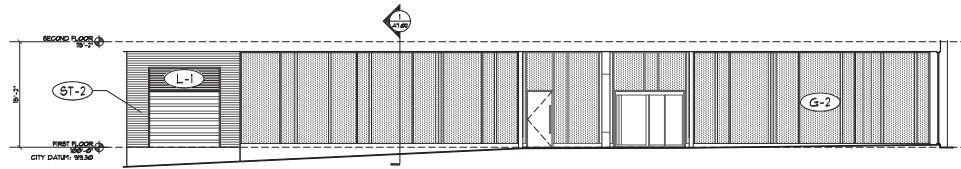
A6.03



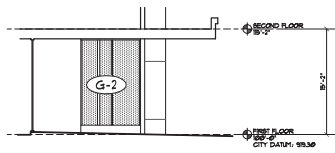
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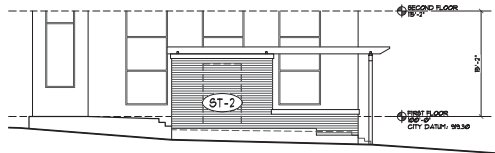
1 DROP-OFF WEST ELEVATION
SCALE: 1/8" = 1'-0"



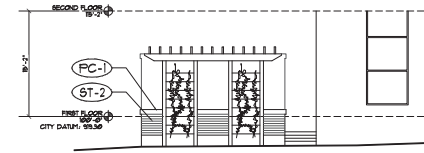
2 DROP-OFF SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 DROP-OFF EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 ENCLOSURE NORTH ELEVATION
SCALE: 1/8" = 1'-0"



5 ENCLOSURE WEST ELEVATION
SCALE: 1/8" = 1'-0"

GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION	GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION	GRAPHIC	KEY	EXTERIOR FINISH DESCRIPTION
	ST-2	HANGOUT FIELD MFR: STONE PANELS SIZE: N/A COLOR: MOCHA CREME LIMESTONE		ST-1	METAL PANEL, COPPER, BRASS, ETC. MFR: DRU-CORRUM SIZE: VARIES, SEE ELEVATIONS COLOR: RED/UP BRONZE		G-2	CURTAIN WALL MFR: TBD FRAME: RED BRONZE/CLEAR ANODIZED
	ST-3	HANGOUT FIELD MFR: ROCKCAST SIZE: 4" x 24" COLOR: SLATE - SMOOTH FACE		ST-2	METAL PANEL MFR: DRU-CORRUM SIZE: VARIES, SEE ELEVATIONS COLOR: CLEAR ANODIZED		G-3	SPANDREL GLASS MFR: TBD FRAME: RED BRONZE/CLEAR ANODIZED
	ST-4	PRECAST HEADERS MFR: ROCKCAST SIZE: N/A COLOR: SLATE		ST-5	STONEFRONT MFR: TBD FRAME: RED BRONZE/CLEAR ANODIZED		L-1	LOUVER MFR: TBD FRAME: DARK BRONZE

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
ARCHITECT: GARY BRINK & ASSOCIATES, INC.
MADISON, WISCONSIN
OWNER: 202 E. WASHINGTON LLC
C/O NORTH CENTRAL GROUP
180 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

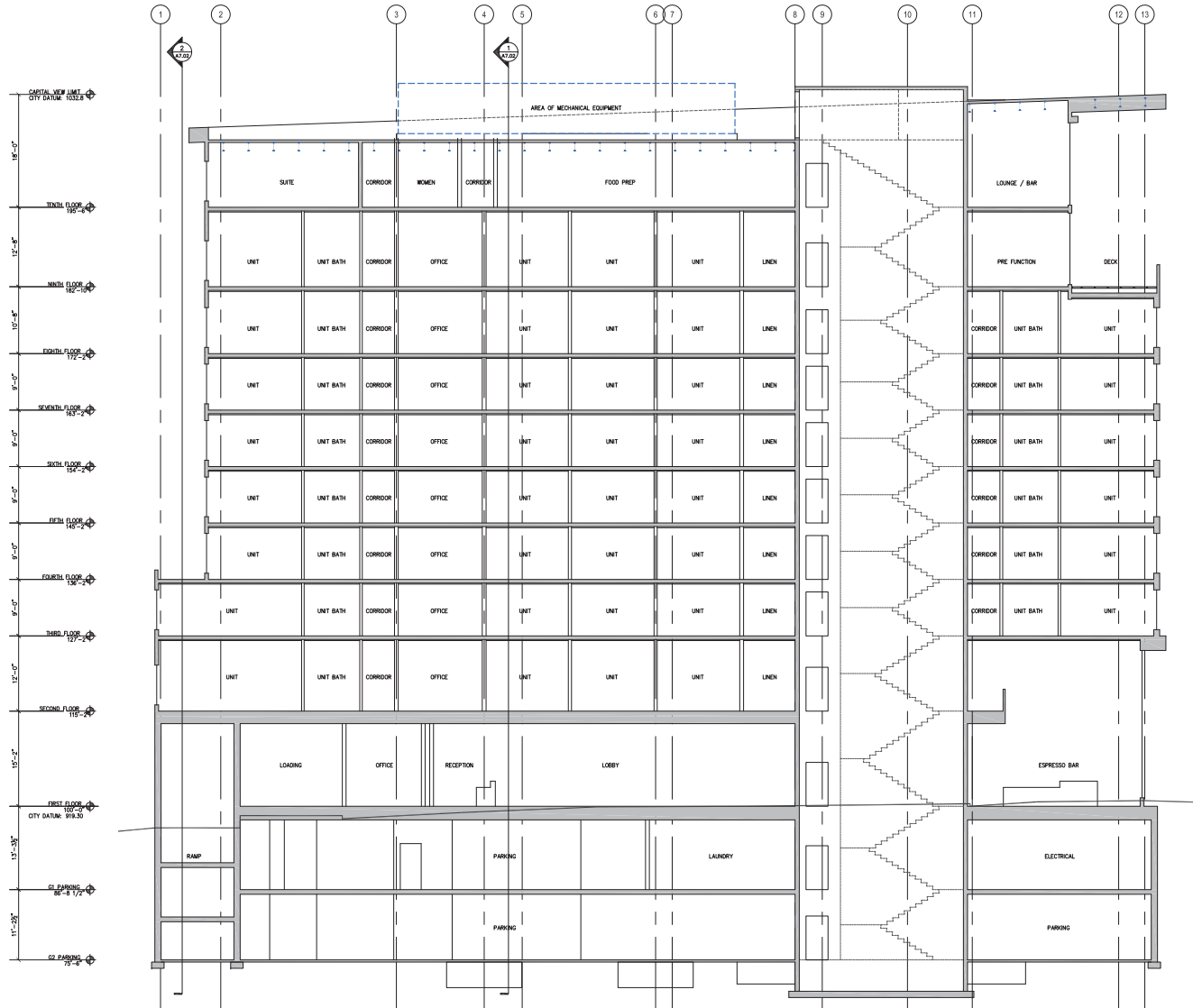
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PROJECT: 201410
DRAWN BY: [Signature]
DATE:
SCALE: AS NOTED

EXTERIOR
ELEVATIONS

A6.04



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608.825.9056 (FAX)



SECTION 1
SCALE: 1/8"=1'-0"

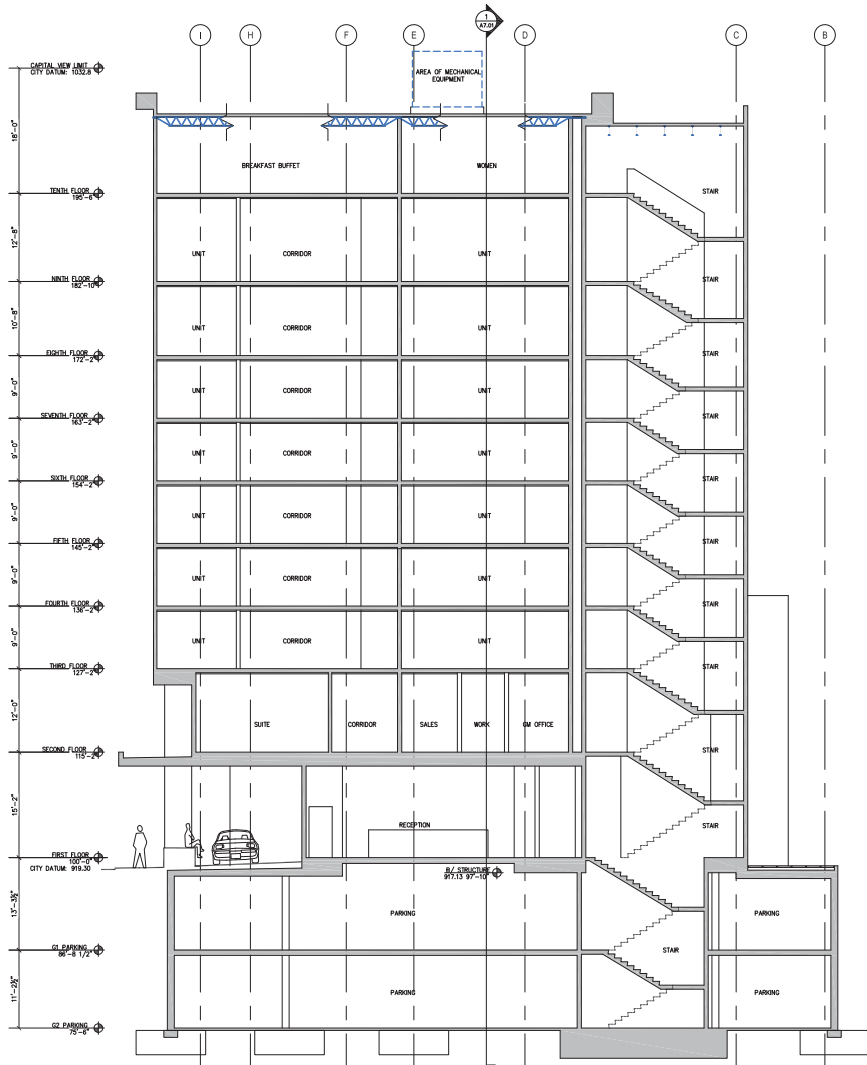
PROJECT: **AC BY MARRIOTT - DOWNTOWN MADISON**
 2014 GARY BRINK & ASSOCIATES ARCHITECTS
 7780 ELMWOOD AVENUE
 MIDDLETON, WISCONSIN
 OWNER: **202 E. WASHINGTON LLC**
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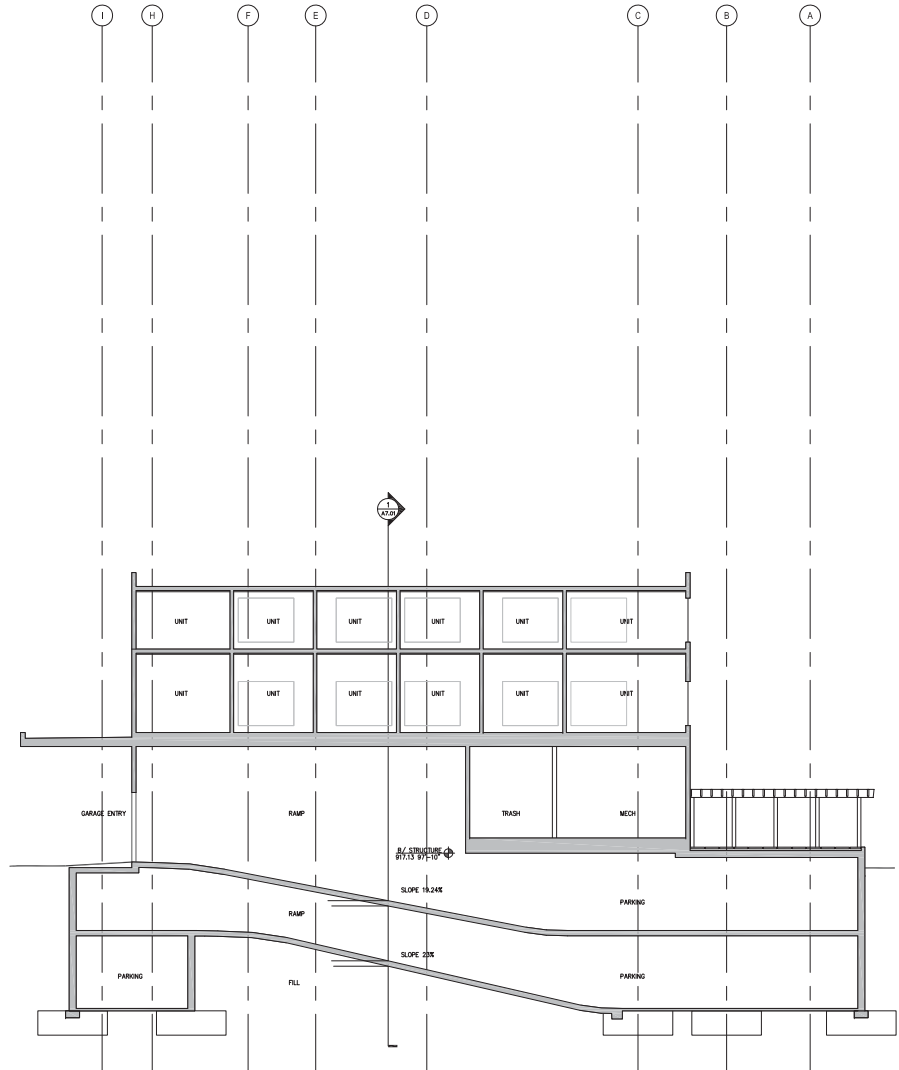
PROJECT: 201410
 DRAWN BY: AR
 DATE:
 SCALE: AS NOTED
 PLAN MEETING 12.08.2014



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MIDDLETON, WI 53562
608.824.1700
608.828.9056 (FAX)



SECTION 1
SCALE: 1/8"=1'-0"



SECTION 2
SCALE: 1/8"=1'-0"



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ARCHITECT: GARY BRINK & ASSOCIATES ARCHITECTS
MADISON, WISCONSIN
OWNER: 202 E. WASHINGTON LLC
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PLAN MEETING 12.08.2014

BUILDING SECTIONS

A7.02



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608-829-1750
608-829-3056 (FAX)



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202 E. WASHINGTON AVE
MADISON, WISCONSIN

OWNER:
202 E. WASHINGTON LLC
COO: NORTH CENTRAL GROUP
1000 ASPEN COMMONS, SUITE 200 - MADISON, WISCONSIN

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SCALE: AS NOTED

MASSING
MODEL
RENDERING
R1.01



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MADISON, WISCONSIN

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MASSING
MODEL
RENDERING
R1.02



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MIDDLETON, WI 53552
608-429-1750
608-429-3054 (FAX)



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MADISON, WISCONSIN

OWNER:
202 E. WASHINGTON LLC
CO: NORTH CENTRAL GROUP
1000 ASPEN COMMONS, SUITE 200 - MADISON, WISCONSIN

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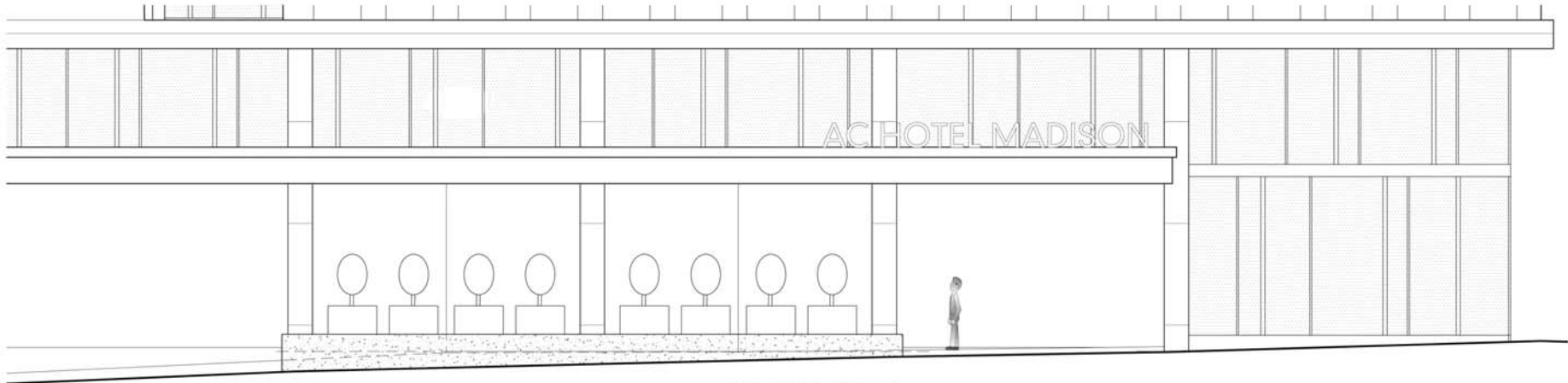
PROJECT: 201410
DRAWN BY:
DATE:
SCALE: AS NOTED

MASSING
MODEL
RENDERING
R1.03

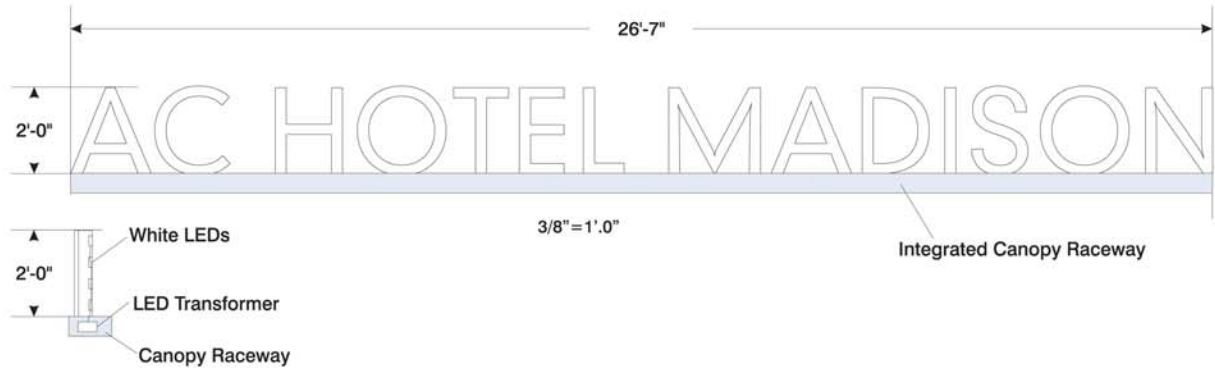
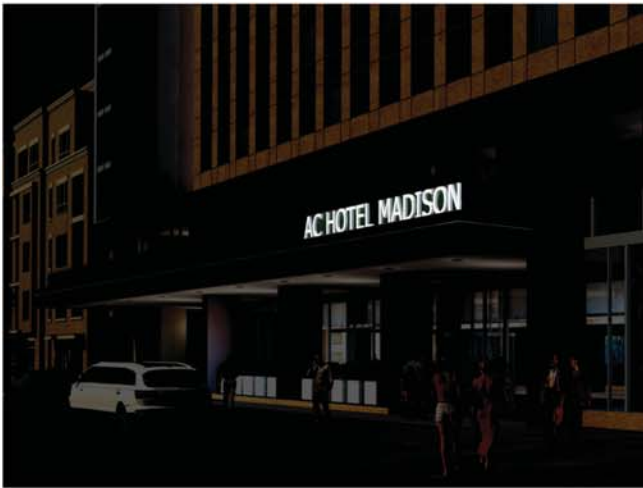


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MIDDLETON, WI 53562
608-423-1750
608-423-3056 (FAX)

1B.1 Canopy Letters - Suggested Size



1/8" = 1'.0" - South Elevation



PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE
MADISON, WISCONSIN
OWNER: 202 E. WASHINGTON LLC
COO: NORTH CENTRAL GROUP
1000 ASPEN COMMONS, SUITE 200 - MEDLETON, WISCONSIN

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PROJECT: 201410
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DATE:
SCALE: AS NOTED

Print to Scale on 11" x 17" Paper

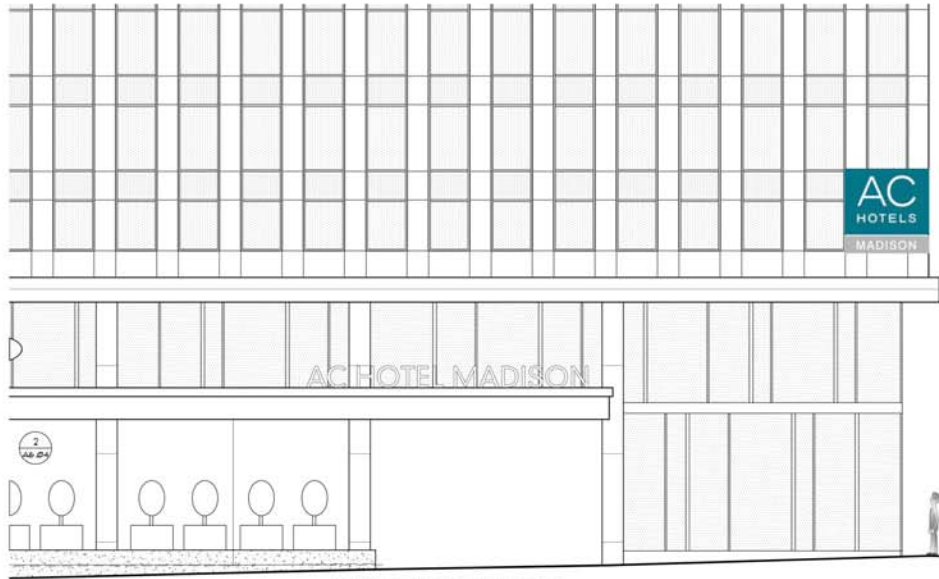
<input type="checkbox"/> White Acrylic Face Wind Load Compliance Statement: Withstand up to 75 MPH Winds	<input type="checkbox"/> Sides & Trim - T80 Illumination Compliance Statement: Internal White LEDs Meets Maximum Guidelines of City of Madison	Construction: Fabricated Aluminum Channel Letters in White Acrylic Face Mounted to Bottom Raceway Integrated into Building Facade
---	---	---

Ryan Signs, Inc. 2020 North Central Avenue, Suite 200, Middleton, WI 53562 GARY BRINK & ASSOCIATES-AC HOTELS	QUOTE: 8/12/14 APPROVED: 12/17/14 DRAWN BY: GJB	APPROVED: 12/17/14 DATE: 8/12/14 PROJECT: 201410
<small>These signs are the exclusive property of Ryan Signs, Inc. and are the result of original design work of its employees. They are submitted as one of your contracts for the sole purpose of your consideration of whether to purchase from Ryan Signs, Inc. Madison, Wisconsin's sign industry and manufacturer's liability insurance policy. Distribution or installation of these signs by anyone other than employees of Ryan Signs, Inc. or its authorized representatives is prohibited. The sign and its components are not to be used for any other purpose, and no part of this contract or agreement shall be construed to be a warranty of any kind. This contract of purchase is subject to the terms, conditions and specifications set forth herein. The sign and its components are the property of Ryan Signs, Inc. The sign and its components shall be returned to Ryan Signs, Inc. at the end of the project. The sign and its components shall be returned to Ryan Signs, Inc. at the end of the project. The sign and its components shall be returned to Ryan Signs, Inc. at the end of the project.</small>		QUOTE NUMBER: 5740A

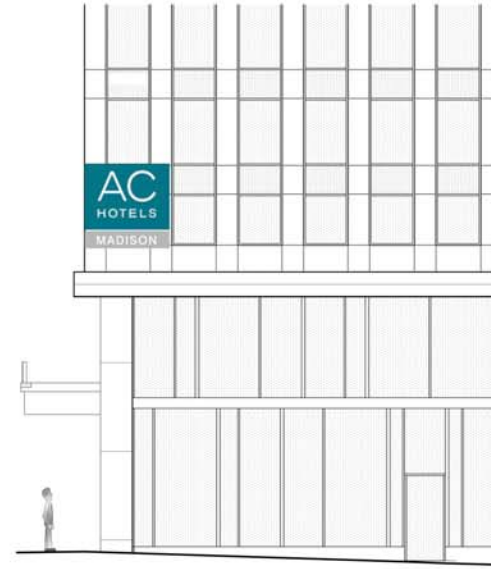


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ARCHITECTS
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MIDDLETON, WI 53562
608-429-1750
608-429-3056 (FAX)

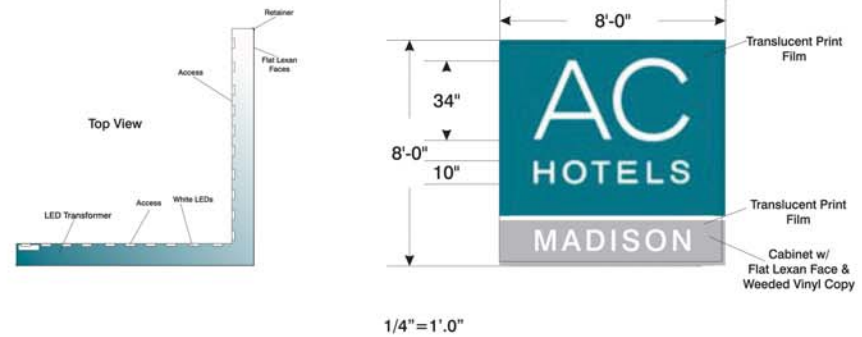
2C.3 Integrated Cabinet Sign



3/32" = 1'.0" - South Elevation



3/32" = 1'.0" - East Elevation



1/4" = 1'.0"

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON

202 E. WASHINGTON LLC
OWNER
COO: NORTH CENTRAL GROUP
1000 ASPEN COMMONS, SUITE 200 - MEDLETON, WISCONSIN

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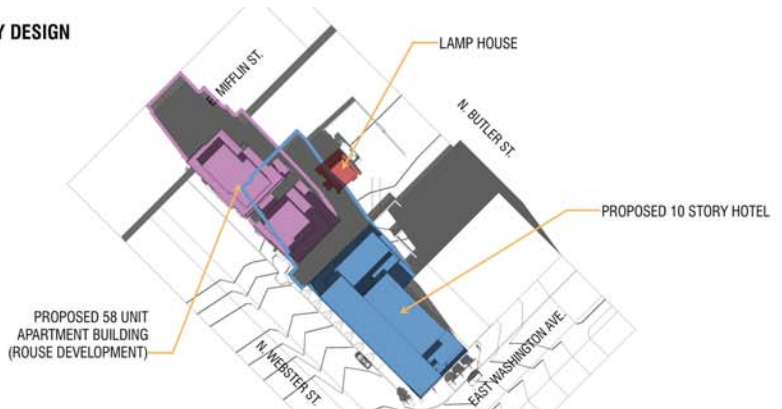
PROJECT: 201410
DRAWN BY:
DATE:
SCALE: AS NOTED

Print to Scale on 11" x 17" Paper

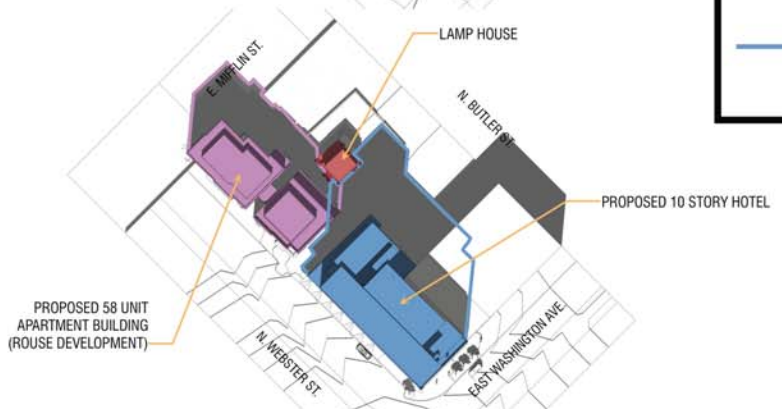
<input type="checkbox"/> White Acrylic Faces <input type="checkbox"/> Silver & Teal - TRD Wind Load Compliance Statement: Withstand up to 75 MPH winds	<input type="checkbox"/> Silks & Teal - TRD Installation Compliance Statement: Internal White LEDs Meets Manufacturer Guidelines © City of Madison	Contributions: Customer Support Customer & Vendor Issues Resolved Clear Communication On-time Delivery Excellent Customer Service	Ryan Signs, Inc. 1000 W. Wisconsin Ave., Suite 200 Madison, WI 53706 608-261-1111 www.ryan-signs.com © 2014 Ryan Signs, Inc. 5740F
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EXTERIOR
SIGN DETAILS
EX.02

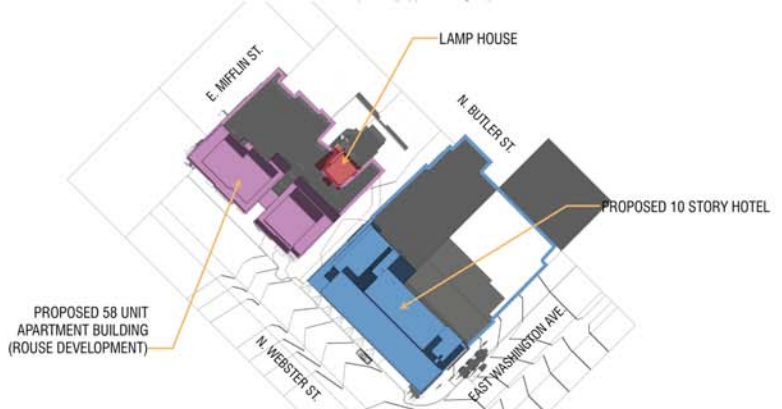
10 STORY DESIGN



EQUINOX
10:00 A.M.



EQUINOX
12:00 P.M.

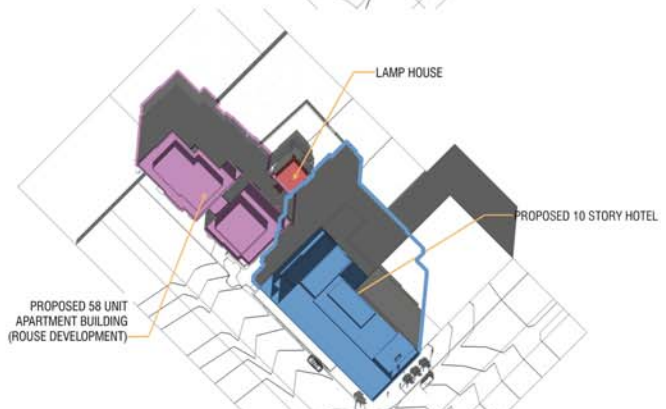
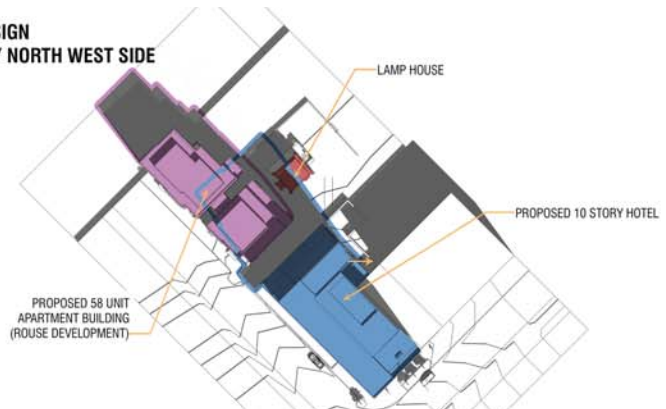


EQUINOX
2:00 P.M.

— SHADOW CAST BY APARTMENT BUILDING

— SHADOW CAST BY PROPOSED HOTEL BUILDING

10 STORY DESIGN WITH 6 STORY NORTH WEST SIDE



GARY BRINK & ASSOCIATES
ARCHITECTS
7700 ELMWOOD AVENUE
MIDDLETON, WI 53562
608-429-1750
608-429-3056 (FAX)

PROJECT: AC BY MARRIOTT - DOWNTOWN MADISON
202 E. WASHINGTON AVE
MADISON, WISCONSIN
OWNER: 202 E. WASHINGTON LLC
CO. NORTH CENTRAL GROUP
1000 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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DRAWN BY:
DATE:
SCALE: AS NOTED



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7780 ELMWOOD AVENUE
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608-425-3076 (FAX)



PROJECT: **AC BY MARRIOTT - DOWNTOWN MADISON**

202 E. WASHINGTON AVE
MADISON, WISCONSIN
OWNER:
202 E. WASHINGTON LLC
COO: NORTH CENTRAL GROUP
1800 ASPEN COMMONS, SUITE 200 - MIDDLETON, WISCONSIN

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PROJECT: 201410
DRAWN BY: MJB
DATE:
SCALE: AS NOTED

FULLY
DEVELOPED
SITE CONTEXT
EX.04