

SOUTH WHITNEY WAY

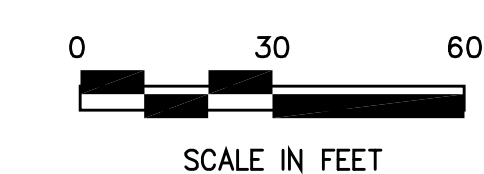
ODANA ROAD

SEGOE ROAD

HyVee

80,476 SF.
466 STALLS
(PARKING SHARED
WITH TJ MAXX)

LEGEND	
PROPOSED BOLLARD	PROPOSED EROSION CONTROL FENCE
PROPOSED LIGHT FIXTURE AND BASE	PROPOSED STORM SEWER
PROPOSED SANITARY SEWER MANHOLE	PROPOSED SANITARY SEWER
PROPOSED CLEANOUT	PROPOSED UNDERGROUND ELECTRIC
PROPOSED STORM SEWER MANHOLE	PROPOSED TELEPHONE
PROPOSED STORM SEWER INTAKE	PROPOSED GAS MAIN
PROPOSED TRAFFIC SIGN	PROPOSED WATER MAIN
PROPOSED FIRE HYDRANT	PROPERTY LINE
PROPOSED WATER VALVE	CENTER LINE
PROPOSED FROST FREE HYDRANT	EASEMENT/SETBACK LINE
PROPOSED SPOT ELEVATION	PROPOSED CONTOUR LINE
700.00TC	PROPOSED SHRUB
700.00TC	PROPOSED TREE
700.00GU	PROPOSED SIDEWALK
TW	PROPOSED HEAVY DUTY PCC PAVING
BW	PROPOSED LIGHT DUTY PCC PAVING
TYP	AREA WITH POTENTIAL RESIDUAL SOIL IMPACT SEE MATERIAL MANAGEMENT PLAN, WEST GATE MALL
PROPOSED SANITARY CLEANOUT	
PROPOSED GREASE SEPARATOR	
PROPOSED LIGHTING	



- GENERAL NOTES**
- PROTECT EXISTING STRUCTURES AND ADJACENT PROPERTY DURING CONSTRUCTION.
 - PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
 - THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
 - ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE FIELD VERIFIED.
 - CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
 - ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
 - UNLESS DETAILED OR NOTED OTHERWISE, PROVIDE 1" PRE-MOLDED EXPANSION JOINT MATERIAL WHERE CONCRETE IS POURED AGAINST BUILDING. PROVIDE 1" EXPANSION MATERIAL WHERE CONCRETE IS POURED AGAINST EXISTING CONCRETE. SET PRE-MOLDED MATERIAL TIGHT AGAINST BUILDING AND/OR CONCRETE TO ELIMINATE VOIDS.
 - SEE SPECIFICATIONS FOR FINISH AND SEALER ON EXTERIOR SLABS.
 - FINISH GRADES SHOWN ARE TO TOP OF PAVING, SIDEWALKS, OR FINISH GRADE.
 - STAGING LOCATION FOR CONSTRUCTION EQUIPMENT AND MATERIALS TO BE COORDINATED WITH AND APPROVED BY THE OWNER.

- SITE PLAN NOTES**
- INSTALL CURBS AND SIDEWALKS WHERE INDICATED ON PLANS. ALL NEW SIDEWALK SLABS SHALL BE A MINIMUM OF 4 INCHES THICK WITH FIBERS TO SPECIFICATIONS. CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS WITH 5 PERCENT AIR ENTRAINMENT AND LIMESTONE AGGREGATE 1/2 INCH MAXIMUM SIZE. PROVIDE CONTROL JOINTS AT 12'-0" O.C. (N & S) MAXIMUM UNLESS NOTED OTHERWISE.
 - CONSTRUCT PAVING SURFACES: CONCRETE TO BE REINFORCED WITH FIBERS. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS WITH 5 PERCENT AIR ENTRAINMENT AND LIMESTONE AGGREGATE 1/2 INCH MAXIMUM SIZE. PROVIDE CONTROL JOINTS AT 12'-0" O.C. (N & S) MAXIMUM UNLESS NOTED OTHERWISE.
 - PAINT PARKING STRIPING AND SIDEWALK CURBS "TRAFFIC YELLOW" WHERE SHOWN ON PLANS.
 - PAINT TRAFFIC DIRECTION ARROWS AND HANDICAP SYMBOLS "TRAFFIC YELLOW" WHERE SHOWN ON PLANS. ALL PAVEMENT MARKING PAINT TO INCLUDE GLASS BEADS PER SPECIFICATIONS.
 - SEE ARCHITECTURAL PLANS FOR BOLLARD LOCATIONS. BOLLARD LOCATIONS MUST BE COORDINATED WITH AND APPROVED BY THE HY-VEE SITEWORK REPRESENTATIVE PRIOR TO BEGINNING WORK.
 - SEE BUILDING PLANS AND SOBS REPORT FOR ANY SPECIAL EXCAVATION AND FILL REQUIREMENTS.
 - SEE MATERIAL MANAGEMENT PLAN - WESTGATE MALL LINK CLEANERS FOR MATERIAL HANDLING INSTRUCTIONS.
 - EXISTING UTILITIES TO BE RELOCATED OR REMOVED/ABANDONED.

LEGAL DESCRIPTION

MAPPED AND MONUMENTED BLOCK 1 OF WESTGATE, EXCLUDING THE SOUTHERLY 150 FEET OF THE WESTERLY 150 FEET THEREOF AND IS LOCATED IN THE NW 1/4 OF THE 14 OF SECTION 30, T 7 N, R 9 E, CITY OF MADISON, DANE COUNTY, WISCONSIN, AND THAT THIS MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE ONE-QUARTER CORNER of section 30, T 7 N, R 9 E, THENCE S89°48'59"W 298.24 FEET, ALONG THE EAST-WEST ONE-QUARTER LINE OF SAID SECTION; THENCE S00°11'11"E 36.47 FEET, TO THE POINT OF BEGINNING; THENCE N89°53'02"E 500.33 FEET; THENCE S00°04'00"W 734.61 FEET; THENCE S47°30'24"E 329.47 FEET; THENCE S49°30'00"W 380.27 FEET, TO THE POINT OF CURVATURE OF A 150 FOOT RADIUS CURVE; THENCE 70.29 FEET ALONG THE ARC OF SAID CURVE HAVING A CHORD BEARING S89°52'11"W 69.32 FEET, AND A CENTRAL ANGLE OF 40°33'30"; THENCE N89°52'01"W 37.45 FEET; THENCE N00°01'36"E 150.00 FEET; THENCE N89°52'24"W 150.00 FEET; THENCE N00°01'36"E 106.43 FEET, TO THE POINT OF CURVATURE OF A 15 FOOT RADIUS CURVE; THENCE 23.32 FEET ALONG THE ARC OF SAID CURVE HAVING A CHORD BEARING N44°57'21"E 21.19 FEET, AND A CENTRAL ANGLE OF 89°51'30"; TO THE POINT OF BEGINNING. PARCEL CONTAINS 771,584 SQUARE FEET BEING 17.74 ACRES AND IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

APPLICANT	OWNER
HY-VEE, INC. 5820 WESTTOWN PARKWAY WEST DES MOINES, IOWA 50266 (515) 287-2800 CONTACT: JOHN BREHM	HY-VEE, INC. 5820 WESTTOWN PARKWAY WEST DES MOINES, IOWA 50266 (515) 287-2800
CIVIL ENGINEER	
HY-VEE, INC. 5820 WESTTOWN PARKWAY WEST DES MOINES, IOWA 50266 (515) 287-2800 FOTH INFRASTRUCTURE AND ENVIRONMENT, LLC 1402 PANKRATZ STREET, SUITE 300 MADISON, WI 53704 (608) 242-5900 CONTACT: BILL DUNLOP	

ZONING AND LAND USE

EXISTING ZONING: C2 GENERAL COMMERCIAL
PROPOSED ZONING: C2 GENERAL COMMERCIAL
EXISTING LAND USE: RETAIL
PROPOSED LAND USE: RETAIL

PARKING REQUIREMENTS

PARKING STALLS REQUIRED:
TOTAL BUILDING 296 (3.31/1000 OF G.F.A.)
7 ADA (7 ADA)
PARKING STALLS PROVIDED: 830 (3.32/1000 OF G.F.A.)

BICYCLE PARKING REQUIRED: 48
BICYCLE PARKING PROVIDED: 48
LOADING BERTHS REQUIRED: 3
LOADING BERTHS PROVIDED: 4

SITE SUMMARY

BENCHMARKS

PRELIMINARY
NOT FOR CONSTRUCTION

REVISION	DATE BY

Foth
Foth Infrastructure & Environment, LLC
3000 30th Ave S
Madison, WI 53704
Phone: 608-242-5900 Fax: 608-442-9999

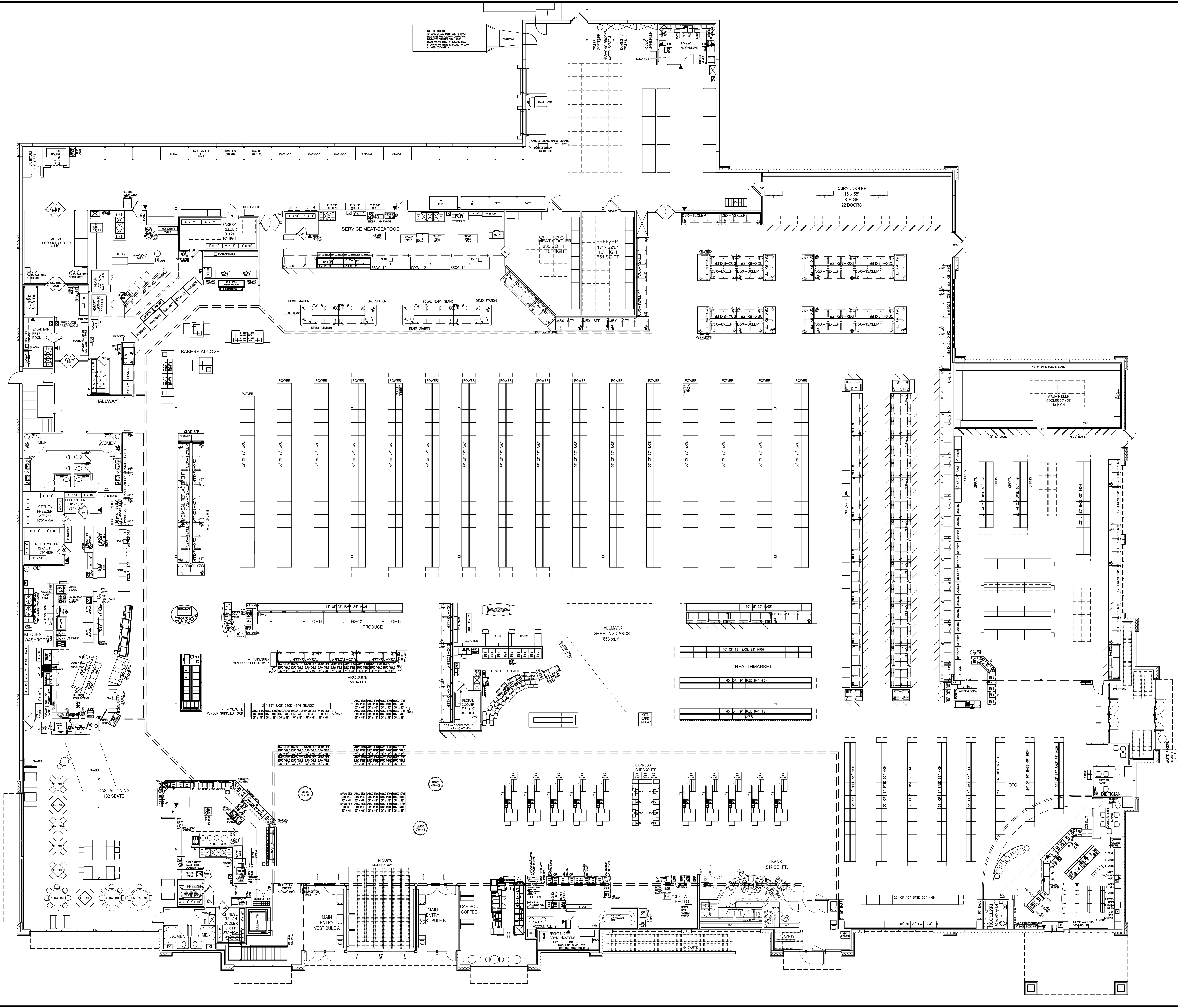
LOCATION:
**SOUTH WESTGATE MALL
RE-DEVELOP., MADISON, WI**

HY-VEE, INC.
5820 WESTTOWN PARKWAY
WEST DES MOINES, IOWA 50266
TELEPHONE: (515) 287-2800
FAX: (515) 287-2833

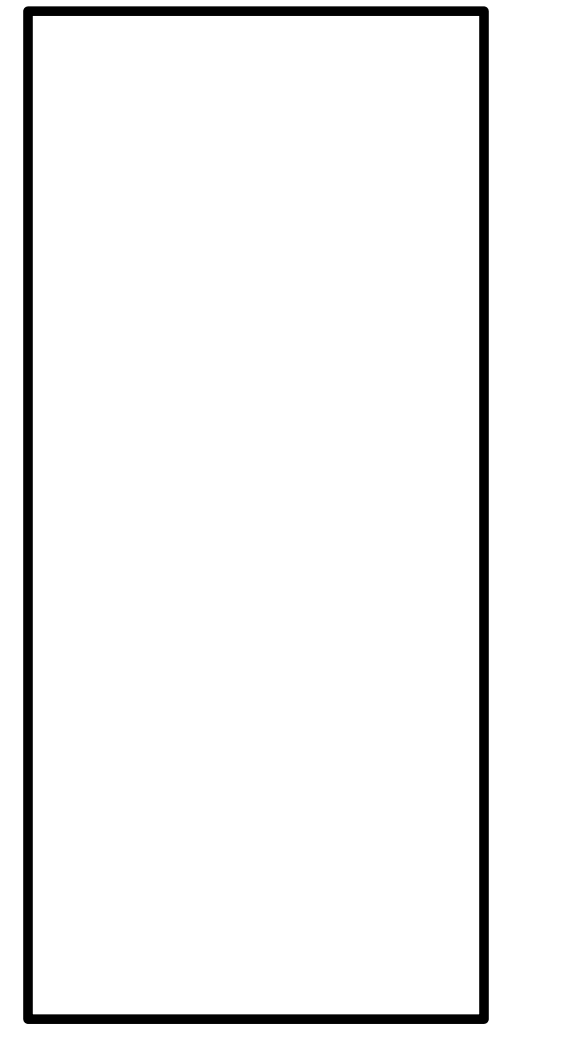
HyVee
EMPLOYEE OWNED

SITE PLAN

DRAWN:	DATE:
SCALE:	2008
1"=30'	JOB NUMBER:
SHEET:	C2.0



REVISION	DATE BY



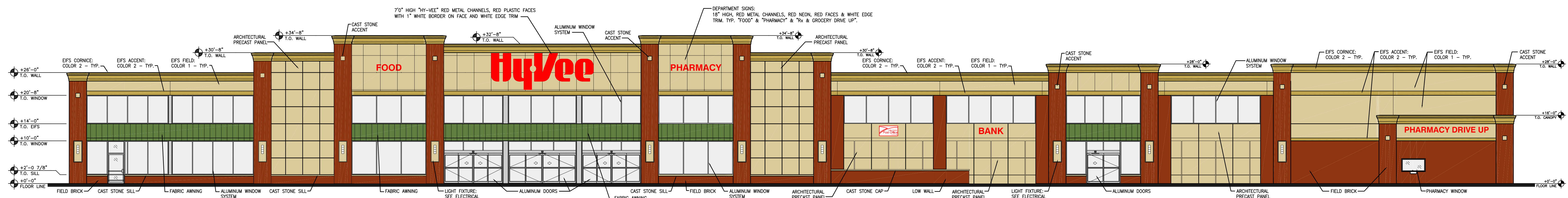
LOCATION: **MADISON #2, WISCONSIN**

HY-VEE, INC.
 5820 WESTTOWN PARKWAY
 WEST DES MOINES, IOWA, 50266
 TELEPHONE: (515) 267-2600
 FAX: (515) 267-2655

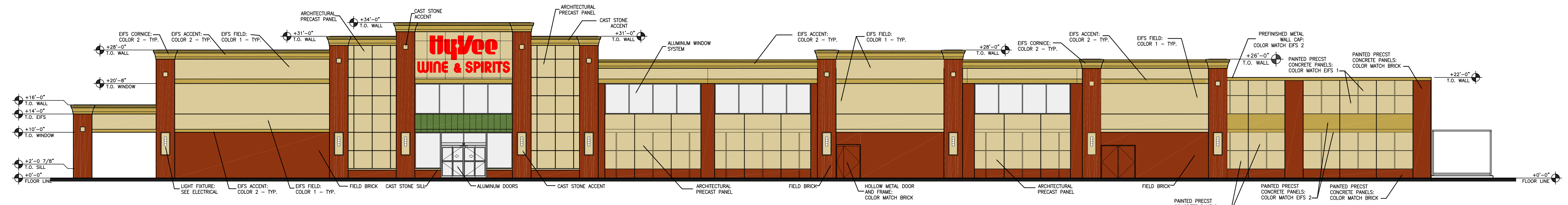
Hy-Vee
 EMPLOYEE OWNED

FIXTURE & EQUIPMENT PLAN

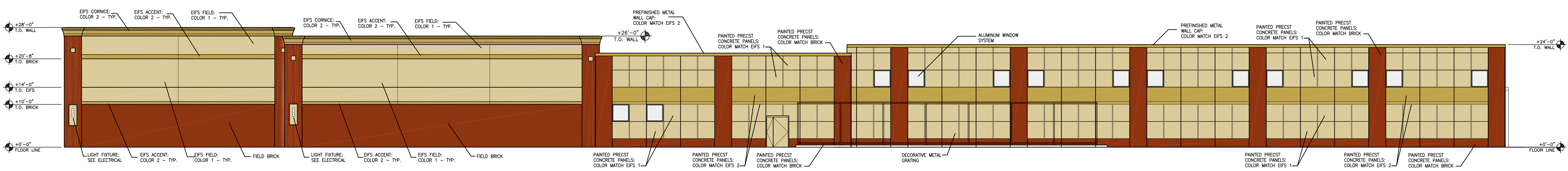
DRAWN: JPM	DATE: OCT 2008
SCALE: 3/32"=1'-0"	JOB NUMBER:
SHEET: A0.0	



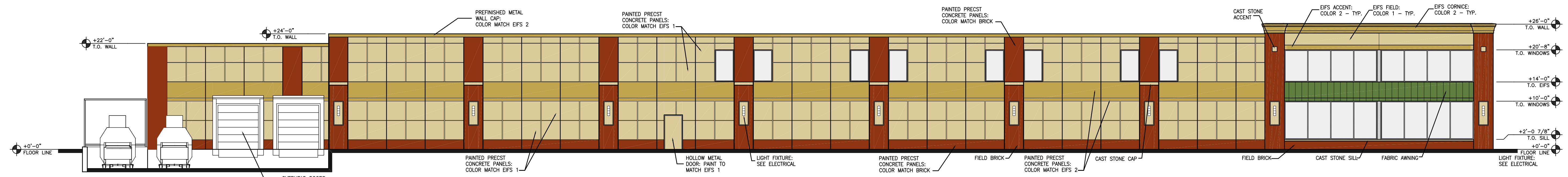
1 FRONT ELEVATION
SCALE: 3/32" = 1'0"



2 RIGHT ELEVATION
SCALE: 3/32" = 1'0"



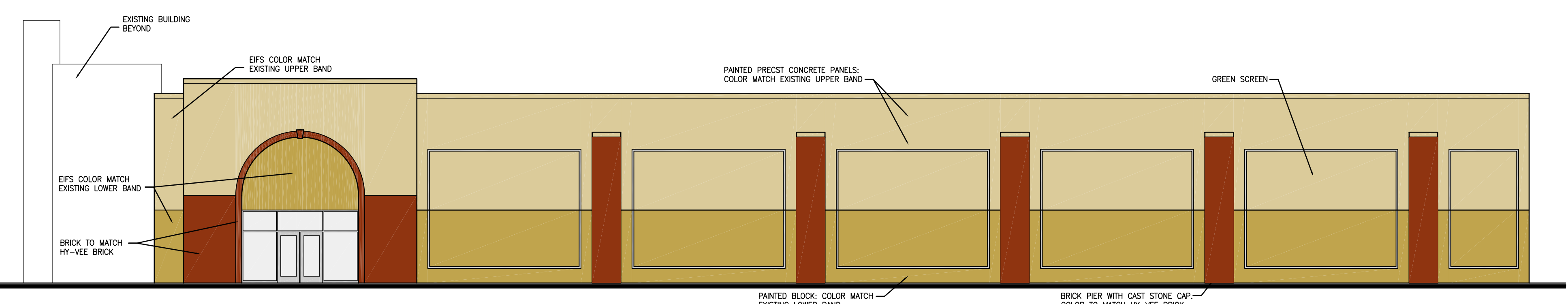
3 REAR ELEVATION
SCALE: 3/32" = 1'0"



4 LEFT ELEVATION
SCALE: 3/32" = 1'0"

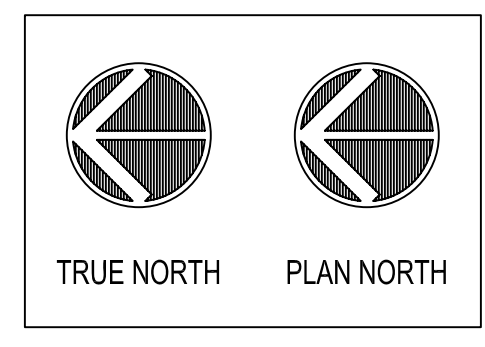
BRICK COLORS:
KING SIZE FIELD BRICK: "LUSK" #330 (KANSAS BRICK & TILE)
MORTAR COLOR: 10# (SOLIMON GRIND-CHEM. SERVICE INC.)
ALL BRICK FOR THIS PROJECT IS TO COME FROM MASONRY PRODUCTS OF IOWA. PLEASE CONTACT DAVE LAWSON AT (515) 453-8566.
MASONRY CONTROL JOINT NOTE:
IN LOCATION AS NOTED ON DRAWING
PRECAST CONCRETE PANELS:
CONCRETE WALL PANELS BY "FABCON" FROM MINNESOTA PLANT. WALL PANEL DESIGN AS SHOWN. CAULKING BY FABCON.
CAST STONE SILL - COLOR AS SELECTED
PAINT COLORS ON PRECAST TO BE:
MATCH EPS COLOR #1 - S.W. 2067 "MASON BLANCHE"
MATCH EPS COLOR #2 - S.W. 2066 "NANTUCKET DUINE"
E.I.F.S. COLORS:
COLOR #1 LIGHT SENERGY T-4958 = T-01-0806-421
COLOR #2 DARK SENERGY T-5641 = T-01-0709-421
E.I.F.S. EXPANSION JOINTS: SAME LOCATION @ MASONRY JOINT OR AS NOTED ON DRAWINGS
EXTERIOR HOLLOW METAL DOORS AND FRAMES:
PAINT ALL EXTERIOR HOLLOW METAL DOORS AND FRAMES TO MATCH ADJACENT WALL COLOR.
PAINT ALL EXTERIOR PIPE BOLLARDS TO MATCH MAIN BRICK COLOR.

HANDRAIL: PIPE RAILING, PAINTED TO BE AT +3" ABOVE NOSE OF TREADS, WITH A GRIPPING SURFACE 1/2" DIA. AND SPACED 1-1/2" FROM WALL. THEY ARE TO PROJECT 12" BEYOND THE TOP RISER AT +3" ABOVE SURFACE, AND PROJECT THE WIDTH OF THE TREAD 1/2" BEYOND THE BOTTOM RISER AT +3" ABOVE SURFACE. THEY MUST RETURN TO THE WALL OR BE PROTECTED WITH A SAFETY END. PROVIDE INTERMEDIATE RAILS OR ORNAMENTAL PATTERNS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH.
GUARDRAIL: 1-1/2" DIA. PIPE RAILING, PAINTED WITH TOP AT +42" ABOVE TOP OF LANDING. PROVIDE INTERMEDIATE RAILS OR ORNAMENTAL PATTERNS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH.
GUARDRAIL WITH HANDRAIL: A COMBINATION OF THE ABOVE TWO THAT MUST BE PROVIDED ON THE OPEN SIDES OF ALL INTERIOR AND EXTERIOR STAIRS & RAMP. SEE GUARDRAIL/HANDRAIL DETAIL.



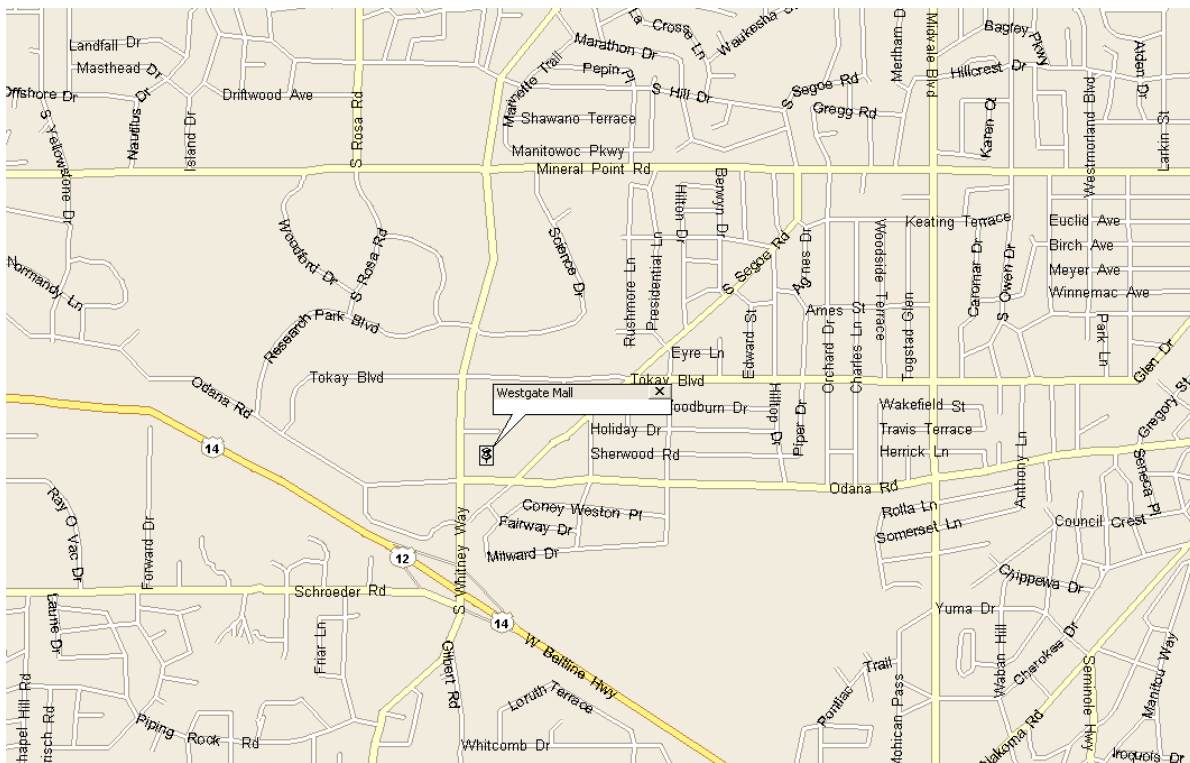
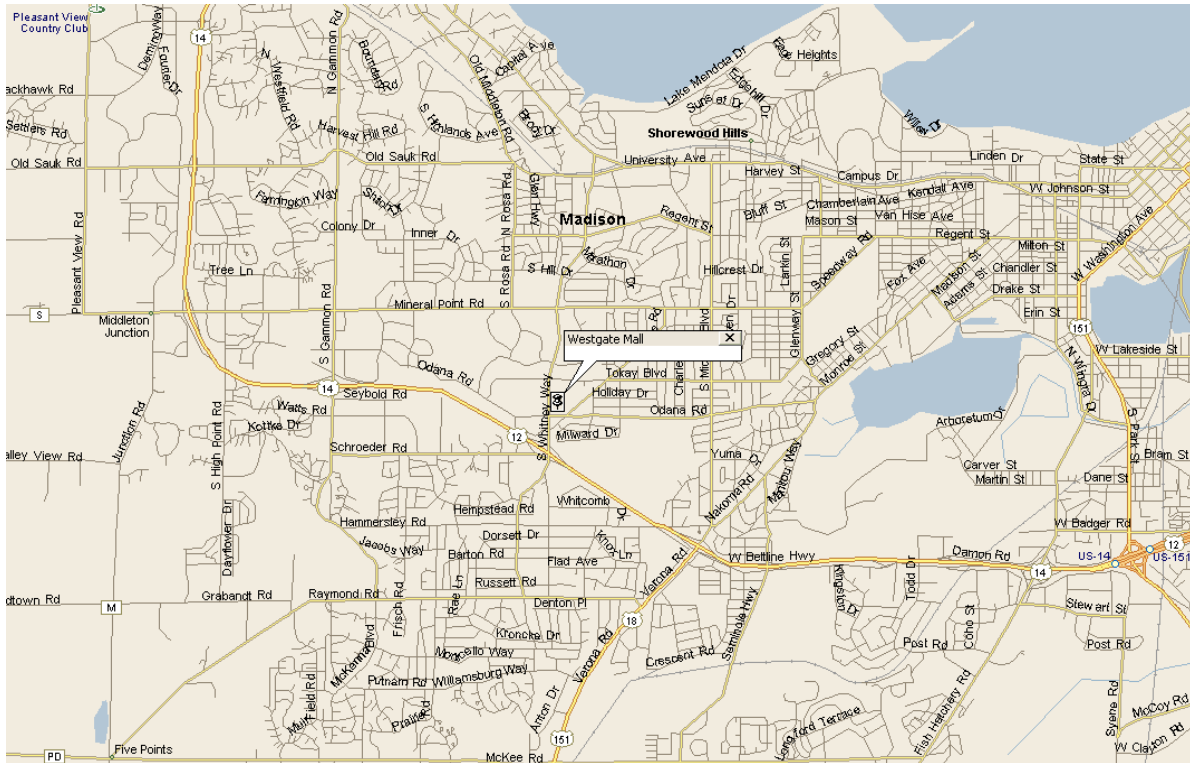
5 ADJACENT BUILDING ELEVATION
SCALE: 3/32" = 1'0"

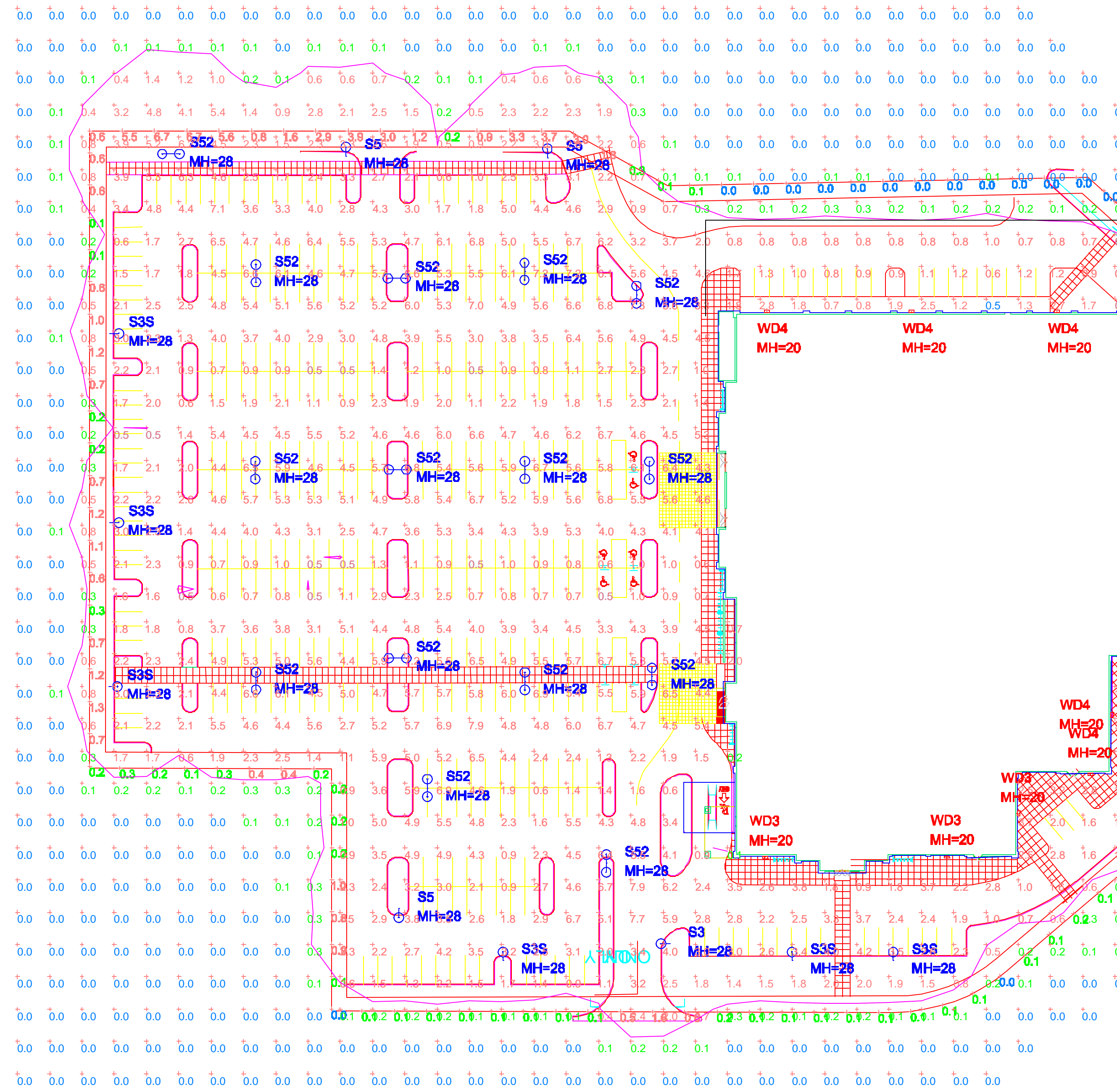
LOCATION: MADISON #2, WISCONSIN
HY-VEE, INC.
10000 WISCONSIN PARKWAY
WEST DES MOINES, IOWA 50266
TELEPHONE: (515) 267-2900
FAX: (515) 267-2935
EMPLOYEE OWNED



DRAWN:	DATE:
SCALE:	2/2008
SHEET:	XXXX.1.N.A0.0008

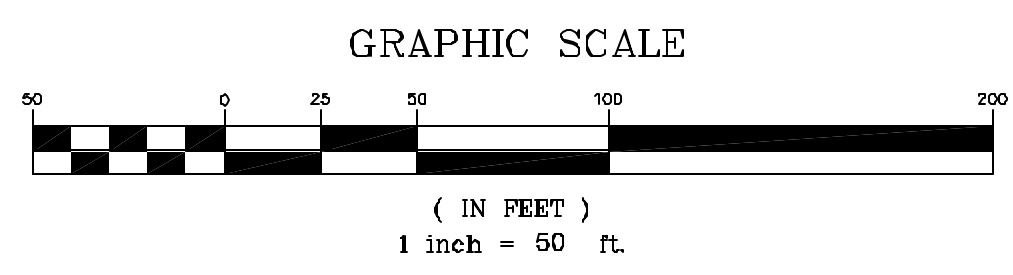
Location Map





Label	Qty	Arrangement	Description	Lumens	LLF	Filename
S3	3	SINGLE	AC21N3_400MH-BT28 (400W MH Source File)	44000	0.720	ac21n3-400m.ies
S3S	6	SINGLE	AC21N3_400MH-BT28_HS (400W MH Source File)	44000	0.720	ac21n3-400m-hs.ies
S5	3	SINGLE	AC21N5_400PMH-BT28 (400W MH Source File)	44000	0.720	ac21n5-400m.ies
S52	16	BACK-BACK	AC21N5_400PMH-BT28 (400W MH Source File)	44000	0.720	ac21n5-400m.ies
WD3	4	SINGLE	WD18x3_250PMH-ED28	22000	0.720	wd18d3-250p.ies
WD4	6	SINGLE	WD18x4_250PMH-ED28	22000	0.720	wd18d4-250p.ies

Label	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
CalcPts - PARKING - REAR	2.83	6.7	0.5	5.66	13.40	20	20
CalcPts - PARKING - FRONT AND SIDES	3.29	7.9	0.5	6.58	15.80	20	20
CalcPts - OUT TO ZERO FOOT-CANDLES	1.79	7.9	0.0	N.A.	N.A.	20	20



1. THIS LIGHTING DESIGN IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO HUBBELL LIGHTING. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.

2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.

3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

SITE: SITE LIGHTING PLAN HY-VEE #2 MADISON, WI	REVISED FROM DRAWING NUMBER(S): 0843024 0843196a	 Hubbell Lighting, Inc. 701 MILLENNIUM BLVD. GREENVILLE, SC 29607	DN BY: YWW	DATE: 12-04-08	CHK BY: N/A
			REV BY: YWW	DATE: 01-15-09	SCALE: AS NOTED
			QUOTE: N/A	DRAWING / DESIGN NO.:	0943496

**APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL**

AGENDA ITEM # _____
Project # _____

DATE SUBMITTED: <u>1/14/09</u>	Action Requested
UDC MEETING DATE: <u>1/21/09</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 160 Westgate Mall (S. Westgate Mall Redevelopment)

ALDERMANIC DISTRICT: #20

OWNER/DEVELOPER (Partners and/or Principals) Hy-Ucc, Inc.
5820 Westown Parkway
West Des Moines, IA 50266

ARCHITECT/DESIGNER/OR AGENT: Hank Gempeler, Foley & Lardner, LLP.
150 East Gilman Street
Madison, WI 53703

CONTACT PERSON: Pete Hoesch

Address: 5820 Westown Parkway
West Des Moines, IA 50266

Phone: 515-327-2147

Fax: 515-267-2967

E-mail address: phoesch@hy-ucc.com

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)
- Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



January 14, 2009

Urban Design Commission
Attn: Mr. Al Martin
Department of planning & Development
215 Martin Luther King Jr. Blvd., Suite LL 100
Madison, WI 53701

Re: Urban Design Commission Initial and Final Approval
South Westgate Mall Redevelopment
160 Westgate Mall (NEC of Whitney Way & Odana Road), Madison, WI

Dear Urban Design Commission:

Hy-Vee, Inc. ("Hy-Vee") is submitting this letter of intent along with our Urban Design Commission Review and Approval Application for 'New Construction or Addition to or Remodeling of a Retail, Hotel, or Motel Building Exceeding 40,000 Sq. Ft'. We are seeking Initial Approval and Final Approval at your January 21st meeting. As required prior to any formal action by Urban Design Commission, we have submitted an application for Plan Commission consideration. Planning Commission received that application along with the necessary fees and supporting documentation and we are a part of the February 9th meeting agenda.

We have chosen this site as our second Madison and second Wisconsin location. We are truly excited to bring the Hy-Vee shopping experience to the west side of Madison along with the potential for 350 to 400 new jobs.

Plan Modifications: We have made several modifications to the plan that was presented at the January 7th UDC meeting to address comments from the Commission. The changes, **which are predicated on the addition of a traffic light at the Whitney Way entrance**, include:

- The plan limits the Odana entrance to a right-in / right-out and the entrance is moved farther west to add separation between it and Segoe.
- The modifications eliminate a row of parking facing the Odana store entrance. This allows for the building to be pulled closer to street and to expand the pedestrian space in front of the Odana building entrance creating a community feature.
- The relocation of the Odana entrance has made for less congestion to the south of the drive-up lanes, but to further improve that area the stacking depth entering the drive-up has been extended and stacking depth exiting the drive-up is added in addition to traffic signage.
- Moving the building farther south created enough separation to add a drive connection between the buildings to the north of Hy-Vee. This will create a streetscape connection with landscaping and pedestrian lighting.
- The plan makes the connection with Segoe, at the eastern edge of the site, a full access intersection. Full access from Segoe allows for better truck movements and therefore the compactors can be relocated next to the loading docks on the north rather than facing Odana. Additionally, the change allows for better screening of the service area with landscaping.
- A sidewalk is added to the south side of the Whitney Way drive along with the relocation of the internal pedestrian parkway farther south to better accommodate pedestrian traffic from the south.
- Additional windows have been added to the south and east facades where possible. Additional color and material changes have been incorporated on the north, south, and east facades.

Actions to Date:

On October 16th we had an initial meeting with planning staff to review our proposed plans and had the opportunity to present our plans to the City's Development Assistance Team. On October 28th we were able to share our plans with

Hy-Vee, Inc. – Employee-Owned
5820 Westown Parkway, West Des Moines, Iowa 50266
Phone: (515) 267-2800

District 20 Alder, Ms. Thuy Pham-Remmele and Assistant to the Mayor, Mr. Mario Mendoza. Alder Pham-Remmele asked that in addition to sharing our plans with the Midvale Heights Neighborhood Association as discussed below, that we try to coordinate a meeting with the Orchard Park Neighborhood Association and said meeting took place on November 16th. Hy-Vee made an informational presentation to your Commission on December 17th and a second presentation on January 7th.

The evening of October 28th we presented our project at the regularly scheduled Midvale Heights Neighborhood Meeting. Most of the questions and comments came from members of the committee drafting the Midvale Heights Neighborhood Plan, which has a specific section devoted to the entire Westgate Mall property. The vision of the committee was for the entire 17.7 acre parcel to be redeveloped into a multi story new urbanism project with a mix of residential, office, retail, and structured parking. With that being said, representatives of J. Herzog & Sons (the property owner) voiced concerns that aside from the Hy-Vee redevelopment there are thirty (30) additional tenants in the mall, some of which have lease terms extending another twenty or more years. Many of those same tenants have approval rights over any modifications to the mall. Additionally, the mall is encumbered by a collateralized loan through the year 2031, which strictly limits modifications to the existing building and the revenue stream paying down the loan. It was also noted that the operating gas station at the northeast corner of Whitney Way and Odana Road is a longstanding neighborhood business that is not owned by J. Herzog & Sons. It was decided that further meetings with the property owner and the steering committee were necessary to discuss the committee's vision for the property relative to the long term contractual constraints.

The first such meeting took place on November 6th and led to the hiring of Schreiber / Anderson Associates, Inc. to master plan the balance of the center. Schreiber / Anderson completed the plan and they along with representatives from J. Herzog & Sons presented it to City Staff on December 3rd. Additional meetings to share the plan with the steering committee were held on December 10th and January 6th.

Project Name: South Westgate Mall Redevelopment

Address: 160 Westgate Mall (NEC of Whitney Way & Odana Road), Madison, WI

Alder Person: Ms. Thuy Pham-Remmele – District 20

Development Team:

Developer:	Hy-Vee Real Estate Dept. Contact: Pete Hosch 5820 Westown Parkway West Des Moines, IA 50266 515-327-2147 phosch@hy-vee.com	Architect:	Hy-Vee Engineering Dept. Contact: Dan Willrich 515-457-3804 dwillrich@hy-vee.com
Site Planning / Landscape Architect:	Hy-Vee Engineering Dept. Contact: John Brehm, ASLA 515-267-2947 jbrehm@hy-vee.com	Contractor:	Hy-Vee Weitz Construction 1947 Hull Avenue Des Moines, IA 50313 515-645-2300
Engineer:	Foth Infrastructure & Environment, LLC Contact: William Dunlop, PE 1402 Pankratz Street, Suite 300 Madison, WI 53704 608-242-5900 WDunlop@foth.com		

Project Overview:

Hy-Vee has reached an agreement to lease the demised premises shown on the attached site plan from J. Herzog & Sons, Inc. The aforementioned demised premises is has an area of approximately 7.7 acres. Hy-Vee will demolish the existing structures south of the TJ Maxx facility and construct an 80,476 square foot Hy-Vee Food Store, which includes an

attached Hy-Vee Wine & Spirits facility. The redevelopment results in an approximate 20,000-square-foot increase in building area. The project will include resurfacing the parking lot, adding more parking lot islands, relighting of the parking lot, increased landscaping, improved pedestrian connectivity, the addition of a traffic light at the Whitney Way entrance, and the relocation of the Segoe Road and Odana Road access drives providing safer traffic movement throughout the site.

This submittal represents the first step toward redevelopment of this site. The conceptual master plan for the entire 17.7 acres developed by Schreiber / Anderson is included with our submittal. Their plan represents a realistic goal given the numerous constraints at hand. It allows for the long standing tenants to maintain their presence while creating additional space for a mix of uses, enhanced connectivity, and pedestrian friendly open space.

Hy-Vee plans to receive Urban Design Commission and Planning Commission approval for a conditional use permit by early 2009, building permit approval by mid-spring, and start construction shortly thereafter. Project construction is anticipated to take approximately 12 months, resulting in an early-summer 2010 grand opening of the store.

Building Improvements:

The portion of the mall being redeveloped by Hy-Vee is comprised of several mid to large scale retail tenant spaces. Included in the submittal are proposed building elevations showing significant improvements in both design and materials compared to what is currently in place. These plans incorporate the architectural interest the City of Madison looks for in new development. The Whitney Way or front façade has dramatic changes in building projection and multiple expanses of glass which will provide significant day-lighting into the new facility. Additional points of interest on the front façade are the canopy features and numerous changes in building height. The most-pronounced height changes are utilized to draw customers into the primary entrance. Color and texture will be varied by using a mix of building materials including brick, glass, painted precast concrete panels, and EIFS.

In an effort to address city staff concerns about the Odana Road façade we made extensive changes to the inner workings of our store and modified the footprint to accommodate a functioning entrance for that elevation. The entrance will be utilized primarily for the Hy-Vee Wine & Spirits store, but will also act as an additional access point for pharmacy customers. This should work in conjunction with our corporate efforts to design the Wine & Spirits space as a separate shopping experience for the customer. We also feel that this entrance provides for greater pedestrian connectivity to the site. We utilized the same architectural theme on the Odana Road elevation that is present on Whitney Way.

The brick, glass, and EIFS present on the front elevation will wrap around to the north elevation approximately 40 feet. The remainder of the north elevation will be painted precast panels with brick piers and pedestrian lighting. A mezzanine level comprising over 5,000 sq. ft. including offices and a club room / cooking school is present on the north elevation and windows are incorporated along this mezzanine level.

The rear elevation will have areas of brick and EIFS near Segoe and then painted precast panels as you move farther to the North. The service area is screened with decorative metal grating and second story windows are shown where possible.

Site Improvements:

The site will undergo significant improvements to layout, pedestrian access, lighting, and landscaping. The plan includes a pedestrian parkway connecting the City sidewalks on Whitney Way to the front of the store. The existing entrance into Westgate Mall will be relocated and a drive connection will be created between the buildings to Segoe Road including street parking and a landscaped walkway. A café style outside dining area will be easily accessible from this parking and the walkway connecting with the neighborhood to the east. Three additional pedestrian access points will be added east of the Odana Road entrance connecting to the sidewalk running adjacent to the building.

Landscaping throughout the site will utilize a variety of plant species, many of which are native to the area and therefore remain appealing through seasonal change. The landscape buffering that exists on the site will be enhanced to aid in the visual screening from the adjacent properties. New parking lot islands will be oversized to allow trees and plants to thrive. The alcoves on the southeast corner of the building will incorporate plantings to add visual screening of the building.

Operation and Site Detail:

- The Westgate Mall property post Hy-Vee redevelopment will have 842 parking stalls (3.315/ 1000 SF)
- The Hy-Vee facility has two service dock doors and a vendor delivery door on the east elevation.
- The Hy-Vee Food Store will be a 24-hour facility. The Hy-Vee Wine & Spirits store will have operational hours in accordance with state and local laws.
- Two trash compactors are located along the south elevation and are screened from view by a fence
- Professional snow removal will be arranged for the entire site by the Mall Manager and maintained in accordance with City standards.

Building Uses and Area:

The redevelopment would consist of a 75,542 square-foot Hy-Vee food store, a 4,934 square-foot attached Hy-Vee Wine & Spirits facility.

1. Hy-Vee Food Store: 75,542 sq. ft. (detail as follows)
 - a. Pharmacy: 825 sq. ft.
 - b. Bank: 520 sq. ft.
 - c. Floral: 581 sq. ft.
 - d. Caribou Coffee: 481 sq. ft.
 - e. Casual Dining: 2,692 sq. ft.
 - f. Mezzanine: 6,534 sq. ft.
 - i. Club Room: 1,883 sq. ft.
 - ii. Offices: 1,912 sq. ft.
 - g. Back Room: 5,943 sq. ft.
 - h. Digital Photo: 151 sq/ ft.
 - i. Bakery: 1,173 sq. ft.
 - j. Health Market: 1,142 sq. ft.
 - k. Grocery / Dairy / Produce / General Merchandise: 50,003 sq. ft.
 - l. Kitchen / Chinese / Italian / Deli: 2,547 sq. ft.
 - m. Service Meats: 861 sq. ft.

2. Hy-Vee Wine & Spirits: 4,934 sq. ft.

Employment Estimate: Hy-Vee would expect to employ between 350 and 400 people and the leased space would account for additional employment beyond that.

Construction Schedule: Pending conditional use and building permit approval we anticipate a May 2009 construction start with a May 2010 grand opening.

Hy-Vee truly appreciates your review of our project and please don't hesitate to call should any questions arise.

Sincerely,

HY-VEE, INC.



Pete Hosch
Asst. Vice President, Real Estate

Enclosures



January 14, 2009

Urban Design Commission
Attn: Mr. Al Martin
Department of planning & Development
215 Martin Luther King Jr. Blvd., Suite LL 100
Madison, WI 53701

Re: Urban Design Commission Initial and Final Approval
South Westgate Mall Redevelopment
160 Westgate Mall (NEC of Whitney Way & Odana Road), Madison, WI

Dear Mr. Martin:

Enclosed is Hy-Vee's application for Urban Design Commission Review and Approval for 'New Construction or Addition to or Remodeling of a Retail, Hotel, or Motel Building Exceeding 40,000 Sq. Ft'. Hy-Vee would like the opportunity to present our revised plans at the January 21, 2009 meeting. We are making modifications to our plans based on comments received at our last UDC presentation on January 7th, and therefore do not yet have the supporting documentation that must accompany this application. We ask that you still accept this application knowing we will have all the required submittal information to you no later than noon on January 16th.

I did draft and include the letter of intent required for the submittal which details many of the plan changes that are being made prior to the meeting.

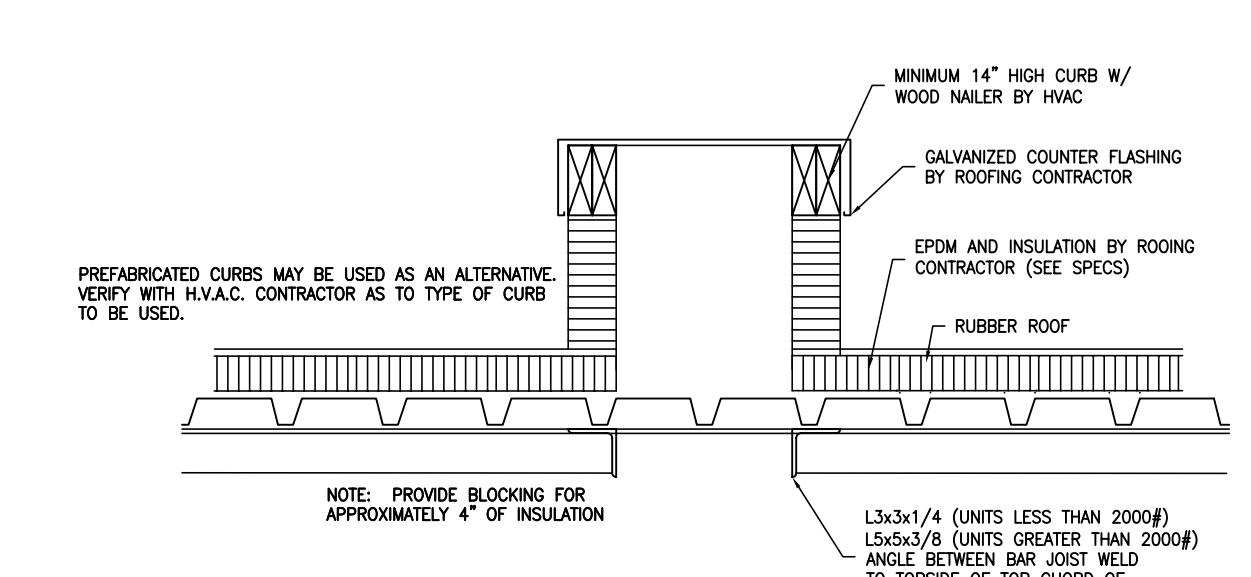
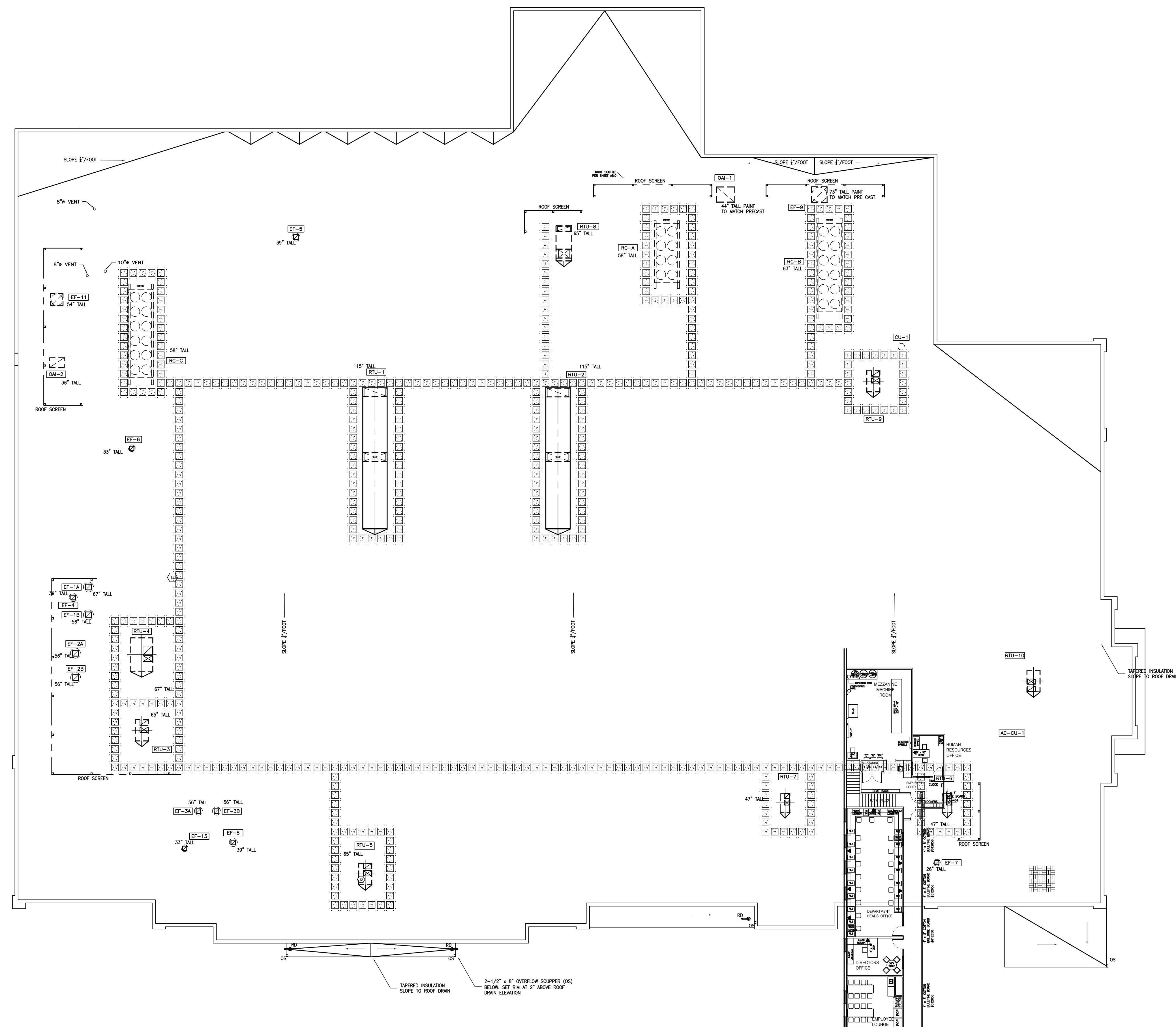
Should you have any questions or comments, please don't hesitate to call. I appreciate your assistance, and look forward to working with you on this project. Thank you.

Sincerely,

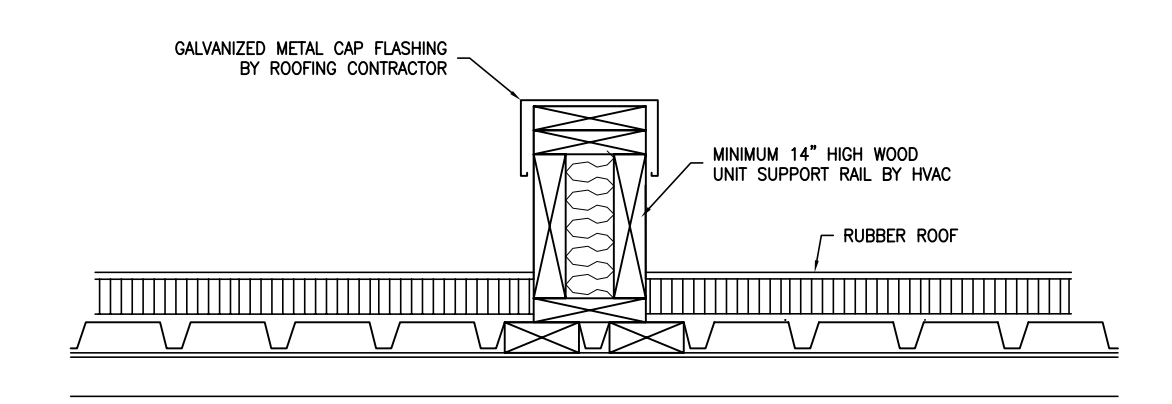
HY-VEE, INC.

Pete Hosch
Asst. Vice President, Real Estate

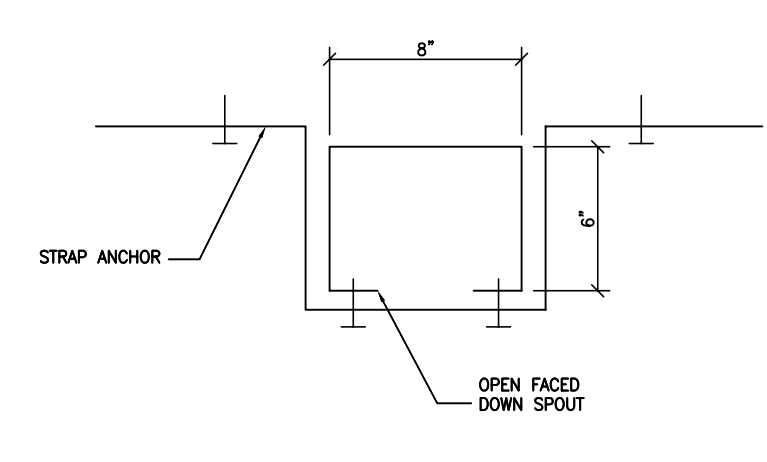
Enclosures



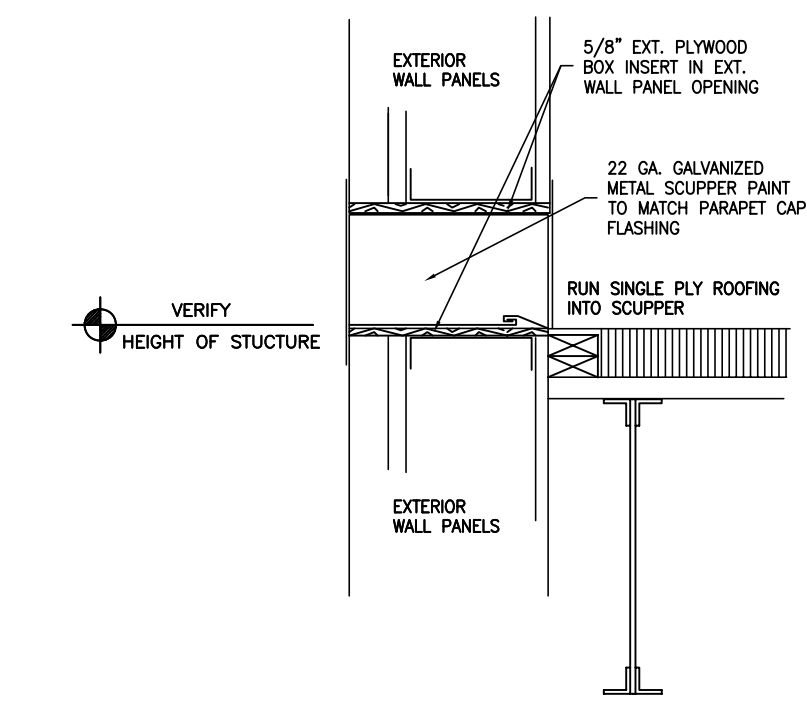
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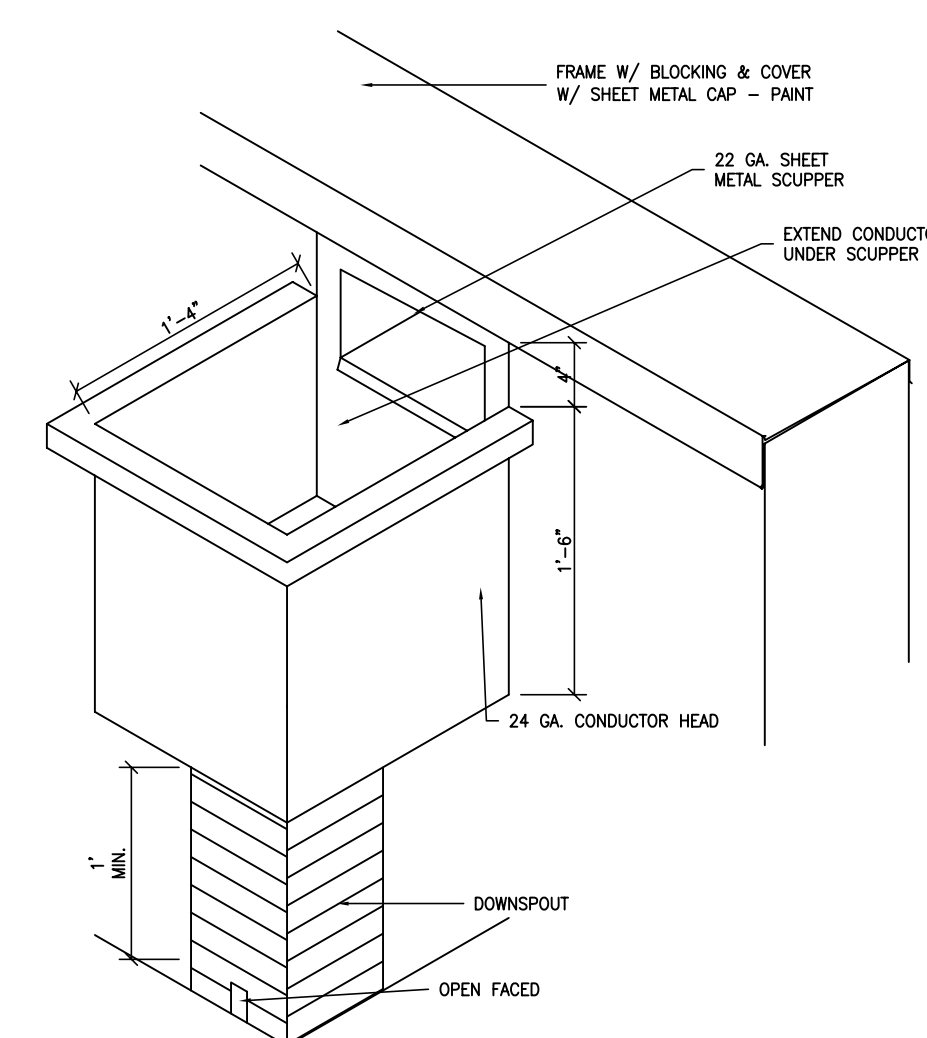
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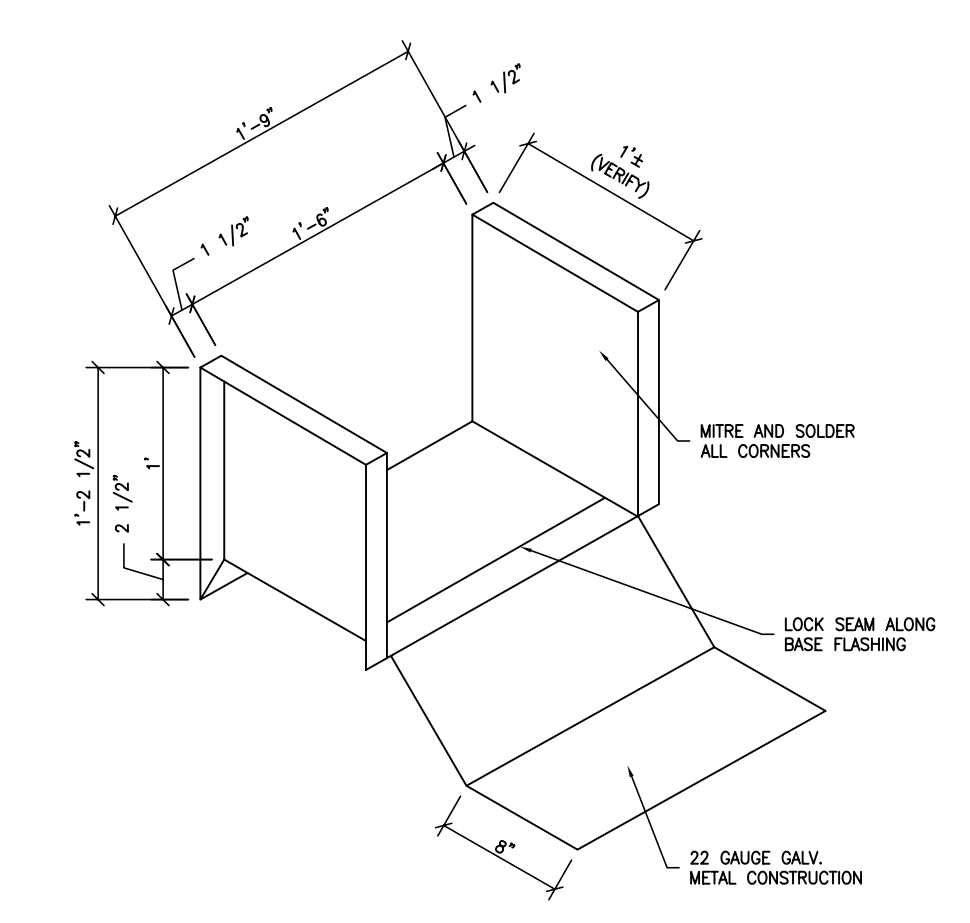
DOWNSPOUT DETAIL
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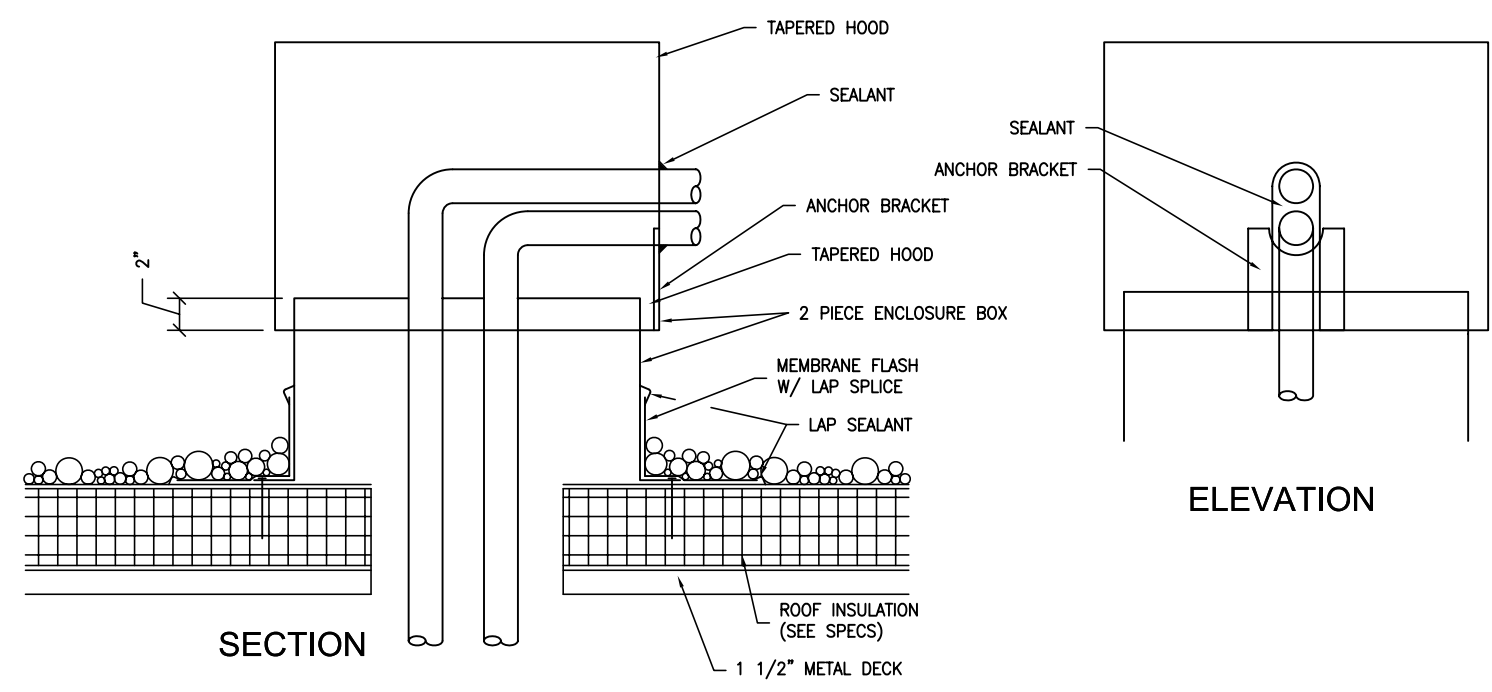
SCUPPER DETAIL
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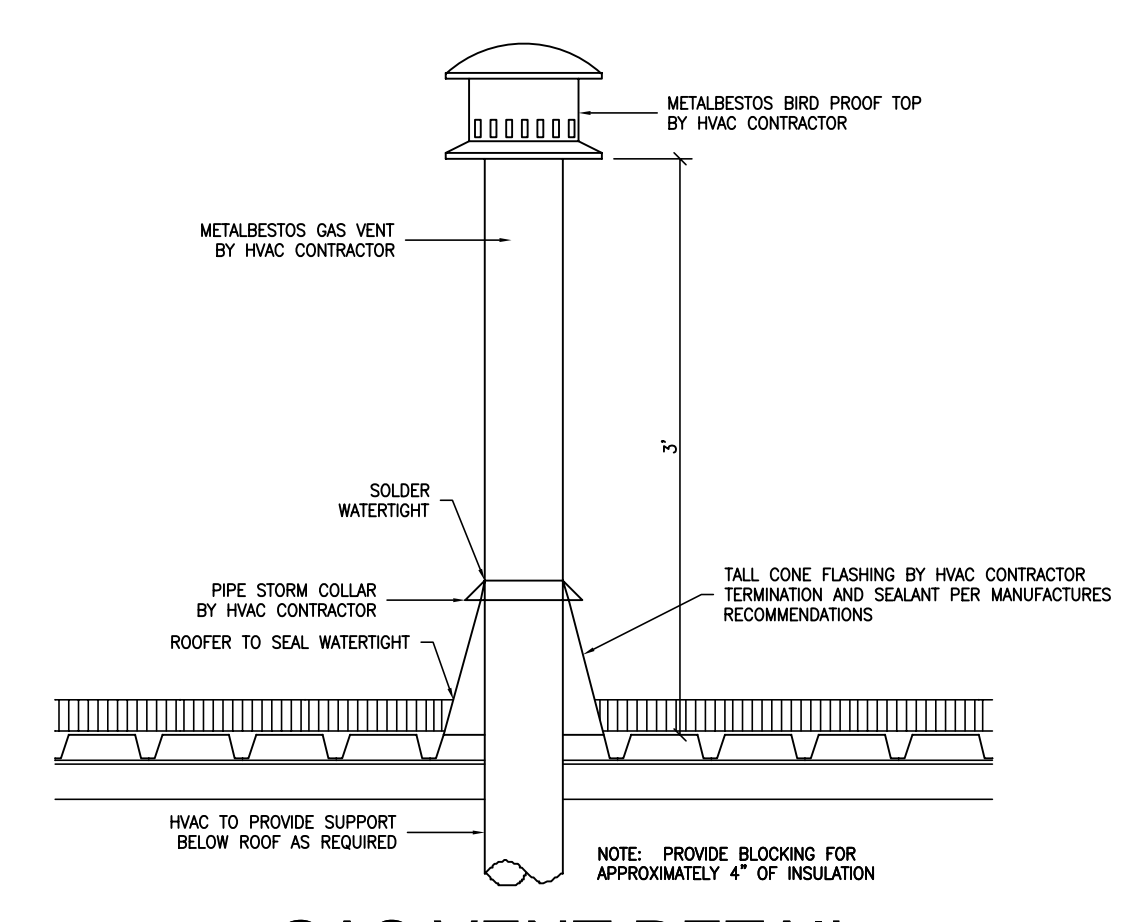
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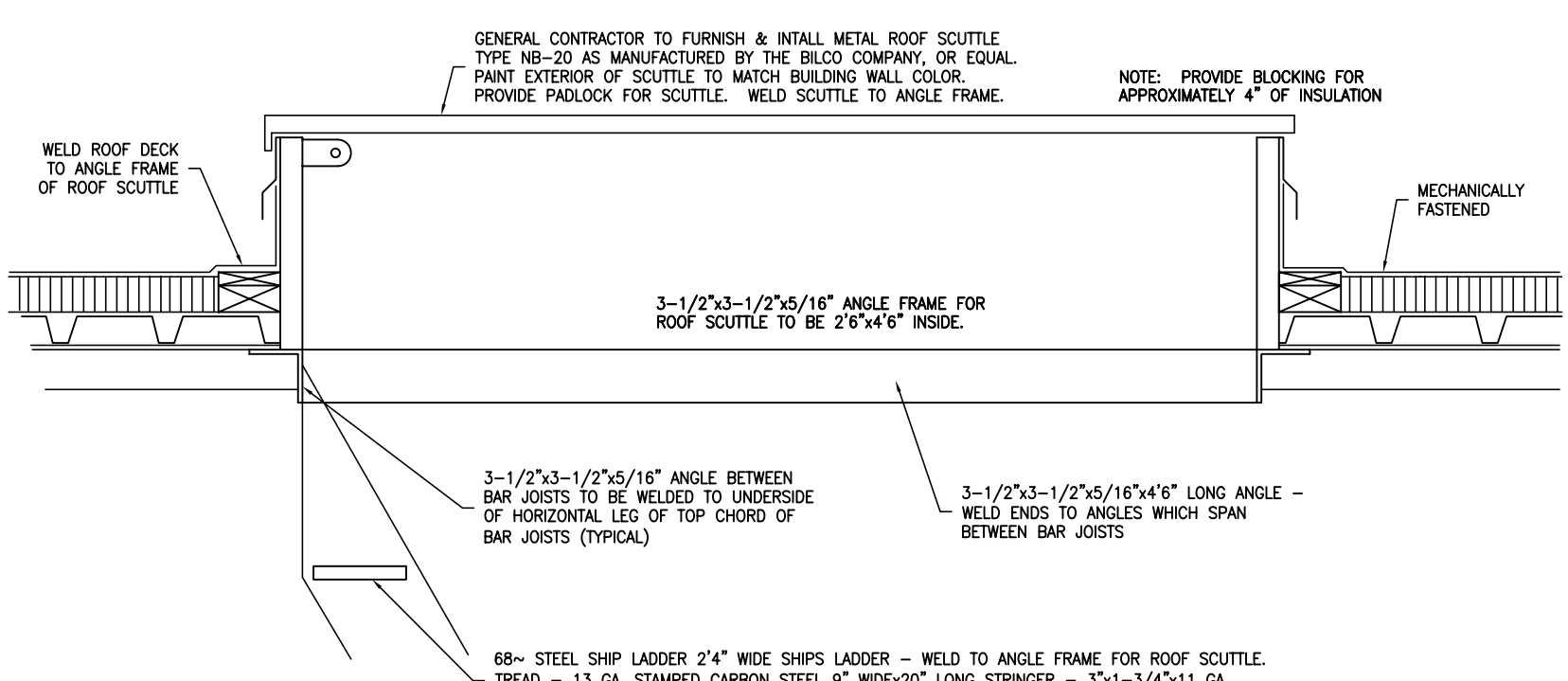
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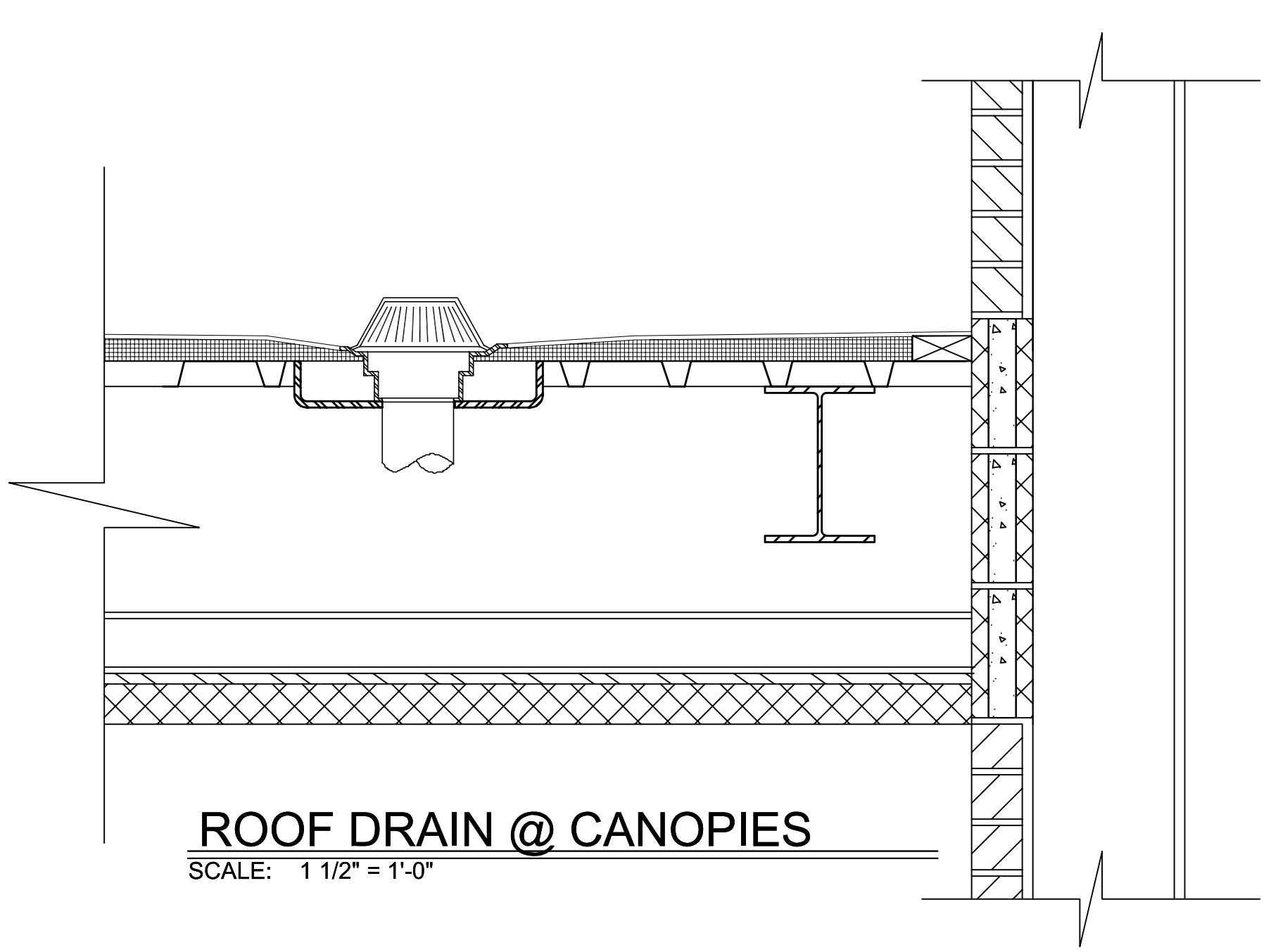
MULTIPLE PENETRATIONS CLOSURE BOX DETAILS
SCALE: 1" = 10"



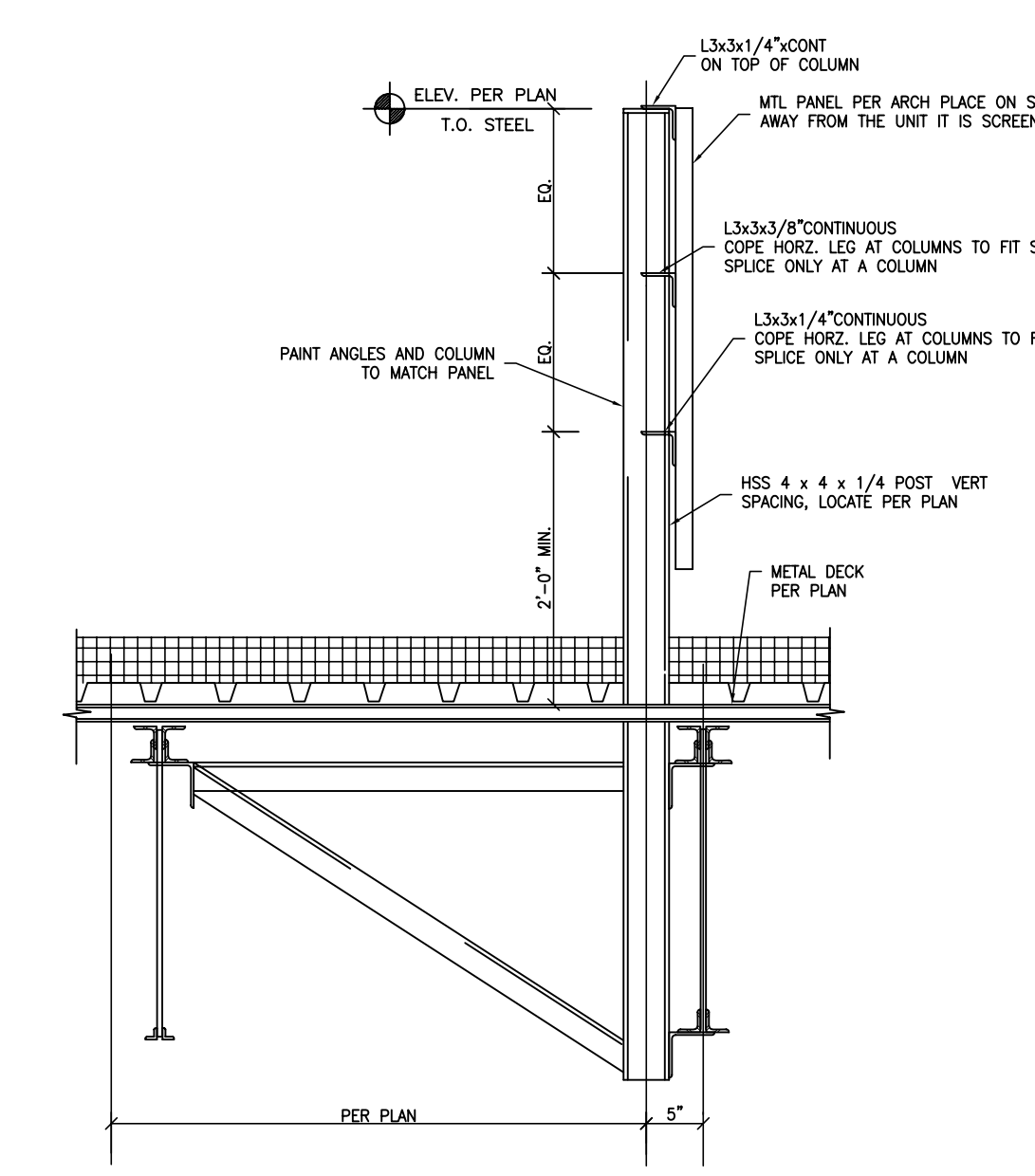
GAS VENT DETAIL
SCALE: 1" = 10"



ROOF SCUTTLE DETAIL
SCALE: 1" = 10"

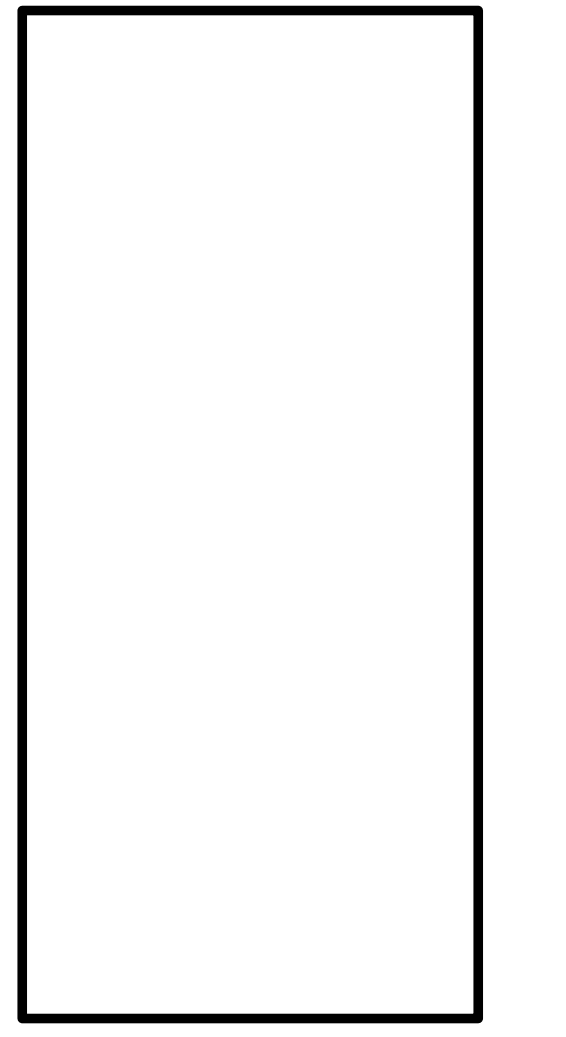


ROOF DRAIN @ CANOPIES
SCALE: 1 1/2" = 1'-0"



ROOF SCREEN PARALLEL TO JST.
SCALE: 3/4" = 10"

REVISION	DATE BY
AG #3 RE-ISSUE SET PER CITY COMMENTS	11/20/14



LOCATION: **MADISON, WISCONSIN #2**

HY-VEE, INC.
5820 WESTTOWN PARKWAY
MADISON, WI 53719
TELEPHONE: (615) 267-2800
FAX: (615) 267-2835

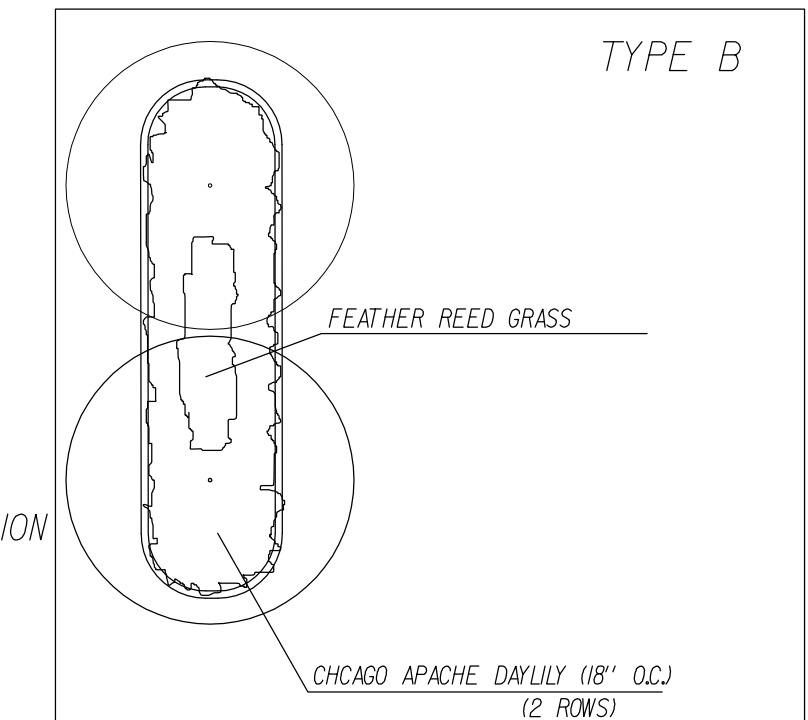
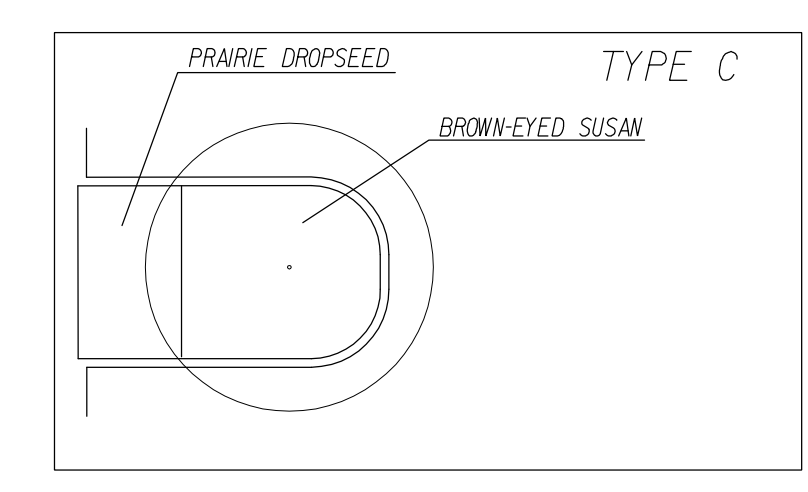
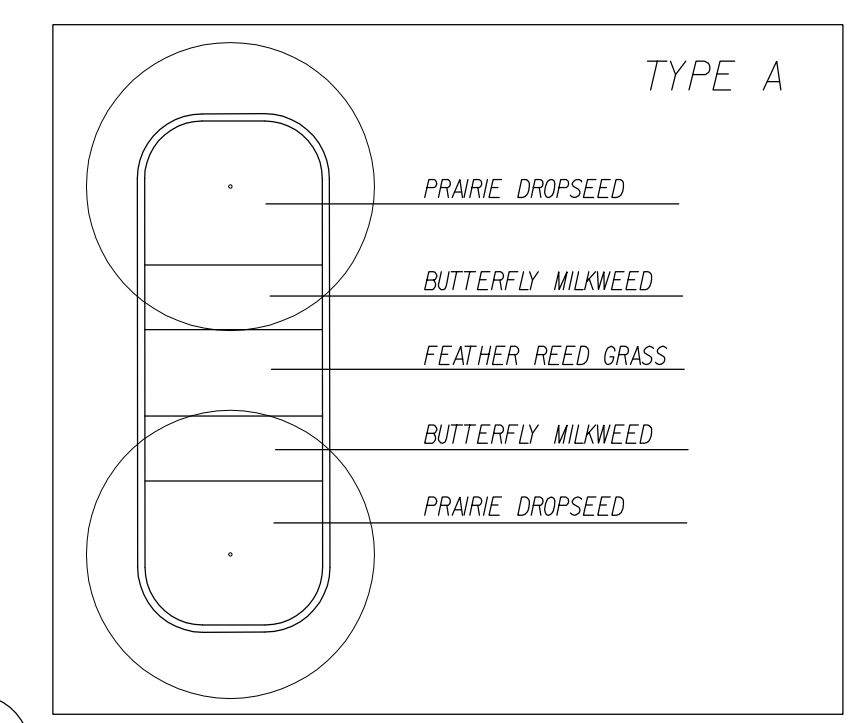
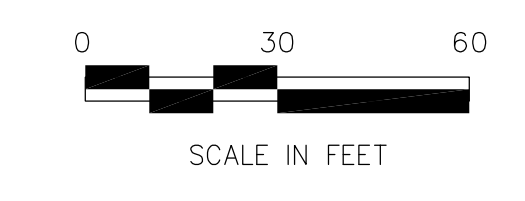
HyVee
EMPLOYEE OWNED

ROOF PLAN & DETAILS

DRAWN: JFM	DATE:
SCALE: AS SHOWN	JOB NUMBER:
SHEET: A8.0	

LANDSCAPE NOTES

1. ALL PLANT MATERIAL INSTALLATION, INCLUDING SEED AND SOD, SHALL BE COMPLETED PRIOR TO GRAND OPENING.
2. THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR FROM DATE OF THE STORE'S GRAND OPENING. REFER TO WRITTEN SPECIFICATIONS FOR MAINTENANCE REQUIREMENTS.
3. ALL WORK TO BE DONE ACCORDING TO HY-VEE, INC. PLANS AND WRITTEN SPECIFICATIONS. PHOTO SUBMITTALS REQUIRED FOR TYPICAL PLANT MATERIALS.
4. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-2005 OR LATEST ADDITION).
5. NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE APPROVAL OF HY-VEE, INC.
6. ALL PLANT MATERIAL EXCEPT SEED AND SOD SHALL BE MULCHED WITH AT LEAST FOUR INCHES (4") SHREDDED HARDWOOD MULCH. REFER TO PLANTING DETAILS AND WRITTEN SPECIFICATIONS FOR ADDITIONAL INFORMATION. SAMPLE SUBMITTAL REQUIRED.
7. ALL CURBED TRAFFIC ISLANDS AND PLANTING BEDS SHALL BE DUG OUT TO A MINIMUM TWO FEET (2') BELOW TOP OF CURB AND FILLED WITH BLACK, ORGANIC, TOPSOIL. TOPSOIL SHALL BE RAKE-FINISHED. NOTE: CURBED TRAFFIC ISLANDS ARE BERMED TO ONE FOOT (1') ABOVE TOP OF CURBS; REFER TO GRADING PLAN.
8. THE CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF HY-VEE, INC.
9. SEED ALL DISTURBED AREAS; SOD ALL CURBED TRAFFIC ISLANDS AND WHERE INDICATED ON PLANS.
10. PLANT MATERIAL QUANTITIES ARE FOR CONTRACTORS' CONVENIENCE.
11. SEE THE GRADING, UTILITY, AND SITE PLANS FOR ADDITIONAL INFORMATION.
12. TREES SHALL NOT BE STAKED. ALL PROTECTIVE WRAPPING TO BE REMOVED AT THE TIME OF INSTALLATION. NEWLY PLANTED TREES SHALL REMAIN UNWRAPPED.
13. CONTRACTOR SHALL SUBMIT IRRIGATION PLAN TO HY-VEE, INC.



SCREENING TO BE DEVELOPED IN CONJUNCTION WITH MADISON PARKS DEPARTMENT.

LANDSCAPE WORKSHEET

Number of Trees Required			
Number of Parking Stalls			466
Square Footage of Storage Area			150
Number of Canopy Trees Required			28
Number of Landscape Points Required			
Points required based on parking stalls			1589
Points required based on loading area			300
Total Number of Points Required			1889
Element	Point Value	Quant.	Points Achieved
Canopy Tree: 2-2 1/2" cal.	35	72	2520
Deciduous Shrub	2	63	126
Evergreen Shrub	3	0	0
Evergreen Trees-3' ht. min.	15	21	315
Canopy Tree or Small Tree-1 1/2"-2" cal.	15	22	330
Total Points Achieved			3291

Landscape Key - Hy Vee-#2

Key	Quant.	Botanical Name	Common Name	Size	Spec	Spacing
Deciduous Trees						
FM	4	<i>Acer freemanii</i>	Freeman Maple	2.5" cal.	BB	
RM	11	<i>Acer rubrum 'Autumn Flame'</i>	Autumn Flame Red Maple	2.5" cal.	BB	
CH	12	<i>Celtis occidentalis</i>	Common Hackberry	2.5" cal.	BB	
GB	26	<i>Ginkgo biloba 'Autumn Gold'</i>	Autumn Gold Maidenhair Tree	2.5" cal.	BB	
KC	10	<i>Gymnocladia dioica</i>	Kentucky Coffeetree	2.5" cal.	BB	
QA	12	<i>Populus tremuloides 'Single'</i>	Quaking Aspen 'Single'	2.5" cal.	BB	
HO	8	<i>Quercus schuettei</i>	Hybrid Swamp/Bur Oak	2.5" cal.	BB	
AL	6	<i>Tilia americana</i>	American Linden	2.5" cal.	BB	
PE	11	<i>Ulmus 'Patriot'</i>	Patriot Elm	2.5" cal.	BB	
	100	total				
Intermediate Trees						
MW	16	<i>Carpinus caroliniana</i>	Musclewood	1.5" cal.	BB	
OV	6	<i>Ostrya virginiana</i>	Ironwood	2.5" cal.	BB	
	22	total				
Evergreen Trees						
WS	15	<i>Picea glauca</i>	White Spruce	4'	BB	
BHS	6	<i>Picea glauca densata</i>	Black Hills Spruce	4'	BB	
CS	5	<i>Picea pungens 'glauca'</i>	Colorado Blue Spruce	4'	BB	
JM	3	<i>Juniperus chinensis 'Moutbatten'</i>	Mountbatten Juniper	4'	BB	
	21	total				
Deciduous Shrubs						
Rd	15	<i>Cornus sericea 'Isanti'</i>	Isanti Dogwood	24"	BR	
Ac	51	<i>Ribes alpinum 'Green Mound'</i>	Green Mound Alpine Currant		BR	
Sg	54	<i>Rhus aromatica 'gro-low'</i>	Gro-low Sumac	18-24"	BR	
Lk	9	<i>Syringa patula 'Miss Kim'</i>	Miss Kim Lilac	3'	BR	5' O.C.
	63	total				
Grasses						
Kf		<i>Calamagrostis acutifolia 'Karl Foerster'</i>	Feather Reed Grass	1 Qt.	Cont.	18" O.C.
Ns		<i>Chasmanthium latifolium</i>	Northern Sea Oats			
Ss		<i>Schizachnium scoparium</i>	Little Bluestem	1 Qt.	Cont.	18" O.C.
Sh		<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 Qt.	Cont.	24" O.C.
Perennials						
At		<i>Aestlepis tuberosa</i>	Butterfly Milkweed	1 Qt.	Cont.	12" O.C.
Dg		<i>Dianthus gratianopolitanus 'Firewitch'</i>	Firewitch Cheddar Pinks	12 flat	Cont.	12" O.C.
Ca		<i>Hemerocallis 'Chicago Apache'</i>	Chicago Apache Daylily	1 Qt.	Cont.	18" O.C.
Bs		<i>Rudbeckia hirta</i>	Black-eyed Susan	12 flat	12 flat	12" O.C.
Brs		<i>Rudbeckia triloba</i>	Brown-eyed Susan	12 flat	12 flat	12" O.C.
Sa		<i>Sedum spectabile 'Autumn Joy'</i>	Autumn Joy Sedum	1 Qt.	Cont.	12" O.C.

PRELIMINARY
NOT FOR CONSTRUCTION

CONTRACTOR TO SUBMIT IRRIGATION SYSTEM DESIGN FOR HY-VEE APPROVAL PRIOR TO INSTALLATION.

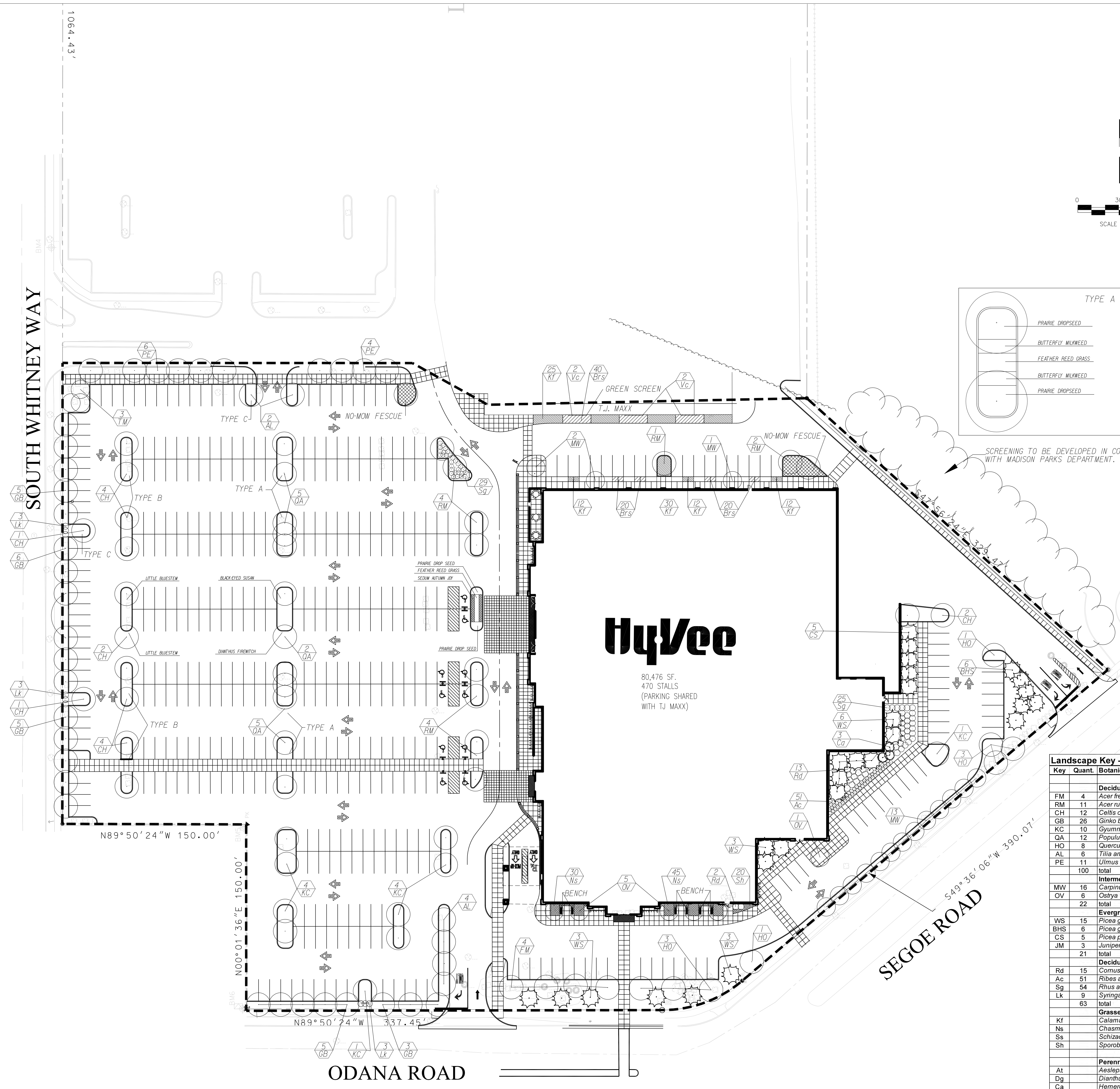
Foth
Foth Infrastructure & Environment, LLC
Madison, WI 53706
Phone: 608-242-5800 Fax: 608-242-5899

LOCATION: SOUTH WESTGATE MALL REDEVELOP., MADISON, WI
HY-VEE, INC.
5820 WESTTOWN PARKWAY
WEST DES MOINES, IOWA 50266
TELEPHONE: (515) 267-2800
FAX: (515) 267-2833

TRUE NORTH PLAN NORTH

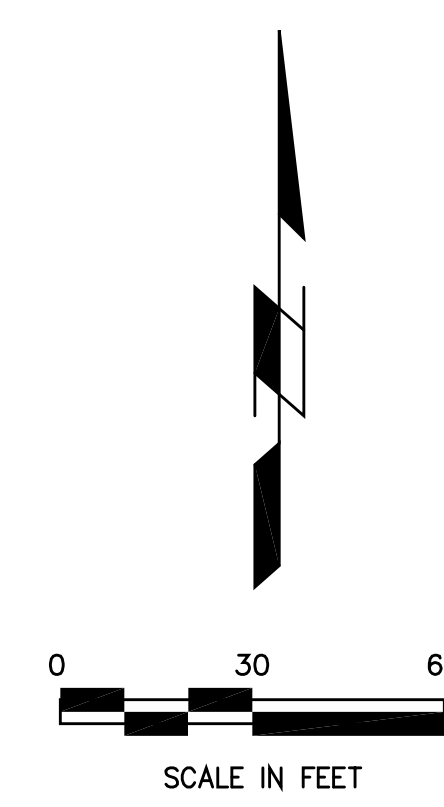
LANDSCAPING PLAN

DRAWN: DATE: 2008
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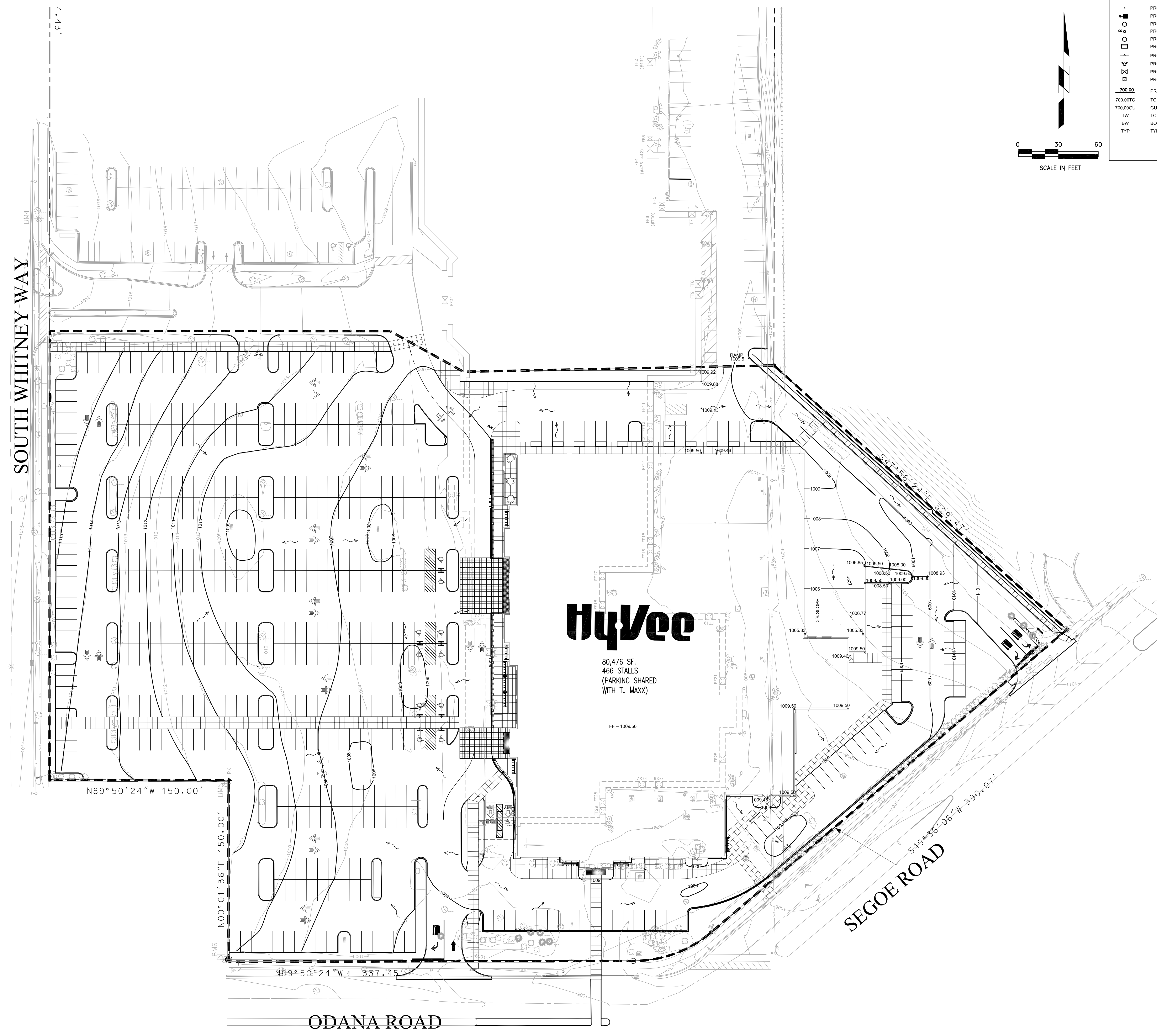
HyVee
80,476 SF.
470 STALLS
(PARKING SHARED WITH T.J. MAXX)

LEGEND	
PROPOSED BOLLARD	PROPOSED EROSION CONTROL FENCE
PROPOSED LIGHT FIXTURE AND BASE	STW PROPOSED STORM SEWER
PROPOSED SANITARY SEWER MANHOLE	SAN PROPOSED SANITARY SEWER
PROPOSED CLEANOUT	UE PROPOSED UNDERGROUND ELECTRIC
PROPOSED STORM SEWER MANHOLE	TE PROPOSED TELEPHONE
PROPOSED STORM SEWER INTAKE	C PROPOSED GAS MAIN
PROPOSED TRAFFIC SIGN	WM PROPOSED WATER MAIN
PROPOSED FIRE HYDRANT	PROPOSED PROPERTY LINE
PROPOSED WATER VALVE	PROPOSED CENTER LINE
PROPOSED FROST FREE HYDRANT	EASEMENT/SETBACK LINE
700.00 PROPOSED SPOT ELEVATION	PROPOSED CONTOUR LINE
700.00TC TOP OF CURB ELEVATION	PROPOSED SHRUB
700.00GU GUTTER ELEVATION	PROPOSED TREE
TW TOP OF WALL ELEVATION	PROPOSED SIDEWALK
BW BOTTOM OF WALL ELEVATION	PROPOSED HEAVY DUTY PCC PAVING
TYP TYPICAL	PROPOSED LIGHT DUTY PCC PAVING



GRADING NOTES

1. STRIP TOPSOIL (MIN.4") FROM ENTIRE SITE AND STOCKPILE IN AREA DESIGNATED BY OWNER. TOPSOIL TO BE REUSED AS TOP DRESSINGS ON ALL UNSURFACED AREAS UPON COMPLETION OF THE ROUGH GRADING. TOP DRESSING SHALL BE A MINIMUM UNIFORM THICKNESS OF 6".
2. PROVIDE AND MAINTAIN EROSION CONTROL DEVICES WHERE SHOWN ON PLANS. EROSION CONTROL TO CONSIST OF STRAW BALES OR SILT FENCE. DEVICES TO REMAIN IN PLACE UNTIL PAVEMENT AND INTAKES ARE CONSTRUCTED AND UNTIL A LAWN IS ESTABLISHED.
3. IN AREAS TO RECEIVE ADDITIONAL FILL OVER EXISTING FILL MATERIALS, REMOVE TOP 12" OF MATERIAL AND SCARIFY AND RECOMPACT THE NEXT 9" OF RESULTING SUBGRADE. COMPACT TO 95% STANDARD PROCTOR DENSITY. SUBSEQUENT FILL TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY TO WITHIN 1.0" OF FINAL SUBGRADE. THE FINAL 1.0" OF FILL TO BE COMPACTED TO 95% STANDARD PROCTOR.
4. SCARIFY AND RECOMPACT THE TOP 9" OF SUBGRADE IN ALL CUT AREAS AFTER ROUGH GRADING IS COMPLETED. COMPACT THE ENTIRE PAVING AND BUILDING SUBGRADE TO 95% STANDARD PROCTOR DENSITY TO WITHIN 1/2" OF FINAL SUBGRADE. THE FINAL 1/2" OF FILL TO BE COMPACTED TO 95% STANDARD PROCTOR.
5. PROVIDE MINIMUM OF 1.0" OF COMPACTED NON-EXPANSIVE COHESIVE SOIL BENEATH ALL PAVEMENTS.
6. ALL FILL AND BACKFILL MATERIALS SHALL BE APPROVED BY THE SOILS ENGINEER. PLACE ALL FILLS IN LIFTS OF NINE INCHES OR LESS LOOSE THICKNESS. ALL FILL SHALL BE PLACED BETWEEN 1% BELOW AND 4% ABOVE OPTIMUM MOISTURE CONTENT.
7. FINISH CONTOURS SHOWN ARE TO TOP OF PAVEMENT OR TO TOP OF TOPSOIL. THE SUBGRADE ELEVATIONS ARE AS FOLLOWS:
 UNDER BUILDING-TO 8" BELOW FLOOR LINE
 UNDER LIGHT DUTY PAVING-TO 6" BELOW FINISH CONTOURS
 UNDER HEAVY DUTY PAVING-TO 7" BELOW FINISH CONTOURS
 UNDER LAWN AREAS-TO 6" BELOW FINISH CONTOURS
8. SCARIFY SUBGRADE TO DEPTH OF 3" WHERE TOPSOIL IS SCHEDULED. SCARIFY IN AREAS WHERE EQUIPMENT USED FOR HAULING AND SPREADING TOPSOIL HAS CAUSED COMPACTED SUBSOIL.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION, BOTH PUBLIC AND PRIVATE.
10. SPOT ELEVATIONS ARE SHOWN AT TOP OF FINISH GRADE. ADD 6" TO ELEVATIONS IN PAVED AREAS TO FIND TOP OF CURB ELEVATIONS.



HyVee

80,476 SF.
466 STALLS
(PARKING SHARED
WITH TJ MAXX)

FF = 1009.50

2014 ONE-QUARTER CORNER SECTION 30, 1.7N., R.3E. MASS CAP
 N00°05'05"W 2638.65'
 W. LINE OF THE SE 1/4 SEC.30
 N89°50'24"W 150.00'
 N00°01'36"E 150.00'
 N89°50'24"W 337.45'
 S49°56'06"W 390.07'
 4.43'
 SOUTH WHITNEY WAY
 ODANA ROAD
 SEGOE ROAD

Foth
Foth Infrastructure & Environment, LLC
1402 Parkview Street, Suite 300
Madison, WI 53704
Phone: 608-242-6999 Fax: 608-242-6999

LOCATION:
SOUTH WESTGATE MALL
REDEVELOP., MADISON, WI

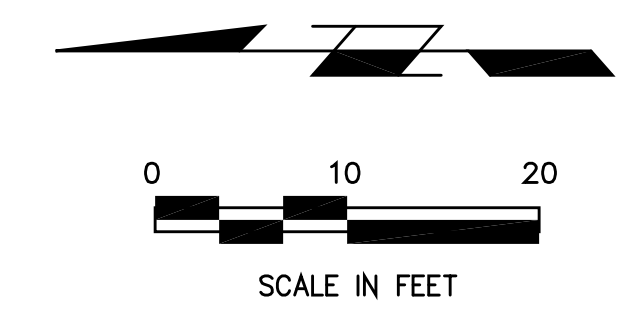
HyVee
HY-VEE, INC.
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266
TELEPHONE: (515) 267-2800
FAX: (515) 267-2933
EMPLOYEE OWNED

TRUE NORTH PLAN NORTH

GRADING PLAN

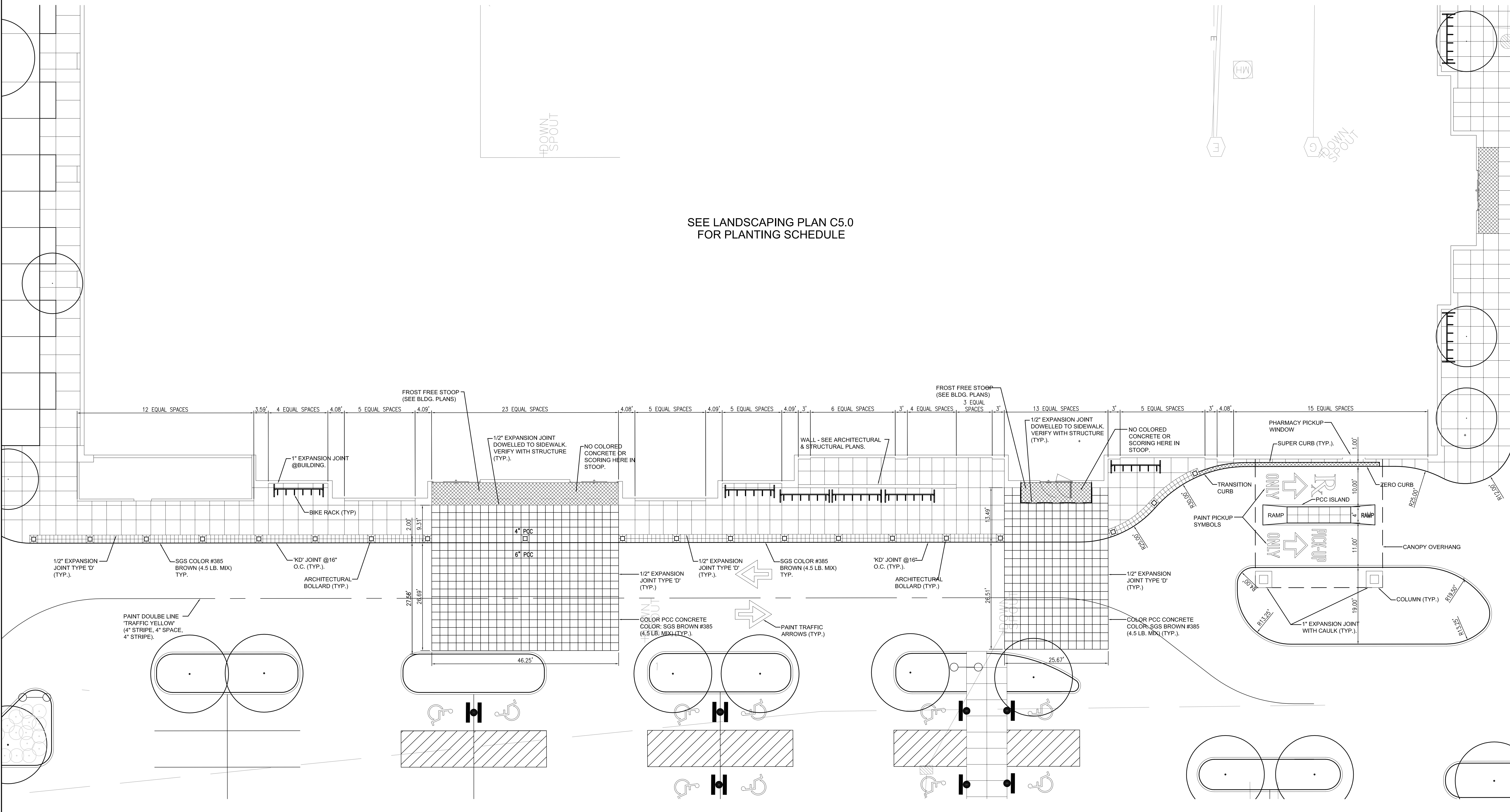
PRELIMINARY
NOT FOR CONSTRUCTION

DRAWN:	DATE:
SCALE:	2008
JOB NUMBER:	
SHEET:	C3.0



LEGEND			
•	PROPOSED BOLLARD	-----	PROPOSED EROSION CONTROL FENCE
⊕	PROPOSED LIGHT FIXTURE AND BASE	---SMA---	PROPOSED STORM SEWER
⊙	PROPOSED SANITARY SEWER MANHOLE	---SAN---	PROPOSED SANITARY SEWER
⊙	PROPOSED CLEANOUT	---UE---	PROPOSED UNDERGROUND ELECTRIC
⊙	PROPOSED STORM SEWER MANHOLE	---T---	PROPOSED TELEPHONE
⊙	PROPOSED STORM SEWER INTAKE	---G---	PROPOSED GAS MAIN
⊙	PROPOSED TRAFFIC SKIN	---WM---	PROPOSED WATER MAIN
⊙	PROPOSED FROST FREE HYDRANT	---	PROPERTY LINE
⊙	PROPOSED WATER VALVE	---	CENTER LINE
⊙	PROPOSED FROST FREE HYDRANT	---	EASEMENT/SETBACK LINE
700.00	PROPOSED SPOT ELEVATION	---	PROPOSED CONTOUR LINE
700.00TC	TOP OF CURB ELEVATION	---	PROPOSED SHRUB
700.00GU	GUTTER ELEVATION	---	PROPOSED TREE
TM	TOP OF WALL ELEVATION	---	PROPOSED SIDEWALK
BM	BOTTOM OF WALL ELEVATION	---	PROPOSED HEAVY DUTY PCC PAVING
TYP	TYPICAL	---	PROPOSED LIGHT DUTY PCC PAVING
⊙	PROPOSED SANITARY CLEANOUT	---	AREA WITH POTENTIAL RESIDUAL SOIL IMPACT, SEE MATERIAL MANAGEMENT PLAN, WEST GATE MALL
⊙	PROPOSED GREASE SEPARATOR	---	
⊙	PROPOSED LIGHTING	---	

SEE LANDSCAPING PLAN C5.0 FOR PLANTING SCHEDULE



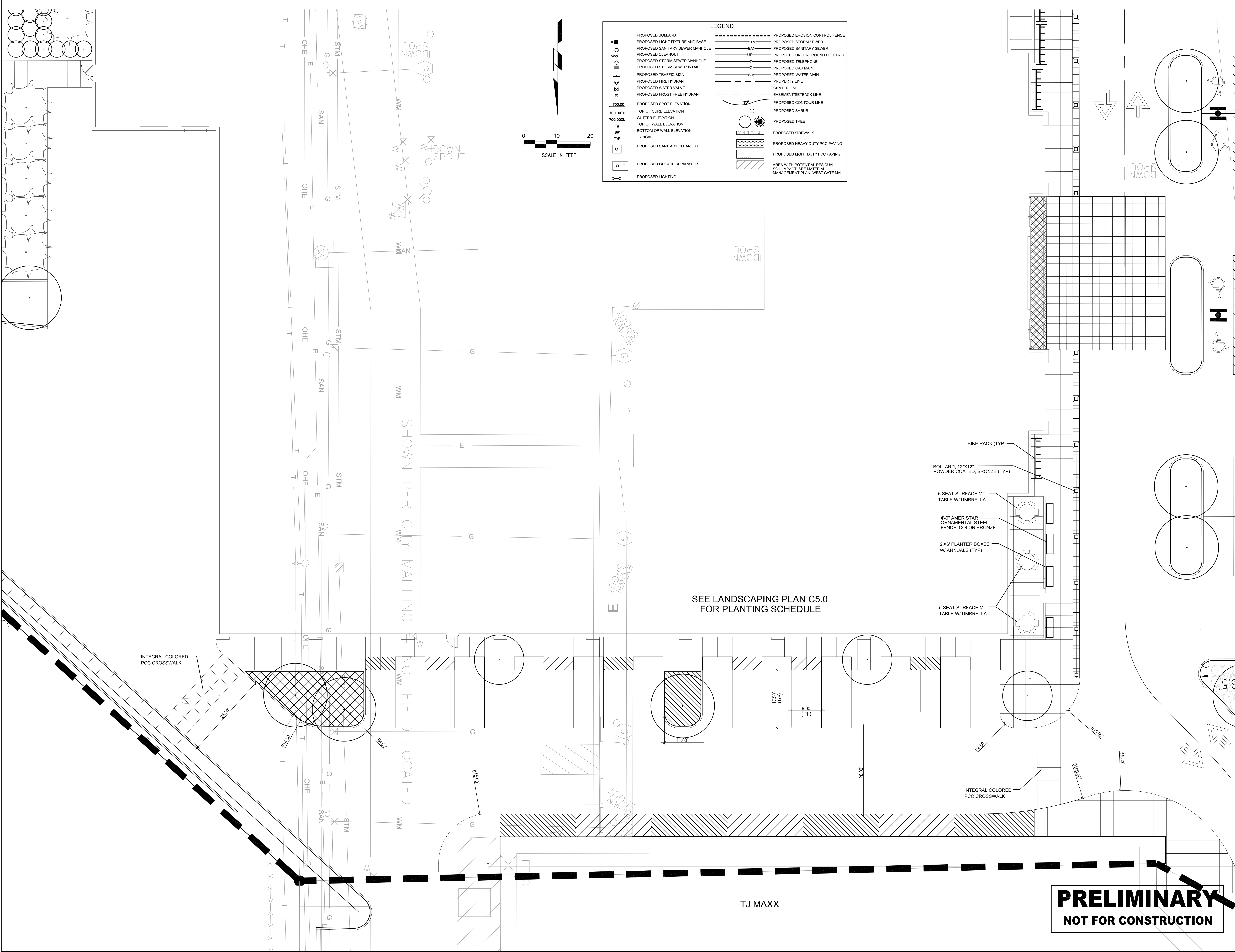
Foth
 Foth Infrastructure & Environment, LLC
 3000 S. 30th St.
 Madison, WI 53704
 Phone: 608-242-5900 Fax: 608-242-5999

LOCATION: **SOUTH WESTGATE MALL RE-DEVELOP., MADISON, WI**
 HY-VEE, INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50266
 TELEPHONE: (515) 267-2800
 FAX: (515) 267-2833
HyVee
 EMPLOYEE OWNED

SITE DETAIL PLAN

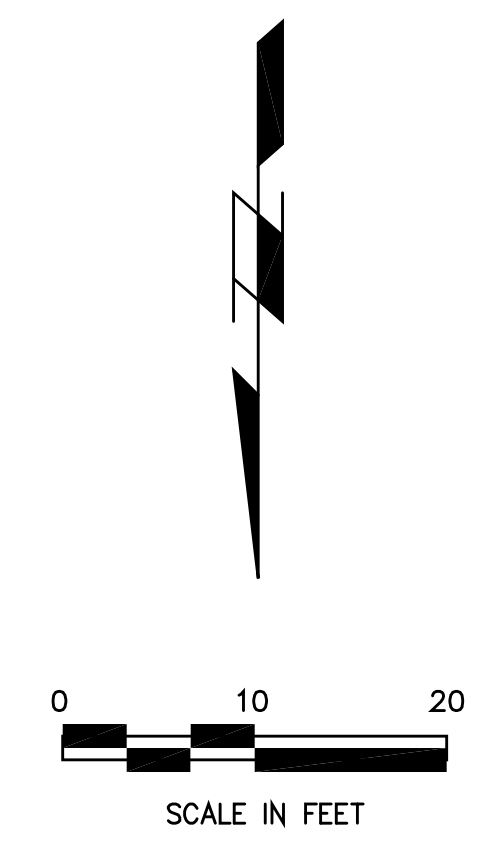
PRELIMINARY
NOT FOR CONSTRUCTION

DATE: 2008	JOB NUMBER:
SCALE: 1"=10'	
SHEET:	C2.4



LEGEND

PROPOSED BOLLARD	PROPOSED EROSION CONTROL FENCE
PROPOSED LIGHT FIXTURE AND BASE	STM PROPOSED STORM SEWER
PROPOSED SANITARY SEWER MANHOLE	SAN PROPOSED SANITARY SEWER
PROPOSED CLEANOUT	UE PROPOSED UNDERGROUND ELECTRIC
PROPOSED STORM SEWER MANHOLE	T PROPOSED TELEPHONE
PROPOSED STORM SEWER INTAKE	G PROPOSED GAS MAIN
PROPOSED TRAFFIC SIGN	WM PROPOSED WATER MAIN
PROPOSED FIRE HYDRANT	PROPERTY LINE
PROPOSED WATER VALVE	CENTER LINE
PROPOSED FROST FREE HYDRANT	EASEMENT/SETBACK LINE
PROPOSED SPOT ELEVATION	PROPOSED CONTOUR LINE
700.00	PROPOSED SHRUB
700.00TC	PROPOSED TREE
700.00GU	
GUTTER ELEVATION	
TOP OF WALL ELEVATION	
W	PROPOSED SIDEWALK
BW	PROPOSED HEAVY DUTY PCC PAVING
TYP	PROPOSED LIGHT DUTY PCC PAVING
PROPOSED SANITARY CLEANOUT	AREA WITH POTENTIAL RESIDUAL SOIL IMPACT, SEE MATERIAL MANAGEMENT PLAN, WEST GATE MALL
PROPOSED GREASE SEPARATOR	
PROPOSED LIGHTING	



- BIKE RACK (TYP)
- BOLLARD, 12X12" POWDER COATED, BRONZE (TYP)
- 6 SEAT SURFACE MT. TABLE W/ UMBRELLA
- 4-1/2" AMERISTAR ORNAMENTAL STEEL FENCE, COLOR BRONZE
- 2'X6' PLANTER BOXES W/ ANNUALS (TYP)
- 5 SEAT SURFACE MT. TABLE W/ UMBRELLA

SEE LANDSCAPING PLAN C5.0 FOR PLANTING SCHEDULE

INTEGRAL COLORED PCC CROSSWALK

INTEGRAL COLORED PCC CROSSWALK

Foth
 Foth Infrastructure & Environment, LLC
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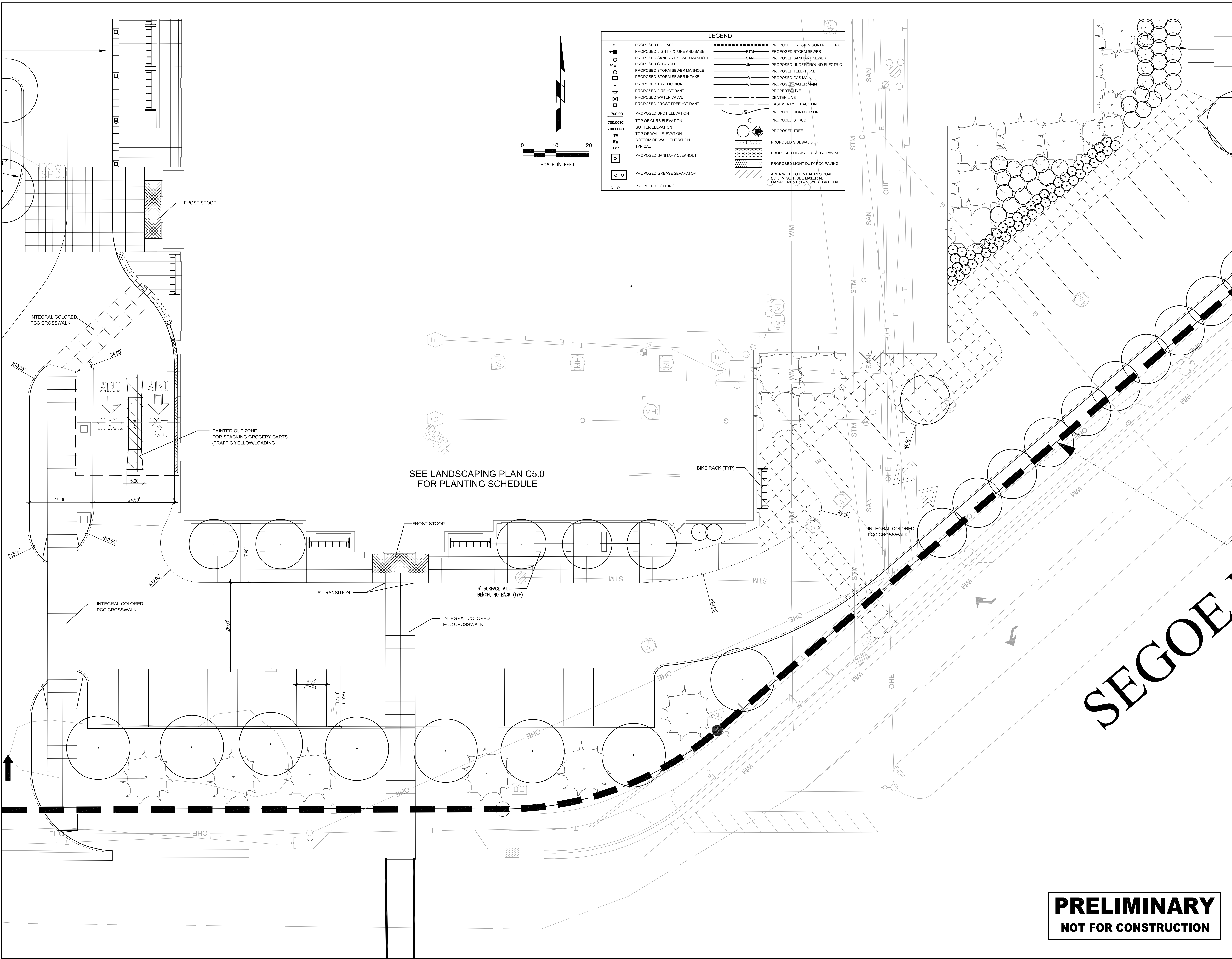
LOCATION:
SOUTH WESTGATE MALL
RE-DEVELOP., MADISON, WI
 HY-VEE, INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50266
 TELEPHONE: (515) 267-2800
 FAX: (515) 267-2933
HyVee
 EMPLOYEE OWNED

SITE DETAIL PLAN

DATE: 2008
 JOB NUMBER:
 SHEET: C2.3

PRELIMINARY
NOT FOR CONSTRUCTION

TJ MAXX



Foth
 Foth Infrastructure & Environment, LLC
 3000 W. Main Street, Suite 200
 Madison, WI 53704
 Phone: 608-242-5900 Fax: 608-242-5999

LOCATION:
**SOUTH WESTGATE MALL
 RE-DEVELOP., MADISON, WI**

Hwyec
 HY-VEE, INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50266
 TELEPHONE: (515) 267-2800
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 EMPLOYEE OWNED

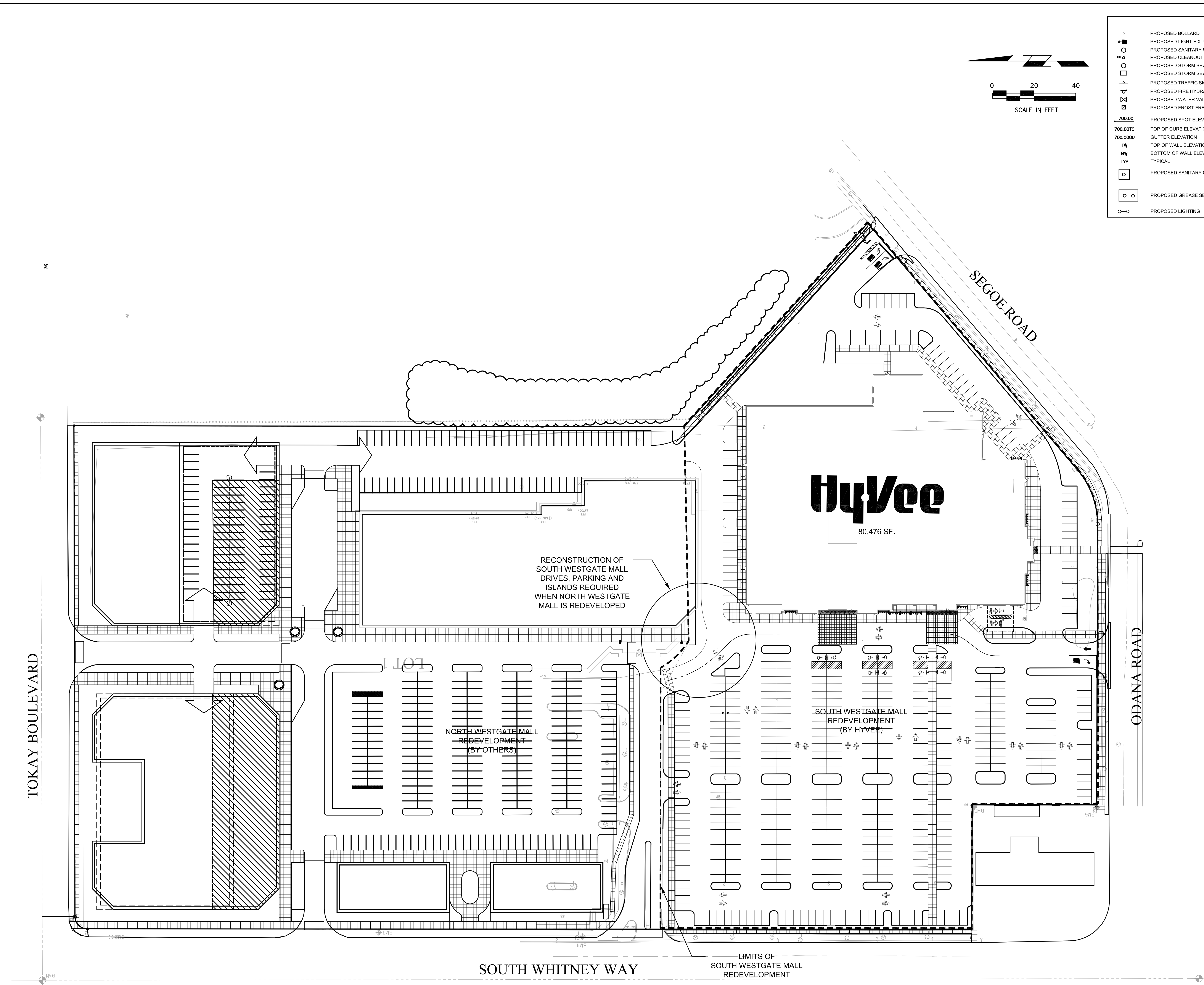
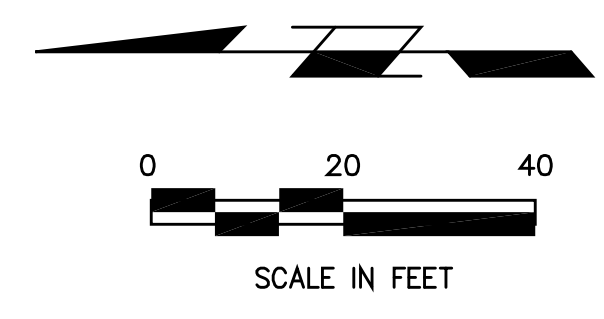
SITE DETAIL PLAN

PRELIMINARY
 NOT FOR CONSTRUCTION

DRAWN:	DATE:
SCALE:	JOB NUMBER:
SHEET:	C2.2

REVISION	DATE	BY

LEGEND	
•	PROPOSED BOLLARD
○	PROPOSED LIGHT FIXTURE AND BASE
○	PROPOSED SANITARY SEWER MANHOLE
○	PROPOSED CLEANOUT
○	PROPOSED STORM SEWER MANHOLE
○	PROPOSED STORM SEWER INTAKE
○	PROPOSED TRAFFIC SIGN
○	PROPOSED FIRE HYDRANT
○	PROPOSED WATER VALVE
○	PROPOSED FROST FREE HYDRANT
700.00	PROPOSED SPOT ELEVATION
700.00TC	TOP OF CURB ELEVATION
700.00GU	GUTTER ELEVATION
TW	TOP OF WALL ELEVATION
BW	BOTTOM OF WALL ELEVATION
TYP	TYPICAL
○	PROPOSED SANITARY CLEANOUT
○	PROPOSED GREASE SEPARATOR
○	PROPOSED LIGHTING
-----	PROPOSED EROSION CONTROL FENCE
-----	PROPOSED STORM SEWER
-----	PROPOSED SANITARY SEWER
-----	PROPOSED UNDERGROUND ELECTRIC
-----	PROPOSED TELEPHONE
-----	PROPOSED GAS MAIN
-----	PROPOSED WATER MAIN
-----	PROPERTY LINE
-----	CENTER LINE
-----	EASEMENT/SETBACK LINE
-----	PROPOSED CONTOUR LINE
○	PROPOSED SHRUB
○	PROPOSED TREE
-----	PROPOSED SIDEWALK
-----	PROPOSED HEAVY DUTY PCC PAVING
-----	PROPOSED LIGHT DUTY PCC PAVING
-----	AREA WITH POTENTIAL RESIDUAL SOIL IMPACT, SEE MATERIAL MANAGEMENT PLAN, WEST GATE MALL



CONCEPTUAL WESTGATE MALL REDEVELOPMENT

Foth
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 3000 South 500
 Madison, WI 53704
 Phone: 608-242-5900 Fax: 608-242-5999

LOCATION:
 SOUTH WESTGATE MALL
 RE-DEVELOP., MADISON, WI

HyVee
 EMPLOYEE OWNED

HY-VEE, INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50266
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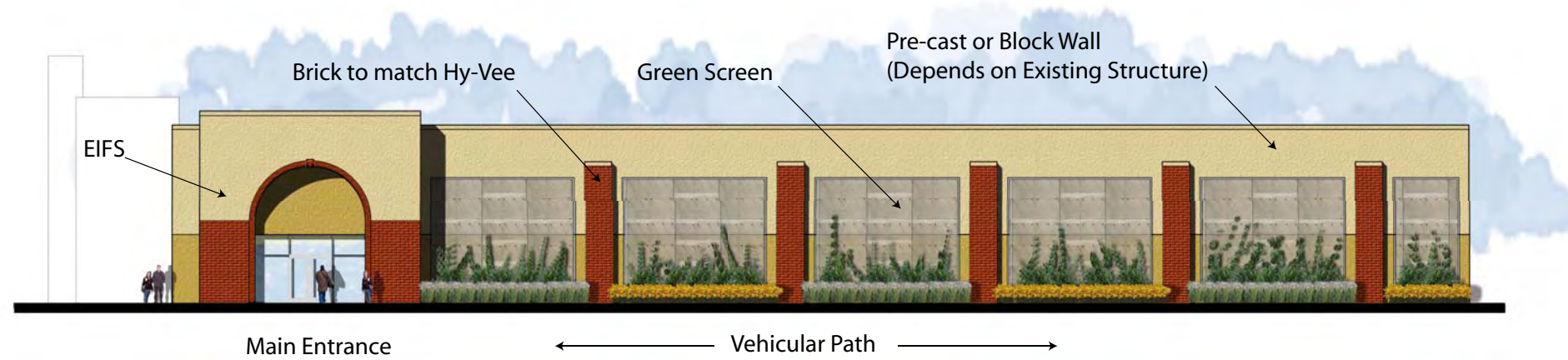


WEST GATE MALL
 SITE PLAN

PRELIMINARY
 NOT FOR CONSTRUCTION

DATE:	2008
SCALE:	1"=20'
SHEET:	C1.0

South Elevation



Westgate T.J. Maxx Building Elevations
January 14, 2009