



URBAN DESIGN COMMISSION APPLICATION CITY OF MADISON

This form may also be completed online at:
<http://www.cityofmadison.com/planning/documents/UDCapplication.pdf>

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

Please complete all sections of the application, including the desired meeting date and the type of action requested.

Date Submitted: <u>December 7, 2016</u>	December 21, 2017	<input type="checkbox"/> Informational Presentation
UDC Meeting Date: <u>January 25, 2017</u>	February 8, 2017	<input checked="" type="checkbox"/> Initial Approval
Combined Schedule Plan Commission Date (if applicable): <u>February 6, 2017</u>		<input checked="" type="checkbox"/> Final Approval

1. Project Address: 715 W. Dayton Street
Project Title (if any): UW-Madison SERF Replacement

2. This is an application for (Check all that apply to this UDC application):

- New Development
- Alteration to an Existing or Previously-Approved Development

A. Project Type:

- Project in an Urban Design District* (public hearing-\$300 fee)
- Project in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) (\$150 fee, Minor Exterior Alterations)
- Suburban Employment Center (SEC) or Campus Institutional District (CI) or Employment Campus District (EC)
- Planned Development (PD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Planned Residential Complex

B. Signage:

- Comprehensive Design Review* (public hearing-\$300 fee)
- Street Graphics Variance* (public hearing-\$300 fee)
- Signage Exception(s) in an Urban Design District (public hearing-\$300 fee)

C. Other:

- Please specify: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Gary Brown Company: University of Wisconsin-Madison
 Street Address: 30 N. Mills Street City/State: Madison, Wisconsin Zip: 53715
 Telephone: (608) 263-3023 Fax: () Email: gary.brown@wisc.edu

Project Contact Person: Walter S. Johnson Company: Workshop Architects
 Street Address: 201 E. Pittsburgh Ave, Suite 301 City/State: Milwaukee, Wisconsin Zip: 53204
 Telephone: (414) 272-8822 x 103 Fax: () Email: wallyj@workshoparchitects.com

Project Owner (if not applicant) : Board of Regents, UW System
 Street Address: 1860 Van Hise Hall, 1220 Linden Drive City/State: Madison, Wisconsin Zip: 53706
 Telephone: (608) 262-2324 Fax: () Email: board@uwsa.edu

4. Applicant Declarations:

A. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Al Martin on DAT 07/7/16 & UDC Informational Presentation 11/6/16
(name of staff person) (date of meeting)

B. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of Applicant Gary Brown Relationship to Property Owner's Representative

Authorized Signature Gary Brown Date 12/7/16



LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:	
Amt. Paid _____	Receipt No. _____
Date Received _____	
Received By _____	
Parcel No. _____	
Aldermanic District _____	
Zoning District _____	
Special Requirements _____	
Review Required By:	
<input type="checkbox"/> Urban Design Commission	<input type="checkbox"/> Plan Commission
<input type="checkbox"/> Common Council	<input type="checkbox"/> Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 715 W. Dayton Street
Project Title (if any): UW-Madison SERF Replacement

2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: UDC Initial/Final Approval

3. Applicant, Agent & Property Owner Information:

Applicant Name: Gary Brown **Company:** University of Wisconsin-Madison
Street Address: 30 N. Mills Street **City/State:** Madison, Wisconsin **Zip:** 53715
Telephone: (608) 263-3023 **Fax:** () **Email:** gary.brown@wisc.edu

Project Contact Person: Walter S. Johnson **Company:** Workshop Architects
Street Address: 201 E. Pittsburgh Ave, Suite 301 **City/State:** Milwaukee, Wisconsin **Zip:** 53204
Telephone: (414) 272-8822 x 103 **Fax:** () **Email:** wallyj@workshoparchitects.com

Property Owner (if not applicant): Board of Regents, UW System
Street Address: 1860 Van Hise Hall, 1220 Linden Drive **City/State:** Madison, Wisconsin **Zip:** 53706

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Demolition of the existing 1983 SERF facility and replacement with a new facility that affords expanded programming along with a 50-meter competition pool and diving well. Small parking area/access will remain in its current location.

Development Schedule: Commencement October 2017 Completion November 2019

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

N/A **Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
District #8 Alder Wood 07-14-16; Joint Southeast Campus Area Committee 07-18-16

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Tim Parks (DAT) Date: 07-07-16 Zoning Staff: Matt Tucker Date: 05-02-16

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Gary A. Brown Relationship to Property: Owner's Representative

Authorizing Signature of Property Owner  Date 12/6/16

SOUTHEAST RECREATIONAL FACILITY REPLACEMENT

715 WEST DAYTON STREET
MADISON, WI 53715

DFD CONTRACT NUMBER: 14L2T

PLAN COMMISSION

FEBRUARY 6, 2017



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WORKSHOP



1

NARRATIVE

Project Description

The SERF Replacement project site is located on the UW-Madison campus at 715 W. Dayton Street. The goal of this project is to create a greater understanding of what fitness means and what fitness looks like as part of an expanded student-life experience. Since 1983, the SERF has served the users living in the nearby campus residence halls. The site is bordered on the north by W. Dayton Street, the south by a pedestrian corridor, the west by East Campus Mall, and on the east by the Kohl Center site. The project consists of a complete deconstruction of the existing facility.

The proposed project will construct new program space for the Division of Recreational Sports (Rec Sports) and the Division of Intercollegiate Athletics. The project will include the deconstruction of approximately 125,118 ASF / 191,254 GSF existing SERF and the construction of a 170,842 ASF / 248,275 GSF building which is a 30% expansion, or 57,021 additional gross square feet. The new SERF facility will house expanded and enhanced open recreation spaces and include a new shared division 50-meter competition pool and a separate diving well. This competition pool is intended to be the new home site of the UW-Madison Swimming and Diving program and will be designed to meet current B1G standards for competition pools. In addition to creating new opportunities for the Rec Sports and Athletics programs, an expanded pool and deck space also creates opportunities for increased community and recreational use including lap swimming, instructional programs, fitness classes, along with spectator seating for swimming and diving competitions.

Exterior site work with this project will include 'Green Street' improvements along W. Dayton Street in accordance with the 2015 UW-Madison Campus Master Plan. Additional site development also includes utility improvements (including steam, chilled water, electrical and communication distribution services/equipment) in support of the new SERF program. Lot 87 will be rebuilt with a total of 32 spaces, 10 fewer than exist today. Bike parking will increase from 147 spaces to 192 spaces. Moped parking will remain even at 38 spaces. The existing bus stop pullout will be relocated closer to Ogg Residence Hall west of East Campus Mall. Service access and loading dock facilities will generally be located in the same location as currently exists, off the northeast corner of the building.

Current Zoning

The project site is currently zoned Planned Development (PD) based on a PUD/SIP for the original building constructed in 1982 (city of Madison PUD-SIP #86, Dane County Register of Deeds No. 1729073). In 2003, the building was expanded with a westerly addition which required city approval of a major alteration. The site currently shares a cross-access relationship with the Kohl Center PD, but nothing precludes redevelopment of the site as proposed. Since the program is remaining the same as the existing facility, the project will follow the local approval schedule for a major alteration to an existing PD per city staff recommendation.

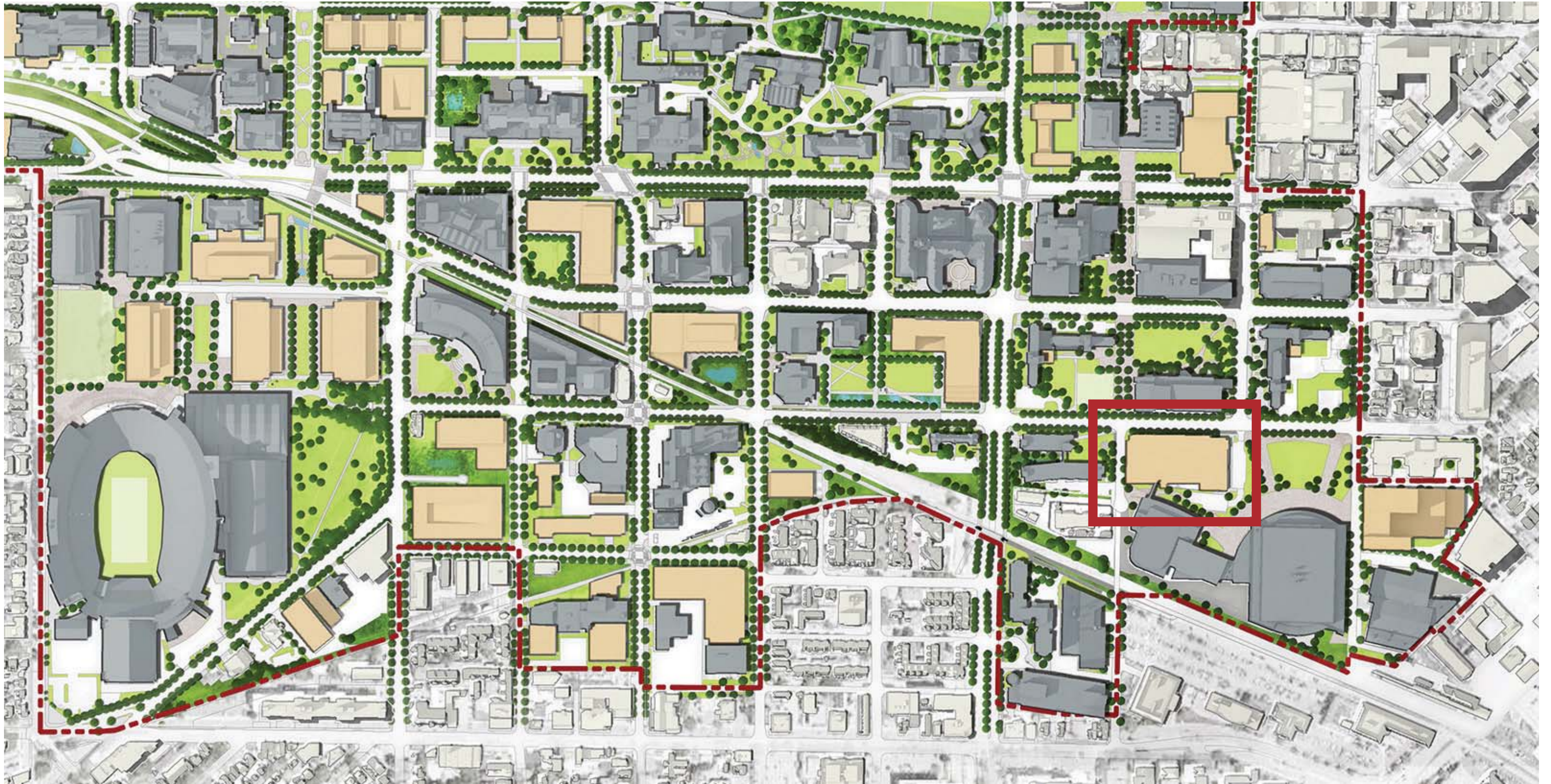
Anticipated Schedule

UW-Madison Design Review Board #1	May 17, 2016	Completed
Madison Development Assistance Team – city staff review	July 7, 2016	Completed
Notify Alder Wood (District #8) in writing	July 14, 2016	Completed
Joint Southeast Campus Area Committee-Informational	July 18, 2016	Completed
UW-Madison Design Review Board #2	October 18, 2016	Completed
UDC Informational Meeting	November 9, 2016	Completed
Submit Plan Commission application	December 7, 2016	
Joint Southeast Campus Area Committee-Recommendation	January 23, 2017	
UDC Initial/Final Meeting	January 25, 2017	
Plan Commission Approval Meeting	February 6, 2017	
Start Construction	October 2017	
Substantial Completion	October 2019	
Occupancy	January 2020	

LOCATION MAP



CONTEXT PLAN



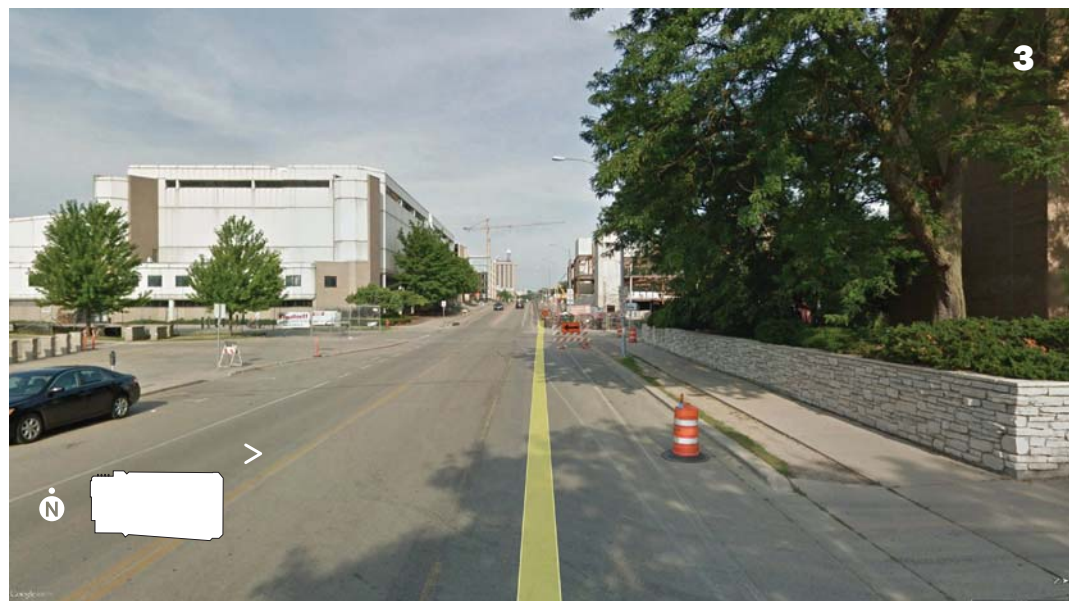
CONTEXT PHOTOS EXISTING SERF



WORKSHOP



CONTEXT PHOTOS

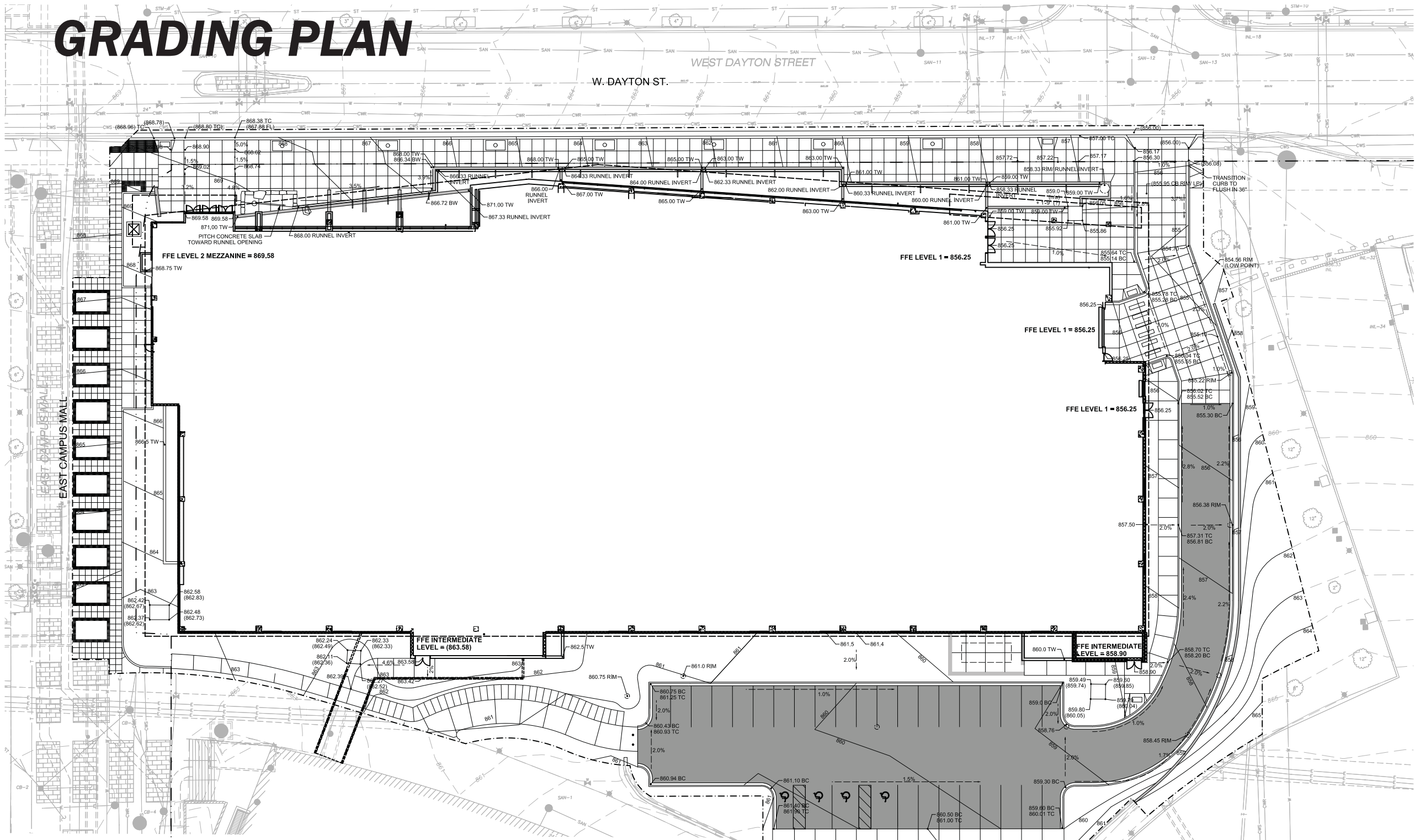


SITE CONCEPT PLAN

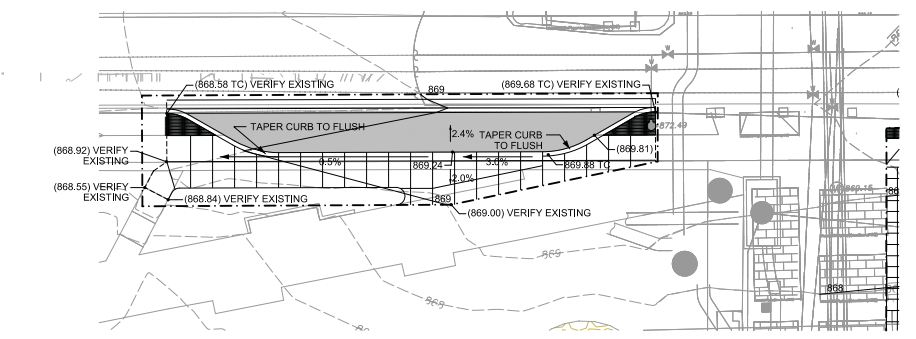


GRADING PLAN

WEST DAYTON STREET
W. DAYTON ST.



1 GRADING PLAN
1/16"=1'-0" @ FULL SIZE SHEET (30X42)
C200



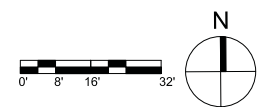
2 WEST BUS PULL-OFF GRADING PLAN
1/16"=1'-0" @ FULL SIZE SHEET (30X42)
C200

GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR STAKING SITE FOR HORIZONTAL AND VERTICAL ALIGNMENT.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING SITE ELEMENTS. CONTRACTOR SHALL CONTACT DIGGERS HOT LINE AND UW MADISON FP&M FOR UNDERGROUND UTILITY LOCATIONS.
- COORDINATES ARE BASED ON WISCONSIN COUNTY COORDINATE SYSTEM (WCSS), DANE COUNTY.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FT. FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FT. OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FT. OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (296-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.

LEGEND

TC	TOP OF CURB
BC	BOTTOM OF CURB
FL	FLOW LINE
()	VERIFY & MATCH EXISTING ELEVATION
TW	TOP OF WALL
BW	BOTTOM OF WALL
FFE	FINISH FLOOR ELEVATION
HP	HIGH POINT
(862)	EXISTING CONTOUR
-862-	NEW CONTOUR
BM	BENCHMARK
→	FLOW DIRECTION
- - -	RIGHT OF WAY LINE



Heidmuth, Obata + Kassabaum, Inc.
300 West 22nd Street
Kansas City, MO 64108 USA
+1 816 472 3360 +1 816 472 2100

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CONSTRUCTION**

State of Wisconsin
Department of Administration
Division of State Facilities



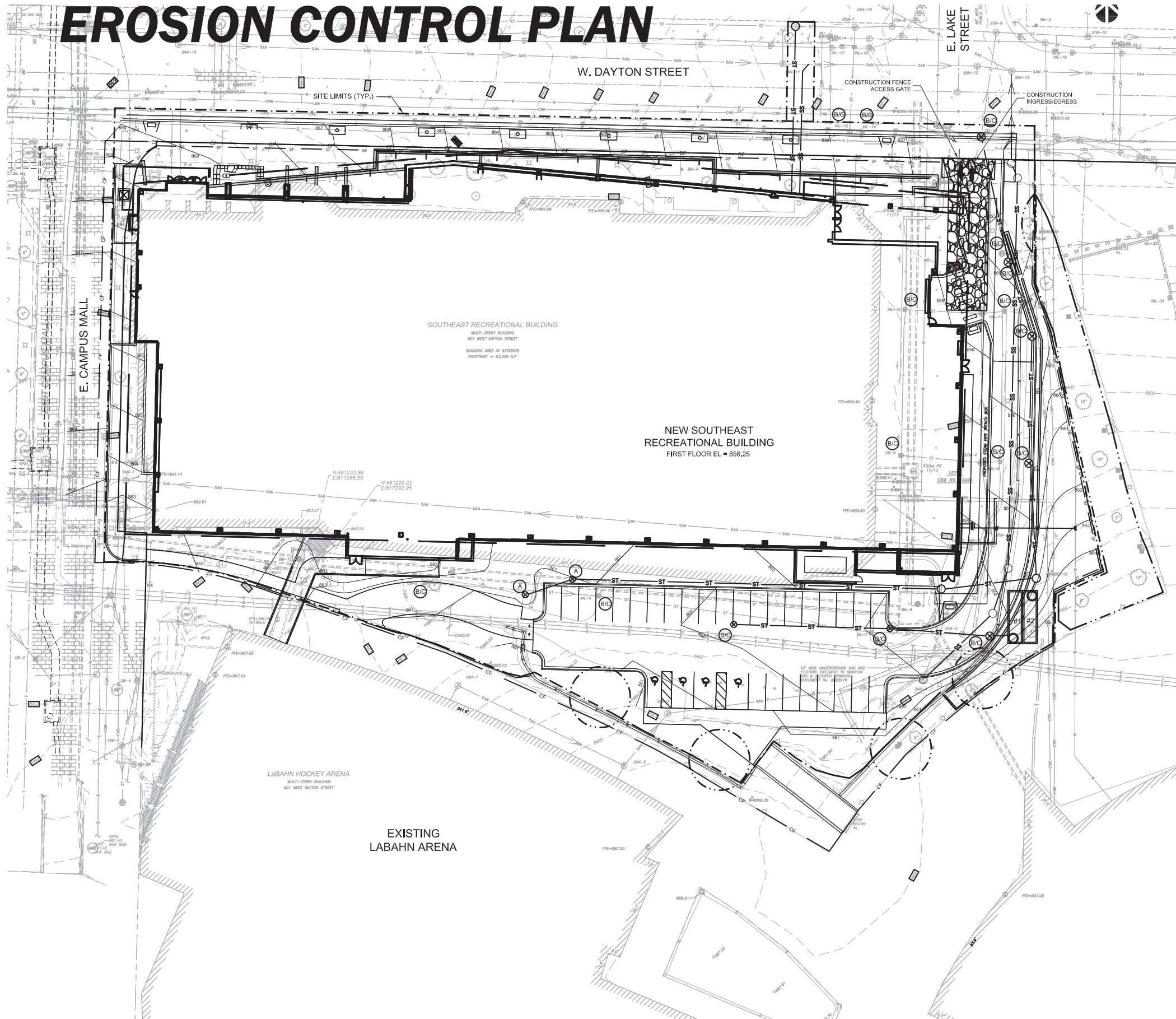
UNIVERSITY OF WISCONSIN - MADISON

Project Title:
**SOUTHEAST RECREATIONAL
FACILITY REPLACEMENT**
Project Location:
**715 W DAYTON STREET
MADISON, WI 53715**
Sheet Title:
GRADING PLAN

Revisions:			
No.	Date	By	Description

Scale	As Indicated
Graphic Scale	As Indicated
DSF Number	14L2T
Set Type	City Submittal
Date Issued	12.07.2016
Sheet Number	C200

EROSION CONTROL PLAN



GENERAL DESCRIPTION OF SITE WORK:

- DEMOLITION OF EXISTING BUILDING AND SITE PAVEMENT
- CONSTRUCTION OF PROPOSED BUILDING, SITE PAVEMENT AND SITE UTILITIES
- SITE GRADING RESTORATION
- STORMWATER MANAGEMENT COLLECTION AND TREATMENT TO ADDRESS CITY OF MADISON REQUIREMENTS FOR TOTAL SUSPENDED SOLIDS (TSS) REMOVAL FOR REDEVELOPMENT PROJECTS
- LANDSCAPING IMPROVEMENTS AROUND PROPOSED BUILDING

CODE REQUIREMENTS FOR EROSION CONTROL AND STORMWATER MANAGEMENT:

- SITE DISTURBANCE IS GREATER THAN 1 ACRE AND THEREFORE THE POST CONSTRUCTION PERFORMANCE STANDARDS AND REPORTING REQUIREMENTS OF WISCONSIN ADMINISTRATIVE CODE CHAPTER NR 151 APPLY TO THIS PROJECT.
- THE PROJECT IS SUBJECT TO CITY OF MADISON CODE REQUIREMENTS FOR REDEVELOPMENT PROJECTS OF OVER 4000 SQUARE FEET. IN SUMMARY, TYPICAL CONSTRUCTION PHASE EROSION CONTROL MEASURES NEED TO BE INSTALLED AND MAINTAINED TO REMOVE SEDIMENT RUNOFF DURING CONSTRUCTION AND A POST CONSTRUCTION STORMWATER COLLECTION AND TREATMENT APPROACH NEEDS TO BE IN PLACE TO REMOVE 60% OF THE TSS FROM PAVEMENTS SUBJECT TO VEHICULAR TRAVEL. THE CONTRACT DOCUMENTS HAVE BEEN PREPARED IN ADDRESS OF THESE REQUIREMENTS.

CONSTRUCTION SITE EROSION CONTROL NOTES:

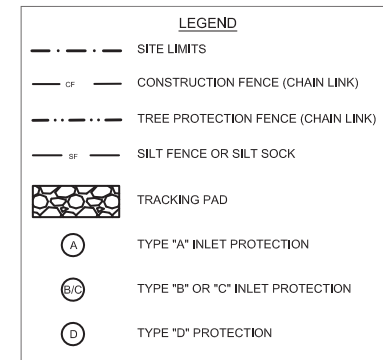
1. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, CAMPUS INSPECTORS, AND/OR THE A/E SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
2. ALL MEASURES INDICATED ON THE PLANS SHALL BE CONSIDERED MINIMUMS.
3. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DNR CONSTRUCTION SITE EROSION & SEDIMENT CONTROL TECHNICAL STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
4. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON THE PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
5. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL SHALL BE ROUTINE (ONCE PER WEEK AND AFTER EACH 1/2 INCH RAINFALL) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
6. CONTRACTOR SHALL KEEP RECORDS ON SITE OF ALL EROSION CONTROL INSPECTIONS AND AVAILABLE FOR REVIEW BY INSPECTORS WHEN REQUESTED.
7. INSTALL EROSION CONTROLS ON DOWNSTREAM SIDE OF STOCKPILES.
8. ALL SLOPES EXCEEDING 4:1 SHALL BE STABILIZED WITH CLASS 1, TYPE B EROSION MATTING AND ALL DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING.
9. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 3:1.
10. INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
11. ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN SEVEN (7) DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION METHODS SUCH AS TEMPORARY SEEDING, SOIL TREATMENT, EROSION MATTING, OR MULCH.
12. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH THE LOCAL AND STATE REGULATIONS.
13. CONTRACTOR SHALL REMOVE EROSION CONTROL MEASURES AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
14. CONTRACTOR SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION IN ACCORDANCE WITH WDNR AND WCOMM REQUIREMENTS.
15. SILT FENCING SHALL NOT BE INSTALLED WITHIN THE CRITICAL ROOT RADIUS OR WITHIN THE DRIP LINE OF ANY TREES OR SHRUBS TO BE PROTECTED. USE SILT SOCKS WHICH DO NOT REQUIRE EXCAVATION AND CUTTING ROOTS.
16. SILT FENCE MAY BE SUBSTITUTED WITH SILT SOCK.
17. INSTALL ADDITIONAL TRACKING PADS AT ALL POINTS OF CONSTRUCTION TRAFFIC EGRESS.
18. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS, CITY OF MADISON ORDINANCE REQUIREMENTS, AND UNIVERSITY OF WISCONSIN-MADISON TECHNICAL GUIDELINES.
19. ANY DEWATERING FLOWS SHALL BE TREATED VIA A PORTABLE SEDIMENT VESSEL OR FILTER BAG PRIOR TO DISCHARGE TO THE STORM SEWER.
20. CONTRACTOR SHALL REMOVE SEDIMENT FROM STORM FACILITIES AFTER COMPLETION OF ALL SITE CONSTRUCTION AND PRIOR TO SUBSTANTIAL COMPLETION.
21. SEE SHEET C111 FOR EROSION CONTROL DETAILS.

GRADING AND TEMPORARY SEEDING NOTES:

1. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES.
2. THE MINIMUM SEEDING RATE FOR TEMPORARY SEEDING IN TURF AREAS IS 5 POUNDS GRASS SEED MIX PER 1000 SQUARE FEET USED AND COMBINED WITH ANNUAL RYEGRASS AT A RATE OF 1 1/2 POUNDS PER 1000 SQUARE FEET, UNLESS OTHERWISE SPECIFIED.
3. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMPLETION.
4. CONTRACTOR SHALL WATER ALL NEWLY SEEDING AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LARSE WITH NO SIGNIFICANT RAINFALL.
5. ALL DISTURBED AREAS TO BE SEEDING SHALL RECEIVE A MINIMUM OF 12 INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH.

CONSTRUCTION FENCING SITE ACCESS NOTES:

1. CONSTRUCTION FENCE AND SILT FENCE SHALL BE MOVED/RECONFIGURED AS NEEDED DURING CONSTRUCTION TO ACCOMMODATE WORK AREAS.



Consultant:



15011 W. Research Drive • Madison, WI 53726
Phone: (608) 773-3300 • Fax: (608) 773-4400

NOT FOR CONSTRUCTION

State of Wisconsin
Department of Administration
Division of Facilities Development



801 W. DAYTON STREET, MADISON, WI 53715

Southeast Recreational Facility
Replacement

University of Wisconsin
Madison, Wisconsin

Sheet Title:
EROSION CONTROL PLAN

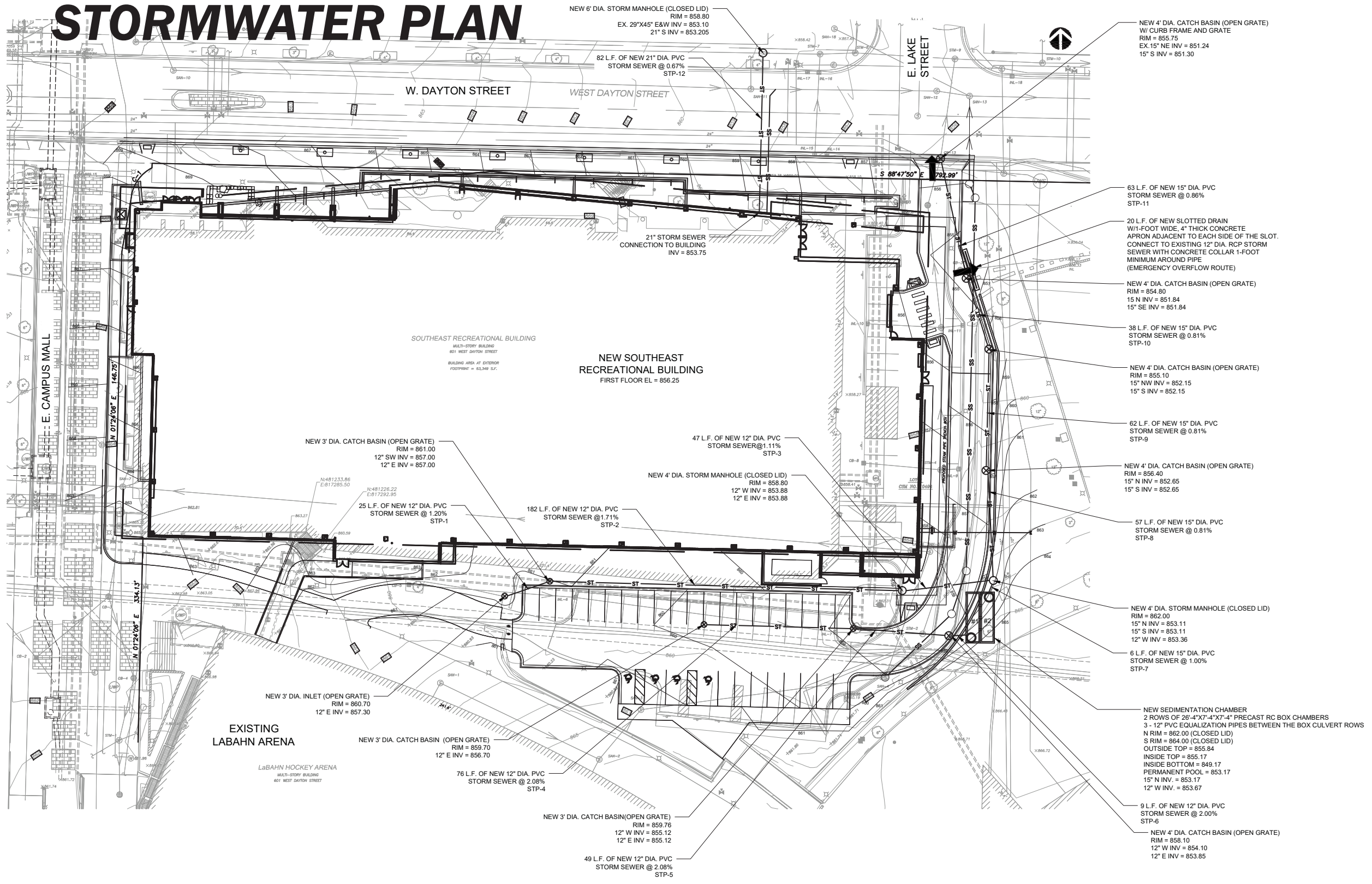
Revisions

No.	Date:	Description:

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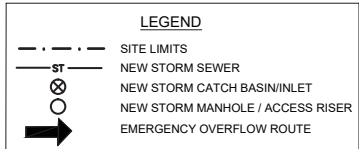
DFD Number	14L2T
Set Type	XX
Date Issued	11/28/2016
Sheet Number	C110

STORMWATER PLAN



- NOTES:
1. MAINTAIN CODE REQUIRED SEPARATION BETWEEN SEWER AND WATER FACILITIES.
 2. PIPE LENGTHS ARE TO CENTER OF THE STRUCTURE, UNLESS OTHERWISE NOTED.
 3. SEWER INSTALLATION SHALL PROCEED FROM DOWNSTREAM TO UPSTREAM.
 4. CONTRACTOR SHALL ADJUST ALL EXISTING AND NEW UTILITY CASTINGS, MANHOLES, CLEANOUTS AND ACCESS BOXES TO PROPOSED GRADING.
 5. CONNECT SANITARY BUILDING SEWER, STORM SEWER AND WATER SERVICE TO CITY OF MADISON OWNED MAINS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND PERMIT REQUIREMENTS OF THE CITY.
 6. MAINTAIN PROPER DRAINAGE AT ALL TIMES DURING CONSTRUCTION.

PIPE NO.	TRIB. AREA	DIA.	LENGTH	SLOPE	TRIBUTARY NOTES
STP-1	0.240 AC	12"	25'	0.012	SOUTHWEST CORNER OF SITE
STP-2	0.310 AC	12"	182'	0.017	WEST SIDE OF BUILDING
STP-3	0.310 AC	12"	47'	0.011	
STP-4	0.130 AC	12"	76'	0.021	WEST SIDE OF PARKING LOT
STP-5	0.280 AC	12"	49'	0.021	EAST SIDE OF PARKING LOT
STP-6	0.940 AC	12"	9'	0.020	SOUTHEAST CORNER OF SITE + LABAHN PATIO
STP-7	0.940 AC	15"	6'	0.010	
STP-8	1.250 AC	15"	57'	0.008	
STP-9	1.340 AC	15"	62'	0.008	
STP-10	1.400 AC	15"	38'	0.008	
STP-11	1.440 AC	15"	63'	0.009	
STP-12	1.190 AC	21"	82'	0.007	SERF ROOFTOP

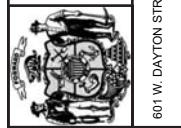


Consultant:

BLOOM COMPANIES, LLC
 Infrastructure, Innovation and Integrity
 10201 W. National Drive • Milwaukee, WI 53228
 Phone: (414) 771-3390 Fax: (414) 771-4490

NOT FOR CONSTRUCTION

State of Wisconsin
 Department of Administration
 Division of Facilities Development



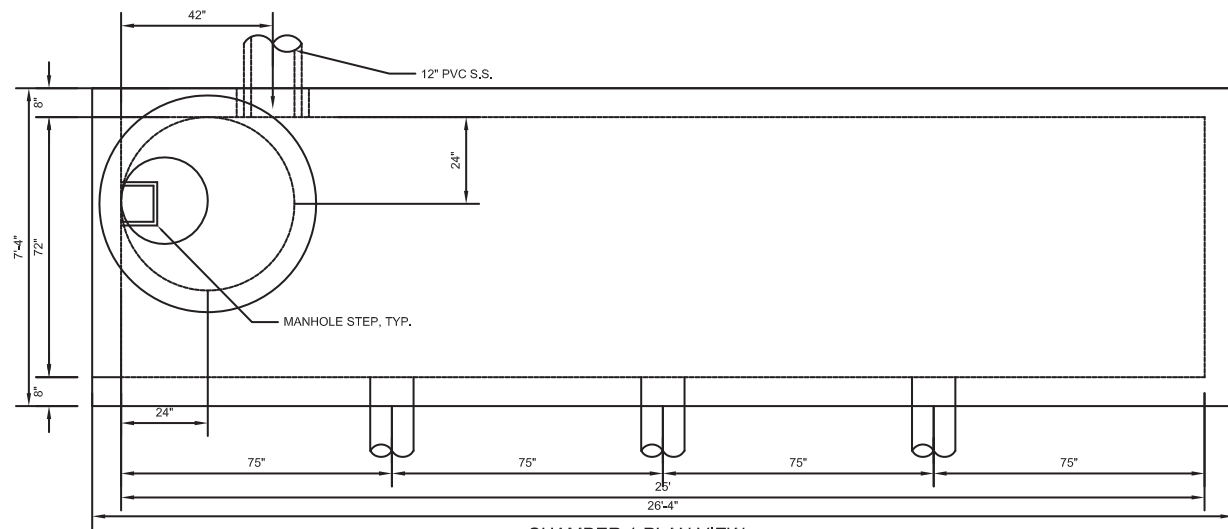
Southeast Recreational Facility
 Replacement
 University of Wisconsin
 Madison, Wisconsin
 Sheet Title:
STORMWATER PLAN

Revisions

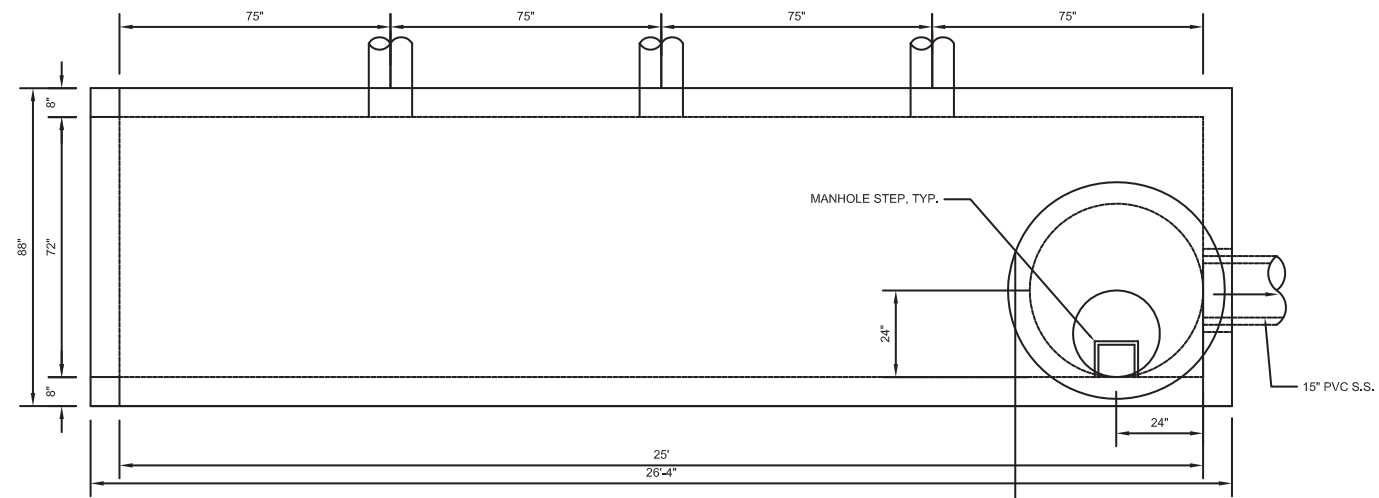
No.	Date:	Description:

Graphic Scale: 0' 5' 10' 20' 30'
 DFD Number: 14L2T
 Set Type: XX
 Date Issued: 11/28/2016
 Sheet Number: **C310**

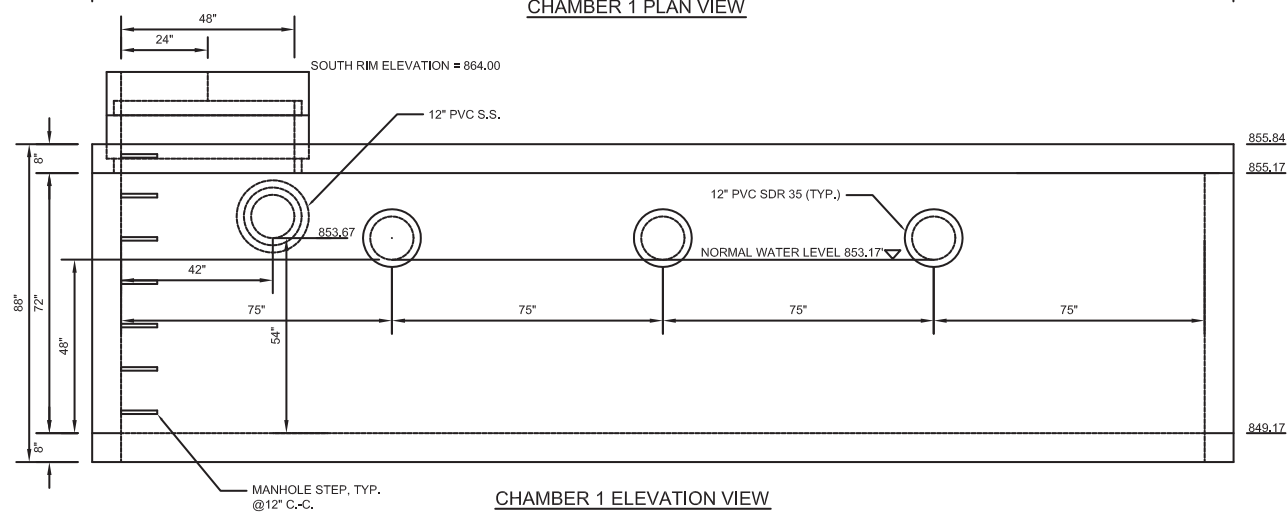
SEDIMENTATION CHAMBER DETAIL



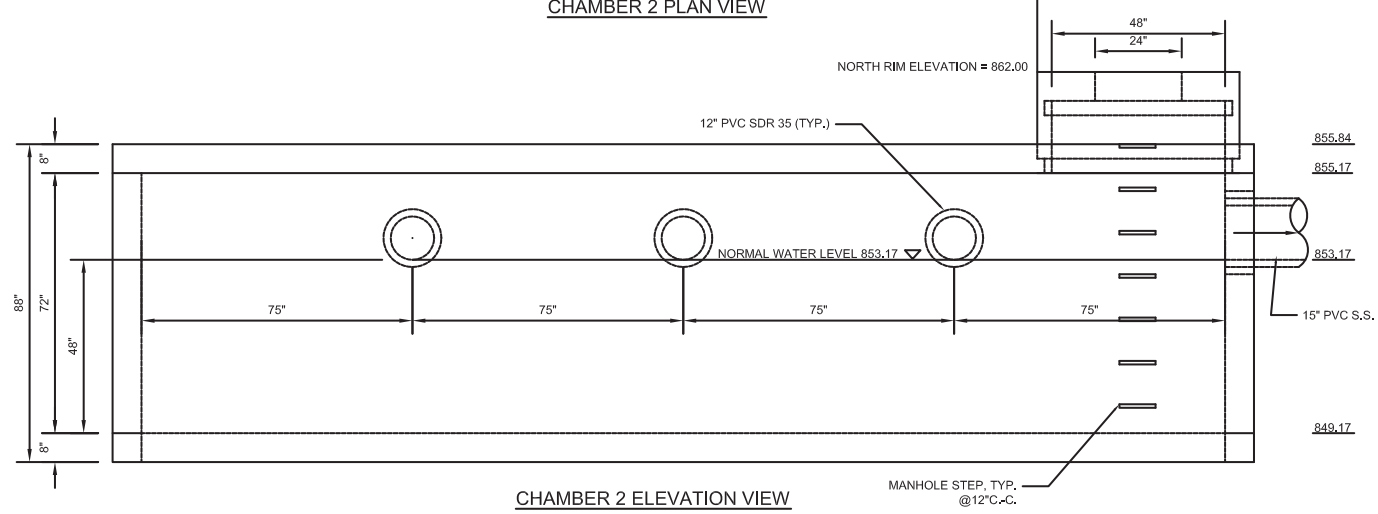
CHAMBER 1 PLAN VIEW



CHAMBER 2 PLAN VIEW



CHAMBER 1 ELEVATION VIEW

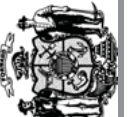


CHAMBER 2 ELEVATION VIEW

Consultant:

BLOOM COMPANIES, LLC
 Infrastructure, Innovation and Integrity
 1001 W. Riverfront Drive • Milwaukee, WI 53228
 Phone: (414) 771-0300 Fax: (414) 771-4400

NOT FOR CONSTRUCTION

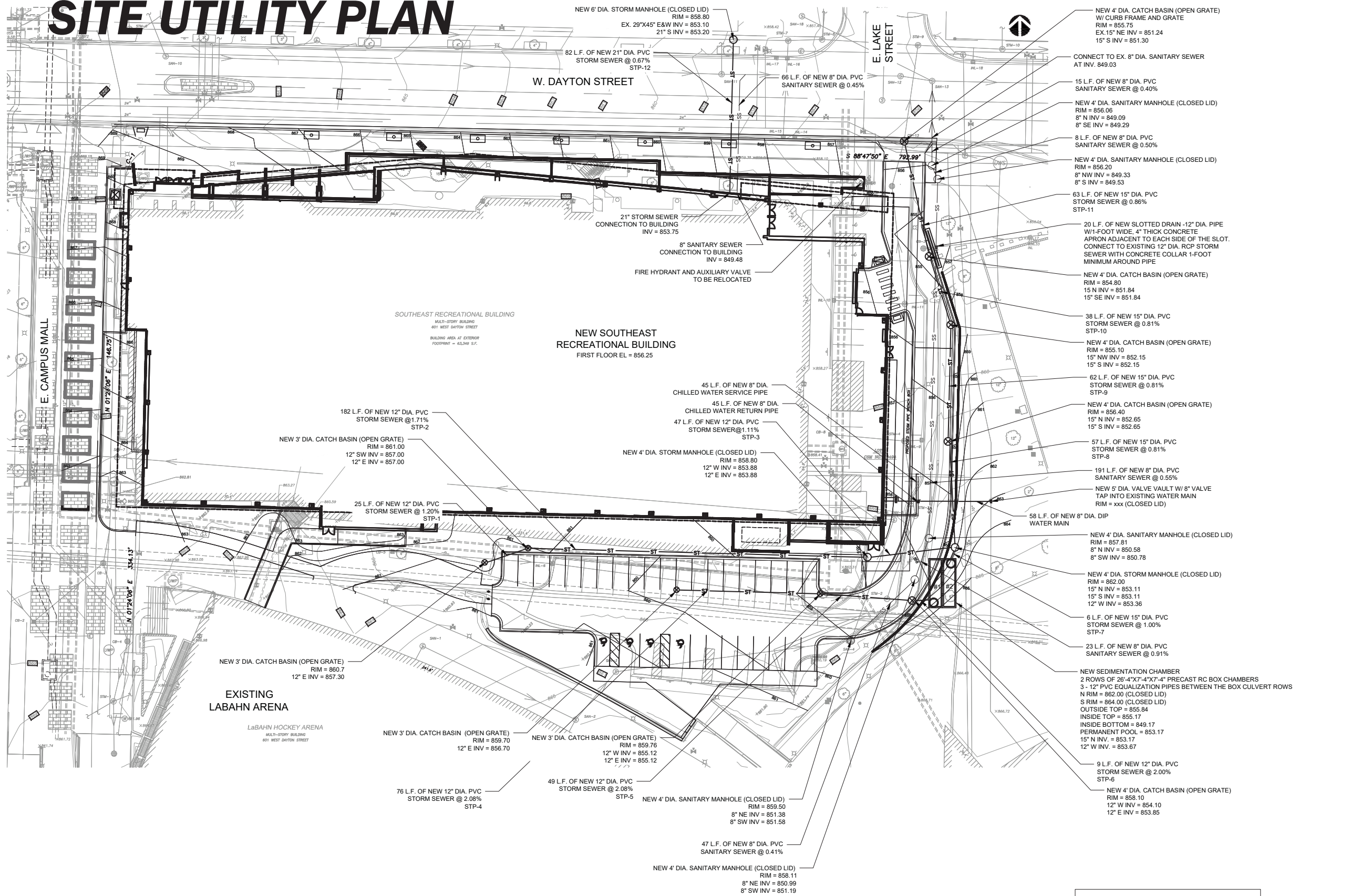
State of Wisconsin
 Department of Administration
 Division of Facilities Development

 601 W. DAYTON STREET, MADISON, WI 53715

Southeast Recreational Facility
 Replacement
 University of Wisconsin
 Madison, Wisconsin
 Sheet Title:
SITE UTILITY DETAILS

Revisions		
No.	Date	Description

Graphic Scale	
DFD Number	14L2T
Set Type	XX
Date Issued	11/28/2016
Sheet Number	C311

SITE UTILITY PLAN



- NOTES:**
1. MAINTAIN CODE REQUIRED SEPARATION BETWEEN SEWER AND WATER FACILITIES.
 2. PIPE LENGTHS ARE TO CENTER OF THE STRUCTURE, UNLESS OTHERWISE NOTED.
 3. SEWER INSTALLATION SHALL PROCEED FROM DOWNSTREAM TO UPSTREAM.
 4. CONTRACTOR SHALL ADJUST ALL EXISTING AND NEW UTILITY CASTINGS, MANHOLES, CLEANOUTS AND ACCESS BOXES TO PROPOSED GRADING.
 5. CONNECT SANITARY BUILDING SEWER, STORM SEWER AND WATER SERVICE TO CITY OF MADISON OWNED MAINS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND PERMIT REQUIREMENTS OF THE CITY.
 6. MAINTAIN PROPER DRAINAGE AT ALL TIMES DURING CONSTRUCTION.

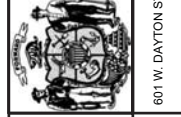
LEGEND	
---	SITE LIMITS
SS	NEW SANITARY SEWER
ST	NEW STORM SEWER
⊗	NEW STORM CATCH BASIN/INLET
○	NEW STORM MANHOLE / ACCESS RISER
G	NEW GAS SERVICE
W	NEW WATER SERVICE
⊕	NEW WATER VALVE / VALVE BOX

Consultant:

BLOOM COMPANIES, LLC
Infrastructure Development and Engineering
 19001 W. Research Drive • Milwaukee, WI 53228
 Phone: (414) 374-2390 Fax: (414) 374-4050

NOT FOR CONSTRUCTION

State of Wisconsin
 Department of Administration
 Division of Facilities Development



Southeast Recreational Facility
 Replacement
 University of Wisconsin
 Madison, Wisconsin
 Sheet Title:
SITE UTILITY PLAN

Revisions		
No.	Date	Description

Graphic Scale	0' 5' 10' 20' 30'
DFD Number	14L2T
Set Type	XX
Date Issued	11/28/2016
Sheet Number	C300

601 W. DAYTON STREET, MADISON, WI 53715

LANDSCAPE PLAN

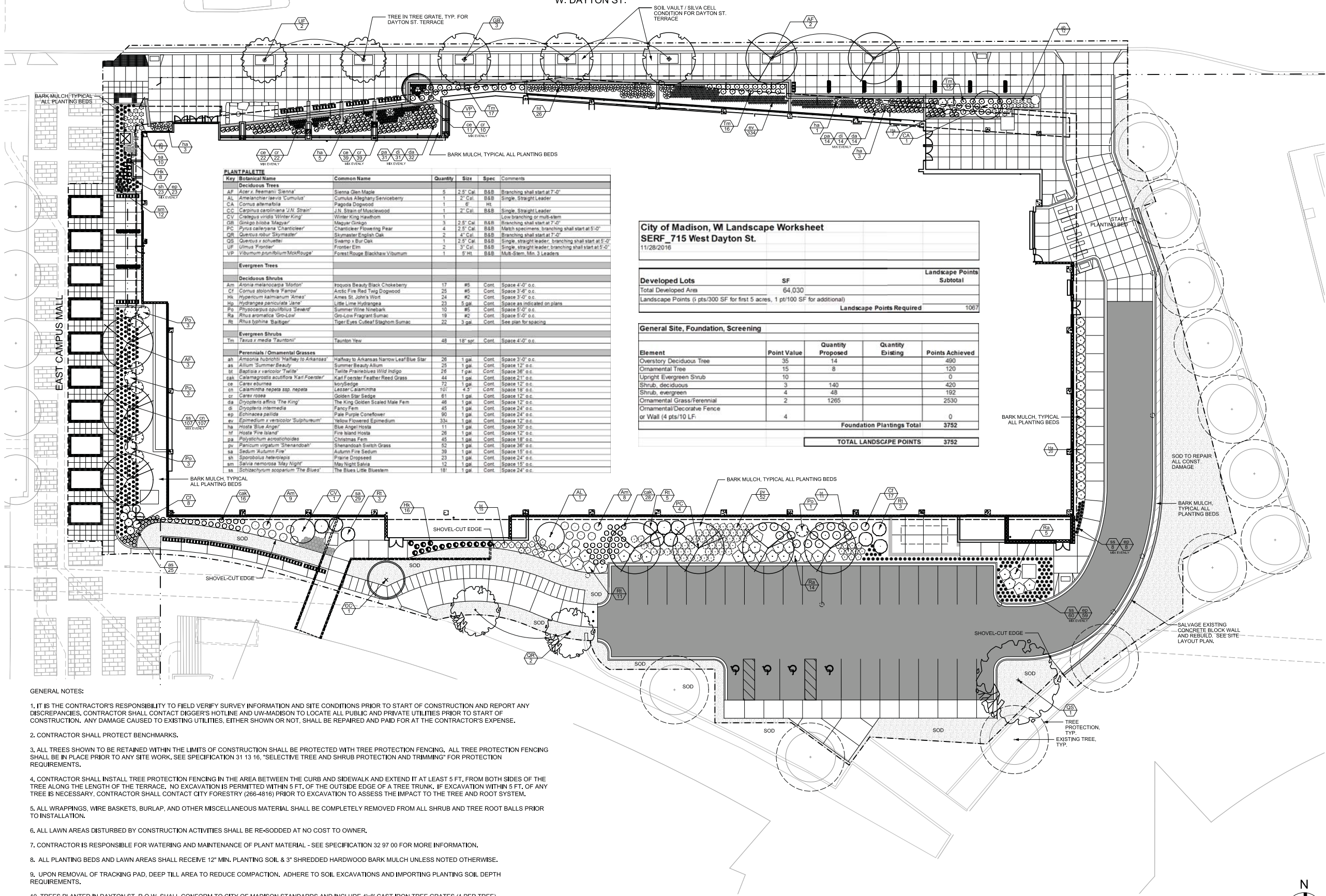


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W. DAYTON ST.

SOIL VAULT / SILVA CELL
CONDITION FOR DAYTON ST.
TERRACE.

TREE IN TREE GRATE, TYP. FOR
DAYTON ST. TERRACE.



Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments
PLANT PALETTE						
Deciduous Trees						
AF	Acer x freemanii 'Sienna'	Sienna Glen Maple	5	2.5' Cal	B&B	Branching shall start at 7'-0"
AL	Amelanchier laevis 'Cumulus'	Cumulus Allegheny Spiceberry	1	2' Cal	B&B	Single, Straight Leader
CA	Cornus alternifolia	Pagoda Dogwood	1	2' Cal	B&B	Single, Straight Leader
CC	Carpinus caroliniana 'J.N. Strain'	J.N. Strain of Hophornbeam	1	2' Cal	B&B	Single, Straight Leader
CV	Crataegus viridis 'Winter King'	Winter King Hawthorn	1			Low branching or multi-stem
GR	Girgiso biloba 'Magyar'	Magyar Girgiso	3	2.5' Cal	B&B	Branching shall start at 7'-0"
PC	Pinus calycarpa 'Chanticleer'	Chanticleer Pinyon Pine	4	2.5' Cal	B&B	Match specimens, branching shall start at 5'-0"
QR	Quercus robur 'Skymaster'	Skymaster English Oak	2	4' Cal	B&B	Branching shall start at 7'-0"
OS	Quercus x schubertii	Swamp x Bur Oak	1	2.5' Cal	B&B	Single, straight leader, branching shall start at 5'-0"
UF	Ulmus 'Frontier'	Frontier Elm	2	3' Cal	B&B	Single, straight leader, branching shall start at 5'-0"
VP	Viburnum prunifolium 'Mok'Rouge'	Forest Rouge Blackhaw Viburnum	1	5' Ht.	B&B	Multi-Stem, Min. 3 Leaders
Evergreen Trees						
Deciduous Shrubs						
Am	Amelanchier laevis 'Morton'	Knockout Beauty Black Chokeberry	17	#5	Cont.	Space 4'-0" o.c.
CT	Cornus alternifolia 'Flamingo'	Amigo Fire Red Twig Dogwood	29	#5	Cont.	Space 3'-0" o.c.
Hy	Hydrangea paniculata 'Ames'	Ames St. John's Wort	24	#2	Cont.	Space 3'-0" o.c.
Hy	Hydrangea paniculata 'Jane'	Little Lime Hydrangea	23	5 gal	Cont.	Space as indicated on plans
Ph	Physocarpus opulifolius 'Seward'	Summer Wine Ninebark	10	#5	Cont.	Space 5'-0" o.c.
Ra	Rhus aromatica 'Sicola'	On-Low Fragrant Sumac	19	#2	Cont.	Space 5'-0" o.c.
Ri	Rhus typhina 'Bailiger'	Tiger Eyes Cudbear Staghorn Sumac	22	3 gal	Cont.	See plan for spacing
Evergreen Shrubs						
Tm	Taxus x media 'taurionii'	Taurionii Yew	48	18" spr	Cont.	Space 4'-0" o.c.
Perennials / Ornamental Grasses						
ah	Amorpha subnana 'Halfway to Arkansas'	Halfway to Arkansas Narrow Leaf Blue Star	28	1 gal	Cont.	Space 3'-0" o.c.
as	Allium 'Summer Beauty'	Summer Beauty Allium	25	1 gal	Cont.	Space 12" o.c.
bt	Baccharis x varicolor 'Turite'	Turite Prairieblues Wild Indigo	26	1 gal	Cont.	Space 36" o.c.
ca	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	44	1 gal	Cont.	Space 21" o.c.
ce	Carex elvinaea	Norridge	72	1 gal	Cont.	Space 12" o.c.
en	Calamintha nepeta ssp. nepeta	Lesser Calamintha	107	4.5	Cont.	Space 18" o.c.
er	Carex rostrata	Golden Star Sedge	61	1 gal	Cont.	Space 12" o.c.
fi	Dryopteris affinis 'The King'	The King Golden Scaled Male Fern	48	1 gal	Cont.	Space 12" o.c.
fo	Dryopteris intermedia	Fancy Fern	45	1 gal	Cont.	Space 24" o.c.
ep	Echinacea pallida	Pale Purple Coneflower	90	1 gal	Cont.	Space 24" o.c.
ew	Epimedium x varicolor 'Sulphureum'	Yellow Flowered Epimedium	334	1 gal	Cont.	Space 12" o.c.
ha	Hosta 'Blue Angel'	Blue Angel Hosta	11	1 gal	Cont.	Space 30" o.c.
hi	Hosta 'Fire Island'	Fire Island Hosta	26	1 gal	Cont.	Space 12" o.c.
ja	Polystichum acrostichoides	Christmas Fern	45	1 gal	Cont.	Space 18" o.c.
pe	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	52	1 gal	Cont.	Space 36" o.c.
sa	Sedum 'Autumn Fire'	Autumn Fire Sedum	39	1 gal	Cont.	Space 15" o.c.
sh	Sporobolus heterolepis	Prairie Dropseed	23	1 gal	Cont.	Space 24" o.c.
sm	Salvia nemorosa 'May Night'	May Night Salvia	12	1 gal	Cont.	Space 15" o.c.
ss	Schoenochloa scoparium 'The Blues'	The Blues Little Bluestem	18	1 gal	Cont.	Space 24" o.c.

City of Madison, WI Landscape Worksheet
SERF_715 West Dayton St.
11/28/2016

Developed Lots	SF	Landscape Points Subtotal
Total Developed Area	64,030	
Landscape Points (1 pts/300 SF for first 5 acres, 1 pt/100 SF for additional)		1067
Landscape Points Required		1067

Element	Point Value	Quantity Proposed	Quantity Existing	Points Achieved
Overstory Deciduous Tree	35	14		490
Ornamental Tree	15	8		120
Upright Evergreen Shrub	10			0
Shrub, deciduous	3	140		420
Shrub, evergreen	4	48		192
Ornamental Grass/Perennial	2	1265		2530
Ornamental/Decorative Fence or Wall (4 pts/10 LF)	4			0
Foundation Plantings Total				3752
TOTAL LANDSCAPE POINTS				3752

- GENERAL NOTES:**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE AND UW-MADISON TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL PROTECT BENCHMARKS.
 - ALL TREES SHOWN TO BE RETAINED WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED WITH TREE PROTECTION FENCING. ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO ANY SITE WORK. SEE SPECIFICATION 31 13 16, "SELECTIVE TREE AND SHRUB PROTECTION AND TRIMMING" FOR PROTECTION REQUIREMENTS.
 - CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FT. FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FT. OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FT. OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM.
 - ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
 - ALL LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RE-SODDED AT NO COST TO OWNER.
 - CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATION 32 97 00 FOR MORE INFORMATION.
 - ALL PLANTING BEDS AND LAWN AREAS SHALL RECEIVE 12" MIN. PLANTING SOIL & 3" SHREDDED HARDWOOD BARK MULCH UNLESS NOTED OTHERWISE.
 - UPON REMOVAL OF TRACKING PAD, DEEP TILL AREA TO REDUCE COMPACTION. ADHERE TO SOIL EXCAVATIONS AND IMPORTING PLANTING SOIL DEPTH REQUIREMENTS.
 - TREES PLANTED IN DAYTON ST. R.O.W. SHALL CONFORM TO CITY OF MADISON STANDARDS AND INCLUDE 4"x8" CAST IRON TREE GRATES (1 PER TREE).

NOT FOR CONSTRUCTION

State of Wisconsin
Department of Administration
Division of State Facilities

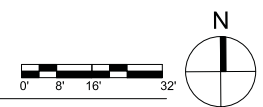


UNIVERSITY OF WISCONSIN - MADISON

SOUTHEAST RECREATIONAL FACILITY REPLACEMENT
Project Location:
715 W DAYTON STREET
MADISON, WI 53715
Sheet Title:
LANDSCAPE PLAN

No.	Date	By	Description
1	12/07/16		City Issue

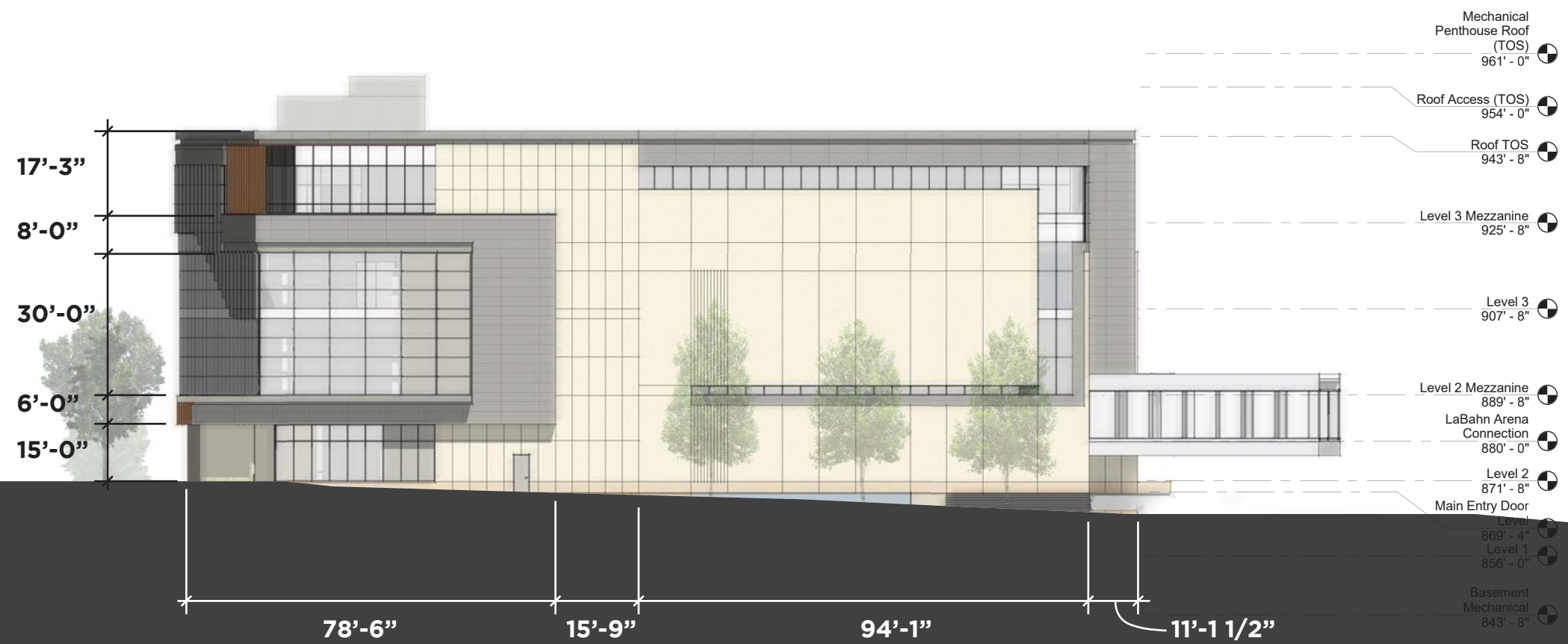
Scale	As Indicated
Graphic Scale	As Indicated
DSF Number	14L2T
Set Type	City Submittal
Date Issued	12.07.2016
Sheet Number	C400



LANDSCAPE PLANT LIST

UW Madison SERF
PLANT PALETTE

Key	Botanical Name	Common Name	Quantity	Size	Spec	Comments
Deciduous Trees						
AF	<i>Acer x. freemanii</i> 'Sienna'	Sienna Glen Maple	5	2.5" Cal.	B&B	Branching shall start at 7'-0"
AL	<i>Amelanchier laevis</i> 'Cumulus'	Cumulus Alleghany Serviceberry	1	2" Cal.	B&B	Single, Straight Leader
CA	<i>Cornus alternifolia</i>	Pagoda Dogwood	1	6'	Ht.	
CC	<i>Carpinus caroliniana</i> 'J.N. Strain'	J.N. Strain of Muscledwood	1	2" Cal.	B&B	Single, Straight Leader
CV	<i>Crategeus viridis</i> 'Winter King'	Winter King Hawthorn	1	2" Cal.	B&B	Low branching or multi-stem
GB	<i>Ginkgo biloba</i> 'Magyar'	Magyar Ginkgo	3	2.5" Cal.	B&B	Branching shall start at 7'-0"
PC	<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Flowering Pear	4	2.5" Cal.	B&B	Match specimens; branching shall start at 5'-0"
QR	<i>Quercus robur</i> 'Skymaster'	Skymaster English Oak	2	4" Cal.	B&B	Branching shall start at 7'-0"
QS	<i>Quercus x schuettei</i>	Swamp x Bur Oak	1	2.5" Cal.	B&B	Single, straight leader; branching shall start at 5'-0"
UF	<i>Ulmus</i> 'Frontier'	Frontier Elm	2	3" Cal.	B&B	Single, straight leader; branching shall start at 5'-0"
VP	<i>Viburnum prunifolium</i> 'MckRouge'	Forest Rouge Blackhaw Viburnum	1	5' Ht.	B&B	Multi-Stem, Min. 3 Leaders
Evergreen Trees						
Deciduous Shrubs						
Am	<i>Aronia melanocarpa</i> 'Morton'	Iroquois Beauty Black Chokeberry	17	#5	Cont.	Space 4'-0" o.c.
Cf	<i>Cornus stolonifera</i> 'Farrow'	Arctic Fire Red Twig Dogwood	25	#5	Cont.	Space 3'-6" o.c.
Hk	<i>Hypericum kalmianum</i> 'Ames'	Ames St. John's Wort	24	#2	Cont.	Space 3'-0" o.c.
Ha	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Hydrangea	23	5 gal.	Cont.	Space as indicated on plans
Po	<i>Physocarpus opulifolius</i> 'Seward'	Summer Wine Ninebark	10	#5	Cont.	Space 5'-0" o.c.
Ra	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	19	#2	Cont.	Space 5'-0" o.c.
Rt	<i>Rhus typhina</i> 'Bailtiger'	Tiger Eyes Cutleaf Staghorn Sumac	22	3 gal.	Cont.	See plan for spacing
Evergreen Shrubs						
Tm	<i>Taxus x media</i> 'Tauntonii'	Taunton Yew	48	18" spr.	Cont.	Space 4'-0" o.c.
Perennials / Ornamental Grasses						
ah	<i>Amsonia hubrichtii</i> 'Halfway to Arkansas'	Halfway to Arkansas Narrow Leaf Blue Star	26	1 gal.	Cont.	Space 3'-0" o.c.
as	<i>Allium</i> 'Summer Beauty'	Summer Beauty Allium	25	1 gal.	Cont.	Space 12" o.c.
bt	<i>Baptisia x varicolor</i> 'Twilite'	Twilite Prairieblues Wild Indigo	26	1 gal.	Cont.	Space 36" o.c.
cak	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	44	1 gal.	Cont.	Space 21" o.c.
ce	<i>Carex eburnea</i>	IvorySedge	72	1 gal.	Cont.	Space 12" o.c.
cn	<i>Calamintha nepeta</i> ssp. <i>nepeta</i>	Lesser Calamintha	107	4.5"	Cont.	Space 18" o.c.
cr	<i>Carex rosea</i>	Golden Star Sedge	61	1 gal.	Cont.	Space 12" o.c.
da	<i>Dryopteris affinis</i> 'The King'	The King Golden Scaled Male Fern	46	1 gal.	Cont.	Space 12" o.c.
di	<i>Dryopteris intermedia</i>	Fancy Fern	45	1 gal.	Cont.	Space 24" o.c.
ep	<i>Echinacea pallida</i>	Pale Purple Coneflower	90	1 gal.	Cont.	Space 24" o.c.
ev	<i>Epimedium x versicolor</i> 'Sulphureum'	Yellow Flowered Epimedium	334	1 gal.	Cont.	Space 12" o.c.
ha	<i>Hosta</i> 'Blue Angel'	Blue Angel Hosta	11	1 gal.	Cont.	Space 30" o.c.
hf	<i>Hosta</i> 'Fire Island'	Fire Island Hosta	26	1 gal.	Cont.	Space 12" o.c.
pa	<i>Polystichum acrostichoides</i>	Christmas Fern	45	1 gal.	Cont.	Space 18" o.c.
pv	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switch Grass	52	1 gal.	Cont.	Space 36" o.c.
sa	<i>Sedum</i> 'Autumn Fire'	Autumn Fire Sedum	39	1 gal.	Cont.	Space 15" o.c.
sh	<i>Sporobolus heterolepis</i>	Prairie Dropseed	23	1 gal.	Cont.	Space 24" o.c.
sm	<i>Salvia nemorosa</i> 'May Night'	May Night Salvia	12	1 gal.	Cont.	Space 15" o.c.
ss	<i>Schizachyrum scoparium</i> 'The Blues'	The Blues Little Bluestem	181	1 gal.	Cont.	Space 24" o.c.



WEST ELEVATION



WORKSHOP



17



SOUTH ELEVATION



WORKSHOP

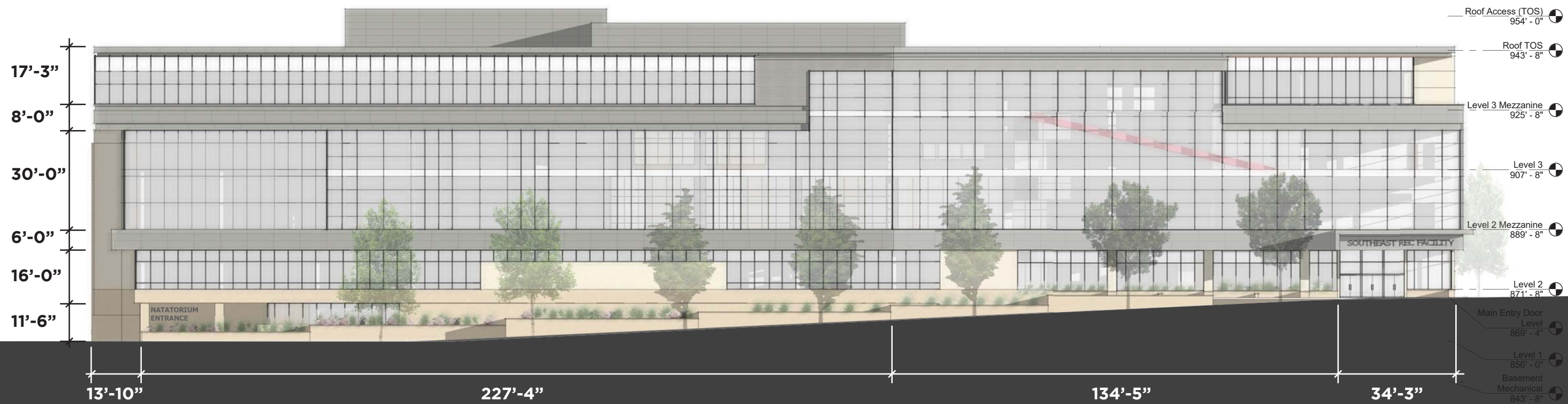


18



EAST ELEVATION

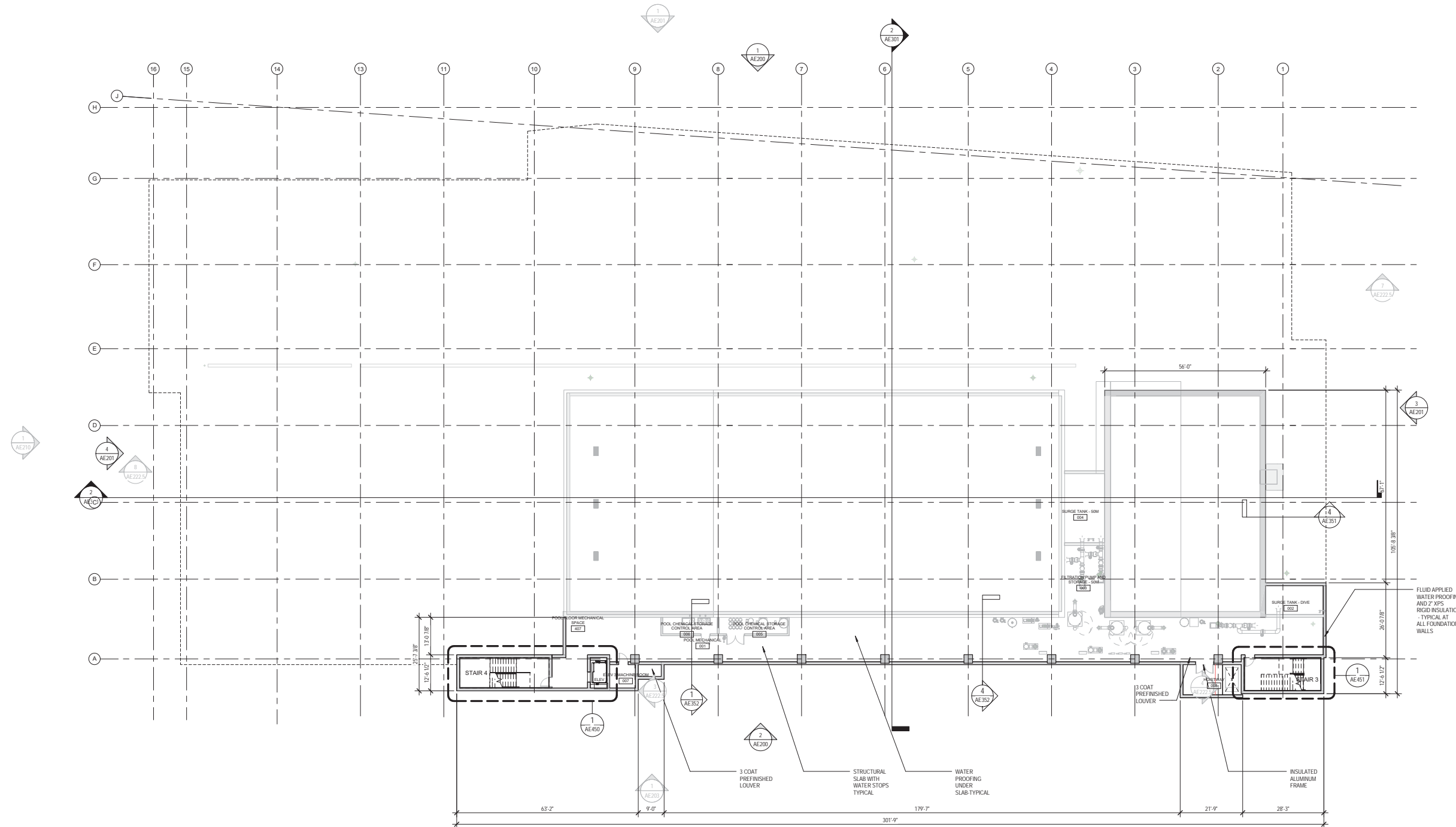




NORTH ELEVATION



FLOOR PLAN - BASEMENT



FLUID APPLIED WATER PROOFING AND 2" XPS RIGID INSULATION - TYPICAL AT ALL FOUNDATION WALLS

1 CORE & SHELL FLOOR PLAN - BASEMENT LEVEL
1/16" = 1'-0"

EXT - MATERIAL KEYNOTES - DD

EXT - MATERIAL KEYNOTES - DD

EXT - MATERIAL KEYNOTES - DD

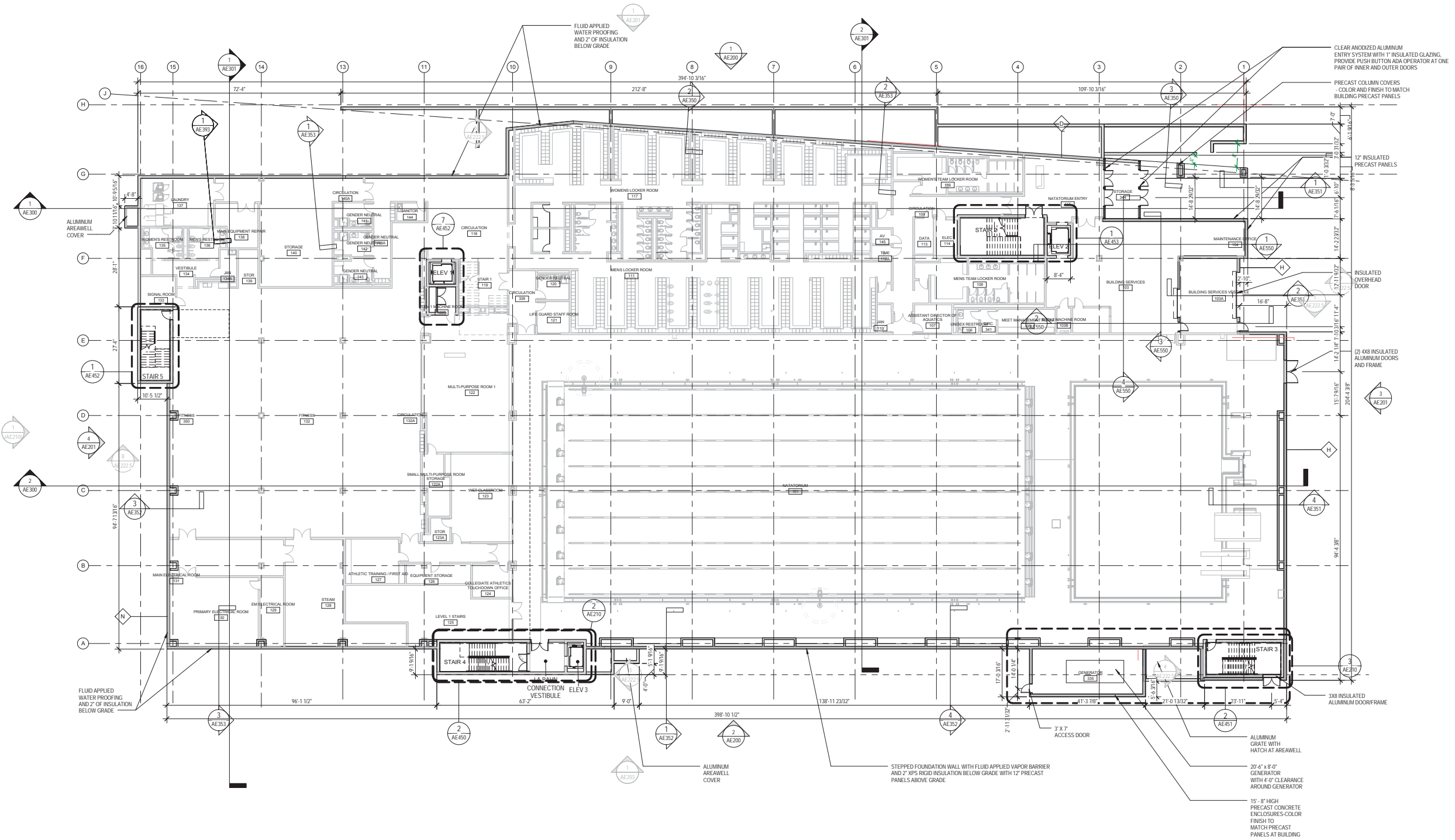
- A 4-SIDED STRUCTURAL SILICONE GLAZED CURTAIN WALL ASSEMBLY WITH 2" HIGH SPANDREL PANELS AT FLOOR SLABS - 1" INSULATED PPG SOLARBAN 70XL CLEAR WITH LOW E COATING, CLEAR ANODIZED, BACKUP FRAME - BASIS OF DESIGN KAWNEER CLEARWALL SYSTEM
- B 2-SIDED VERTICALLY CAPTURED CLEAR ANODIZED, THERMALLY BROKEN ALUMINUM CURTAIN WALL ASSEMBLY WITH 2" HIGH SPANDREL PANELS AT FLOOR SLABS - 1" INSULATED PPG SOLARBAN 70XL CLEAR WITH LOW E COATING
- C 2-SIDED HORIZONTALLY CAPTURED CLEAR ANODIZED, THERMALLY BROKEN ALUMINUM CURTAIN WALL ASSEMBLY WITH 2" HIGH SPANDREL PANELS AT FLOOR SLABS - 1" INSULATED PPG SOLARBAN 70XL CLEAR WITH LOW E COATING
- D FULLY CAPTURED CLEAR ANODIZED ALUMINUM, THERMALLY BROKEN CURTAIN WALL ASSEMBLY WITH 2" HIGH SPANDREL PANELS AT FLOOR SLABS - 1" INSULATED PPG SOLARBAN 70XL CLEAR WITH LOW E COATING
- E FULLY CAPTURED CLEAR ANODIZED ALUMINUM, THERMALLY BROKEN STOREFRONT ASSEMBLY - 1" INSULATED PPG SOLARBAN 70XL CLEAR WITH LOW E COATING
- F CLEAR ANODIZED ALUMINUM HORIZONTAL SUNSHADE ASSEMBLY - 2" - 0" DEPTH
- G CLEAR ANODIZED ALUMINUM VERTICAL SUNSHADE ASSEMBLY - 2" - 0" DEPTH

- H 12" INSULATED PRECAST PANELS, (R-25 ASSEMBLY) - BASIS OF DESIGN CARBONCAST INSULATED ARCHITECTURAL CLADDING INTEGRALLY COLORED - LIGHT ACID ETCH FINISH
- I ULTRA HIGH PERFORMANCE CONCRETE PANEL RAIN SCREEN WITH UNDERCUT HANGER OVER ALUMINUM CARRIAGE SYSTEM OVER 3" CLOSED CELL SPRAY FOAM INSULATION (R-20) WITH UV COATING - BASIS OF DESIGN TAKTL UNDERCUT ANCHOR RAIN SCREEN SYSTEM - COLOR AND FINISH TO MATCH INSULATED PRECAST PANELS
- J PREFINISHED PAINTED METAL PANEL PRESSURE EQUALIZED, HOOK AND PIN RAIN SCREEN ON ALUMINUM CARRIAGE SYSTEM OVER 3" CLOSED CELL SPRAY FOAM INSULATION (R-20) WITH UV COATING - BASIS OF DESIGN METAL DESIGN SYSTEMS SERIES 70
- K 3 COAT PREFINISHED METAL FASCIA
- L 3 COAT PREFINISHED METAL PANEL SOFFIT ASSEMBLY WITH CONCEALED FASTENERS OVER 1/2" DENSDECK SHEATHING OVER METAL FRAMING
- M 3 COAT PREFINISHED METAL LOUVER ASSEMBLY
- N 2" X 2" CONCRETE PAVER PEDESTAL SYSTEM OVER EPDM ROOF ASSEMBLY
- O FULLY ADHERED EPDM ROOF OVER TAPERED RIGID XPS INSULATION - 5" MINIMUM THICKNESS TAPERED TO 2" MINIMUM AT DRAIN SUMPS (R-25 ROOF ASSEMBLY)

- P ALUMINUM AREA WELL GRATING
- Q WATERPROOFING - UNDERSLAB AND ALL POOL, ELEVATOR PIT AND BASEMENT WALLS
- S INSULATED OVERHEAD COILING DOOR
- T 3/4" TONGUE AND GROOVE WOOD SOFFIT OVER METAL FURRING
- U 3 COAT PREFINISHED METAL COVER - COLOR AND FINISH TO MATCH METAL PANEL RAIN SCREEN
- W ALT - 1" OF ADDITIONAL XPS ROOF INSULATION TO OBTAIN R-30 ASSEMBLY
- X ALT - REPLACE INSULATED PRECAST PANELS WITH 4" BRICK VENEER, 2" AIRSPACE, 3" CLOSED CELL SPRAY FOAM INSULATION ON 12" CMU, GROUTED AS REQUIRED
- Y ALT - REPLACE ULTRAHIGH PERFORMANCE CONCRETE PANELS WITH 4" BRICK VENEER, 2" AIRSPACE, 3" CLOSED CELL SPRAY FOAM INSULATION
- Z ALT - ADD ELECTRONICALLY TINTABLE CAPABILITY TO GLAZING IN THE NATATORIUM - BASIS OF DESIGN SAGE GLASS RE



FLOOR PLAN - LEVEL 1



1 CORE & SHELL FLOOR PLAN - LEVEL 1
1/16" = 1'-0"

EXT - MATERIAL KEYNOTES - DD

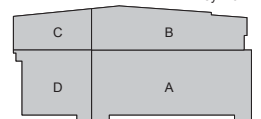
EXT - MATERIAL KEYNOTES - DD

EXT - MATERIAL KEYNOTES - DD

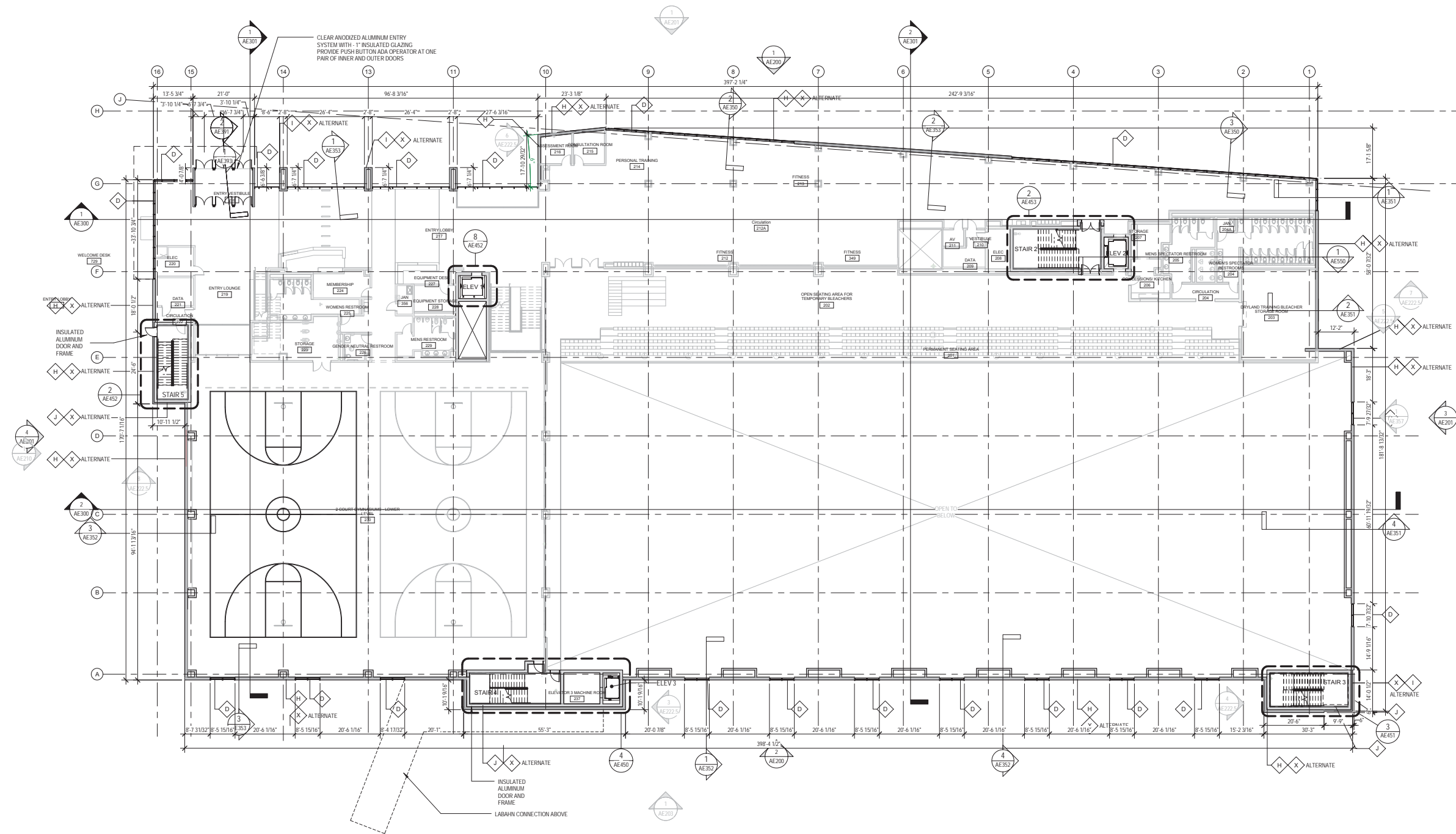
- A 4-SIDED STRUCTURAL SILICONE GLAZED CURTAIN WALL ASSEMBLY WITH 2" HIGH SPANDREL PANELS AT FLOOR SLABS - 1" INSULATED PPG SOLARBAN 70XL CLEAR WITH LOW E COATING, CLEAR ANODIZED, BACKUP FRAME - BASIS OF DESIGN KAWNEER CLEARWALL SYSTEM
- B 2-SIDED VERTICALLY CAPTURED CLEAR ANODIZED, THERMALLY BROKEN ALUMINUM CURTAIN WALL ASSEMBLY WITH 2" HIGH SPANDREL PANELS AT FLOOR SLABS - 1" INSULATED PPG SOLARBAN 70XL CLEAR WITH LOW E COATING
- C 2-SIDED HORIZONTALLY CAPTURED CLEAR ANODIZED, THERMALLY BROKEN ALUMINUM CURTAIN WALL ASSEMBLY WITH 2" HIGH SPANDREL PANELS AT FLOOR SLABS - 1" INSULATED PPG SOLARBAN 70XL CLEAR WITH LOW E COATING
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FLOOR PLAN - LEVEL 2



1 CORE & SHELL FLOOR PLAN - LEVEL 2
1/16" = 1'-0"

EXT - MATERIAL KEYNOTES - DD

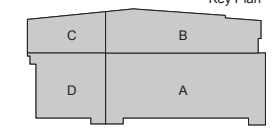
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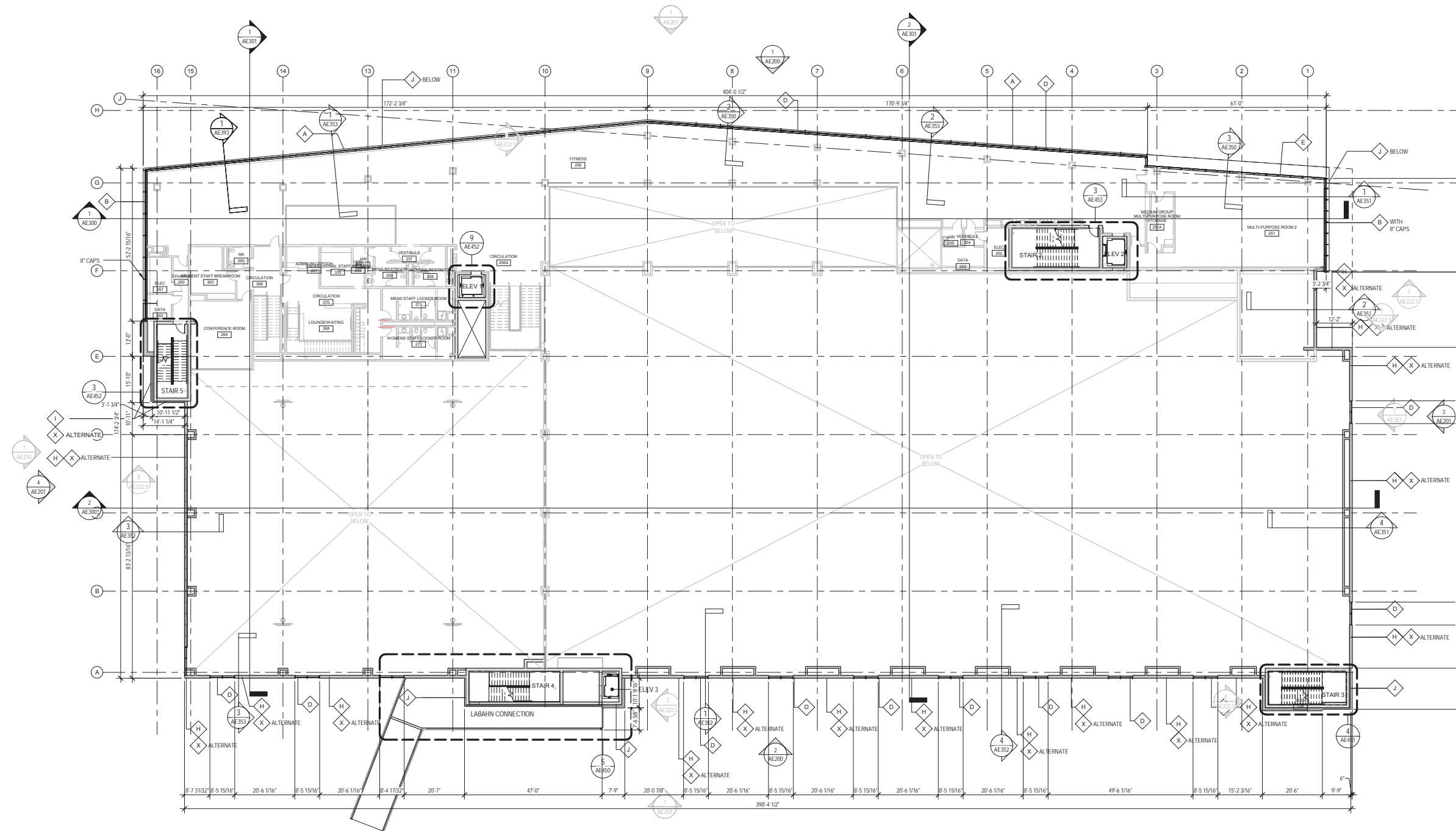
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FLOOR PLAN - LEVEL 2 MEZZANINE



1 CORE & SHELL FLOOR PLAN - LEVEL 2 MEZZANINE

1/16" = 1'-0"

EXT - MATERIAL KEYNOTES - DD

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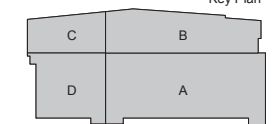
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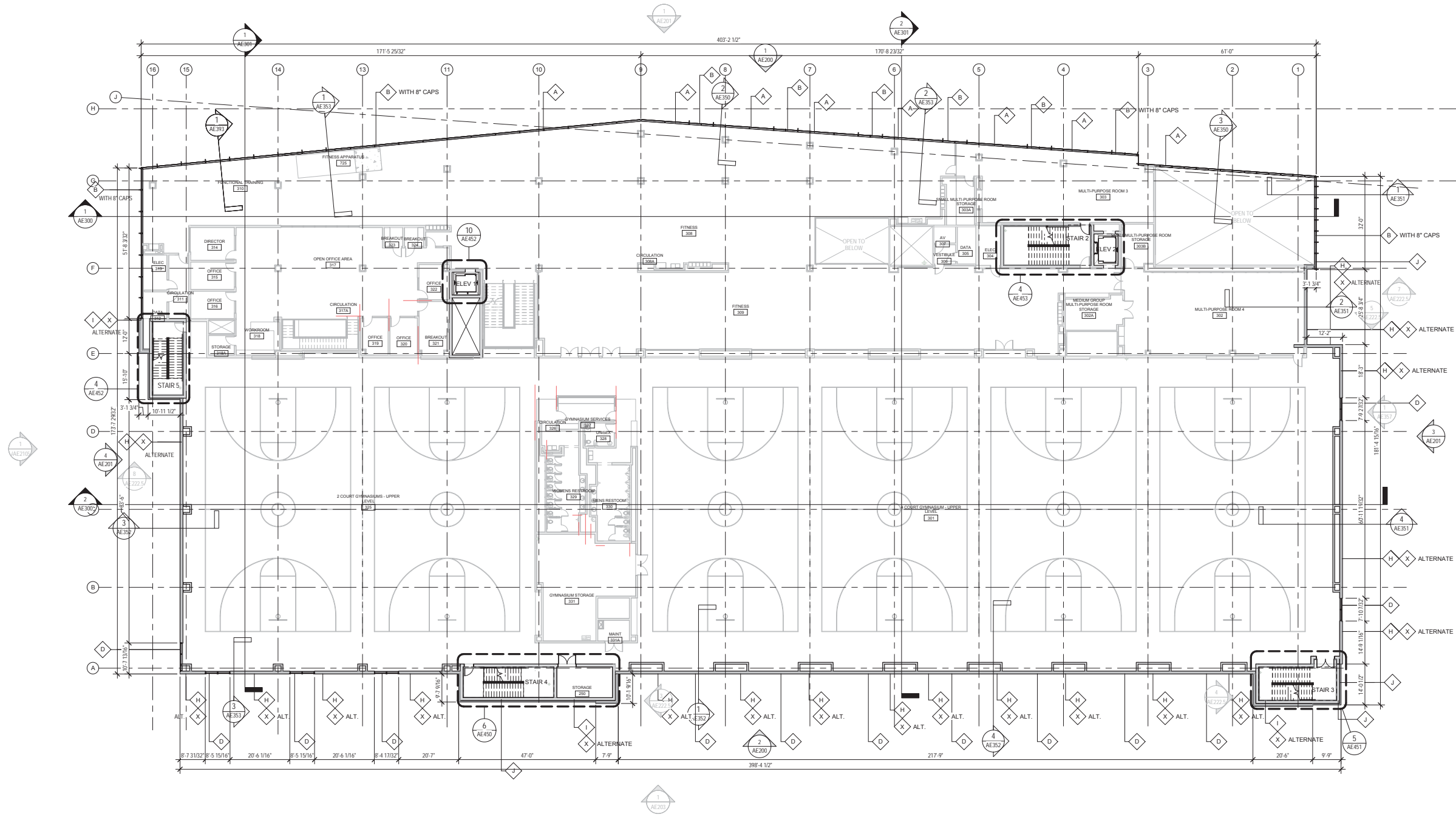
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Key Plan



FLOOR PLAN - LEVEL 3



1 CORE & SHELL FLOOR PLAN - LEVEL 3
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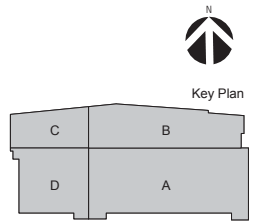
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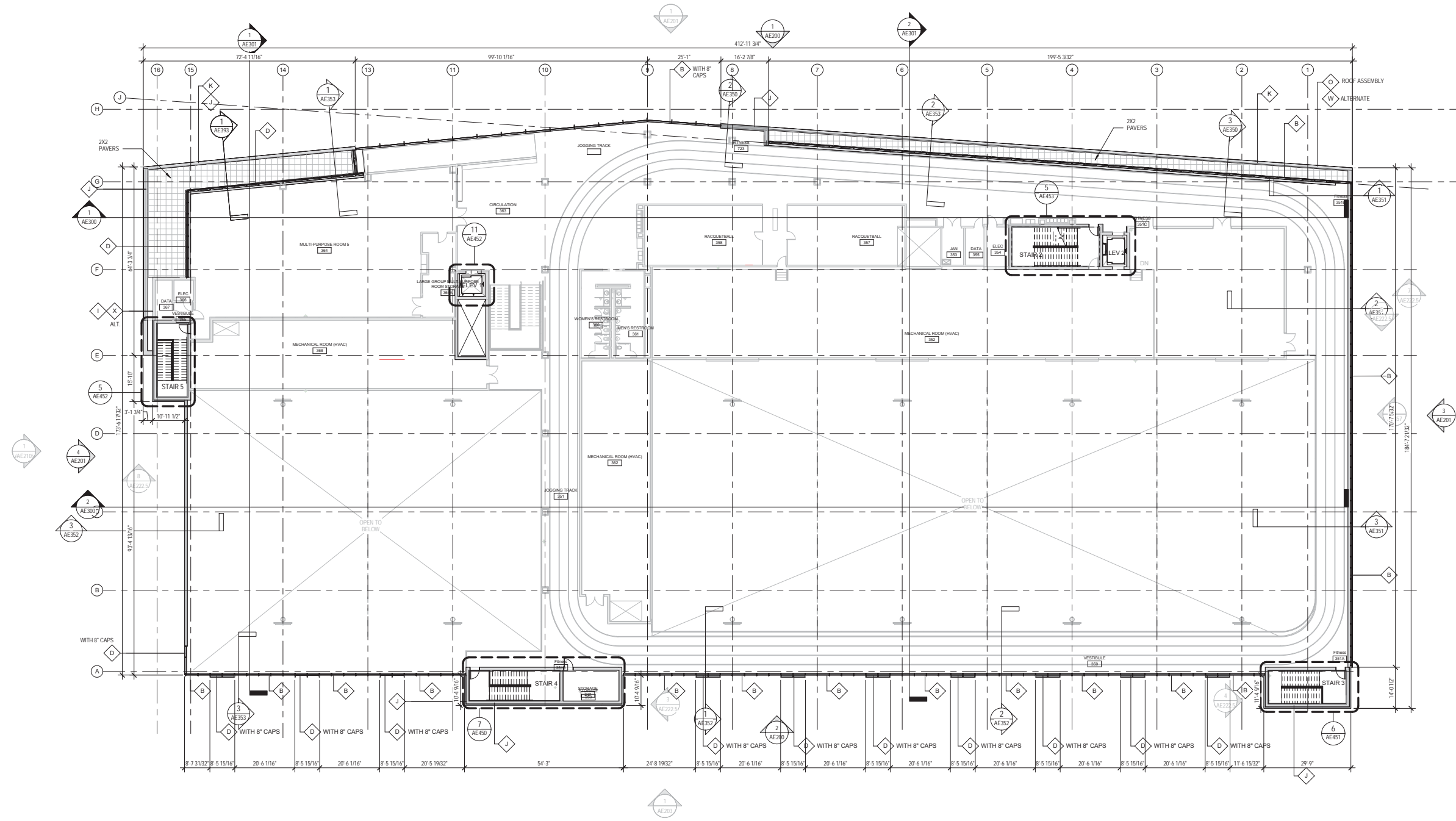
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FLOOR PLAN - LEVEL 3 MEZZANINE



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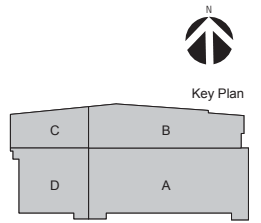
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PERSPECTIVE FROM WEST



PERSPECTIVE FROM WEST

WORKSHOP



28



PERSPECTIVE FROM EAST



PERSPECTIVE FROM SOUTH

WORKSHOP



30



December 7, 2016

Mr. Matthew Tucker
City of Madison Zoning Administrator
215 Martin Luther King Jr. Blvd
Rm. LL-100, Municipal Bldg.
Madison, WI 53710

**RE: CONDITIONAL USE APPLICATION – Letter of Intent
 Southeast Recreational Facility Replacement (#14L2T)
 715 W. Dayton Street
 University of Wisconsin-Madison**

Dear Mr. Tucker:

This is an application for a Major Amendment to Approved PD-SIP Zoning. The current 715 W. Dayton Street parcel is zoned "PD-Planned Development" based on an original PUD/SIP for the original building constructed in the early 80's, (City of Madison PUD-SIP #86 as recorded with the Dane County Register of Deeds No. 1729073). The existing 191,254 GSF (125,118 ASF) Southeast Recreation Facility (SERF) will be demolished and replaced with a new 248,275 GSF (170,842 ASF) facility. The goal of this project is to provide enhanced and expanded fitness opportunities for the campus community. The site is bordered on the north by W. Dayton Street, the south by a pedestrian corridor, the west by East Campus Mall, and on the east by the Kohl Center site. Construction of the improvements is scheduled to begin in October 2017 and be completed in November of 2019. All land is owned by the Board of Regents of the University of Wisconsin System.

Application Materials

Zoning Application
Plans (7 full size copies, 39 reduced size 11" x 17" copies, 1 letter size copy)
Letter of Intent (46 copies)

Project Participants

Owner: **State of Wisconsin**
 Agency: University of Wisconsin System
 Board of Regents
 Room 1860 Van Hise Hall
 1220 Linden Drive
 Madison, Wisconsin 53706

Owner's Contact: **University of Wisconsin – Madison**
 Facilities Planning and Management
 30 N. Mills Street, 4th Floor
 Madison, Wisconsin 53715
 Phone: 608-263-3023
 Attn: Gary Brown
 E-Mail: gary.brown@wisc.edu

Facilities Planning & Management

30 N. Mills Street, 4th Floor Madison, Wisconsin 53715-1211
(608) 263-3000 FAX (608) 265-3139 TTY (608) 265-5147

Dept. of Admin: **Division of Facilities Development**
101 E. Wilson Street – 7th Floor
P.O. Box 7866
Madison, Wisconsin 53707
Phone: 608-266-1412
Attn: Russ Van Gilder
E-Mail: Russ.VanGilder@wisconsin.gov

Architects: **Workshop Architects**
201 E. Pittsburgh Ave. Suite 301
Milwaukee, Wisconsin 53204
Phone: 414-828-1242
Attn: Wally Johnson, Project Manager
E-Mail: wallyj@workshoparchitects.com

Landscape Architect: **Ken Saiki Design**
303 S. Paterson Street #1
Madison, Wisconsin 53703
Phone: 608-251-3600
Fax: 608-251-2330
Attn: Ken Saiki, ASLA
E-Mail: ksaiki@ksd-la.com

**Mechanical, Electrical
Engineers:** **KJWW**
1800 Deming Way #200
Middleton, Wisconsin 53562
Phone: 608-221-6713
Attn: Kris Cotharn, PE, Project Executive
E-Mail: cotharnka@kjww.com

**Plumbing, Fire Protect
Engineers:** **Thunderbird Engineering**
7665 N Port Washington Road, Suite 101
Milwaukee, Wisconsin 53217
Phone: 414-352-2211
Fax: 414-351-8823
Attn: Jim Mickowski
E-Mail: jimm@thunderbirdeng.com

Structural Engineers: **GRAEF-USA Inc.**
5126 W. Terrace Dr. #111
Madison, Wisconsin 53718
Phone: 608-242-1550
Attn: Loei Badreddine, PE
E-Mail: loe.badreddine@graef-use.com

Surveyor: **JSD Professional Services**
161 Horizon Drive, Suite 101
Verona, Wisconsin 53593
Phone: 608-848-5060
Attn: Todd Buhr, P.L.S.
E-Mail: todd.buhr@jsdinc.com

Project Background:

The SERF Replacement project site is located on the UW-Madison campus at 715 W. Dayton Street. The goal of this project is to create a greater understanding of what fitness means and what fitness looks like as part of an expanded student-life experience. The project site is currently zoned Planned Development (PD) based on a PUD/SIP for the original building constructed in 1982 (city of Madison PUD-SIP #86, Dane County Register of Deeds No. 1729073). Subsequently, the building was expanded with a westerly addition which required a major alteration to the then existing PUD/SIP which was approved in 2001. All zoning requirements recorded with the original and altered PUD/SIP still carry with the land. The site currently shares a cross-access relationship with the Kohl Center PD, but nothing precludes redevelopment of the site as proposed. Since the program is remaining the same as the existing facility, the project will follow the local approval schedule for a major alteration to an existing PD per city staff recommendation.

Project Description:

Since 1983, the SERF has served the users living in the nearby campus residence halls. The site is bordered on the north by W. Dayton Street, the south by a pedestrian corridor, the west by East Campus Mall, and on the east by the Kohl Center site. The project consists of a complete deconstruction of the existing facility.

The proposed project will construct new program space for the Division of Recreational Sports (Rec Sports) and the Division of Intercollegiate Athletics. The project will include the deconstruction of approximately 191,254 GSF (125,118 ASF) existing SERF and the construction of a 248,275 GSF (170,842 ASF) building which is a 30% expansion, or 57,021 additional gross square feet. The new SERF facility will house expanded and enhanced open recreation spaces and include a new shared division 50-meter competition pool and a separate diving well. This competition pool is intended to be the new home site of the UW-Madison Swimming and Diving program and will be designed to meet current B1G standards for competition pools. In addition to creating new opportunities for the Rec Sports and Athletics programs, an expanded pool and deck space also creates opportunities for increased community and recreational use including lap swimming, instructional programs, fitness classes, along with spectator seating for swimming and diving competitions. Other expanded and enhanced open recreation spaces include weights, strength, cardio, and functional fitness areas; 8-basketball courts divided into a separate 4-court + 2-court + 2-court gym arrangement with each gymnasium striped for a variety of sports; an indoor walking and jogging track; several multi-purpose rooms supporting fitness and group exercise classes; 2-racquetball courts; and an administrative area. An expanded, flexible facility design will accommodate changing trends and program interests and will also provide opportunities for Rec Sports to offer accessible facilities for participants of all abilities.

The project will maintain the recently constructed athletic home team locker and training facilities in the LaBahn Arena and the existing elevated link (skywalk) that connects the LaBahn Arena to the current SERF.

Exterior site work with this project will include 'Green Street' improvements along W. Dayton Street in accordance with the 2015 UW-Madison Campus Master Plan. Additional site development also includes utility improvements (including steam, chilled water, electrical and communication distribution services/equipment) in support of the new SERF program.

LEED certification will not be pursued for the new SERF facility, but it will meet the DFD sustainability guidelines and is in line with the campus stormwater management plan.

The primary exterior wall materials will include site cast concrete walls, precast concrete panels, metal panels, and glazing. The exterior walls will typically be non-bearing walls of insulated precast concrete sandwich panels, ultra-high performance concrete panel rain screen, metal panel rain screen over 3" closed cell spray foam insulation on cast-in-place concrete backup or to a limited extent, exterior sheathing on metal stud backup. The northern façade – along Dayton Street – is comprised of mainly glass curtain wall which will showcase fitness while being sympathetic to energy efficiency and maintenance. The overall aesthetic and material usage will blend into the East Campus Design Neighborhood per the 2015 Campus Master Plan Update.

New building mounted and ground mounted signs will be included as part of the project following campus standards. Campus standard, sharp cut-off lighting fixtures will be used across the site.

From a fire protection standpoint, the entire building will be fully sprinkled. Currently there are three fire hydrants within 50' of the building. Hydrants are located: At the southwest corner of the building, at the northeast corner of the

building, 50' west of the northwest corner of the building. Other hydrants are within 500' along W. Dayton, Park, and Francis Streets.

The overall project generally follows the 2015 UW-Madison Campus Master Plan that suggests a new SERF facility in this location.

Project Schedule:

Start Construction:	October 2017
Substantial completion:	October 2019
Occupancy:	January 2020

Proposed Uses:

The proposed uses and associated square footage are as follows:

Hardscape:	28,713 GSF
Softscape:	18,238 GSF
<u>Building Footprint:</u>	<u>68,511 GSF</u>
Total Developed Area:	115,462 GSF

Hours of Operation

The SERF is not purely a recreation center for the students of the University of Wisconsin-Madison; it is a gathering space for the campus community, including faculty, spectators, student-athletes, coaches, recreation staff, and students. Hours of operation are set in relation to the academic calendar and vary depending on when instruction is in session and during winter break. During the Fall and Spring semesters hours are Monday-Thursday 6AM to midnight. Friday 6AM to 10PM, Saturday 10AM to 10PM, and Sunday 10AM to midnight. During break sessions hours are 6AM to 8PM during week days and 10AM to 8PM on weekends. The Natatorium will be able to accommodate 1,000 spectators and is be planned to host BIG Championships, Collegiate Dual Meets, and Wisconsin State High School Swimming and Diving Championships. A dedicated east entry is planned to accommodate these spectators and events.

Building Areas:

The proposed use areas are as follows:

Natatorium with spectator seating and support spaces:	44,886 ASF
Gymnasiums (8 courts):	53,391 ASF
Open Fitness Area:	31,194 ASF
Multi-purpose studios and racquetball:	11,878 ASF
Jogging Track:	8,600 ASF
Administration and Guest Services:	5,005 ASF
Entry Lobbies and Lounges:	2,344 ASF
Locker Rooms:	9,545 ASF
<u>Building Services:</u>	<u>3,999 ASF</u>
Total at Completion:	170,842 ASF

Auto and Bike Parking Stalls:

Parking is addressed, in accordance with the overall university Campus Master Plan, on a campus-wide basis not by individual building. As part of this project Lot 87 will be rebuilt and add 1 space for a total of 43 spaces. These stalls will be reserved for University permit holders as directed by UW Transportation. Of these spaces, 6 spaces will be used for accessible parking. The entire Lot is also currently used as accessible parking for Kohl Center events and will continue to function in that manner after this project. Moped parking will remain even at 38 spaces.

University service vehicles and Fire/Emergency vehicle access will be maintained through East Campus Mall, along the north façade of LaBahn Arena and to the Kohl Center.

The existing bus stop will be relocated closer to Ogg Residence Hall west of East Campus Mall. This pull out area will serve both Metro buses and paratransit staging. This will also function to better serve ADA drop-offs. Service access and loading dock facilities will generally be located in the same location as currently exists along the parking

lot entry drive east of the building. The proposed project location is serviced by the #80 Metro bus route eastbound. Route #82 along Park Street and Lake Street are also in close walking proximity. Boarding points identified currently see stops every seven minutes during Spring and Fall semesters stretching out to every 15 minutes during university break schedule.

Bike parking will be accommodated throughout the site in greater numbers than exist today. There will be 53 bike parking spaces added for a total of 200 spaces along the north and west facades of the building. Currently, there is 147 stalls.

Service Loading/Unloading:

The site accommodates 30' length box trucks and garbage trucks at the east side of the building loading area. For occasional semi-trailer deliveries, the SERF will follow current University protocol involving offsite unloading and delivery to the SERF via smaller box trucks. The SERF site is not required to accommodate semi-trailer pull-through or turn-around movements. Dumpsters and equipment will be kept behind a secured-opaque access door.

Lot Coverage and Usable Open Space Calculations

The lot is 115,462 square feet. The total open space/area outside the building footprint and other impervious area is 18,238 square feet, for an impervious surface ratio of 15%.

Estimated Project Cost:

The project is estimated to cost \$87,541,000.

Number of Construction & Full-Time Equivalent Jobs Created

Based on a study entitled "The Impact of Construction on the Wisconsin Economy" by C3 Statistical Solutions, published in January 2011, every \$1 spent directly on construction projects produces an overall economic impact of approximately \$1.92. Using a related formula that 17 jobs are created for every \$1 million of construction costs, this \$87.8 project should create approximately 1,492 jobs split between design/construction workers and direct, indirect and induced jobs.

The project was presented to the City of Madison Development Assistance Team on July 7, 2016 and to the Joint Southeast Campus Area Committee on July 18, 2016 for informational purposes.

Please contact me at 608-263-3023 if you have any questions or need further information.

Thank you,



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