



City of Madison Planning Division
215 Martin Luther King Jr. Blvd. | Room LL.100 | P.O. Box 2985 | Madison, WI 53701-2985

Madison Landmarks Commission APPLICATION

1. LOCATION

Project Address: 1715 Regent St Aldermanic District: 5

2. PROJECT

Project Title / Description: Kitchen remodel Date Submitted: 11/12/12

This is an application for: (check all that apply)

- Alteration / Addition to a Designated Madison Landmark
- Alteration / Addition to a building adjacent to a Designated Madison Landmark
- Alteration / Addition to a building in a Local Historic District (specify):
 - Mansion Hill
 - University Heights
 - Third Lake Ridge
 - Marquette Bungalows
 - First Settlement
- New Construction in a Local Historic District (specify):
 - Mansion Hill
 - University Heights
 - Third Lake Ridge
 - Marquette Bungalows
 - First Settlement
- Demolition
- Variance from the Landmarks Ordinance
- Referral from Common Council, Plan Commission, or other referral
- Other (specify): _____

3. APPLICANT

Applicant's Name: Rock Hansen Company: Hansen Bldg
 Address: 7422 Roberts Rd City/State: Arcadia, WI Zip: 53503
 Telephone: 608-516-2071 E-mail: hansenbldg@yahoo.com
 Property Owner (if not applicant): Prince & Suzanne Breckenridge
 Address: 1715 Regent St City/State: Madison, WI Zip: 53726
 Property Owner's Signature: Suzanne Breckenridge Date: 11/13/12

GENERAL SUBMITTAL REQUIREMENTS

Twelve (12) collated paper copies and electronic (.pdf) files of the following: (Note the filing deadline is 4:30 PM on the filing day)

- Application
- Brief narrative description of the project
- Scaled plan set reduced to 11" x 17" or smaller pages. Please include:
 - Site plan showing all property lines and structures
 - Building elevations, plans and other drawings as needed to illustrate the project
 - Photos of existing house/building
 - Contextual information (such as photos) of surrounding properties
- Any other information that may be helpful in communicating the details of the project and how it complies with the Landmarks Ordinance, including the impacts on existing structures on the site or on nearby properties.

Questions? Please contact the
Historic Preservation Planner:
Amy Scanlon
Phone: 608.266.6552
Email: ascanlon@cityofmadison.com

NOTICE REGARDING LOBBYING ORDINANCE: If you are seeking approval of a development that has over 40,000 square feet of non-residential space, or a residential development of over 10 dwelling units, or if you are seeking assistance from the City with a value of \$10,000 (including grants, loans, TIF or similar assistance), then you likely are subject to Madison's lobbying ordinance (Sec. 2.40, MGO). You are required to register and report your lobbying. Please consult the City Clerk's Office for more information. Failure to comply with the lobbying ordinance may result in fines.

Addition for Bruce and Suzanne Breckenridge at 1715 Regent St Madison, WI

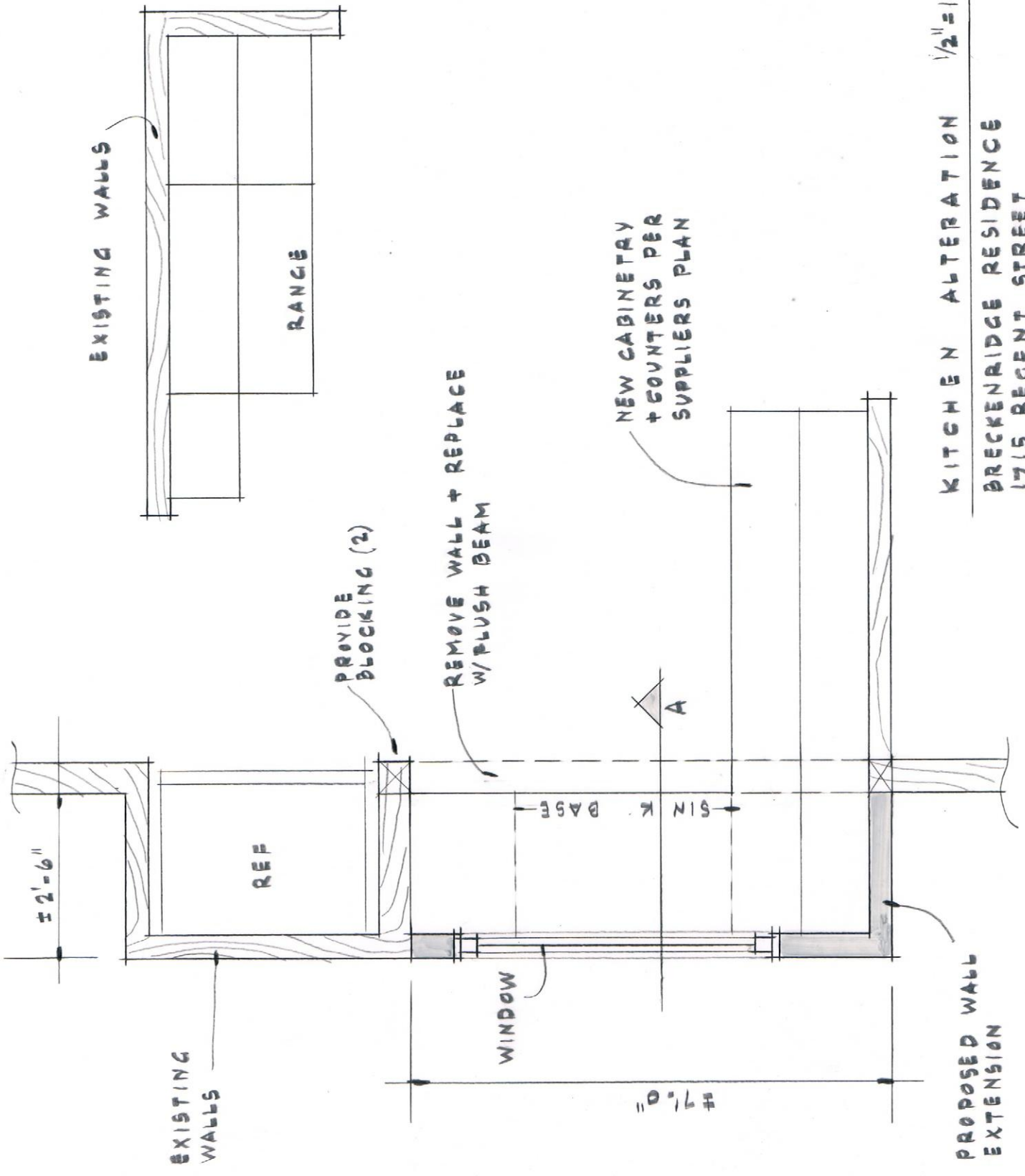
Scope of project is a 2.5'X7' extension of the kitchen.

The extension will be an extension of an existing 2.5'X3.5' area

The new area will be sided with cedar shingles as is the existing extension.

As one can see in the photos, this extension will dovetail into existing structure.

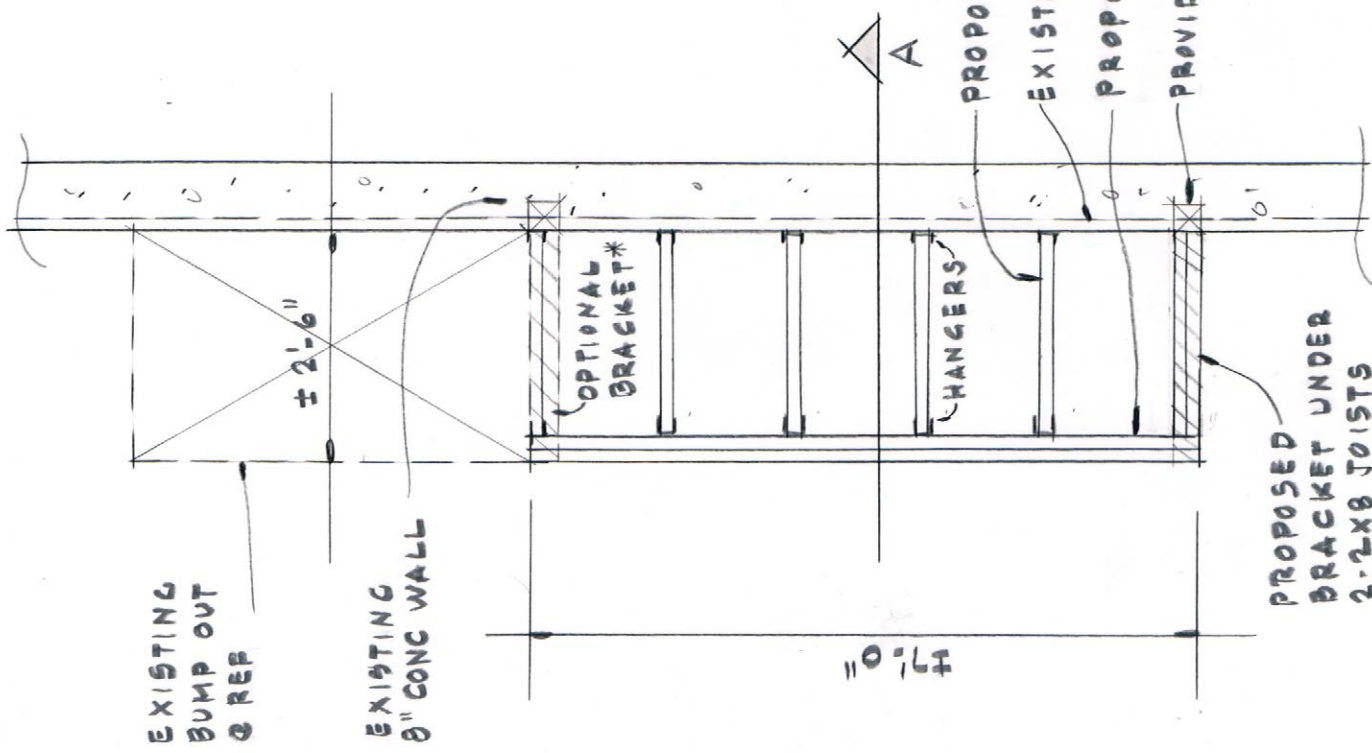
I feel that there will be no compromise to the building as it is.



1/2" = 1'-0"

KITCHEN ALTERATION

BRECKENRIDGE RESIDENCE
 1715 REGENT STREET
 MADISON, WISCONSIN



1, PROPOSED FLUSH ROOF BEAM

SPAN = 6.5'
 LOAD = 13.5' X 50' = 675 PLF
 NOTE: MAIN HOUSE ROOF IS 27' WIDE

MOMENT = $\frac{WL^2}{8} = \frac{(675)(6.5)^2}{8} = 3565$

SHEAR = $(6.5)(675) = 2194$

SELECT 1-7/4" LVL PER MANUFACTURER

2, PROPOSED FLUSH FLOOR BEAM

SPAN = 6.5'
 LOAD = (1.5)(55) + (1.5)(50) + (8.5)(20) = 328 PLF
 FLOOR ROOF WALL

MOMENT = $\frac{WL^2}{8} = \frac{(328)(6.5)^2}{8} = 1730$

SECTION = $\frac{M}{f_b} = \frac{1730}{1250 \text{ D.F. \#2}} = 16.6$

SELECT 2-2x8

SHEAR = $\frac{(3)(6.5)(675)}{43.5 (2 \cdot 2 \times 8)} = 74$ OKAY

PROPOSED 2x8 DF JOISTS @ 16" OC

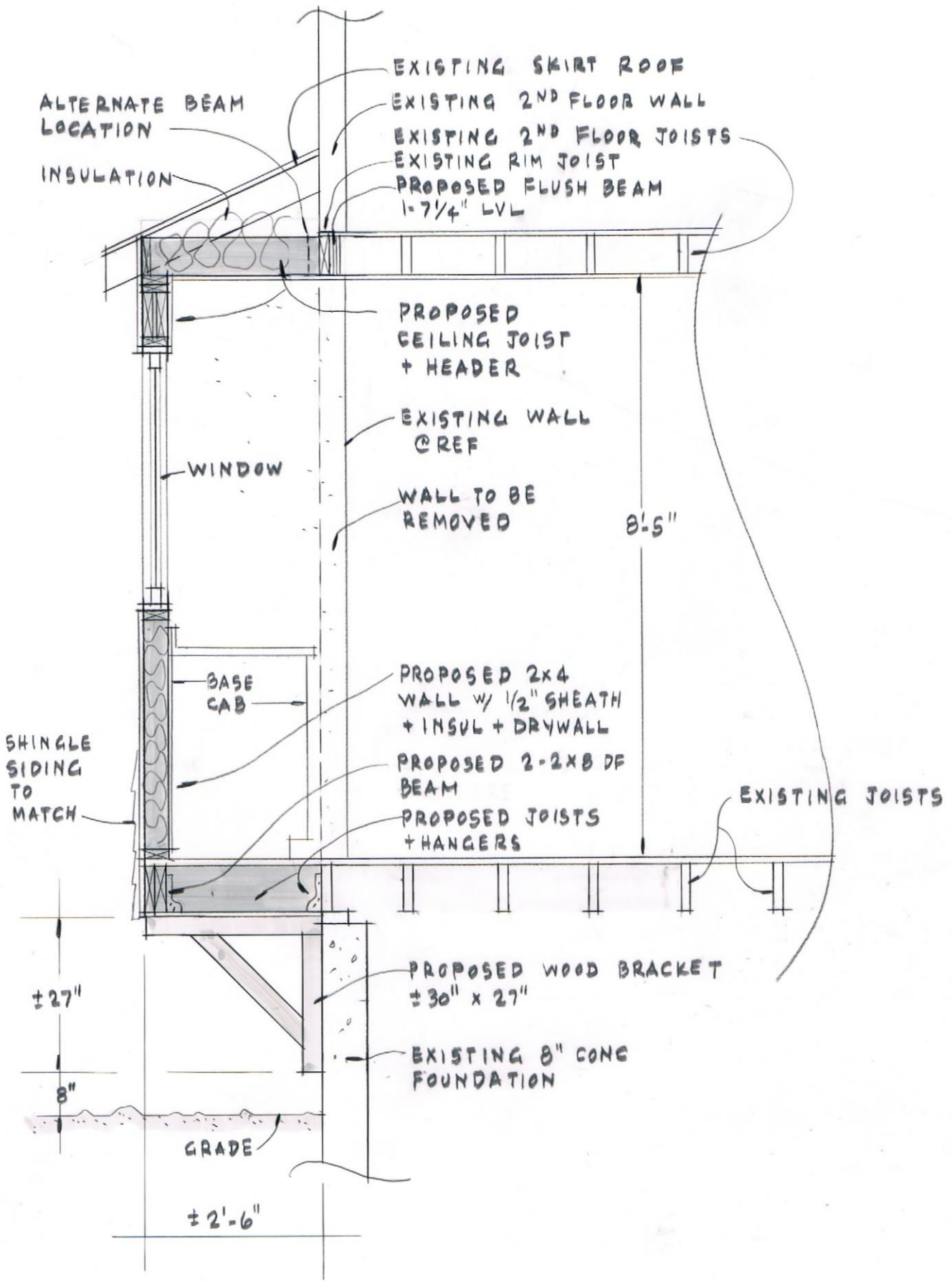
EXISTING RIM JOIST

PROPOSED 2-2x8 DF FLUSH BEAM

PROVIDE BLOCKING UNDER POSTS SUPPORTING ROOF BEAM (2)

PROPOSED BRACKET UNDER 2-2x8 JOISTS
 * VERIFY ATTACHMENT TO EXISTING FRAMING

FOUNDATION 1/2" = 1'-0"



(A)

SECTION

1/2" = 1'-0"



○ project location



project
location
 $\pm 7'-0'' \times 2'-2''$

