

23033



# ZONING BOARD OF APPEALS

## VARIANCE APPLICATION

Madison \$300 Filing Fee

Type or print using pen, not pencil.

### FOR OFFICE USE ONLY

Amount Paid \$300 Receipt # 121696  
 Received by SK Filing Date 6/17/11  
 Hearing Date 07-28-11  
 Zoning District R1  
 Parcel # 0709-182-0203-0  
 Published 7-21-11  
 Ald. District 19 Mark Cleary  
 Appeal # 072811-3  
 GCP Flood Plain, waterfront  
 Code Section # 25.05 (2)(F) 2.6.

**Address of Subject Property:**

5718 LAKE MENDOTA DRIVE

**Name & Address of Owner:**

ED TALLARD, 5718 LAKE MENDOTA DRIVE

Daytime Phone: 235-8494

Evening Phone:

E-mail address:

**Name & Address of Applicant (Owner's Representative):**

BOURIL DESIGN STUDIO, 1 POINT PLACE, MADISON, WI 53719

Daytime Phone: 833-3400

Evening Phone:

E-mail address: BOB@BOURILDESIGN.COM

**Brief Summary of Proposed Construction:**

REMOVE THE EXISTING CONNECTING LINK BETWEEN THE GARAGE AND THE HOUSE. IT WILL BE REPLACED WITH A NEW CONNECTING LINK WITH A FULL BASEMENT.

**Pre-application meeting with staff:** Prior to submittal of this application, the applicant is strongly encouraged to discuss the proposed project and submittal material with Zoning staff. **Incomplete applications will result in the case being delayed and/or recommended for referral or denial.**

**Please provide the following** (Maximum size for all drawings is 11" x 17"):

**Site plan**, drawn to scale. A registered survey is recommended, but not required. Show the following on the site plan:

- Lot lines
- Existing and proposed structures, with dimensions and setback distances to all property lines
- Approximate location of structures on neighboring properties adjacent to variance
- Major landscape elements, fencing, retaining walls or other relevant site features
- Scale (1" = 20' or 1" = 30' preferred)
- North arrow

**Elevations** from all relevant directions showing existing and proposed views, with notation showing the existing structure and proposed addition(s).

**Interior floor plan of existing and proposed structure**, when relevant to the variance request and required by Zoning Staff. (Most additions and expansions will require floor plans.)

**Front yard variance requests only.** Show the building location (front setback) of adjacent properties on each side of the subject property to determine front setback average.

**Variance requests specifically involving slope, grade, or trees.** Approximate location and amount of slope, direction of drainage, location, species and size of trees.

**CHECK HERE.** I have been given a copy of and have reviewed the standards, which the Zoning Board of Appeals will use when reviewing applications for variances.

Owner's Signature:

*[Handwritten signature of Ed Tallard]*  
 Ed Tallard

**Standards for Variance.** The Zoning Board of Appeals shall not vary the regulations of this ordinance, as authorized, unless it shall make findings based upon the evidence presented to it in each specific case that all of the following conditions are present:

1. The particular physical surroundings, shape or topographical conditions of the specific property involved would result in a particular hardship upon the owner as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out.
2. The conditions upon which the application for a variance is based would not be applicable generally to other property within the same zoning classification.
3. The purpose of the variance is not based exclusively upon a desire for economic or other material gain by the applicant or owner.
4. The alleged difficulty or hardship is caused by this ordinance and has not been created by any person presently having an interest in the property.
5. The granting of the variance will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.
6. The proposed variance will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

----- (Do not write below this line/For Office Use Only) -----

**DECISION**

The Board, in accordance with the findings of fact, hereby determines that the requested variance **(is) (is not)** in compliance with all of the standards for a variance. Further finding of fact is stated in the minutes of this public hearing.

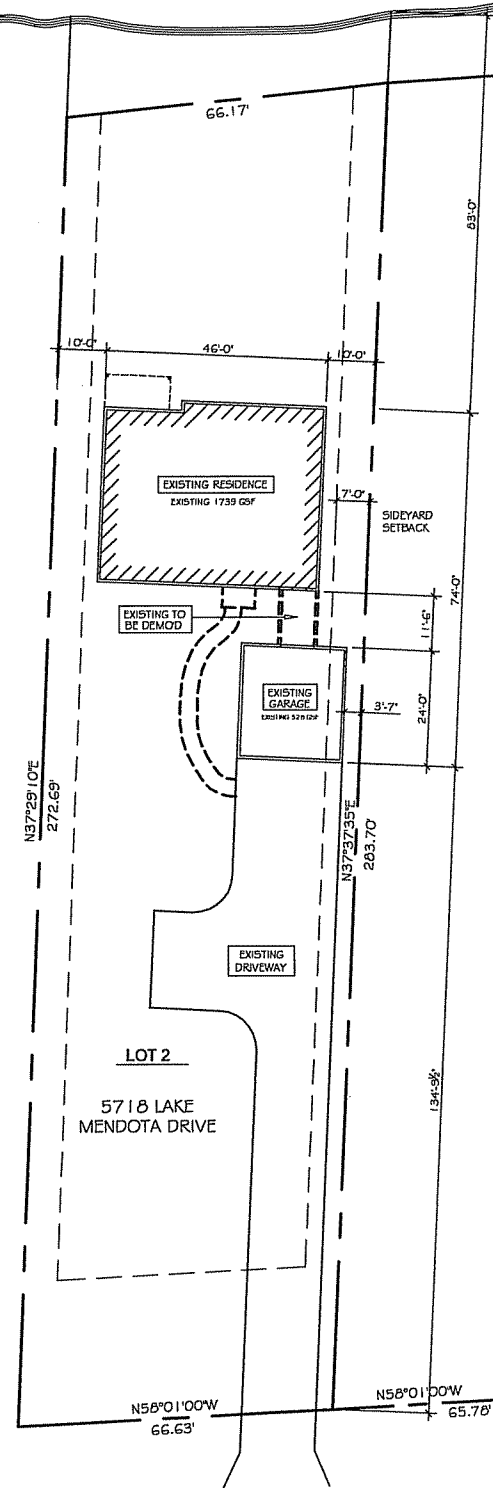
The Zoning Board of Appeals:  Approved     Denied     Conditionally approved


Zoning Board of Appeals Chair: \_\_\_\_\_ Date: \_\_\_\_\_

LAKE MENDOTA

LAKE MENDOTA

GROSS SQUARE FOOTAGE COMPARISON	
<b>EXISTING HOUSE</b>	
FIRST FLOOR FINISHED AREA	= 1832 GSF
EXIST FOOTPRINT AREA	= 2360 GSF
<b>EXISTING HOUSE AND ADDITION</b>	
FIRST FLOOR FINISHED AREA	= 1919 GSF
NEW FOOTPRINT AREA	= 2447 GSF
<b>DIFFERENCE IN AREAS</b>	
FIRST FLOOR FINISHED AREA	= 87 GSF
NEW FOOTPRINT AREA	= 87 GSF



LAKE MENDOTA DRIVE

**1** EXISTING SITE PLAN  
1" = 20'-0" (24" X 36" FULL SIZE) / 1" = 40'-0" (11" X 17" HALF SIZE)

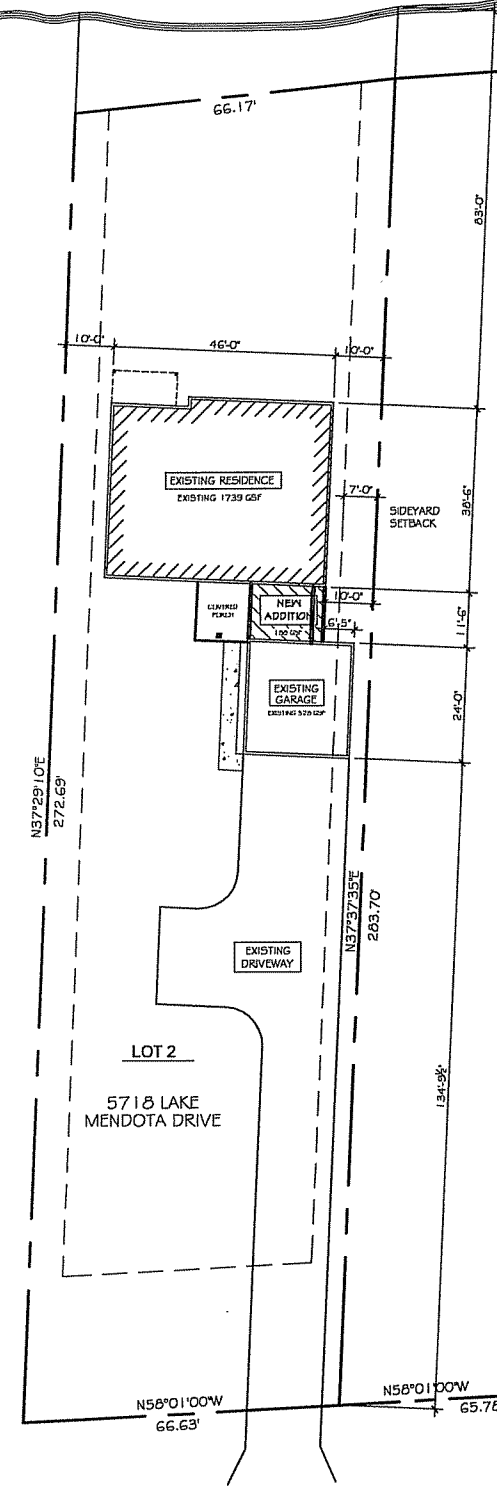
SIDE YARD 1 STORY BLDG = 7'-0"
FRONT YARD 30'-0"
ZONING R-1
VARIANCE 2'-8" VARIANCE REQUESTED
EXISTING HOUSE, CONNECTING LINK AND GARAGE = 2354 GSF
EXISTING HOUSE, GARAGE AND NEW CONNECTING LINK = 2449 GSF

2-Story single family home  
Single-story addition with porch  
and basement area  
side yard

12'-8" Required \*  
10'-0" Provided

2'-8" VARIANCE

\*7' offset qualifies for A  
68" Right side depth Penalty



LAKE MENDOTA DRIVE

**2** PROPOSED SITE PLAN  
1" = 20'-0" (24" X 36" FULL SIZE) / 1" = 40'-0" (11" X 17" HALF SIZE)

REDUCED  
(HALF SIZE)

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**PROPOSED RESIDENTIAL ADDITION:**  
**ED & MEGAN TALLARD**  
5718 LAKE MENDOTA DRIVE  
MADISON, WI 53705

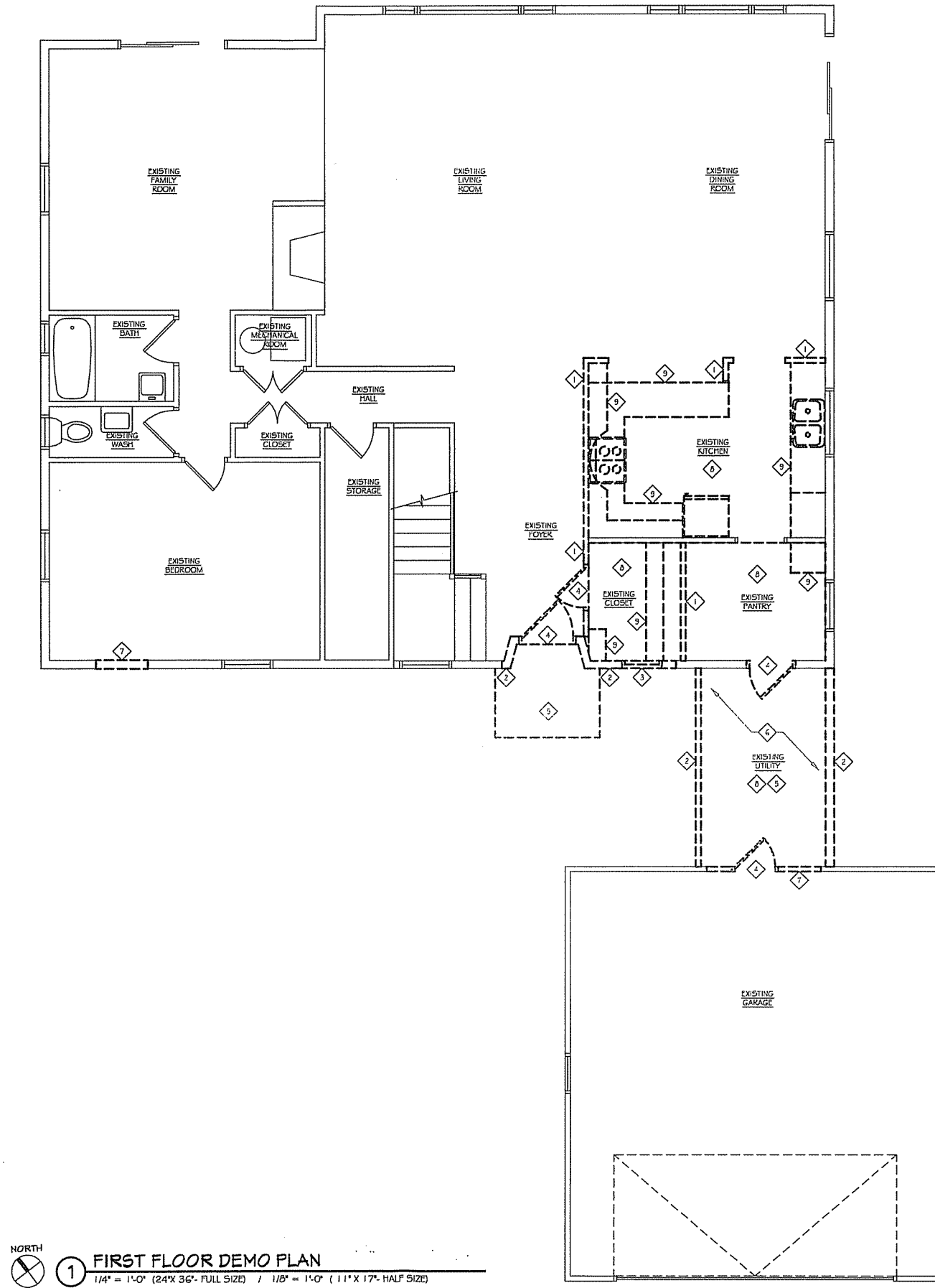
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DATE	ISSUE

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9056

DATE  
06/20/11

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NORTH  
**1** FIRST FLOOR DEMO PLAN  
 1/4" = 1'-0" (24" X 36" - FULL SIZE) / 1/8" = 1'-0" (11" X 17" - HALF SIZE)

- GENERAL NOTES - DEMO PLAN:**
1. ALL EXISTING CONSTRUCTION AND DIMENSIONS TO BE FIELD VERIFIED.
  2. ALL EXISTING CONSTRUCTION THAT REMAINS TO BE PATCHED AND/ OR REPAIRED, WHERE AFFECTED BY DEMOLITION.
  3. PROTECT ALL EXISTING UTILITIES FROM DAMAGE. AS REQUIRED, CALL ALL LOCAL UTILITIES AND/ OR DIGGERS HOT LINE FOR UTILITY LOCATIONS PRIOR TO STARTING WORK.
  4. PROTECT ALL EXISTING CONSTRUCTION THAT IS SCHEDULED TO REMAIN. RESTORE ALL AREAS THAT ARE DAMAGED DURING CONSTRUCTION TO ITS ORIGINAL CONDITION.
  5. PREPARE ALL EXISTING MATERIALS THAT REMAIN FOR INSTALLATION OF NEW MATERIALS.

- KEY NOTES - DEMO PLAN:**
1. REMOVE AND DISPOSE OF EXISTING WALL CONSTRUCTION
  2. REMOVE AND DISPOSE OF EXISTING EXTERIOR WALLS, SHEATHING, AND MISC. MATERIALS TO STUD NEAREST EXTENDS OF NEW WORK.
  3. REMOVE AND DISPOSE OF OR STORE EXISTING WINDOW UNITS AND GLAZING FOR REUSE, PREPARE FOR INFILL WHERE REQUIRED
  4. REMOVE AND DISPOSE OF OR STORE FOR REUSE EXISTING DOORS & FRAMES
  5. SAW CUT & REMOVE AREAS OF CONCRETE SLAB ON GRADE AS REQUIRED FOR NEW DESIGN
  6. REMOVE AND DISPOSE OF EXISTING ROOF SYSTEM AS REQUIRED FOR NEW DESIGN
  7. REMOVE AND DISPOSE OF EXISTING EXTERIOR WALLS, SHEATHING, AND MISC. MATERIALS FOR NEW OPENINGS
  8. REMOVE AND DISPOSE OF EXISTING FLOOR COVERING, TRANSITIONS, OR OTHER MISCELLANEOUS FLOOR ITEMS AS REQUIRED FOR NEW DESIGN
  9. REMOVE AND DISPOSE OF OR STORE CASEWORK, BUILT-IN, STAIR & RAILINGS, OR OTHER MISCELLANEOUS ITEMS AS REQUIRED FOR NEW DESIGN

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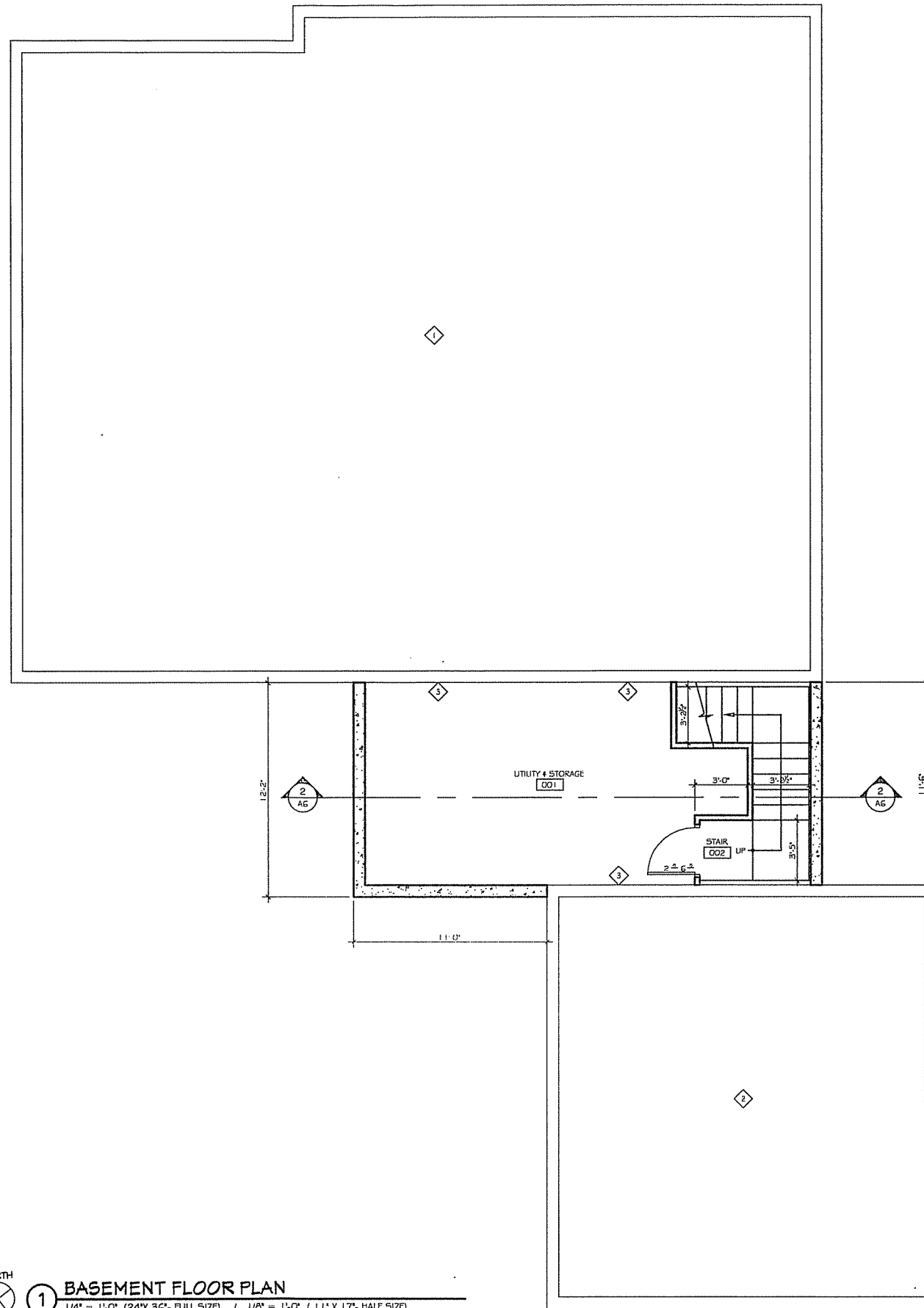
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(HALF SIZE)



**1 BASEMENT FLOOR PLAN**  
 1/4" = 1'-0" (24" X 36" - FULL SIZE) / 1/8" = 1'-0" (11" X 17" - HALF SIZE)  
 AREA CALCULATIONS  
 BASEMENT AREA: 313 GSF



- GENERAL NOTES - BASEMENT FLOOR:**
- SEE SHEET T1 FOR SYMBOLS, MATERIAL IDENTIFICATION & ABBREVIATIONS.
  - ALL DIMENSIONS TO FACE OF CONCRETE WALL OR TO FACE OF STUD, UNO.
  - ALL INTERIOR PARTITIONS ON THIS SHEET TO BE 2x4 OR 2x6 WD STUDS @ 16" OC W/ (1) LAYER, 1/2" GWS EA SIDE, UNO.
  - BATHROOM & BEDROOM INTERIOR WALLS TO BE INSULATED W/ 4" BATT INSULATION, UNO.
  - ALL MATERIALS TO BE INSTALLED PER MANUFACTURERS CURRENT PRINTED INSTRUCTIONS.
  - ALL WOOD IN CONTACT W/ CONCRETE TO BE PRESSURE TREATED.
  - PROVIDE CONTROL JOINTS IN CONCRETE SLAB PER ACI STANDARDS.
  - DOOR BETWEEN THE HOUSE & GARAGE TO BE 20 MINUTE FIRE RATED DOORS & FRAMES.

- KEY NOTES - BASEMENT FLOOR:**
- EXISTING HOME - SLAB ON GRADE
  - EXISTING GARAGE - GRADE BEAM
  - NEW FULL HEIGHT CONC. FOUNDATION WALL - TEMP. BRACE EXISTING GRADE BEAM FROST WALL FOR UNDERPINNING

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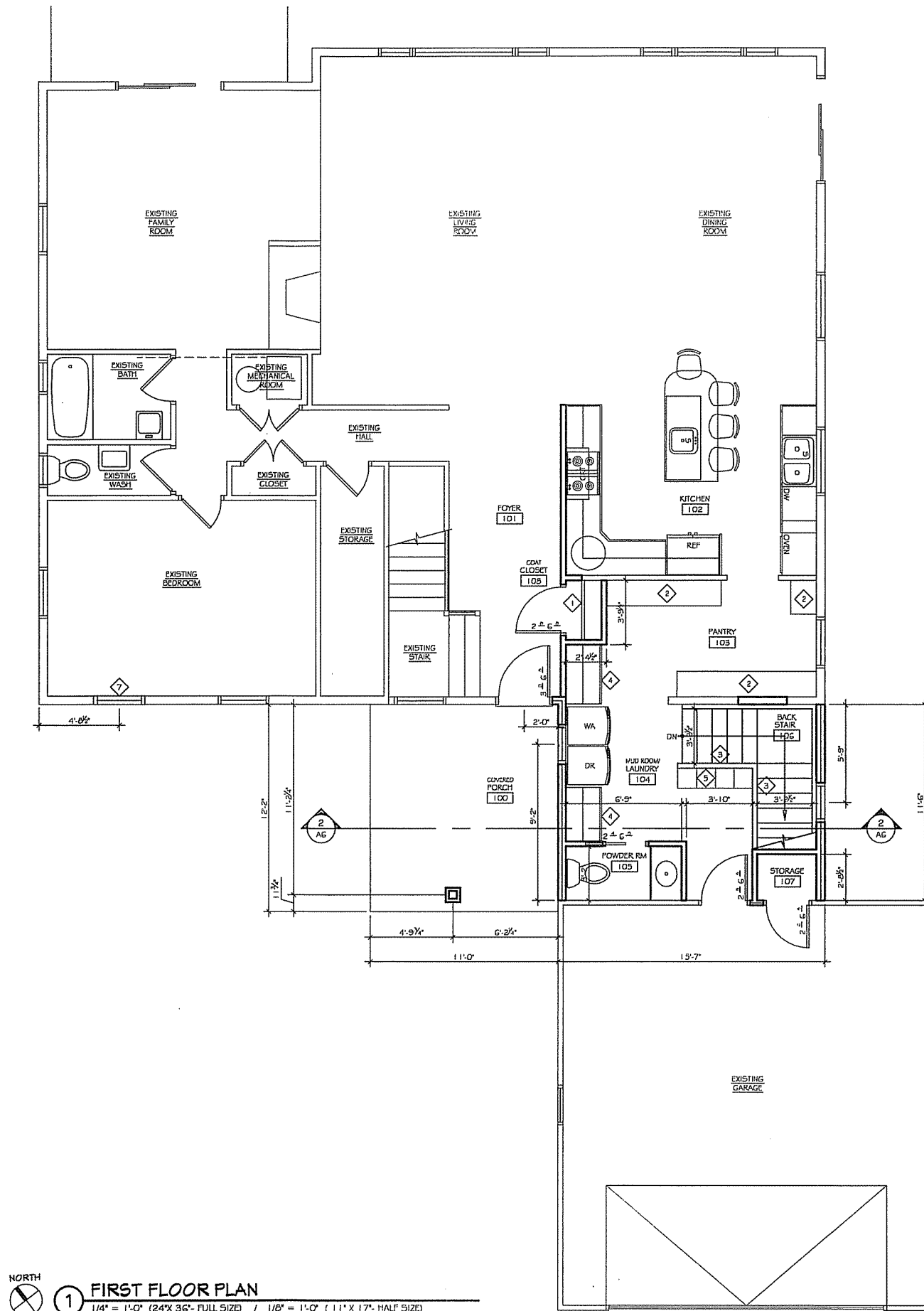
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- GENERAL NOTES - FIRST FLOOR:**
- SEE SHEET T1 FOR SYMBOLS, MATERIAL IDENTIFICATION & ABBREVIATIONS.
  - ALL DIMENSIONS TO FACE OF CONCRETE WALL OR TO FACE OF STUD, UNO.
  - ALL INTERIOR PARTITIONS ON THIS SHEET TO BE 2x4 OR 2x6 WD STUDS @ 16" OC W/ (1) LAYER 1/2" GWB EA SIDE, UNO.
  - BATHROOM & BEDROOM INTERIOR WALLS TO BE INSULATED W/ 4" BATT INSULATION, UNO.
  - ALL MATERIALS TO BE INSTALLED PER MANUFACTURERS CURRENT PRINTED INSTRUCTIONS.
  - ALL WOOD IN CONTACT W/ CONCRETE TO BE PRESSURE TREATED.
  - PROVIDE CONTROL JOINTS IN CONCRETE SLAB PER ACI STANDARDS.
  - DOOR BETWEEN THE HOUSE & GARAGE TO BE 20 MINUTE FIRE RATED DOORS & FRAMES.

- KEY NOTES - FIRST FLOOR:**
- 1 SHELF & HANGING ROD
  - 2 4- ADJUSTABLE SHELVES
  - 3 PARTIAL HEIGHT WALL W/ WOOD CAP
  - 4 BASE CABINET W/ COUNTERTOP & UPPER CABINET
  - 5 STORAGE CUBBIES
  - 6 BASE CABINET W/ COUNTERTOP & UPPER CABINET
  - 7 NEW WINDOW TO MATCH ADJACENT

**1 FIRST FLOOR PLAN**  
 1/4" = 1'-0" (24" X 36" - FULL SIZE) / 1/8" = 1'-0" (11" X 17" - HALF SIZE)  
**AREA CALCULATIONS**  
 NEW FINISHED AREA: 188 CSF  
 NEW PORCH AREA: 134 CSF  
 TOTAL AREA OF NEW CONSTRUCTION: 322 CSF

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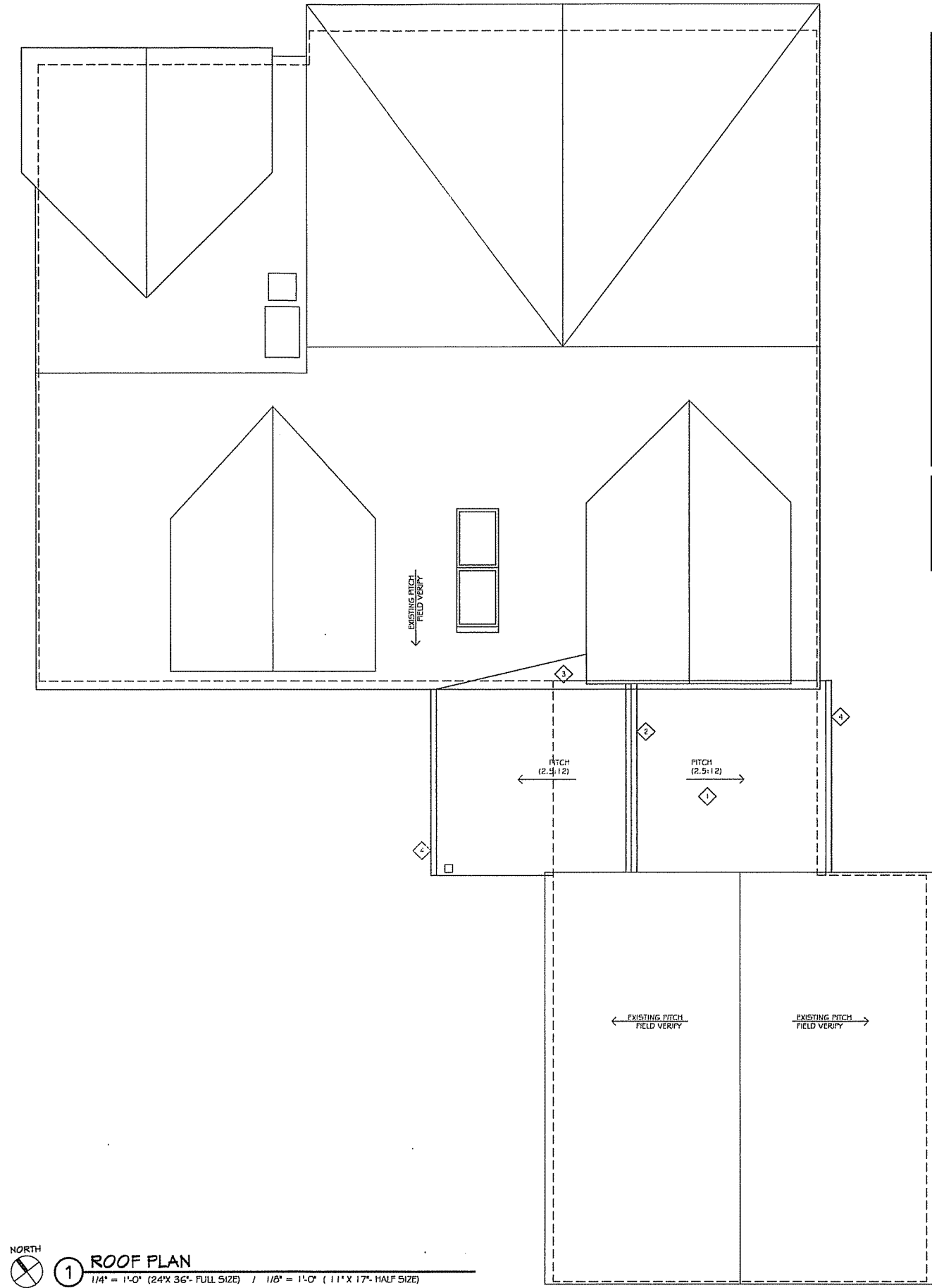
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NORTH  
**1** ROOF PLAN  
 1/4" = 1'-0" (24" X 36" - FULL SIZE) / 1/8" = 1'-0" (11" X 17" - HALF SIZE)

**GENERAL NOTES - ROOF PLAN:**

1. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE. REFER TO SECTIONS AND DETAILS FOR EAVE AND FASCIA CONDITIONS.
2. INSTALL WATERPROOF MEMBRANE AS INDICATED WITHIN CONSTRUCTION DOCUMENTS OR AS FOLLOWS:
  - 2a. AT ALL VERTICAL PENETRATIONS THROUGH THE ROOF INCLUDING CHIMNEYS, VENTS, AND STACKS.
  - 2b. ALONG ENTIRE LENGTH OF EAVE CONDITIONS TO 2'-0" BEYOND EXTERIOR WALL LINE.
  - 2c. IN 36" WIDE STRIPS ALONG ENTIRE LENGTH OF VALLEYS AND AT ALL INTERSECTIONS WITH DORMERS, WALLS AND OTHER VERTICAL SURFACES.
3. INSTALL METAL FLASHING AS INDICATED WITHIN CONSTRUCTION DOCUMENTS OR AS FOLLOWS:
  - 3a. 5'x7' STEP FLASHING AT ALL INTERSECTIONS WITH CHIMNEY, WALLS AND OTHER VERTICAL SURFACES.
  - 3b. HEMMED DRIP RIDGE FLASHING ALONG ENTIRE BOTTOM EDGE OF ROOF AT FASCIA. FLASHING SHALL BE OF SUFFICIENT LENGTH TO OVERLAP TOP OF FASCIA LOCATIONS.
4. INSTALL SHINGLES IN MANUFACTURER'S RECOMMENDED PATTERN AND WEATHER EXPOSURE. USE MANUFACTURER'S SPECIFIED FASTENER SCHEDULE.
5. INSTALL RIDGE VENT ALONG ENTIRE LENGTH OF RIDGES.
6. MATERIAL WORKMANSHIP SHALL BE PERFORMED IN ACCORDANCE WITH (SMACNA) STANDARDS AS OUTLINED IN THE 'ARCHITECTURAL SHEET METAL MANUAL'.
7. INSTALL HOLD-DOWN CLIPS IN LAYOUT AND SPACING TO ENSURE SECURE CONNECTION AND TO MINIMIZE 'OIL-CANNING' EFFECTS.
8. PROVIDE EXPANSION JOINTS BETWEEN METAL ROOFING AND ADJACENT CONSTRUCTION AND AS REQUIRED.
9. COORDINATE INSTALLATION OF METAL ROOFING COMPONENTS WITH INSTALLATION OF FLASHING, FASCIA, COPING, GUTTERS, DOWN SPOUTS AND OTHER RELEVANT WORK. METAL ROOFING CONTRACTOR SHALL ASSUME TOTAL RESPONSIBILITY FOR THE INTEGRITY OF THE ENTIRE METAL ROOF ASSEMBLY AND THE INTERFACES WITH ADJACENT MATERIALS AND CONSTRUCTION.

**KEY NOTES - ROOF PLAN:**

- 1. 30-YEAR ASPHALT SHINGLE OVER ICE & WATER SHIELD (ENTIRE ROOF)
- 2. RIDGE VENT, W/ 1.0 SF OF NET FREE AREA PER LF
- 3. OVERBUILD AREA, STICK FRAME AS REQUIRED
- 4. GUTTER

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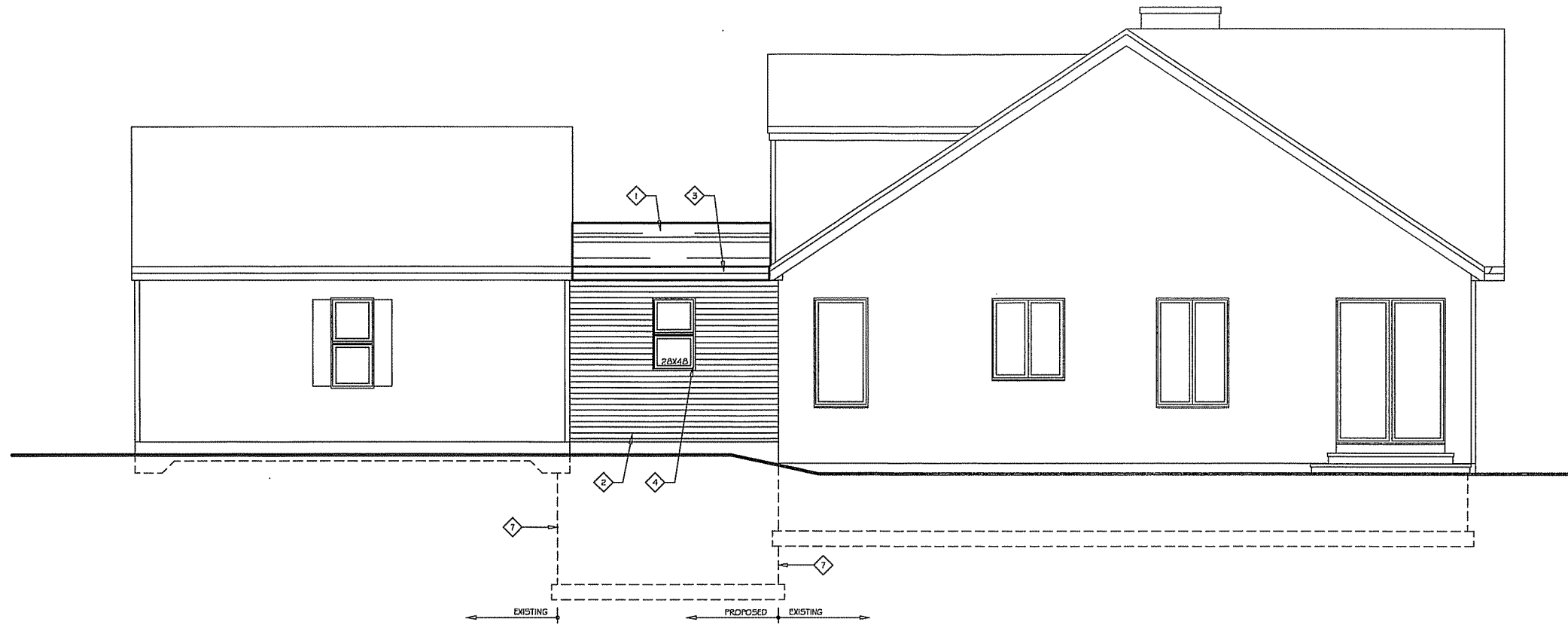
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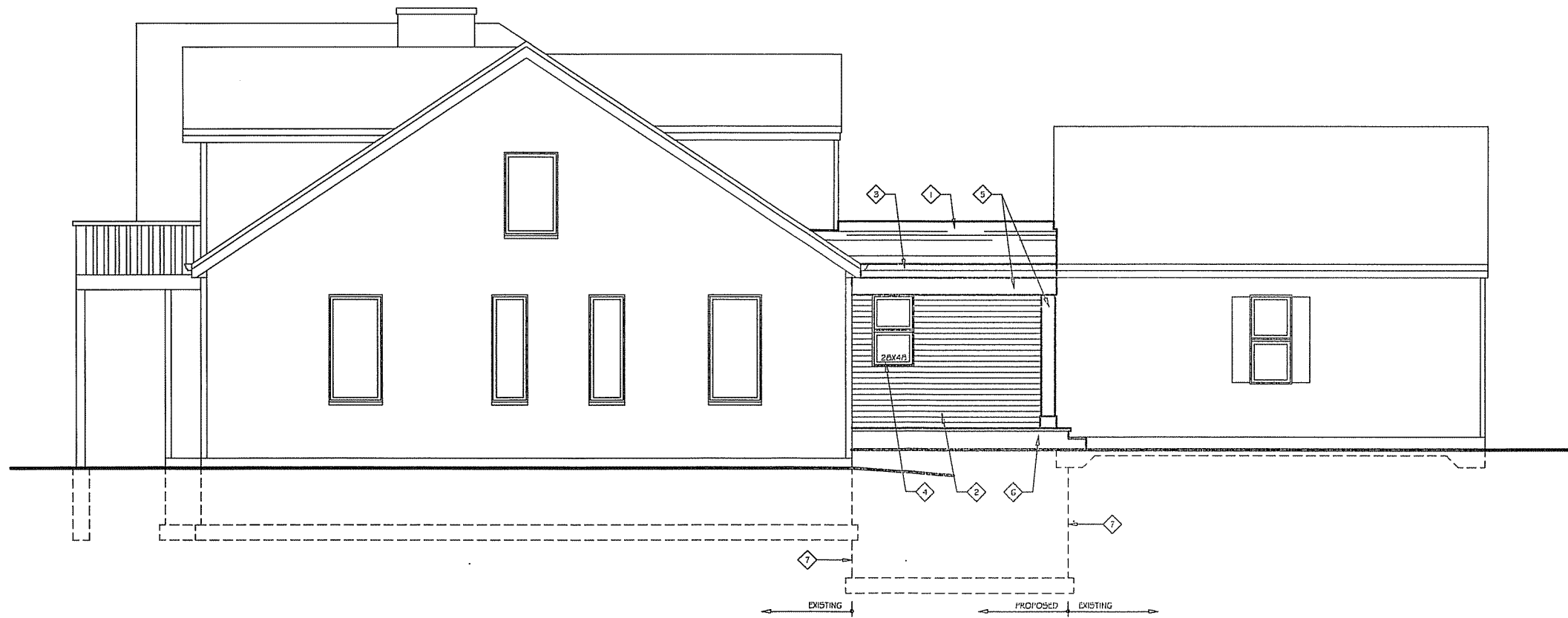
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① SOUTHEAST ELEVATION  
 1/4" = 1'-0" (24' X 36" - FULL SIZE) / 1/8" = 1'-0" (11' X 17" - HALF SIZE)



② NORTHWEST ELEVATION  
 1/4" = 1'-0" (24' X 36" - FULL SIZE) / 1/8" = 1'-0" (11' X 17" - HALF SIZE)

- GENERAL NOTES - EXTERIOR ELEVATIONS:**
- SEE SHEET T1 FOR SYMBOLS, MATERIAL IDENTIFICATION AND ABBREVIATIONS.
  - ALL MATERIALS TO BE INSTALLED PER MANUFACTURERS CURRENT PRINTED INSTRUCTIONS.
  - REFER TO ROOF PLAN FOR AREAS OF ROOF OVERBUILD, EAVE OVERHANGS AND LINEAL RUNS OF GUTTERS, COPING, RIDGE VENTS, ETC.
  - REFER TO FOOTING & FOUNDATION PLAN FOR HEIGHT OF FOOTING AND FOUNDATION STEPS, FROST WALLS, RETAINAGE, ETC.
  - REFER TO FLOOR PLANS FOR WINDOW AND DOOR LOCATIONS. DOOR SIZES OR DOOR SCHEDULE REFERENCES ARE ON THE FLOOR PLANS. GENERIC WINDOW SIZES SHOWN ON EXTERIOR ELEVATIONS.
  - ALL EXTERIOR FINISH COLORS & TEXTURES SHALL BE COORDINATED WITH OWNER UNLESS NOTED OTHERWISE.

- KEY NOTES - EXTERIOR ELEVATIONS:**
- ① NEW ROOF SHINGLES TO MATCH EXISTING
  - ② NEW SIDING TO MATCH EXISTING
  - ③ NEW FASCIA, SOFFIT & GUTTER TO MATCH EXISTING
  - ④ NEW WINDOW TO MATCH EXISTING
  - ⑤ BEAM COLUMN WRAPPED W/ 1X PREFIN. COMPOSITE BOARDS
  - ⑥ NEW CONC. STOOP
  - ⑦ NEW FULL HEIGHT CONC. FOUNDATION WALL - TEMP. BRACE EXISTING GRADE BEAM FROST WALL FOR UNDERPINNING

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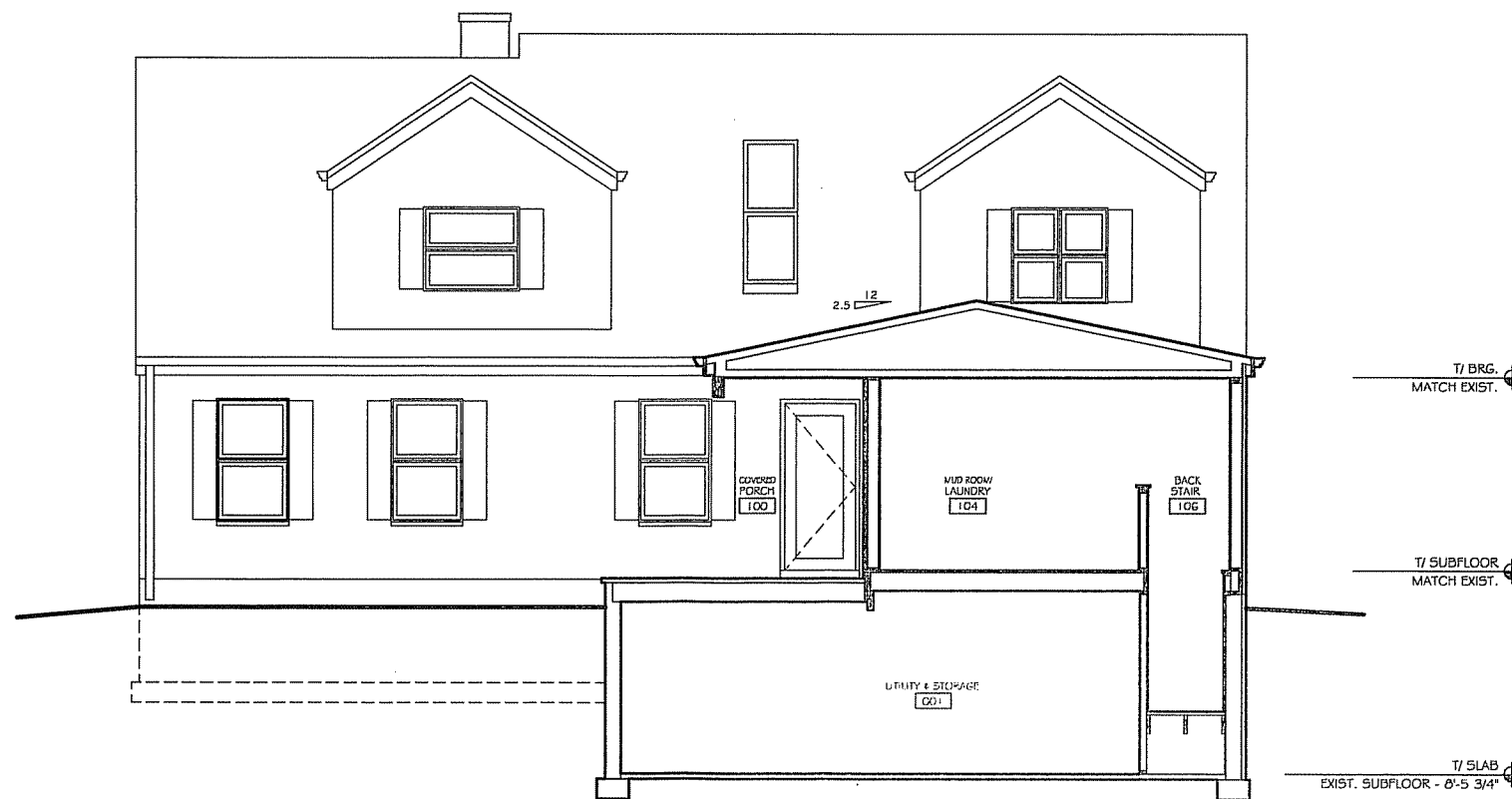




1 **SOUTHWEST ELEVATION**  
 1/4" = 1'-0" (24" X 36" - FULL SIZE) / 1/8" = 1'-0" (11" X 17" - HALF SIZE)

- GENERAL NOTES - EXTERIOR ELEVATIONS:**
- SEE SHEET T1 FOR SYMBOLS, MATERIAL IDENTIFICATION AND ABBREVIATIONS.
  - ALL MATERIALS TO BE INSTALLED PER MANUFACTURERS CURRENT PRINTED INSTRUCTIONS.
  - REFER TO ROOF PLAN FOR AREAS OF ROOF OVERBUILD, EAVE OVERHANGS AND LINEAL RUNS OF GUTTERS, CORING, RIDGE VENTS, ETC.
  - REFER TO FOOTING & FOUNDATION PLAN FOR HEIGHT OF FOOTING AND FOUNDATION STEPS, FROST WALLS, RETAINAGE, ETC.
  - REFER TO FLOOR PLANS FOR WINDOW AND DOOR LOCATIONS, DOOR SIZES OR DOOR SCHEDULE REFERENCES ARE ON THE FLOOR PLANS. GENERIC WINDOW SIZES SHOWN ON EXTERIOR ELEVATIONS.
  - ALL EXTERIOR FINISH COLORS & TEXTURES SHALL BE COORDINATED WITH OWNER UNLESS NOTED OTHERWISE.

- KEY NOTES - EXTERIOR ELEVATIONS:**
- 1 NEW ROOF SHINGLES TO MATCH EXISTING
  - 2 NEW SIDING TO MATCH EXISTING
  - 3 NEW FASCIA, SOFFIT & GUTTER TO MATCH EXISTING
  - 4 NEW WINDOW TO MATCH EXISTING
  - 5 BEAM/ COLUMN WRAPPED W/ 1X PREFIN. COMPOSITE BOARDS
  - 6 NEW CONC. STOOD
  - 7 NEW FULL HEIGHT CONC. FOUNDATION WALL - TEMP. BRACE EXISTING GRADE BEAM/ FROST WALL FOR UNDERPINNING



2 **BUILDING SECTION THRU LOW ROOF**  
 1/4" = 1'-0" (24" X 36" - FULL SIZE) / 1/8" = 1'-0" (11" X 17" - HALF SIZE)

T/ BRG.  
MATCH EXIST.

T/ SUBFLOOR  
MATCH EXIST.

T/ SLAB  
EXIST. SUBFLOOR - 8'-5 3/4"

REDUCED  
(HALF SIZE)

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