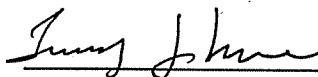




Meinholz Letter of Intent for Applewood CSM (Lot line adjustment)

1. Proposal to relocate the lot line between lots 25 and 26, Applewood Hill Subdivision, Town of Middleton. Current owner is Todd J. Meinholz. Address is 7080 Applewood Drive, Madison, WI 53719 (Lot 25). Lot 26 owner and address are the same.
2. Purpose of new lot would be to sell it and construct new single family residence on it.
3. There would be no zoning changes. Current zoning for both lots is R-1 DCPREZ-0000-01700.
4. Current owner owns both lots and the lot line adjustment would not increase the number of lots originally platted in this subdivision.
5. There have been no adjacent land divisions within the last five years.
6. There are no proposed streets.
7. Soils are GwD2 and DnC2 per Access Dane soils information (see attached map).
8. See attached environmental assessment checklist.
9. Evidence of title: See attached 60 year letter report.
10. Lot 2 access will be determined by the design of the new house.

 3-14-18

Timothy J. Moore, PLS

Date



Todd M <madison.campus.rentals@gmail.com>

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## Lot line adjustment

4 messages

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**Rick Gulbrand** <rgulbrand@family-works.com> Wed, Jan 17, 2018 at 12:14 PM  
To: Madison Campus Rentals <madison.campus.rentals@gmail.com>  
Cc: Ellen Krenke <house\_of\_krenke@yahoo.com>, Don Wolf <don\_j\_wolf@yahoo.com>, Mark Struthers <struthersmj@gmail.com>, Jim Schwetz <jim54729@gmail.com>

Hello Todd,

After a much discussion the board has reached a decision. There has been a great deal of discussion regarding lot size, aesthetics, loss of trees etc.

That aside, the board has approved the adjustment of the lot line as presented in your survey document.

The Applewood covenants however require a 20 foot setback.

Your survey indicates a 10 foot setback on the side of the lot closest to your home.

The board is **not** approving any setback exceptions or changes.

That said; any home built on Lot 2 (the newly sized lot) will have to comply with the Applewood covenants and will require the approval of the Applewood Board or Architectural Committee (if such a committee exists at that time).

Any questions, please let me know.

Regards,

Rick