



Location
802 Stewart Street

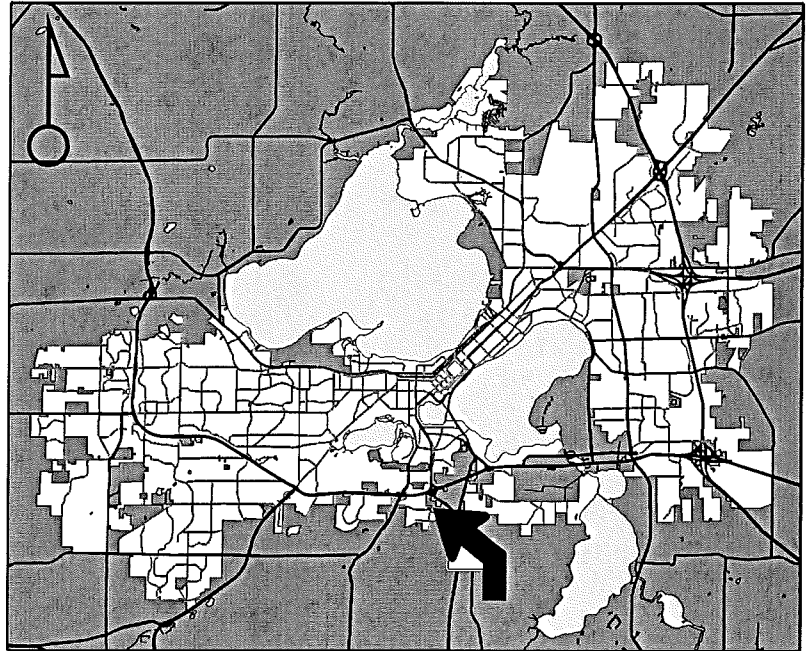
Project Name
MadTown Fitness

Applicant
Justin Vondra - V6, LLC

Existing Use
Industrial building

Proposed Use
Allow weightlifting instruction school
(arts/technical/trade school) in IG zoning

Public Hearing Date
Plan Commission
26 January 2015



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 20 January 2015



City of Madison

802 Stewart Street



Date of Aerial Photography : Spring 2013



LAND USE APPLICATION

CITY OF MADISON

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid _____ Receipt No. _____
Date Received _____
Received By _____
Parcel No. _____
Aldermanic District _____
Zoning District _____
Special Requirements _____
Review Required By:
☐ Urban Design Commission ☐ Plan Commission
☐ Common Council ☐ Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 802 Stewart Street, Madison, WI 53713

Project Title (if any): _____

2. **This is an application for** (Check all that apply to your Land Use Application):

- ☐ Zoning Map Amendment from _____ to _____
- ☐ Major Amendment to Approved PD-GDP Zoning ☐ Major Amendment to Approved PD-SIP Zoning
- ☐ Review of Alteration to Planned Development (By Plan Commission)
- ☒ Conditional Use, or Major Alteration to an Approved Conditional Use
- ☐ Demolition Permit
- ☐ Other Requests: _____

3. Applicant, Agent & Property Owner Information:

Applicant Name: Justin Vondra **Company:** V6, LLC
Street Address: 802 Stewart Street **City/State:** Madison, WI **Zip:** 53713
Telephone: (608) 575-4205 **Fax:** (608) 204-3826 **Email:** justin@dirtyductscleaning.com

Project Contact Person: Justin Vondra **Company:** V6, LLC
Street Address: 3025 Perry Street **City/State:** Madison, WI **Zip:** 53713
Telephone: (608) 575-4205 **Fax:** (608) 204-3826 **Email:** justin@dirtyductscleaning.com

Property Owner (if not applicant): _____
Street Address: _____ **City/State:** _____ **Zip:** _____

4. Project Information:

Provide a brief description of the project and all proposed uses of the site: Current zoning is IG. We wish to have a conditional use permit to use this space to offer instruction in powerlifting and strongman olympic lifting for a tenant.

Development Schedule: Commencement April 7, 2015 Completion April 20, 2014

5. Required Submittal Information

All Land Use applications are required to include the following:

☐ **Project Plans** including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/alterd buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

☒ **Letter of Intent: Provide one (1) Copy per Plan Set** describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

☒ **Filing Fee:** Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

☒ **Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

☐ **Additional Information** may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

☒ **Pre-application Notification:** The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
Alderpersion John Strasser - Sent November 17, 2014

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

☒ **Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

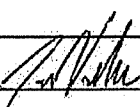
Planning Staff: Timothy M Parks Date: 11/11/14 Zoning Staff: Matt Tucker Date: 11/11/14

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Justin Vondra

Relationship to Property: President V6, LLC

Authorizing Signature of Property Owner



Date _____

V6 Properties LLC

3025 Perry Street, Madison, WI 53713
608.575.7309/608.575.4205

December 2, 2014

Re: Letter Of Intent For 802 Stewart Street Land Use Application
Madison, WI

Thank you for your time. Please find the following information. If any more detail is needed, please do not hesitate to ask.

1. Project Team:

a. Landscape Architect Including Grading Plan:

i. SAA Design Group, Inc.

101 East Badger Road, Madison, WI 53713

Aaron Williams, PLA, ASLA

(d) 608 441 3595 (f) 608 255 7750

awilliams@saa-madison.com

www.saa-madison.com

b. Paving, digout, rebase, geo fabric mat

i. DRS Paving

2534 South Fish Hatchery Road, Fitchburg, WI 53711

Krystal Strassman

(w) 608 274 4932 (f) 608 273 2468

ks@drspaving.com

www.drspaving.com

c. Survey

i. Williamson Surveying & Associates, LLC

104 A West Main Street, Waunakee, WI 53597

Noa T Prieve

(w) 608 255 5705 (f) 608 849 9760

chris@williamsonsurveying.com

www.williamssurveying.com

d. Landscape

i. Maple Leaf

2416 Spring Rose Road, Verona, WI 53593 8913

Roger Karls

(w) 608 845 2203 (f) 608 848 2250

rkarls@mapleleaflandscape.com

www.mapleleaflandscape.com

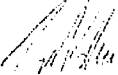
2. Existing Conditions:

The building is already an existing structure that is not having internal alterations done. The team above pertains to the yard addition:

3. Project Schedule (Final Dependent On Warm Temperatures)

- a. November 2014: Survey By Williamson Surveying
 - b. December 3rd, 2014: Hand in drawings, etc to City. Drawings prepared by SAA Design Group.
 - c. April 7th and 8th, 2015: Digout, rebase and geo fabric mat install
 - d. April 9th, 10th and 11th, 2015: Paving
 - e. April 18th, 19th and 20th, 2015: Landscape
4. Proposed Uses:
- a. Building Usage of MadTown Fitness space is to offer instruction in powerlifting and strongman Olympic lifting. Total building space is 7,800 sf.
 - b. Building Usage of Dirty Ducts Cleaning is off storage of Mechanical Insulation, etc during yard off loading and reloading. Total building space is 400 sf.
 - c. Yard Addition Usage of Dirty Ducts is for storage of fleet vehicles, equipment, etc. Total yard space is 8,850sf.
5. Hours Of Operation:
- a. Dirty Ducts Primary Operating Times Including Yard Usage is 7 am to 6 pm
 - b. MadTowne Fitness Primary Instruction Time Is 7am – 9 am and 5 pm to 7 pm.
6. Building Square Footage:
- a. Existing building will not be altered. It is 8,200 s.f.
7. Number of Dwelling Units:
- a. Zero
8. Auto and Biker Parking Stalls:
- a. Auto = 27 including 1 handicap (this excludes fleet parking, etc in the yard expansion)
 - b. Bicycle = 1 rack, 2 stalls
9. Lot Coverage and Useable Open Space Calculation:
- a. Lot size is 41,225sf
 - i. Current Pervious is 19,354sf
 - ii. Current Impervious including the 8,200 sf building footprint is 21,871
 - b. Yard addition size is approximately 8,850sf
10. Value Of Land
- a. \$100,000 (Value Of Improvements Is \$252,300)
11. Estimated Project Cost
- a. \$59,500
12. Number Of Construction and Full Time Equivalent Jobs Created:
- a. Construction Jobs Created Combined For Yard Expansion: 1
 - b. Full Time Jobs Created For Mad Town Fitness: 2
 - c. Full Time Jobs Created For Dirty Ducts Cleaning: 4 (yard expansion is part of our company growth plan)
13. Public Subsidy Requested:
- a. \$0

Sincerely,



Justin Vondra
V6 LLC

Tabulation of Points and Credits

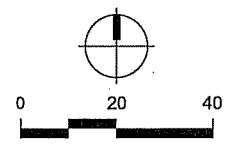
Use the table to indicate the quantity and points for all existing and proposed landscape elements.

Plant Type/ Element	Minimum Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2½ inch caliper measured diameter at breast height (dbh)	35	7	245	4	140
Tall evergreen tree (i.e. pine, spruce)	5-6 feet tall	35	6	210	-	-
Ornamental tree	1 1/2 inch caliper	15	3	45	-	-
Upright evergreen shrub (i.e. arborvitae)	3-4 feet tall	10	-	-	-	-
Shrub, deciduous	#3 gallon container size, Min. 12"-24"	3	-	-	68	204
Shrub, evergreen	#3 gallon container size, Min. 12"-24"	4	-	-	-	-
Ornamental grasses/ perennials	#1 gallon container size, Min. 8"-18"	2	-	-	40	80
Ornamental/ decorative fencing or wall	n/a	4 per 10 lineal ft.	-	-	804	32
Existing significant specimen tree	Minimum size: 2 ½ inch caliper dbh. *Trees must be within developed area and cannot comprise more than 30% of total required points.	14 per caliper inch dbh. Maximum points per tree: 200	-	-	-	-
Landscape furniture for public seating and/or transit connections	* Furniture must be within developed area, publically accessible, and cannot comprise more than 5% of total required points.	5 points per "seat"	-	-	-	-
Sub Totals				520		456

Total Number of Points Provided 976

* As determined by ANSI, ANLA- American standards for nursery stock. For each size, minimum plant sizes shall conform to the specifications as stated in the current American Standard for Nursery Stock.

Drawn By: AW
Checked By: DBM
File: P-SP
Issued For: PC
Issue Date: 14_1203
Project No. 2590



1. CALL DIGGERS HOTLINE TO LOCATE UTILITIES PRIOR TO BEGINNING WORK ON SITE
1.800.242.8511.
2. CLEAR AND GRUB TO THE LIMITS OF WORK PER SPECIFICATIONS.
3. UNLESS OTHERWISE NOTED, ALL ITEMS DESIGNATED FOR DEMOLITION SHALL BE
REMOVED AND DISPOSED OF OFF-SITE.
4. ALL EXISTING UTILITIES NOT USED SHALL BE ABANDONED PER CITY OF MADISON
SPECIFICATIONS, CONTRACTOR SHALL PAY FOR ALL PERMITS AND FEES.
5. ALL EXISTING PARKING LOT PAVEMENT THAT IS DAMAGED DURING CONSTRUCTION
SHALL BE REPLACED IN KIND, MATCHING INTO SURROUNDING PAVEMENT VIA
SAWCUTTING AND PROPER COMPACTION.

1. ALL WRITTEN DIMENSIONS SUPERSEDES SCALED DIMENSION.
2. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR THE INSTALLATION OF ALL ITEMS AS SHOWN ON THE DRAWINGS.
3. THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH CAREFULLY MATCHED TANGENTS.
4. DIMENSIONS TAKEN TO FACE OF BUILDING.
- 5.1 BIKE RACK (2 STALLS) HAS BEEN INDICATED ALONG THE BUILDING FOUNDATION ON A NEW CONCRETE PAD. BIKE RACK AND STALLS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON GENERAL ORDINANCE 28.11.

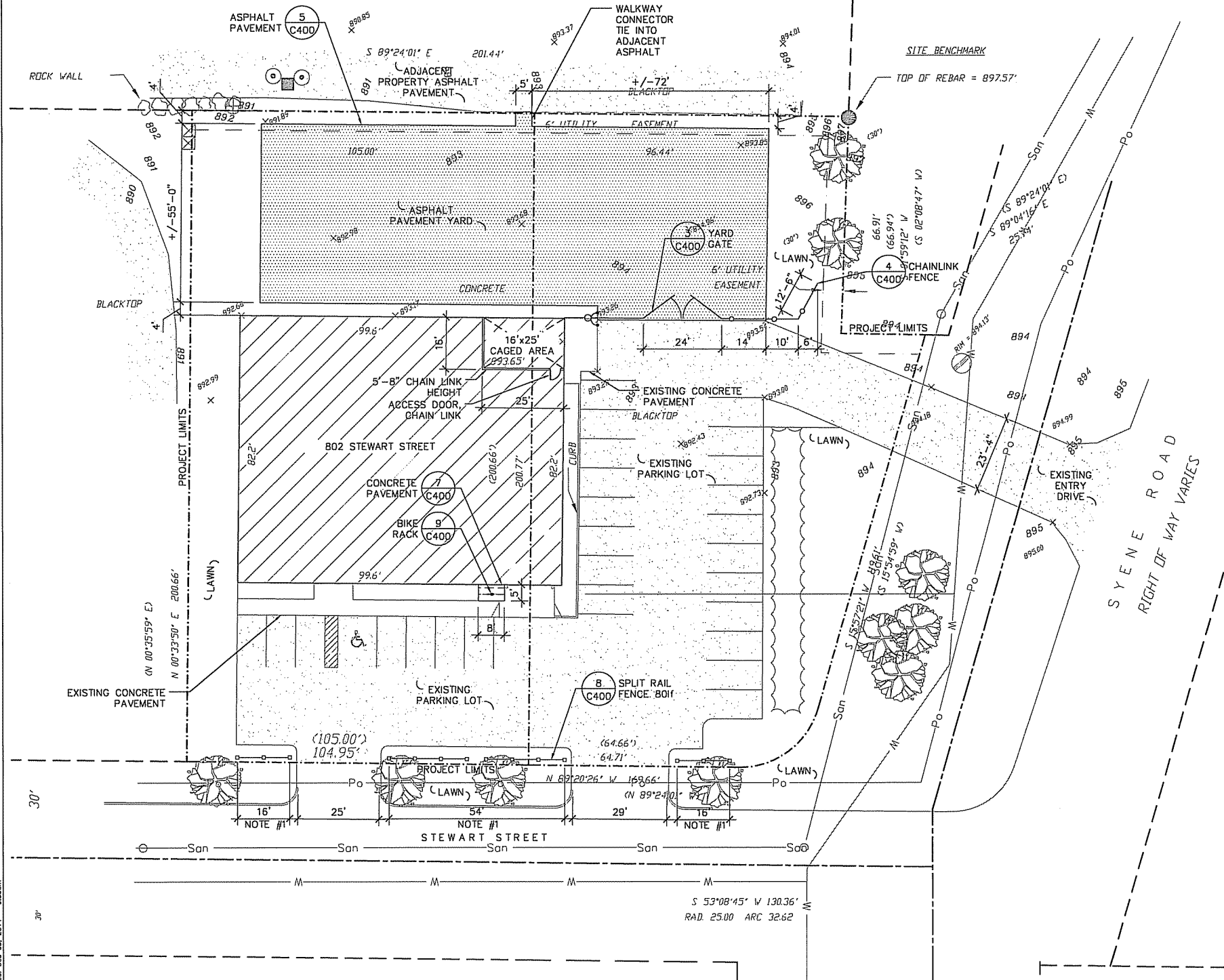
DEVELOPED AREA (EXCLUDING BUILDING FOOTPRINT)	33,025 SF
DEVELOPED AREA POINTS REQUIRED (33,025/100)	330 POINTS
DEVELOPED AREA POINTS PROVIDED	456 POINTS
CREDITS/EXISTING LANDSCAPE POINTS	520 POINTS

AS INDICATED ALONG STEWART STREET (EXISTING STREET TREES ADDITIONAL)

NOT APPLICABLE

AS INDICATED ON THE PLANS

SITE AREA	41,225sf (.94 ACRE)
EXISTING IMPERVIOUS SURFACES	21,871sf
EXISTING ISR	0.53
PROPOSED IMPERVIOUS SURFACES	30,721sf
PROPOSED ISR	0.75



Revision Date

Project Name

802 Stewart St.

GRADING NOTES

- CONTRACTOR SHALL FINE GRADE FOR GRADES AND SWALES AS SHOWN AND SHALL OBTAIN 2% MINIMUM DRAINAGE, UNLESS OTHERWISE DIRECTED.
- CONTRACTOR SHALL MEET EXISTING GRADE AT PROJECT LIMITS WITH A SMOOTH AND CONTINUOUS TRANSITION.
- CONTOURS SHOWN ON FINISH SURFACE INDICATE FINAL GRADE.
- CONTOUR INTERVAL IS ONE (1) FOOT.
- CONTOURS AND SPOT ELEVATIONS REPRESENT THE DESIGN INTENT OF FINISH GRADES AND FINISH SURFACES. SUBGRADES SHALL BE PER DETAIL DRAWINGS. THERE SHALL BE A MINIMUM OF 6" OF TOPSOIL IN ALL LAWN AND LANDSCAPE AREAS.
- INSTALL CLASS I URBAN TYPE A EROSION MAT ON ALL SLOPES STEEPER THAN 3:1 AND IN ALL DRAINAGE SWALE AREAS.

SPOT ELEVATION ABBREVIATIONS:

P	= PROPOSED ASPHALT
EG	= EXISTING GRADE
EC	= EXISTING CONCRETE
FS	= FINISHED SURFACE
FG	= FINISHED GRADE
TW	= TOP OF WALL
BW	= BOTTOM OF WALL
TC	= TOP OF CURB
TR	= TOP OF ROCK
TS	= TOP OF STAIRS
BS	= BOTTOM OF STAIRS
IE	= INVERT ELEVATION
R	= RIM

LEGEND

PROJECT LIMIT LINE	---
EXISTING CONTOUR	----- 615 -----
PROPOSED MAJOR CONTOUR	----- 615 -----
PROPOSED MINOR CONTOUR	----- 614 -----



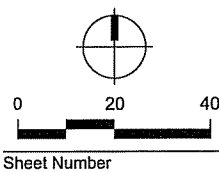
ANTICIPATED CONSTRUCTION SCHEDULE:

- INSTALL PROPOSED EROSION CONTROL MEASURES AS SPECIFIED IN THE PLAN.
- STRIP & STOCKPILE TOPSOIL TO HAVE ENOUGH TO RESTORE REMAINING GREEN AREAS UPON INSTALLATION OF THE PAVEMENT. CONTRACTOR TO HAUL AWAY AND DISPOSE OF EXCESS TOPSOIL.
- EXCAVATE AREA TO PROPOSED SUBGRADES AND EXPORT EXCESS FILL AT CONTRACTOR'S DISCRETION.
- CONSTRUCT RAIN GARDEN TO ROUGH GRADES BUT DO NOT FINISH UNTIL ASPHALT AND TOPSOILING HAS BEEN COMPLETED.
- CONSTRUCT ASPHALT PARKING AREA.
- RE-SPREAD TOPSOIL, FERTILIZE, SEED AND MULCH ALL DISTURBED AREAS WITHIN 7 DAYS OF FINAL GRADING.
- COMPLETE RAIN GARDEN CONSTRUCTION ONCE ASPHALT IS SUITABLE TO BE DRIVEN UPON.
- REMOVE EROSION CONTROL ITEMS AND RESTORE ANY DISTURBED AREAS.
- SEEDING AND STABILIZATION DEADLINES ARE AS FOLLOWS:
AFTER SEPTEMBER 15TH, A COOL WEATHER SEEDING COVER CROP MUST BE APPLIED (I.E. OATS)
AFTER OCTOBER 15TH, A DORMANT SEEDING COVER CROP MUST BE APPLIED (I.E. WINTER WHEAT)
AFTER NOVEMBER 15TH, A DORMANT SEEDING MUST BE APPLIED WITH AN ACCEPTABLE SOIL STABILIZER. (POLYACRYLAMIDE)

City of Madison
Wisconsin

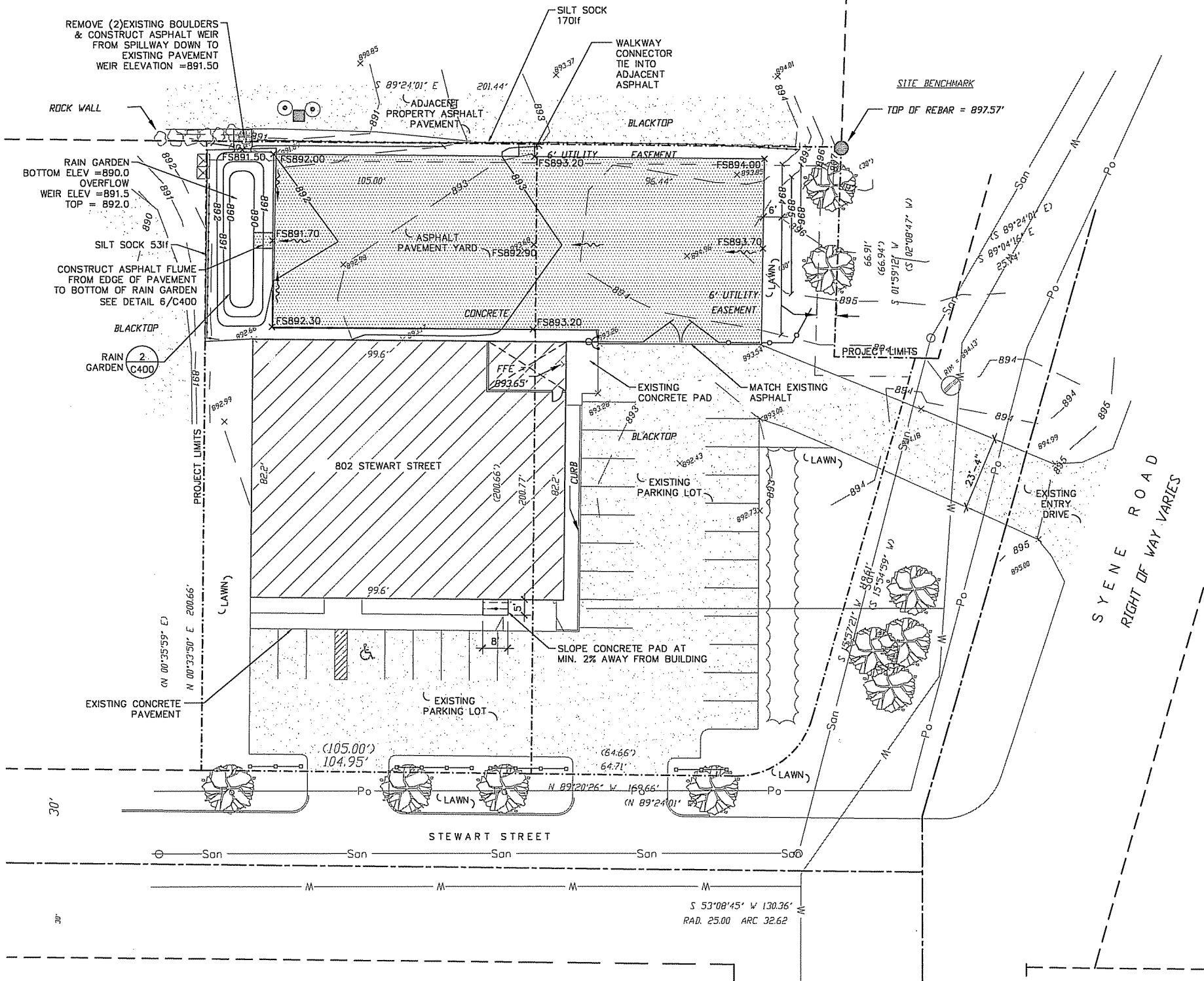
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GRADING



Sheet Number

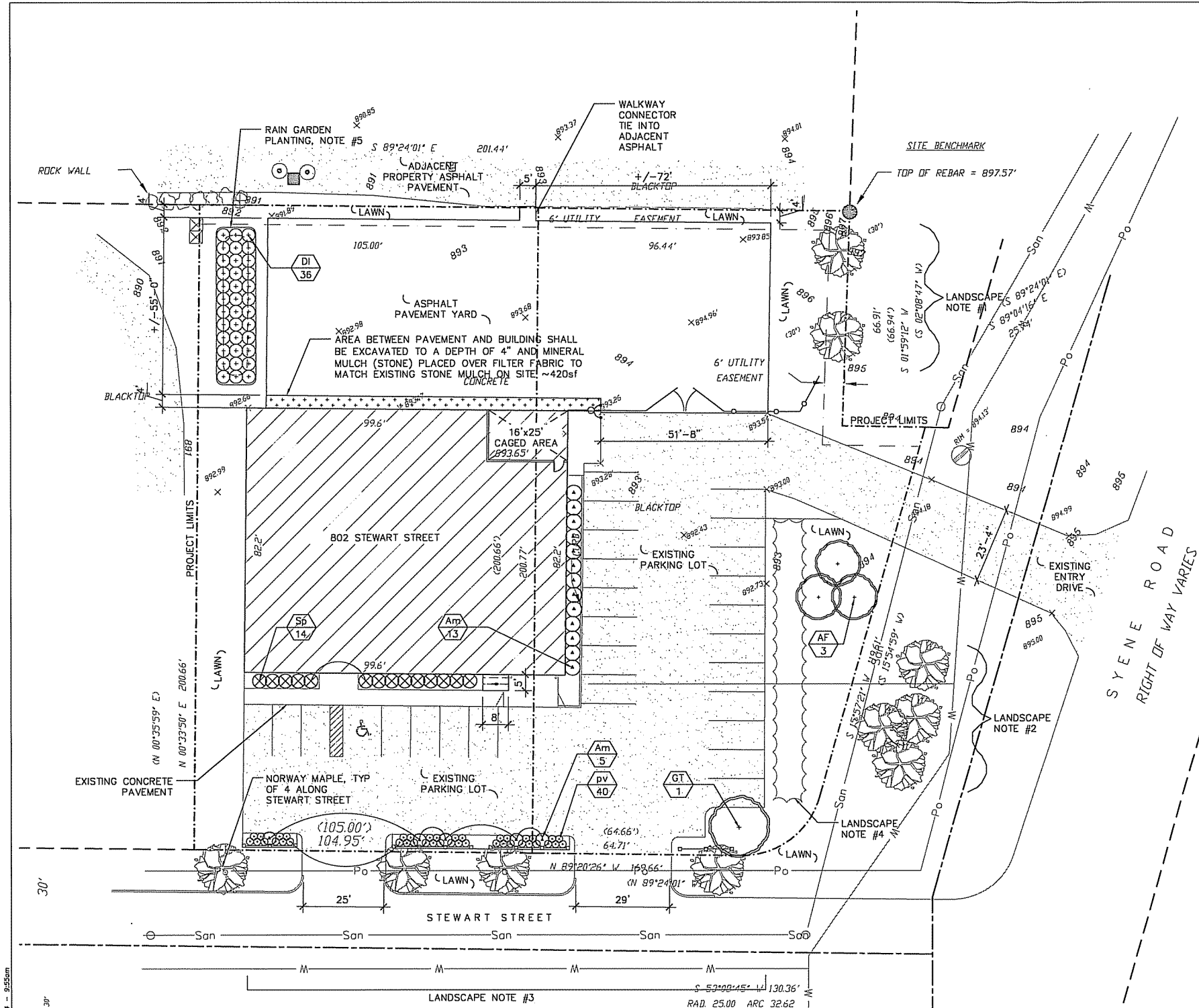
C200



EROSION CONTROL NOTES:

- EROSION CONTROL ITEMS SHALL BE IN PLACE PRIOR TO CONSTRUCTION AND SHALL BE MAINTAINED UNTIL SUCH TIME THAT THE ENGINEER DEEMS THE DEVICES NO LONGER NECESSARY.
- SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES.
- DISTURBED AREAS SHALL BE STABILIZED WITH SOIL STABILIZER TYPE B IF THERE IS A DELAY OF MORE THAN 7 CALENDAR DAYS BETWEEN INITIAL GRADING AND FINAL TOPSOIL AND SEEDING. SOIL STABILIZER APPLICATION SHALL BE AT THE CONTRACTOR'S EXPENSE.
- DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS OF THE END OF DISTURBANCE, OR RE-DISTURBANCE.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- A TRACKING MAT PER DNR TECHNICAL STANDARD 1057 WILL NOT BE REQUIRED AT THE SITE ACCESS POINT.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR GOVERNING AGENCY.

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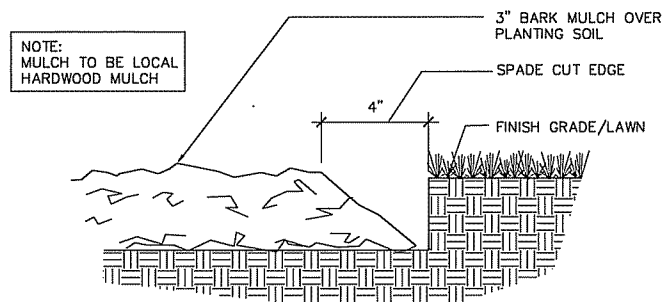


LANDSCAPE NOTES:

- EXISTING TREE LINE ON PROPERTY LINE. 4 LARGE DECIDUOUS TREES (SILVER MAPLE/HACKBERRY) STRETCH ALONG THIS BOUNDARY. A MATURE HONEYSUCKLE SHRUB (*Lonicera maackii*) IS LOCATE ADJACENT TO THE EXISTING ENTRY DRIVE.
- THIS AREA IS A MIXED PATCH OF VOLUNTEER SPECIES LOCATED WITHIN THE SYENE R/W. PATCH CONSISTS OF BLACK LOCUST, SUMAC, AMUR MAPLE AND VIBURNUM.
- DEVELOPMENT FRONTAGE LANDSCAPE REQUIREMENT AS REQUIRED. SPLIT RAIL FENCE COMBINED WITH TALL GRASSES AND SHRUBS TO SCREEN THE PARKING LOT.
- EXISTING SHRUB BORDER ALONG PARKING LOT IS COMPRISED OF THE FOLLOWING VEGETATION. NOTE THIS BORDER IS BEING USED TO MEET THE LANDSCAPE SCREENING REQUIREMENT AS FOLLOWS:
 - 1 ASH TREE, 2 HORNBEAM TREES, 4 STAGHORN SUMAC TREES, 6 MATURE (10'X5') JUNIPERS, 3 LILACS, A FEW EUONYMUS SHRUBS AND VARIOUS VOLUNTEER SCRUB MATERIAL.
- CENTER SHRUB MASSING IN BASE OF RAIN GARDEN, SHOVEL CUT EDGE AS INDICATED.
- ALL EDGING TO BE SHOVEL CUT ALONG STEWART STREET, TREES TO HAVE 5' DIAMETER DOUBLE SHREDDED WOOD MULCH RINGS AROUND THEM. ALL FOUNDATION PLANTINGS TO HAVE A MINERAL MULCH TO MATCH EXISTING.
- ALL NEW LAWN AREAS AND REPAIRED AREAS SHALL BE FINISH GRADED AND SEEDED AT A RATE OF 4LBS. PER 1,000sf.
- CONTRACTOR WILL SUPPLY, PLACE, AND FINISH GRADE TOPSOIL IN QUANTITIES SUFFICIENT TO ENSURE MINIMUM DEPTHS PER THE PLANTING DETAIL IN ALL PLANTING AREAS. EXCAVATE ALL ISLAND PLANTERS TO A DEPTH OF 24" BELOW TOP CURB TO REMOVE ALL CRUSHED STONE, STUMPS, ROOTS, OR SUBSTANCES 2" OR GREATER IN DIAMETER.
- GUARANTEE OF PLANTS FOR ONE (1) YEAR SHALL BEGIN AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES FOR ALL PLANT MATERIAL INCLUDING WATER, WEEDING, MULCHING, AND SPRAYING AS NECESSARY TO KEEP PLANTS FREE OF INSECTS AND IN A HEALTHY, VIGOROUS CONDITION. CONTRACTOR SHALL REPLACE WITHOUT COST TO OWNER ANY DEAD OR UNACCEPTABLE PLANTS AS DETERMINED BY LANDSCAPE ARCHITECT AT END OF ONE (1) YEAR GUARANTEE PERIOD.

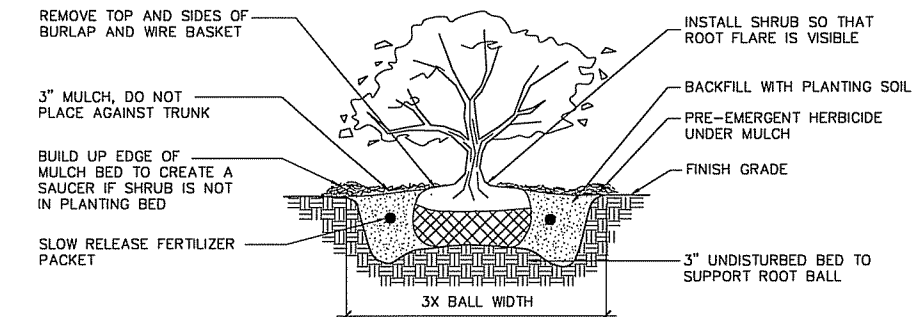
Planting Schedule

Symbol	Scientific Name	Common Name	Size	Root	Spacing	Quantity	Comments
TREES							
AF	Acer x Freemanii 'Jeffersred'	Autumn Blaze Maple	2.5"	B&B	per plan	3	
GT	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2.5"	B&B	NA	1	
SHRUBS							
Am	Aronia Melanocarpa v.	Glossy Black Chokeberry	5 Gal.	Cont.	per plan	18	foundation planting
DI	Diervilla lonicera	Dwf Bush-Honey Suckle	1 Gal.	Cont.	48" OC	36	rain garden area
Sp	Salix purpurea 'Nana'	Dwf Blue Artic Willow	3 Gal.	Cont.	per plan	14	foundation planting
PERENNIALS							
pV	Panicum virgatum 'Prairie Sky'	Prairie Sky Switch Grass	1 Gal.	Cont.	per plan	40	Stewart St. screening



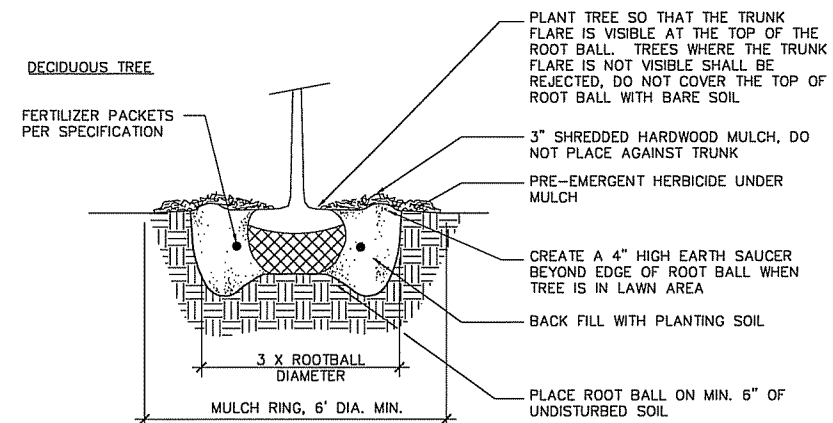
1 SHOVEL CUT EDGE
C300

NTS



2 B&B SHRUB PLANTING DETAIL
C300

NTS



- DO NOT HEAVILY PRUNE THE TREE AT PLANTING, PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN
- STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT
- WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT
- REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP AND SIDES OF ROOT BALL.

3 B&B TREE PLANTING DETAILS
C300

NTS

Revision Date

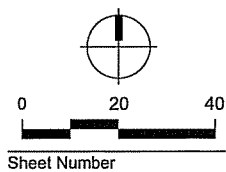
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City of Madison
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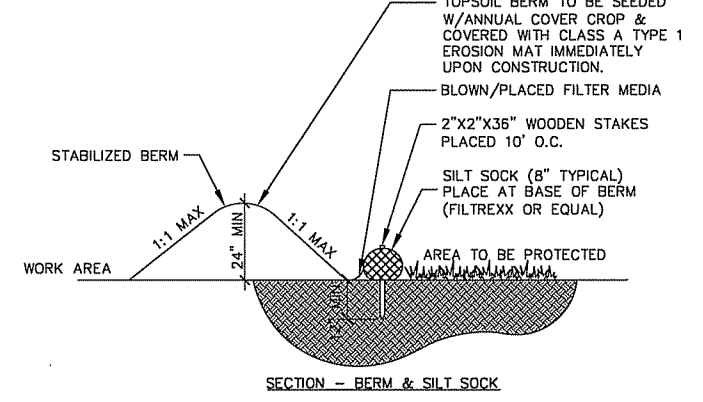
LANDSCAPE PLAN



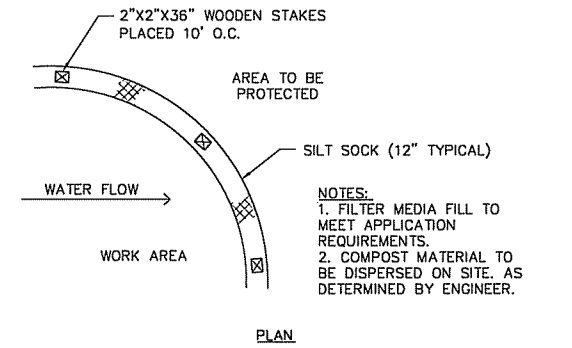
Sheet Number

C300

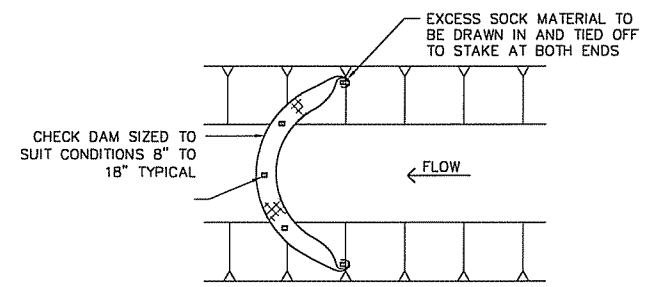
- STABILIZED BERM NOTES:**
1. SEDIMENT SHOULD BE REMOVED FROM BEHIND BERM ONCE THE ACCUMULATED HEIGHT HAS REACHED 1/2 THE HEIGHT OF THE BERM.
 2. BERM SHALL BE DIRECT SEEDED AND STABILIZED AT THE TIME OF INSTALLATION.
 3. STABILIZED BERM SHALL HAVE STONE OVERFLOW WEIRS PLACED IN LOCATIONS AS SPECIFIED IN THE PLANS. OVERFLOW WEIR SHALL BE A MINIMUM OF 4" WIDE AND CONSTRUCTED COMPLETELY OF #2 CLEAR STONE. TOP ELEVATION OF STONE WEIR SHALL BE 6-12" BELOW TOP OF ADJACENT STABILIZED BERM.



SECTION - BERM & SILT SOCK



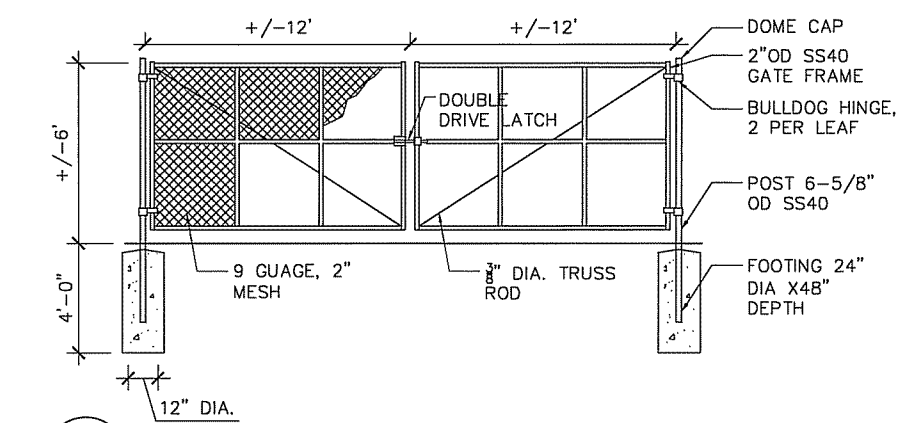
PLAN



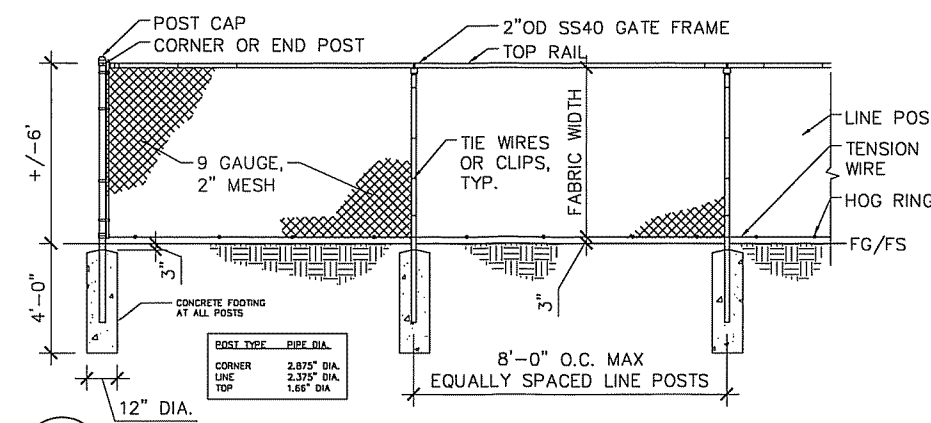
- NOTES:**
1. SEDIMENT SHOULD BE REMOVED FROM BEHIND CHECK DAM ONCE THE ACCUMULATED HEIGHT HAS REACHED 1/2 THE HEIGHT OF THE CHECK DAM.
 2. CHECK DAM CAN BE DIRECT SEEDED AT THE TIME OF INSTALLATION.

1 SILT SOCK
C400
NTS

2 RAIN GARDEN
C400
SCALE NTS



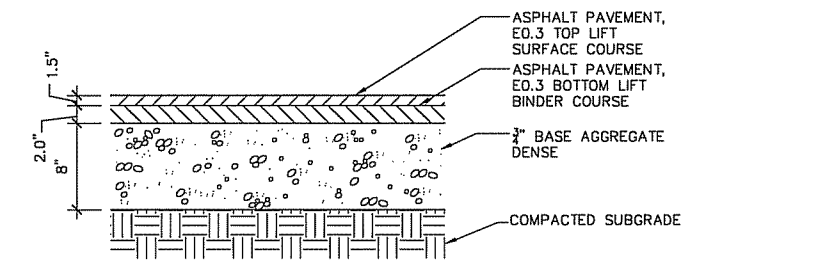
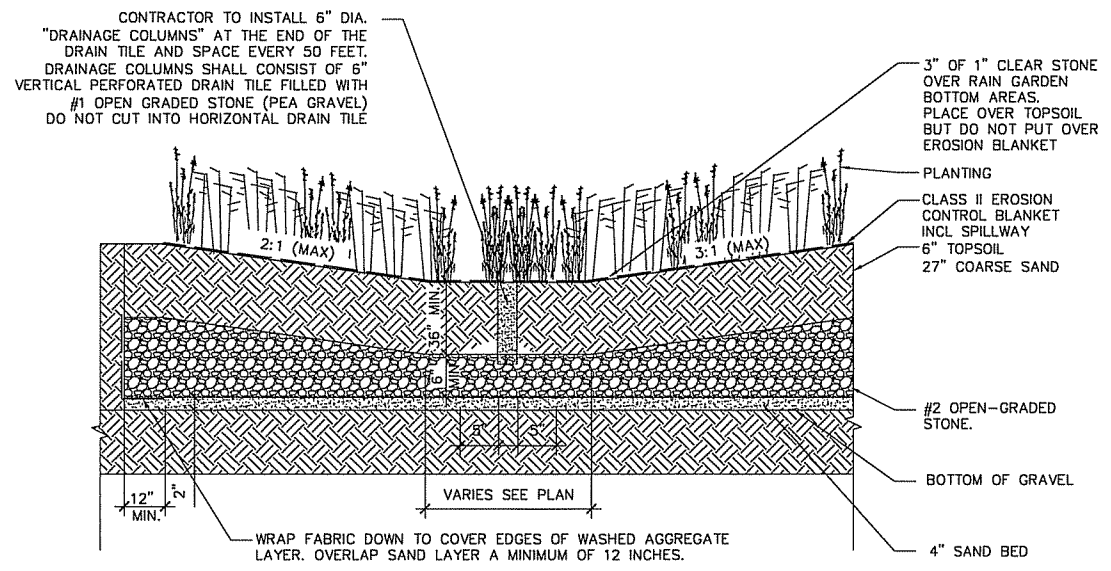
3 YARD GATE
C400
6' HEIGHT
SCALE: NTS



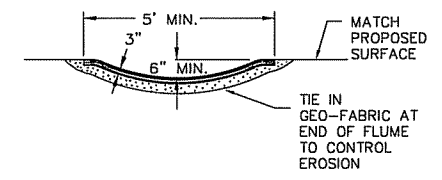
4 CHAINLINK FENCE
C400
6' HEIGHT
SCALE: NTS

INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (e.g. RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

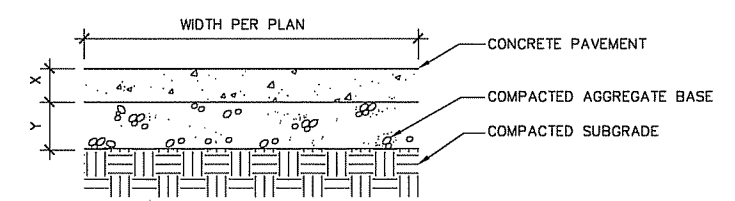
THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.



5 ASPHALT PAVEMENT
C400
SCALE: 1" = 1'-0"



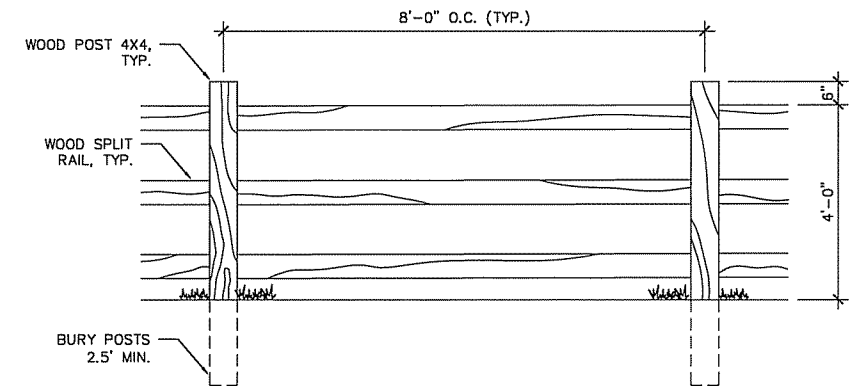
6 ASPHALT FLUME
C400
SCALE NTS



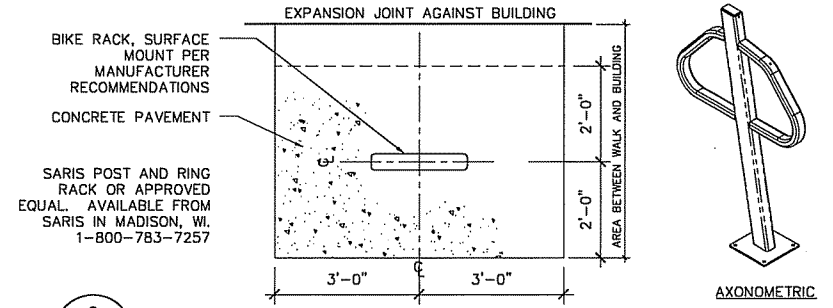
- NOTES:**
1. BROOM FINISHED PERPENDICULAR TO DIRECTION OF TRAVEL
 2. PROVIDE EXPANSION JOINTS AGAINST BUILDING
 3. STANDARD COLOR CONCRETE

PAVEMENT:	CONTROL JOINT SPACING	EXPANSION JOINT SPACING	X	Y	METAL MESH	BROOM FINISH
CONCRETE PAVEMENT-TYPE 1	PER PLAN	30'	5"	6"	NO	MEDIUM

7 CONCRETE PAVEMENT
C400
SCALE NTS



8 SPLIT RAIL FENCE
C400
3 RAIL
NTS



9 BIKE RACK
C400
NTS

Revision _____ Date _____

Project Name _____

802 Stewart St.

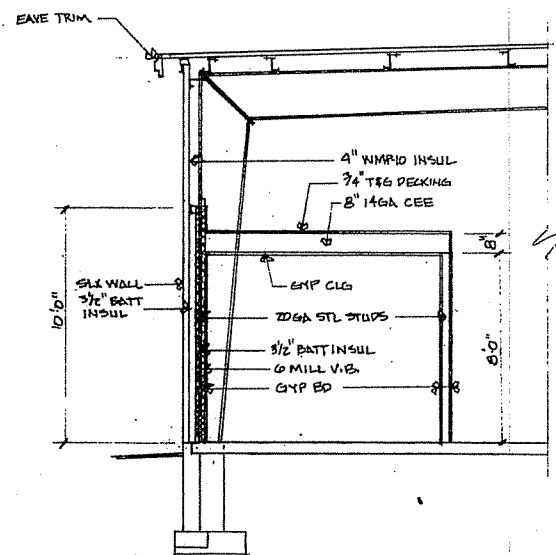
City of Madison
 Wisconsin

Drawn By: AW
 Checked By: DBM
 File: P-SP
 Issued For: PC
 Issue Date: 14_1203
 Project No. 2590

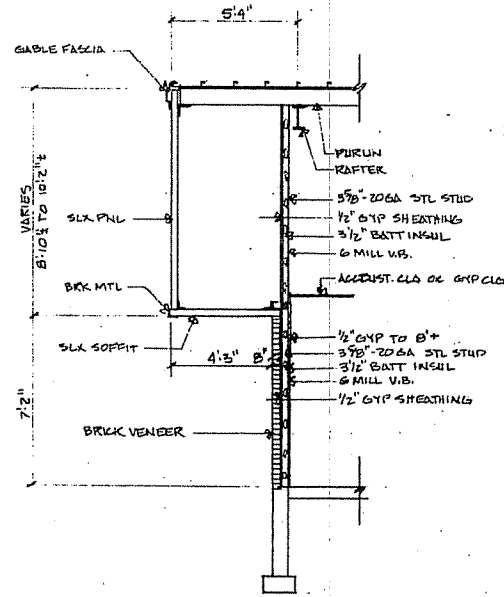
ELEVATIONS

0
 Sheet Number

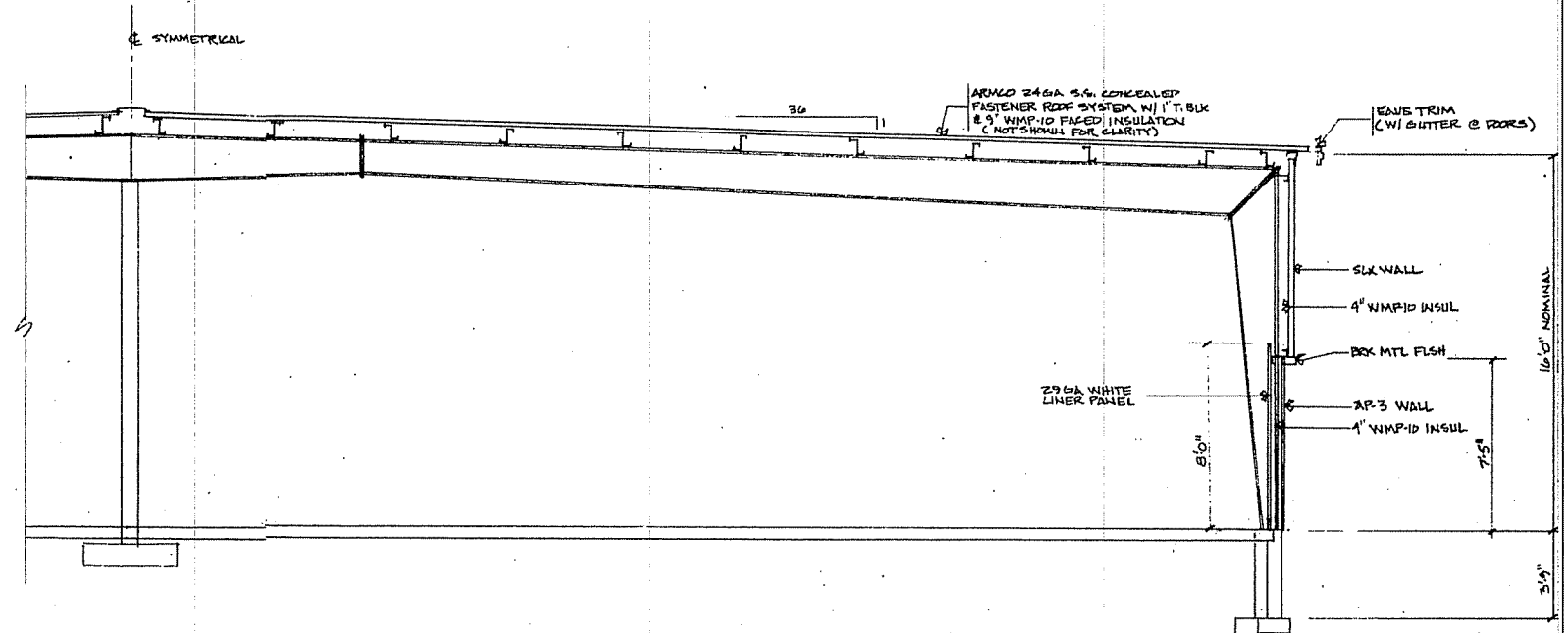
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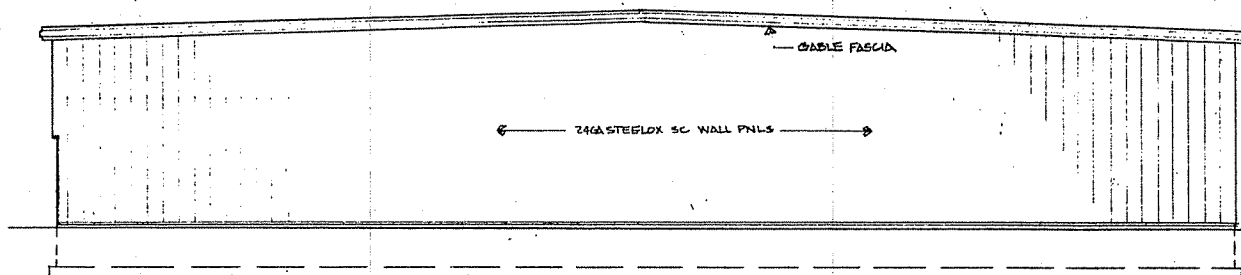
WALL SECTION



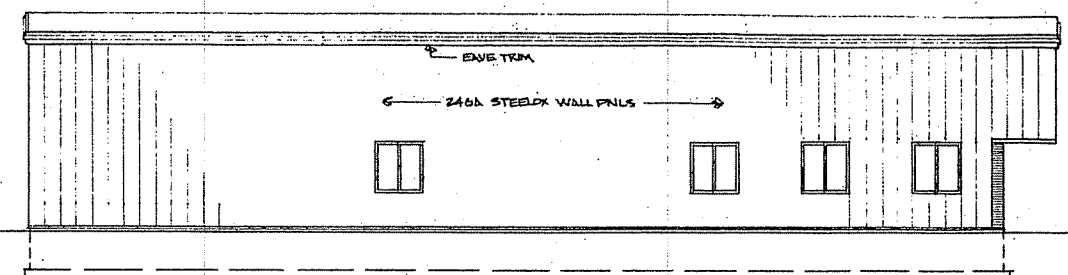
SOFFIT SECTION



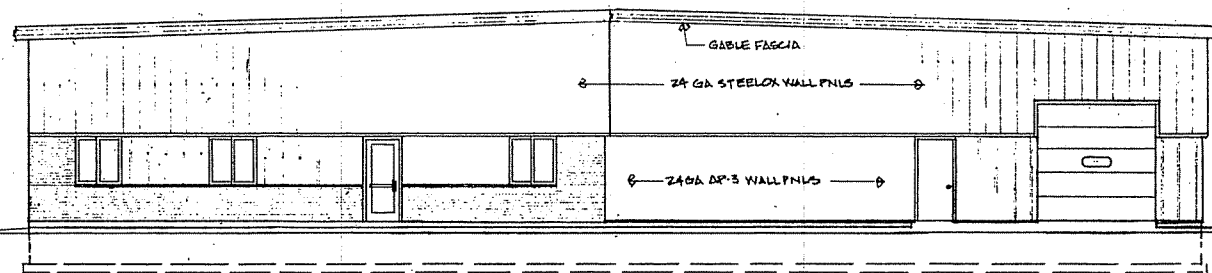
BUILDING SECTION



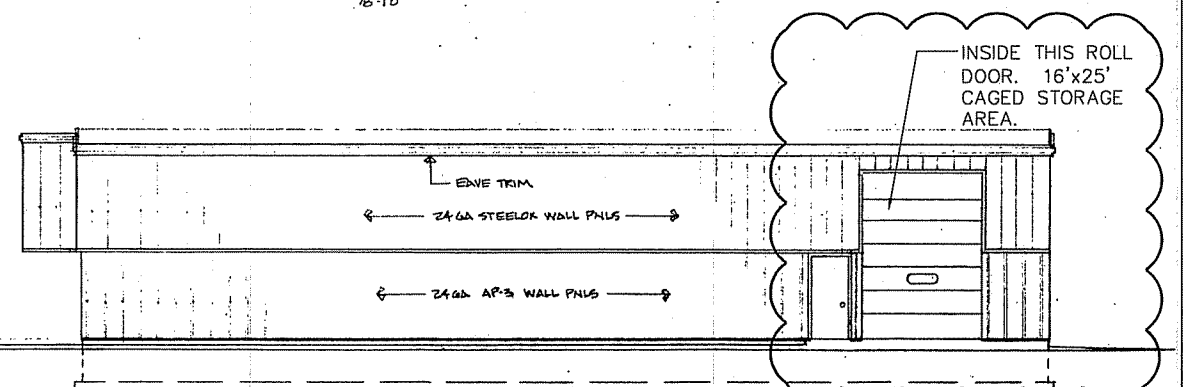
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

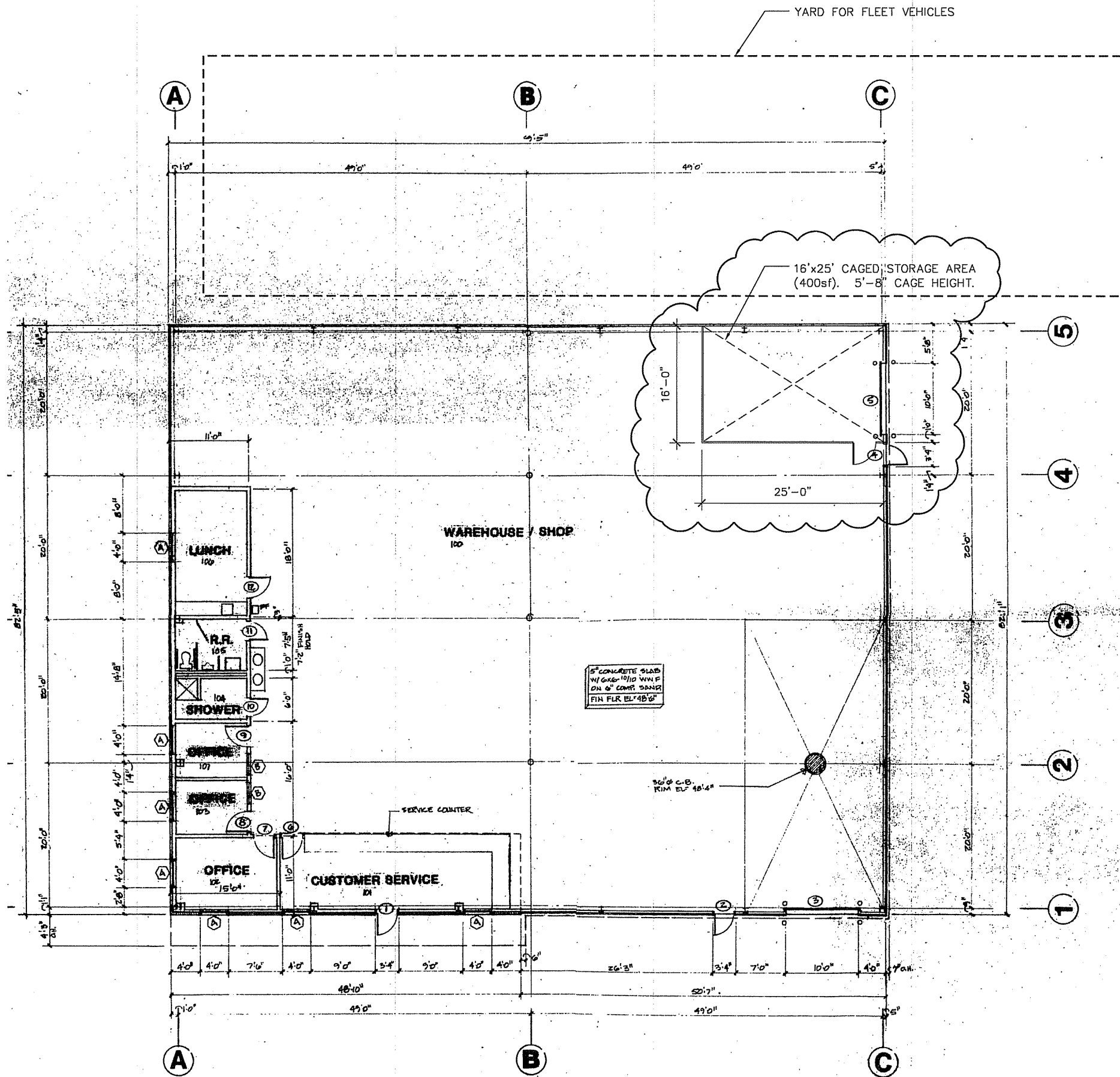


EAST ELEVATION

NOTE:

ARCHITECTURE FILES ARE SCANS OF ORIGINAL DRAWINGS COMPILED BY BUILDING SYSTEMS GENERAL CORP. DRAWING NUMBER 88-135 DATED 12-1-88

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FLOOR PLAN
SCALE: 1/8" = 1'-0"

YARD FOR FLEET VEHICLES

16'x25' CAGED STORAGE AREA
(400sf). 5'-8" CAGE HEIGHT.

WAREHOUSE / SHOP
100

LUNCH
100

R.R.
105

SHOWER
104

OFFICE
107

OFFICE
103

OFFICE
105

CUSTOMER SERVICE
101

5" CONCRETE SLAB
W/ 6x6x10" WOOD
ON 6" CORR. BARS
FIN FLR EL: 48'-6"

36" Ø C.B.
RIM EL: 48'-4"

ROOM FINISH SCHEDULE														
NO.	NAME	FLOOR			WALLS				WAINSCOT		CEILING			REMARKS
		mat	fin.	base	N.	S.	E.	W.	mat	hgt.	mat	fin.	hgt.	
100	WAREHOUSE / SHOP	CON	-	-	BI	BI	EI	BI	LVR	8'	EI	-	10'	
101	CUSTOMER SERVICE		(3)	VIN	-	GB	-	GB	PNL	2'-8"	SSI	WNT	8'	(1)
102	OFFICE				GBH	GBH	GBH	GBH	GBH			GB	(1)	(1)
103	OFFICE				GBH	GBH	GBH	GBH	GBH				(1)	(1)
104	SHOWER			CT	GBH	GBH	GBH	GBH	-	-			(1)	(1)(2)
105	RESTROOM			CT	GBH	GBH	GBH	GBH	-	-			(1)	(1)(2)
106	LUNCH	GB	GB	VIN	GB	GB	GB	GB	PNL	2'-8"	SSI	GB	(1)	(1)
107	OFFICE				GBH	GBH	GBH	GBH	GBH				(1)	(1)

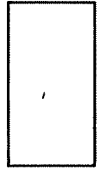
ROOM FINISH SCHEDULE NOTES:

- 1) Taped and Painted Gyp Bd
2) Taped only Gyp Bd
3) Painted
4) Unpainted
5) By Owner
6) 1/2" Sound Board Backer
7) 1 Hour Enclosure
8) 2 Hour Enclosure
- 9) 3 Hour Enclosure
10) 4 Hour Enclosure
11)
12)
13)
14)
15)
16)

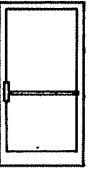
ROOM FINISH LEGEND:

- BLK...Concrete Block
BR...Brick
CAR...Carpet
CON...Concrete
CT...Ceramic Tile
DUR...Duramax Prefinished Gyp Bd
EI...Exposed Structural
EI...Exposed Insulation
FRP...Fiberglass Rein. Plastic Pnl
GB...1/2" Gypsum Board
GBW...5/8" Water Resist. Gyp Bd
GBX...5/8" Type X Gypsum Board
- LNR...29 Ga. White Liner Panel
PLY...Plywood
PNL...Prefinished Wood Paneling
QT...Quarry Tile
GB1...Susp. Grid 2x4 Fissured Min Bd
GB2...Susp. Grid 2x2 Rev. Edge Min Bd
GBV...Susp. Grid 2x4 Vinyl Covered Gyp
VCT...Vinyl Composition Tile, 1/8"
VIN...4" Vinyl Base
WD...Wood
WP...Wall Paper

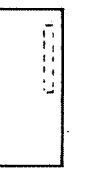
DOOR SCHEDULE													
NO.	LOCATION	SIZE	DOOR				FRAME	LOUVER	THRES.	HOLD	CLOSER		REMARKS
			thk	type	mat	hwd							
1	ROOM 101	5'-0" x 7'-0"	1 3/4"	B	AL	PB	AL						
2	100	5'-0" x 7'-0"		A	HM	WST	HM						
3	100	10'-0" x 10'-0"		D	STL	-	STL						
4	100	5'-0" x 7'-0"		A	HM	WST	HM						
5	100	10'-0" x 14'-0"		D	STL	-	STL						ELECT. OPER.
6	101	5'-0" x 4'-0"	(1)	WD	STL	WST	WD						1/2" FLR DOOR TIE SERV. CTR. S.D.
7	102	5'-0" x 6'-8"	C1	WD	LOC	WD							
8	103	5'-0" x 6'-8"	C1	WD	PASS	WD							
9	103	5'-0" x 6'-8"	C1	WD	PASS	WD							
10	104	2'-8" x 6'-8"	C	WD	PRV	WD							
11	105	2'-8" x 6'-8"	C	WD	PRV	WD							
12	106	5'-0" x 6'-8"	C1	WD	PASS	WD							



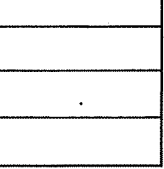
A FLUSH,
HOLLOW METAL
INSET CORE



B ALUMINUM
ENTRANCE



C FLUSH, WOOD
SOLID CORE



D OVERHEAD
SECTIONAL

- (A) 4040 ALUM. SLIPER
(B) 3030 WD CASD CLR. GLASS

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ARCHITECTURE FILES ARE SCANS OF ORIGINAL DRAWINGS COMPILED BY BUILDING SYSTEMS GENERAL CORP. DRAWING NUMBER 88-135 DATED 12-1-88

Revision _____ Date _____

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802 Stewart St.

City of Madison
Wisconsin

Drawn By: AW
Checked By: DBM
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EXISTING
BUILDING
PLAN

0
Sheet Number

A101