



# MADISON CHILDREN'S MUSEUM

100 NORTH HAMILTON STREET  
MADISON, WISCONSIN 53703

UDC AND LAND-USE CITY RE-SUBMITTAL  
DECEMBER 18, 2020

NOT FOR CONSTRUCTION



OWNER:  
**MADISON CHILDREN'S MUSEUM**  
100 NORTH HAMILTON STREET  
MADISON, WISCONSIN 53703  
CONTACT: BRENDA BAKER  
EMAIL: bbaker@madisonchildrensmuseum.org

ARCHITECT:  
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MIDDLETON, WISCONSIN 53762  
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CIVIL ENGINEER:  
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STRUCTURAL ENGINEER:  
**PE ENGINEERING**  
222 WEST WASHINGTON AVENUE, SUITE 650  
MADISON, WISCONSIN 53703  
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CONTACT: LUCAS MARSHALL  
EMAIL: lbm@pierceengineers.com

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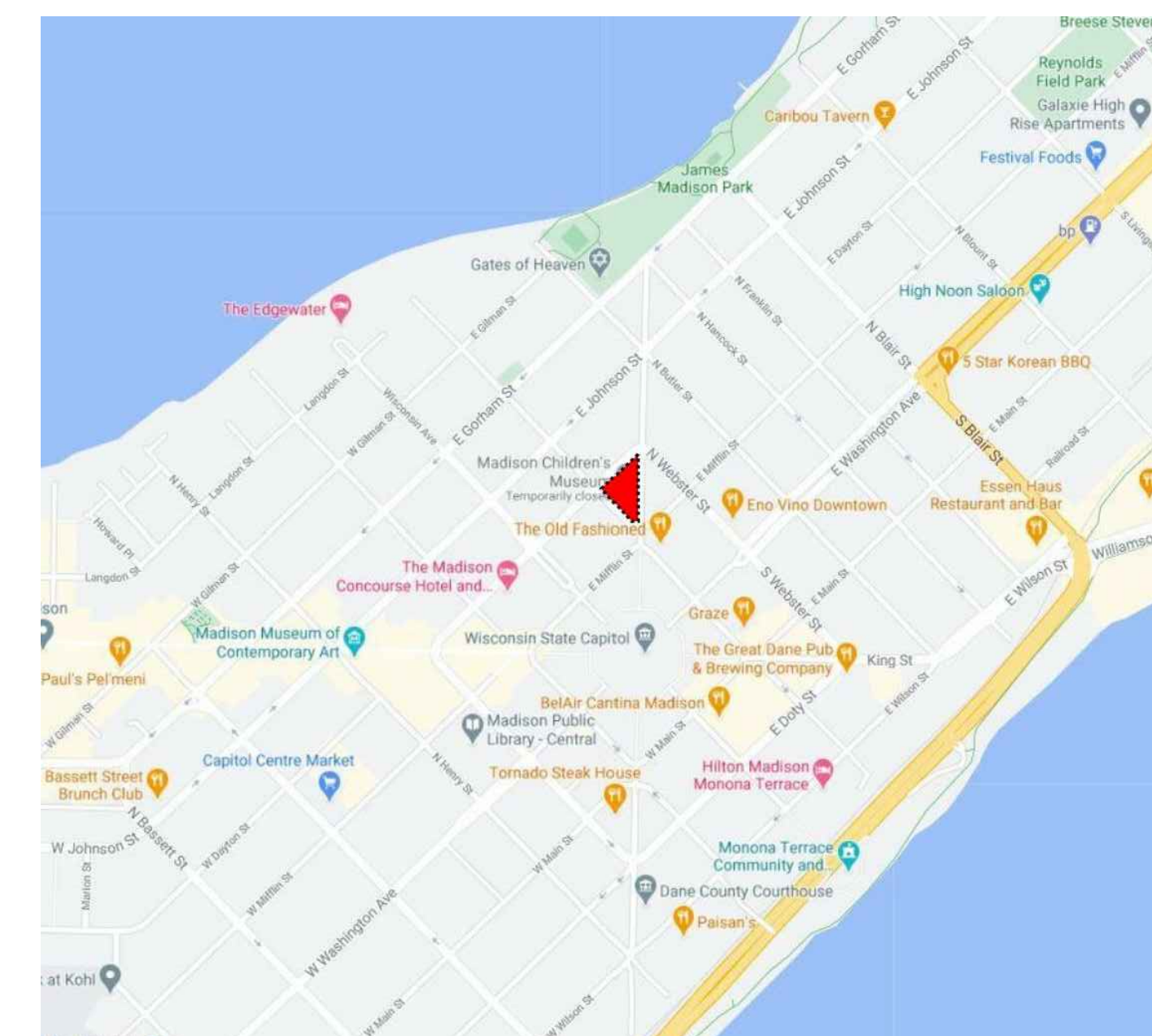
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## PROJECT LOCATION:



PROJECT: Madison Children's Museum Renovation  
100 North Hamilton Street  
Madison, Wisconsin 53703  
CLIENT: Madison Children's Museum  
100 North Hamilton Street  
Madison, Wisconsin 53703

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TITLE SHEET

T-1



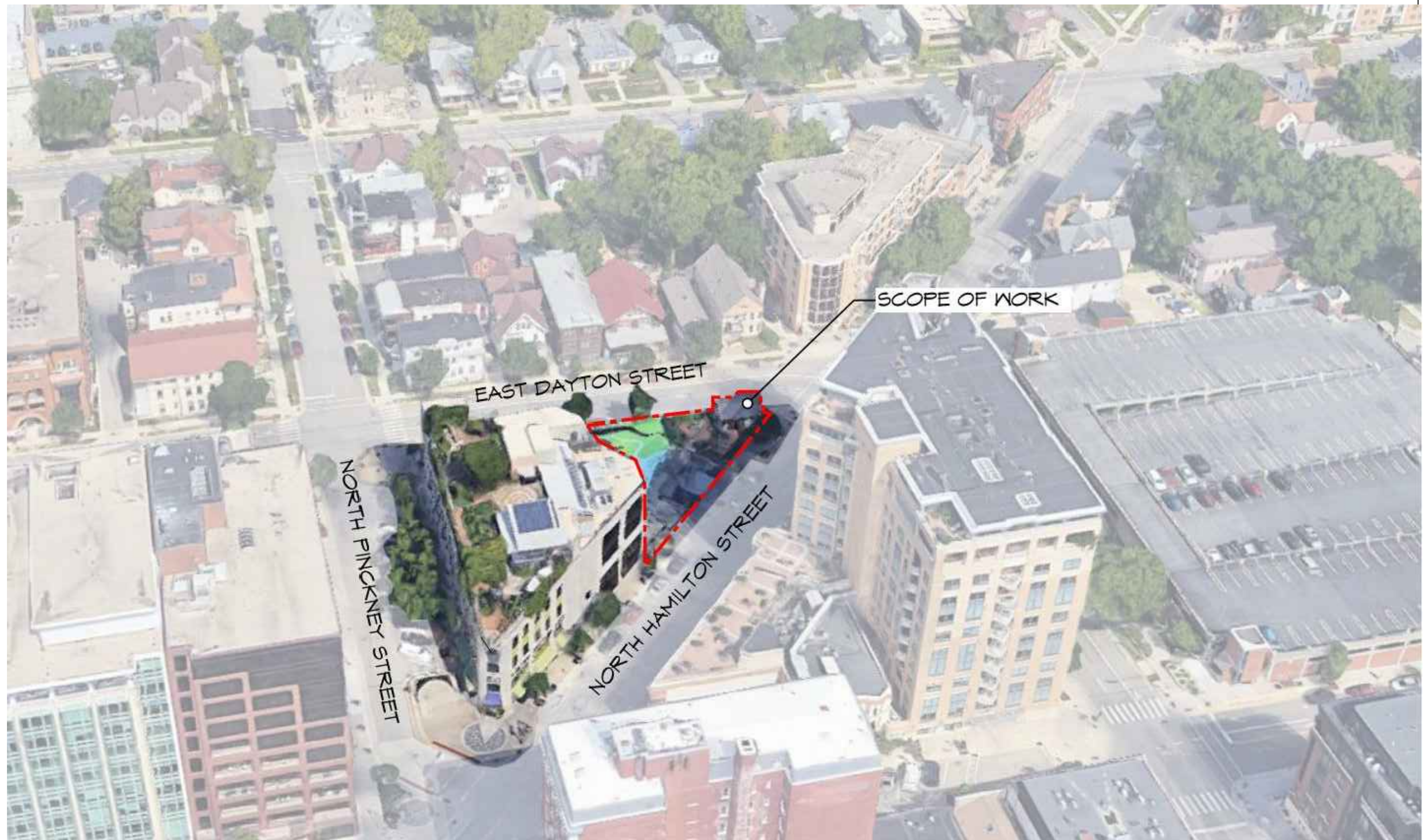
AERIAL VIEW 1



AERIAL VIEW 2



AERIAL VIEW 3



AERIAL VIEW 4

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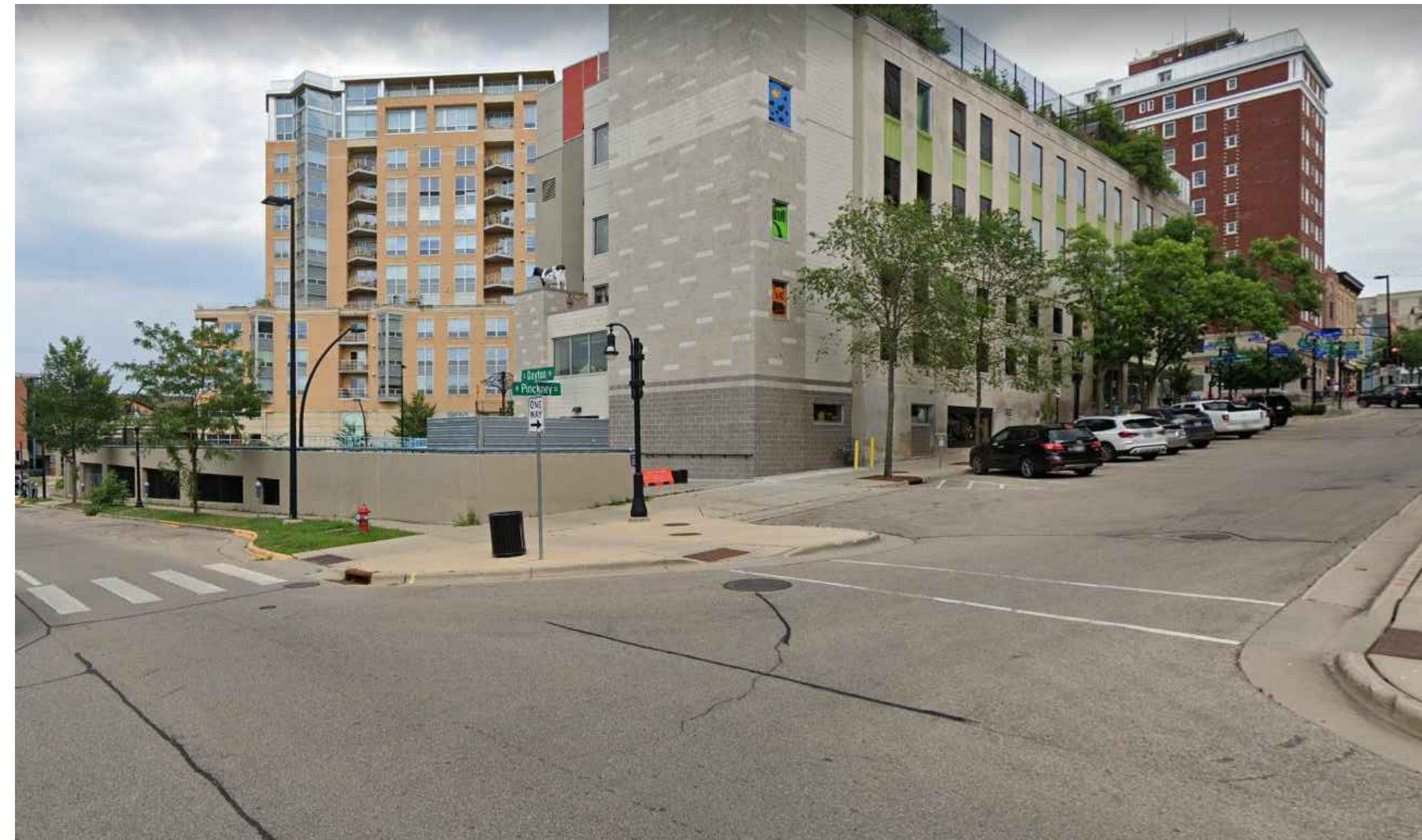
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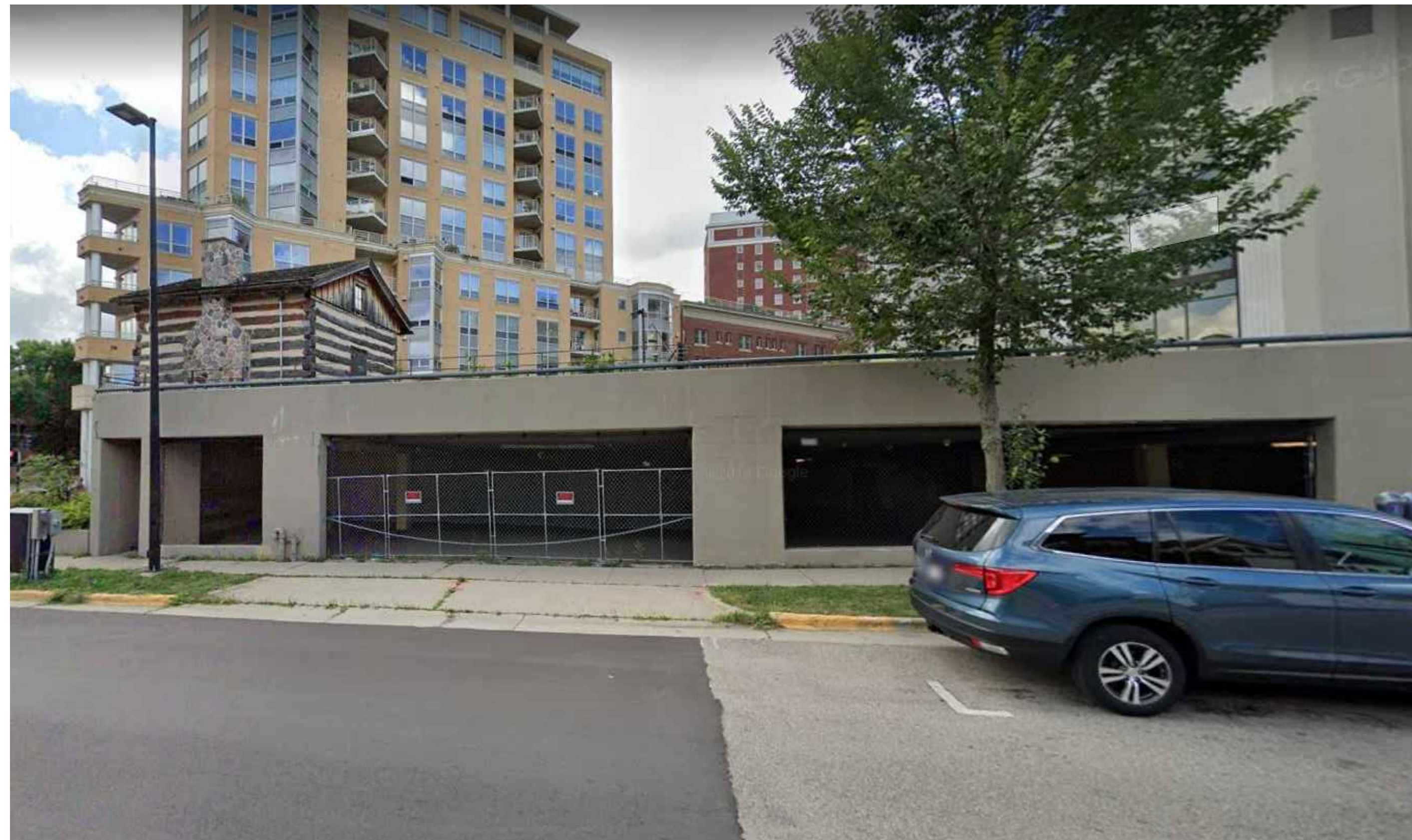
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EXTERIOR VIEW 1 (NORTH HAMILTON / EAST DAYTON)



EXTERIOR VIEW 2 (EAST DAYTON / NORTH PINCKNEY STREET)



EXTERIOR VIEW 3 (EAST DAYTON STREET)



EXTERIOR VIEW 4 (NORTH HAMILTON STREET)

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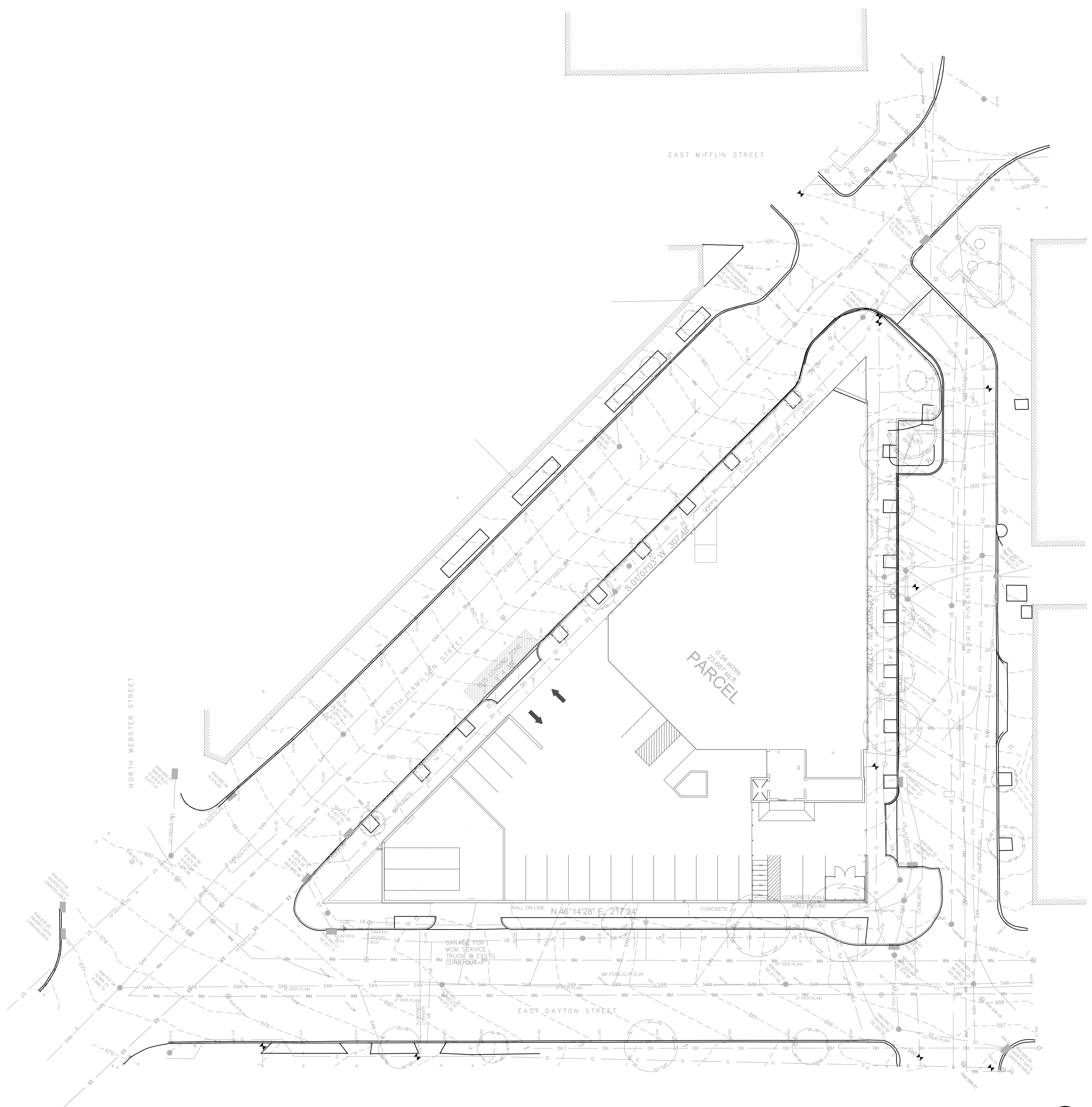
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**NOTES**

1. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
3. CONTRACTOR SHALL PROTECT BENCHMARKS.
4. ANY LAWN OR LANDSCAPED AREAS OUTSIDE OF THE CONSTRUCTION BOUNDARY THAT ARE DISTURBED SHALL BE RE-SEEDING AND/OR REPAIRED WITH ORIGINAL MATERIALS AND TO PRE-DISTURBANCE STANDARDS AT NO COST TO THE OWNER OR CITY.

EXISTING			PROPOSED		
Feature	Area	Percentage	Feature	Area	Percentage
Buildings	10939	46%	Buildings	10939	46%
Parking Deck	12383	52%	Loading Dock	2833	12%
Concrete	99	0%	Asphalt	3894	16%
<b>Total Impervious</b>	<b>23421</b>		<b>Concrete</b>	<b>99</b>	<b>0%</b>
<b>Total Pervious</b>	<b>246</b>	<b>1%</b>	<b>Total Impervious</b>	<b>17765</b>	
			<b>Planting</b>	<b>2625</b>	<b>11%</b>
			<b>Play Area - Mulch</b>	<b>3277</b>	<b>14%</b>
			<b>Total Pervious</b>	<b>5902</b>	
<b>Lot Total</b>	<b>23667</b>		<b>Lot Total</b>	<b>23667</b>	

SITE DEVELOPMENT DENSITIES	
Lot Area	23667 SF
Open Space	9895 SF
Lot Coverage	58%



**1** EXISTING SITE PLAN  
SCALE: 1" = 20'

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DATE: 2020-11-18  
SCALE: SEE PLAN  
UDC / LU SUBMITTAL 1/18/2020  
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**EROSION CONTROL NOTES/SPECIFICATIONS:**

- EROSION CONTROL DEVICES AND/OR STRUCTURES SHALL BE INSTALLED PRIOR TO CLEARING AND GRUBBING OPERATIONS. THESE SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS RE-ESTABLISHED.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE THE RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF THE TIME 0.5 INCHES OF RAIN IS PRODUCED. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS. INSPECTION SCHEDULE AND RECORD KEEPING SHALL COMPLY WITH NR 216.46(9), WIS. ADM. CODE.
- CONSTRUCTION ENTRANCES – PROVIDE A STONE TRACKING PAD AT EACH POINT OF ACCESS. INSTALL ACCORDING TO WDNR STANDARD 1057. REFER TO WDNR'S STORMWATER WEB PAGE OF TECHNICAL STANDARDS AT: [HTTP://DNR.WI.GOV/STORMWATER/STANDARDS/CONSTANDARDS.HTML](http://dnr.wi.gov/STORMWATER/STANDARDS/CONSTANDARDS.HTML). THE TRACKING PAD MUST BE MAINTAINED IN A CONDITION THAT PREVENTS THE TRACKING OF MATERIAL ONTO THE PUBLIC STREET.
- DEWATERING – WATER PUMPED FROM THE SITE SHALL BE TREATED BY USING A TEMPORARY SEDIMENTATION BASIN, PORTABLE DEWATERING BASIN, GEOTEXTILE BAG, OR AN EQUIVALENT DEVICE. SHOW ON THE PLAN THE ANTICIPATED LOCATIONS OF DEWATERING ACTIVITY, AND PROVIDE AN ENGINEERING DETAIL OF THE DEWATERING SYSTEM. DEVICES SHALL COMPLY WITH WDNR TECHNICAL STANDARD 1061 FOUND AT: [HTTP://DNR.WI.GOV/STORMWATER/STANDARDS/CONSTANDARDS.HTML](http://dnr.wi.gov/STORMWATER/STANDARDS/CONSTANDARDS.HTML). THIS WATER SHALL BE DISCHARGED IN A MANNER THAT DOES NOT INDUCE EROSION OF THE SITE OR ADJACENT PROPERTY.
 

PUMP SIZE (MAX GPM)	TYPE I BAG SIZE (SQ-FT)
50	25
100	50
150	75
- STORM SEWER INLETS – PROVIDE WDOT TYPE D "CATCHALL" INLET PROTECTION OR EQUIVALENT. REFER TO WDOT PRODUCT ACCEPTABILITY LIST AT: [HTTP://WWW.DOT.WISCONSIN.GOV/BUSINESS/ENGRSERV/PAL.HTM](http://www.dot.wiscconsin.gov/business/ENGRSERV/PAL.HTM). INLET PROTECTION SHALL BE INSTALLED PRIOR TO THE STORM SEWER SYSTEM RECEIVING SITE RUNOFF. OTHER THAN FOR PERFORMING MAINTENANCE, THESE DEVICES SHALL NOT BE REMOVED UNTIL PLAT-LEVEL STABILIZATION IS COMPLETE.
- BUILDING AND WASTE MATERIALS SHALL BE PREVENTED FROM RUNNING-OFF THE SITE AND ENTERING WATERS OF THE STATE IN CONFORMANCE WITH NR151.12(6M).
- NO SOLID MATERIAL SHALL BE DISCHARGED OR DEPOSITED INTO WATERS OF THE STATE IN VIOLATION OF CH. 30 OR 31 OF THE WISCONSIN STATE STATUTES OR 33 USC 1344 PERMITS.
- EROSION CONTROL DEVICES SHALL ADHERE TO THE TECHNICAL STANDARDS FOUND AT: [HTTP://DNR.WI.GOV/RUNOFF/STORMWATER/TECHSTDS.HTM](http://dnr.wi.gov/RUNOFF/STORMWATER/TECHSTDS.HTM) AND COMPLY WITH ALL CITY OF MADISON ORDINANCES.
- ALL DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE SWEEPED OR SCRAPED CLEAN BY THE END OF EACH WORKDAY.
- ALL BUILDING AND WASTE MATERIAL SHALL BE HANDLED PROPERLY TO PREVENT RUNOFF OF THESE MATERIALS OFF OF THE SITE.
- ALL DISTURBED AREAS SHALL BE RESTORED IMMEDIATELY AFTER GRADING FINAL GRADE HAS BEEN ACHIEVED.
- RESTORATION SHALL FOLLOW THE APPROVED LANDSCAPE PLAN.
- FOR THE FIRST SIX (6) WEEKS AFTER THE INITIAL STABILIZATION OF A DISTURBED AREA, WATERING SHALL BE PERFORMED WHENEVER MORE THAN SEVEN (7) DAYS OF DRY WEATHER ELAPSE.

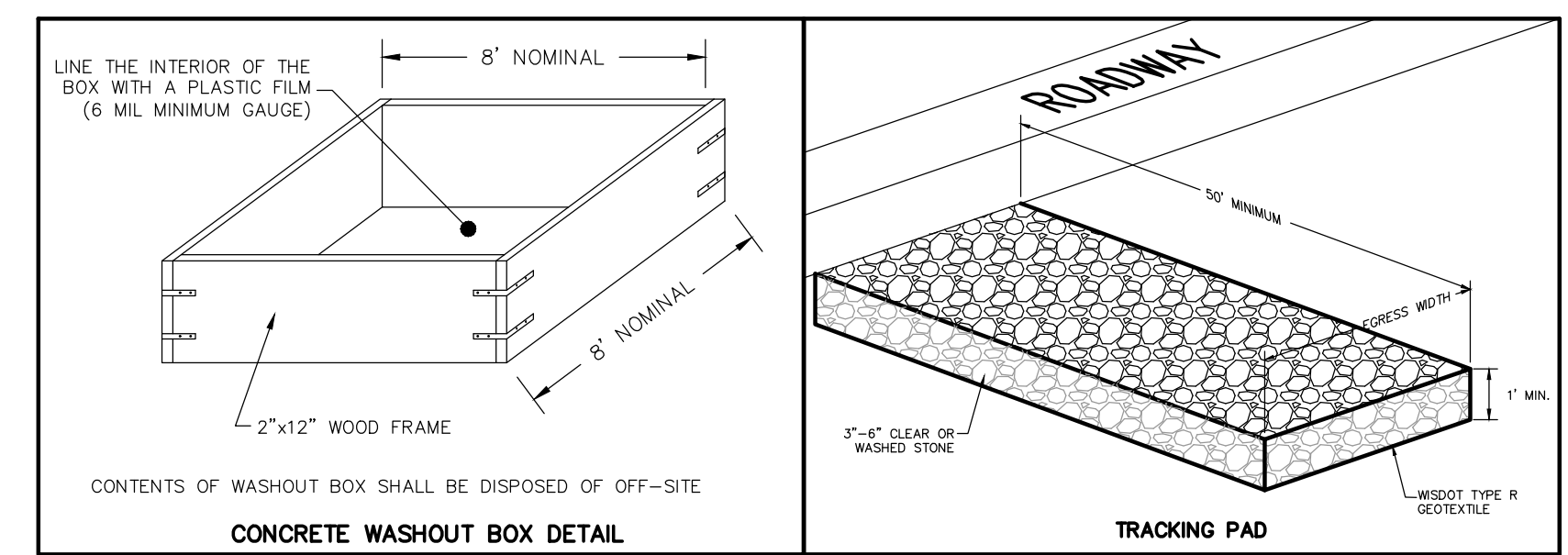
**EMERGENCY CONTACT**  
 MATTHEW PREMO  
 J.H. FINDORFF & SON, INC.  
 300 S. BEDFORD STREET  
 MADISON, WI 53703  
 (608) 442-7076

**SCHEDULE:**

- |                |   |
|----------------|---|
| MARCH 1, 2021  | INSTALL EROSION CONTROL MEASURES. BEGIN DEMOLITION. |
| APRIL 1, 2021  | DEMOLITION COMPLETE. CONSTRUCTION COMMENCES.        |
| JUNE 1, 2021   | CONSTRUCTION AND LANDSCAPING COMPLETE.              |
| AUGUST 1, 2011 | VEGETATION ESTABLISHED.                             |

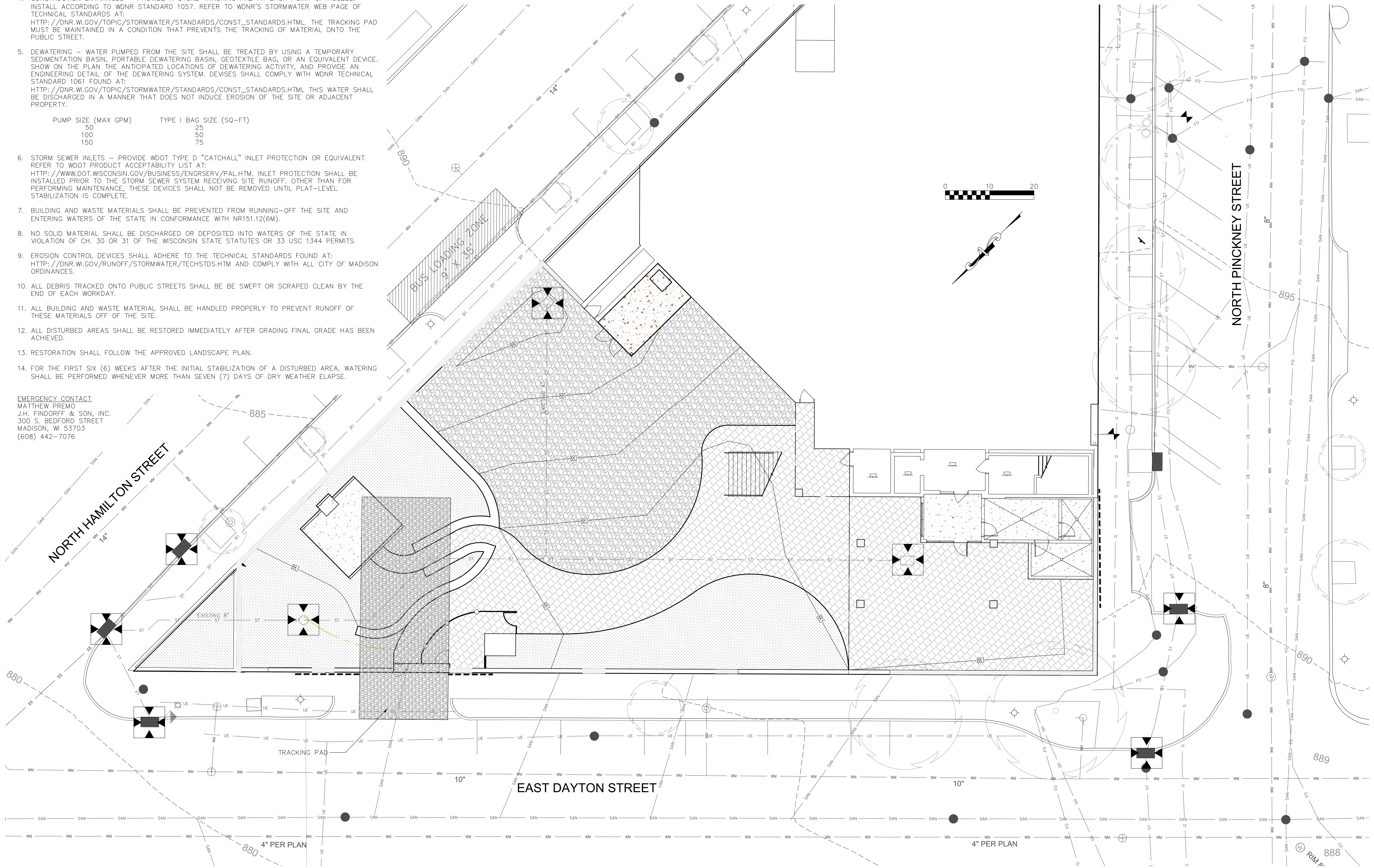
**LEGEND**

- 884--- EXISTING MINOR CONTOUR
- 885--- EXISTING MAJOR CONTOUR
- 884--- PROPOSED MINOR CONTOUR
- 885--- PROPOSED MAJOR CONTOUR
- --- SILT SOCK
- [Pattern] TRACKING PAD
- [Symbol] INLET PROTECTION



**GBA**  
 architecture | design  
 7780 ELMWOOD AVE. STE. 204  
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 608-829-1750  
 608-829-3056 (FAX)

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 Phone: 608-250-9000  
 Fax: 608-250-9200  
 e-mail: mburse@BSE-INC.net  
 www.burseurveying.com



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**SCALE:** 1" = 10'

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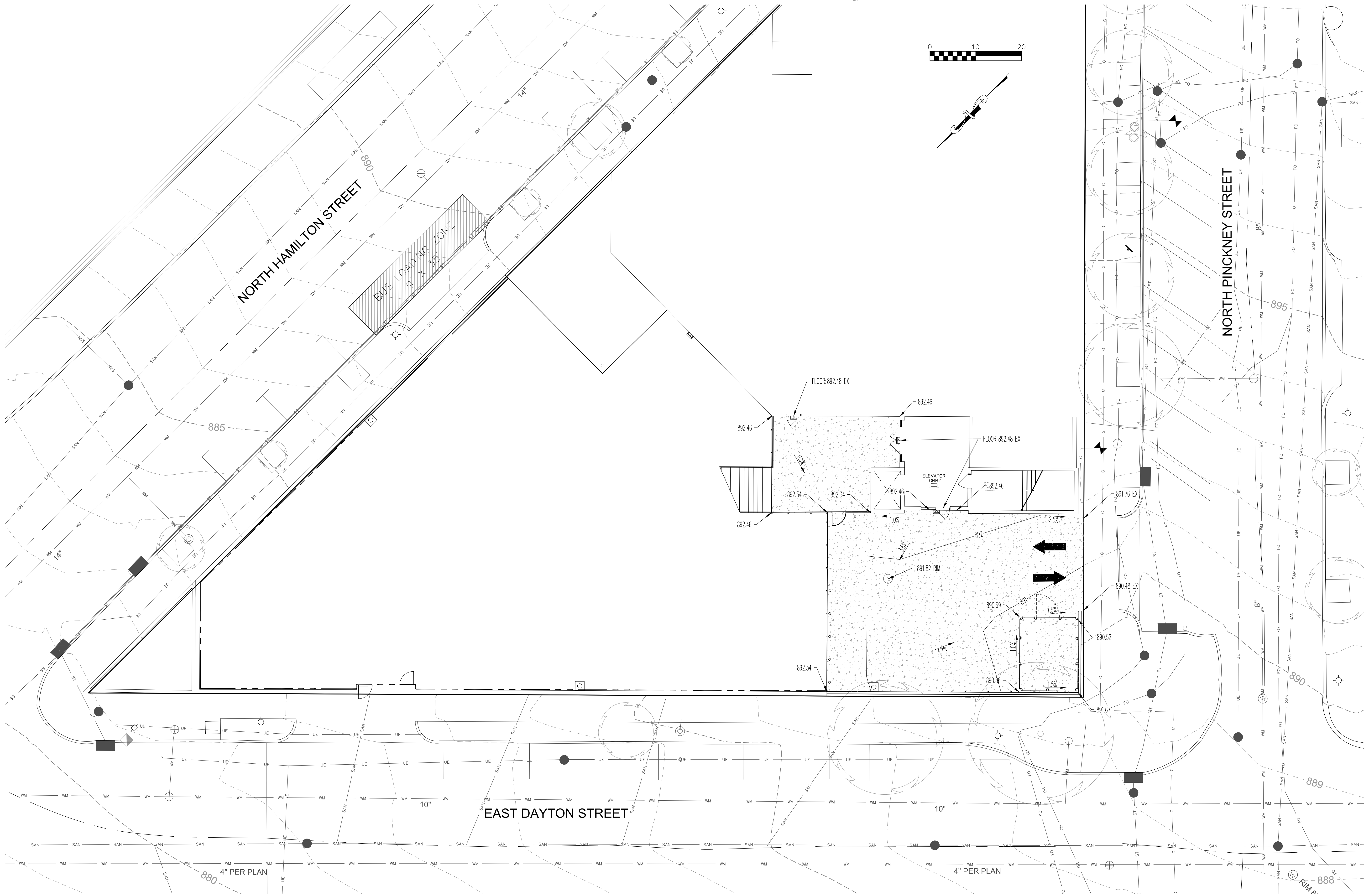
**EROSION CONTROL PLAN**

**GENERAL NOTES:**

1. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES. UTILITIES WERE LOCATED BY OBSERVED EVIDENCE, MARKINGS PROVIDED BY DIGGER'S HOTLINE, AND RECORD DRAWINGS FROM THE CITY OF MADISON.
3. CONTRACTOR SHALL VERIFY THE SIZE, TYPE, SLOPE, AND INVERTS OF ALL EXISTING STORM AND SANITARY LATERALS CALLED OUT TO BE CONNECTED TO. CONTRACTOR SHALL SUBMIT THE INFORMATION ON THE PIPES TO THE CITY INSPECTOR AND PROJECT CIVIL ENGINEER.
4. ALL GRADES ARE FINISH ELEVATION UNLESS OTHERWISE NOTED.
5. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
6. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.
7. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION <http://www.cityofmadison.com/business/pw/documents/stdspecs/2018/part1.pdf>. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.

**LEGEND**

---884---	EXISTING MINOR CONTOUR
---885---	EXISTING MAJOR CONTOUR
---884---	PROPOSED MINOR CONTOUR
---885---	PROPOSED MAJOR CONTOUR
→	DRAINAGE DIRECTION (WITH OR WITHOUT SLOPE)
892.46	SPOT ELEVATION
BW	BOTTOM OF WALL
TW	TOP OF WALL
EX	EXISTING



**G B A**  
architecture | design

7780 ELMWOOD AVE. STE. 204  
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[www.burseurveying.com](http://www.burseurveying.com)

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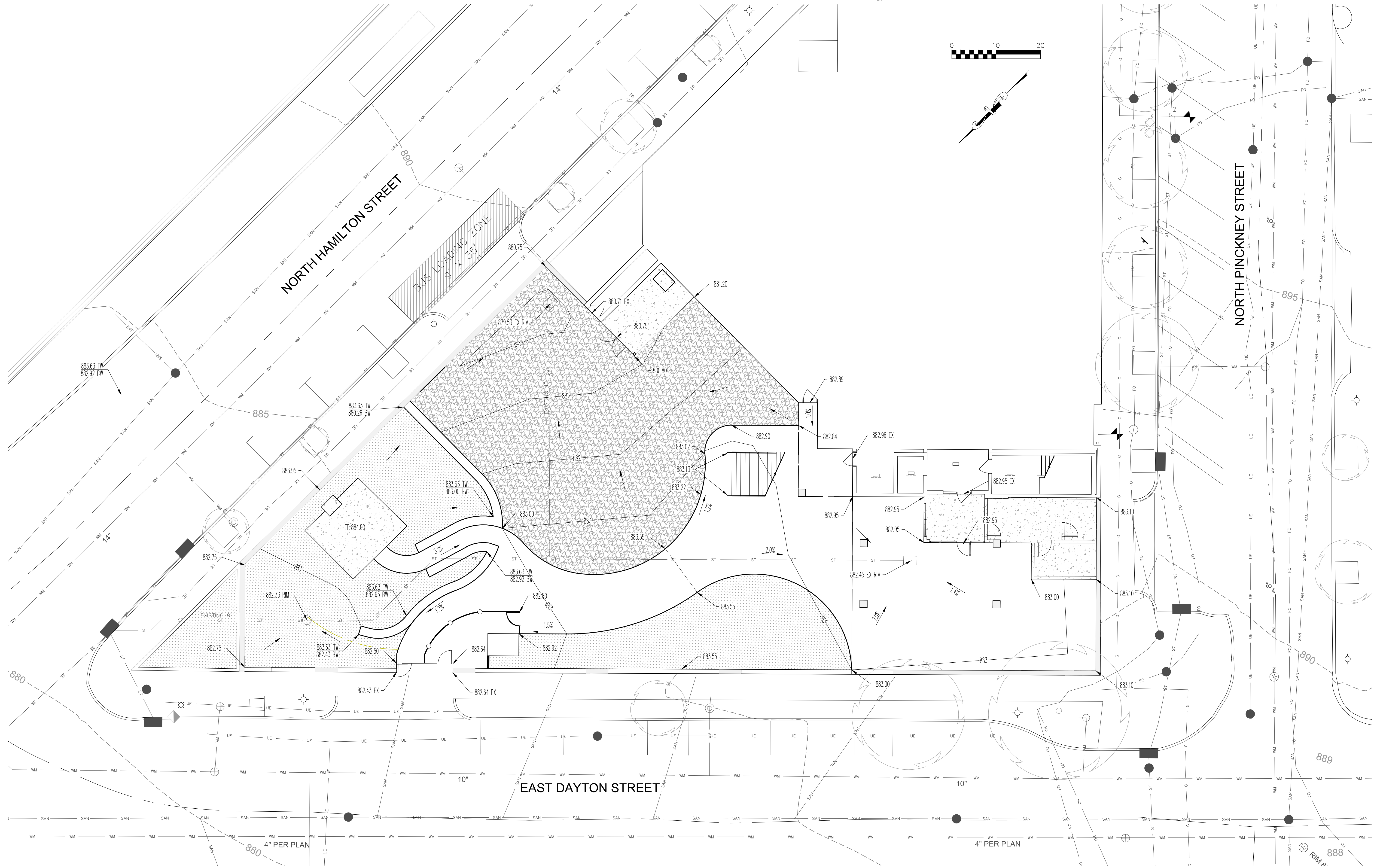
**GRADING PLAN  
FIRST FLOOR**

**GENERAL NOTES:**

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- 885— PROPOSED MAJOR CONTOUR
- DRAINAGE DIRECTION (WITH OR WITHOUT SLOPE)
- 892.46 SPOT ELEVATION
- BW BOTTOM OF WALL
- TW TOP OF WALL
- EX EXISTING



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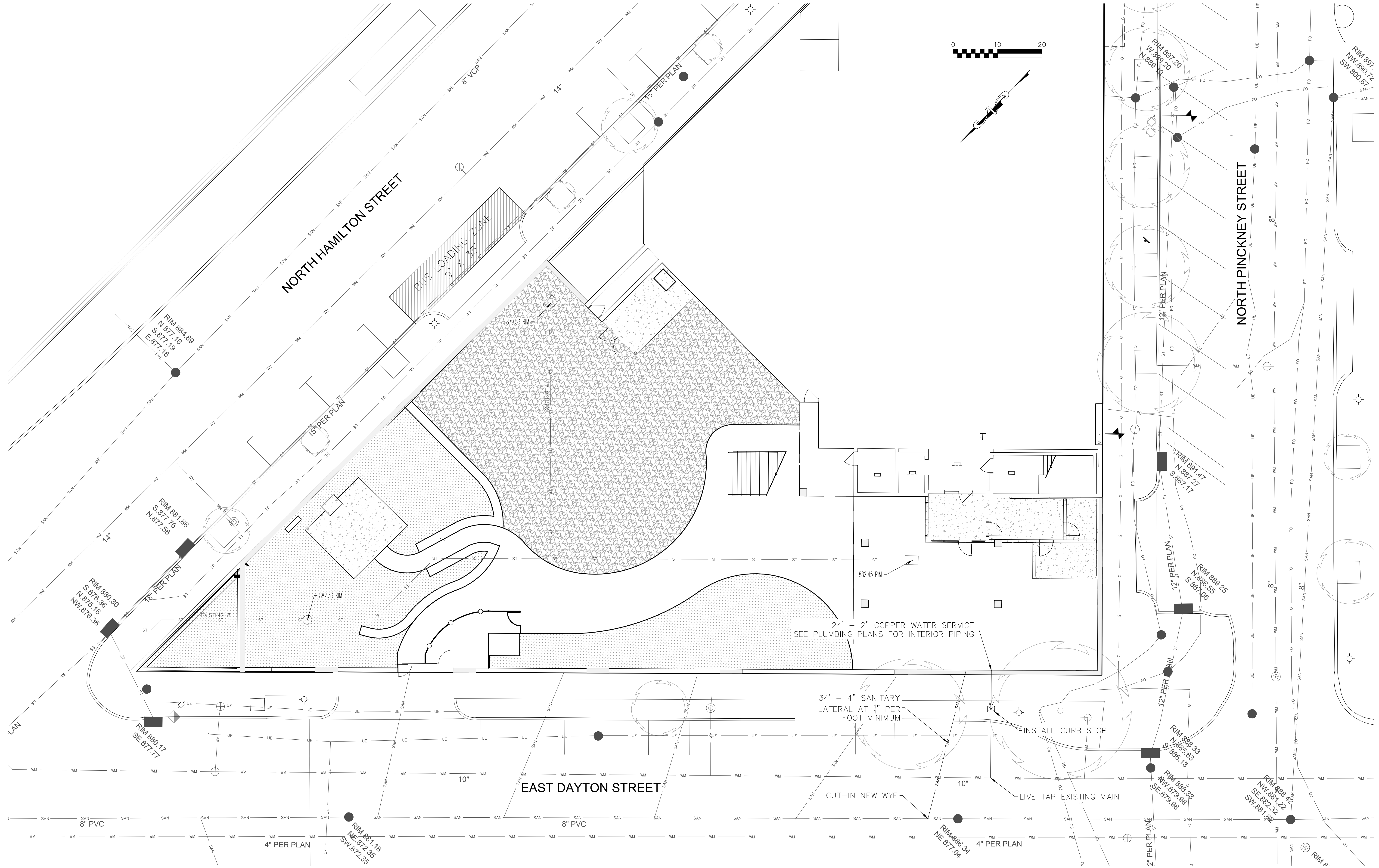
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GRADING PLAN  
LOWER LEVEL

UTILITY PLAN NOTES:

1. ALL WORK WITHIN PUBLIC STREET RIGHTS-OF-WAY AND EASEMENTS SHALL BE COMPLIANT WITH THE CITY OF MADISON STANDARD SPECIFICATIONS CURRENT AT THE TIME OF CONSTRUCTION.
2. ALL NEW STORM STRUCTURES PROPOSED IN THE PUBLIC RIGHT-OF-WAY OR PUBLIC STORM EASEMENT SHALL BE FIELD POURED UNLESS STRUCTURE SHOP DRAWINGS ARE APPROVED BY CITY ENGINEERING AS PART OF THE REQUIRED PERMIT TO EXCAVATE IN THE RIGHT-OF-WAY.
3. ALL PRIVATE UTILITIES (GAS, ELECTRIC, AND TELECOMMUNICATIONS) SERVING EXISTING BUILDINGS SCHEDULED FOR DEMOLITION TO BE ABANDONED OR REMOVED BY CORRESPONDING UTILITY COMPANY.
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6. ANY SIDEWALK, CURB, OR OTHER PUBLIC PROPERTY DAMAGED AS PART OF THE CONSTRUCTION OF THE UTILITIES AND BUILDING SHALL BE REPLACED IN-KIND PER THE CITY OF MADISON STANDARD SPECIFICATIONS.
7. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF THE CITY.
8. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY PRIOR TO THE START OF CONSTRUCTION. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION <http://www.cityofmadison.com/business/pw/documents/stdspecs/2018/part1.pdf>. ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY, TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.





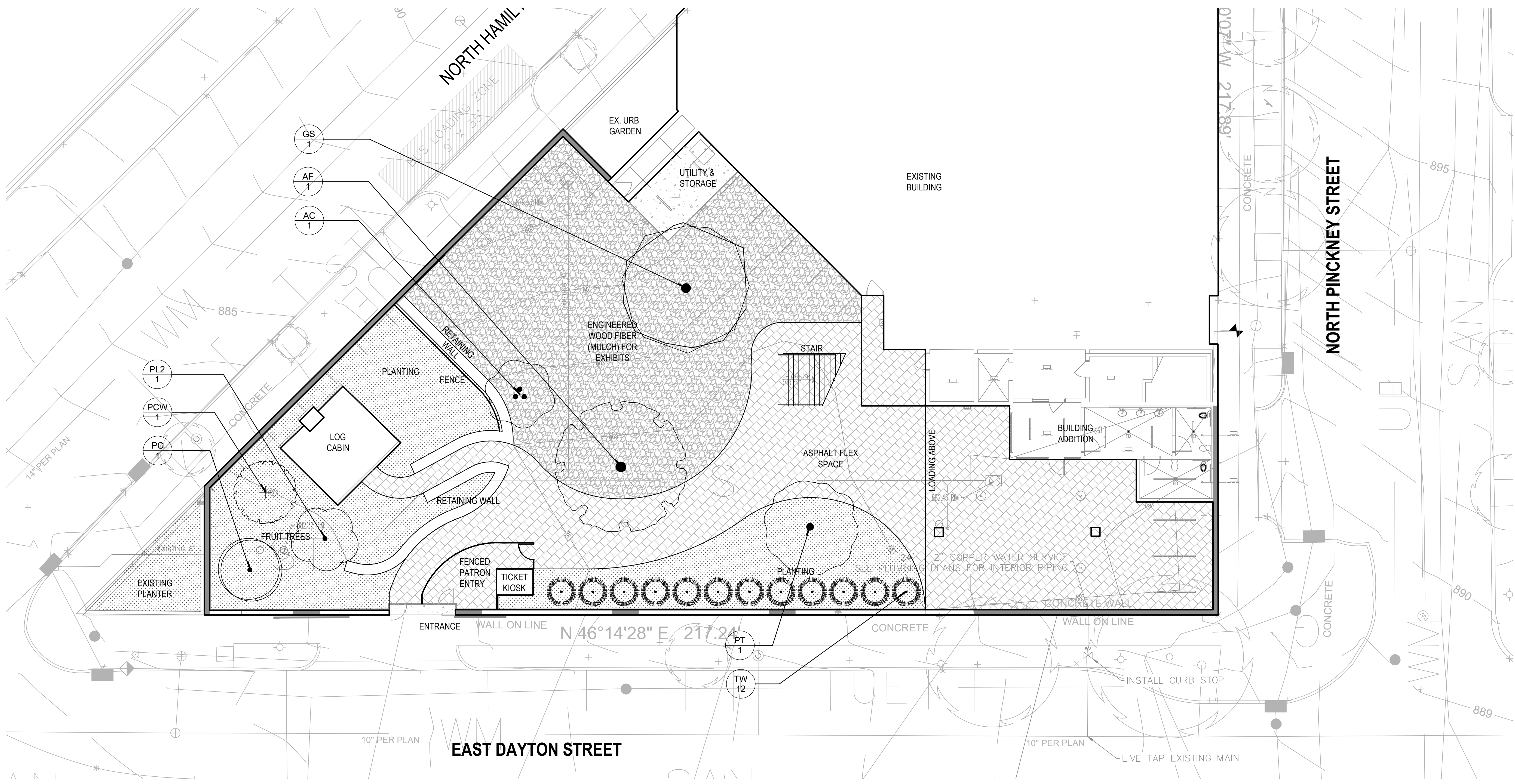
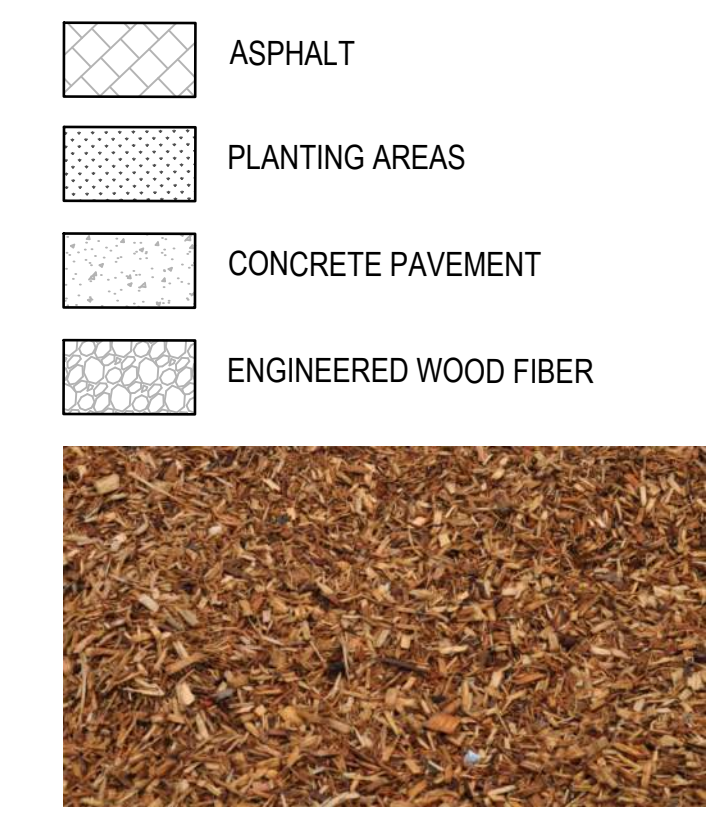
**NOTES**

1. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
3. CONTRACTOR SHALL PROTECT BENCHMARKS.
4. ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
5. ANY LAWN OR LANDSCAPED AREAS OUTSIDE OF THE CONSTRUCTION BOUNDARY THAT ARE DISTURBED SHALL BE RE-SEEDED AND/OR REPAIRED WITH ORIGINAL MATERIALS AND TO PRE-DISTURBANCE STANDARDS AT NO COST TO THE OWNER OR CITY.
6. CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.
7. CONTRACTOR SHALL CONTACT CITY FORESTRY (BRAD HOFMANN, BHOFMANN@CITYOFMADISON.COM - OR - 608-266-4816) AT LEAST ONE WEEK PRIOR TO PLANTING IN THE RIGHT-OF-WAY TO SCHEDULE INSPECTING THE NURSERY STOCK, REVIEW PLANTING SPECIFICATIONS AND INDICATE PLANTING LOCATIONS WITH THE LANDSCAPE CONTRACTOR.
8. CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATION SECTIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF AND GRASSES, PLANTS, AND EXTERIOR SITE FURNISHINGS (SECTIONS 31 13 00, 32 33 00, 32 91 13, 32 90 00 & 32 93 00. THESE SECTIONS PROVIDE ADDITIONAL DETAILED INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
9. CONTRACTOR WILL BE REQUIRED TO SUBMIT TOPSOIL TEST RESULTS PER SECTION 32 91 13 PRIOR TO PLACEMENT OF SOIL MATERIALS ON THIS PROJECT.

**PLANT SCHEDULE**

CANOPY/SHADE TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
AF	Acer x freemanii 'DTR 102' TM / Autumn Fantasy Freeman Maple	B & B	2.5"Cal	1
GS	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	B & B	2.5"Cal	1
PT	Populus tremuloides / Quaking Aspen	15 gal	MULTI-STEM, 8' HT. MIN.	1
EVERGREEN TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
TW	Thuja occidentalis 'Wintergreen' / Arborvitae	B & B	6' HT. (MIN.)	12
ORNAMENTAL TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
AC	Amelanchier laevis 'Cumulus' / Cumulus Allegheny Serviceberry	15 gal	6' HT. (MIN.)	1
PL2	Prunus avium 'Lapins' / Lapins Sweet Cherry	15 gal	1.5"Cal	1
PC	Pyrus communis 'Harrow Delight' / Harrow Delight Pear	15 gal	1.5"Cal	1
PCW	Pyrus communis 'Warren' / Warren Pear	15 gal	1.5"Cal	1

**LEGEND**



**NOT FOR CONSTRUCTION**

PROJECT: **Madison Children's Museum Renovation**  
100 North Hamilton Street  
Madison, Wisconsin 53703  
CLIENT: **Madison Children's Museum**  
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PROJECT: 202042  
DRAWN BY: DA, AM  
DATE: 2020-12-31  
SCALE: SEE PLAN  
UDC / LU SUBMITTAL 1/18/2020  
UDC / LU RE-SUBMITTAL 1/18/2020

NOT FOR CONSTRUCTION

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PROJECT: 202042  
DRAWN BY: GJA  
DATE:  
SCALE: AS NOTED  
UDC / LU SUBMITTAL 11/8/2020  
UDC / LU RE-SUBMITTAL 12/18/2020

DEMO PLAN SYMBOLS	
	DEMOLITION / REMOVE WALL
	EXISTING WALL TO REMAIN
	DEMOLITION / REMOVE EXISTING DOOR (AND FRAME AS INDICATED)
	EXISTING DOOR AND FRAME TO REMAIN
	EXISTING STRUCTURAL COLUMN TO REMAIN
	KEY NOTE
	NOT IN CONTRACT / OUTSIDE OF AREA OF WORK

DEMO FLOOR PLAN KEY NOTES	
1.	REMOVE BIKE RACKS.
2.	EXISTING LOG CABIN TO BE CAREFULLY REMOVED INTACT, PROTECTED, TEMPORARILY RELOCATED OFF-SITE AND RETAINED TO NEW LOCATION ON NEW 5" SLAB-ON-GRADE AT LOWER LEVEL. REMOVAL AND STORAGE TO BE DONE BY QUINER / MOY PRIOR TO DEMOLITION ACTIVITIES.
3.	EXISTING CONCRETE WALL AND PIPE RAIL TO BE REMOVED AT PERIMETER OF UPPER DECK AND AS SHOWN IN ELEVATIONS.
4.	EXISTING CONCRETE COLUMN TO BE REMOVED. REMOVE TO 1' BELOW EXISTING BASEMENT FLOOR LEVEL.
5.	EXISTING SECOND FLOOR DECK TO BE REMOVED AND RE-BUILT IN THIS AREA.
6.	EXISTING FIRST FLOOR DECK TO BE REMOVED ENTIRELY IN THIS AREA.
7.	EXISTING PLANTER BOX TO REMAIN. MODIFY BACK WALL AS REQUIRED FOR NEW WORK.
8.	EXISTING BOLLARDS TO BE REMOVED.
9.	EXISTING CONCRETE COLUMN TO REMAIN.
10.	REMOVE EXISTING PAVING, SUB-GRADE, BIKE RACKS, ETC. AS REQUIRED IN PREPARATION FOR NEW WORK.
11.	EXISTING CONDENSING UNIT SERVICING ADJACENT OCCUPIED SPACES TO REMAIN. TEMPORARILY SUPPORT / SUSPEND UNTIL NEW WORK IS COMPLETE.
12.	EXISTING STEEL COLUMN SUPPORTING PLATFORM (ABOVE) TO REMAIN. PROTECT AND MAINTAIN IN PLACE DURING CONSTRUCTION AND NEW WORK.
13.	REMOVE WALL, DOOR AND INFILL WALL. PROVIDE 24" HIGH INFILL WALL AT SIDEWALK TO 12" ABOVE. DRILL AND DOSEL (2) #4 BARS (1#) INTO ADJACENT FOUNDATION WALLS.
14.	EXISTING EXHIBIT / DECK AND STRUCTURE TO REMAIN.
15.	REMOVE EXISTING PARKING LOT LIGHTS (TOTAL OF 3) AND RETAIN FOR RE-INSTALLATION. WIRING / CIRCUITS ARE TO BE COILED IN PLACE FOR RE-INSTALLATION / RE-CONNECTION IN PLACE AT LOWER LEVEL LOCATION. PROVIDE NEW FOUNDATION / FOOTING FOR RE-INSTALLATION.
16.	REMOVE AND RE-INSTALL EXISTING TRASH ENCLOSURE TO NEW LOCATION AND CONFIGURATION.
17.	EXISTING PLANTING BED BELOW EXHIBIT TO REMAIN. PROTECT THROUGHOUT DEMOLITION AND NEW CONSTRUCTION ACTIVITIES.
18.	EXISTING FOUNDATION WALL TO REMAIN.
19.	EXISTING STORM / INLET TO REMAIN. REFER TO PLUMBING DRAWINGS FOR CONTINUATION / RE-WORK.



**NOTE:**  
EXISTING (3) THREE CUT-OFF POLE PARKING LOT LIGHTS TO BE REMOVED AND RELOCATED IN PLACE TO NEW LOWER LEVEL PLAN. NO NEW LIGHTING IS BEING PROPOSED AND LOCATIONS OF EXISTING LIGHTING IS BEING MAINTAINED.

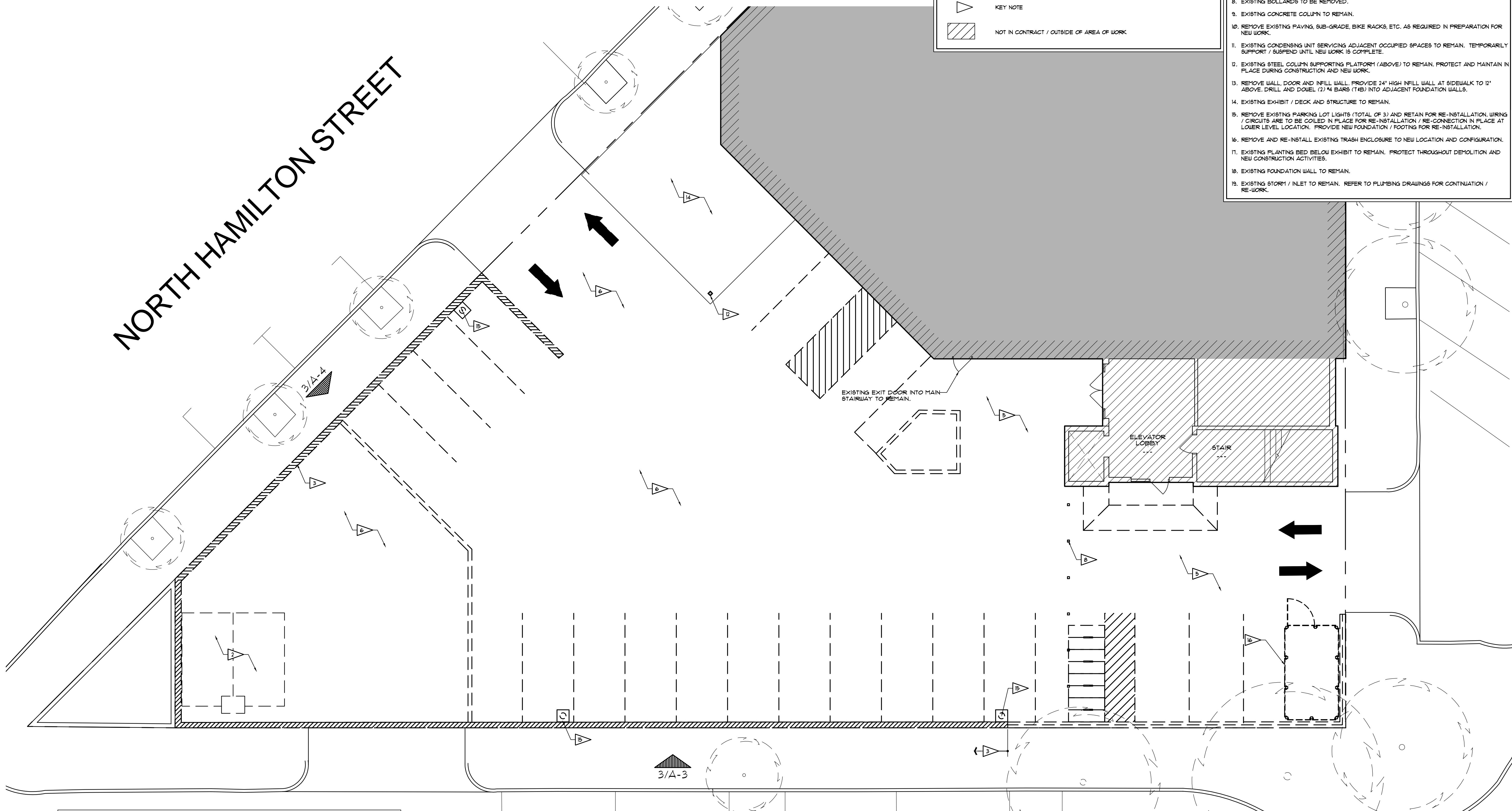
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UDC / LU SUBMITTAL 11/8/2020  
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DEMO PLAN SYMBOLS	
	DEMOLITION / REMOVE WALL
	EXISTING WALL TO REMAIN
	DEMOLITION / REMOVE EXISTING DOOR (AND FRAME AS INDICATED)
	EXISTING DOOR AND FRAME TO REMAIN
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	KEY NOTE
	NOT IN CONTRACT / OUTSIDE OF AREA OF WORK

- | DEMO FLOOR PLAN KEY NOTES |   |
|---------------------------|---|
| 1.                        | REMOVE BIKE RACKS.  |
| 2.                        | EXISTING LOG CABIN TO BE CAREFULLY REMOVED INTACT, PROTECTED, TEMPORARILY RELOCATED OFF-SITE AND RETAINED TO NEW LOCATION ON NEW 6" SLAB-ON-GRADE AT LOWER LEVEL. REMOVAL AND STORAGE TO BE DONE BY OWNER / MCM PRIOR TO DEMOLITION ACTIVITIES.         |
| 3.                        | EXISTING CONCRETE WALL AND PIPE RAIL TO BE REMOVED AT PERIMETER OF UPPER DECK AND AS SHOWN IN ELEVATIONS.   |
| 4.                        | EXISTING CONCRETE COLUMN TO BE REMOVED. REMOVE TO 1' BELOW EXISTING BASEMENT FLOOR LEVEL.   |
| 5.                        | EXISTING SECOND FLOOR DECK TO BE REMOVED AND RE-BUILT IN THIS AREA.   |
| 6.                        | EXISTING FIRST FLOOR DECK TO BE REMOVED ENTIRELY IN THIS AREA.  |
| 7.                        | EXISTING PLANTER BOX TO REMAIN. MODIFY BACK WALL AS REQUIRED FOR NEW WORK.  |
| 8.                        | EXISTING BOLLARDS TO BE REMOVED.  |
| 9.                        | EXISTING CONCRETE COLUMN TO REMAIN.   |
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| 11.                       | EXISTING CONDENSING UNIT SERVICING ADJACENT OCCUPIED SPACES TO REMAIN. TEMPORARILY SUPPORT / SUSPEND UNTIL NEW WORK IS COMPLETE.  |
| 12.                       | EXISTING STEEL COLUMN SUPPORTING PLATFORM (ABOVE) TO REMAIN. PROTECT AND MAINTAIN IN PLACE DURING CONSTRUCTION AND NEW WORK.  |
| 13.                       | REMOVE WALL, DOOR AND INFILL WALL. PROVIDE 24" HIGH INFILL WALL AT SIDEWALK TO 12" ABOVE. DRILL AND DOEEL (2) #4 BARS (1#) INTO ADJACENT FOUNDATION WALLS.  |
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| 16.                       | REMOVE AND RE-INSTALL EXISTING TRASH ENCLOSURE TO NEW LOCATION AND CONFIGURATION.   |
| 17.                       | EXISTING PLANTING BED BELOW EXHIBIT TO REMAIN. PROTECT THROUGHOUT DEMOLITION AND NEW CONSTRUCTION ACTIVITIES.   |
| 18.                       | EXISTING FOUNDATION WALL TO REMAIN.   |
| 19.                       | EXISTING STORM / INLET TO REMAIN. REFER TO PLUMBING DRAWINGS FOR CONTINUATION / RE-WORK.  |



**NOTE:**  
EXISTING (3) THREE CUT-OFF POLE PARKING LOT LIGHTS TO BE REMOVED AND RELOCATED IN PLACE TO NEW LOWER LEVEL PLAN. NO NEW LIGHTING IS BEING PROPOSED AND LOCATIONS OF EXISTING LIGHTING IS BEING MAINTAINED.

**OMEGA ARCHITECTURAL**

BRING YOUR STYLE RIGHT THROUGH THE FENCE

THE OMEGA ARCHITECTURAL FENCE SYSTEM ENHANCES THE BEAUTY AND AMBIENCE OF YOUR PROPERTY WITH A UNIQUE, MODERN FENCE DESIGN.

**QUICK VIEW**

HEIGHT	4' 0" (6' (stockable)) 1253.280 (173.364 mm)	Vertical wire	8 GA (14.86 mm)
LENGTH	7' 0" (21336 mm)	Horizontal wire	6 GA (14.86 mm)
FINISH	Pre-polymerized + powder coated	Mesh opening	1 1/2" x 6" 38.1 mm x 152.4 mm



OMEGA II ARCHITECTURAL / "NON-CLIMBABLE" FENCE

REFUSE ENCLOSURE / LOADING DOCK SCREEN WALL

**PLAN SYMBOLS**

- KEY NOTE
- EXISTING WALL TO REMAIN
- NEW WALL / PARTITION
- NEW CPU WALL / PARTITION
- EXISTING DOOR TO REMAIN
- DOOR / INTERIOR OPENING TO MATCH BUILDING STANDARD. PAINT TO MATCH EXISTING ADJACENT SURFACES.
- EXISTING STRUCTURAL COLUMN TO REMAIN
- NOT IN CONTRACT / OUTSIDE OF AREA OF WORK

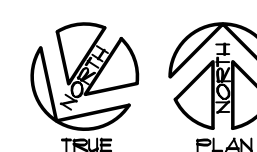
**FLOOR PLAN KEY NOTES**

1. EXISTING LOG CABIN TO BE CAREFULLY REMOVED AND RELOCATED TO LOWER LEVEL BY OWNER / MCM. CONTRACTOR TO PROVIDE FOOTING, FOUNDATION WALL AND SLAB-ON-GRADE. REFER TO STRUCTURAL DRAWINGS.
2. NEW OMEGA II "NON-CLIMBABLE" FENCE TO MATCH EXISTING STYLE. POSTS SHALL BE INSTALLED ONTO THE BACK FACE OF REMAINING PORTION OF EXISTING CONCRETE RETAINING WALL AND SPACED AT 1'-9" O.C. HEIGHT OF FENCE PANELS SHALL BE 6'.
3. NEW 10' WIDE GALVANIZED OPEN GRATE STEEL STAIR SYSTEM, GUARDRAIL AND HANDRAIL. PROVIDE CONCRETE STRIP FOOTING AT BASE OF STAIRS. RISERS TO BE SOLID PLATE. PROVIDE 42" HIGH GUARDRAIL WITH MESH INFILL TO MATCH STD FENCE PANELS. PROVIDE DUAL-HEIGHT 1-1/2" DIAMETER HANDRAILS (3/4" x 2 1/4"), EACH SIDE OF STAIR RUN.
4. NEW 8' WIDE, FULL-HEIGHT DECORATIVE CPU WALL.
5. NEW ADA COMPLIANT TOILET, JUVENILE TOILET, GRAB BARS, FLOOR DRAINS, ETC.
6. ENCLOSE AREA BELOW UPPER PLATFORM TO CREATE MECHANICAL EQUIPMENT ENCLOSURE. PROVIDE SLAB-ON-GRADE (EXTENTS TO BE DIRECTLY BELOW UPPER PLATFORM).
7. NEW 3' WIDE EGRESS GATE AS ENTRANCE. PROVIDE 3' WIDE (OR 8' WIDE) EGRESS GATE WITH PANIC DEVICE TO SERVE AS SECONDARY EGRESS FROM EXHIBIT SPACE. GATE(S) SHALL BE CUSTOM-FABRICATED BY OWNER / MCM ARTISAN.
8. EXISTING CONCRETE COLUMN TO REMAIN.
9. INFILL WALL TO MATCH EXISTING WALL CONSTRUCTION AND ALIGN FINISHED FACES OF BOTH SIDES OF WALL TO ADJACENT UNDAMAGED SURFACES. WALL TO BE CONSTRUCTED TO MATCH ANY EXISTING FIRE-RATING (WHERE APPLICABLE).
10. ALIGN FINISH FACE OF WALLS. COORDINATE FINISHES WITH OWNER.
11. NO NEW WORK IN THIS AREA.
12. LINE OF EXISTING FLOOR ABOVE.
13. NEW UNDERMOUNT SINK, SOLID SURFACE COUNTERTOP, FAUCETS, ETC.
14. NEW CORRUGATED PRIVACY FENCE / SCREENING ALONG PINCKNEY AND DAYTON. FENCE / PANELS ARE TO BE MOUNTED TO BACKSIDE OF EXISTING 36" HIGH CRASH WALL AND SECURED TO CONCRETE DECK AND BACK SIDE OF EXISTING CONCRETE STEEL WALL. OVERALL HEIGHT OF SCREEN TO BE 6' (OR 36" HIGH PANELS ABOVE EXISTING WALL).
15. NEW 6' HIGH GUARDRAIL / FENCE SYSTEM TO MATCH OMEGA II NON-CLIMBABLE FENCE PANELS. PROVIDE 36" WIDE MAN-GATE WITH EGRESS PANIC DEVICE (AT LOCATION INDICATED). TOP OF FENCE SHALL MATCH TOP OF PRIVACY FENCE / SCREENING INDICATED IN KEYNOTE 14 (ABOVE). DESIGN POSTS TO SUPPORT ADDITIONAL HORIZONTAL PURLINS AND CROU ART INSTALLATION.
16. NEW CONCRETE COLUMN AND FOOTING PER STRUCTURAL DRAWINGS.
17. NEW FLOOR-TO-CEILING STOREFRONT DOOR SYSTEM ENCLOSE NEW LOBBY TO MATCH BUILDING STANDARD.
18. NEW HOLLOW METAL INSULATED DOOR AND FRAME TO MATCH EXISTING BUILDING STANDARD.
19. EXISTING EXHIBIT SPACE / OUTDOOR DECK AND STRUCTURE TO REMAIN.
20. EXISTING LIGHT POLE TO BE RELOCATED FROM LOCATION AT UPPER DECK TO LOWER LEVEL (LOCATIONS WERE SLIGHTLY MODIFIED FROM EXISTING LOCATIONS FOR BETTER COVERAGE OF EXHIBIT SPACE). PROVIDE NEW CONCRETE FOUNDATION AND SUPPORT AS REQUIRED.
21. INFILL CONCRETE SIDEWALK AT ENTRANCE POINT
22. NEW 2-WAY CONCRETE SLAB. REFER TO STRUCTURAL DRAWINGS.
23. EXISTING STORM / INLET TO REMAIN. REFER TO PLUMBING DRAWINGS FOR CONTINUATION / RE-WORK.
24. NEW 6" DIAMETER, 36" HIGH CONCRETE FILLED STEEL BOLLARD / TRAFFIC BARRIER. ALIGN WITH FENCE POSTS IN KEYNOTE 15 (ABOVE).
25. RE-CONFIGURED / EXPANDED REFUSE ENCLOSURE TO MATCH EXISTING. PROVIDE 4x4 STEEL POSTS SECURED TO NEW CONCRETE SLAB. NEW ENCLOSURE IS EXPECTED CONSIST OF 6 HIGH FENCE PANELS ON TWO SIDES ONLY WITH 48" WIDE GATE. TWO SIDES FACING PINCKNEY AND DAYTON WILL BE SCREENED BY PANELS AS PART OF KEYNOTE 14 (ABOVE). OVERALL SIZE TO BE APPROXIMATELY 16' LONG x 12' WIDE x 6' HIGH.
26. NEW 42" HIGH GUARDRAIL SYSTEM WITH MESH INFILL PANELS TO MATCH OMEGA II NON-CLIMBABLE FENCE PANELS AT EDGE OF NEW UPPER PLATFORM.
27. ANGLED STEEL BRACING. REFER TO STRUCTURAL DRAWINGS.

NORTH HAMILTON STREET

EAST DAYTON STREET

**NOTE:**  
EXISTING (3) THREE CUT-OFF POLE PARKING LOT LIGHTS TO BE REMOVED AND RELOCATED IN PLACE TO NEW LOWER LEVEL PLAN. NO NEW LIGHTING IS BEING PROPOSED AND LOCATIONS OF EXISTING LIGHTING IS BEING MAINTAINED.



LOWER LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



7780 ELMWOOD AVE. STE. 204  
MIDDLETON, WI 53562  
608-829-1750  
608-829-3056 (FAX)

NOT FOR CONSTRUCTION

PROJECT:  
**Madison Children's Museum Renovation**  
100 North Hamilton Street  
Madison, Wisconsin 53703  
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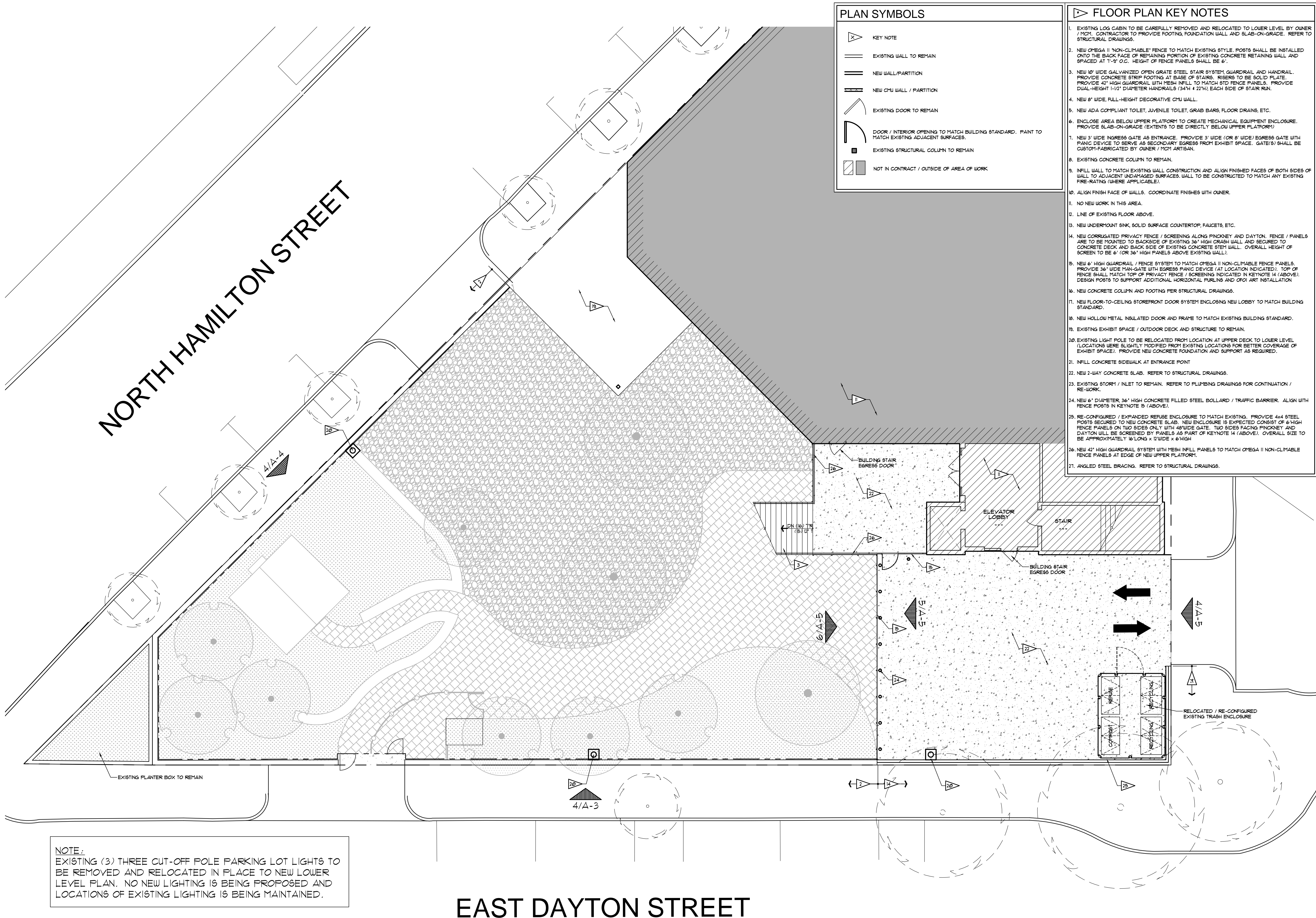
PROJECT: 202042  
DRAWN BY: GJA  
DATE:  
SCALE: AS NOTED  
UDC / LU SUBMITTAL 11/18/2020  
UDC / LU RE-SUBMITTAL 12/18/2020

LOWER LEVEL FLOOR PLAN

**NOT FOR CONSTRUCTION**

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UDC / LU SUBMITTAL 11/18/2020  
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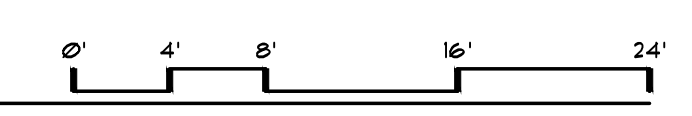


**PLAN SYMBOLS**

	KEY NOTE
	EXISTING WALL TO REMAIN
	NEW WALL/PARTITION
	NEW CPU WALL / PARTITION
	EXISTING DOOR TO REMAIN
	DOOR / INTERIOR OPENING TO MATCH BUILDING STANDARD. PAINT TO MATCH EXISTING ADJACENT SURFACES.
	EXISTING STRUCTURAL COLUMN TO REMAIN
	NOT IN CONTRACT / OUTSIDE OF AREA OF WORK

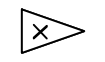

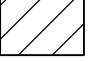

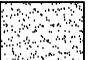

- FLOOR PLAN KEY NOTES**
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  - NEW 6' HIGH GUARDRAIL / FENCE SYSTEM TO MATCH OMEGA II NON-CLIMBABLE FENCE PANELS. PROVIDE 36" WIDE MAN-GATE WITH EGRESS PANIC DEVICE (AT LOCATION INDICATED). TOP OF FENCE SHALL MATCH TOP OF PRIVACY FENCE / SCREENING INDICATED IN KEYNOTE 14 (ABOVE). DESIGN POSTS TO SUPPORT ADDITIONAL HORIZONTAL PURLINS AND CROU ART INSTALLATION.
  - NEW CONCRETE COLUMN AND FOOTING PER STRUCTURAL DRAWINGS.
  - NEW FLOOR-TO-CEILING STOREFRONT DOOR SYSTEM ENCLOSE NEW LOBBY TO MATCH BUILDING STANDARD.
  - NEW HOLLOW METAL INSULATED DOOR AND FRAME TO MATCH EXISTING BUILDING STANDARD.
  - EXISTING EXHIBIT SPACE / OUTDOOR DECK AND STRUCTURE TO REMAIN.
  - EXISTING LIGHT POLE TO BE RELOCATED FROM LOCATION AT UPPER DECK TO LOWER LEVEL (LOCATIONS WERE SLIGHTLY MODIFIED FROM EXISTING LOCATIONS FOR BETTER COVERAGE OF EXHIBIT SPACE). PROVIDE NEW CONCRETE FOUNDATION AND SUPPORT AS REQUIRED.
  - INFILL CONCRETE SIDEWALK AT ENTRANCE POINT
  - NEW 2-WAY CONCRETE SLAB. REFER TO STRUCTURAL DRAWINGS.
  - EXISTING STORM / INLET TO REMAIN. REFER TO PLUMBING DRAWINGS FOR CONTINUATION / RE-WORK.
  - NEW 6" DIAMETER, 36" HIGH CONCRETE FILLED STEEL BOLLARD / TRAFFIC BARRIER. ALIGN WITH FENCE POSTS IN KEYNOTE 15 (ABOVE).
  - RE-CONFIGURED / EXPANDED REFUGE ENCLOSURE TO MATCH EXISTING. PROVIDE 4x4 STEEL POSTS SECURED TO NEW CONCRETE SLAB. NEW ENCLOSURE IS EXPECTED CONSIST OF 6 HIGH FENCE PANELS ON TWO SIDES ONLY WITH 48" WIDE GATE. TWO SIDES FACING PINCKNEY AND DAYTON WILL BE SCREENED BY PANELS AS PART OF KEYNOTE 14 (ABOVE). OVERALL SIZE TO BE APPROXIMATELY 16' LONG x 12' WIDE x 6' HIGH
  - NEW 42" HIGH GUARDRAIL SYSTEM WITH MESH INFILL PANELS TO MATCH OMEGA II NON-CLIMBABLE FENCE PANELS AT EDGE OF NEW UPPER PLATFORM.
  - ANGLED STEEL BRACING. REFER TO STRUCTURAL DRAWINGS.

**NOTE:**  
EXISTING (3) THREE CUT-OFF POLE PARKING LOT LIGHTS TO BE REMOVED AND RELOCATED IN PLACE TO NEW LOWER LEVEL PLAN. NO NEW LIGHTING IS BEING PROPOSED AND LOCATIONS OF EXISTING LIGHTING IS BEING MAINTAINED.



**EAST DAYTON STREET**

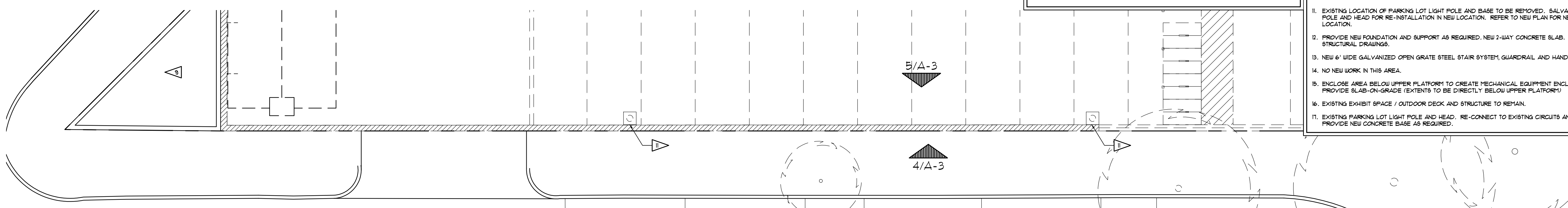
**PLAN SYMBOLS**

-  KEY NOTE
-  EXISTING SECURITY FENCE.
-  AREA TO BE DEMOLISHED.
-  AREA TO BE FILLED.
-  NEW FENCE TO MATCH BUILDING STANDARD.
-  NEW 6' HIGH PRIVACY FENCE.

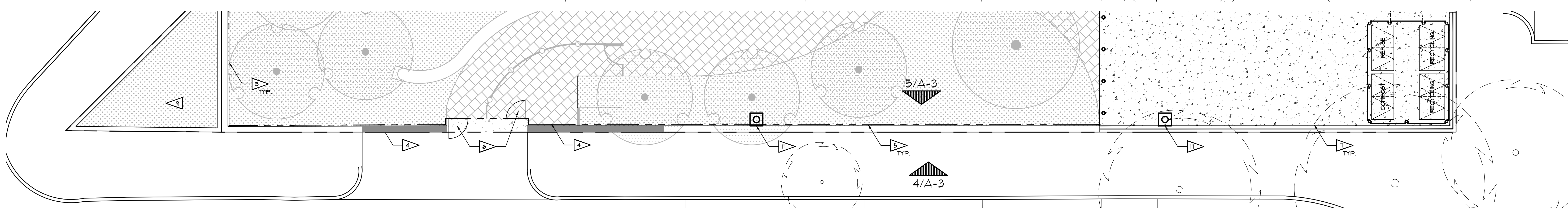
**ELEVATION KEY NOTES**

1. EX. CONCRETE WALL TO BE REMOVED INCLUDING STEEL PIPE RAIL, SAW CUT LOWER LEVEL WALL FLUSH WITH ADJACENT OPENINGS AS INDICATED.
2. EXISTING DOOR AND FRAME TO BE REMOVED.
3. EXISTING UPPER PARKING LEVEL FLOOR TO BE REMOVED IN ITS ENTIRETY. REFER TO KEYNOTE 8 FOR PORTION THAT WILL BE BUILT BACK IN PLACE.
4. INFILL WALL TO MATCH ADJACENT EXISTING CONCRETE WALL AND FINISH.
5. NEW FENCE TO MATCH BUILDING STANDARD. FENCE TO BE SIDE MOUNTED ON STEM WALL. REFER TO SHEET A-1 FOR FENCE INFORMATION.
6. NEW 6' ACCESS GATE WITH (1) 8' WIDE OPERABLE PANEL AND (1) ONE MAN-GATE WITH PANIC DEVICE EMERGENCY EGRESS.
7. NEW 6' HIGH PRIVACY FENCE AROUND PERIMETER OF LOADING DOCK, WITH 6' WIDE MAN GATE AND PANIC DEVICE AT BUILDING EGRESS POINT.
8. EXISTING FLOOR SLAB TO BE REMOVED AND REBUILT.
9. EXISTING PLANTER BOX TO REMAIN.
10. PARKING BOLLARDS
11. EXISTING LOCATION OF PARKING LOT LIGHT POLE AND BASE TO BE REMOVED. SALVAGE LIGHT POLE AND HEAD FOR RE-INSTALLATION IN NEW LOCATION. REFER TO NEW PLAN FOR NEW LOCATION.
12. PROVIDE NEW FOUNDATION AND SUPPORT AS REQUIRED. NEW 2-WAY CONCRETE SLAB. REFER TO STRUCTURAL DRAWINGS.
13. NEW 6' WIDE GALVANIZED OPEN GRATE STEEL STAIR SYSTEM, GUARDRAIL AND HANDRAIL.
14. NO NEW WORK IN THIS AREA.
15. ENCLOSE AREA BELOW UPPER PLATFORM TO CREATE MECHANICAL EQUIPMENT ENCLOSURE. PROVIDE SLAB-ON-GRADE (EXTENTS TO BE DIRECTLY BELOW UPPER PLATFORM).
16. EXISTING EXHIBIT SPACE / OUTDOOR DECK AND STRUCTURE TO REMAIN.
17. EXISTING PARKING LOT LIGHT POLE AND HEAD. RE-CONNECT TO EXISTING CIRCUITS AND PROVIDE NEW CONCRETE BASE AS REQUIRED.

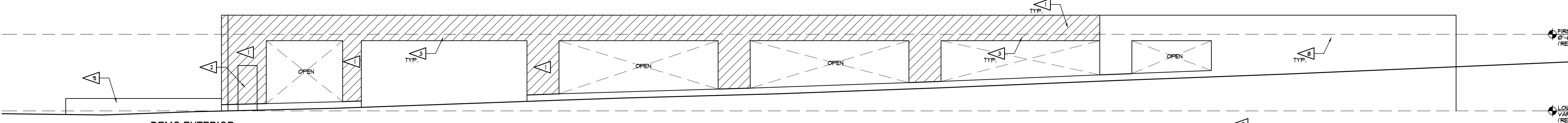
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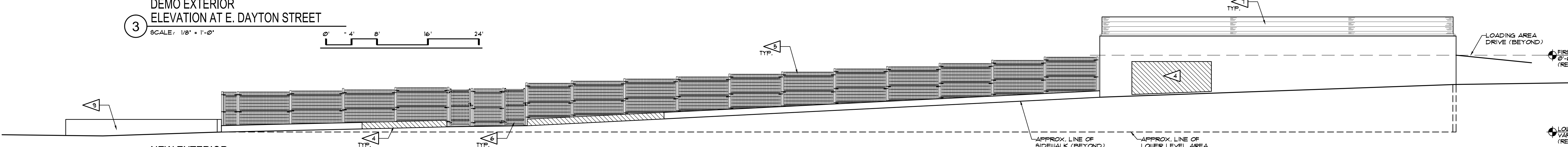
**1 DEMO FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



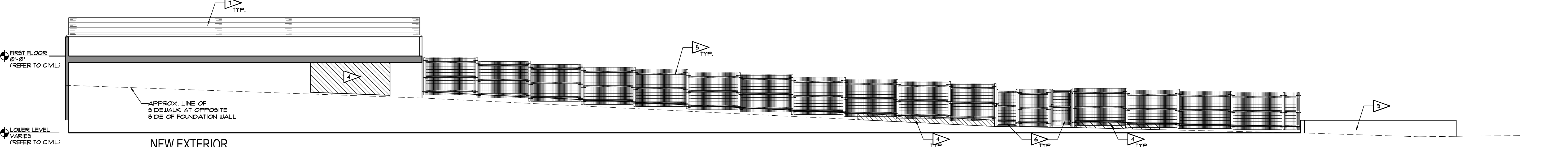
**2 NEW FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**3 DEMO EXTERIOR ELEVATION AT E. DAYTON STREET**  
SCALE: 1/8" = 1'-0"



**4 NEW EXTERIOR ELEVATION AT E. DAYTON STREET**  
SCALE: 1/8" = 1'-0"



**5 NEW EXTERIOR ELEVATION AT E. DAYTON STREET**  
SCALE: 1/8" = 1'-0"



**PROJECT:** Madison Children's Museum Renovation  
100 North Hamilton Street  
Madison, Wisconsin 53703  
**CLIENT:** Madison Children's Museum  
100 North Hamilton Street  
Madison, Wisconsin 53703

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**PROJECT:** 202042  
**DRAWN BY:** GJA  
**DATE:**  
**SCALE:** AS NOTED  
UDC / LU SUBMITTAL 11/8/2020  
UDC / LU RE-SUBMITTAL 12/18/2020

**EXTERIOR ELEVATIONS**

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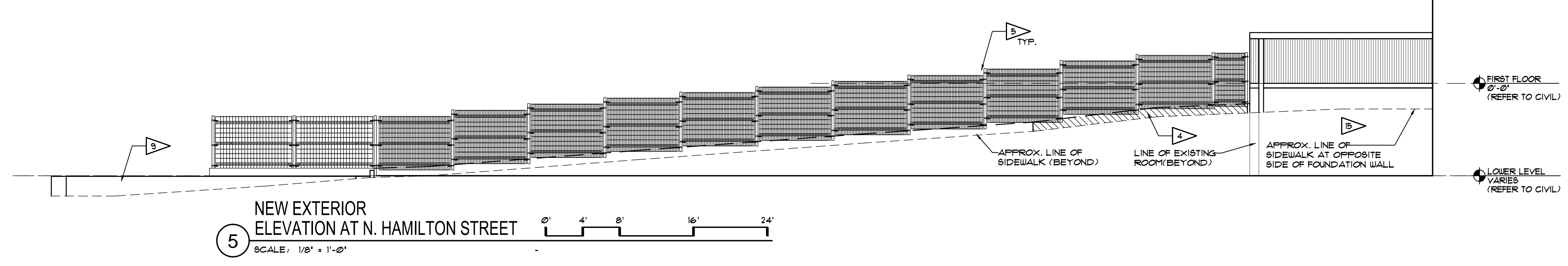
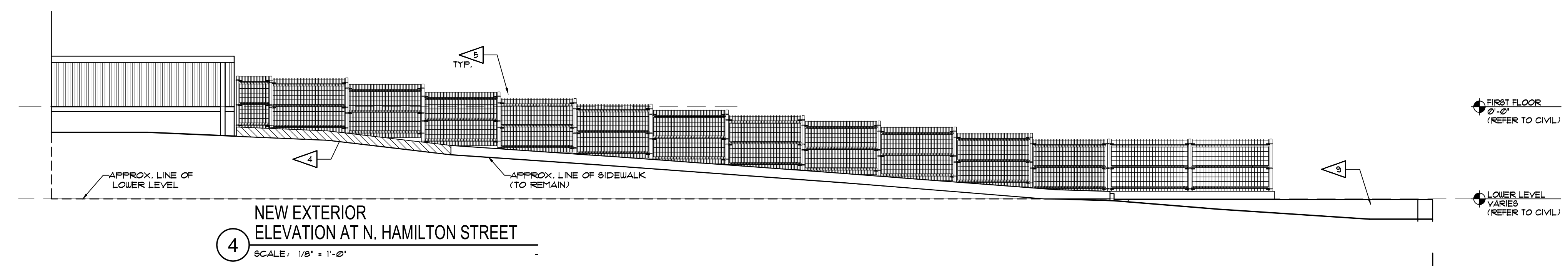
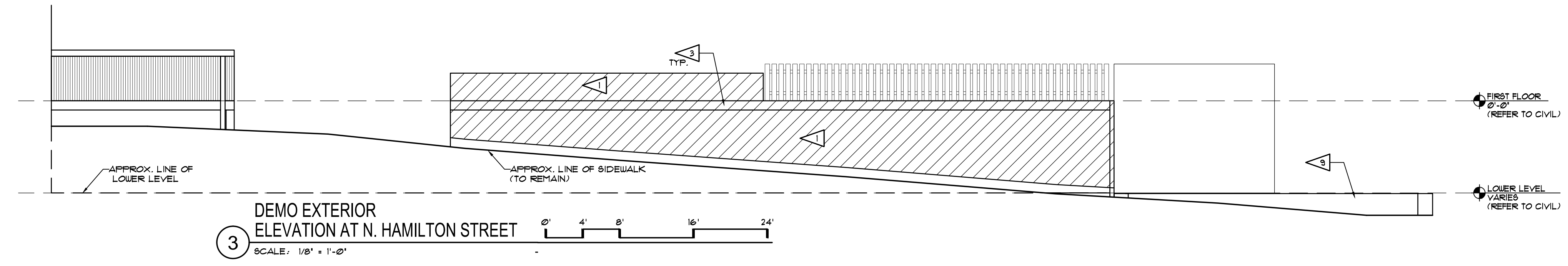
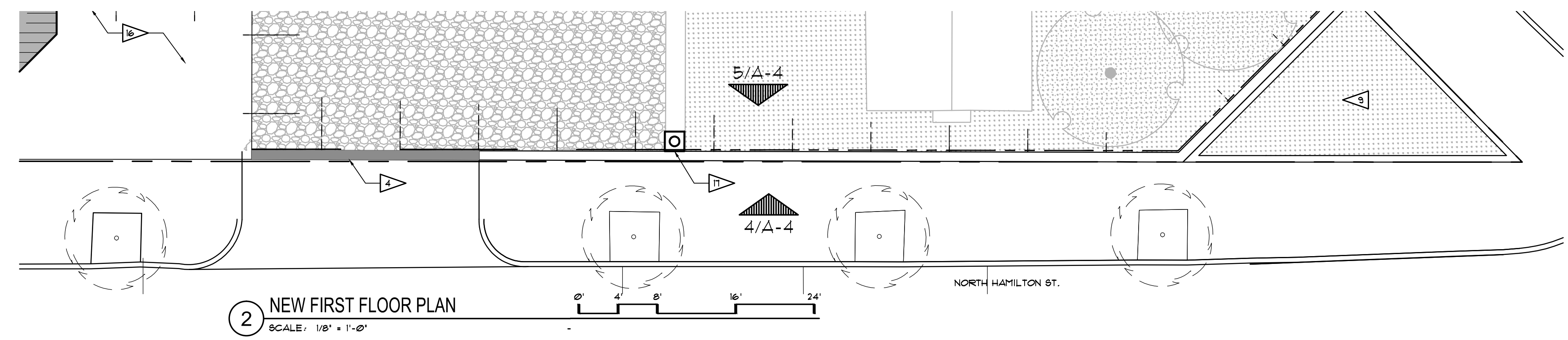
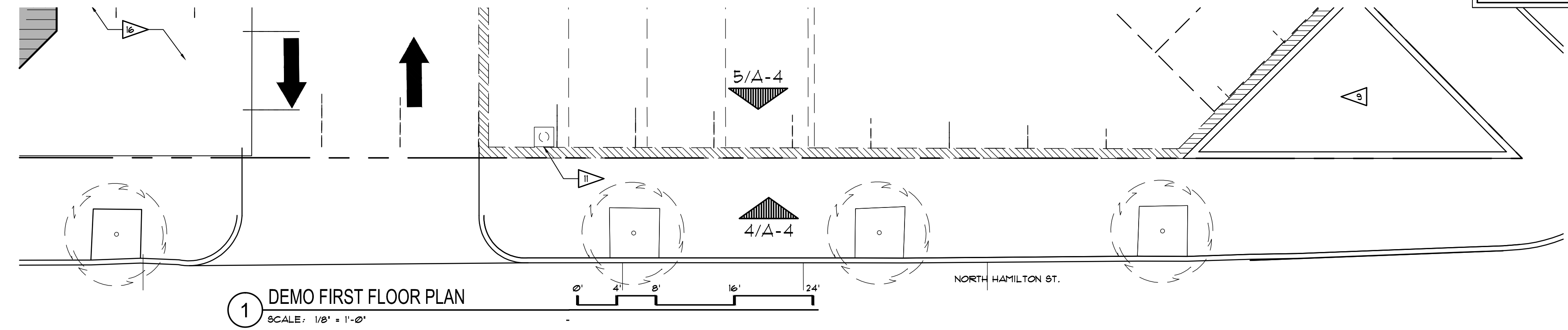
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UDC / LU RE-SUBMITTAL 12/18/2020

EXTERIOR ELEVATIONS

PLAN SYMBOLS	
	KEY NOTE
	EXISTING SECURITY FENCE.
	AREA TO BE DEMOLISHED.
	AREA TO BE FILLED.
	NEW FENCE TO MATCH BUILDING STANDARD.
	NEW 6' HIGH PRIVACY FENCE.

ELEVATION KEY NOTES	
1.	EX. CONCRETE WALL TO BE REMOVED INCLUDING STEEL PIPE RAIL. SAW CUT LOWER LEVEL WALL FLUSH WITH ADJACENT OPENINGS AS INDICATED.
2.	EXISTING DOOR AND FRAME TO BE REMOVED.
3.	EXISTING UPPER PARKING LEVEL FLOOR TO BE REMOVED IN ITS ENTIRETY, REFER TO KEYNOTE 8 FOR PORTION THAT WILL BE BUILT BACK IN PLACE.
4.	INFILL WALL TO MATCH ADJACENT EXISTING CONCRETE WALL AND FINISH.
5.	NEW FENCE TO MATCH BUILDING STANDARD. FENCE TO BE SIDE MOUNTED ON 6" WALL. REFER TO SHEET A-1 FOR FENCE INFORMATION.
6.	NEW 8' ACCESS GATE WITH (1) 8' WIDE OPERABLE PANEL AND (1) ONE MAN-GATE WITH PANIC DEVICE EMERGENCY EGRESS.
7.	NEW 6' HIGH PRIVACY FENCE AROUND PERIMETER OF LOADING DOCK WITH 6' WIDE MAN GATE AND PANIC DEVICE AT BUILDING EGRESS POINT.
8.	EXISTING FLOOR SLAB TO BE REMOVED AND REBUILT.
9.	EXISTING PLANTER BOX TO REMAIN.
10.	PARKING BOLLARDS
11.	EXISTING LOCATION OF PARKING LOT LIGHT POLE AND BASE TO BE REMOVED. SALVAGE LIGHT POLE AND HEAD FOR RE-INSTALLATION IN NEW LOCATION. REFER TO NEW PLAN FOR NEW LOCATION.
12.	PROVIDE NEW FOUNDATION AND SUPPORT AS REQUIRED. NEW 2-WAY CONCRETE SLAB. REFER TO STRUCTURAL DRAWINGS.
13.	NEW 6" WIDE GALVANIZED OPEN GRATE STEEL STAIR SYSTEM, GUARDRAIL AND HANDRAIL.
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15.	ENCLOSE AREA BELOW UPPER PLATFORM TO CREATE MECHANICAL EQUIPMENT ENCLOSURE. PROVIDE SLAB-ON-GRADE (EXTENTS TO BE DIRECTLY BELOW UPPER PLATFORM).
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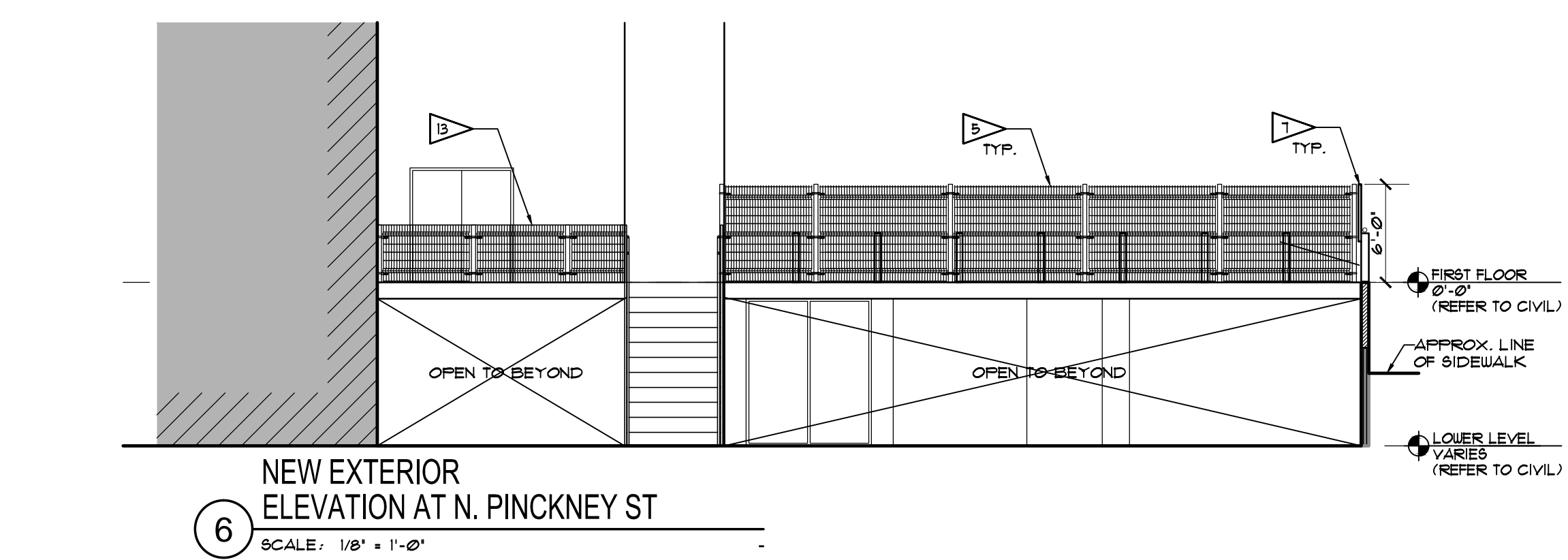
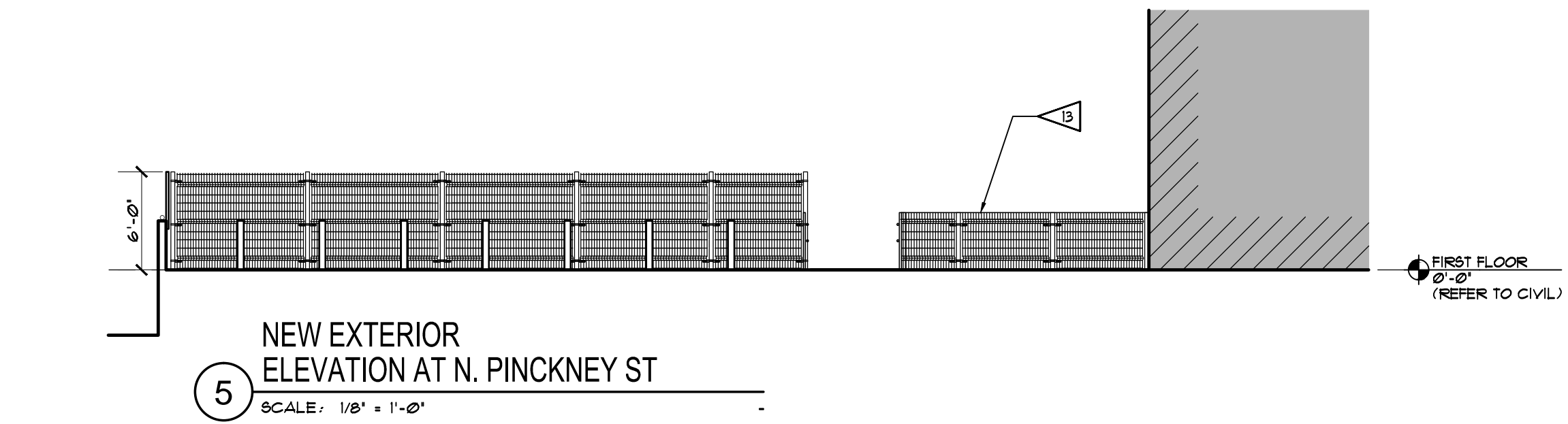
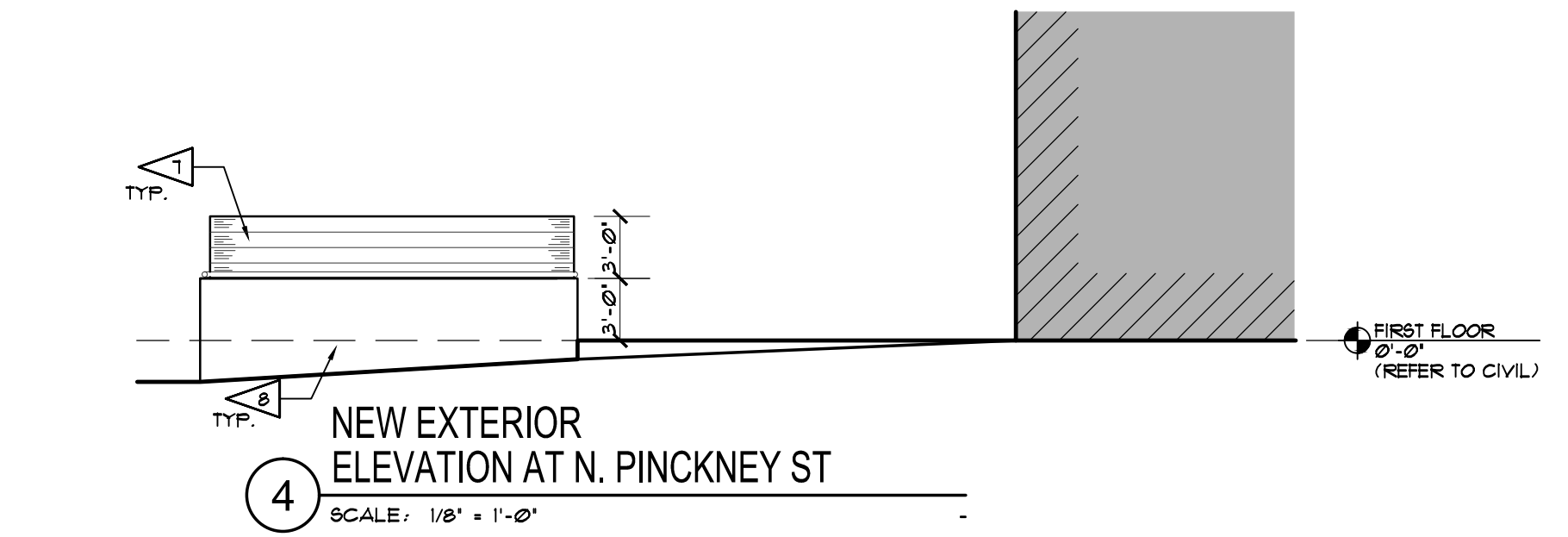
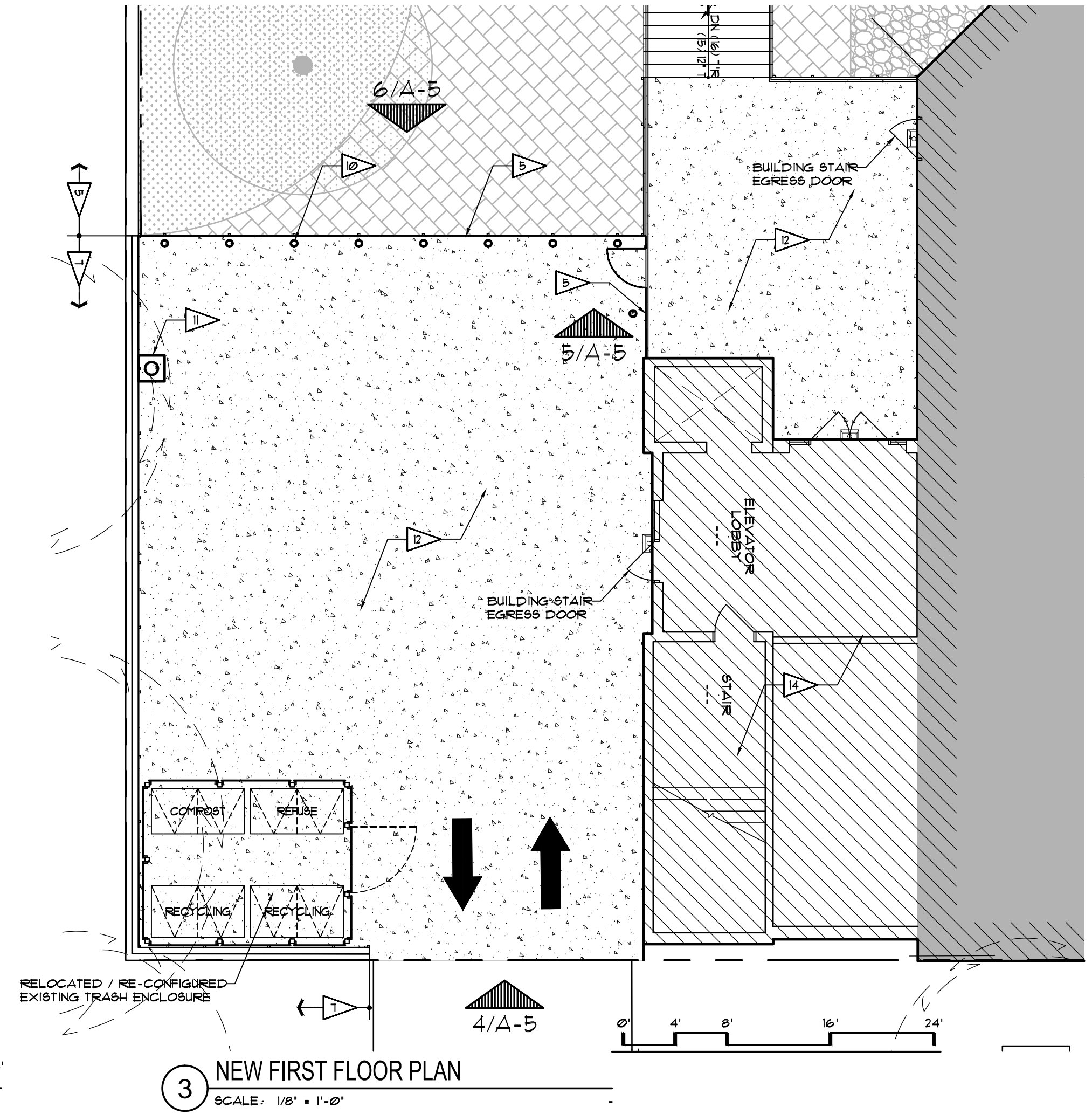
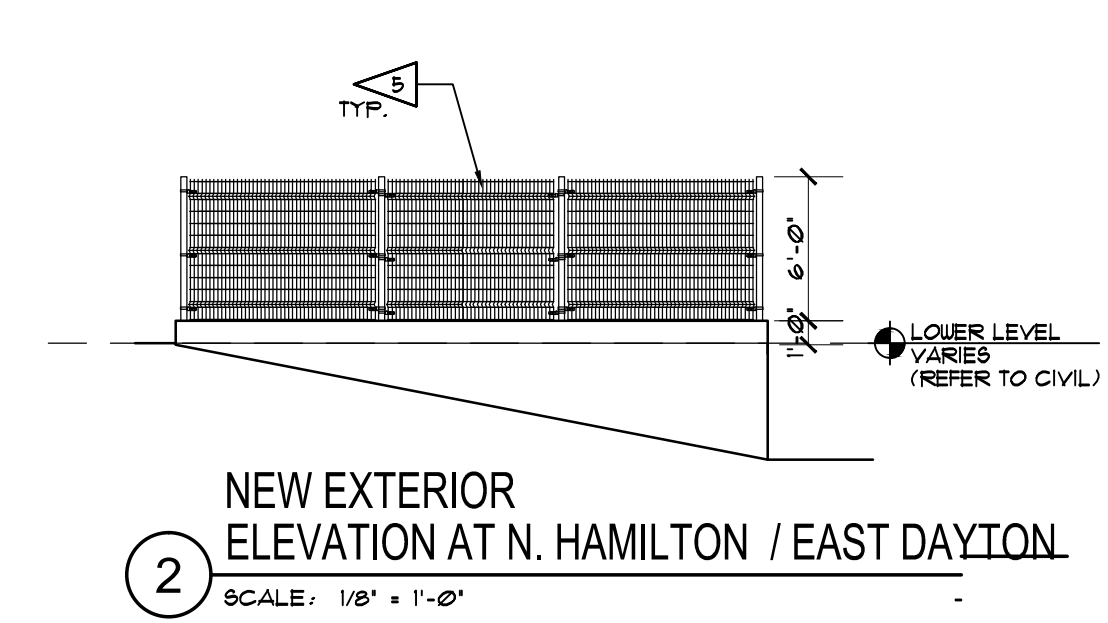
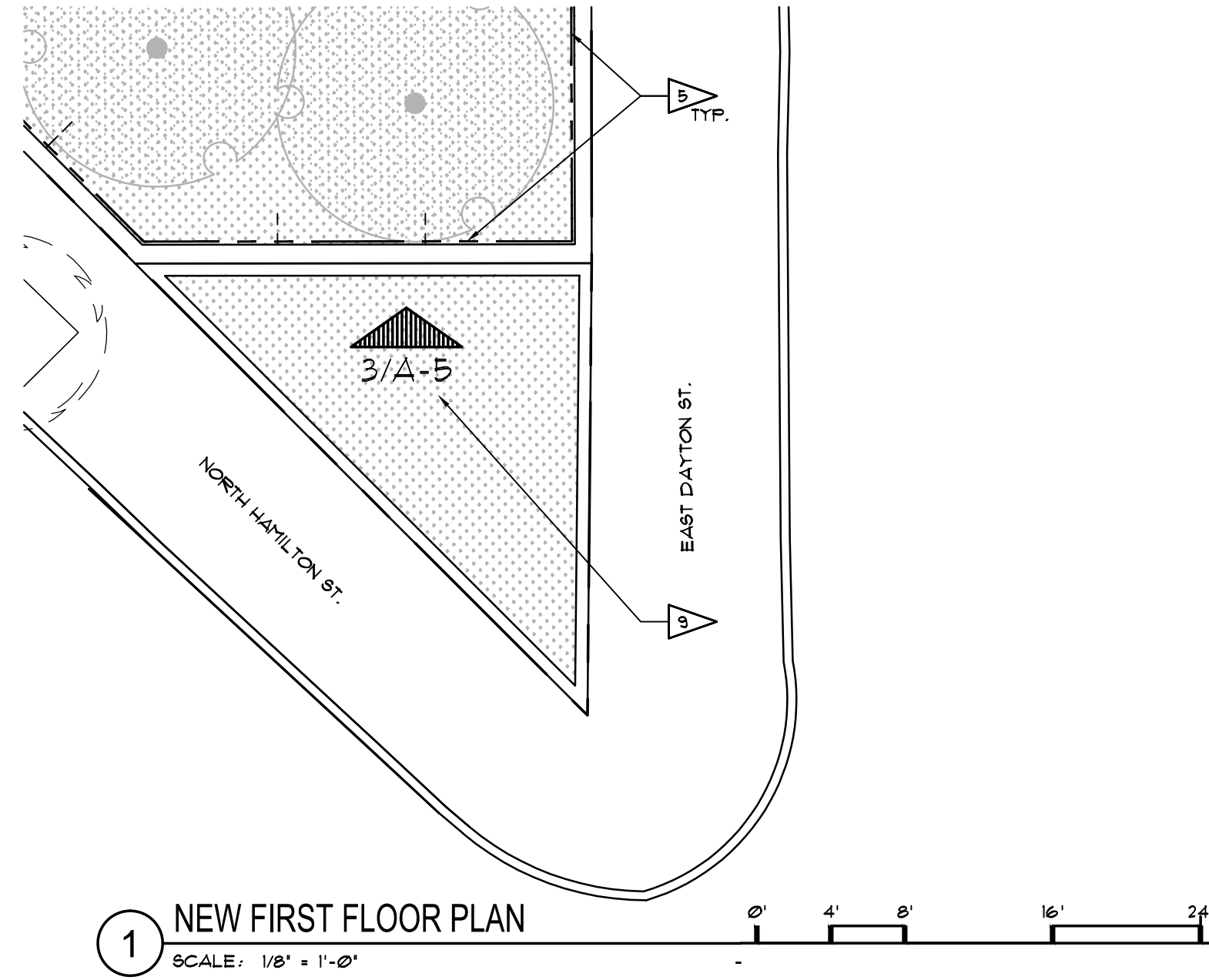
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EXTERIOR ELEVATIONS



**PLAN SYMBOLS**

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