



# City of Madison

## Proposed Demolition & Conditional Use

Location  
622-632 Howard Place

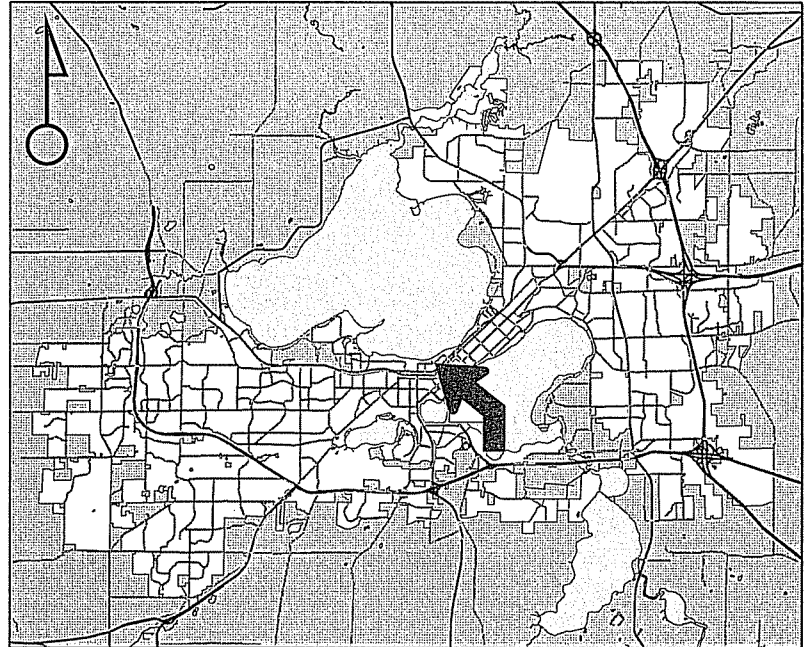
Project Name  
The Sophia

Applicant  
Rebecca Anderson - Lake Towne Apartments/  
Mark M. Smith - JLA Architects-Planners

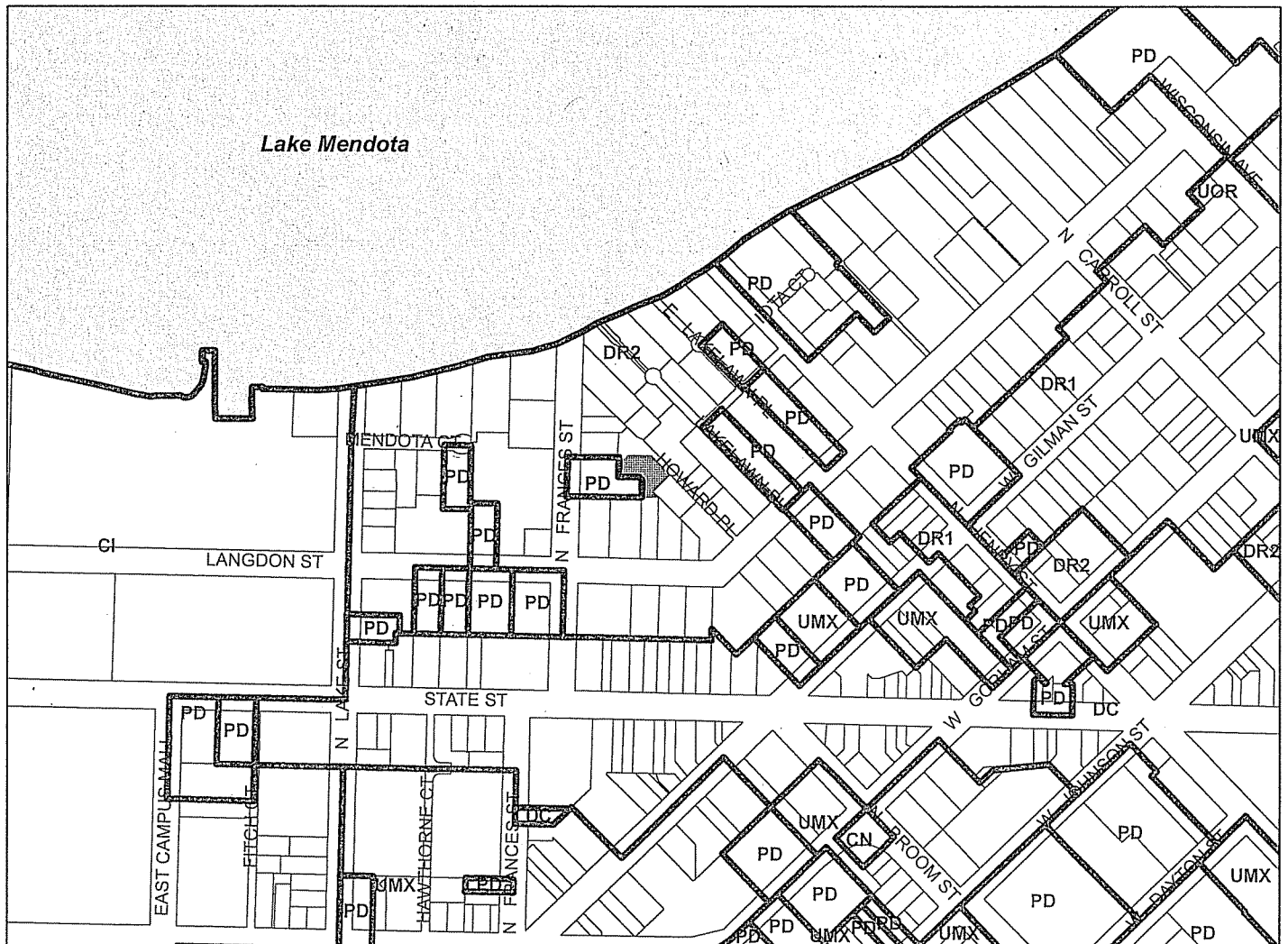
Existing Use  
2 multi-unit residential buildings

Proposed Use  
Demolish 6-unit and 13-unit apartment  
buildings to construct 33-unit apartment  
building

Public Hearing Date  
Plan Commission  
18 November 2013

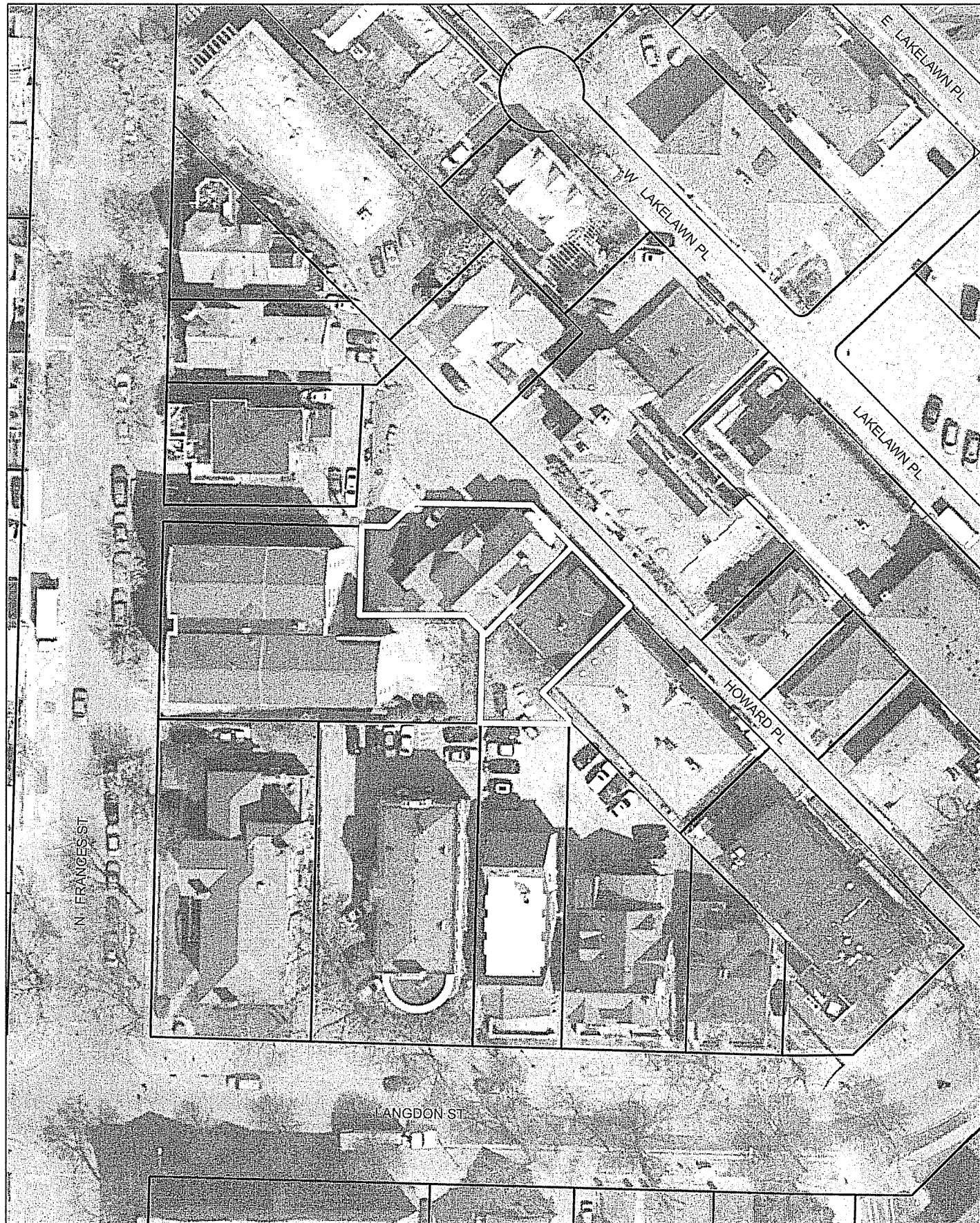


For Questions Contact: Heather Stouder at: 266-5974 or [hstouder@cityofmadison.com](mailto:hstouder@cityofmadison.com) or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 13 November 2013





# LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100  
PO Box 2985; Madison, Wisconsin 53701-2985  
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:  
[www.cityofmadison.com/developmentcenter/landdevelopment](http://www.cityofmadison.com/developmentcenter/landdevelopment)

**FOR OFFICE USE ONLY:**

Amt. Paid 600 Receipt No. 147722  
 Date Received 10/2/13  
 Received By PDA.  
 Parcel No. 0709-144-1914-2-1913-4  
 Aldermanic District 2 ZELLERS  
 Zoning District DR2  
 Special Requirements EXIST. C.U.  
 Review Required By:  
 Urban Design Commission  Plan Commission  
 Common Council  Other: \_\_\_\_\_

Form Effective: February 21, 2013

1. Project Address: 632 HOWARD PLACE  
 Project Title (if any): THE SOPHIA

### 2. This is an application for (Check all that apply to your Land Use Application):

- Zoning Map Amendment from \_\_\_\_\_ to \_\_\_\_\_
- Major Amendment to Approved PD-GDP Zoning  Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: C.S.M.

### 3. Applicant, Agent & Property Owner Information:

Applicant Name: REBECCA ANDERSON Company: LAKE TOWNE APARTMENTS, LLC  
 Street Address: 22 LAKESIDE DR SUITE 101 City/State: MADISON, WI Zip: 53703  
 Telephone: (608) 221-0077 Fax: ( ) Email: becky@laketowne.com

Project Contact Person: MARK M. SMITH Company: JLA-ARCHITECTS-PLANNERS  
 Street Address: 2418 CROSSROADS DRIVE City/State: MADISON, WI Zip: 53713  
 Telephone: (608) 442-3863 Fax: ( ) Email: msmith@jla-ap.com

Property Owner (if not applicant): \_\_\_\_\_  
 Street Address: \_\_\_\_\_ City/State: \_\_\_\_\_ Zip: \_\_\_\_\_

### 4. Project Information:

Provide a brief description of the project and all proposed uses of the site: APARTMENT BUILDING

Development Schedule: Commencement Jan. 2014 Completion AUGUST 2014

**5. Required Submittal Information**

All Land Use applications are required to include the following:

**Project Plans including:\***

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 X 11-inch paper

\* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

**Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- |   |   |  |
|---|---|--|
| • Project Team                                | • Building Square Footage                       | • Value of Land  |
| • Existing Conditions                         | • Number of Dwelling Units                      | • Estimated Project Cost                                     |
| • Project Schedule                            | • Auto and Bike Parking Stalls                  | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft <sup>2</sup> of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested                                   |
| • Hours of Operation                          |   |  |

**Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

**Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

**Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

**6. Applicant Declarations**

4/15/13

**Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30 days prior to FILING this request**. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:

LEWELL ZELLERS, ALDER JOHN MASHINO LANGSDON NEIGHBORHOOD ASSOCIATION

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

2/22/13

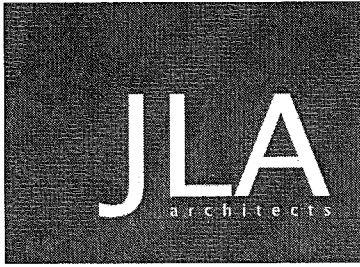
**Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: HEATHER STUBBS Date: 7/22/13 Zoning Staff: MATT TUCKER Date: 7/22/13

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant: Rebecca M. Anderson Relationship to Property: \_\_\_\_\_

Authorizing Signature of Property Owner \_\_\_\_\_ Date 10-2-13



**JOSEPH LEE + ASSOCIATES, LLC**

2418 Crossroads Drive, Suite 2300  
Madison, Wisconsin 53718  
608.241.9500

Planning Commission  
City of Madison  
Street Address  
Madison, Wisconsin 53703

October 2, 2013

Re: The Sophia, 632 Howard Place Madison, Wisconsin  
JLA Project 13-0722-01

Plan Commission,

This project consists of demolishing the existing buildings at 622 and 632 Howard Place, Re-Platting the two properties as one (632 Howard Place) and constructing a 33 unit apartment building at 632 Howard Place. The properties are currently zoned as Downtown Residential 2 or DR-2. The proposed re-plat would remain zoned DR-2. The proposed apartment building is an allowable use in the DR-2 Zoning District.

The current buildings at 622 and 632 Howard Place have outlived their usefulness and are no longer viable as housing. The structures have been evaluated by a professional structural engineer whose report is included in this submittal. Her overall finding is that restoring the structures to their original condition would be cost prohibitive and impractical. Our assessment concurs with the engineers, these small wood frame structures are 100 years old and are completely worn out. They would likely require a complete rebuild from the foundation up. If a building is completely rebuilt is it still "historic"?

The total current assessed value of 622 is \$373,800. The total current assessed value of 632 Howard Place is \$714,000. The structure on 622 Howard Place was built in 1909. The structure on 632 Howard Place was built in the same time period 1910 (+ -). Lake Towne Apartments purchased 622 in 2001 and 632 in 2006. They have been operated as apartment housing since that time. 622 has 6 units and 632 has 13 units.

The proposed apartment building will have 23,140 gross square feet and 16,745 rentable square feet. The building will have 33 rental units with 47 residents. 1,605 square feet of useable outdoor space is provided on grade and with balconies. No automobile parking will be provided. Secure bicycle storage is located in the basement with elevator access.

We anticipate the start of work during January of 2014 and completion of construction in August 2014. Current estimates of total project cost are 2.8 to 3.2 million dollars. The project team consists of JLA Architects and Planners and Vierbicher Planners, Engineers and Advisors.

Please consult the plans for additional information.

Sincerely,

Mark M. Smith AIA, LEED-AP  
Architect

2418 Crossroads Drive, Suite 2300  
Madison, Wisconsin 53718  
608.241.9500

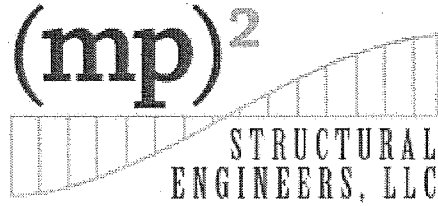
Sincerely,

Joseph Lee & Associates, LLC

By: Joseph M. Lee, AIA

It's: Principal

cc: JLA File



September 24, 2013

Ms. Rebecca Anderson  
Lake Towne Apartments, LLC  
22 Langdon Street  
Madison, WI 53703

**SUBJECT: 622 & 632 Howard Avenue Apartments  
Structural Assessment Summary  
MP-Squared Project No: 1310034WI**

## **INTRODUCTION**

MP-Squared Structural Engineers, LLC (MP2) was retained by Ms. Rebecca Anderson of Lake Towne Apartments, LLC to observe and comment on the structural integrity of the framing at 622 & 632 Howard Avenue apartments in Madison, Wisconsin. MP2 made three visits to the properties; Monday, February 11, 2013 at approximately 2:30 pm; Friday, March 8, 2013 at approximately 4:00 pm, and Monday, September 9, 2013 at approximately 1:00 pm. The purpose of this report is to summarize our Structural Assessment dated March 18, 2013.

### **632 Howard Avenue:**

- Differential movement was noted between the main portion of the existing building and the "bump-outs."
- Soft spots in the floor framing can be felt throughout the building.
- Water damage of some degree can be assumed in nearly all bathrooms and kitchens. Framing, exposed in a second floor bathroom, was followed down to the lower level. Severely deteriorated wood was found on every level, substantiating our concern that the water damage is pervasive and systemic.
- Bubbling paint in the stairwell opposite the chimney is a concern and may be indicative of high heat.

### **622 Howard Avenue:**

- The floor framing on the first and second floor significantly dips approximately 18'-0" from the front exterior wall. On the second floor there is a large, apparently active, stepped crack which is indicative of settlement. A possible origin may be due to the removal of an interior load bearing member or perhaps continued settlement of an interior load bearing wall.

It is the opinion of MP-Squared Structural Engineers that restoring the structures to their original condition would be cost prohibitive and impractical.



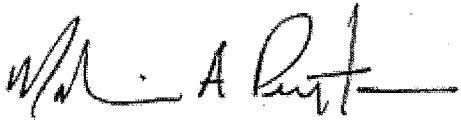
## LIMITATIONS

Our observations were limited to a hands-reach assessment. The assessment conducted by MP2 was limited to observable conditions.

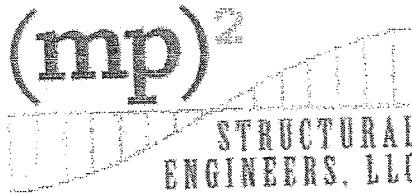
A rigorous structural analysis of the structure/s is beyond the scope of our contract and has not been performed. Typical connections and the structural adequacy of framing members have not been verified by rigorous structural analysis. The observations were limited to the items stated in the report.

Sincerely,

MP-SQUARED STRUCTURAL ENGINEERS, LLC

A handwritten signature in black ink, appearing to read "Melissa A. Peyton", with a horizontal line extending to the right.

Melissa A. Peyton, P.E.  
Structural Engineer / Principal



March 18, 2013

Ms. Rebecca Anderson  
Lake Towne Apartments, LLC  
22 Langdon Street  
Madison, WI 53703

**SUBJECT: 622 & 632 Howard Avenue Apartments  
Structural Assessment  
MP-Squared Project No: 1310034WI**

**INTRODUCTION**

MP-Squared Structural Engineers, LLC (MP2) was retained by Ms. Rebecca Anderson of Lake Towne Apartments, LLC to observe and comment on the structural integrity of the framing at 622 & 632 Howard Avenue apartments in Madison, Wisconsin. MP2 made two visits to the properties; the first visit occurred on Monday, February 11 at approximately 2:30 pm; the second visit occurred on Friday, March 8 at approximately 4:00 pm. The purpose of this report is to summarize our observations.

**OBSERVATIONS/ASSESSMENT**

**632 Howard Avenue:**

632 Howard Avenue is a student housing apartment building. There are apartments on three levels above grade and one level below grade. Above grade framing is typically wood framed and the foundation, where exposed, appears to be cast-in-place concrete.

Nearly all the framing in the building is covered with wall/floor/ceiling sheathing; however, structural concerns are noticeable passively throughout the building. There are two "bump-outs" – one at the front of and one in the back of the building. Each bump-out appears to have once been an exterior, perhaps three season, porch that has been converted to livable space. There is a significant change in elevation between the main structure and the bump-out. Also, there appears to be differential movement between the bump-out and the main structure as seen by peeling paint at the intersection of the bump-out to the main building (see Photo 1); additionally, via conversations with the building

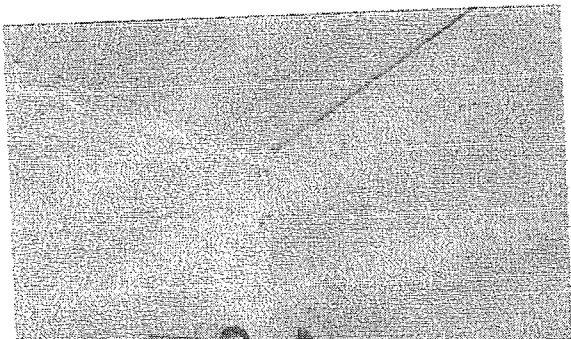


Photo 1: Peeling paint at joint between bump-out and main structure.

owner re caulking of exterior joint of the bump-out to the main structure, the caulking is replaced every one to two years because of visible separation (see Photo 2). The bump-out may not have a typical frost wall foundation which could be the cause of the relative movement.

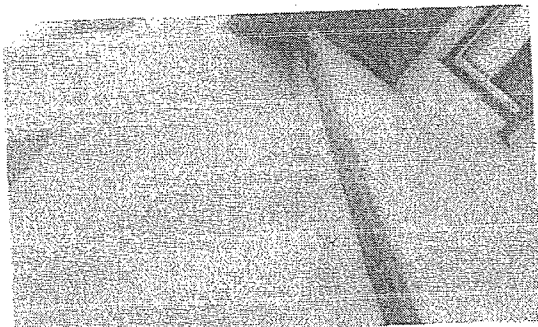


Photo 2: Separation at exterior caulk joint between bump-out and main structure.

There are "soft" spots felt throughout the building. These may be due to localized water damage, undersized framing, or a combination of the two; however, without removing the sheathing and exposing the wall studs and/or floor framing it is not possible to determine how pervasive the damage is. Water damage of some degree can be assumed in nearly all bathrooms and kitchens (see Photo 3).

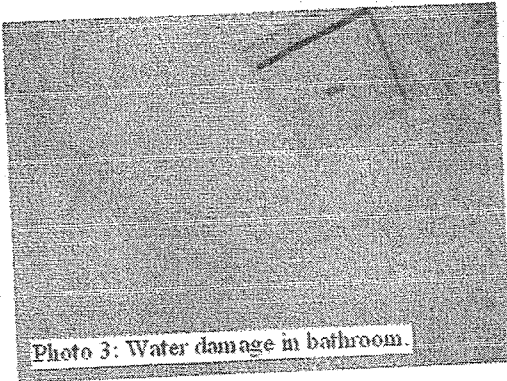


Photo 3: Water damage in bathroom.

In the lower level some framing was exposed and dry rot was noted (see Photo 4). Again, without removing the sheathing and exposing the floor joists it is not possible to determine the extent of the rot.

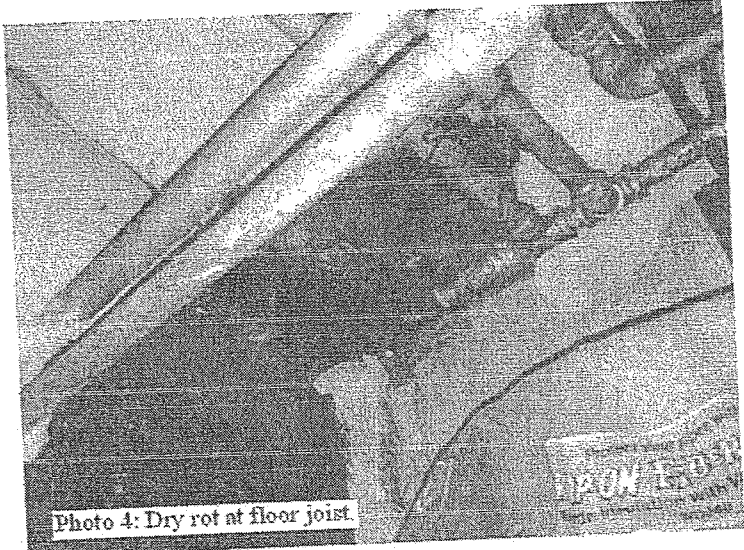


Photo 4: Dry rot at floor joist.

The foundation appears to have section loss in one of the lower level apartments. Additionally, efflorescence and water staining was noted.

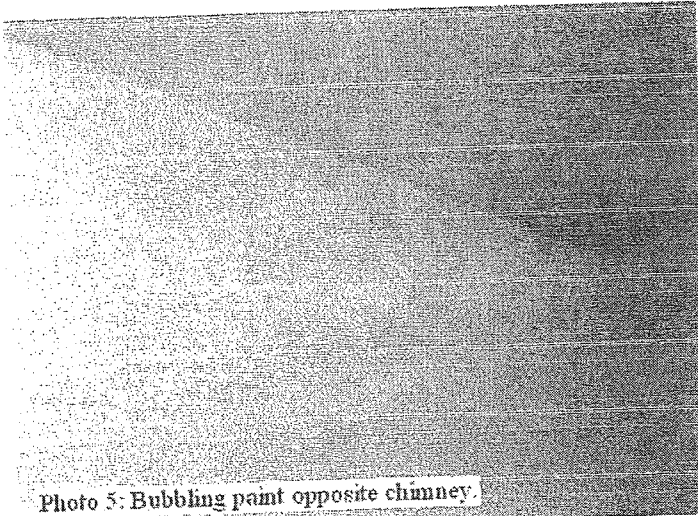


Photo 5: Bubbling paint opposite chimney.

Paint in the stairwell opposite the chimney has bubbled (see Photo 5). Per the Owner the bubbling paint has been repaired numerous times and a new liner has been installed in the chimney. It is our understanding the bubbling continued after the liner was installed. This may not indicate a structural issue; however, it is concerning and may be indicative of high heat.

632's garage does not appear to have been originally designed per typical structural engineering standards. The trusses have not been properly fastened to the top of the wall. Steel tie rods have been installed to prevent the walls from kicking out; however, the structure appears generally unstable and possibly in danger of imminent collapse. See Photo 6.

#### 622 Howard Avenue:

622 Howard Avenue is a student housing apartment building. There are apartments on two levels above grade and one level below grade. Above grade framing is typically wood framed and the foundation, where exposed, appears to be constructed using a multi-wythe brick wall.

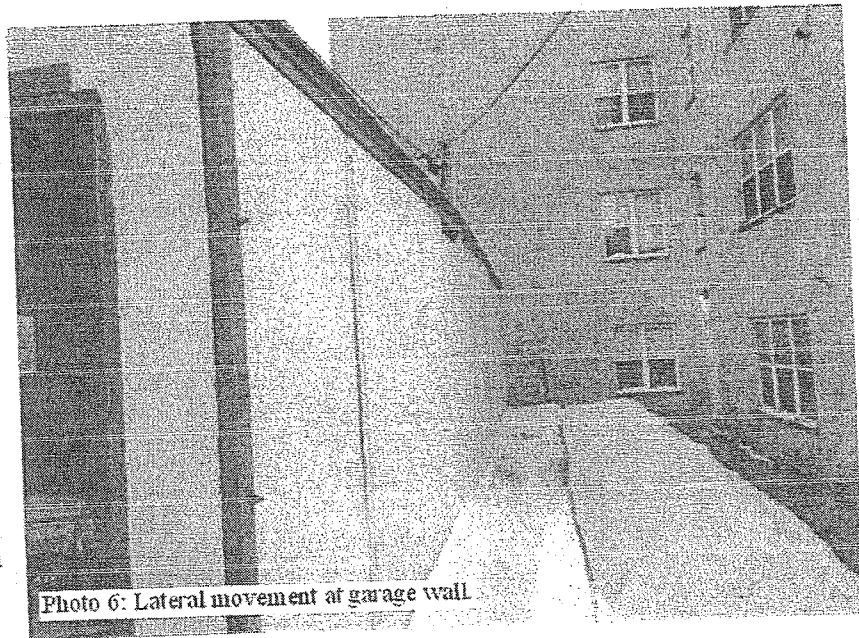


Photo 6: Lateral movement at garage wall.

The condition of the framing at 622 is generally unremarkable. Buckling of the exterior front porch decking was noted, and appears to be from moisture and a rigid boundary condition. Moisture infiltration was noted in the attic — there is discoloration of the roof joists and roof decking, along with efflorescence on the chimney.

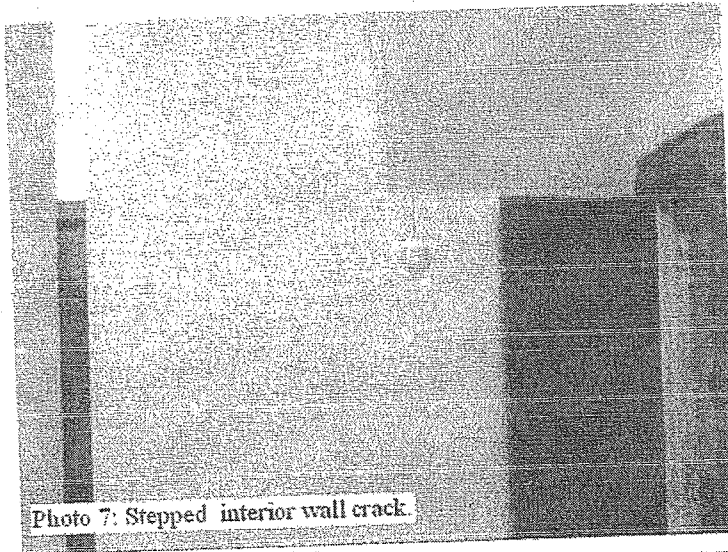


Photo 7: Stepped interior wall crack.

The most concerning structural behavior occurs approximately in-line with the ridge. The floor framing on the first and second floor significantly dips approximately 18'-0" from the front, exterior wall. On the second floor, there is a large, apparently active, stepped crack (see Photos 7 - 9). This is indicative of settlement. The exterior foundation and exterior wall framing show no signs of

distress. A possible origin may be due to the removal of an interior load bearing member, or perhaps continued settlement of an interior load bearing column/wall.

**CONCLUSION**

The structural issues in 632 Howard Avenue are pervasive. Load path and the extent of rot and water damage cannot be determined unless the sheathing is removed and the studs are

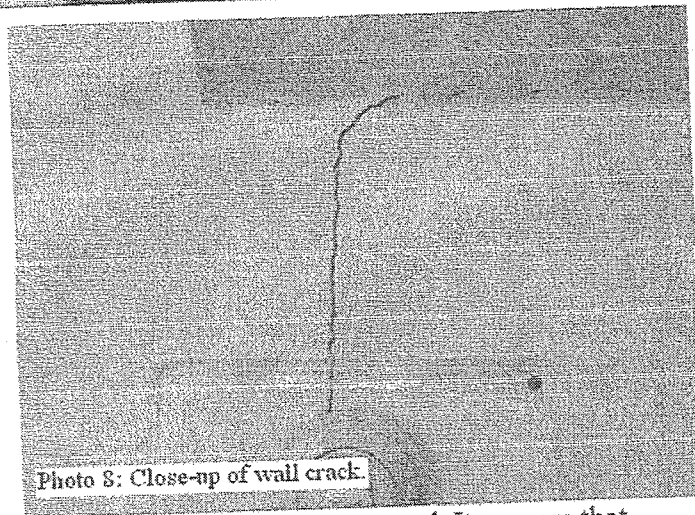


Photo 8: Close-up of wall crack.

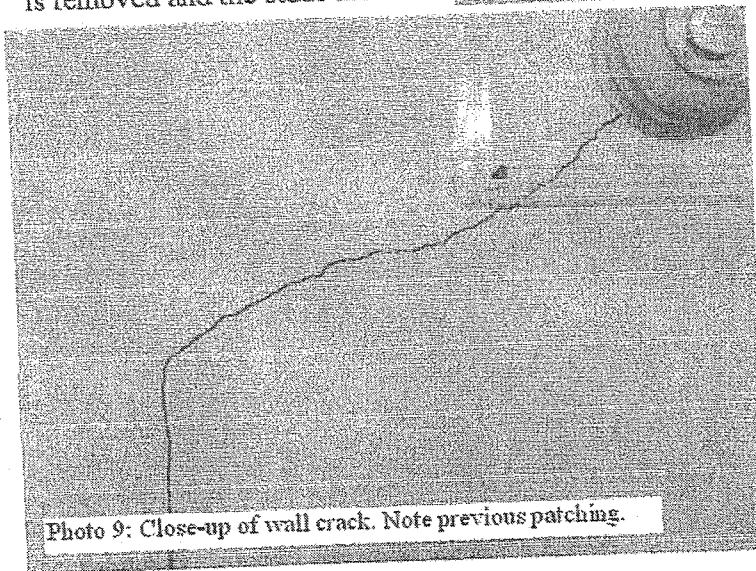


Photo 9: Close-up of wall crack. Note previous patching.

exposed. It appears that water has infiltrated the structure via different means. Continued exposure to moisture will cause decay and rot in any structure, especially wood framed buildings. Unfortunately, significant changes in strength and stiffness can take place before any rotting is detected. Visual clues appear mostly during the advanced stages of fungal attack, limiting the life of the structure.

The structural issues in 622 Howard Avenue appear less pervasive, but could be a larger life safety issue than what we are observing in 632. Tracking down the cause of the settlement will require a rigorous evaluation and exposure of the framing system. It may be necessary to retain to geotechnical engineer if the structural load path is found to be sufficient to transfer the loads to the foundation.

The garage at 632 Howard should be considered in danger of imminent collapse and should be repaired, shored, or demolished.

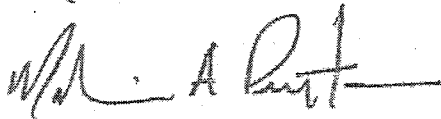
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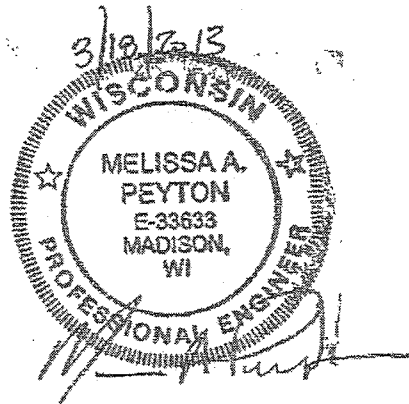
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Sincerely,

MP-SQUARED STRUCTURAL ENGINEERS, LLC



Melissa A. Peyton, P.E.  
Structural Engineer / Principal



A black and white photograph showing a ceiling with a light fixture in the upper left corner. The ceiling appears to be made of a material that has buckled or settled, as indicated by the text. Below the ceiling, there is a window with dark curtains. The overall image has a grainy, halftone-like texture.

622 HOWARD PLACE  
BUCKLED CEILING  
SETTLEMENT



622 HOWARD PLACE  
INTERIOR CRACKING  
SETTLEMENT

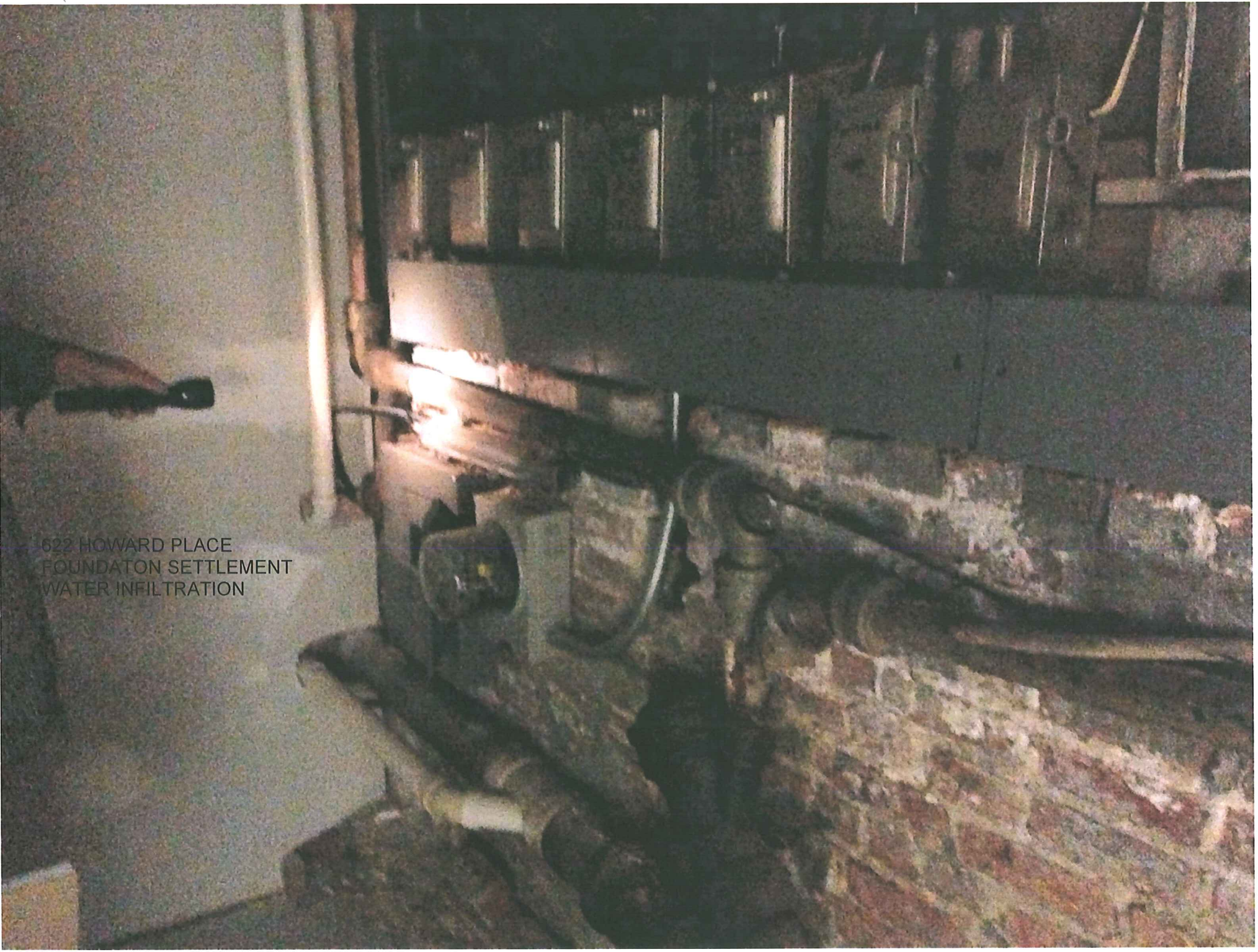


632 HOWARD PLACE  
BUCKLED WALL INTERIOR

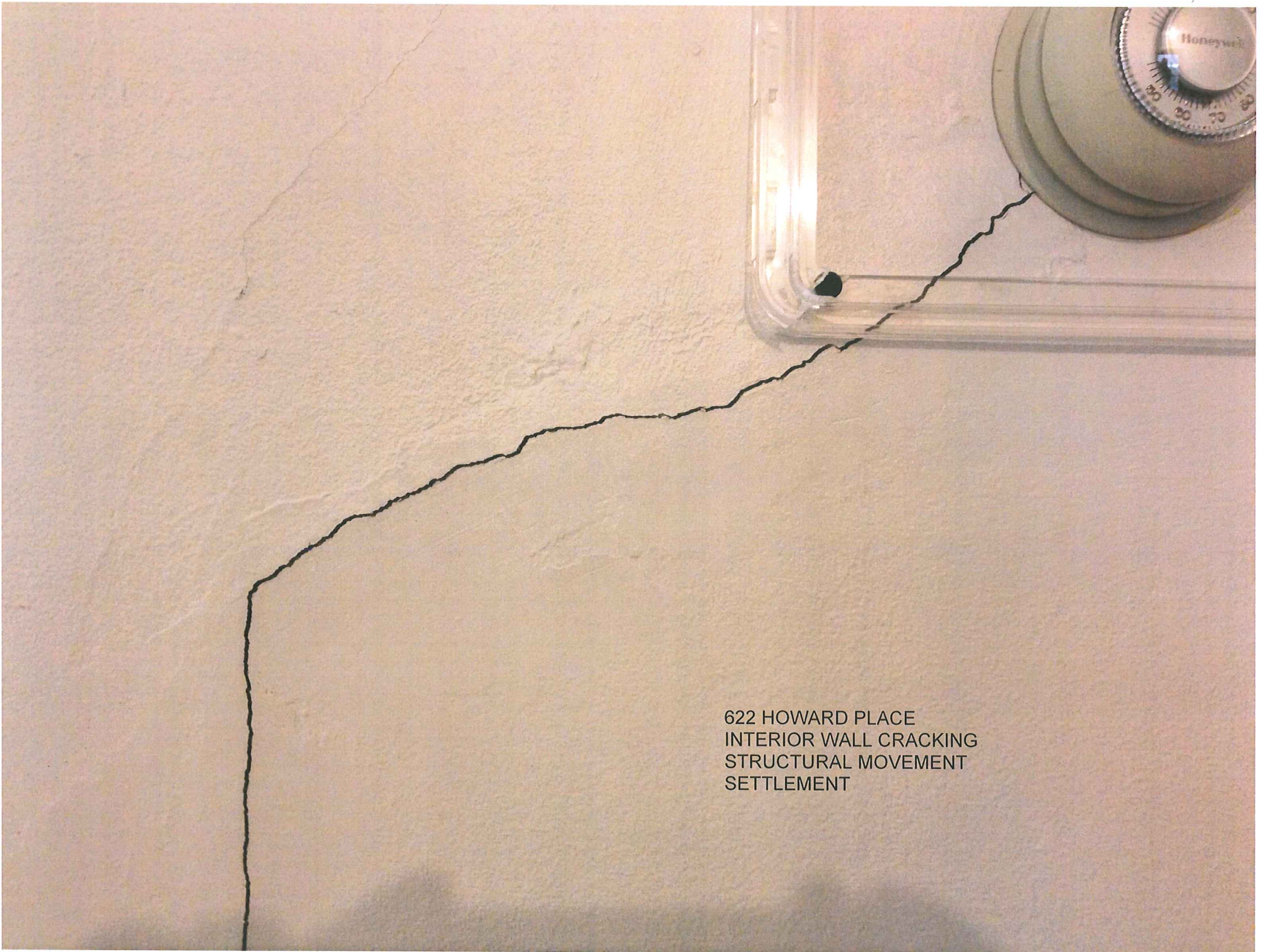




622 HOWARD PLACE  
DIFFERENTIAL SETTLEMENT  
COLLAPSING PORCH STRUCTURE



622 HOWARD PLACE  
FOUNDATON SETTLEMENT  
WATER INFILTRATION

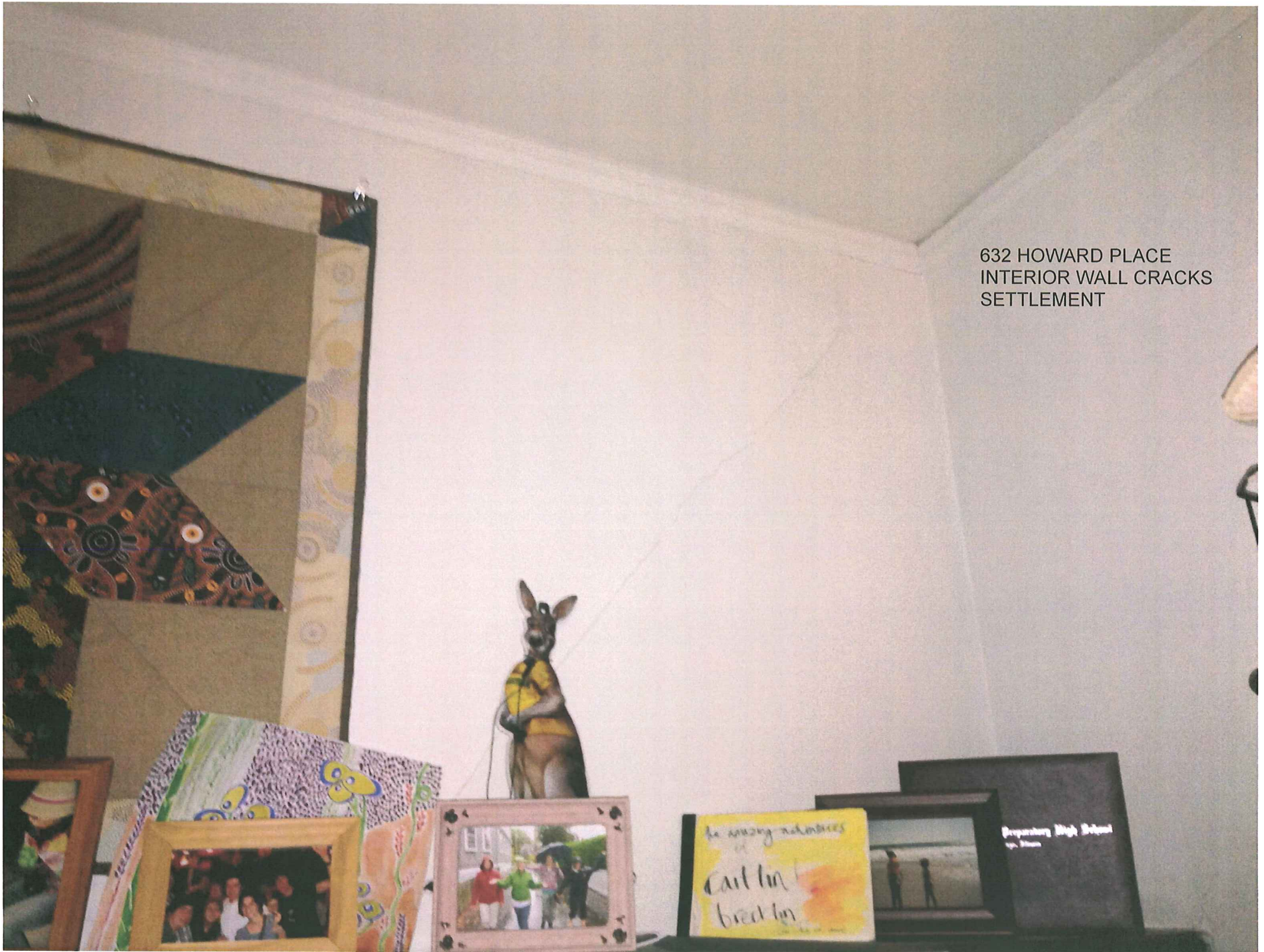


622 HOWARD PLACE  
INTERIOR WALL CRACKING  
STRUCTURAL MOVEMENT  
SETTLEMENT

632 HOWARD PLACE  
INTERIOR CRACKING  
SETTLEMENT

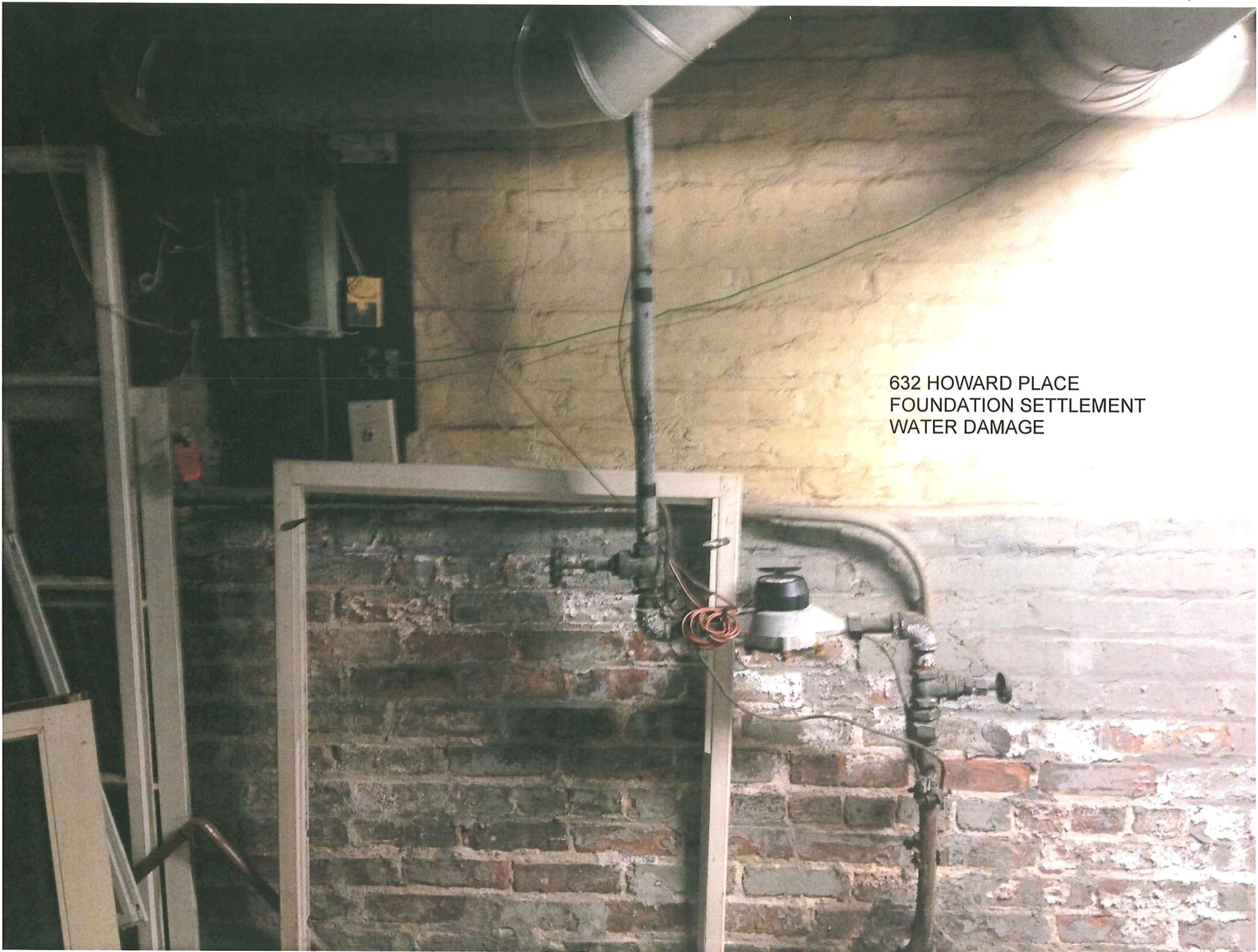


632 HOWARD PLACE  
INTERIOR WALL CRACKS  
SETTLEMENT





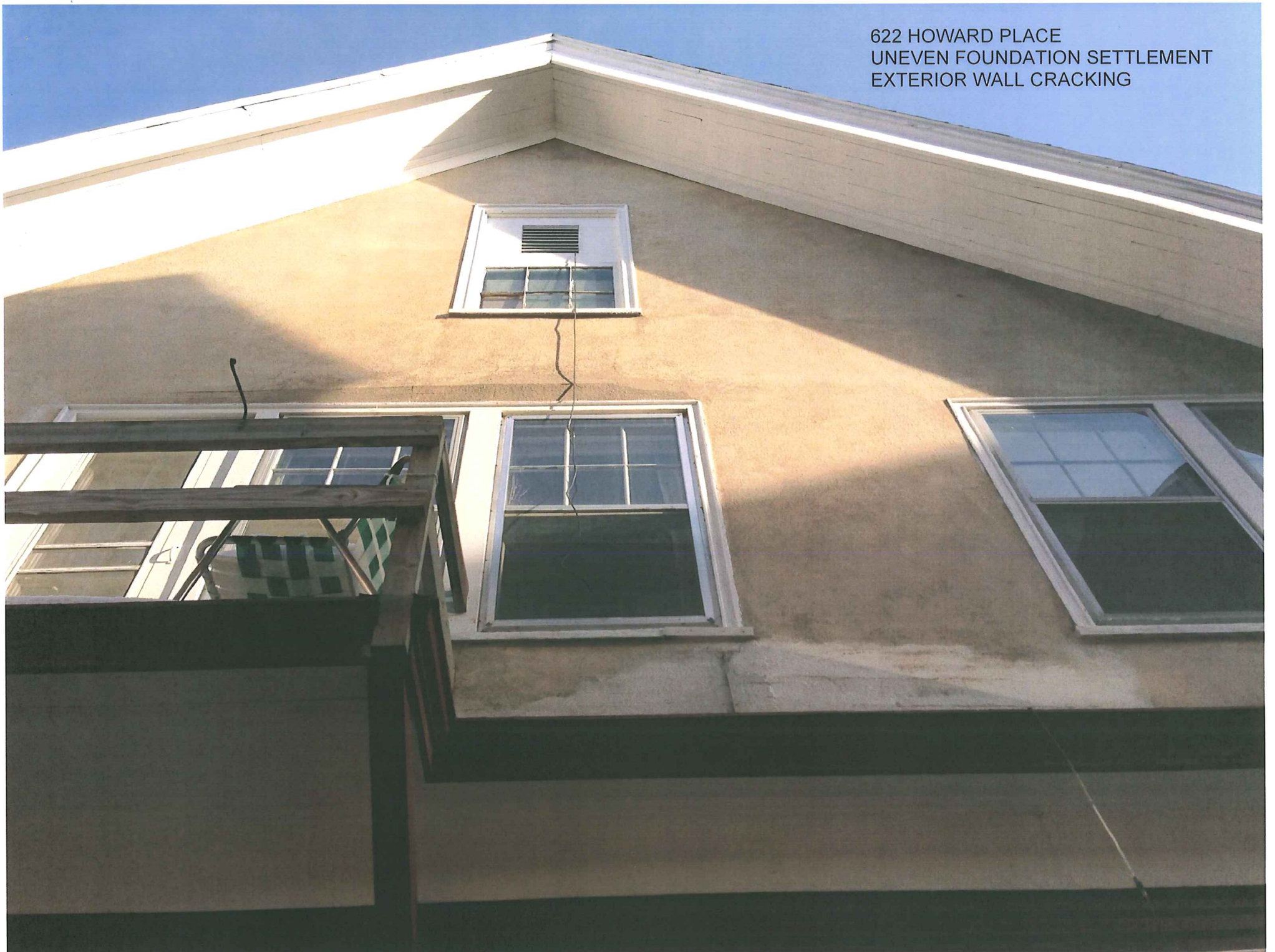
622 HOWARD PLACE  
FOUNDATION MOVEMENT  
SHORED FLOOR STRUCTURE



632 HOWARD PLACE  
FOUNDATION SETTLEMENT  
WATER DAMAGE

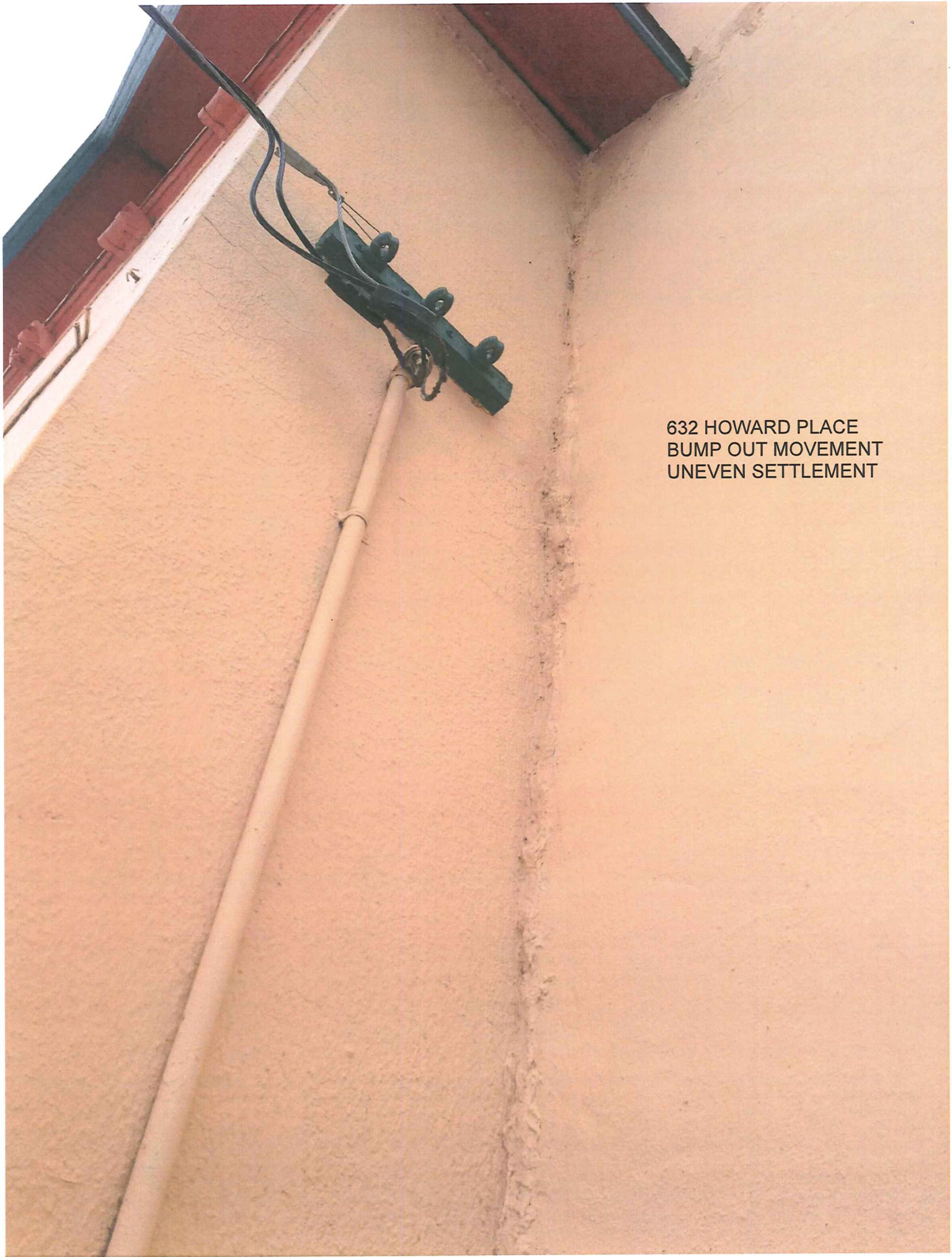


622 HOWARD PLACE  
UNEVEN FOUNDATION SETTLEMENT  
EXTERIOR WALL CRACKING



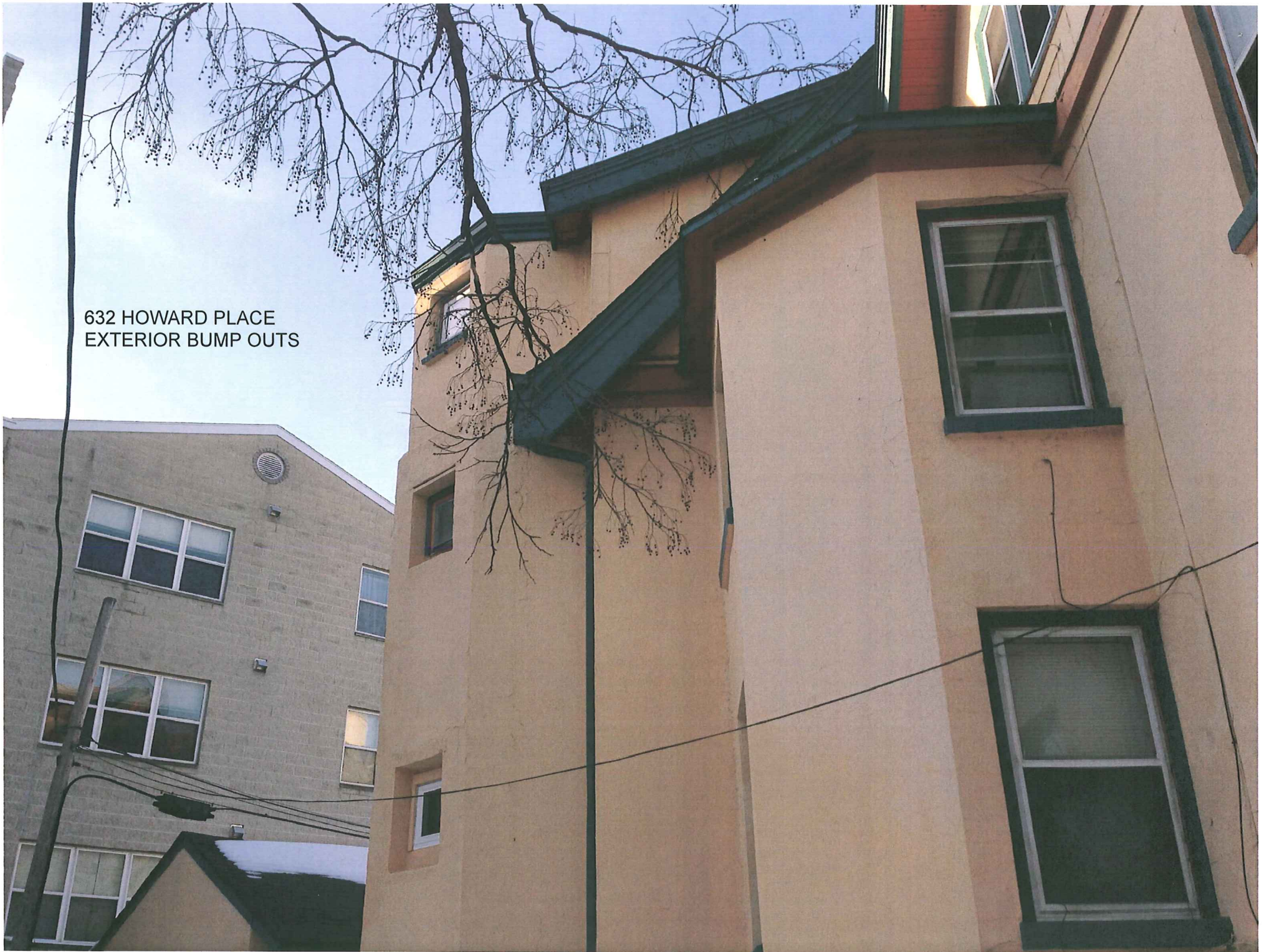


632 HOWARD PLACE  
BUCKLED CEILING AND WALL  
SETTLEMENT AND WATER  
DAMAGE



632 HOWARD PLACE  
BUMP OUT MOVEMENT  
UNEVEN SETTLEMENT

632 HOWARD PLACE  
EXTERIOR BUMP OUTS



632 HOWARD PLACE  
BUMP OUT FOUNDATION  
SETTLEMENT AND WATER  
DAMAGE



632 HOWARD PLACE  
FOUNDATION DAMAGE  
SETTLEMENT AND WATER  
INFILTRATION



632 HOWARD PLACE  
BUMP OUT UNEVEN FOUNDATION  
SETTLEMENT - FALLING AWAY FROM  
MAIN STRUCTURE




632 HOWARD PLACE  
INTERIOR HALLWAY





632 HOWARD PLACE  
INTERIOR ROOM





632 HOWARD PLACE  
WALL AND CEILING SETTLEMENT  
CRACKS - MOVEMENT



632 HOWARD PLACE  
INTERIOR WATER DAMAGE CEILING

A photograph of an interior wall showing significant water damage. The wall is a light beige or off-white color. There are several large, irregular, brownish-orange stains and areas of discoloration, particularly in the upper and middle sections. The texture of the wall appears rough and uneven in the damaged areas. The lighting is somewhat dim, and the overall appearance is one of neglect and damage.

632 HOWARD PLACE  
INTERIOR WATER DAMAGE

632 HOWARD  
WATER DAMAGE CEILING

