



Location  
4226 Milwaukee Street

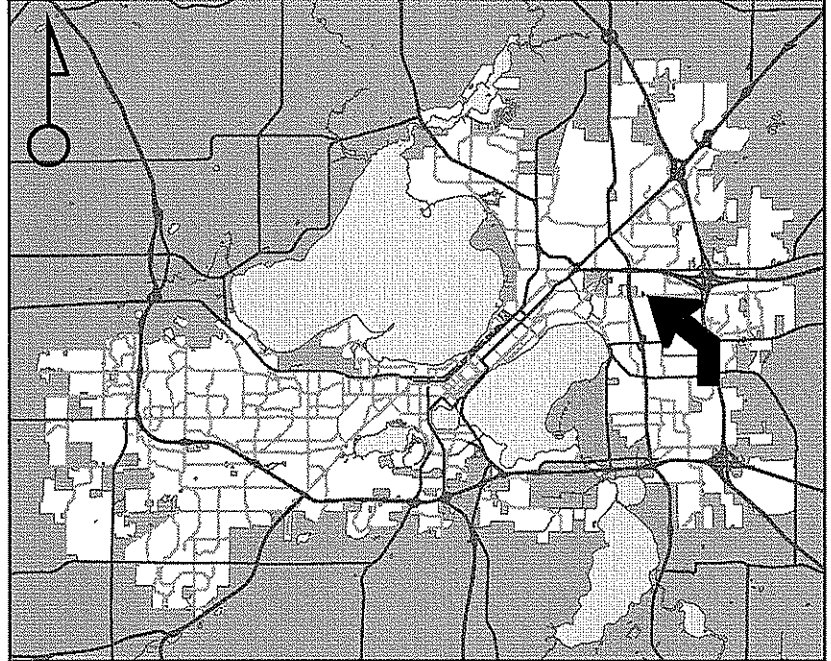
Project Name  
Warren Dental Expansion

Applicant  
Dr. Robb Warren/  
David Craker - Keller, Inc

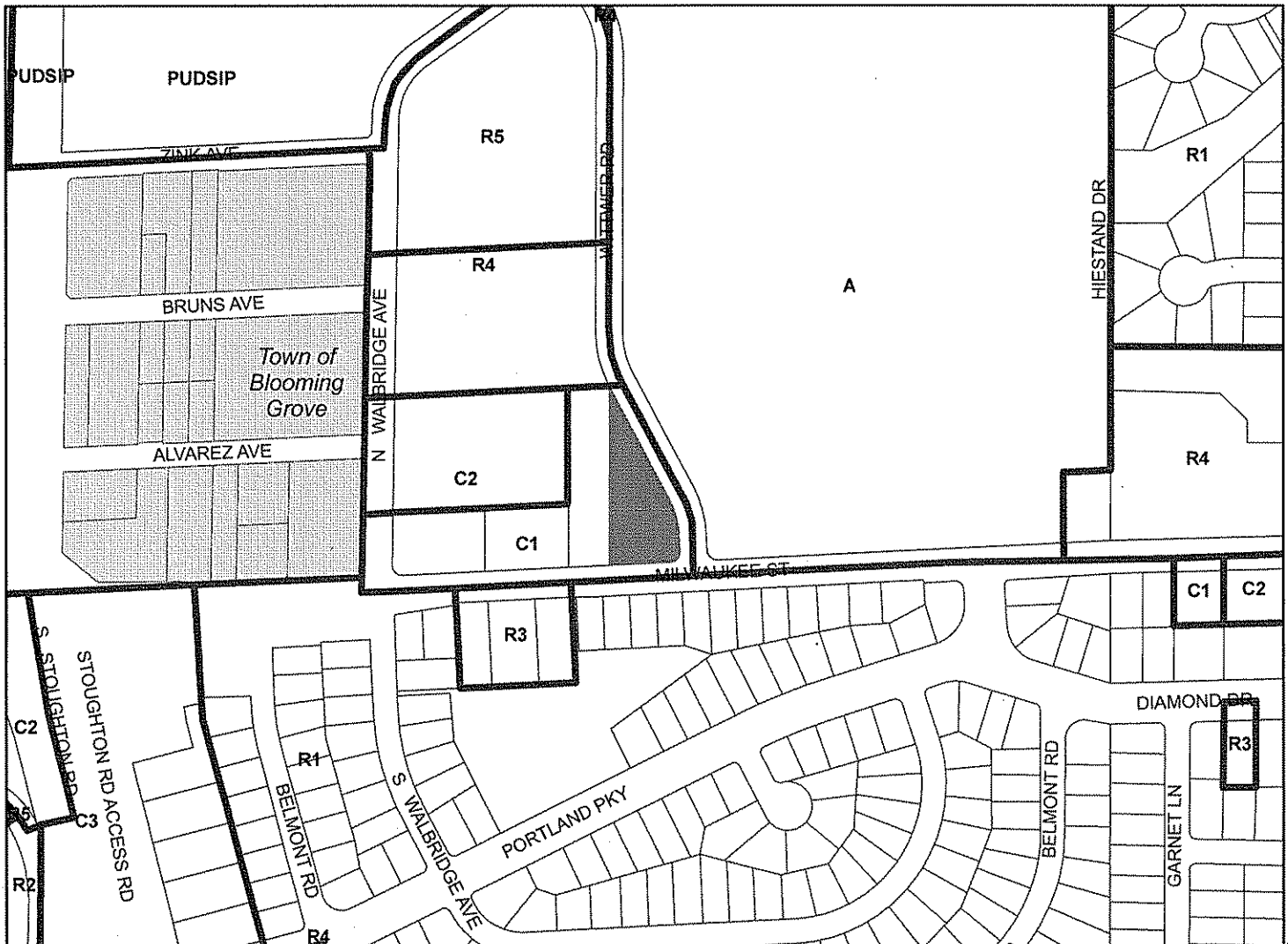
Existing Use  
Dental Office

Proposed Use  
Construct Dental Office in C1 Zoning  
District Across from Hiestand Park

Public Hearing Date  
Plan Commission  
15 June 2009

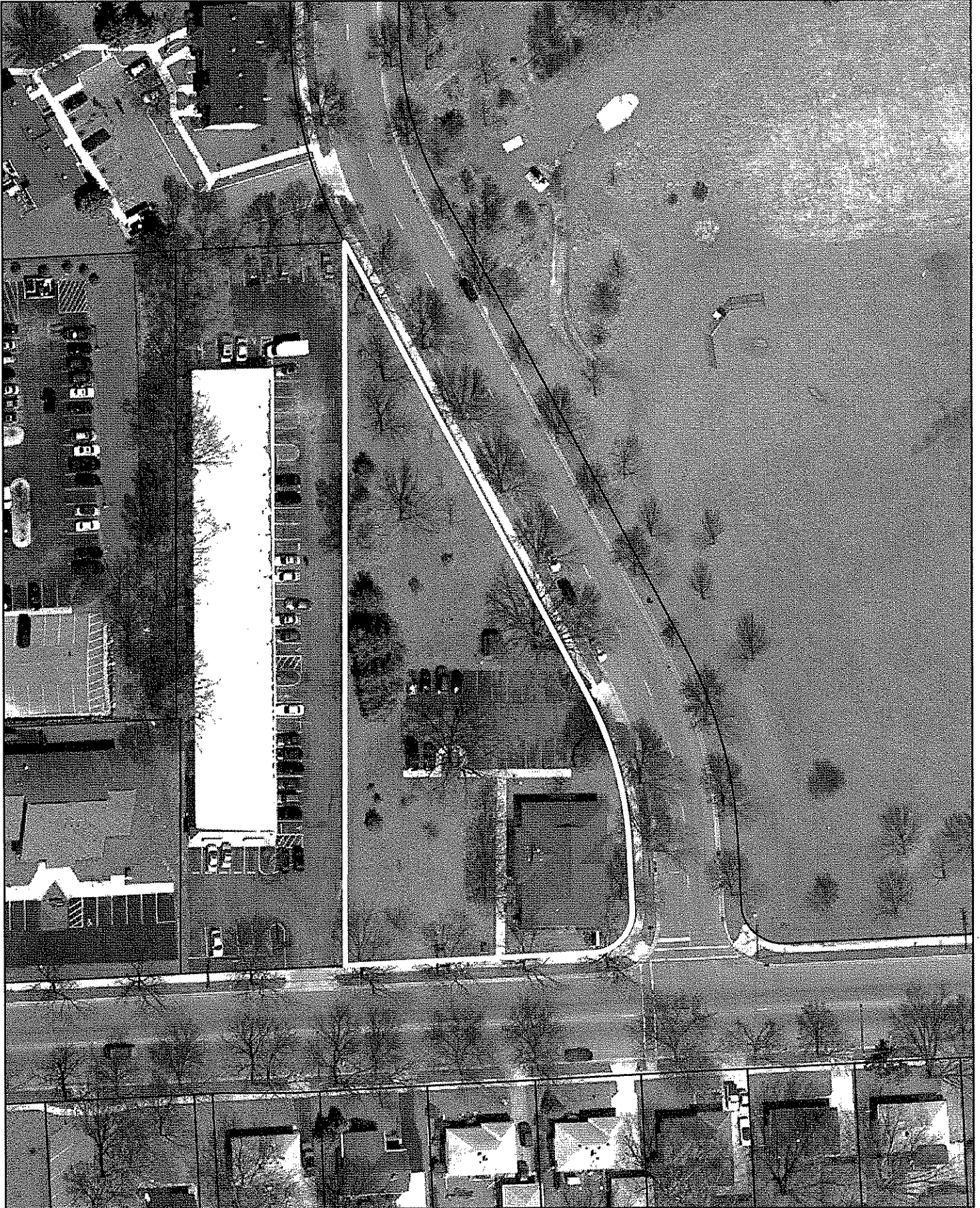


For Questions Contact: Heather Stouder at: 266-5974 or [hstouder@cityofmadison.com](mailto:hstouder@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 01 June 2009





# LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed with the Subdivision Application.
- Before filing your application, please review the information regarding the **LOBBYING ORDINANCE** on the first page.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at [www.cityofmadison.com/planning/plan.html](http://www.cityofmadison.com/planning/plan.html)
- All zoning applications should be filed directly with the Zoning Administrator.

FOR OFFICE USE ONLY:	
Amt. Paid	<u>550</u> Receipt No. _____
Date Received	<u>4/30/09</u>
Received By	<u>PDA</u>
Parcel No.	<u>0710-041-0101-1</u>
Aldermanic District	<u>03 LAUREN CNARE</u>
GQ	<u>O.K.</u>
Zoning District	<u>C-1</u>
<b>For Complete Submittal</b>	
Application	Letter of Intent _____
IDUP	Legal Descript. _____
Plan Sets	Zoning Text _____
Alder Notification	Waiver _____
Ngbrhd. Assn Not.	Waiver _____
Date Sign Issued	_____

1. **Project Address:** 4226 Milwaukee St **Project Area in Acres:** 1.07  
**Project Title (if any):** Dr Robb Warren

2. **This is an application for:** (check at least one)

<input type="checkbox"/> <b>Zoning Map Amendment</b> (check only ONE box below for rezoning and fill in the blanks accordingly)		
<input type="checkbox"/> Rezoning from _____ to _____	<input type="checkbox"/> Rezoning from _____ to PUD/PCD-SIP	
<input type="checkbox"/> Rezoning from _____ to PUD/PCD-GDP	<input type="checkbox"/> Rezoning from PUD/PCD-GDP to PUD/PCD-SIP	
<input checked="" type="checkbox"/> <b>Conditional Use</b>	<input type="checkbox"/> <b>Demolition Permit</b>	<input type="checkbox"/> <b>Other Requests (Specify):</b> _____

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: David Craker Company: Keller, Inc  
 Street Address: 1508 Three Wood Dr City/State: Mount Horeb Zip: 53572  
 Telephone: (608) 444-1944 Fax: (262) 250-9740 Email: dcraker@kellerbuilds.com  
 Project Contact Person: Dave Craker Company: Keller, Inc  
 Street Address: 1508 Three Wood Dr City/State: Mount Horeb Zip: 53572  
 Telephone: (608) 444-1944 Fax: (262) 250-9740 Email: dcraker@kellerbuilds.com  
 Property Owner (if not applicant): Dr Robb Warren  
 Street Address: 4226 Milwaukee St City/State: Madison WI Zip: 53714

4. **Project Information:**

Provide a general description of the project and all proposed uses of the site: New 5000 SF dental clinic

Development Schedule: Commencement \_\_\_\_\_ Completion \_\_\_\_\_

CONTINUE →

**Required Submittals:**

- Site Plans** submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:
  - **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
  - **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
  - **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper
- Letter of Intent: Twelve (12) copies** describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.
- Legal Description of Property:** Lot(s) of record or metes and bounds description prepared by a land surveyor. For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail.
- Filing Fee:** \$\_\_\_\_\_ See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

**IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:**

- For any applications proposing demolition of existing buildings, **photos** of the interior and exterior of the structure(s) to be demolished shall be submitted with your application. Be advised that a **Reuse and Recycling Plan** approved by the City's Recycling Coordinator is required prior to issuance of wrecking permits.
- A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate INCLUSIONARY DWELLING UNIT PLAN application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.
- A **Zoning Text** must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

**FOR ALL APPLICATIONS:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to [pcapplications@cityofmadison.com](mailto:pcapplications@cityofmadison.com). The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

**6. Applicant Declarations:**

- Conformance with adopted City plans:** Applications shall be in accordance with all adopted City of Madison plans:
 

→ The site is located within the limits of the: \_\_\_\_\_ Plan, which recommends: \_\_\_\_\_ for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:
 

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:

\_\_\_\_\_

*NOTE: If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.*

- Pre-application Meeting with staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.
 

Planner Heather Stouder Date 3/19/09 | Zoning Staff \_\_\_\_\_ Date \_\_\_\_\_

**The signer attests that this form is accurately completed and all required materials are submitted:**

Printed Name David A Craker Date 4/15/09

Signature [Signature] Relation to Property Owner [Signature]

Authorizing Signature of Property Owner [Signature] Date 4-15-09



City of Madison  
Land Use Application  
215 Martin Luther King Jr. Blvd.  
Room LL-100  
P.O. Box 2985  
Madison, WI 53701-2985



Re: Letter of Intent  
Dr. Robb Warren  
4226 Milwaukee Street  
Madison, WI 53714

A new development is being proposed in the Hiestand neighborhood located at 4226 Milwaukee St. Dr. Robb Warren, a local dentist, plans to expand his dental practice with a new building on the property he owns on the corner of Milwaukee St. and Wittwer Rd. Keller Inc. is the design/build contractor (David Craker 444-1944), MSA is providing the civil drawings (Greg Gunderson 242-7779) and TLJ Designs is providing the landscape design (Tanya Johnson 242-4631).

The new one-story building, with a two-story look, is a little larger than the current building, and will face Wittwer Rd., sitting behind the current clinic which sits right at the corner. Patient parking will be in a (36) stall lot, connecting to Wittwer Rd. and Milwaukee St. that serves both the old and new building. Dr. Warren plans to lease his existing building to another medical or dental professional. Construction is scheduled to begin in early summer on the 5,075 square foot (8) operatory facility and be completed in October.

Dr. Warren currently has (11) full time employees and business hours from 7:00 a.m. to 5:00 p.m. Monday thru Friday.

Sincerely,

Dr. Robb Warren  
241-7999

David A. Craker  
Keller, Inc.

ADDRESS

W177 N9856 Rivercrest Drive, Suite 104  
Germantown, WI 53022

PHONE

262-250-9710

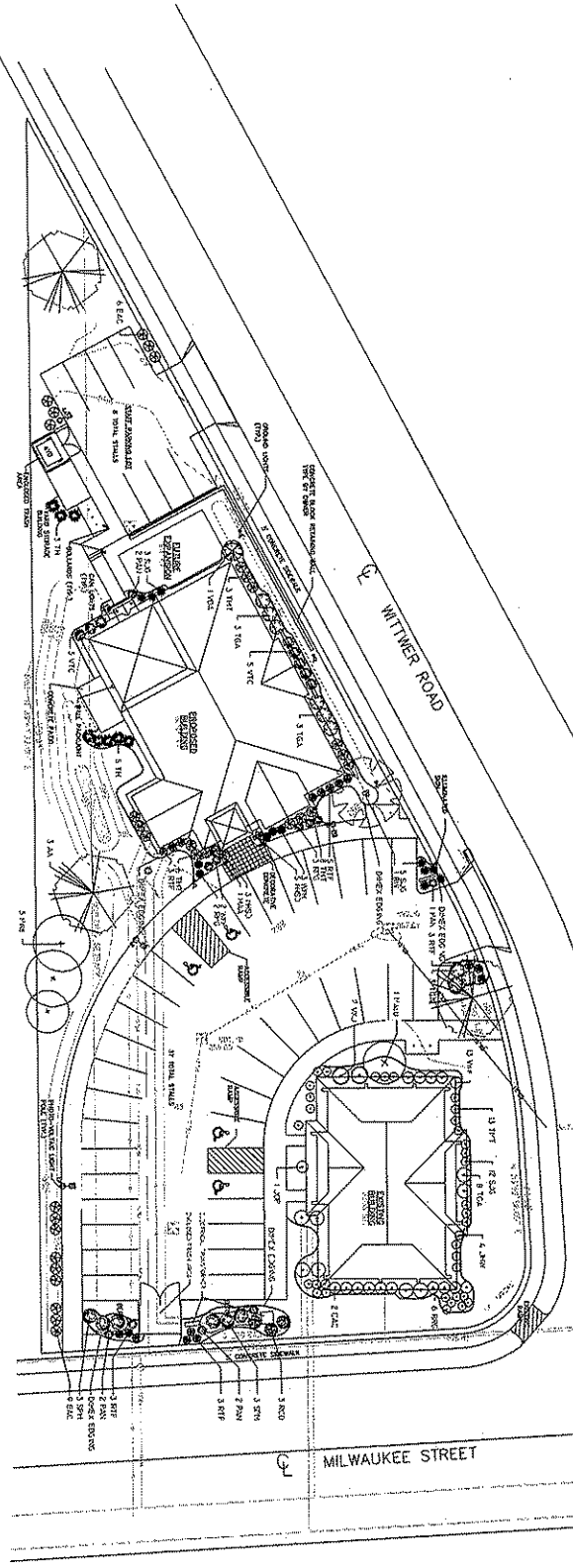
FAX

262-250-9740

WEB SITE

[www.kellerbuilds.com](http://www.kellerbuilds.com)

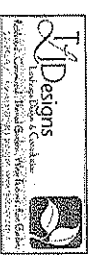
PROPOSED BUILDING FOR --  
**DR. ROBB WARREN**  
 MADISON, WISCONSIN



**PLANT SCHEDULE**

NO.	SYMBOL	PLANT SPECIES	QUANTITY
1	1.00	PLANT SPECIES	1
2	2.00	PLANT SPECIES	2
3	3.00	PLANT SPECIES	3
4	4.00	PLANT SPECIES	4
5	5.00	PLANT SPECIES	5
6	6.00	PLANT SPECIES	6
7	7.00	PLANT SPECIES	7
8	8.00	PLANT SPECIES	8
9	9.00	PLANT SPECIES	9
10	10.00	PLANT SPECIES	10
11	11.00	PLANT SPECIES	11
12	12.00	PLANT SPECIES	12
13	13.00	PLANT SPECIES	13
14	14.00	PLANT SPECIES	14
15	15.00	PLANT SPECIES	15
16	16.00	PLANT SPECIES	16
17	17.00	PLANT SPECIES	17
18	18.00	PLANT SPECIES	18
19	19.00	PLANT SPECIES	19
20	20.00	PLANT SPECIES	20
21	21.00	PLANT SPECIES	21
22	22.00	PLANT SPECIES	22
23	23.00	PLANT SPECIES	23
24	24.00	PLANT SPECIES	24
25	25.00	PLANT SPECIES	25
26	26.00	PLANT SPECIES	26
27	27.00	PLANT SPECIES	27
28	28.00	PLANT SPECIES	28
29	29.00	PLANT SPECIES	29
30	30.00	PLANT SPECIES	30
31	31.00	PLANT SPECIES	31
32	32.00	PLANT SPECIES	32
33	33.00	PLANT SPECIES	33
34	34.00	PLANT SPECIES	34
35	35.00	PLANT SPECIES	35
36	36.00	PLANT SPECIES	36
37	37.00	PLANT SPECIES	37
38	38.00	PLANT SPECIES	38
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43	43.00	PLANT SPECIES	43
44	44.00	PLANT SPECIES	44
45	45.00	PLANT SPECIES	45
46	46.00	PLANT SPECIES	46
47	47.00	PLANT SPECIES	47
48	48.00	PLANT SPECIES	48
49	49.00	PLANT SPECIES	49
50	50.00	PLANT SPECIES	50

PLANNERS | ARCHITECTS | BUILDERS



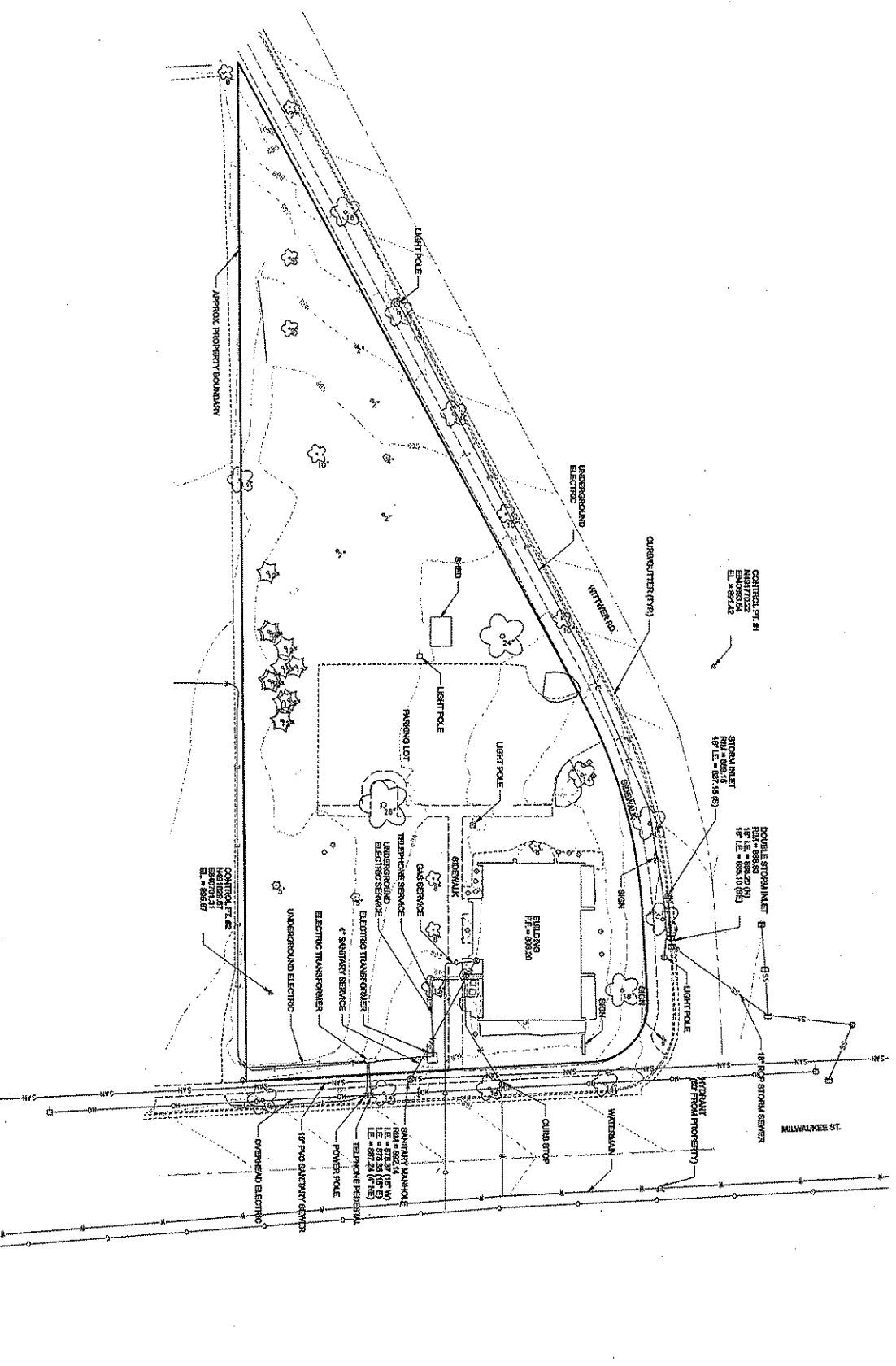
**PROPOSED BUILDING FOR:**  
**DR. ROBB WARREN**  
 MADISON, WISCONSIN

**PLANNERS | ARCHITECTS | BUILDERS**

**Keller**

19

# EXISTING SITE & UTILITY PLAN



PROJECT MANAGER	J. CALDER
DESIGNER	S. GOSWAMI
DRAWN BY	S. GOSWAMI
DATE	
REVISIONS	
APPROVED BY	
DATE	

**PROPOSED BUILDING FOR:**  
**DR. ROBB WARREN**  
 MADISON, WISCONSIN

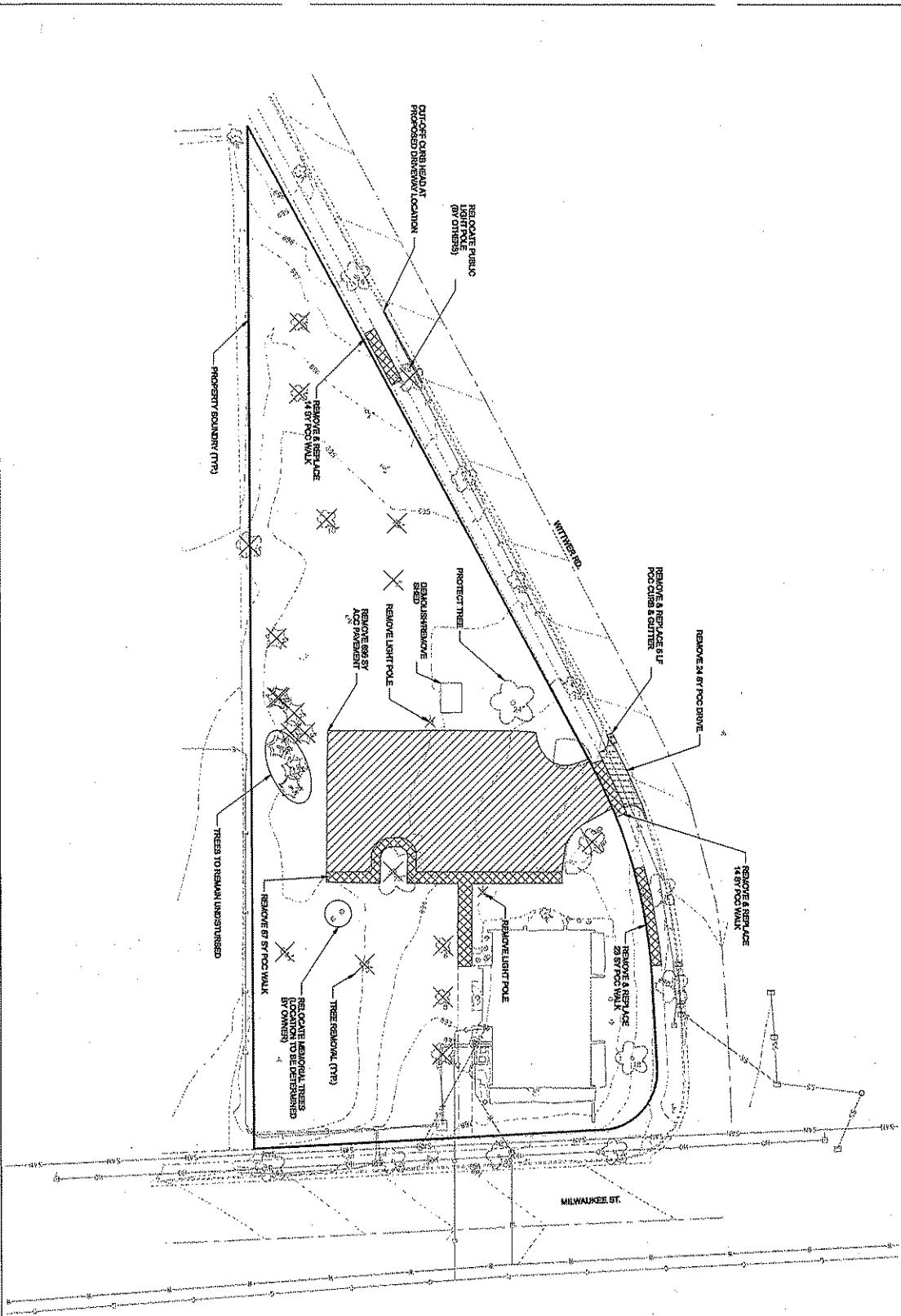
**MSA**  
 MSA ENGINEERING & ARCHITECTURE  
 1000 UNIVERSITY AVENUE  
 MADISON, WISCONSIN 53706  
 TEL: 608/263-1100  
 FAX: 608/263-1101  
 WWW.MSAENGINEERING.COM

**Keller**  
 KELLER ENGINEERING & ARCHITECTURE  
 1000 UNIVERSITY AVENUE  
 MADISON, WISCONSIN 53706  
 TEL: 608/263-1100  
 FAX: 608/263-1101  
 WWW.KELLERENGINEERING.COM

**CONTRACT NO.**  
**DATE**  
**SCALE**  
**PROJECT NO.**  
**DATE**

A1.0

# SITE DEMOLITION PLAN



**Keller**  
 PLANNING | ARCHITECTURE | INTERIORS  
 1000 E. MICHIGAN ST., SUITE 200  
 MADISON, WI 53703  
 TEL: 608.261.1111  
 WWW.KELLERGROUP.COM

**MSA**  
 MASONRY SURVEILLANCE ASSOCIATION  
 1000 E. MICHIGAN ST., SUITE 200  
 MADISON, WI 53703  
 TEL: 608.261.1111  
 WWW.MSA-USA.COM

**PROPOSED BUILDING FOR:**  
**DR. ROBB WARREN**  
 MADISON, WISCONSIN

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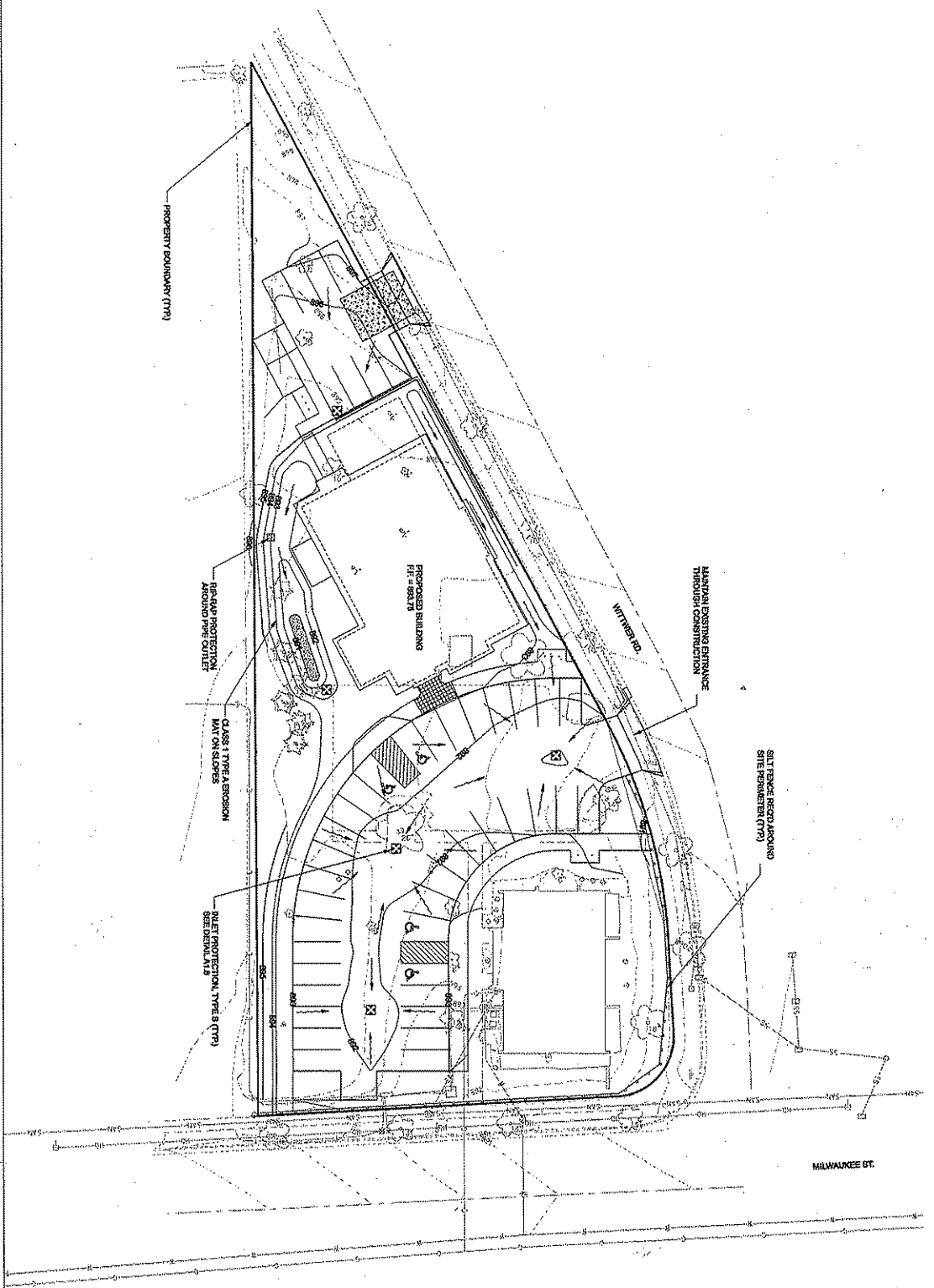
PROJECT MANAGER	J. GILLES
DESIGNER	A. GONZALEZ
DRAWN BY	S. GONZALEZ
DATE	1/20
SCALE	AS SHOWN
PROJECT NO.	200007
CONTRACT NO.	
DATE	1/20
REVISION	

**A1.1**





# SITE EROSION CONTROL PLAN



**PROPOSED BUILDING FOR:**

**DR. ROBB WARREN**

MADISON, WISCONSIN

**NOTICE:** THIS PLAN IS THE PROPERTY OF MSA AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF MSA.

**DATE:** 10/1/03

**PROJECT MANAGER:** J. CALLEN

**DESIGNER:** S. CHRISTENSEN

**CHECKED BY:** S. CHRISTENSEN

**APPROVED BY:** S. CHRISTENSEN

**DATE:** 10/1/03

**PROJECT NO.:** 03001

**CLIENT NO.:** 100

**SCALE:** AS SHOWN

**Keller**

PLANNING / ARCHITECTURE / INTERIORS

1000 W. MICHIGAN ST. SUITE 200  
ANN ARBOR, MI 48106  
TEL: 734.769.1234  
FAX: 734.769.1235  
WWW.KELLERUSA.COM

**MSA**

MUNICIPAL SERVICES ASSOCIATES  
1000 W. MICHIGAN ST. SUITE 200  
ANN ARBOR, MI 48106  
TEL: 734.769.1234  
FAX: 734.769.1235  
WWW.MSA-ANNARBOR.COM

**MSA**

MUNICIPAL SERVICES ASSOCIATES  
1000 W. MICHIGAN ST. SUITE 200  
ANN ARBOR, MI 48106  
TEL: 734.769.1234  
FAX: 734.769.1235  
WWW.MSA-ANNARBOR.COM

A1.3



# SITE UTILITY PLAN



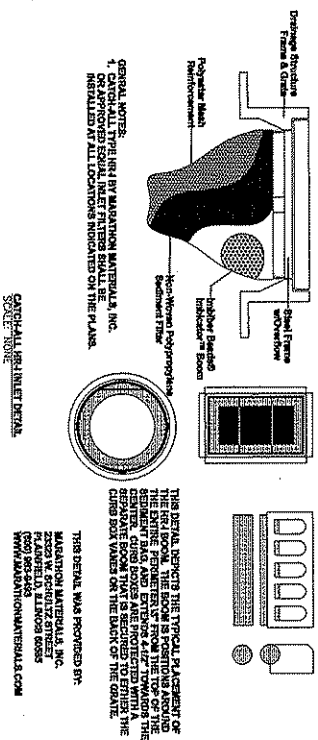
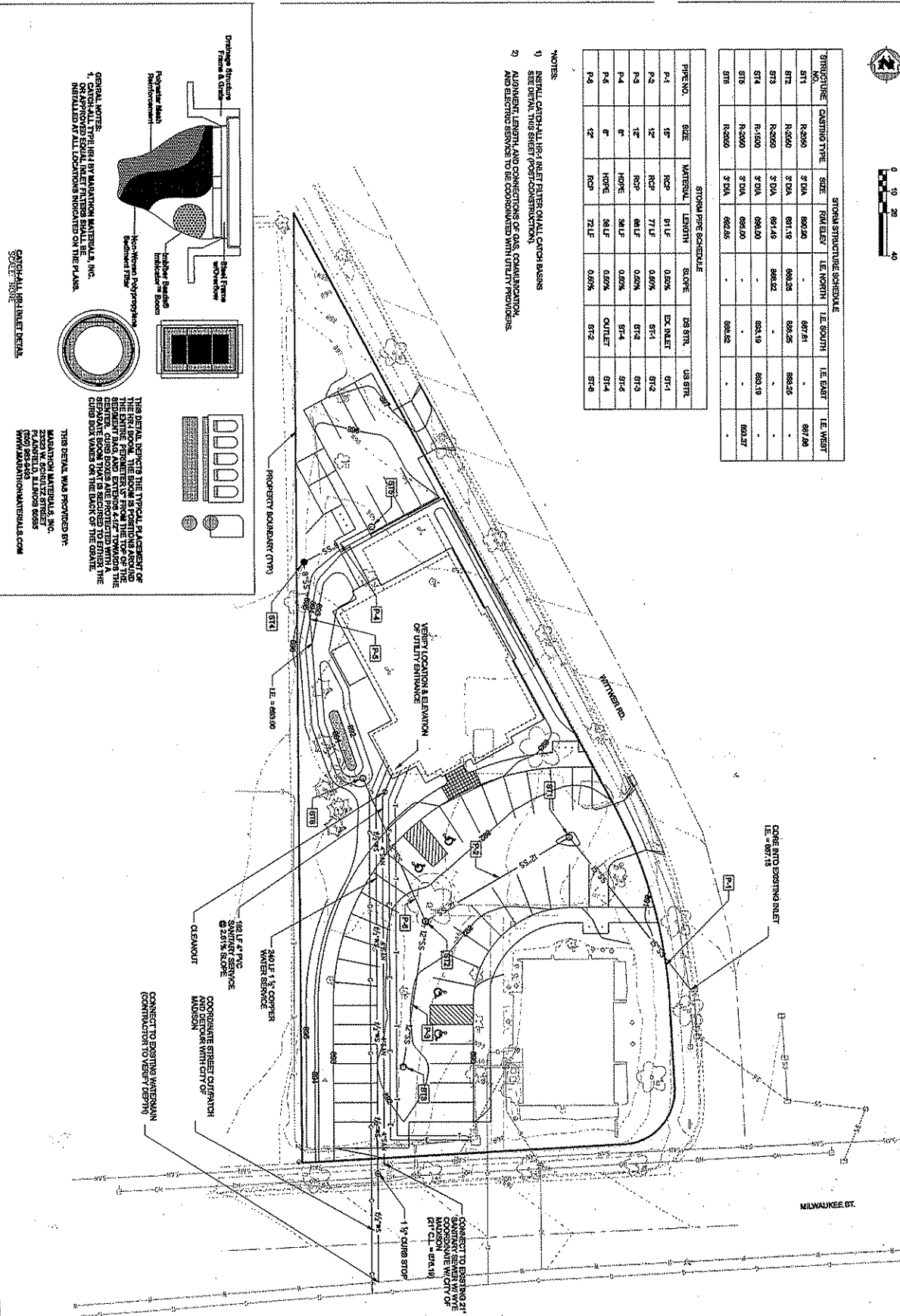
STORM STRUCTURE SCHEDULE

STRUCTURE	CASTING TYPE	SIZE	RM ELEV	IE NORTH	IE SOUTH	IE EAST	IE WEST
ST1	R-2000	3' DIA	860.20	-	867.21	-	867.80
ST2	R-2250	3' DIA	861.18	862.25	-	863.25	-
ST3	R-2250	3' DIA	861.18	862.22	-	-	-
ST4	R-1500	3' DIA	861.18	-	863.19	863.18	-
ST5	R-2000	3' DIA	862.00	-	-	-	863.27
ST6	R-2000	3' DIA	862.25	-	862.25	-	-

STORM PIPE SCHEDULE

PIPE NO.	SIZE	MATERIAL	LENGTH	SLOPE	DS STR.	US STR.
P-1	15"	RCP	51 LF	0.29%	EX INLET	ST-1
P-2	12"	RCP	77 LF	0.29%	ST-1	ST-2
P-3	12"	RCP	48 LF	0.29%	ST-2	ST-3
P-4	6"	HDPPE	38 LF	0.29%	ST-4	ST-5
P-5	6"	HDPPE	38 LF	0.29%	OUTLET	ST-4
P-6	12"	RCP	72 LF	0.29%	ST-2	ST-6

- NOTES:
- INSTALL CATCHALL RAIN INLET FILTER ON ALL CATCH BASINS PER DETAIL, THIS SHEET (POST CONSTRUCTION).
  - ALIGNMENT, LENGTH AND CONNECTIONS OF GAS, COMMUNICATION, AND ELECTRIC SERVICE TO BE COORDINATED WITH UTILITY PROVIDERS.



**PROPOSED BUILDING FOR:**  
**DR. ROBB WARREN**  
 MADISON, WISCONSIN

**MSA**  
 1000 W. WISCONSIN STREET  
 MADISON, WI 53706  
 TEL: 608.261.1111  
 FAX: 608.261.1112

**Keller**  
 PLANNING (ARCHITECTURE) ENGINEERS  
 1000 W. WISCONSIN STREET  
 MADISON, WI 53706  
 TEL: 608.261.1111  
 FAX: 608.261.1112

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**REVISIONS**

NO.	DATE	DESCRIPTION
1	04/15/10	ISSUED FOR PERMITS

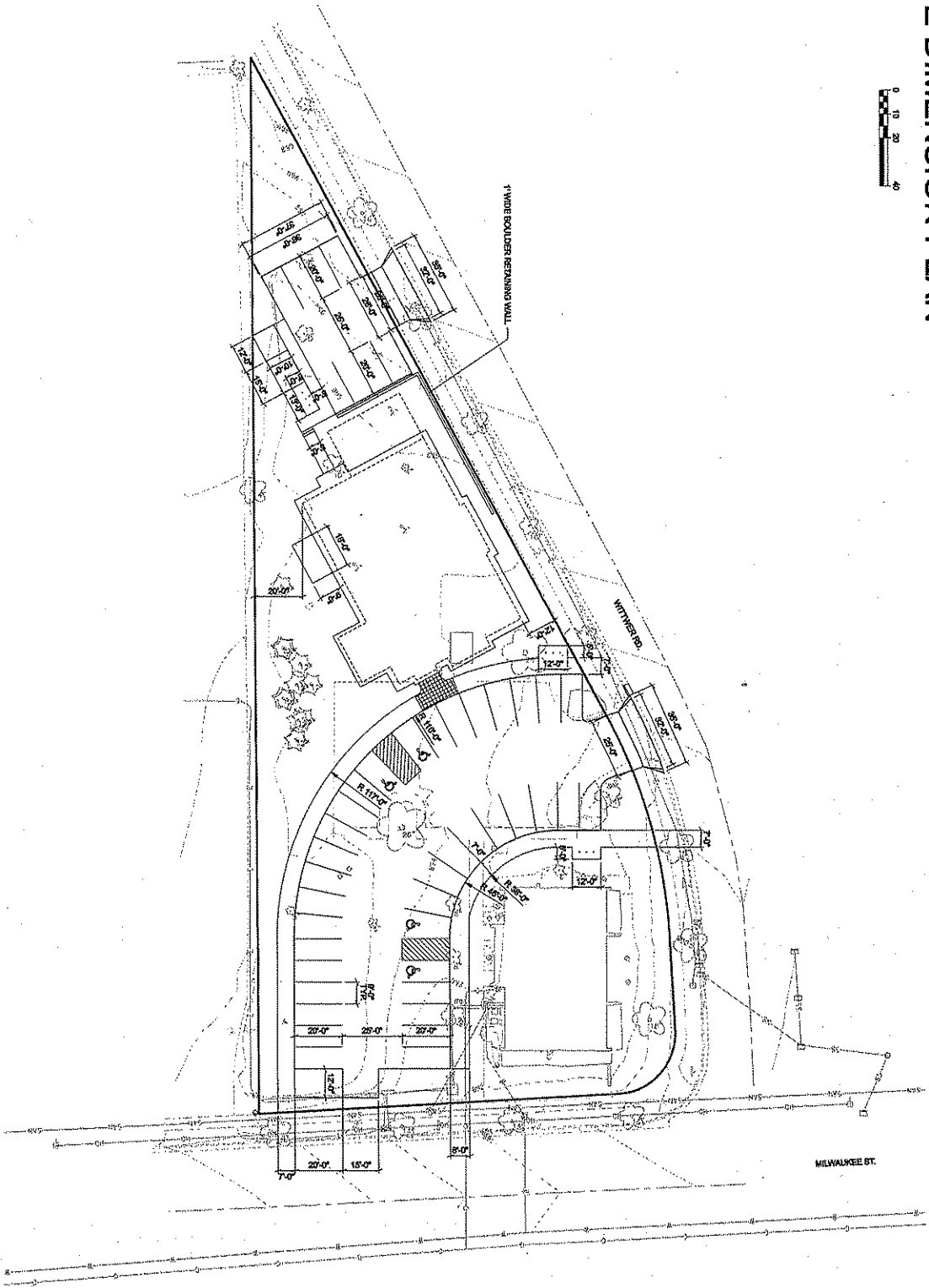
**PROJECT MANAGER:** J. CALDER  
**DESIGNER:** J. CALDER  
**CHECKER:** J. CALDER  
**DATE:** 04/15/10  
**SCALE:** AS SHOWN  
**APPROVED:** J. CALDER  
**PERMITTEE:** MSA  
**CONTROL NO.:** 1000  
**DATE:** 04/15

**A1.5**





# SITE DIMENSION PLAN



A17

OWNER	
DATE	4/9
CONTRACT NO.	
PERMIT/AGENT NO.	10000
OPERATIONS	
EXPERIENCE	
2010 BY SV & OPERATIONS	
PROJECT MANAGER	S. GILLES
SPECIALIST	S. FERGUSON
DATE BY SV & OPERATIONS	
EXPERIENCE	
OPERATIONS	
PERMIT/AGENT NO.	10000
CONTRACT NO.	
DATE	4/9
OWNER	

**PROPOSED BUILDING FOR:**  
**DR. ROBB WARREN**  
 MADISON, WISCONSIN

**Keller**  
 PLANNING | ARCHITECTURE | INTERIORS  
 10000 W. WISCONSIN AVENUE, SUITE 100  
 MILWAUKEE, WI 53227  
 TEL: 414.224.1000  
 FAX: 414.224.1001  
 WWW.KELLERGROUP.COM

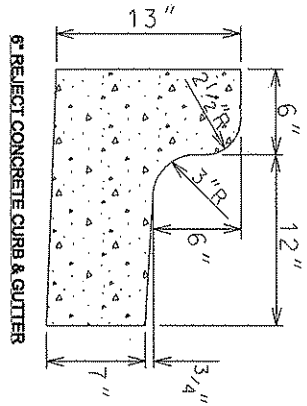
**HSA**  
 HSA ARCHITECTURE  
 10000 W. WISCONSIN AVENUE, SUITE 100  
 MILWAUKEE, WI 53227  
 TEL: 414.224.1000  
 FAX: 414.224.1001  
 WWW.HSAARCHITECTURE.COM



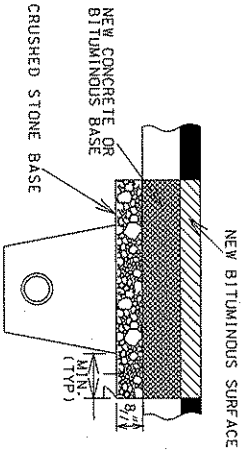




# MISCELLANEOUS DETAILS



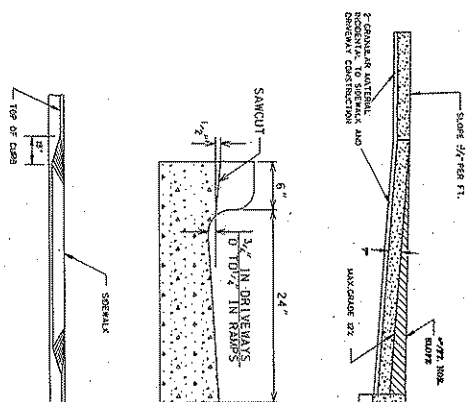
**TYPE II**  
CONCRETE WITH BITUMINOUS OVERLAY



**TYPE II UTILITY TRENCH PATCH**  
THE PATCH SHALL BE 7" HIGH EARLY STRENGTH CONCRETE BASE WITH THE SAME REINFORCEMENT AS THE EXISTING CONCRETE BASE, OVERLAP WITH THE BITUMINOUS SURFACE COURSE WHERE SPECIFIED, OR DIRECTED BY THE ENGINEER. THE BASE SHALL BE CONSTRUCTED OF BITUMINOUS BASE COURSE SHALL BE LAID IN TWO OR MORE COMPACTED LIFTS OF NOT MORE THAN 3" IN THICKNESS EACH.

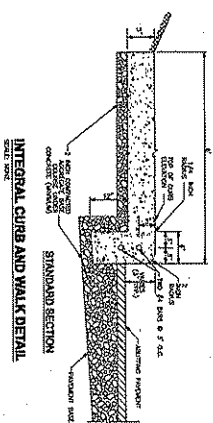
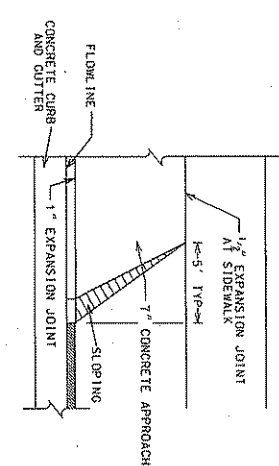
THE PAVEMENT ALONG THE PATCH SHALL BE SAWCUT FULL DEPTH, AND THE PATCH AND THE SURFACE OF THE PATCH SHALL BE VERTICAL, FREE OF LOOSE STONES OR CONCRETE PIECES, AND SHALL BE THOROUGHLY WETTED JUST PRIOR TO POURING THE NEW CONCRETE BASE. THE TOP OF THE NEW CONCRETE OR BITUMINOUS BASE SHALL BE FLUSH WITH THE TOP OF THE EXISTING CONCRETE BASE.

THE BITUMINOUS SURFACE COURSE SHALL BE OF THE SAME THICKNESS AS THE EXISTING BITUMINOUS OVERLAY AND SHALL BE LAID IN ONE OR MORE COURSES AS DIRECTED BY THE ENGINEER. THE BITUMINOUS SURFACE COURSE SHALL BE MACHINE LAID WHERE DIRECTED BY THE ENGINEER. NOT MORE THAN 9" BITUMINOUS SURFACE COURSE THICKNESS MAY BE LAID IN ONE LIFT.

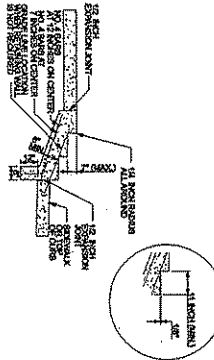


PROFILE

COMMERCIAL DRIVEWAY DETAIL



INTEGRAL CURB AND WALK DETAIL



- GENERAL NOTES:**
1. THE DETAIL SHALL BE USED FOR FINISHING OF THESE REVISIONS ONLY.
  2. THE WIDTH OF CURB SHALL MATCH THE ADJACENT SIDEWALK, BUT SHALL NOT BE LESS THAN 4 FEET 6 INCHES.
  3. TRENCHES AND ROSSERS SHALL BE SAWCUT.
  4. BAR STEEL REINFORCEMENT SHALL BE EMBEDDED 12 INCHES CLEAR.
  5. BAR STEEL REINFORCEMENT SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE SPECIFICATION.
  6. BAR STEEL REINFORCEMENT SHALL BE FREE OF ALL OIL AND ALL SCALE.
  7. CONCRETE ACCESSORIES OF EXPANSION JOINT MATERIAL AND CURB AND GUTTER COMPARED SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE SPECIFICATION.
- CONCRETE STEPS DETAIL**  
SCALE: NONE

PROPOSED BUILDING FOR:

## DR. ROBB WARREN

MADISON, WISCONSIN

**Keller**  
CONSTRUCTION SERVICES

**MSA**  
CONSTRUCTION SERVICES

**COMPLIMENT NOTICE**

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PROJECT NUMBER	A. 0428
DATE	6. 02. 2008
DESIGNED BY	A. 0428
CHECKED BY	A. 0428
APPROVED BY	A. 0428
SCALE	AS SHOWN
DATE	6. 02. 2008
PROJECT NO.	428
SCALE	AS SHOWN

A110

**GENERAL NOTES:**

1. CALL DIGGERS NOTICE AT 800 242-6581 PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY UTILITIES.
2. INSTALL EROSION CONTROL MEASURES PRIOR TO INITIATION OF ANY SITE WORK.
3. THE CONTRACTOR SHALL COMPLY IN ALL WAYS WITH THE REQUIREMENTS OF THE FOLLOWING PERMITS:
  - a. DEPARTMENT OF COMMERCE EROSION CONTROL AND STORMWATER NOTICE OF INTENT
  - b. STATE PREPARATION FILL PLACEMENT SUB BASE PREPARATION, BUILDING PAD PREPARATION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATION.
  - c. REFER TO ASSOCIATED ARCHITECTURAL DRAWINGS FOR DETAIL DIMENSIONS OF PROPOSED BUILDING, PROPOSED ARCHITECTURAL FEATURES AND CONCRETE WORK SURROUNDING BUILDING.
  - d. VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD IF ANY ERRORS OR DISCREPANCIES OR CONFLICTS ARE FOUND. BRING TO THE ATTENTION OF THE PROJECT ENGINEER PRIOR TO OR BEFORE ANY COMMENCEMENT OF THE WORK AFFECTED SO THAT CLARIFICATION OR CORRECTION MAY OCCUR.
  - e. CONTACT UTILITY COMPANIES PRIOR TO INITIATION OF WORK.

**GENERAL UTILITY NOTES:**

1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR THE ENGINEER FOR THEIR OWN ACCURACY OR COMPLETENESS. SUBCONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO CONSTRUCT THEREIN. CALL DIGGERS NOTICE AT 800 242-6581 PRIOR TO ANY CONSTRUCTION.
2. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE SECTION OF THE MOST RECENT EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY WATER CONSTRUCTION IN WISCONSIN AND THE DEPT. OF COMMERCE SPECIFICATIONS.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
4. VERIFY ALL ELEVATIONS, LOCATIONS AND SIZES OF EXISTING SANITARY WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.

**SEWER AND WATER CONSTRUCTION WORK:**

1. ALL SEWER AND WATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND THE DEPT. OF COMMERCE SPECIFICATIONS.
2. PILING AND SEWER SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE DEPARTMENT OF COMMERCE CHAPTER COAM 82 AND COAM 84 OF THE WISCONSIN ADMINISTRATIVE CODE.
3. SEWER AND WATER CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH NR 10 AND NR 81 OF THE WISCONSIN ADMINISTRATIVE CODE.
4. VERIFY ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY WATER AND STORM MAINS & LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL MANHOLES, INLETS, CLEANOUTS, PIPE MATERIALS, ENDWALLS, FITTINGS, VALVES, ETC PRIOR TO CONSTRUCTION. SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL.

**STORM SEWER NOTES:**

1. PIPE MATERIAL - HIGH DENSITY POLYETHYLENE PIPE UNREINFORCED CONCRETE PIPE RECP SHALL MEET THE REQUIREMENTS OF COAM 84 AND SECTIONS 604, 606, AND 630 OF THE STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
  2. BACKFILL AND BEDDING - BACKFILLING AND BEDDING SHALL BE IN ACCORDANCE WITH "CLASS B - RIGID PIPE EMBEDMENT DETAIL." BACKFILL SHALL BE SPREAD AND COMPACTED UNIFORMLY IN 8-INCH LIFTS TO AT LEAST 90 PERCENT MODIFIED PROCTOR (ASTM D1557) BELOW A MINIMUM OF 3 FEET FROM THE PROPOSED PAVEMENT SURFACE. COMPACT TO 95 PERCENT MODIFIED PROCTOR (ASTM D1557) AT DEPTHS WITHIN 5 FEET OF THE PROPOSED PAVEMENT SURFACE.
  3. CLEANOUTS - SUBCONTRACTOR SHALL INSTALL CLEANOUTS AND/OR MANHOLES IN ACCORDANCE WITH COAM 82.35.
- SANITARY SEWER NOTES:**
1. PIPE MATERIAL - SANITARY SEWER PIPE SHALL BE POLYVINE CHLORIDE (PVC) SDR-35 WITH ELASTOMER JOINTS AND MEET THE REQUIREMENTS OF COAM 84.
  2. BACKFILLING AND BEDDING - SHALL BE IN ACCORDANCE WITH "CLASS B - FLEXIBLE PIPE EMBEDMENT DETAIL." BACKFILL SHALL BE SPREAD AND COMPACTED UNIFORMLY IN 8-INCH LIFTS TO AT LEAST 90 PERCENT MODIFIED PROCTOR (ASTM D1557) BELOW A MINIMUM OF 3 FEET FROM THE PROPOSED PAVEMENT SURFACE. COMPACT TO 95 PERCENT MODIFIED PROCTOR (ASTM D1557) AT DEPTHS WITHIN 5 FEET OF THE PROPOSED PAVEMENT SURFACE.
  3. CLEANOUTS - SUBCONTRACTOR SHALL INSTALL CLEANOUTS AND/OR MANHOLES IN ACCORDANCE WITH COAM 82.35.

**WATERMAIN NOTES:**

1. SERVICES - ALL SERVICE LINES FOR WATER MAIN SHALL BE TYPE "K" COPPER TUBING AND SHALL CONFORM TO ANWA C604, CORPORATION STOPS SHALL CONFORM TO ANWA C604 FOR COPPER SERVICE LINES. CURB STOPS SHALL BE DESIGNED FOR USE WITH COPPER SERVICE LINES AND SHALL CONFORM TO ANWA C604. CURB STOPS SHALL BE PROVIDED WITH A CURB BOX. SERVICE LINES SHALL BE CONNECT TO WATER MAIN WITH A SADDLE TYPE CONNECTION. SERVICE SADDLES SHALL HAVE A 250 PSI PRESSURE RATING.
2. THE WATERMAIN SHALL BE PLACED AT A DEPTH AS TO PREVENT FREEZING. PROVIDE A MINIMUM OF 6.5 FEET OF COVER OVER THE TOP OF PIPE.
3. REGULATION SHALL BE INSTALLED IF COVER OVER THE TOP OF PIPE IS LESS THAN 6.5 FEET AND ALL REGS. SHALL BE INSTALLED WHERE STORM SEWER CROSSES THE WATER MAIN. SEE INSULATION DETAIL FOR INSTALLATION INSTRUCTIONS.
4. THRUST RESTRAINING - GLANDS, MEGA LUGS OR APPROVED EQUAL ARE REQUIRED FOR ALL BENDS, CAPS, FLUGS, TEES, AND VALVES ADJACENT TO TEES. RESTRAINING GLANDS SHALL BE MEGA-LUGS OR APPROVED EQUAL.
5. PROVIDE A CONCRETE BUTTRESS WITH CONCRETE BLOCKS AT ALL BENDS, CAPS, FLUGS, AND TEES. SEE BUTTRESS DETAILS FOR INSTALLATION REQUIREMENTS.
6. BACKFILLING AND BEDDING - SHALL BE IN ACCORDANCE WITH "CLASS B - FLEXIBLE PIPE EMBEDMENT DETAIL." BACKFILL SHALL BE SPREAD AND COMPACTED UNIFORMLY IN 8-INCH LIFTS TO AT LEAST 90 PERCENT MODIFIED PROCTOR (ASTM D1557) BELOW A DEPTH OF 5 FEET FROM THE PROPOSED PAVEMENT SURFACE. COMPACT TO 95 PERCENT MODIFIED PROCTOR (ASTM D1557) AT DEPTHS WITHIN 5 FEET OF THE PROPOSED PAVEMENT SURFACE.
7. VERTICAL SEPARATION - IF A PRIVATE WATERMAIN OR A WATER SERVICE CROSSES A SANITARY SEWER, THE WATERMAIN WITHIN 10 FEET OF THE POINT OF CROSSING SHALL BE INSTALLED:
  - a. AT LEAST 12" ABOVE THE "TOP" OF SEWER FROM THE BOTTOM OF THE WATERMAIN;
  - b. AT LEAST 18" BELOW THE BOTTOM OF THE SEWER FROM THE TOP OF THE WATERMAIN.
8. HORIZONTAL SEPARATION - PRIVATE WATERMAIN AND WATER SERVICES 2'-1/2" OR LARGER IN DIAMETER SHALL BE INSTALLED AT LEAST 8 FEET HORIZONTALLY FROM ANY SANITARY OR STORM SEWER. THE DISTANCE SHALL BE MEASURED FROM CENTER TO CENTER OF PIPE.

**EARTHWORK AND GRADING NOTES:**

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. VERIFY ALL GRADES. MAKE SURE ALL AREAS DRAIN PROPERLY, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.

**SIDEWALK NOTES:**

1. SIDEWALKS SHALL BE CONSTRUCTED WITH A UNIFORM CONCRETE THICKNESS OF 4-INCHES. CONCRETE SIDEWALK SHALL BE 7-INCHES THICK AT DRIVEWAYS.
2. A MINIMUM OF 6 INCHES OF BASE COURSE SHALL BE PROVIDED BENEATH THE SIDEWALK.
3. PROVIDE A MINIMUM OF 2% CROSS SLOPE ON ALL SIDEWALKS.


**ASPHALTIC CONCRETE PAVING NOTES:**

1. CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN GENERAL ACCORDANCE WITH THE REQUIREMENTS OF PART 4 OF THE CITY OF MADISON STANDARDS SPECIFICATIONS.
2. WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50 DEGREE FAHRENHEIT AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35 DEGREE FAHRENHEIT FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS MOISTURE.
3. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40 DEGREE FAHRENHEIT AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30 DEGREE FAHRENHEIT AND WINDS.
4. GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION OPERATIONS.
5. DENSE GRADED BASED COURSE GRANULATION NO.2 1/2" MAX SIZE, CRUSHED AGGREGATE. BASE SHALL BE NINE (9) INCHES IN DEPTH.
6. ASPHALT PAVEMENTS SHALL BE CONSTRUCTED OF THREE (3) INCHES OF UPPER LAYER PAVEMENT INSTALLED IN ONE (1) LIFT, ONE (1) INCHES OF MIDDLE LAYER PAVEMENT INSTALLED IN ONE (1) LIFT, AND ONE (1) INCHES OF LOWER LAYER PAVEMENT INSTALLED IN ONE (1) LIFT. TOTAL THICKNESS SHALL BE 9.5 INCHES. INDIVIDUAL AGGREGATE SIZE ON AN APPROVED COMMERICAL MIX SHALL BE USED.
7. SURFACE PREPARATION - CONTRACTOR IS TO NOTIFY ENGINEER OF UNSATISFACTORY CONDITIONS. A PROOF ROLL TEST W/ A TEN-AXLE TRUCK LOADED TRUCK SHALL BE PERFORMED ON THE SUBBASE AND BASE COURSE. DO NOT BEGIN PAVING WORK UNTIL AREAS THAT FAILED THE PROOF ROLL TEST HAVE BEEN CORRECTED. CONTRACTOR IS TO NOTIFY ENGINEER TO PERFORM A PROOF ROLL TEST.

**PROPOSED BUILDING FOR:**

# DR. ROBB WARREN

MADISON, WISCONSIN



**Keller**

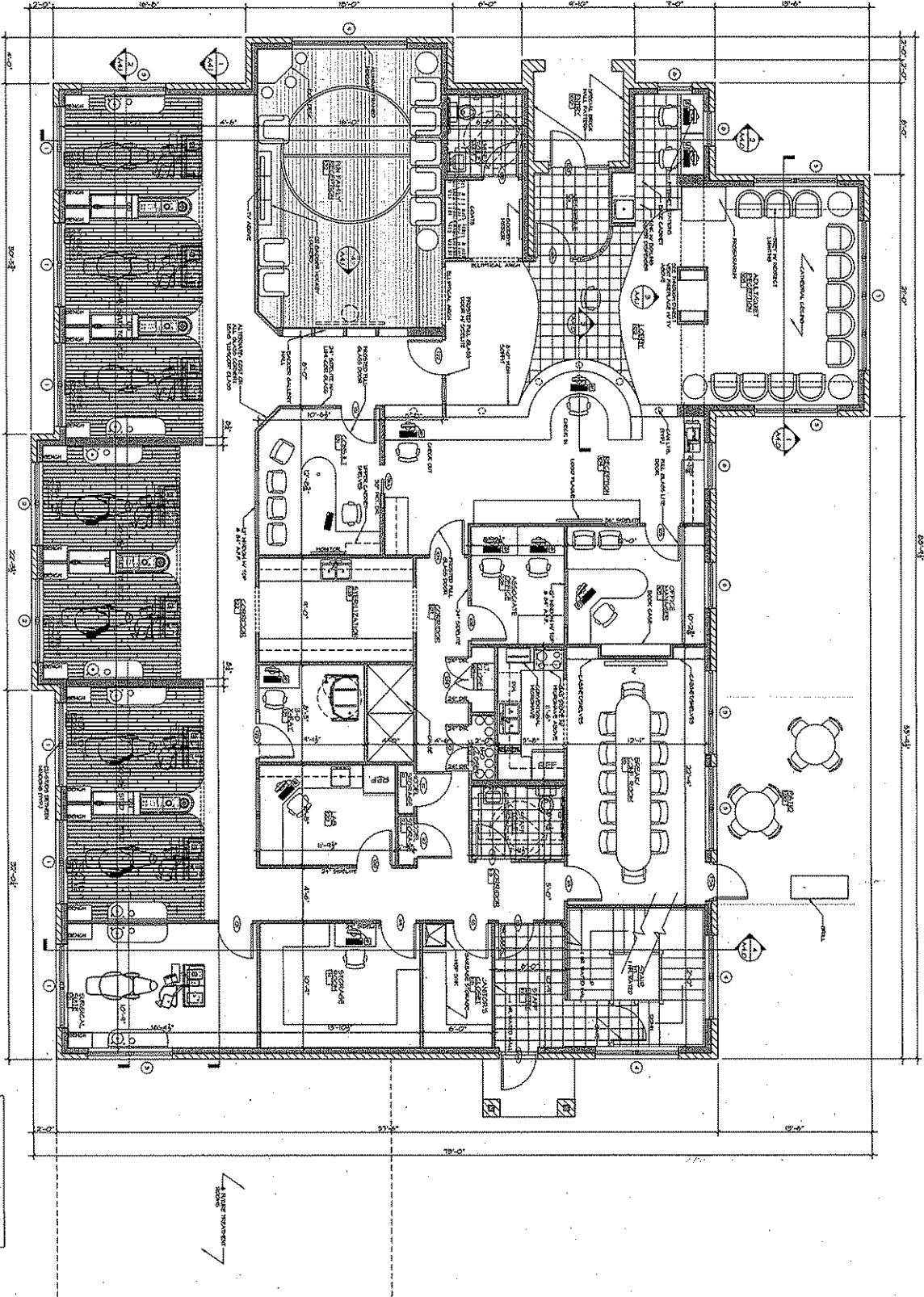
Professional Engineering Services

1000 East Main Street, Suite 200  
Madison, WI 53703  
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DATE	4/11	DRAWN BY	A.111	CHECKED BY	A.111
PROJECT NUMBER	11111	DATE	4/11	SCALE	AS SHOWN
PROJECT NAME	11111	DATE	4/11	SCALE	AS SHOWN
PROJECT LOCATION	11111	DATE	4/11	SCALE	AS SHOWN
PROJECT DESCRIPTION	11111	DATE	4/11	SCALE	AS SHOWN
PROJECT OWNER	11111	DATE	4/11	SCALE	AS SHOWN
PROJECT ENGINEER	11111	DATE	4/11	SCALE	AS SHOWN
PROJECT ARCHITECT	11111	DATE	4/11	SCALE	AS SHOWN
PROJECT CONTRACTOR	11111	DATE	4/11	SCALE	AS SHOWN



**FLOOR PLAN**  
 04/11/10  
 GROUND FLOOR, 5296 SF.

NOTES:  
 1. SEE SHEETS A10.00 THROUGH A10.05 FOR FLOOR FINISHES.

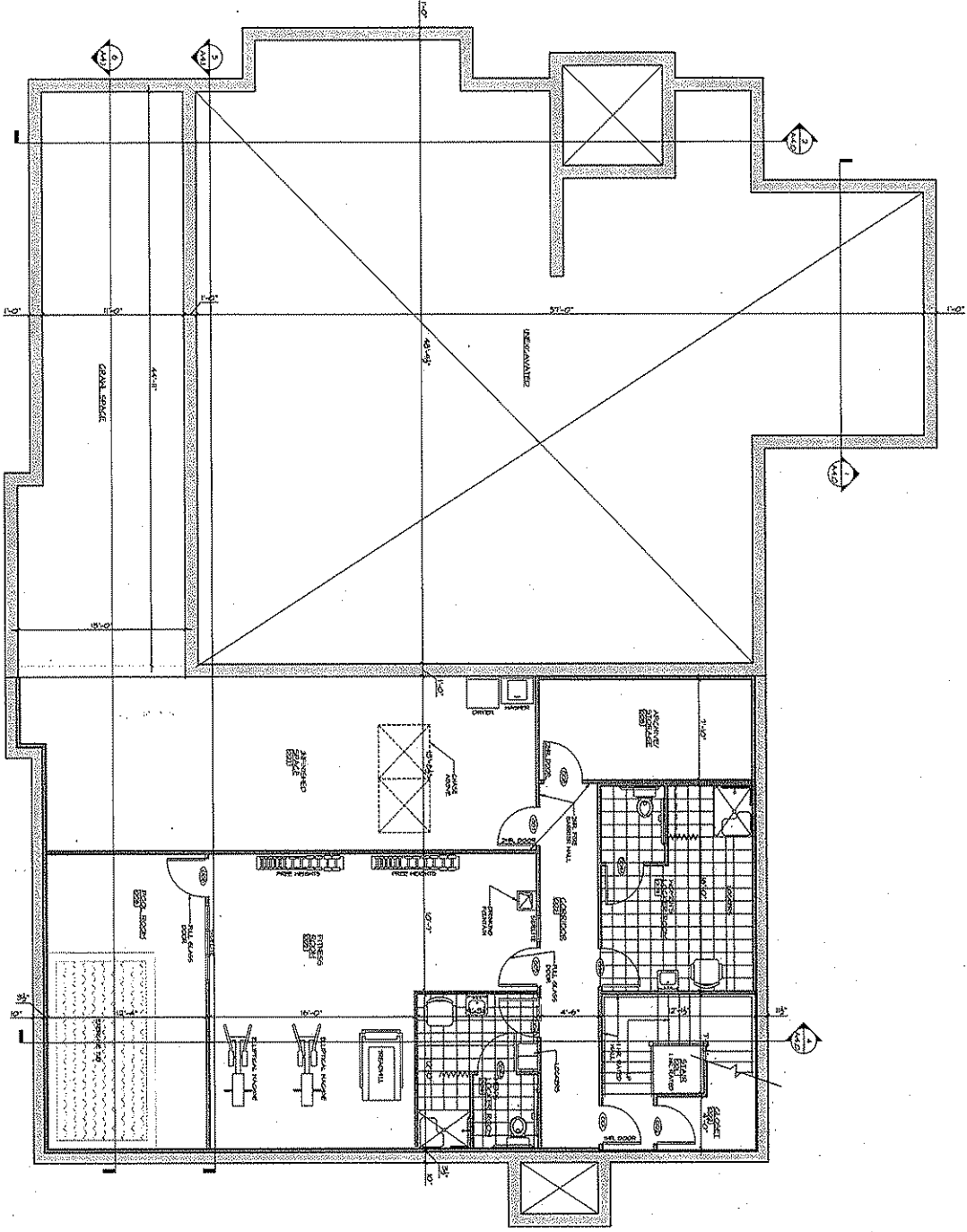
DATE:	07-2-2009
SHEET:	A2.0
PROPOSED BUILDING FOR:	DR. ROBB WARREN
CITY:	MADISON, WISCONSIN
ARCHITECT:	KELLER ASSOCIATES, P.C.
PROJECT MANAGER:	G. DOWNEY
DESIGNER:	A. KELLOGG
PROJECT NO.:	B. VAN CAMP
DATE:	07-2-2009
PROJECT NO.:	100003
CONTRACT NO.:	

**Keller**  
 ARCHITECTS

**PROPOSED BUILDING FOR:**  
**DR. ROBB WARREN**  
 MADISON, WISCONSIN

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 2. SEE SHEETS A11.00 THROUGH A11.05 FOR WALL FINISHES.  
 3. SEE SHEETS A12.00 THROUGH A12.05 FOR CEILING FINISHES.  
 4. SEE SHEETS A13.00 THROUGH A13.05 FOR MECHANICAL FINISHES.  
 5. SEE SHEETS A14.00 THROUGH A14.05 FOR ELECTRICAL FINISHES.  
 6. SEE SHEETS A15.00 THROUGH A15.05 FOR PAINT FINISHES.  
 7. SEE SHEETS A16.00 THROUGH A16.05 FOR FURNITURE FINISHES.  
 8. SEE SHEETS A17.00 THROUGH A17.05 FOR LIGHTING FINISHES.  
 9. SEE SHEETS A18.00 THROUGH A18.05 FOR SOUND FINISHES.  
 10. SEE SHEETS A19.00 THROUGH A19.05 FOR SECURITY FINISHES.



**BASEMENT PLAN**  
 1/4" = 1'-0"  
 BASEMENT FLOOR, 2056 SF.  
 COAL SINKS, 1022 SF.

**PROPOSED BUILDING FOR:**  
**DR. ROBB WARREN**  
 MADISON, WISCONSIN

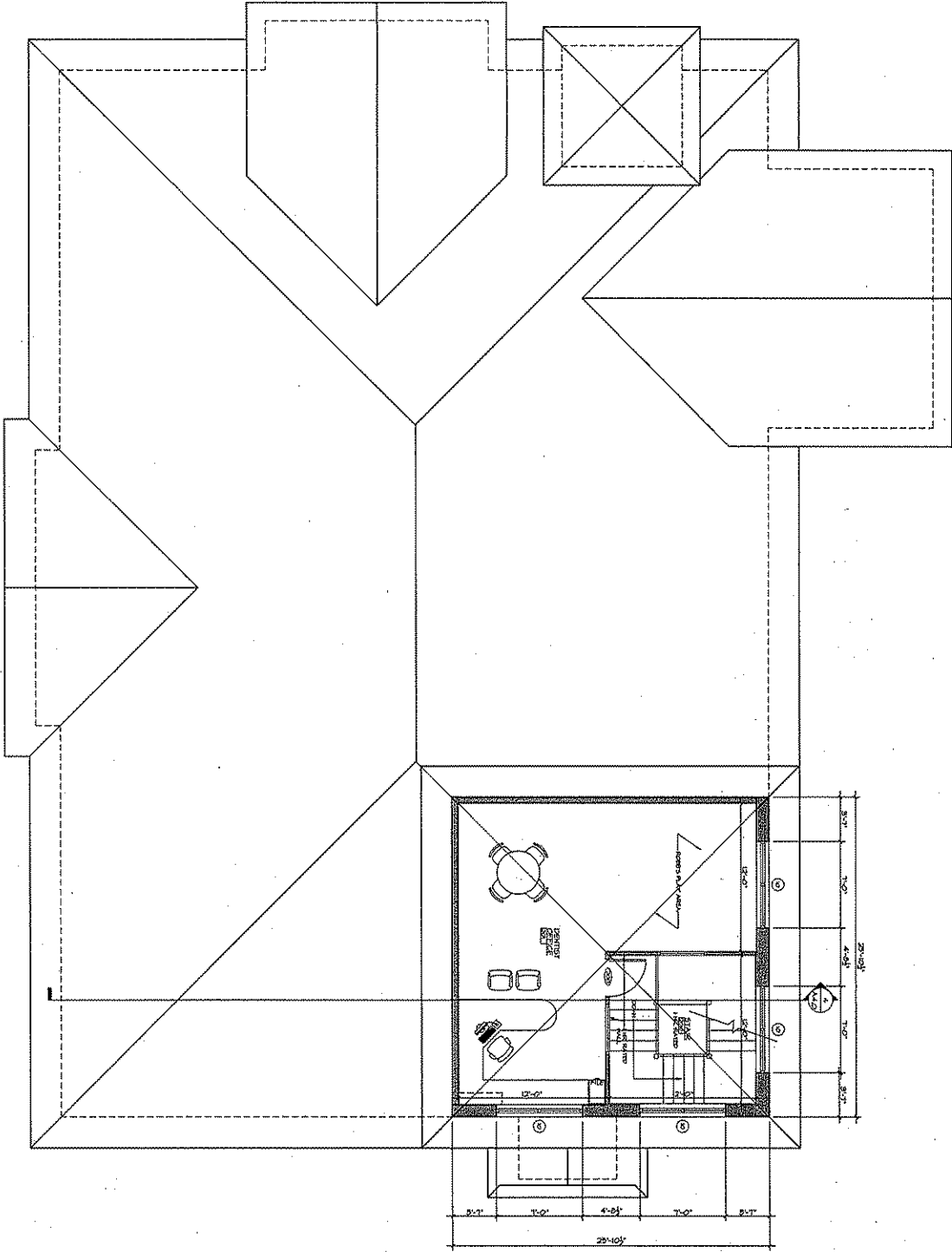
**REVISIONS:**  
 1. CHANGE SINK  
 2. CHANGE SINK  
 3. CHANGE SINK

**PROJECT MANAGER:** G. JOHNSON  
**DESIGNER:** S. HENNING  
**OWNER:** B. VAN CAMP  
**ERECTOR:**  
**DATE:** 09-13-2004  
**SHEET:** A2.1

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**Project Information:**  
 Project Name: DR. ROBB WARREN  
 Project Location: MADISON, WISCONSIN  
 Project No.: 04-001  
 Date: 09-13-2004

**Keller**  
 Construction, Inc.  
 1000 W. MOUNTAIN VIEW  
 MADISON, WI 53706  
 608.261.1111  
 www.kellerconstruction.com



SECOND LEVEL/ROOF PLAN  
 1/2" = 1'-0"  
 SECOND FLOOR, 690 5th

PROPOSED BUILDING FOR:  
**DR. ROBB WARREN**  
 MADISON, WISCONSIN

**CELLING**  
 KELLER  
 PLASTER (ADDITIONAL) FINISHES

**NOTES:**  
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.  
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.  
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PROJECT MANAGER: O. GARAND  
 DESIGNER: S. NIZARD  
 DRAWING BY: B. VAN CAMP  
 EXISTENCE:  
 SURVEYING:  
 INSURANCE NO.: P00021  
 CONTRACT NO.:  
 DATE: 08-12-2001  
 SHEET: A2.2

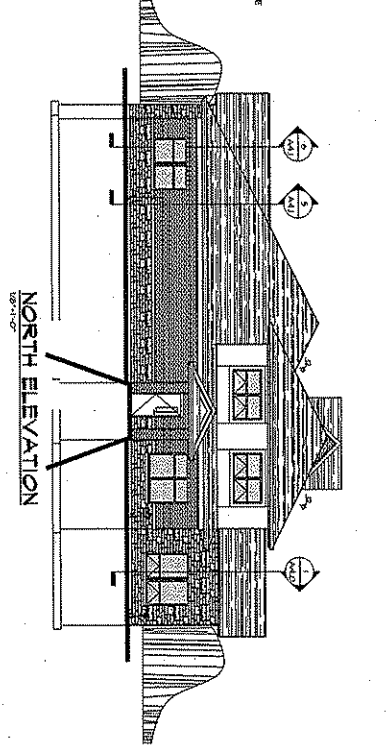
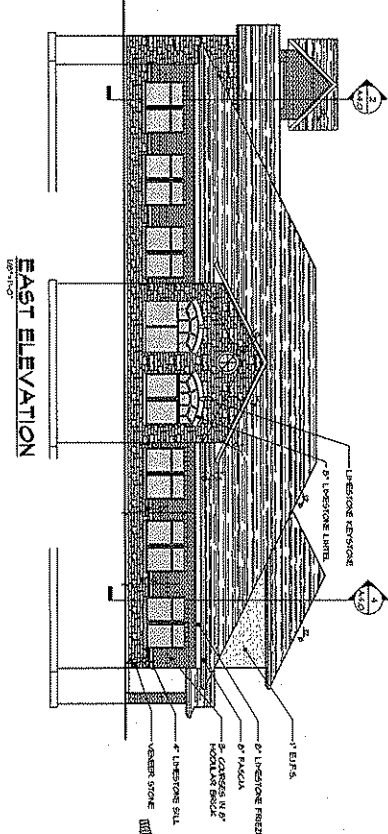
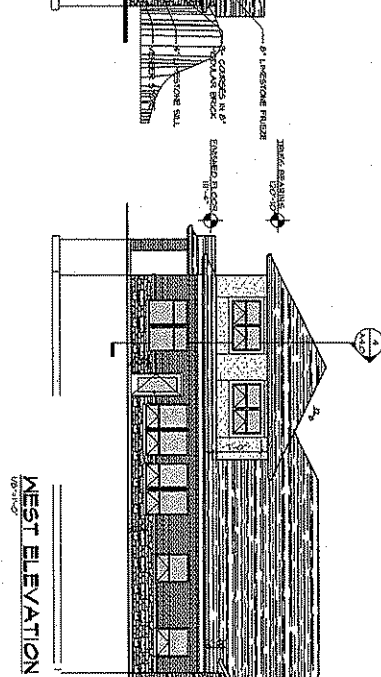
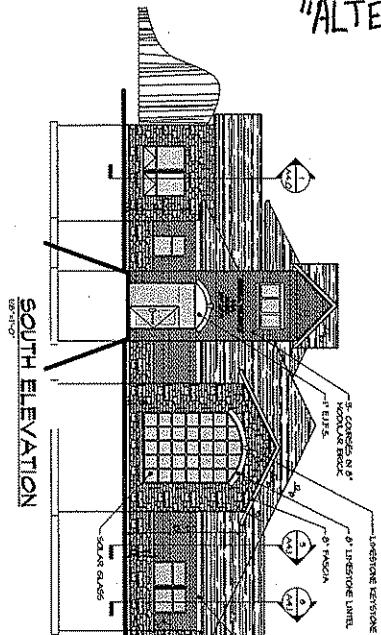
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REVISIONS:  
 1. 5/20/01 B.V.C.  
 2. 4/20/01 B.V.C.

**Keller**  
 PLASTER (ADDITIONAL) FINISHES

16

"ALTERNATIVE A"



**Keller**  
ARCHITECTURAL | INTERIORS

1000 W. MICHIGAN  
MADISON, WI 53703  
TEL: 608.261.1111  
WWW.KELLERARCHITECTS.COM

PROPOSED BUILDING FOR:  
**DR. ROBB WARREN**  
MADISON, WISCONSIN

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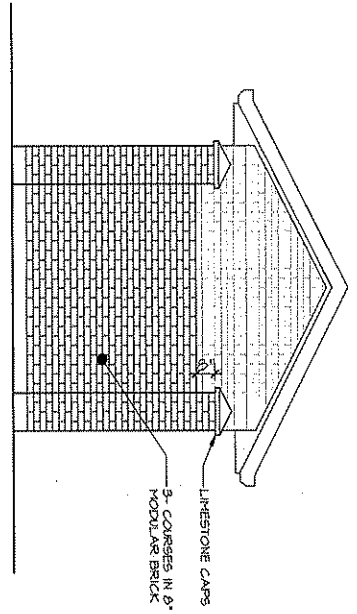
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DATE	04-12-2004	
SHEET	A3.0	
PROJECT NAME	DR. ROBB WARREN	
ARCHITECT	KELLER ARCHITECTS	
DATE	04-12-2004	
SHEET	A3.0	



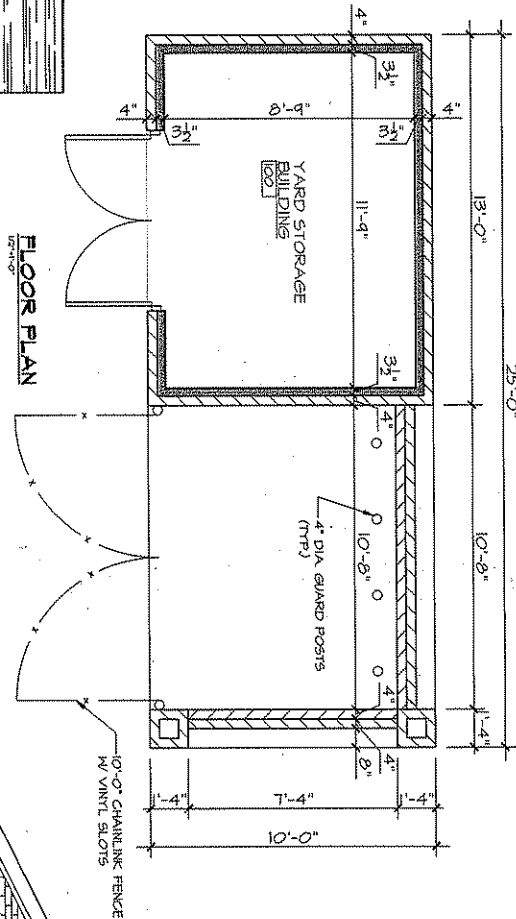
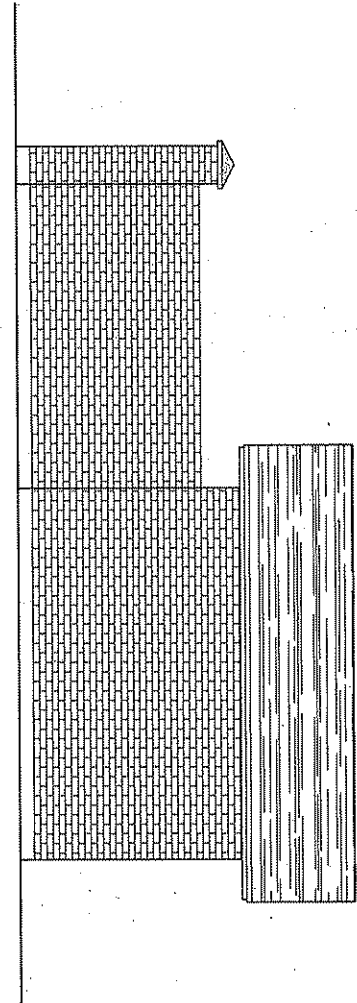




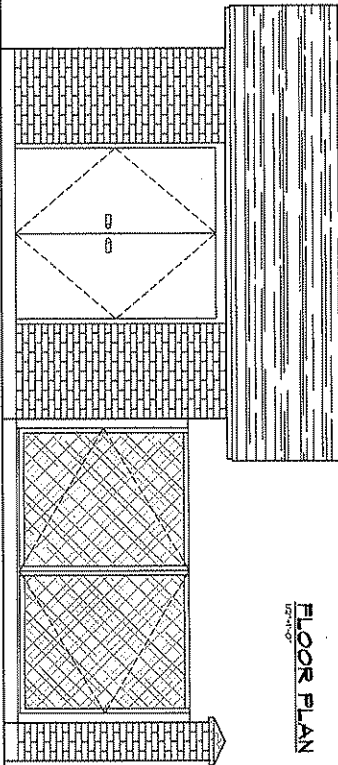
**WEST ELEVATION**



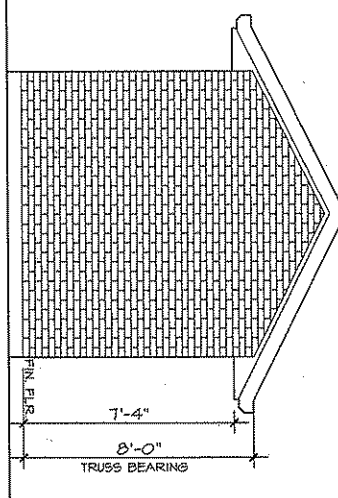
**SOUTH ELEVATION**



**NORTH ELEVATION**



**EAST ELEVATION**



**PROJ. INFO:**

PROJECT MANAGER: O. CASPER

DESIGNER: S. HARRIS

DESIGN BY: B. VAN CAMP

DATE: 09-04-2008

SHEET: **A5.0**

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**ALTERNATES FOR:**

**DR. ROBB WARREN**

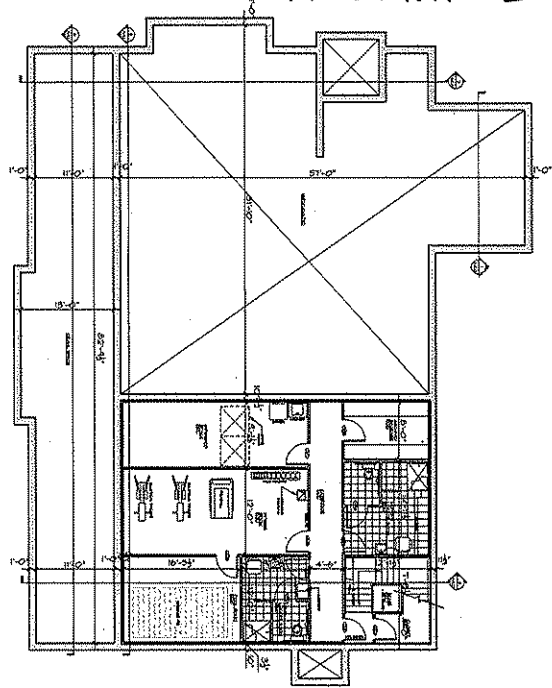
MADISON, WISCONSIN

**Keller**

RESIDENTIAL CONSTRUCTION SERVICES

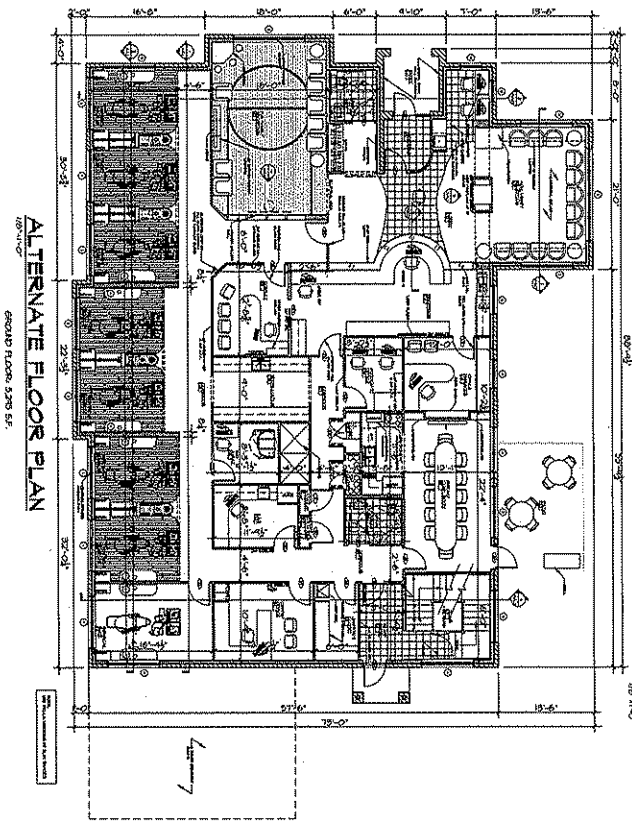
1200 W. MOUNTAIN VIEW BLVD.  
MADISON, WI 53704  
TEL: 608.278.1111 FAX: 608.278.1112  
WWW.KELLERCONSTRUCTION.COM

"ALTERNATIVE B"



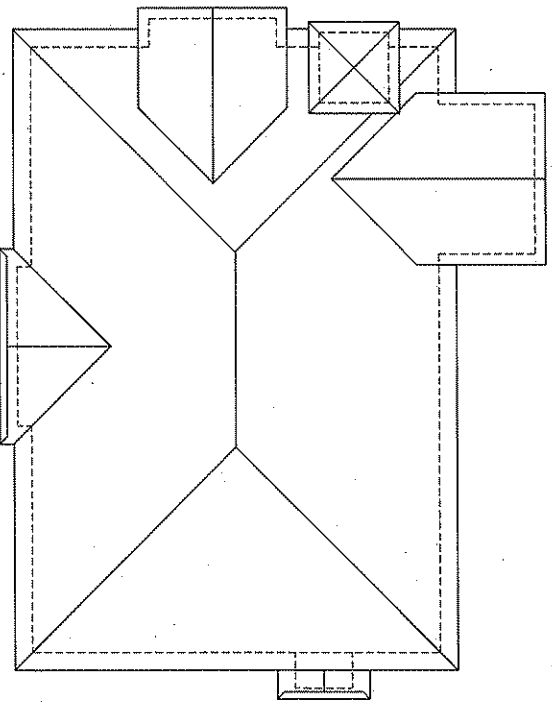
ALTERNATE BASEMENT PLAN

BASEMENT FLOOR, 1486 SF.  
GRAN. SPACES 901 SF.



ALTERNATE FLOOR PLAN

GROUND FLOOR, 5295 SF.



ALTERNATE ROOF PLAN



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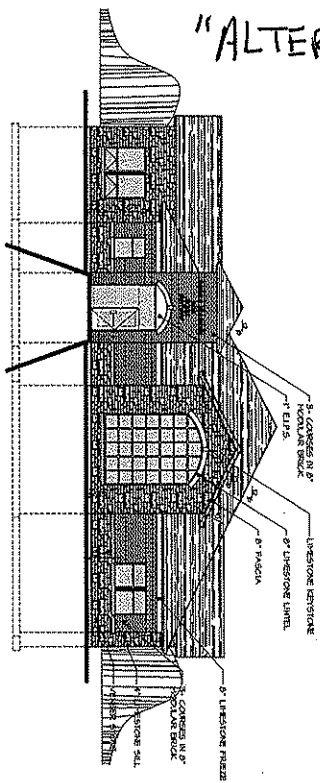
WISCONSIN

ALTERNATES FOR:  
**DR. ROBB WARREN**  
MADISON,

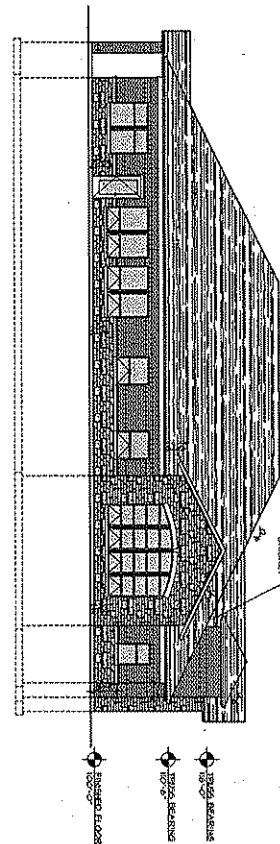
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PROJECT MANAGER	S. JOHNSON
DESIGNER	M. S. HERRING
GRANDER BY	B. VAN CAMP
OPERATION	
STATION	
FIELD DRAWING NO.	1000001
CONTRACT NO.	
DATE	09-15-2008
SHEET	ALTO.0

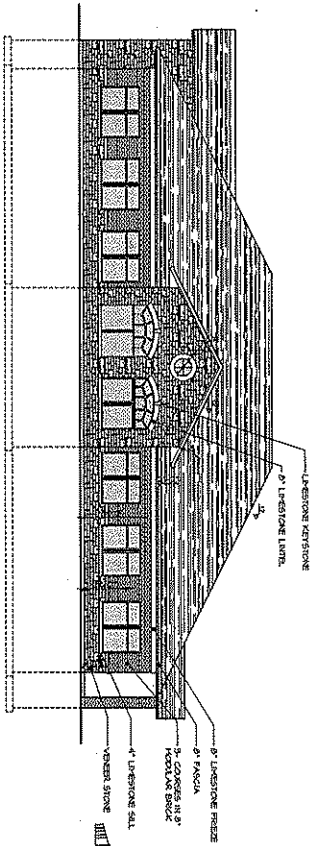
"ALTERNATIVE B"



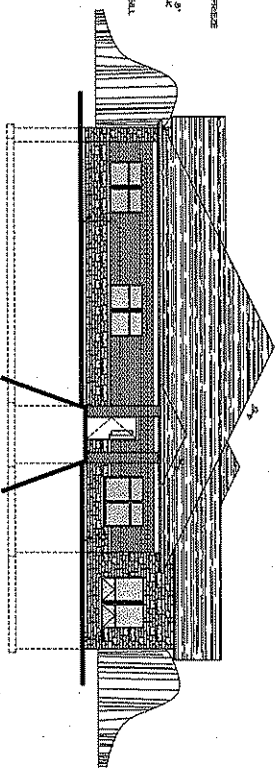
ALTERNATE SOUTH ELEVATION  
1/8"=1'-0"



ALTERNATE WEST ELEVATION  
1/8"=1'-0"



ALTERNATE EAST ELEVATION  
1/8"=1'-0"



ALTERNATE NORTH ELEVATION  
1/8"=1'-0"



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ALTERNATES FOR:

**DR. ROBB WARREN**

MADISON, WISCONSIN

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REVISIONS

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3. DATE

PROJECT MANAGER: O. GARDNER

DESIGNER: S. H. LEUNG

OWNER: B. VAN CAMP

DATE: 09-13-2008

SHEET: ALT.1

CONTRACT NO. 1000077

DATE: 09-13-2008

SHEET: ALT.1