

**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM # \_\_\_\_\_**  
**Project # \_\_\_\_\_**

DATE SUBMITTED: <u>01.27.16</u>	<b>Action Requested</b>
UDC MEETING DATE: <u>02.27.16</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: Phase II-800 North Block, East Washington Avenue (802, 854; Block 143)

ALDERMANIC DISTRICT: District 2/ Ledell Zellers

OWNER/DEVELOPER (Partners and/or Principals) <u>Gebhardt Development/ Otto Gebhardt III</u>	ARCHITECT/DESIGNER/OR AGENT: <u>bark design/Christopher Gosch, AIA, NCARB</u>
<u>222 North Street</u>	<u>222 North Street</u>
<u>Madison, WI 53704</u>	<u>Madison, WI 53704</u>

CONTACT PERSON: Christopher Gosch, AIA, NCARB  
 Address: 222 North Street  
Madison, WI 53704  
 Phone: 608.333.1926  
 Fax: 608.245.0770  
 E-mail address: studio@bark-design.com

TYPE OF PROJECT:  
(See Section A for:)

- Planned Unit Development (PUD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review\* (Fee required)
- Street Graphics Variance\* (Fee required)
- Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

09.02.15  
REV.11.22.15  
REV. 01.15.16

Mr. Al Martin  
City of Madison Planning Department / Urban Design Commission  
215 Martin Luther King, Jr. Blvd.  
Madison, WI 53701

Re: The Galaxie – 810 E. Washington Avenue  
Comprehensive Signage Plan for UDC

The attached document package describes the proposed modifications to the previously reviewed Signage Plan for the exterior building signage at The Galaxie development, located at 810 E. Washington Avenue.

**Modifications from previous UDC comments:**

- Elimination of Sign Type B
- East Washington elevation change at Grocery
- Festival Foods sign text changes

**Objectives**

We intend to describe the design and integration of the building identification, commercial development signage, real estate signage and directional signage. Principal goals are to create an identity for The Galaxie and its commercial tenants as well as to provide for the on-going need for real estate signage.

- To effectively display commercial tenant signage on the building facades.
- To present professional address numbers at building entrances.
- To effectively identify the building as a landmark.
- To provide for directional signage for the parking garage.
- To effectively allow for ongoing real estate leasing.

The execution of the objectives and goals, as they relate to the mixed-use relationship and size of the development, has created opportunities to address scale appropriate graphics to maximize legibility in each context in which the graphics are intended to be viewed. This package illustrates the extent and scope of The Galaxie exterior signage and includes a summary for the development. Please refer to the document package for additional information on specific signage detail.

**Purpose of the Signage Plan**

To provide for unique, exceptional, and innovative use of materials, design, color, lighting, and other design elements resulting in visual harmony created between the signs and the building.

The following is a listing of sign types located on the building elevations:

- |                    |   |
|--------------------|---|
| <b>Sign Type A</b> | <p><b>BLADE SIGNS</b><br/><b>2+3 LEVEL COMMERCIAL TENANT IDENTIFICATION</b></p> <p>The projecting signs shall not exceed 32 square foot each. Up to six (6) projecting signs shall be allowed on the E. Washington Avenue elevation <u>and</u> two (2) each on the N. Livingston and Paterson Street elevation.</p> <p>The signs may be internally illuminated using low-voltage LED. If illuminated, sign backgrounds shall be dark or opaque.</p> <p>All signs may include second and third floor commercial tenant logos and colors as approved by the landlord. Signs may or may not be aligned directly with tenant’s lease space. Tenants are allowed one space per sign.</p> |
| <b>Sign Type B</b> | <b>REVISION FROM ORIGINAL SUBMITTAL - NOT USED</b>  |
| <b>Sign Type C</b> | <p><b>MONUMENT SIGN – INTERNALLY ILLUMINATED</b></p> <p><b>Up to (2) monument signs allowed.</b> The total combined area of one or two signs shall not exceed 72 square feet and 11’-0” in overall height. The signs will be internally illuminated using low-voltage LED.</p> <p>The sign shall include colors as designated by the landlord.</p>  |
| <b>Sign Type D</b> | <b>ADDRESS NUMERALS</b>   |

Each separately addressed entrance will have appropriately labeled address numerals complying with necessary regulations.

**Sign Type E**

**PARKING GARAGE DIRECTIONAL**

Parking Lot Directional signage up to 9 sf at E. Washington Avenue, N. Livingston and

Paterson Streets. The approval will also allow a zero setback from the property line.

**TEMPORARY REAL ESTATE TEMPORARY COMMERCIAL & RESIDENTIAL REAL ESTATE SIGNS**

When space is available for lease, and in addition to permanent signage, commercial and residential real estate signs shall be allowed as follows:

Commercial or Residential Real Estate Signs. There shall be no more than one real estate sign per street frontage, and the sign shall not exceed an area of 32 square feet and the height of signs shall not exceed 15'-0".

**FESTIVAL FOODS**

**SIGN TYPE #FF1:**

**BUILDING SIGN  
TENANT IDENTIFICATION**

The Building sign shall not exceed 135 square feet. One building sign shall be allowed on the E. Washington Avenue elevation.

The sign may be internally illuminated using low-voltage LED. If illuminated, sign backgrounds shall be dark or opaque.

**SIGN TYPE #FF2:**

**BLADE SIGNS  
TENANT IDENTIFICATION**

The projecting signs shall not exceed 32 square feet each. One projecting sign shall be allowed on the E. Washington Avenue elevation and one (1) on the N. Livingston elevation.

The signs may be internally illuminated using low-voltage LED. If illuminated, sign backgrounds shall be dark or opaque.

Code	Sign Type	Allowed	Comprehensive Design Plan
31.07	WALL, ROOF AND ABOVE-ROOF SIGNS.	<p>(1) Wall and roof signs may be displayed in the Group 2 and 3 districts, subject to the requirements of the Tables of Permitted Signs, Sec. 31.15(1) (Table 1). Wall signs may be attached flat to, or affixed parallel to and at a distance of not more than fifteen (15) inches from the wall, however no wall sign shall project into the right-of-way except as authorized by Sec. 31.04(6). No sign affixed flat against a building wall shall extend beyond any edge of such wall. Wall and roof signs may be illuminated subject to Sec. 31.04(5)(k).</p> <p>(2) Wall and Roof Signable Area. All wall and roof signs shall be displayed within the selected signable area, except as provided in subs (4) and (5) below.</p> <p>(a) Number of Signable Areas. There shall be one (1) signable area, whether on the wall or the roof, for each facade facing a street. <u>There shall be no more than four (4) signable areas per building, except:</u></p> <p><b>1. For buildings with more than one occupant side-by-side: the signable area may be divided for building occupants when the building facade is divided by architectural details or internal segmentation that designating separate horizontal occupancies or tenant spaces. Each occupant/tenant will be allowed a signable area as reasonably close to its space as possible.</b></p> <p><b>2. For multi-story buildings with more than one vertical occupancy, there may be up to two (2) additional signable areas per facade displayed above the first story, with no limitation on the height of placement, but a total of only one (1) sign per occupant, per facade, will be allowed.</b></p> <p>(b) How to Select and Measure Signable Area: The signable area for wall and roof signs shall be determined as follows:</p> <p>1. Wall Signs. The signable area for a wall signs is determined by the area of the facade of the building that is free of doors, windows (for purposes of this definition, spandrel panels or other non-vision glass used as an exterior building material are not considered windows) or other major architectural detail, and that extends no higher than the juncture of the wall and the roof, or in the case of a facade that includes a parapet wall, no more than four (4) vertical feet of the parapet wall</p>	<p><b>Through approval of his CDP, the "Primary Tenant" will be allowed a wall sign on the E. Washington Avenue elevation not to exceed 135 sf2.</b></p> <p><b>Through approval of this CDP, the remaining 1<sup>st</sup> and 2<sup>nd</sup> and 3<sup>rd</sup> floor tenants will be limited to projecting signs.</b></p>

		<p>may be included in the measurement of the signable area.</p> <p>(4) Size. The permitted net area of wall, roof and above-roof signs shall be no more than forty percent (40%) of the signable area or two (2) square feet of signage for each lineal foot of building frontage, except that for all Planned Developments (as that term is used in Sec. 33.24(4)(b)1.,) and <b>when the total square footage of all buildings on the zoning lot is twenty-five thousand (25,000) square feet or more, the maximum net area shall be thirty percent (30%) of the signable area, and the lineal foot method of measurement shall not be available.</b> If the net area is measured by lineal feet of building frontage, the total net area of the sign displayed shall not exceed one hundred percent (100%) of the signable area designated under Sec. 31.07(2), above.</p>	
31.09	<b>Projecting Signs</b>	<p>A projecting signs, as defined in Sec. 31.03(2) is a sign that projects outward, perpendicularly from a wall at a distance of at least 15". The maximum distance a projecting sign may project is not more than 24" into the ROW.</p> <p><b>Based on Table 31.15, the tenants are allowed up to 32 square feet.</b></p> <p>Occupants may display a total of one projecting sign on a façade facing a street or corner of a building. Projecting signs may be displayed in addition to any wall sign allowed.</p>	<p><b>Through approval of his CDP, the 2<sup>nd</sup> and 3<sup>rd</sup> floor tenants will be allowed up to six (6) (additional) projecting blade signs on the E. Washington Avenue elevation; and up to two (2) additional projecting blade signs on N. Livingston and Paterson Street elevations. The blade signs shall not exceed 32 square feet in area.</b></p>
31.08	<b>Ground Signs</b>	<p>No more than two ground signs are allowed on a single zoning lot.</p> <p>Based on Table 31.15(1), the project is allowed up to 72 square feet. Height shall not exceed 11'-0".</p>	<b>In compliance with sign ordinance.</b>
31.10	<b>Window Signs</b>	(6) Window signs may be illuminated.	<b>In compliance with sign ordinance.</b>
31.15	<b>Building Entrance Identification Signs</b>	<p>Table 2: Allows for up to 12 sf2 per sign and is silent on the number allowed.</p>	<b>In compliance with sign ordinance.</b>

31.044	<b>Signs Exempt from Permit</b>	(1) Parking Lot Signs. 1. Parking Lot Regulation Signs. <b>Maximum Net Area: Nine (9) square feet.</b> Setback: Ten (10) feet. Number: No limit. Illumination: Yes, except in Group 1 districts. <b>2. Parking Lot Directional Signs.</b> Maximum Net area: Three (3) square feet. Maximum Height: Ten (10) feet. <b>Setback: None.</b> Number: Two (2) per street frontage, but no limit on number if setback more than one-hundred (100) feet from the property line. Illumination: Yes, except in Group 1 districts.	<b>Through approval of his CDP, the project will be allowed Parking Lot Directional signage up to 9 sf2 at E. Washington Avenue, N. Livingston and Patterson Streets. The approval will also allow a zero setback from the property line.</b>
	<b>All Other Signs</b>	Any sign not specifically mentioned above will be in compliance with Chapter 31 of the Madison General Ordinances.	<b>In compliance with sign ordinance.</b>

**31.043 URBAN DESIGN COMMISSION AND COMPREHENSIVE DESIGN REVIEW.**

The authority of the Urban Design Commission of the City of Madison (“UDC”) to act upon

**(4) Comprehensive Design Review (“CDR”).** The Urban Design Commission may approve a Comprehensive Sign Plan on a building site or zoning lot to allow special allowances for all signs on private property regulated under this Chapter beyond the restrictions contained elsewhere in this Chapter, and may incorporate other approvals authorized in Secs. 31.043(2) and (3) in order to meet the following purpose:

The purpose of a Comprehensive Design Review is to determine whether unique, exceptional, and innovative use of materials, design, color, lighting, and other design elements, resulting in visual harmony created between signs, building(s), and building site, are sufficient to warrant special allowances beyond the restrictions contained elsewhere in this Chapter. For the signs included in the Comprehensive Design Review, the restrictions of this Chapter shall not apply and there shall be no predetermined requirements for those signs except those requirements which shall be made part of the approved Comprehensive Sign Plan. The resulting Comprehensive Sign Plan shall encompass the new sign(s) requested by the applicant and approved by the UDC, and any approved modifications to existing signs on the same building site or zoning lot.

**(b) Comprehensive Design Review Criteria.** The UDC shall apply the following criteria upon review of an application for a Comprehensive Sign Plan:

1. The Sign Plan shall create visual harmony between the signs, building(s), and building site through unique and exceptional use of materials, design, color, any lighting, and other design elements; and shall result in signs of appropriate scale and character to the uses and building(s) on the zoning lot as well as adjacent buildings, structures and uses. **The submitted Comprehensive Design Plan incorporates vertical detail of the building façade for the signage. By allowing projecting blade signs, the signage plan allows for an urban and pedestrian/vehicular identity for the building’s occupants.**

2. Each element of the Sign Plan shall be found to be necessary due to unique or unusual design aspects in the architecture or limitations in the building site or surrounding environment. **The architecture of the building limits the placement of wall signs. T he City of Madison is discouraging upper-level sign placement on large buildings in the downtown core.**

3. The Sign Plan shall not violate any of the stated purposes described in Secs. 31.02(1) and 33.24(2). **It does not.**

4. All signs must meet minimum construction requirements under Sec. 31.04(5). **They do.**

5. The Sign Plan shall not approve Advertising beyond the restrictions in Sec. 31.11 or Off-Premise Directional Signs beyond the restrictions in Sec. 31.115. **It does not.**

6. The Sign Plan shall not be approved if any element of the plan:

- a. presents a hazard to vehicular or pedestrian traffic on public or private property,
- b. obstructs views at points of ingress and egress of adjoining properties,
- c. obstructs or impedes the visibility of existing lawful signs on adjacent property, or
- d. negatively impacts the visual quality of public or private open space.

**It does not.**

7. The Sign Plan may only encompass signs on private property of the zoning lot or building site in question, and shall not approve any signs in the right of way or on public property. **It does.**





# L.1 S/F INTERNALLY LIT CHANNEL LETTERS (Qty 1)

SQUARE FOOTAGE: 152 - SEE SHEET 3 FOR LOCATION

FIELD SURVEY REQUIRED



FRONT VIEW  
SCALE: 3/8"=1'-0"

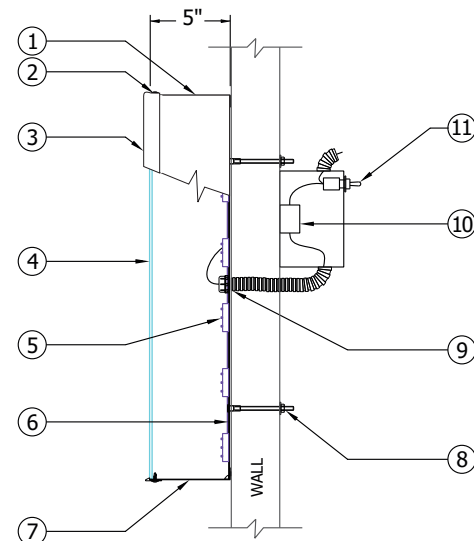


SIDE VIEW  
SCALE: 3/8"=1'-0"

## REMOTE WIRED FACE LIT CHANNEL LETTERS

SCALE: NTS

- ① .040" X 5" PRE-FINISHED WHITE ALUMINUM COIL (WHITE INSIDE)
- ② #8 - 1/2" PAN HEAD SCREWS
- ③ 1" PRE-FINISHED WHITE JEWELITE CHEMICALLY BONDED TO FACES
- ④ .150 WHITE LEXAN -FLAG V-1, V-2 - FOODS V1 - ® V-3
- ⑤ WHITE LEDs / 1 ROW SECURED TO BACK OF LETTER
- ⑥ .063" PRE-FINISHED BLK/WHT ALUMINUM BACK
- ⑦ 1/4" DIA. WEEP HOLES (EXTERIOR APPLICATIONS ONLY)
- ⑧ MOUNTING HARDWARE (TBD BY WALL CONSTRUCTION)
- ⑨ 7/8" ELECTRICAL HOLE / 3/4" COUPLER WITH FLEXIBLE CONDUIT TO POWER SUPPLY BOX
- ⑩ LED POWER SUPPLY INSIDE POWER SUPPLY BOX
- ⑪ TOGGLE SWITCH MOUNTED TO POWER SUPPLY BOX




- COLORS/FINISHES**
- V-1 3M 3630-156 VIVID GREEN
  - V-2 3M 3630-74 KUMQUAT
  - V-3 3M 7725-12 OPAQUE BLACK VINYL
  - V-4 3M 3630-015 YELLOW

**NOTE: ALL ELEMENTS TO INCLUDE UTILITY ACTIVE SOLAR POWER**



NIGHT VIEW  
NOT TO SCALE

<b>JONES SIGN</b> Your Vision Accomplished GREEN BAY • PHILADELPHIA SAN DIEGO • LAS VEGAS www.jonessign.com	JOB #: 210007_3 DATE: 8/25/15 DESIGNER: Jim Pogo SALES REP: Scott Bertrand PROJ MGR: ---	<table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>9/16/15</td><td>JP</td><td>REMOVE OPEN 24 HOURS</td></tr> <tr><td>2</td><td>01.15.16</td><td>JP</td><td>ADJUSTED BLADE SIGNS</td></tr> <tr><td>3</td><td>01.26.16</td><td>JP</td><td>CHANGE BLADE SIGN RETURNS AND RETAINER</td></tr> <tr><td>4</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>5</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>6</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>7</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>8</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>9</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> <tr><td>10</td><td>00.00.00</td><td>XX</td><td>XXXX</td></tr> </tbody> </table>	REV.	DATE	BY	DESCRIPTION	1	9/16/15	JP	REMOVE OPEN 24 HOURS	2	01.15.16	JP	ADJUSTED BLADE SIGNS	3	01.26.16	JP	CHANGE BLADE SIGN RETURNS AND RETAINER	4	00.00.00	XX	XXXX	5	00.00.00	XX	XXXX	6	00.00.00	XX	XXXX	7	00.00.00	XX	XXXX	8	00.00.00	XX	XXXX	9	00.00.00	XX	XXXX	10	00.00.00	XX	XXXX	CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____ QC <span style="border: 1px solid black; padding: 2px;">REVIEWED By TGrueschow at 12:24 pm, Jan 26, 2016</span>		Skogen's Festival Foods 810 East Washington Ave Madison WI 537003	SHEET NUMBER <h1>1.0</h1>
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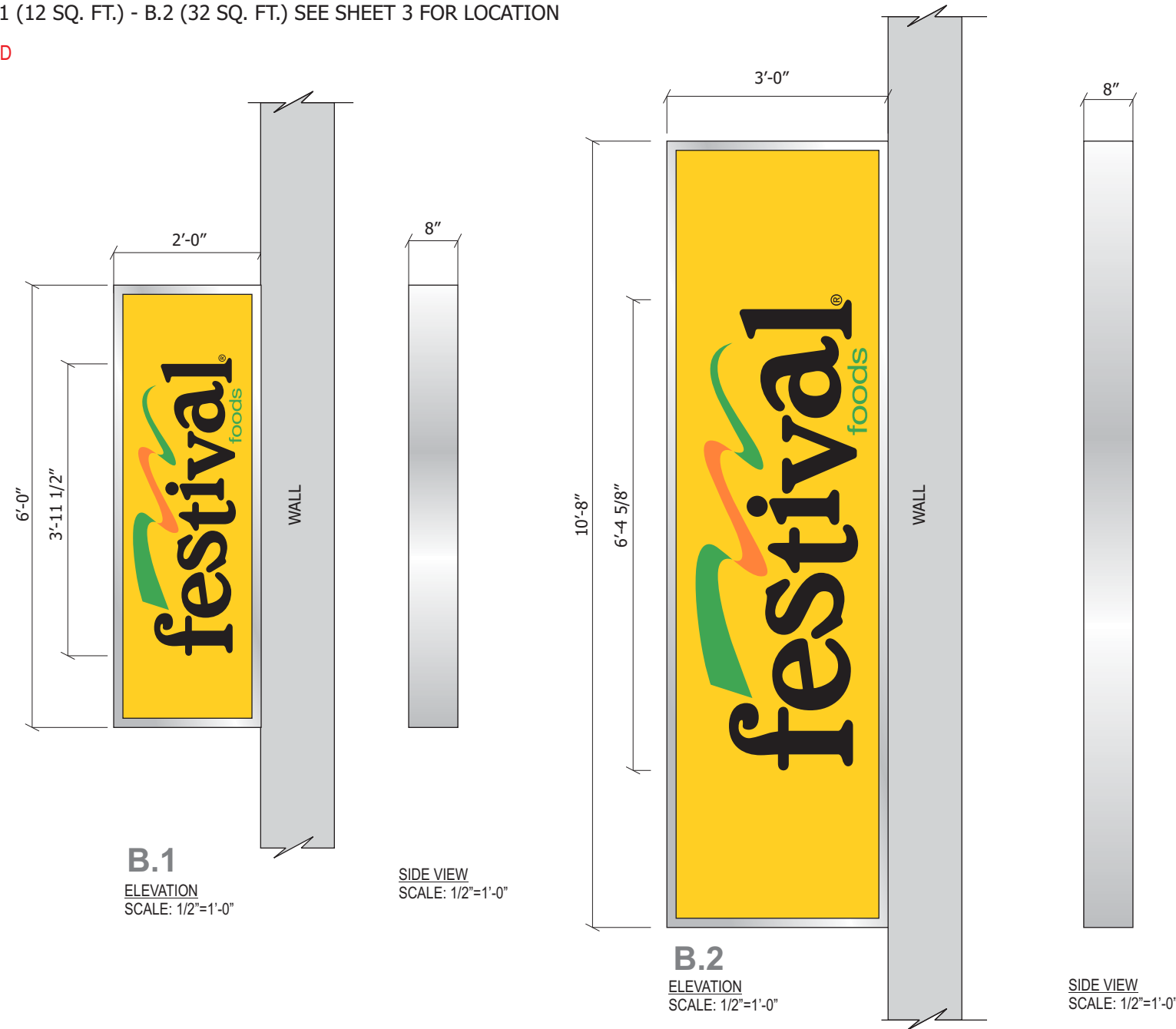
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# B.1 & B.2 D/F INTERNALLY LIT BLADE SIGNS (Qty 1 EACH)

SQUARE FOOTAGE: B.1 (12 SQ. FT.) - B.2 (32 SQ. FT.) SEE SHEET 3 FOR LOCATION

FIELD SURVEY REQUIRED



NIGHT VIEW  
3/4"=1'-0"

## SPECIFICATIONS

1. FRAMED CABINET
2. 8" DEEP ALUMINUM SIDES PAINTED P-1
3. 1 1/2" RETAINERS PAINTED P-1
4. WHITE LEXAN FACES WITH VINYL APPLIED 1ST SURFACE V-1,V-2,V-3, V-4
5. INTERNALLY LIT W/ WHITE OSRAM BACK PLUS DS LEDs
5. MOUNTED FLUSH TO WALL SURFACE

**NOTE: ALL ELEMENTS TO INCLUDE UTILITY ACTIVE SOLAR POWER**

## COLORS/FINISHES

	V-1	3M 3630-156 VIVID GREEN
	V-2	3M 3630-74 KUMQUAT
	V-3	3M 7725-12 OPAQUE BLACK VINYL
	V-4	3M 3630-015 YELLOW
	P-1	MATTHEWS PAINT BRUSH ALULUMINUM

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JOB #: 210007\_3  
DATE: 8/25/15  
DESIGNER: Jim Pogo  
SALES REP: Scott Bertrand  
PROJ MGR: ---

REV.	DATE	BY	DESCRIPTION
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10	00.00.00	XX	XXXX

CLIENT APPROVAL	DATE
LANDLORD APPROVAL	DATE
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Skogen's Festival Foods  
810 East Washington Ave  
Madison WI 537003

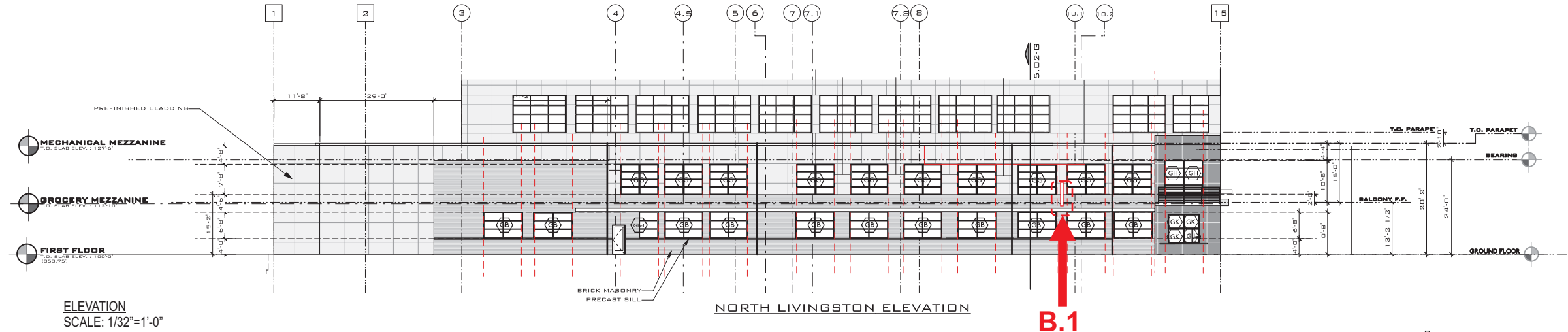
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SHEET NUMBER

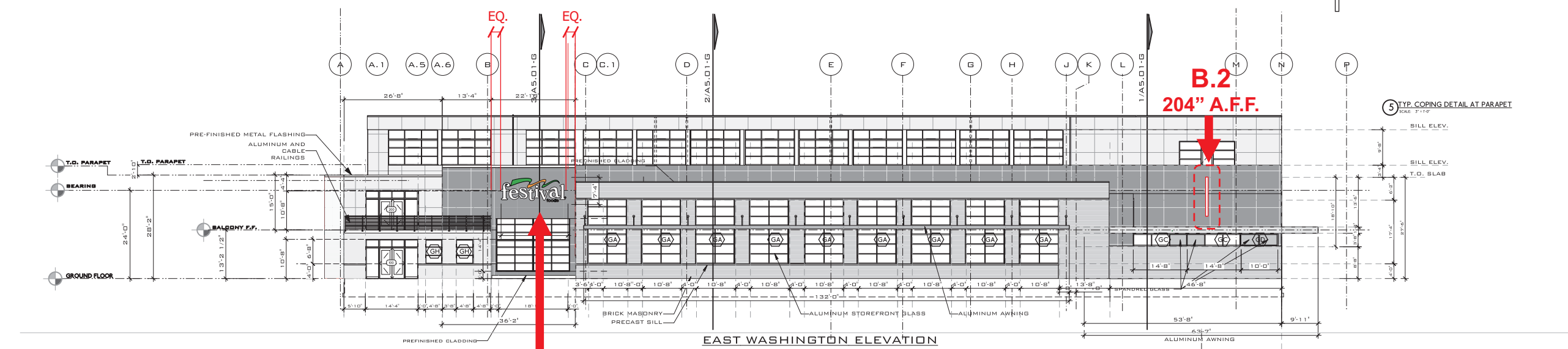
2.0

# SIGN LOCATIONS

FIELD SURVEY REQUIRED



ELEVATION  
SCALE: 1/32"=1'-0"



ELEVATION  
SCALE: 1/32"=1'-0"

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SHEET NUMBER  
**3.0**

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