

**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM # \_\_\_\_\_**  
**Project # \_\_\_\_\_**

|                                   |  |
|-----------------------------------|--|
| DATE SUBMITTED: <u>11/14/07</u>   | <b>Action Requested</b>  |
| UDC MEETING DATE: <u>11/21/07</u> | <input type="checkbox"/> Informational Presentation                      |
|                                   | <input type="checkbox"/> Initial Approval and/or Recommendation          |
|                                   | <input checked="" type="checkbox"/> Final Approval and/or Recommendation |

PROJECT ADDRESS: 615, 639 & 653 PLEASANT VIEW ROAD.

ALDERMANIC DISTRICT: #9 - PAUL SKIDMORE

OWNER/DEVELOPER (Partners and/or Principals) ARCHITECT/DESIGNER/OR AGENT:  
GALLINA INVESTMENTS, LLC & JAMES WICHMAN BROWNHOUSE DESIGNS, LLC  
8500 GREENWAY BOULEVARD, SUITE 200 202 W. GORHAM ST.  
MIDDLETON, WI 53562 MADISON, WI 53703

CONTACT PERSON: PATRICK MCGOWAN / BROWNHOUSE  
Address: 202 W. GORHAM ST.  
MADISON, WI 53703  
Phone: 608 663-5100  
Fax: 608 663-5151  
E-mail address: pmcgowan@brownhousedesigns.com

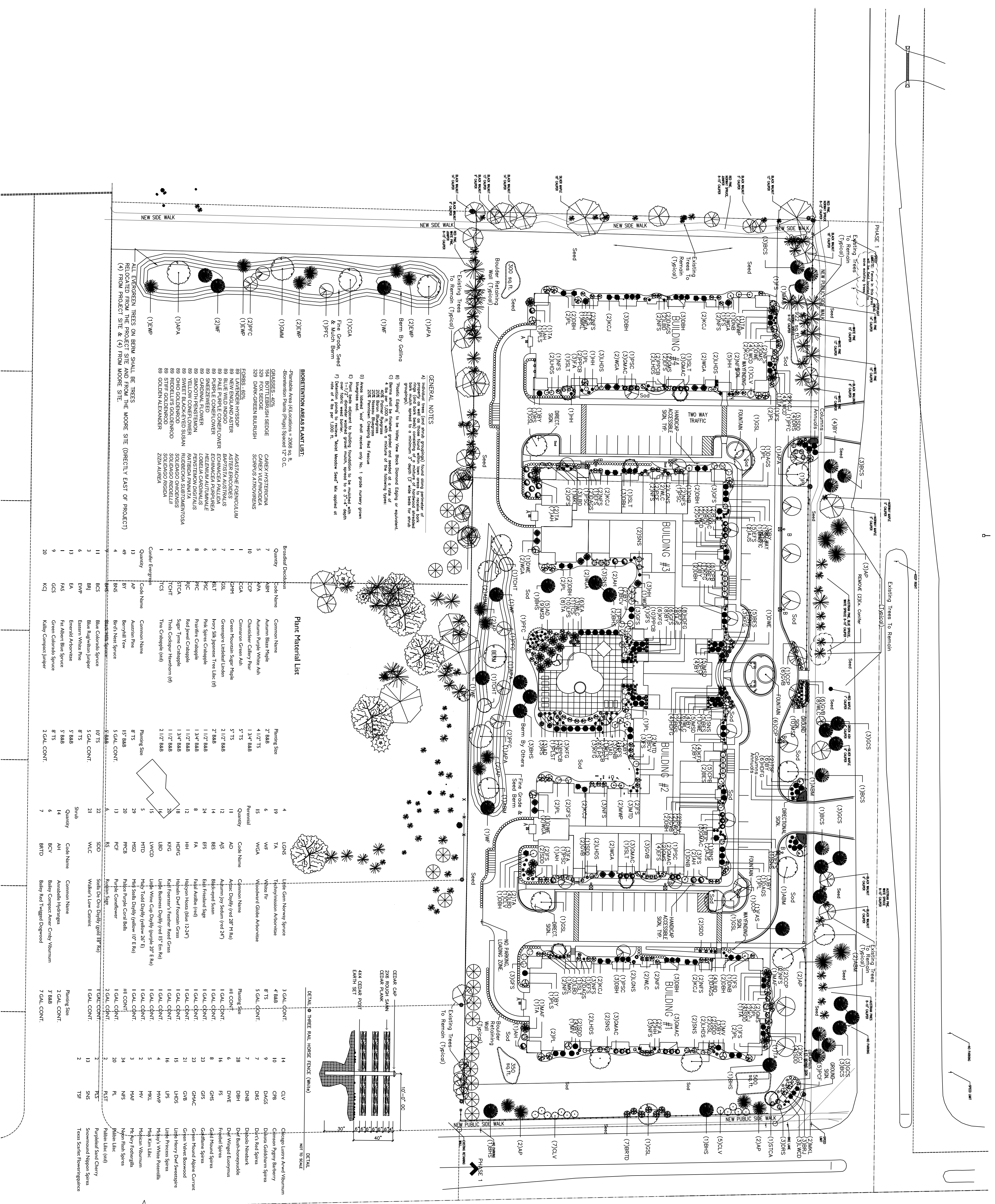
- TYPE OF PROJECT:  
(See Section A for:)
- Planned Unit Development (PUD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
  - Planned Community Development (PCD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
  - Planned Residential Development (PRD)
  - New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
  - School, Public Building or Space (Fee may be required)
  - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
  - Planned Commercial Site

(See Section B for:)  
 New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)  
 R.P.S.M. Parking Variance (Fee required)

(See Section D for:)  
 Comprehensive Design Review\* (Fee required)  
 Street Graphics Variance\* (Fee required)  
 Other \_\_\_\_\_

\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)  
Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



**GENERAL NOTES**

1. All trees to be removed shall be removed prior to construction.
2. All trees to be planted shall be planted within 14 days of receipt of the trees.
3. All trees to be planted shall be planted in accordance with the specifications of the University of Minnesota.
4. All trees to be planted shall be planted in accordance with the specifications of the University of Minnesota.

**BORENTON AREAS PLANT LIST:**

Phonetic Area (4 locations = 2068 sq ft, 5000 sq ft, 1000 sq ft, 1000 sq ft)

**Plant Material List**

| Plant Name             | Quantity | Planting Size | Code Name | Planting Size | Quantity | Code Name |
|------------------------|----------|---------------|-----------|---------------|----------|-----------|
| Blue Colorado Spruce   | 11       | 10'75"        | BC3       | 10'75"        | 22       | BCD       |
| Blue Raven/Jumper      | 3        | 5' GAL CONT.  | BC1       | 5' GAL CONT.  | 13       | WLC       |
| Eastern White Pine     | 6        | 8'75"         | EV6       | 8'75"         | 2        | NS        |
| Fraser Fir             | 13       | 5'75"         | FA        | 5'75"         | 13       | NS        |
| Green Colorado Spruce  | 1        | 8'75"         | GS        | 8'75"         | 1        | NS        |
| Kelley Compact Juniper | 20       | 2' GAL CONT.  | KJ        | 2' GAL CONT.  | 7        | NS        |

**REVISIONS**

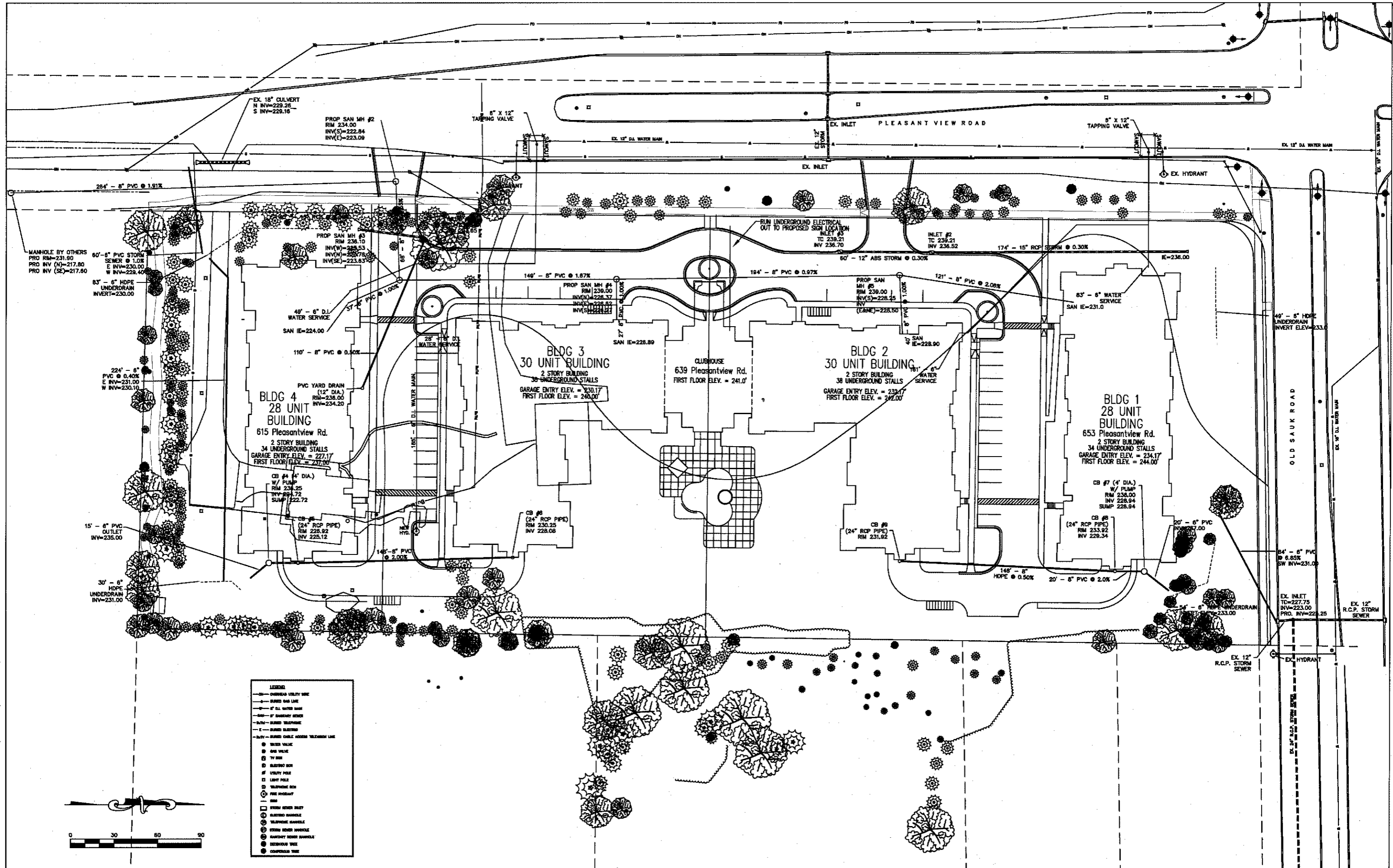
- Issued - Jan 29, 2004
- Initial UDC Submittal - August 11, 2004
- 1/2 Submittal - August 18, 2004
- Final UDC Submittal - October 13, 2004
- Issued For Pricing - 4/4/05
- Issued For Construction - April 22, 2005
- Issued For Parking Lot Approval - May 31, 2005
- Issued For Plan Review - June 17, 2005
- Issued For Bid - November 11, 2007

**Project Title**  
Churchill Crossing  
Apartments

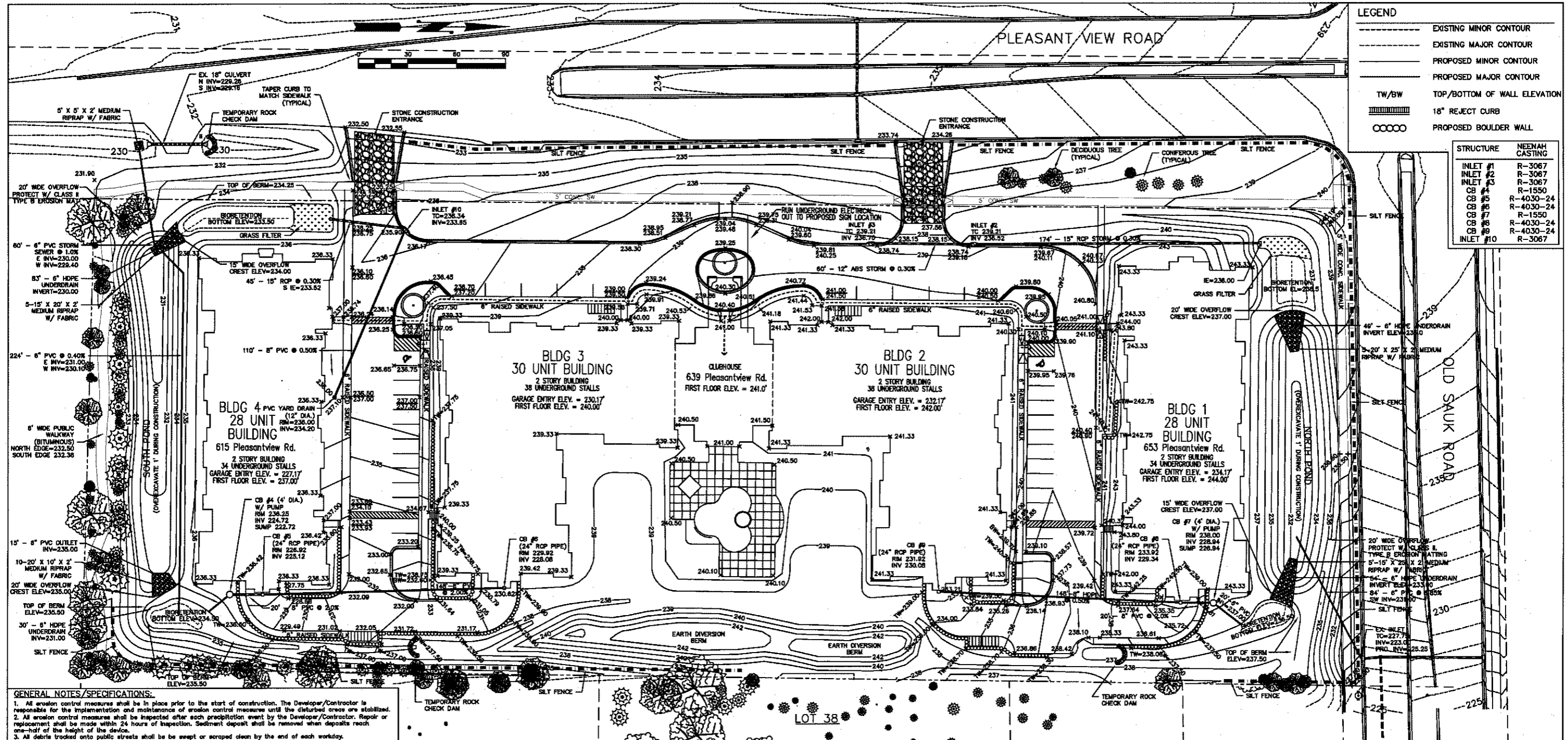
**Site Address:** 615, 639 & 653 Pleasant View Rd.  
**Old Site Address:** 3982 Pleasant View Rd.

**Drawing Title**  
Site Plan

**Project No.** \_\_\_\_\_ **Drawing No.** C203



Burse surveying & engineering  
1400 E. Washington Ave., Suite 15B, Madison, WI 53703 608.250.9263



**GENERAL NOTES/SPECIFICATIONS:**

- All erosion control measures shall be in place prior to the start of construction. The Developer/Contractor is responsible for the implementation and maintenance of erosion control measures until the disturbed areas are stabilized.
- All erosion control measures shall be inspected after each precipitation event by the Developer/Contractor. Repair or replacement shall be made within 24 hours of inspection. Sediment deposit shall be removed when deposits reach one-half of the height of the device.
- All debris tracked onto public streets shall be swept or scraped clean by the end of each workday.
- WOOT Type D inlet protection shall be installed in all open grate inlets after installation. Refer to WOOT Product Acceptability List at: <http://www.dot.wiscconsin.gov/business/engrsway/pd1.htm>.
- All disturbed areas shall be seeded immediately after grading activities have been completed.
- Erosion control devices shall comply with all Wisconsin ordinances and DNR standards found at <http://dnr.wisconsin.gov/water/wm/nps/stormwater/tachstds.htm>.

**TIME SCHEDULE:**

November 19 - December 7, 2007: Install erosion control devices and construct detention ponds. Seed and mulch outer fill slopes when complete. Do not construct bioretention basins until after all other construction is complete and disturbed areas are stable.

December 10, 2007 - March 14, 2008: Excavate for and commence construction of buildings. Spread heavily applied mulch or wood chips to all surfaces exposed to construction traffic.

March 17, 2008 - Sept. 12, 2008: Construct parking and drive areas, retaining walls, and finish grading. Restore all disturbed areas with seed and mulch.

Sept. 15, 2008 - January 30, 2009: Complete building construction.

April 13, 2009 - May 15, 2009: Complete bioretention construction.

**RESTORATION NOTES:**

All disturbed areas, except street pavement, shall receive a minimum of four (4) inches of topsoil, fertilizer, seed and mulch. Restoration will occur as soon after the disturbance as practical. Seed mixtures 40 shall be used on all areas. Mixtures shall be in accordance with section 630 of D.O.T. specifications. An equal amount of annual ryegrass shall be added to the mix.

Seed mixtures shall be applied at the rate of seven (7) pounds per 1,000 square feet.

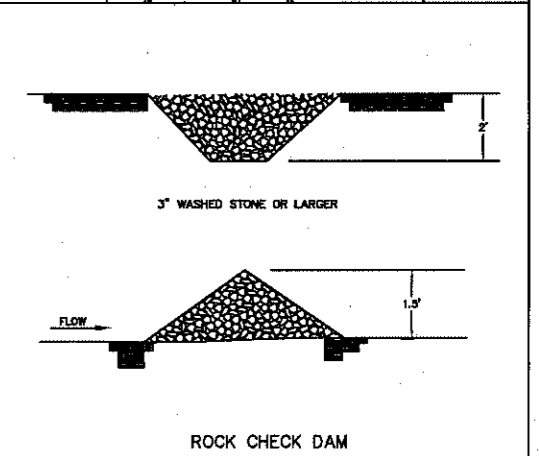
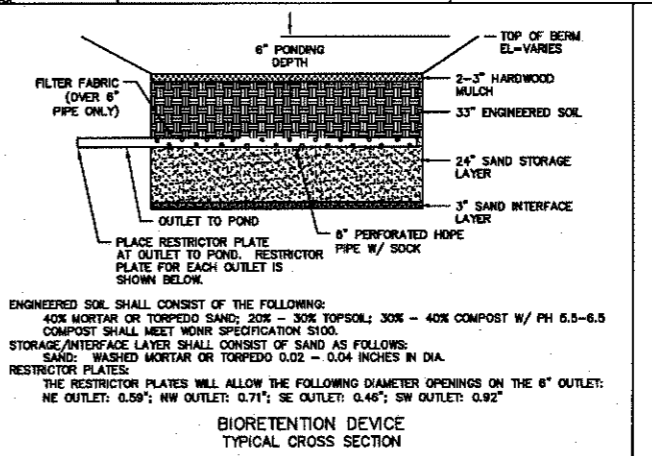
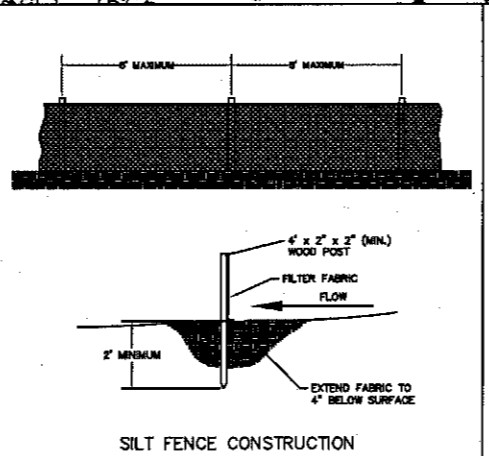
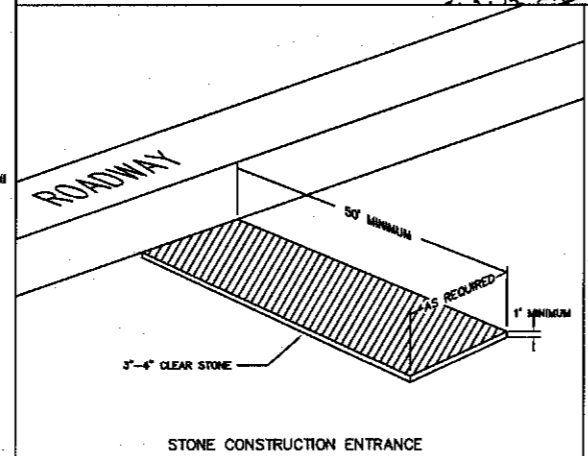
Fertilizer shall be applied at the rate of seven (7) pounds per 1,000 square feet.

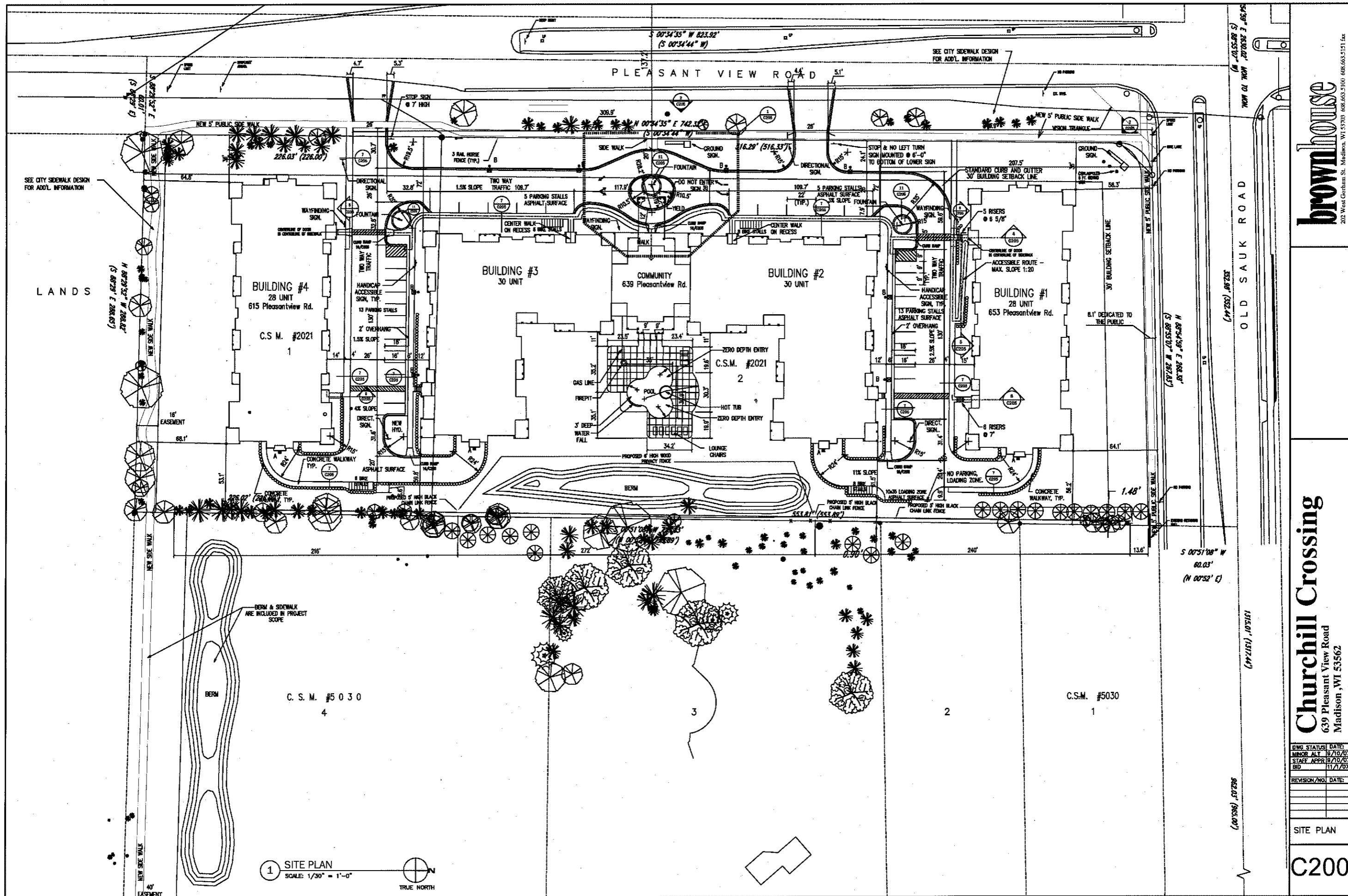
Fertilizer shall meet the minimum requirements that follow: nitrogen, not less than 16%; phosphoric acid, not less than 6%; potash, not less than 6%.

**OWNER:**  
Gallina Investments, LLC  
Attn: Craig Enzenroth  
2500 Greenway Blvd., Suite #200  
Madison, WI 53762

**ENGINEER:**  
Burse Surveying and Engineering, Inc.  
Attn: Peter D. Fortlage  
1400 E. Washington Avenue, Suite 15B  
Madison, WI 53703

**DATE:** 08.22.05  
**REVISED:** 09.10.07





1 SITE PLAN  
 SCALE: 1/32" = 1'-0"  
 TRUE NORTH

**brownhouse**  
 202 West Garban St. Madison, WI 53703 608.663.5100 608.663.5151 fax

**Churchill Crossing**  
 639 Pleasant View Road  
 Madison, WI 53562

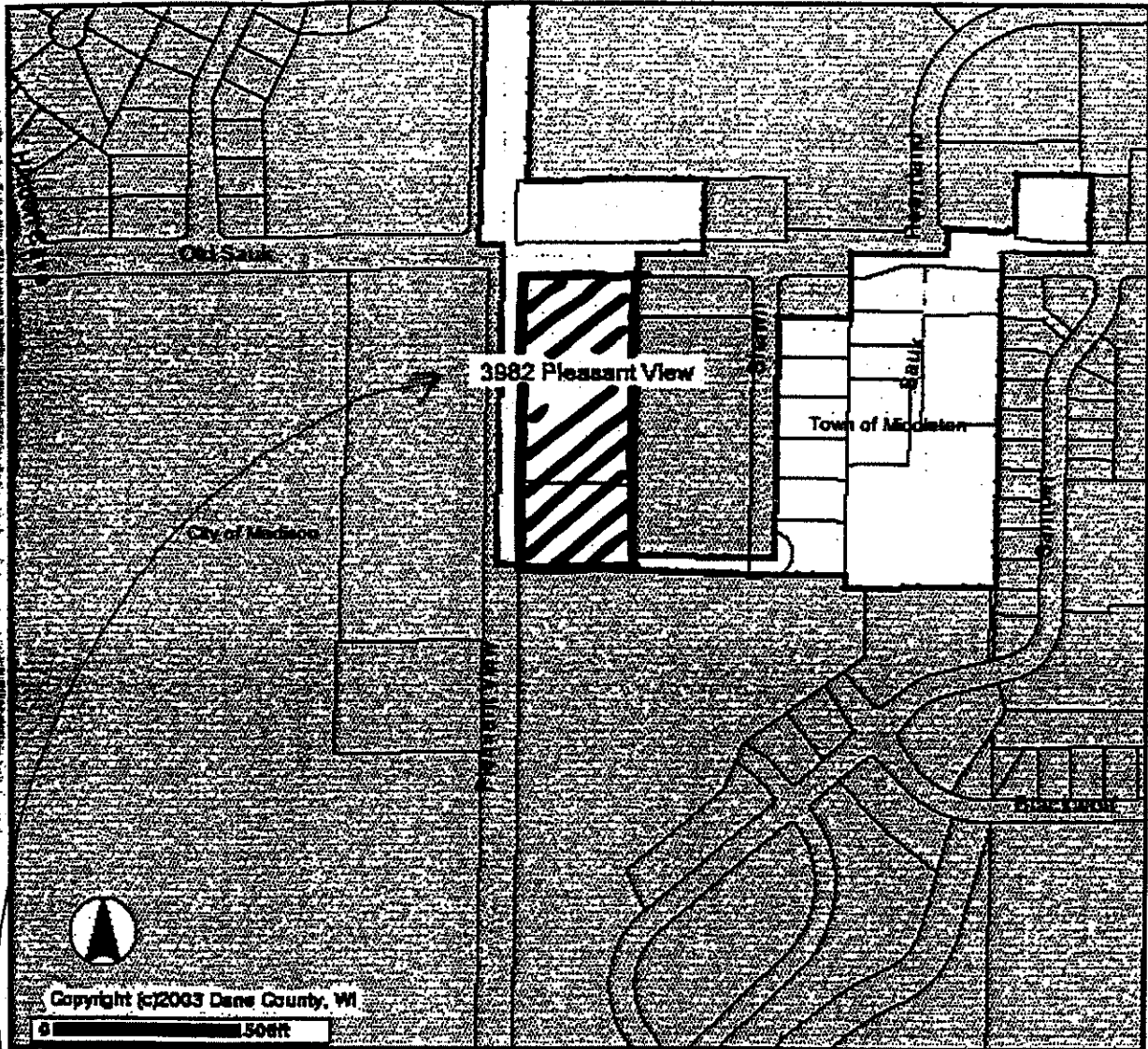
|                    |          |
|--------------------|----------|
| DATE:              | 11/17/07 |
| DESIGNER:          | STAFF    |
| DATE:              | 11/17/07 |
| REVISION/NO. DATE: |          |

SITE PLAN

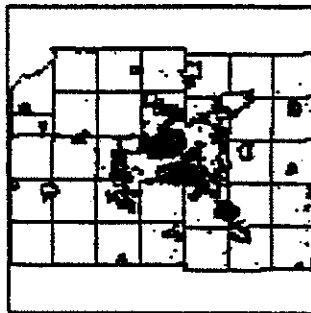
C200

# Dane County DCiMap

Print Close

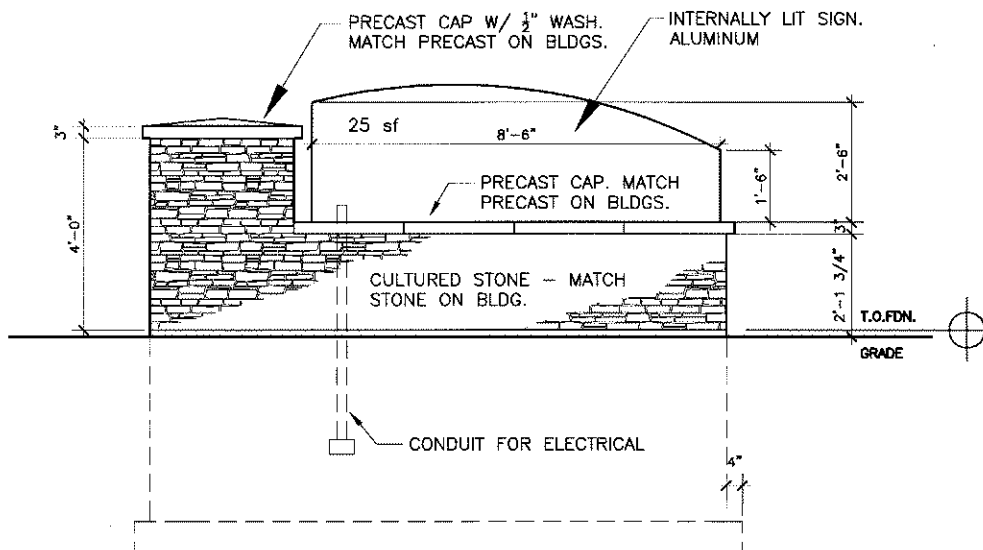


Now Known As:  
 615, 639, 1653  
 Pleasant View Rd.



**DISCLAIMER**  
 This map was prepared using the Dane County DCiMap online geographic information system. All information is believed accurate but is NOT guaranteed to be without error. This map and its underlying data is intended to be used as a general index to land related information and is not intended for detailed, site-specific analysis. Dane County GIS datasets used to produce this map are copyrighted.

## Site Locator Map



**1** GROUND SIGN  
 SCALE: 1/4" = 1'-0"

**DRAWING:**

**SI-200**

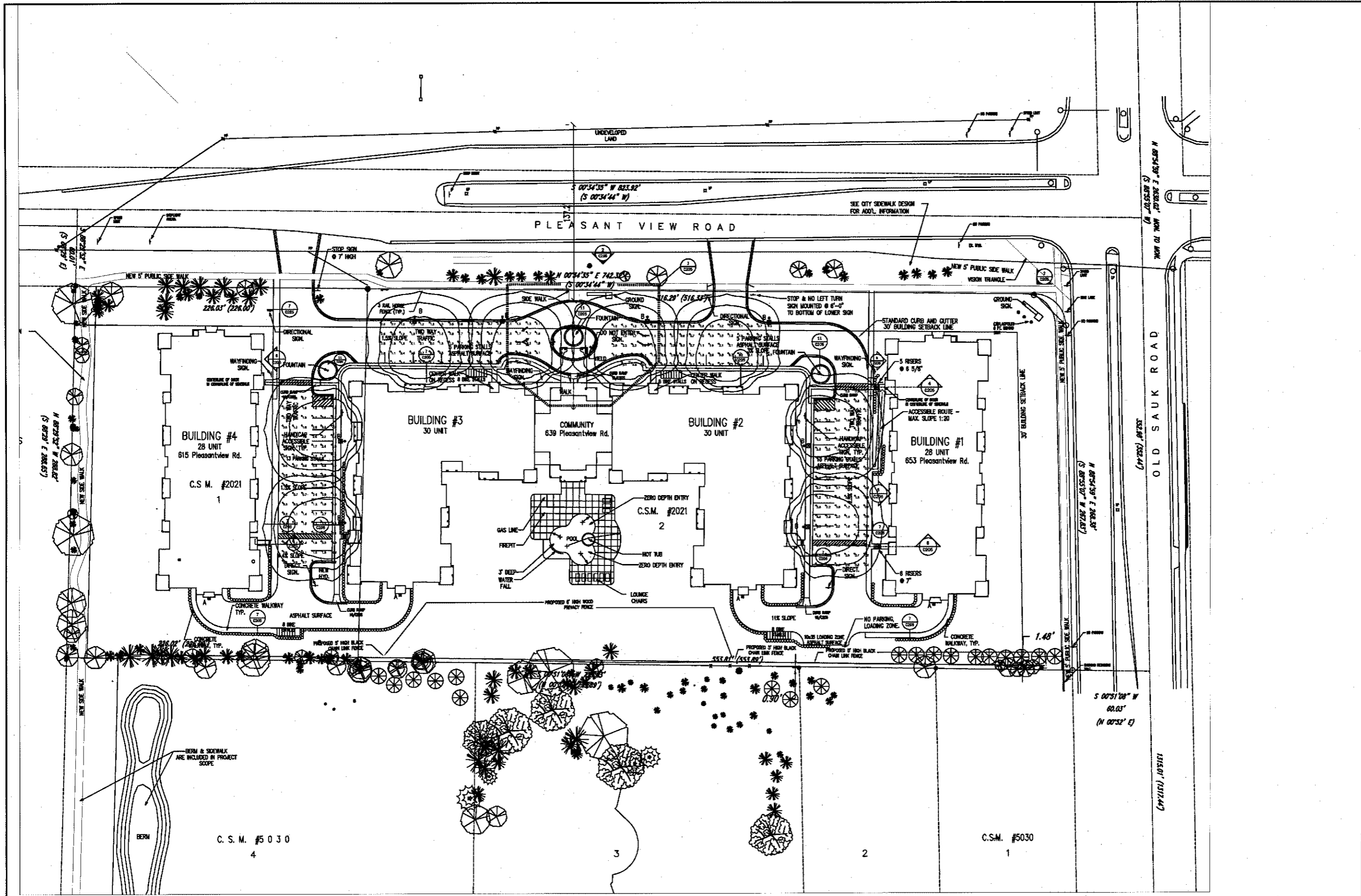
DATE: XXX  
 SCALE: XXX

PROJECT: CHURCHILL CROSSING  
 615, 639, 653 Pleasant View Rd.  
 Madison, WI

TITLE: Ground Signs

**brownhouse**

202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax



1 SITE LIGHTING PLAN  
SCALE: NTS

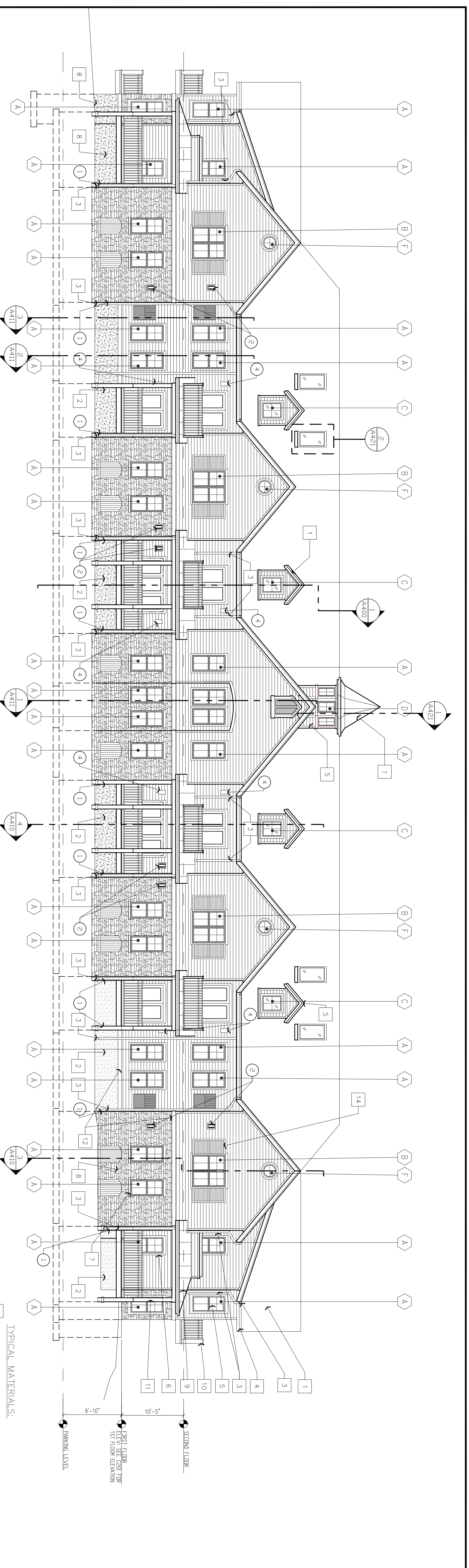


|             |          |
|-------------|----------|
| DRWG STATUS | DATE     |
| MINOR ALT   | 10/10/07 |
| STAFF APPR  | 10/10/07 |
| NO          | 11/1/07  |

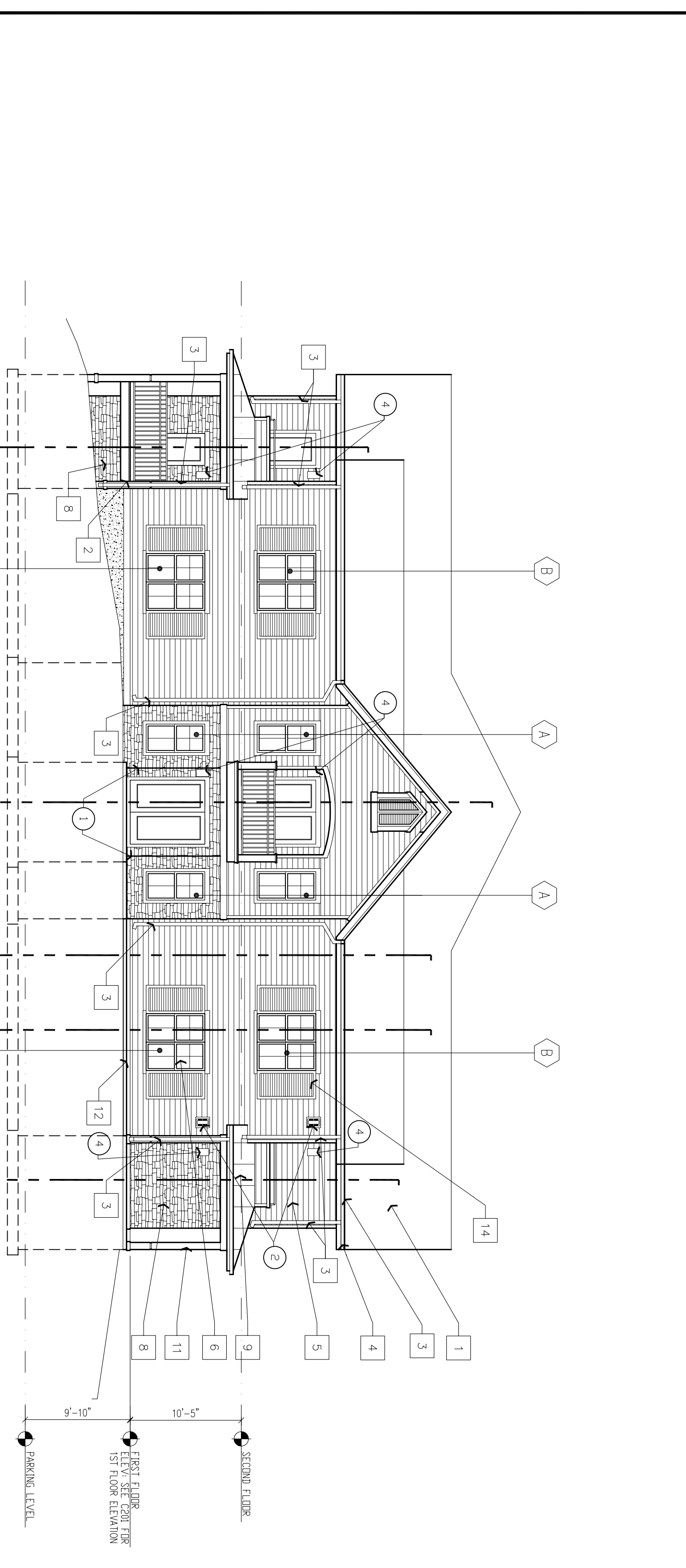
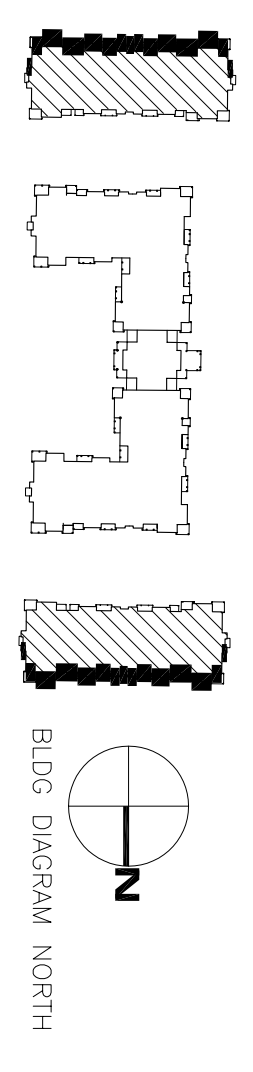
|             |      |
|-------------|------|
| REVISION/NO | DATE |
|             |      |
|             |      |

Site Lighting Plan

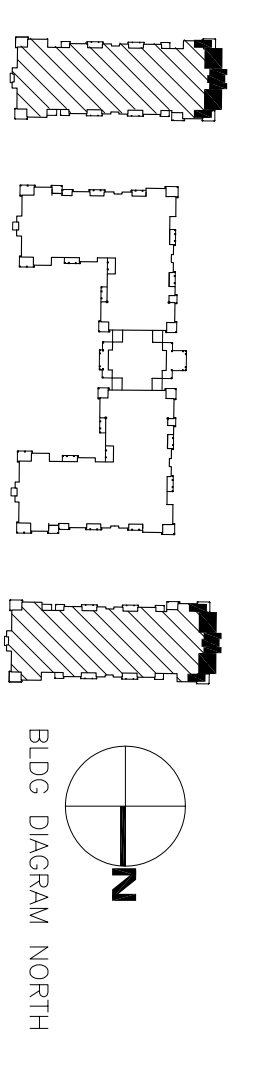




1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



- TYPICAL MATERIALS:
- 1 ASPHALT SHINGLES: LANDMARK PREMIUM DESIGNER SHINGLES, CERTAINTEED. COLOR: HEARTHSTONE
  - 2 STUCCO FINISH ON CONCRETE FOUNDATION WALL. INTEGRAL COLOR
  - 3 ALUMINUM GUTTERS & DOWNSPOUTS. COLOR TO MATCH ALCOA PERFORMANCE METALS. COLOR: PEBBLESTONE CLAY. WHERE GUTTERS DO NOT OCCUR, PROVIDE ALUMINUM WRAPPED 1x4 GABLE TRIM. COLOR: PEBBLESTONE CLAY.
  - 4 ALUMINUM WRAPPED FASCIA. ALCOA, PERFORMANCE METALS. COLOR: PEBBLESTONE CLAY
  - 5 VINYL SIDING, ALCOA, MASTIC PREMIUM SIDING, QUEST 3 SERIES w/ 4" EXPOSURE COLOR: PEBBLESTONE CLAY.
  - 6 WINDOWS - VINYL WINDOWS & TRIM - COLOR: BEIGE
  - 7 PRECAST SILL & HEAD
  - 8 OWENS CORNING CULTURED STONE. COLOR: CHARONWAY SOUTHERN LEDGESTONE (CSY-2054)
  - 9 STANDING SEAM METAL ROOF. COLOR = PAC-GLAD MANSARD BROWN
  - 10 BALCONY TRIM, POSTS, AND RAILING - PAINTED HARDIPLANK, COLOR = SAND
  - 11 PAINTED WOOD COLUMNS - PAINTED HARDIPLANK OR CEDAR, COLOR = SAND
  - 12 VINYL TRIM. COLOR: PEBBLESTONE CLAY
  - 13 PRECAST UNTEL
  - 14 CUSTOM SHUTTER AS APPROVED BY OWNER. COLOR: BLACK
  - 15 INSULATED OVERHEAD DOOR. COLOR: CHESTNUT BROWN

- ELEVATION KEY NOTES
- 1 CULTURED STONE ON RETURN WALLS
  - 2 FLUE TERMINATION CAP PAINT
  - 3 CULTURED STONE PIERS
  - 4 LIGHT FIXTURE

ELEVATION GENERAL NOTES:

- ALL DRYER VENTS @ 1ST FLOOR TO TERMINATE INTO PORCH ROOF SOFFITS, U.N.O. ON THE ELEVATIONS.
- ALL DRYER VENTS @ 2ND FLOOR TO TERMINATE IN EAWE SOFFITS, U.N.O. ON THE ELEVATIONS.

WINDOW SCHEDULE BUILDINGS 1 AND 4

| ID | QTY | CALL OUT     | TYPE        | APPROXIMATE ROUGH OPENING | MANUFACTURER | MATERIAL | MODEL | REMARKS                                    |
|----|-----|--------------|-------------|---------------------------|--------------|----------|-------|--|
| A  | 96  | 2'-8"x5'-6"  | DOUBLE HUNG | 2'-9"x5'-6"               | NA           | NA       | -     | VINYL WINDOW W/ CLEAR INSULATED LOWE GLASS |
| B  | 32  | 2'-2"x8'-6"  | DOUBLE HUNG | 5'-4"x8'-6"               | NA           | NA       | -     | VINYL WINDOW W/ CLEAR INSULATED LOWE GLASS |
| C  | 16  | 2'-8"x3'-4"  | FIXED       | 2'-9"x3'-4"               | NA           | NA       | -     | VINYL WINDOW W/ CLEAR INSULATED LOWE GLASS |
| D  | 16  | 1'-10"x3'-0" | FIXED       | 1'-10"x3'-0"              | NA           | NA       | -     | VINYL WINDOW W/ CLEAR INSULATED LOWE GLASS |
| E  | 4   | 2'-8"x3'-0"  | FIXED       | 2'-9"x3'-0"               | NA           | NA       | -     | VINYL WINDOW W/ CLEAR INSULATED LOWE GLASS |
| F  | 16  | 2'-4"D       | FIXED       | 2'-4"D ROUND              | NA           | NA       | -     | VINYL WINDOW W/ CLEAR INSULATED LOWE GLASS |

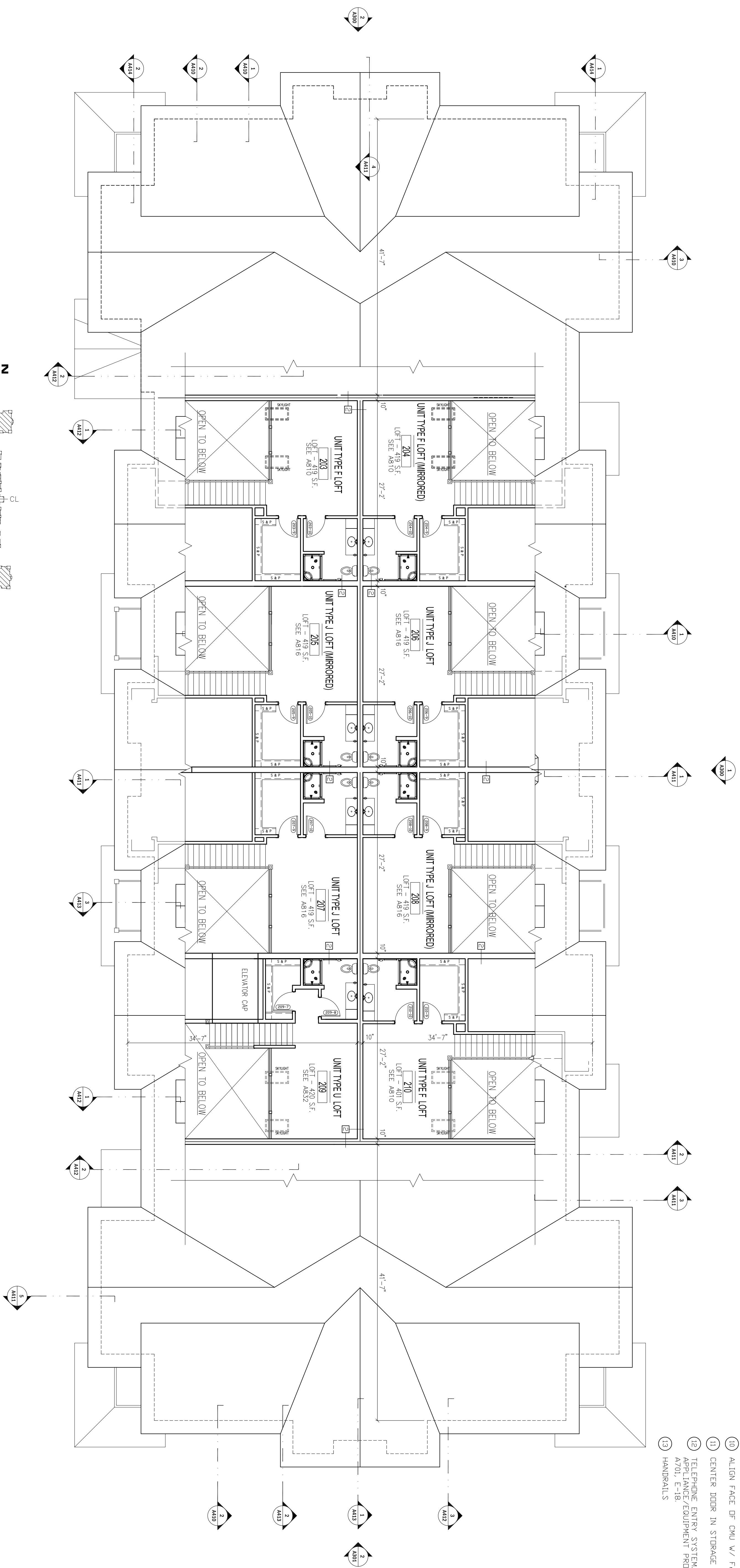
**Churchill Crossing**  
653 Pleasant View Road (also 615 Pleasant View Rd.)  
Madison, WI 53562

**brownhouse**  
202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax

DWG STATUS: DATE: 19/10/07  
MINOR ALT: 19/10/07  
START: APRR: 19/10/07  
BID: 11/1/07  
REVISION/NOI: DATE:

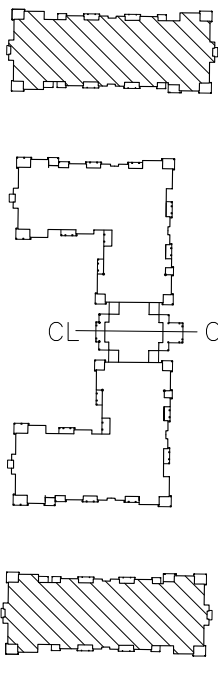
EXTERIOR ELEVATIONS

**A300**



**1 SECOND FLOOR LOFT FLOOR PLAN**

SCALE: 1/8" = 1'-0" BUILDING 1, BLDG 4 SIM, MIRRORED  
PLAN NORTH



PLAN NORTH  
BLDG DIAGRAM NORTH

- GENERAL FLOOR PLAN NOTES**
- 1 EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING
  - 2 SEE A700 FOR PARTITION TYPES
  - 3 SEE A800 SHEETS FOR UNIT DIMENSIONS
  - 4 SEE DETAIL 3/8&42 FOR DOORS LOCATED IN CORNERS OF ROOMS
  - 5 SEE APPLIANCE/EQUIPMENT PRODUCT LIST A701 FOR ELEVATOR
  - 6 SEE A700 FOR FINISH PRODUCTS LIST
  - 7 SEE A701 FOR PLUMBING FIXTURES, APPLIANCES, EQUIPMENT AND LIGHT FIXTURES
  - 8 SEE A701 FOR UNIT PLANS TYPES, KITCHEN TYPES, AND FINISH GROUP MATRIX.
- FLOOR PLAN NOTES**
- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F.
  - 2 GALVANIZED PILE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F. **PER DETAIL C2/XXX**.
  - 3 LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
  - 4 LOCAL PARKING AND TRAFFIC STRIPING, 4" W/4" WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE
  - 5 PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
  - 6 CONCRETE STOOD
  - 7 UNIT HEATER - GAS FIRED, CEILING HUNG
  - 8 NOT USED
  - 9 ALIGN SPACE OF GVB W/ FACE OF CONCRETE
  - 10 ALIGN FACE OF CWU W/ FACE OF CONCRETE
  - 11 CENTER DOOR IN STORAGE UNIT
  - 12 TELEPHONE ENTRY SYSTEM SEE A701, E-18
  - 13 APPLIANCE/EQUIPMENT PRODUCT LIST, SHEET HANDRAILS

|                    |          |
|--------------------|----------|
| DWG STATUS/DATE:   |          |
| MINOR ALT          | 19/10/09 |
| START APPR         | 19/10/09 |
| BD                 | 11/1/09  |
| REVISION/NO./DATE: |          |
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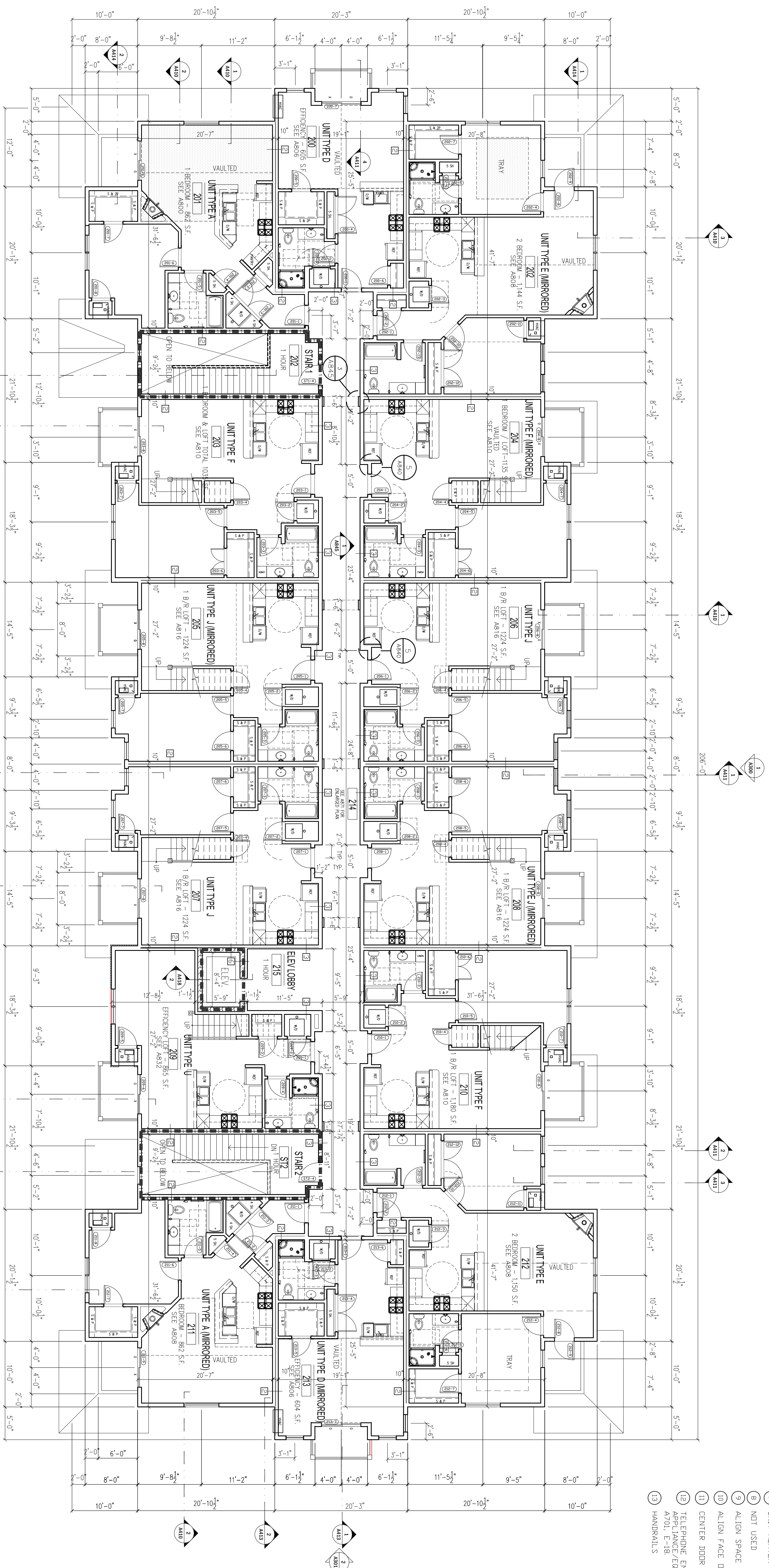
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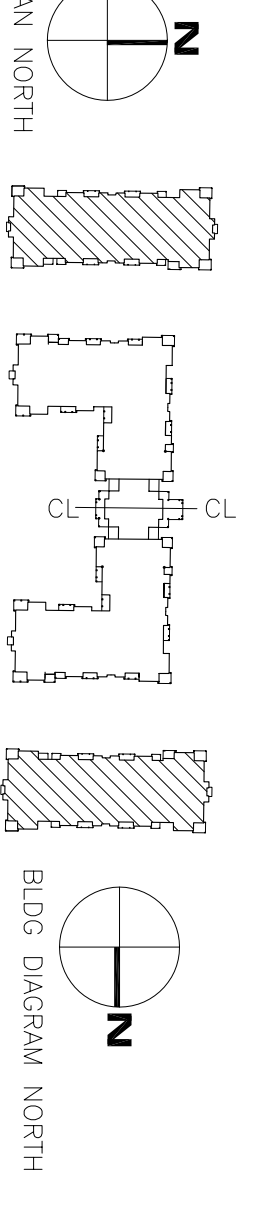
A203

FLOOR PLAN



**1 SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0" BUILDING 1, BLDG 4 SIM., MIRRORRED



- GENERAL FLOOR PLAN NOTES**
- EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING
  - SEE A700 FOR PARTITION TYPES
  - SEE A800 SHEETS FOR UNIT DIMENSIONS
  - SEE DETAIL 3/A84#2 FOR DOORS LOCATED IN CORNERS OF ROOMS
  - SEE APPLIANCE/EQUIPMENT PRODUCT LIST
  - SEE A700 FOR FINISH PRODUCTS LIST
  - SEE A701 FOR PLUMBING FIXTURES, APPLIANCES, EQUIPMENT AND LIGHT FIXTURES
  - SEE A701 FOR UNIT GROUPS, KITCHEN TYPES, AND FINISH GROUP MATRIX.
- FLOOR PLAN NOTES**
- WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F.
  - GALVANIZED PILE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F., **PER DETAIL CXXXXX**.
  - LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, A701 FOR ELEVATOR)
  - TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
  - PROVIDE PRESSURE TREATED DOUBLE STILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
  - CONCRETE STIOP
  - UNIT HEATER - GAS FIRED, CEILING HUNG
  - NOT USED
  - ALIGN SPACE OF GVB W/ FACE OF CONCRETE
  - ALIGN FACE OF CHU W/ FACE OF CONCRETE
  - CENTER DOOR IN STORAGE UNIT
  - TELEPHONE ENTRY SYSTEM SEE APPLIANCE/EQUIPMENT PRODUCT LIST, SHEET A701, E-18
  - HANDRAILS

DWG STATUS/DATE:  
 MINOR ALT 19/10/07  
 START APPR 19/10/07  
 BID 11/15/07  
 REVISION/NOI DATE:

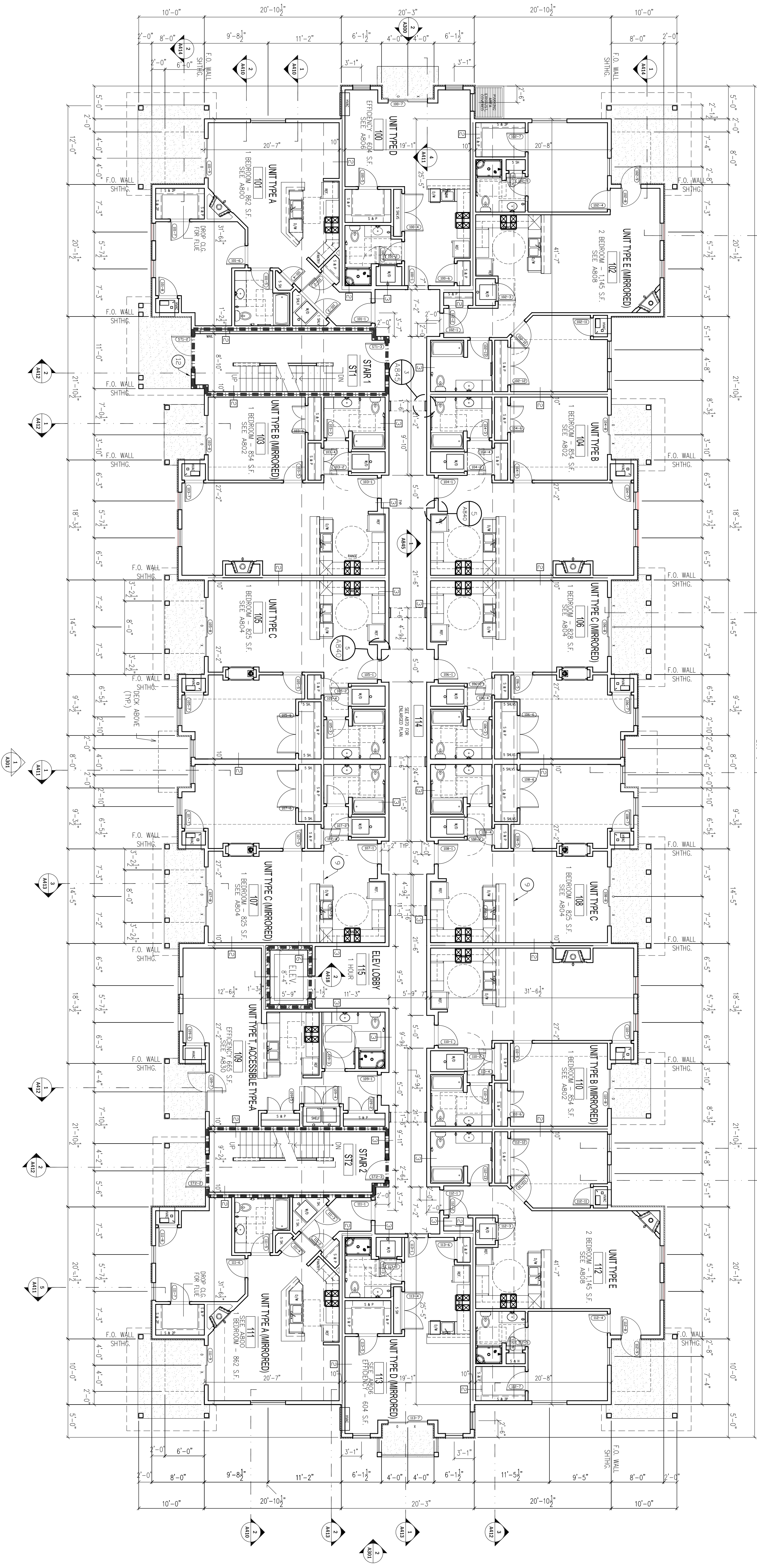
**Churchill Crossing**  
 653 Pleasant View Road (also 615 Pleasant View Rd.)  
 Madison, WI 53562



202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax

A202

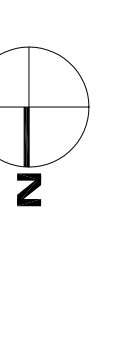
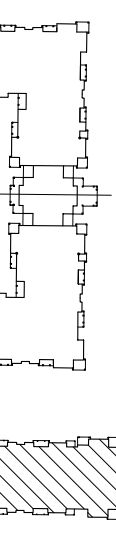
FLOOR PLAN



**1 FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"

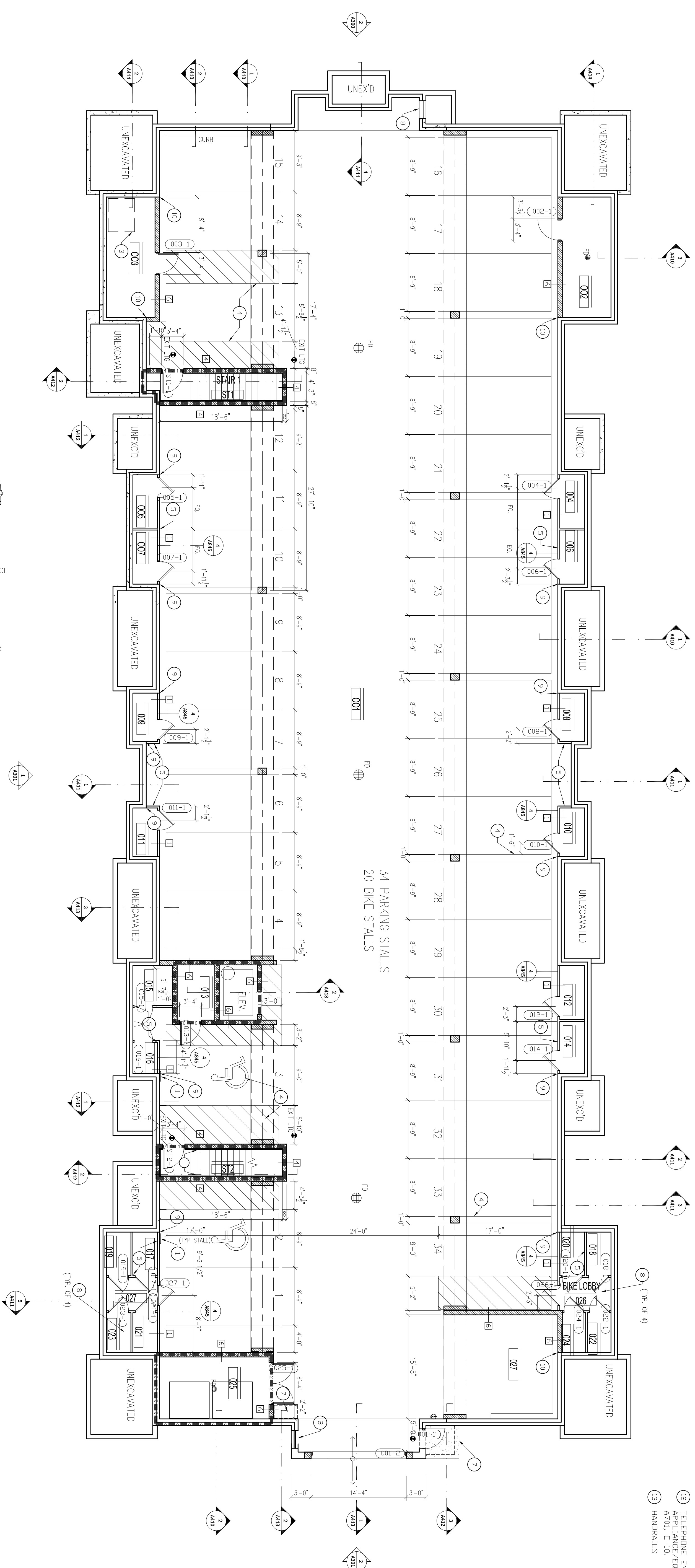
BUILDING 1, BLDG 4 SIM., MIRRORED



- GENERAL FLOOR PLAN NOTES**
1. EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING
  2. SEE A700 FOR PARTITION TYPES
  3. SEE A800 SHEETS FOR UNIT DIMENSIONS
  4. SEE DETAIL 3/49842 FOR DOORS LOCATED CORNERS OF ROOMS
  5. SEE APPLIANCE/EQUIPMENT PRODUCT LIST A701 FOR ELEVATOR
  6. SEE A701 FOR FINISH PRODUCTS LIST
  7. SEE A701 FOR PLUMBING FIXTURES, APPLIANCES, EQUIPMENT AND LIGHT FIXTURES
  8. SEE A701 FOR UNIT PLANS TYPES, KITCHEN TYPES, AND FINISH GROUP MATRIX
- FLOOR PLAN NOTES**
1. WALL-MOUNTED ACCESSIBLE PARKING STALL STORAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F
  2. GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING 5'-0" A.F.F. PER DETAIL 02XXXX OF SIGN @ 5'-0" A.F.F.
  3. LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
  4. TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
  5. PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
  6. CONCRETE STODP
  7. UNIT HEATER - GAS FIRED, CEILING HUNG
  8. NOT USED
  9. ALIGN SPACE OF G/W B/W FACE OF CONCRETE
  10. ALIGN FACE OF CWU W/ FACE OF CONCRETE
  11. CENTER DOOR IN STORAGE UNIT
  12. TELEPHONE ENTRY SYSTEM, SEE APPLIANCE/EQUIPMENT PRODUCT LIST, SHEET A701, E-38
  13. HANDRAILS

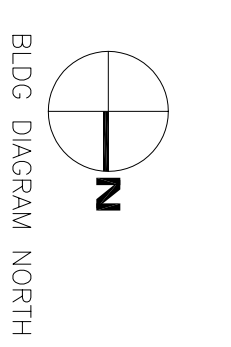
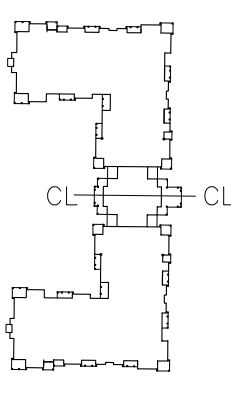
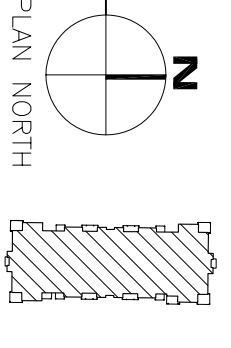
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| DWG STATUS/DATE:   | DKG      | ALT | 19/10/07 |
| MINOR ALT          | 19/10/07 |     |          |
| STAFF APPR         | 19/10/07 |     |          |
| BD                 | 11/13/07 |     |          |
| REVISION/NO. DATE: |          |     |          |

**Churchill Crossing**  
 653 Pleasant View Road (also 615 Pleasant View Rd.)  
 Madison, WI 53562



**1 BASEMENT PLAN**  
SCALE: 1/8" = 1'-0"

BUILDING 1, BLOC 4 SIM., MIRRORED  
PLAN NORTH



- GENERAL FLOOR PLAN NOTES**
1. EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING
  2. SEE A700 FOR PARTITION TYPES
  3. SEE A800 SHEETS FOR UNIT DIMENSIONS
  4. SEE DETAIL **PER DETAIL XXXXX** OF STON & MURRES FOR DOORS LOCATED IN
  5. SEE A700 FOR FINISH PRODUCTS LIST
  6. SEE A700 FOR FINISH PRODUCTS LIST
  7. SEE A700 FOR FINISH PRODUCTS LIST
  8. SEE A700 FOR FINISH PRODUCTS LIST
  9. SEE A700 FOR FINISH PRODUCTS LIST
  10. SEE A700 FOR FINISH PRODUCTS LIST
  11. SEE A700 FOR FINISH PRODUCTS LIST
  12. SEE A700 FOR FINISH PRODUCTS LIST
  13. SEE A700 FOR FINISH PRODUCTS LIST
- FLOOR PLAN NOTES**
- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F.
  - 2 GALVANIZED PILE-MOUNTED ACCESSIBLE PARKING 5'-0" A.F.F. **PER DETAIL XXXXX** OF STON & MURRES
  - 3 LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
  - 4 TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
  - 5 PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
  - 6 CONCRETE STODP
  - 7 UNIT HEATER - GAS FIRED, CEILING HUNG
  - 8 NOT USED
  - 9 ALIGN SPACE OF GWB W/ FACE OF CONCRETE
  - 10 ALIGN FACE OF CWU W/ FACE OF CONCRETE
  - 11 CENTER DOOR IN STORAGE UNIT
  - 12 TELEPHONE ENTRY SYSTEM SEE A701, E-18
  - 13 APPLIANCE/EQUIPMENT PRODUCT LIST, SHEET A701, E-18

|                    |                    |
|--------------------|--------------------|
| DWG STATUS/DATE:   | MINOR A11 10/10/07 |
| MINOR A12 10/10/07 |                    |
| SIZE APPR 10/10/07 |                    |
| BD 11/1/07         |                    |
| REVISION/NO. DATE: |                    |

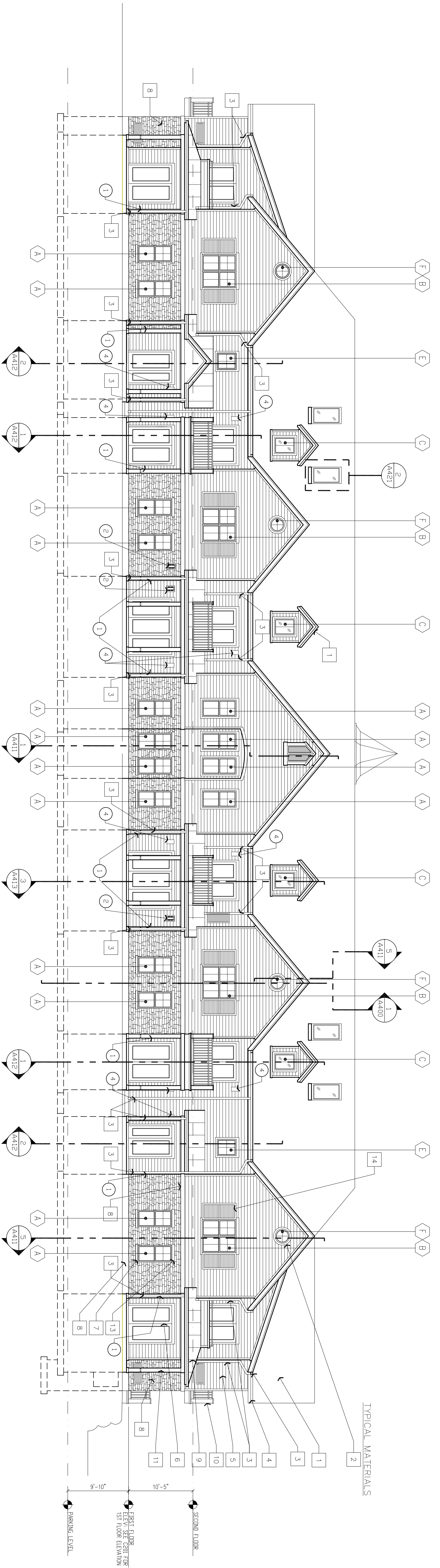
**Churchill Crossing**  
653 Pleasant View Road (also 615 Pleasant View Rd.)  
Madison, WI 53562



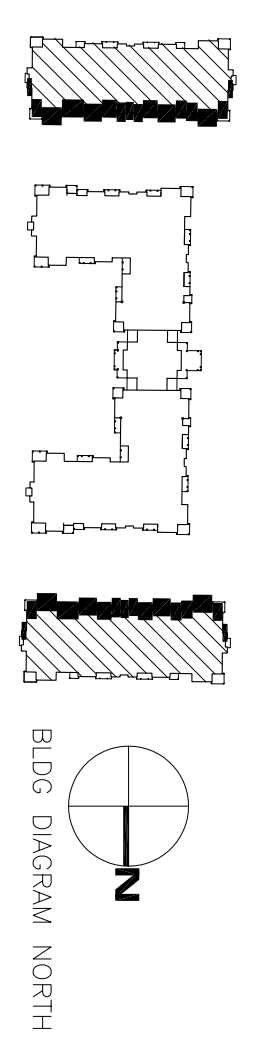
202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax

A200

FLOOR PLAN



**1 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



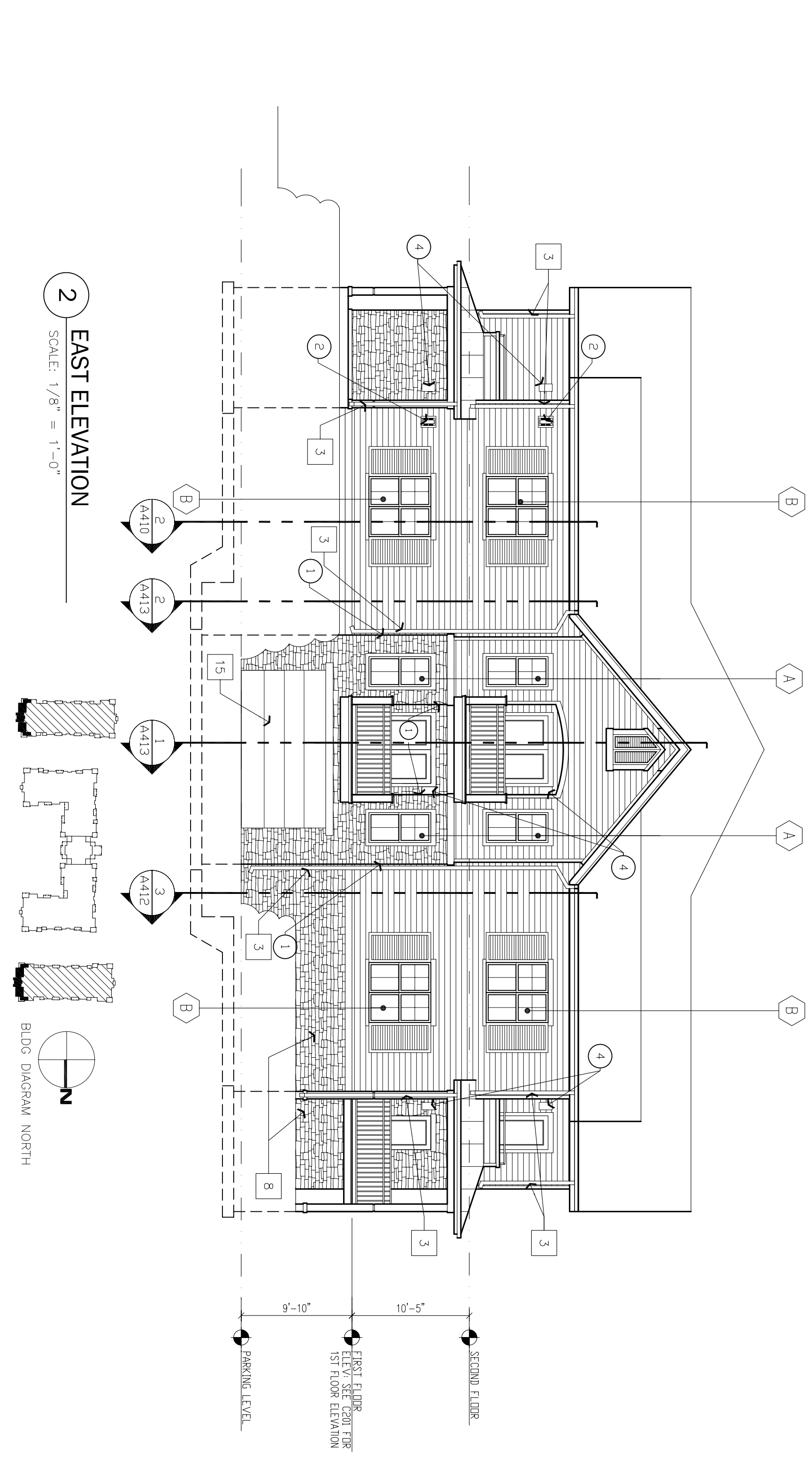
**ELEVATION GENERAL NOTES:**  
 - ALL DRYER VENTS @ 1ST FLOOR TO TERMINATE INTO PORCH ROOF SOFFITS, U.N.O. ON THE ELEVATIONS.  
 - ALL DRYER VENTS @ 2ND FLOOR TO TERMINATE IN EAVE SOFFITS, U.N.O. ON THE ELEVATIONS.

**TYPICAL MATERIALS:**

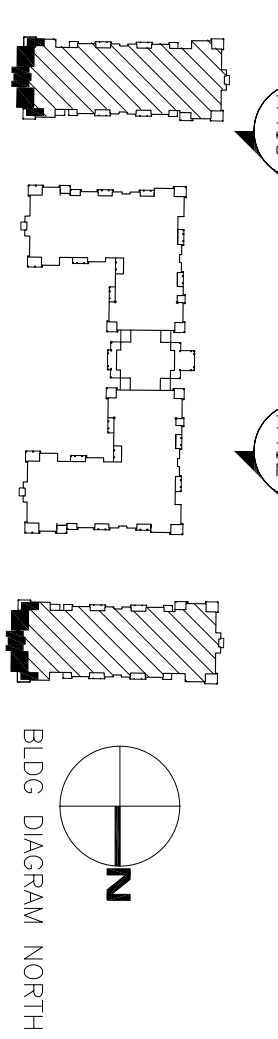
- 1 ASPHALT SHINGLES - LANDMARK PREMIUM DESIGNER SHINGLES, CERTAINTED. COLOR: HEARTHSTONE
- 2 STUCCO FINISH ON CONCRETE FOUNDATION WALL, INTEGRAL COLOR
- 3 ALUMINUM GUTTERS & DOWNSPOUTS. COLOR TO MATCH ALCOA PERFORMANCE METALS. COLOR: PEBBLESTONE CLAY - WHERE GUTTERS DO NOT OCCUR, PROVIDE ALUMINUM WRAPPED 1x4 GABLE TRIM. COLOR: PEBBLESTONE CLAY.
- 4 ALUMINUM WRAPPED FASCIA, ALCOA, PERFORMANCE METALS COLOR: PEBBLESTONE CLAY
- 5 VINYL SIDING, ALCOA, MASTIC PREMIUM SIDING, QUEST 3 SERIES W/ 4" EXPOSURE COLOR: PEBBLESTONE CLAY.
- 6 WINDOWS - VINYL WINDOWS & TRIM - COLOR: BEIGE
- 7 PRECAST SILL & HEAD
- 8 OWENS CORNING CULTURED STONE. COLOR: CHARBONNAY SOUTHERN LEDGESTONE (CSV-2054)
- 9 STANDING SEAM METAL ROOF COLOR = PAC-CLAD MANSARD BROWN
- 10 BALCONY TRIM, POSTS, AND RAILING - PAINTED HARDPLANK, COLOR = SAND
- 11 PAINTED WOOD COLUMNS - PAINTED HARDPLANK OR CEDAR, COLOR = SAND
- 12 VINYL TRIM. COLOR: PEBBLESTONE CLAY
- 13 PRECAST UNITLE
- 14 CUSTOM SHUTTER AS APPROVED BY OWNER. COLOR: BLACK.
- 15 INSULATED OVERHEAD DOOR. COLOR: CHESTNUT BROWN

**ELEVATION KEY NOTES**

- 1 CULTURED STONE ON RETURN WALLS
- 2 FLUE TERMINATION CAP. PAINT
- 3 CULTURED STONE PIERS
- 4 LIGHT FIXTURE



**2 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

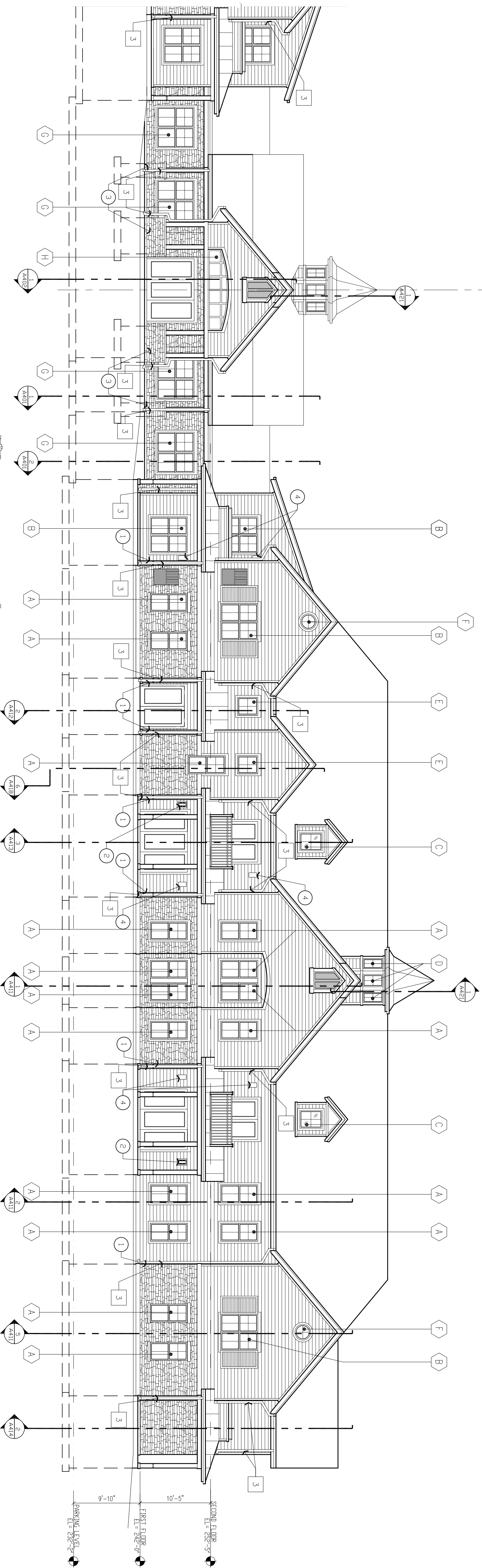


|                     |                    |
|---------------------|--------------------|
| DWG STATUS/DATE:    | MINOR ALT 19/10/09 |
| START APPR 19/10/09 |                    |
| BID 11/13/09        |                    |
| REVISION/NO. DATE:  |                    |

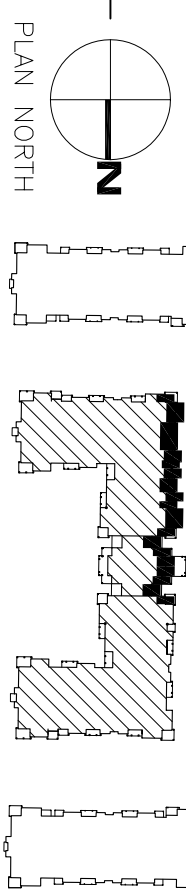
**Churchill Crossing**  
 653 Pleasant View Road (also 615 Pleasant View Rd.)  
 Madison, WI 53562

**brownhouse**  
 202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax

EXTERIOR ELEVATIONS  
**A301**



**1 PARTIAL WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

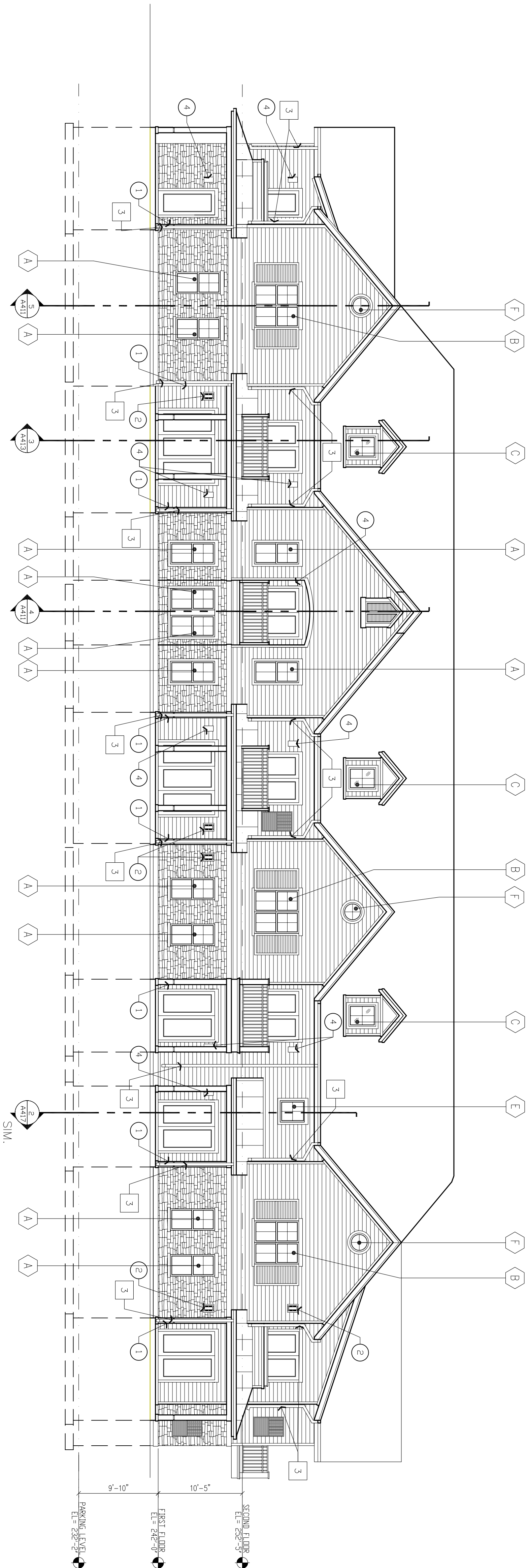
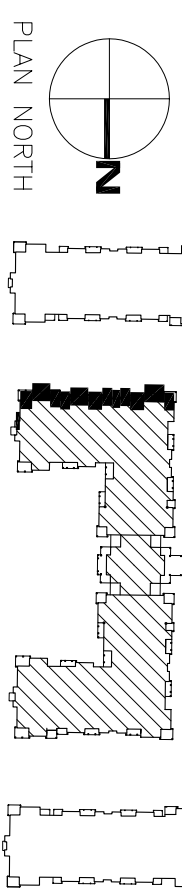


**ELEVATION GENERAL NOTES:**  
 -ALL DRYER VENTS @ 1ST FLOOR TO TERMINATE INTO PORCH ROOF SOFFITS, U.N.O. ON THE ELEVATIONS.  
 -ALL DRYER VENTS @ 2ND FLOOR TO TERMINATE IN EAVE SOFFITS, U.N.O. ON THE ELEVATIONS.

**TYPICAL MATERIALS:**

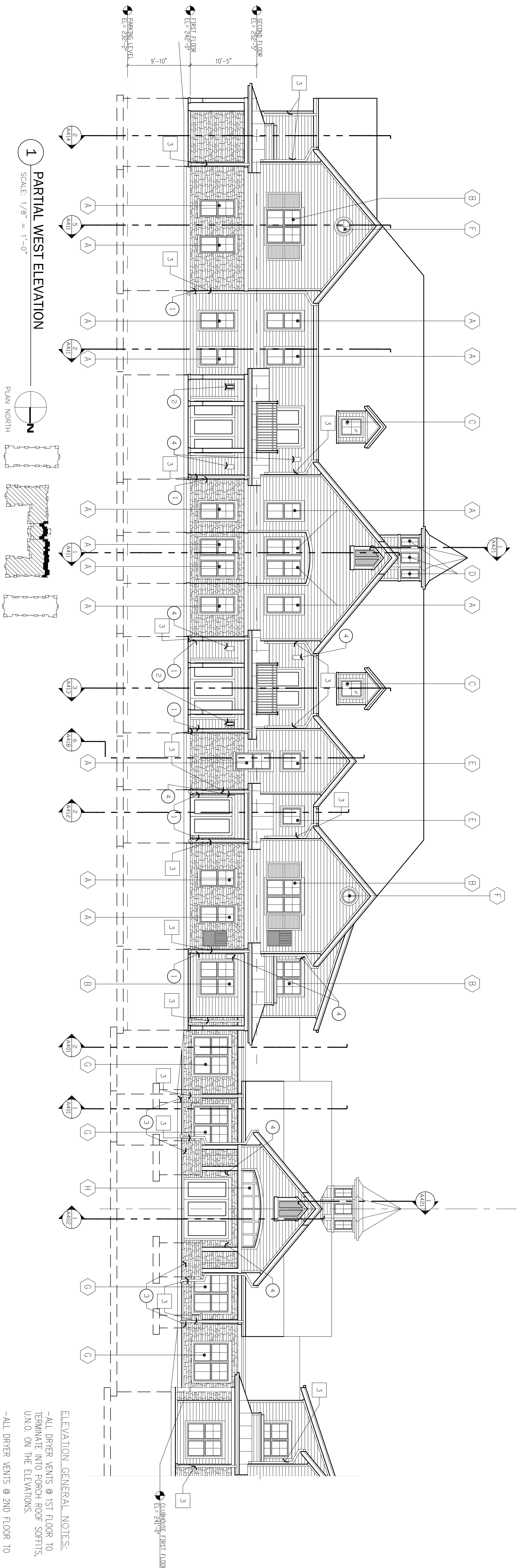
- 1 ASPHALT SHINGLES: LANDMARK PREMIUM DESIGNER SHINGLES, CERTAINTEED. COLOR: HEARTHSTONE
- 2 STUCCO FINISH ON CONCRETE FOUNDATION WALL, INTEGRAL COLOR
- 3 ALUMINUM GUTTERS & DOWNSPOUTS. COLOR TO MATCH ALCOA PERFORMANCE METALS. COLOR: PEBBLESTONE CLAY - WHERE GUTTERS DO NOT OCCUR, PROVIDE ALUMINUM WRAPPED 1x4 GABLE TRIM. COLOR: PEBBLESTONE CLAY.
- 4 ALUMINUM WRAPPED FASCIA, ALCOA, PERFORMANCE METALS COLOR: PEBBLESTONE CLAY
- 5 VINYL SIDING, ALCOA, MASTIC PREMIUM SIDING, QUEST 3 SERIES W/ 4" EXPOSURE COLOR: PEBBLESTONE CLAY.
- 6 WINDOWS - VINYL WINDOWS & TRIM - COLOR: BEIGE
- 7 PRECAST SILLS & HEAD
- 8 OMENS CORNING CULTURED STONE. COLOR: CHAROONNAY SOUTHERN LEDGESTONE (CSV-2054)
- 9 STANDING SEAM METAL ROOF COLOR = PAC-CLAD MANSARD BROWN
- 10 BALCONY TRIM, POSTS, AND RAILING - PAINTED HARDPLANK, COLOR = SAND
- 11 PAINTED WOOD COLUMNS - PAINTED HARDPLANK OR CEDAR, COLOR = SAND
- 12 VINYL TRIM, COLOR: PEBBLESTONE CLAY
- 13 PRECAST LINTEL
- 14 CUSTOM SHUTTER AS APPROVED BY OWNER. COLOR: BLACK.
- 15 INSULATED OVERHEAD DOOR. COLOR: CHESTNUT BROWN

**2 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

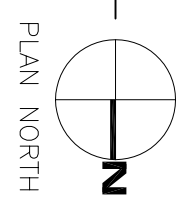


**ELEVATION KEY NOTES**

- 1 CULTURED STONE ON RETURN WALLS
- 2 FLUE TERMINATION CAP, PAINT
- 3 CULTURED STONE PIERS
- 4 LIGHT FIXTURE



**1 PARTIAL WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



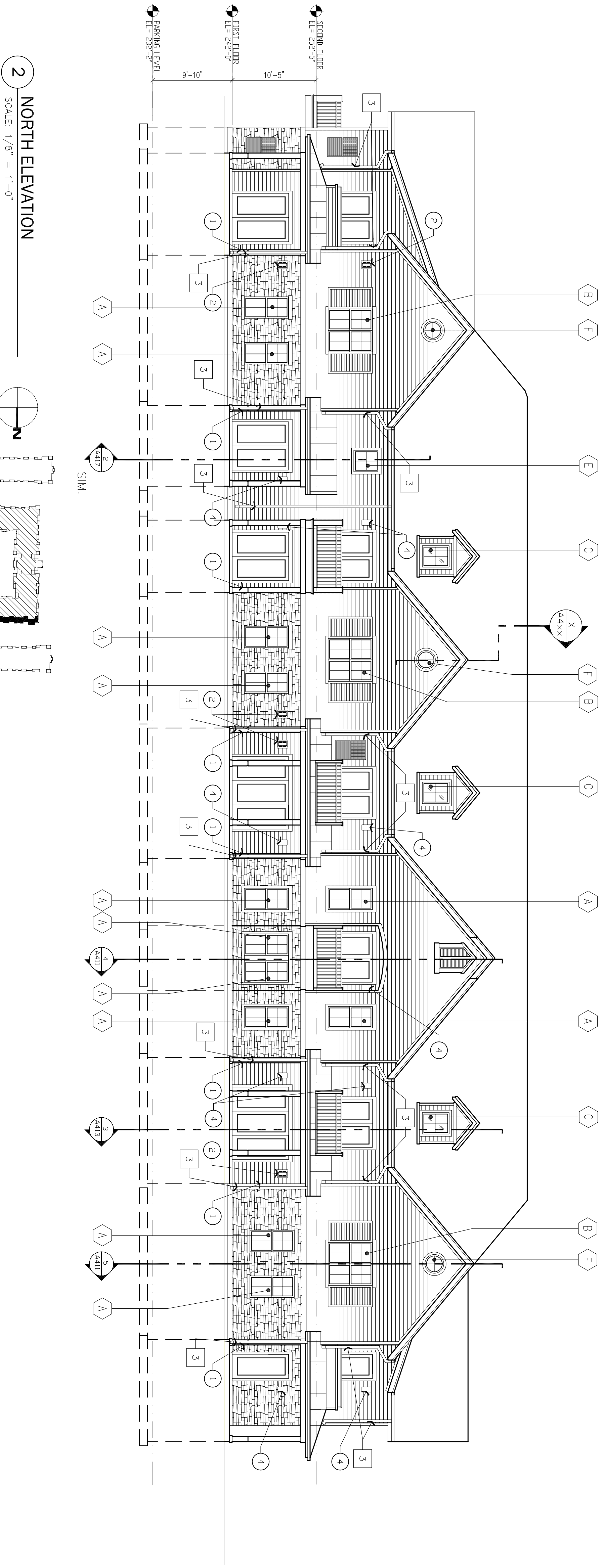
**ELEVATION GENERAL NOTES:**  
 -ALL DRYER VENTS @ 1ST FLOOR TO TERMINATE INTO PORCH ROOF SOFFITS, UN.O. ON THE ELEVATIONS.  
 -ALL DRYER VENTS @ 2ND FLOOR TO TERMINATE IN EAVE SOFFITS, UN.O. ON THE ELEVATIONS.

**TYPICAL MATERIALS:**

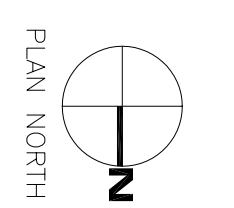
- 1 ASPHALT SHINGLES, LANDMARK PREMIUM DESIGNER SHINGLES, CERTAINTEED, COLOR: HEARTHSTONE
- 2 STUCCO FINISH ON CONCRETE FOUNDATION WALL, INTEGRAL COLOR
- 3 ALUMINUM GUTTERS & DOWNSPOUTS, COLOR TO MATCH ALCOA PERFORMANCE METALS, COLOR: PEBBLESTONE CLAY - WHERE GUTTERS DO NOT OCCUR, PROVIDE ALUMINUM WRAPPED GABLE TRIM, COLOR: PEBBLESTONE CLAY
- 4 ALUMINUM WRAPPED FASCIA, ALCOA, PERFORMANCE METALS COLOR: PEBBLESTONE CLAY
- 5 VINYL SIDING, ALCOA, MASTIC PREMIUM SIDING, QUEST 3 SERIES W/ 4" EXPOSURE COLOR: PEBBLESTONE CLAY
- 6 WINDOWS - VINYL WINDOWS & TRIM - COLOR: BRICE
- 7 PRECAST SILL & HEAD
- 8 OWENS CORNING CULTURED STONE, COLOR: CHARDONNAY SOUTHERN LEDGESTONE (CSV-2054)
- 9 STANDING SEAM METAL ROOF COLOR = PAC-CLAD MANSARD BROWN
- 10 BALCONY TRIM, POSTS, AND RAILING - PAINTED HARDPLANK, COLOR = SAND
- 11 PAINTED WOOD COLUMNS - PAINTED HARDPLANK OR CEDAR, COLOR = SAND
- 12 VINYL TRIM, COLOR: PEBBLESTONE CLAY
- 13 PRECAST LINTEL
- 14 CUSTOM SHUTTER AS APPROVED BY OWNER, COLOR: BLACK
- 15 INSULATED OVERHEAD DOOR, COLOR: CHESTNUT BROWN

**ELEVATION KEY NOTES**

- 1 CULTURED STONE ON RETURN WALLS
- 2 FLUE TERMINATION CAP, PAINT
- 3 CULTURED STONE PIERS
- 4 LIGHT FIXTURE



**2 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**Churchill Crossing**  
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 Madison, WI 53562

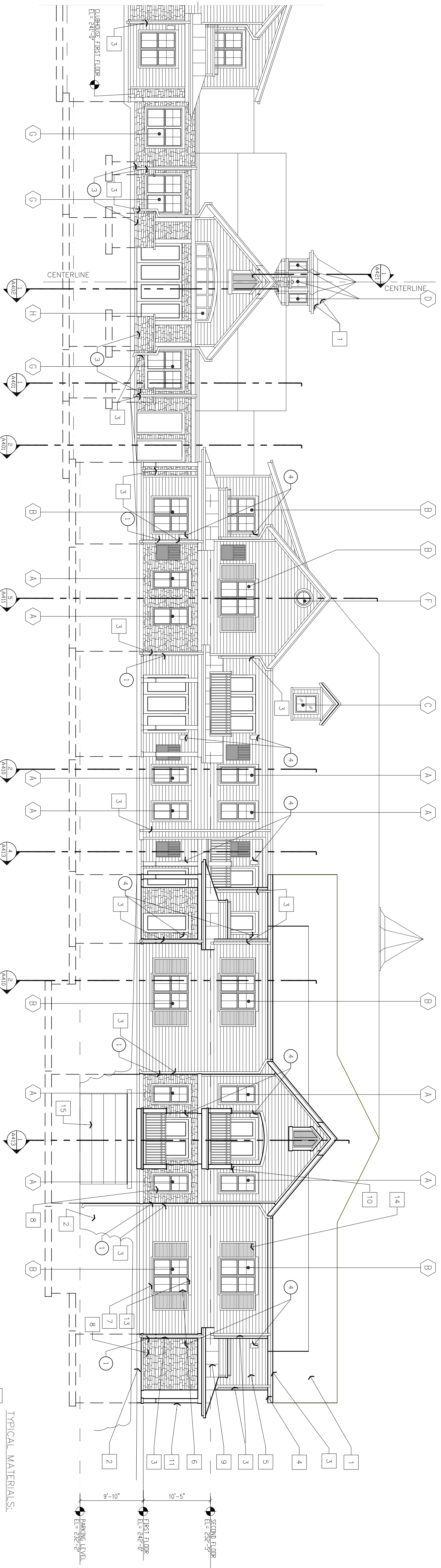
**brownhouse**  
 202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax

DWG STATUS: DATE: 19/10/07  
 MINOR ALT: 19/10/07  
 STAFL: APRR: 19/10/07  
 BID: 11/1/07  
 REVISION/NOI: DATE:

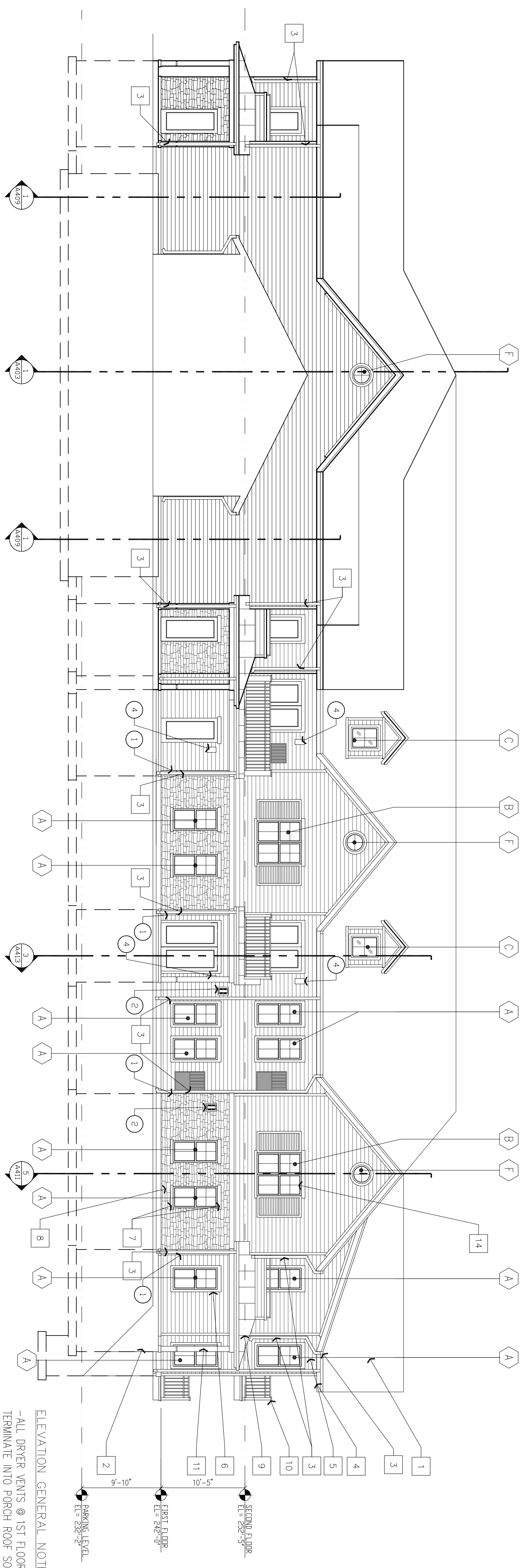
BLDS: 2&3  
 EXTERIOR  
 ELEVATIONS

**A301**





**1 PARTIAL EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 SOUTH COURTYARD ELEVATION**  
SCALE: 1/8" = 1'-0"

**TYPICAL MATERIALS:**

- 1 ASPHALT SHINGLES: LANDMARK PREMIUM DESIGNER SHINGLES. CERTAINTED COLOR: HEARTHSTONE
- 2 STUCCO FINISH ON CONCRETE FOUNDATION WALL. INTEGRAL COLOR
- 3 ALUMINUM GUTTERS & DOWNSPOUTS. COLOR TO MATCH ALCOA PERFORMANCE METALS. COLOR: PEBBLESTONE CLAY - WHERE GUTTERS DO NOT OCCUR, PROVIDE ALUMINUM WRAPPED 1x4 GABLE TRIM. COLOR: PEBBLESTONE CLAY
- 4 ALUMINUM WRAPPED FASCIA. ALCOA PERFORMANCE METALS COLOR: PEBBLESTONE CLAY
- 5 VINYL SIDING, ALCOA, MASTIC PREMIUM SIDING, QUEST 3 SERIES W/ 4" EXPOSURE COLOR: PEBBLESTONE CLAY
- 6 WINDOWS - VINYL WINDOWS & TRIM - COLOR: BEIGE
- 7 PRECAST SILL & HEAD
- 8 OWENS CORNING CULTURED STONE. COLOR: CHARONWAY SOUTHERN LEDGESTONE (CSV-2054)
- 9 STANDING SEAM METAL ROOF COLOR = PAC-CLAD MANSARD BROWN
- 10 BALCONY TRIM, POSTS, AND RAILING - PAINTED HARDPLANK. COLOR = SAND
- 11 PAINTED WOOD COLUMNS - PAINTED HARDPLANK OR CEDAR. COLOR = SAND
- 12 VINYL TRIM. COLOR: PEBBLESTONE CLAY
- 13 PRECAST LINTEL
- 14 CUSTOM SHUTTER AS APPROVED BY OWNER. COLOR: BLACK.
- 15 INSULATED OVERHEAD DOOR. COLOR: CHESTNUT BROWN

**ELEVATION KEY NOTES**

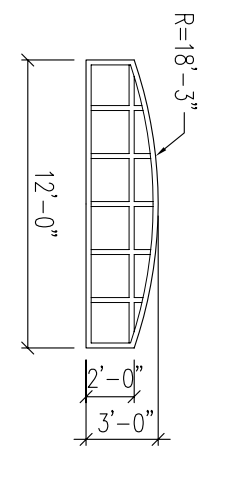
- 1 CULTURED STONE ON RETURN WALLS
- 2 FLEET TERMINATION CAP. PAINT
- 3 CULTURED STONE PIERS
- 4 LIGHT FIXTURE

**ELEVATION GENERAL NOTES:**  
-ALL DRYER VENTS @ 1ST FLOOR TO TERMINATE INTO PORCH ROOF SOFFITS, UNO. ON THE ELEVATIONS.  
-ALL DRYER VENTS @ 2ND FLOOR TO TERMINATE IN EAVE SOFFITS, UNO. ON THE ELEVATIONS.

**WINDOW SCHEDULE BUILDINGS 2 AND 3**

| ID | QTY | SIZE                  | TYPE          | APPROXIMATE ROUGH OPENING | MANUFACTURER | MODEL | REMARKS                                    |
|----|-----|-----------------------|---------------|---------------------------|--------------|-------|--|
| A  | 102 | 2'-8 3/4" x 5'-6"     | SINGLE FLUING | 6'-0" x 6'-6"             | MILGARD      |       | VINYL WINDOW W/ CLEAR INSULATED LOWE GLASS |
| B  | 32  | (2) 2'-8 3/4" x 5'-6" | SINGLE FLUING | 6'-0" x 6'-6"             | MILGARD      |       | VINYL WINDOW W/ CLEAR INSULATED LOWE GLASS |
| C  | 16  | 2'-8 3/4" x 4'        | FIXED         | 2'-8 3/4" x 4'            | MILGARD      |       | VINYL WINDOW W/ CLEAR INSULATED LOWE GLASS |
| D  | 24  | 1'-10" x 3'-0"        | FIXED         | 1'-10" x 3'-0"            | MILGARD      |       | VINYL WINDOW W/ CLEAR INSULATED LOWE GLASS |
| E  | 6   | 2'-8 3/4" x 0"        | FIXED         | 2'-8 3/4" x 0"            | MILGARD      |       | VINYL WINDOW W/ CLEAR INSULATED LOWE GLASS |
| F  | 18  | 2'-4" x 5'-6"         | SINGLE FLUING | 6'-0" x 6'-6"             | MILGARD      |       | VINYL WINDOW W/ CLEAR INSULATED LOWE GLASS |
| G  | 7   | (2) 2'-0" x 5'-6"     | SINGLE FLUING | 6'-0" x 6'-6"             | MILGARD      |       | VINYL WINDOW W/ CLEAR INSULATED LOWE GLASS |
| H  | 2   | SEE DIAGRAM           | FIXED         | SEE DIAGRAM               | MILGARD      |       | VINYL WINDOW W/ CLEAR INSULATED LOWE GLASS |

\*\*\* GENERAL CONTRACTOR TO VERIFY ARCHITECT'S SUBMITTALS OF WINDOW SCHEDULE TO OWNER. MANUFACTURER SHALL BE RESPONSIBLE FOR OBTAINING THE PRODUCT \*\*\*  
\*\*\* GENERAL CONTRACTOR TO VERIFY ARCHITECT'S SUBMITTALS OF WINDOW SCHEDULE TO OWNER. MANUFACTURER SHALL BE RESPONSIBLE FOR OBTAINING THE PRODUCT \*\*\*  
\*\*\* GENERAL CONTRACTOR TO VERIFY ARCHITECT'S SUBMITTALS OF WINDOW SCHEDULE TO OWNER. MANUFACTURER SHALL BE RESPONSIBLE FOR OBTAINING THE PRODUCT \*\*\*

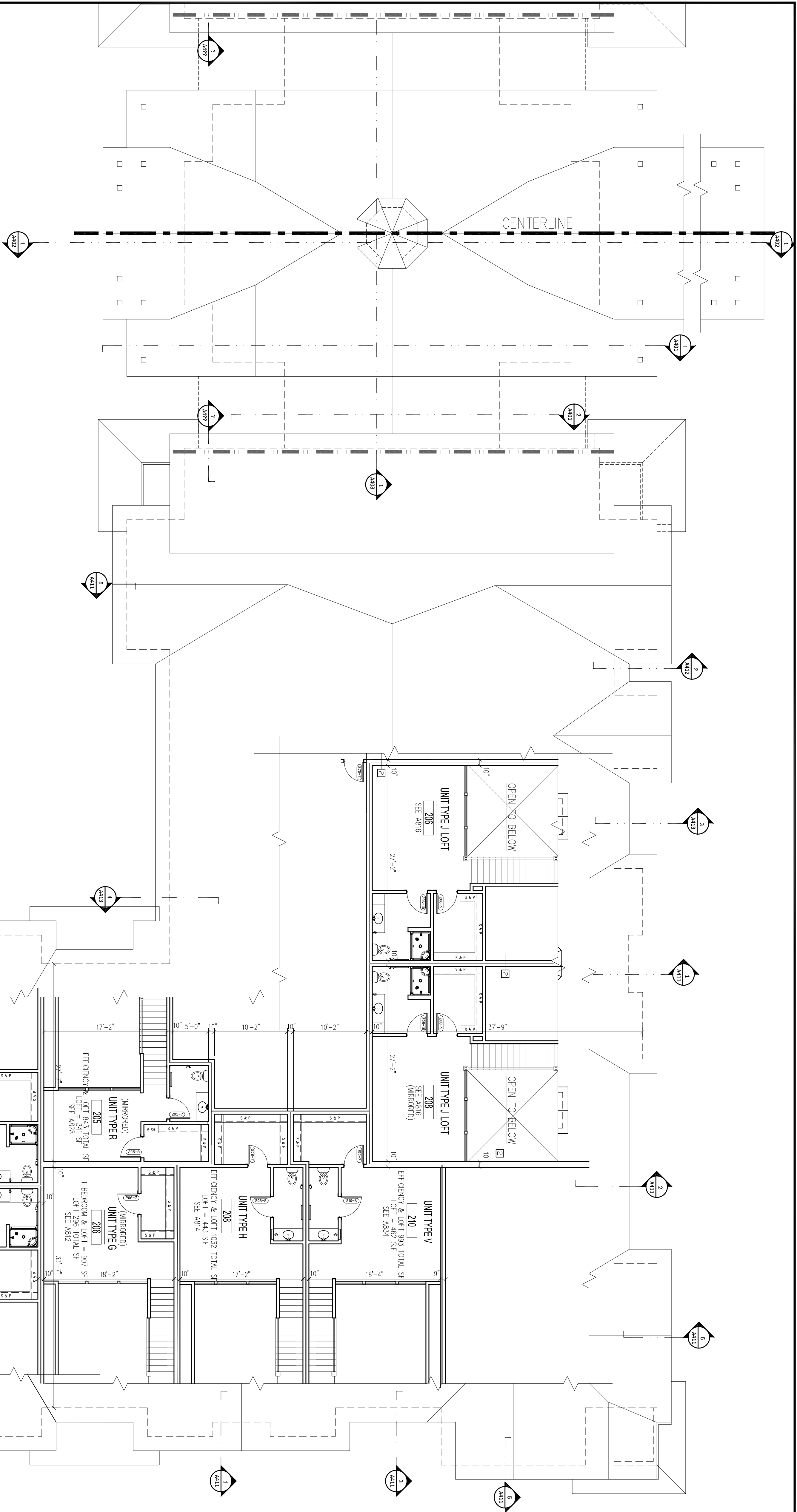


**WINDOW H**

**Churchill Crossing**  
639 Pleasant View Road  
Madison, WI 53562

**brownhouse**  
202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax

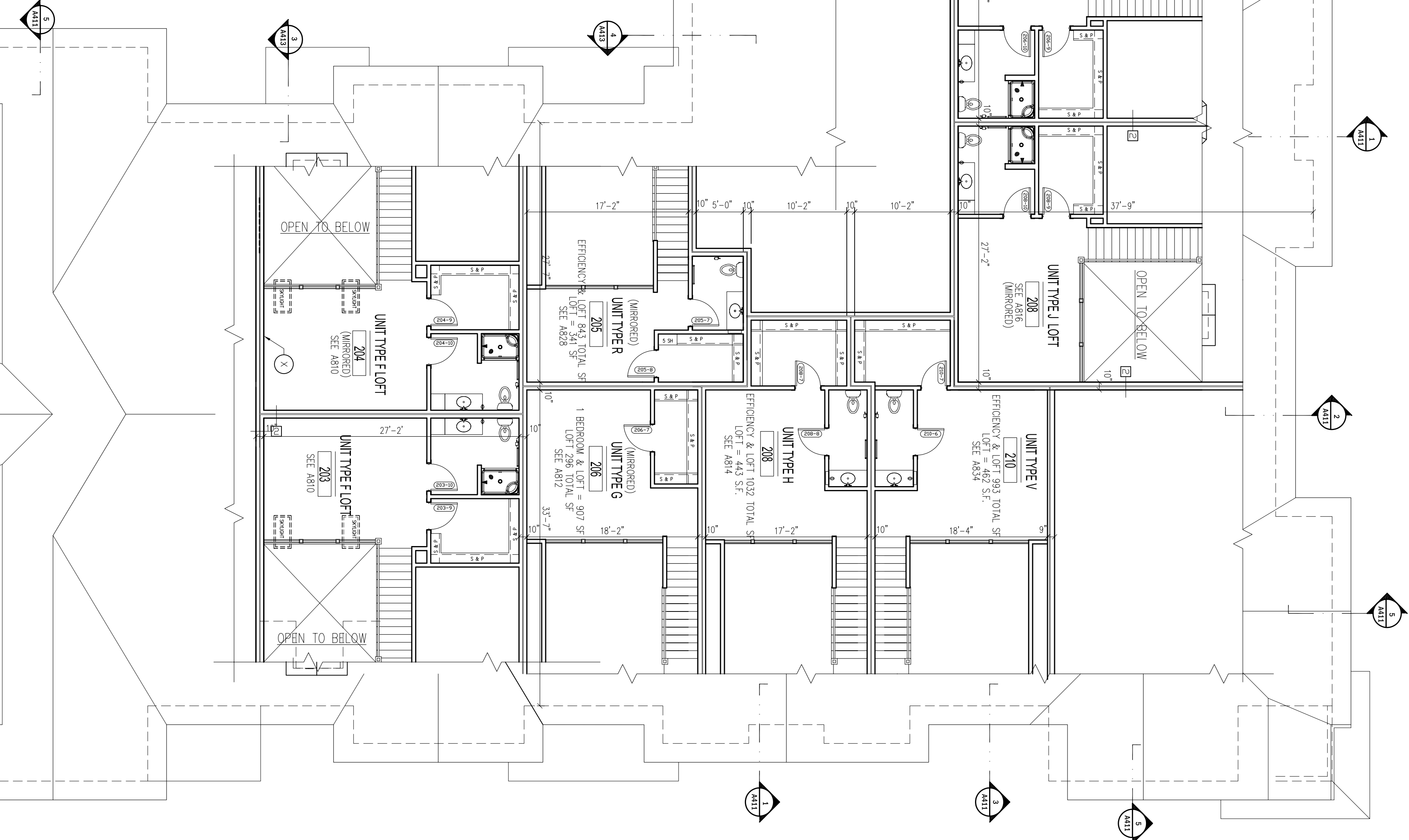
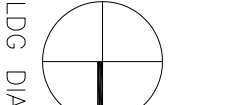
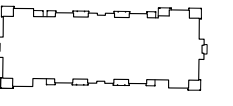
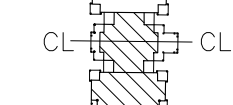
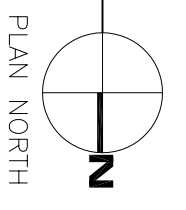
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MINOR ALT: 9/7/07  
SHEET: APRR 17/107  
BID: 11/1/07  
REVISION/NO. DATE:  
BLDS: 2x3  
EXTERIOR  
ELEVATIONS  
A300



- FLOOR PLAN NOTES**
- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL
  - 2 SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F.
  - 3 GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING STALL - SIGNAGE MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F.
  - 4 PER DETAIL A207.01
  - 5 LOCATION OF VALVES, METERS, SPRINKLER RISER, ETC.)
  - 6 TYPICAL PARKING AND TRAFFIC STRIPING, 4" OF 4" LINE.
  - 7 PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT VOID STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
  - 8 CONCRETE STOMP
  - 9 UNIT HEATER - GAS FIRED, CEILING HUNG
  - 10 NOT USED
  - 11 ALIGN SPACE OF GWB W/ FACE OF CONCRETE
  - 12 ALIGN FACE OF CMU W/ FACE OF CONCRETE
  - 13 CENTER DODGE IN STORAGE UNIT
  - 14 TELEPHONE ENTRY SYSTEM, SEE A207.01 & 02
  - 15 TELEPHONE/EQUIPMENT PRODUCT LIST, SHEET A207.01B
  - 16 HANDRAILS

**1 PARTIAL SECOND FLOOR LOFT PLAN**

SCALE: 1/8" = 1'-0"

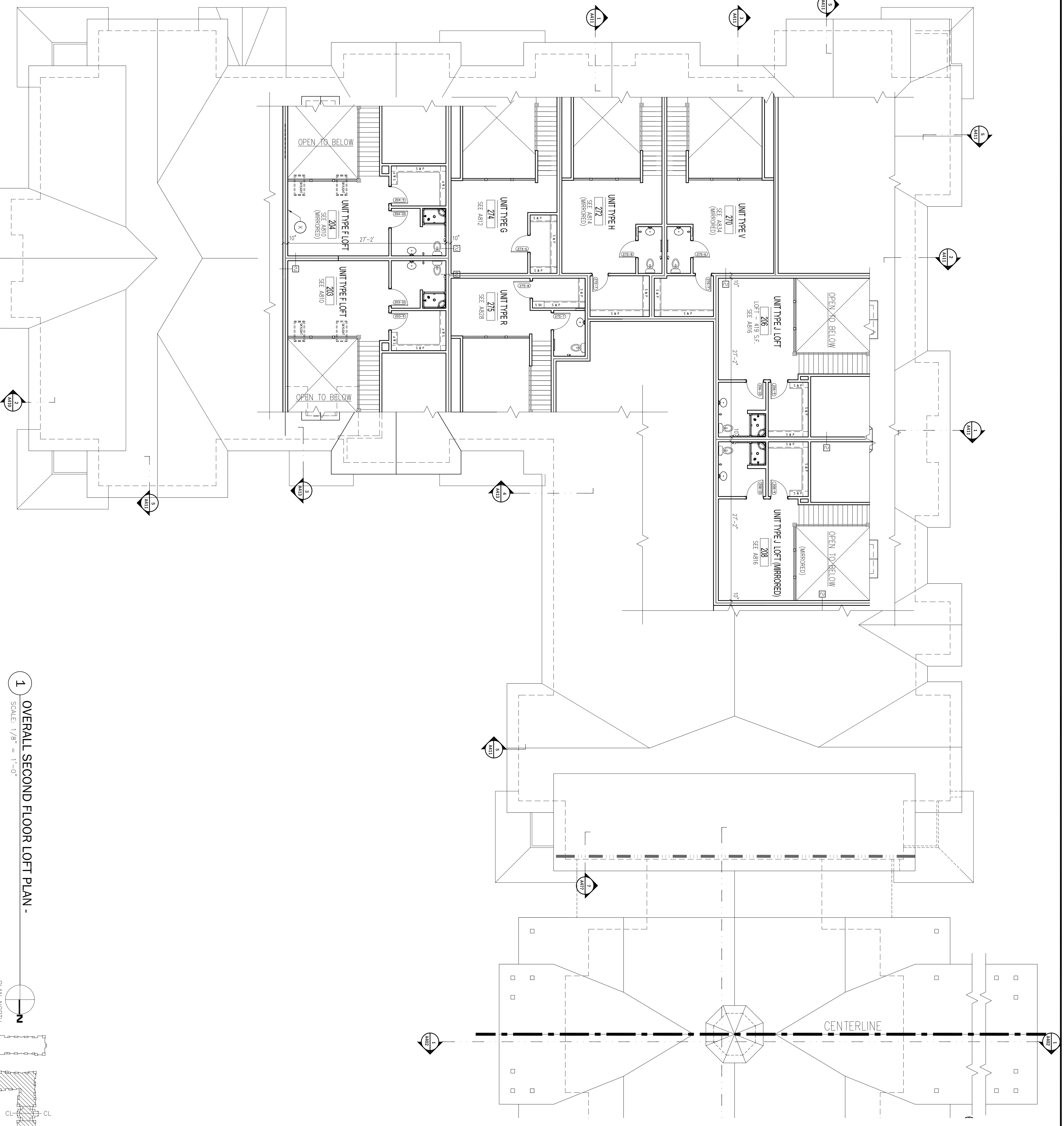


**Churchill Crossing**  
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 Madison, WI 53562

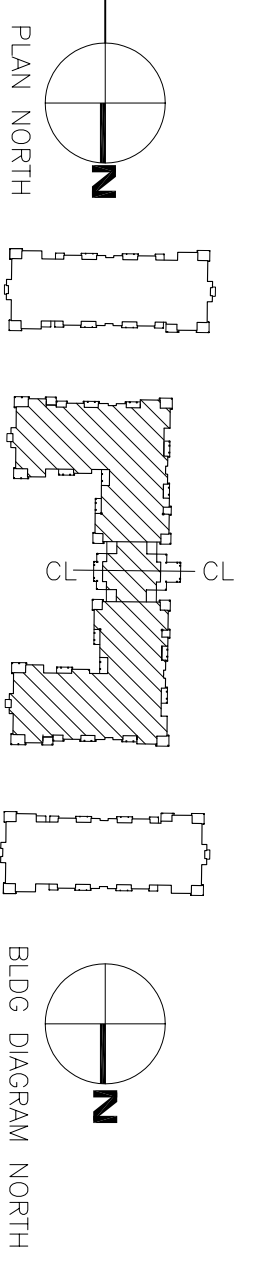
**brownhouse**  
 202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax

FLOOR PLAN  
 A207

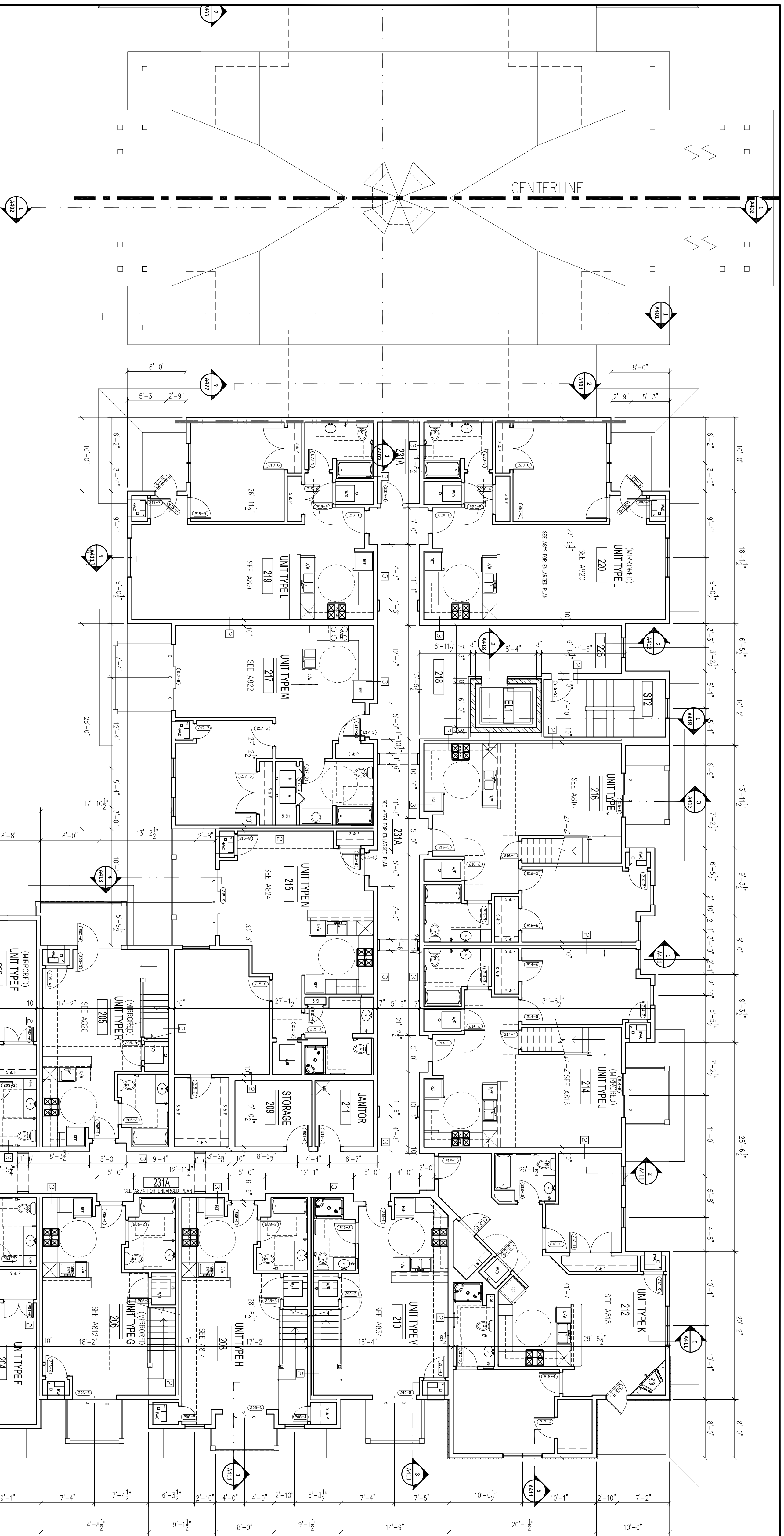
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| DWG. STATUS/DATE:   | MINOR ALT 12/10/07 |
| START APPR 12/10/07 |                    |
| REV. NO. DATE:      | 11.15.07           |
| REVISION/NO. DATE:  |                    |



1 OVERALL SECOND FLOOR LOFT PLAN -  
SCALE: 1/8" = 1'-0"

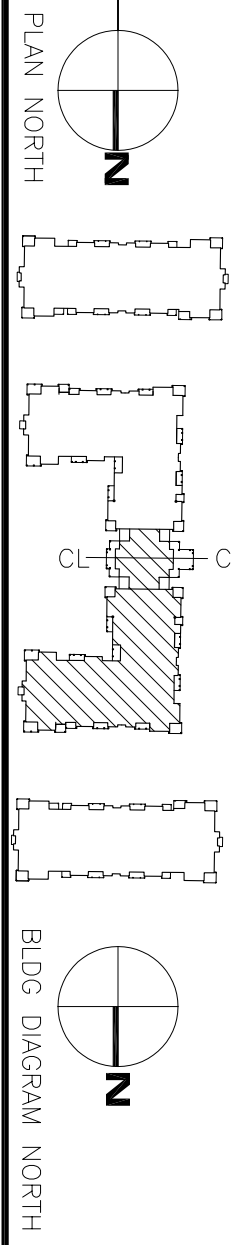


- FLOOR PLAN NOTES**
- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL STORAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F.
  - 2 GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F. **PER DETAIL (XXXX).**
  - 3 LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
  - 4 TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE, WHITE PAINT, MEASUREMENTS TO CENTER LINE.
  - 5 PROVIDE PRESSURE TREATED DOUBLE SILL PLATE FOR ALL WOOD-FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
  - 6 CONCRETE STIOP
  - 7 UNIT HEATER - GAS FIRED, CEILING HUNG
  - 8 NOT USED
  - 9 ALIGN SPACE OF GUB W/ FACE OF CONCRETE
  - 10 ALIGN FACE OF CMU W/ FACE OF CONCRETE
  - 11 CENTER DOOR IN STORAGE UNIT
  - 12 TELEPHONE ENTRY SYSTEM, SEE APPLIANCE/EQUIPMENT PRODUCT LIST, SHEET A701, E-18
  - 13 HANDRAILS



- FLOOR PLAN NOTES**
- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" AFF.
  - 2 GALVANIZED PILE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" AFF., PER DETAIL 05/XXX.
  - 3 LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC).
  - 4 TYPICAL PARKING AND TRAFFIC STRIPING, 4" VERTICAL PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
  - 5 PROVIDE PRESSURE TREATED DOUBLE STILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS.
  - 6 CONCRETE STOOP.
  - 7 UNIT HEATER - GAS FIRED, CEILING HUNG NOT USED.
  - 8 ALIGN SPACE OF GWB W/ FACE OF CONCRETE.
  - 9 ALIGN FACE OF CMU W/ FACE OF CONCRETE.
  - 10 CENTER DOOR IN STORAGE UNIT.
  - 11 TELEPHONE ENTRY SYSTEM. SEE APPLIANCE/EQUIPMENT PRODUCT LIST, SHEET A701, E-18.
  - 12 HANDRAILS.

1 PARTIAL SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



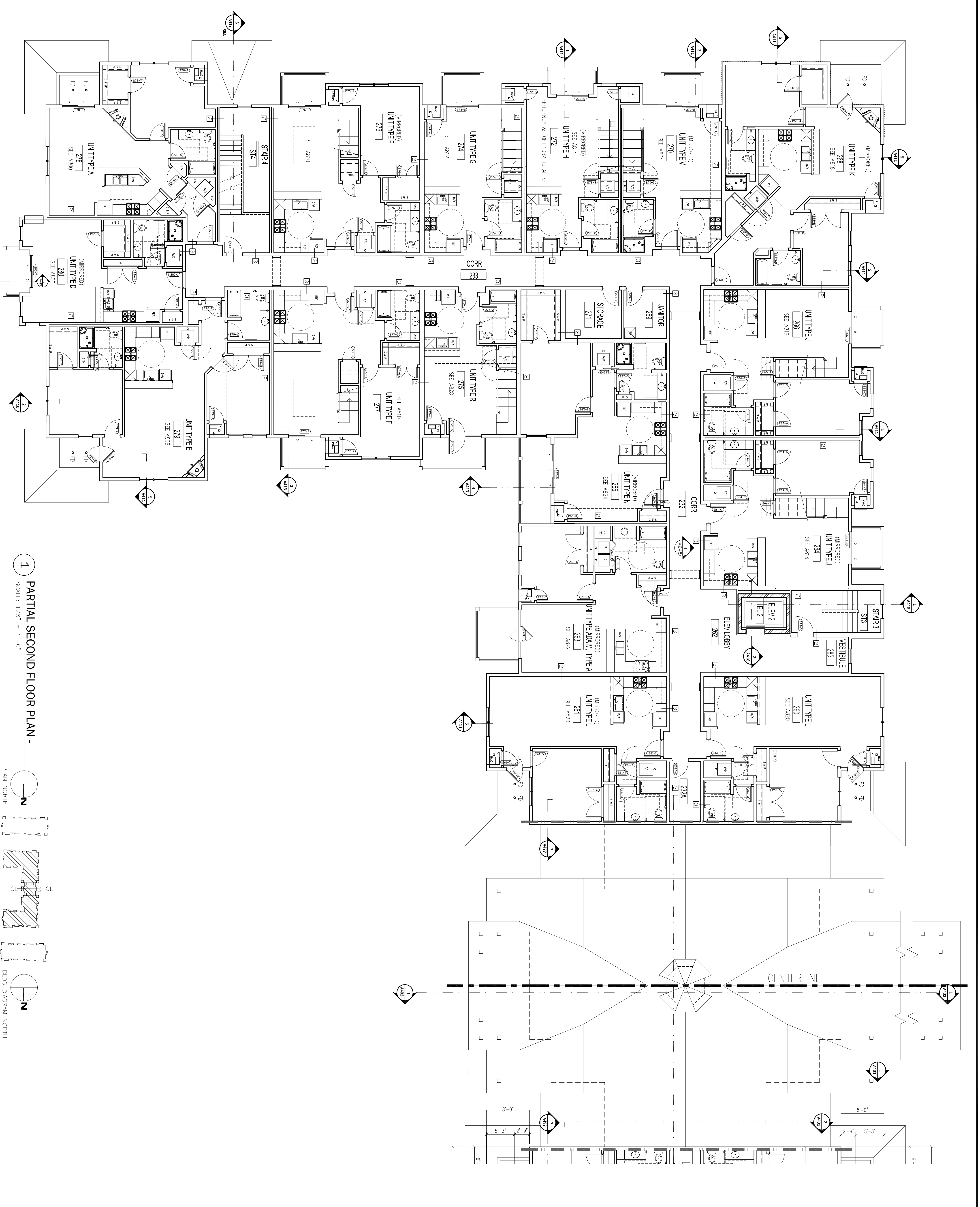
**Churchill Crossing**  
639 Pleasant View Road  
Madison, WI 53562

DWG STATUS/DATE:  
MINOR ALT 19/10/07  
STAR APPR 19/10/07  
BD 11/15/07  
REVISION/NO. DATE:

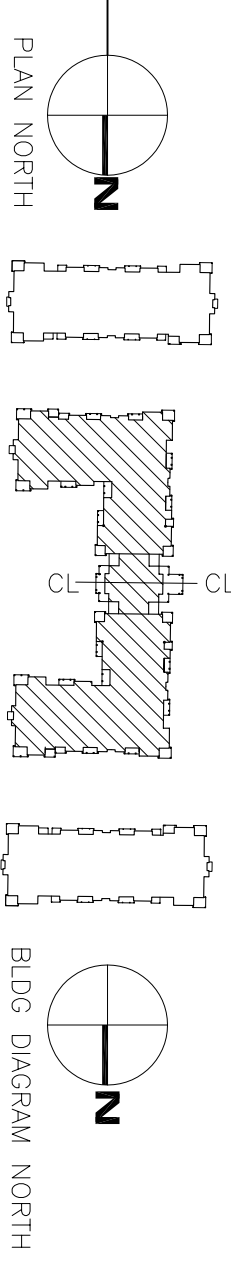
**brownhouse**  
202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5151 fax

FLOOR PLAN

**A205**



1 PARTIAL SECOND FLOOR PLAN -  
SCALE: 1/8" = 1'-0"



- FLOOR PLAN NOTES**
- 1 VAIL-MOUNTED ACCESSIBLE PARKING STALL A.F.F. STORAGE HOOK BOTTOM OF STON @ 5'-0"
  - 2 GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING STALL STORAGE HOOK BOTTOM OF STON @ 5'-0" A.F.F. PER DETAIL (X/XXXX).
  - 3 LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
  - 4 TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
  - 5 PROVIDE PRESSURE TREATED DOUBLE SILL IN BASEMENT STORAGE ROOMS
  - 6 CONCRETE STOODP
  - 7 UNIT HEATER - GAS FIRED, CEILING HUNG NOT USED
  - 8 ALIGN SPACE OF GWB W/ FACE OF CONCRETE
  - 9 ALIGN FACE OF CMU W/ FACE OF CONCRETE
  - 10 CENTER DOOR IN STORAGE UNIT
  - 11 TELEPHONE ENTRY SYSTEM SEE APPLIANCE/EQUIPMENT PRODUCT LIST SHEET A701, E-18
  - 12 HANDRAILS



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# Churchill Crossing

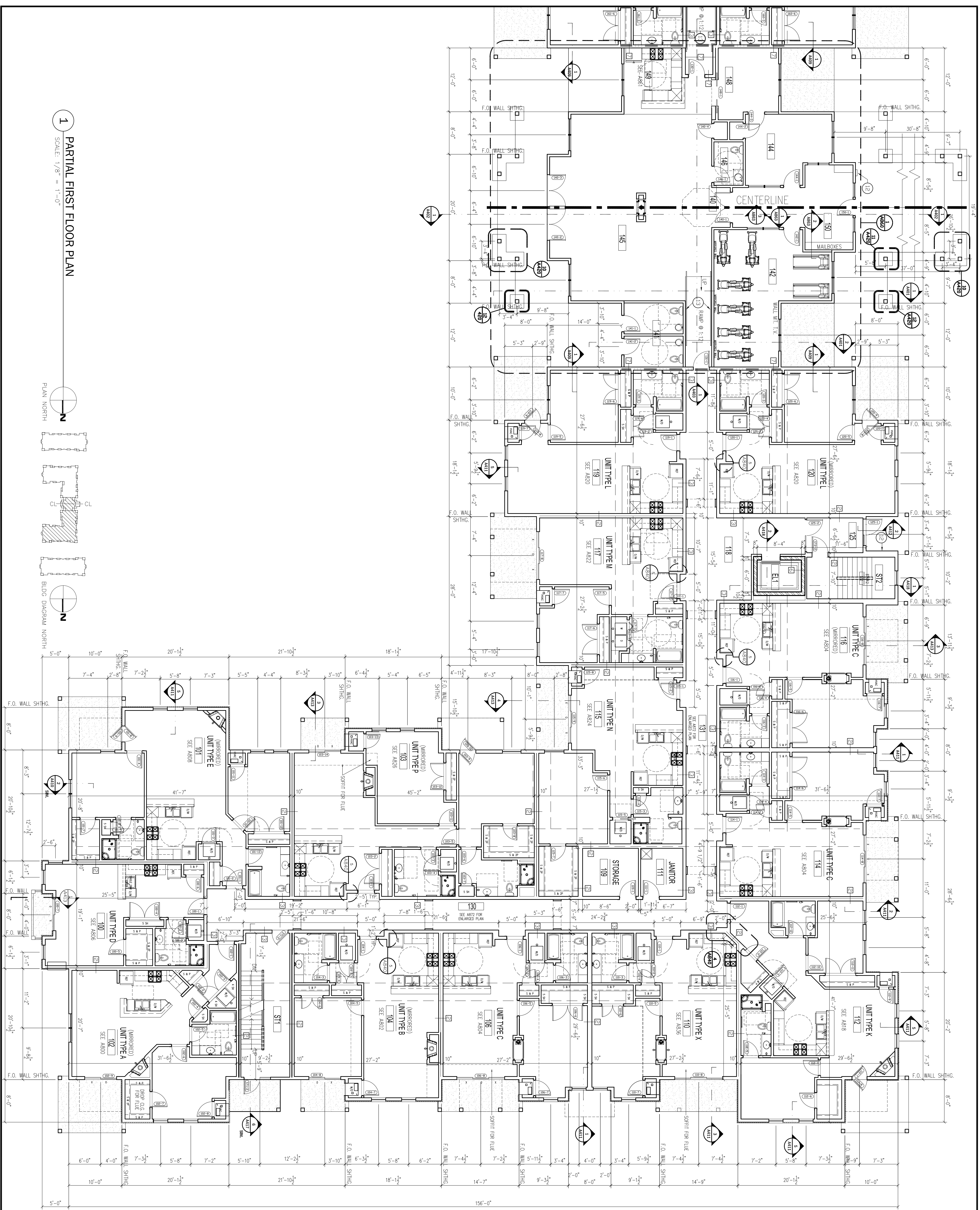
639 Pleasant View Road  
Madison, WI 53562

DWG STATUS/DATE:  
MINOR AIT 10/10/07  
STAFF APPR 10/10/07  
BD 11/15/07  
REVISION/NO. DATE:

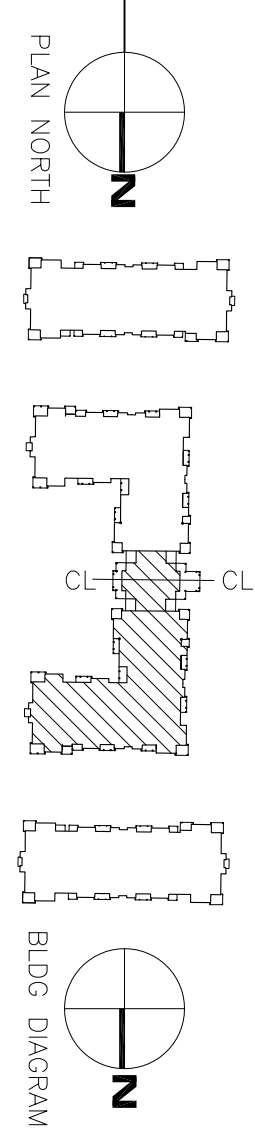
FLOOR PLAN

A204

- FLOOR PLAN NOTES**
- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" AFF. GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" AFF. **PER DETAIL CXXXXX.**
  - 2 LOCATION OF WATER SERVICE ENTRY AND RISER, EQUIPMENT VALVES, METERS, SPRINKLER RISER, ETC.
  - 3 TYPICAL PARKING AND TRAFFIC STRIPING, 4" DIA. WHEEL PAINT, MEASUREMENTS TO CENTER OF 4" WHEEL PAINT.
  - 4 PROVIDE PRESSURE TREATED DOUBLE SILL PLATE AT STOOD'S TYPICALLY PARTITIONS IN CONCRETE STOOD.
  - 5 UNIT HEATER - GAS FIRED, CEILING HUNG NOT USED
  - 6 ALIGN SPACE OF GVB W/ FACE OF CONCRETE
  - 7 ALIGN FACE OF CWU W/ FACE OF CONCRETE
  - 8 CENTER DOOR IN STORAGE UNIT
  - 9 TELEPHONE ENTRY SYSTEM, SEE LIST SHEET A701, E-18
  - 10 APPLIANCE/EQUIPMENT PRODUCT LIST SHEET HANDRAILS
  - 11
  - 12
  - 13

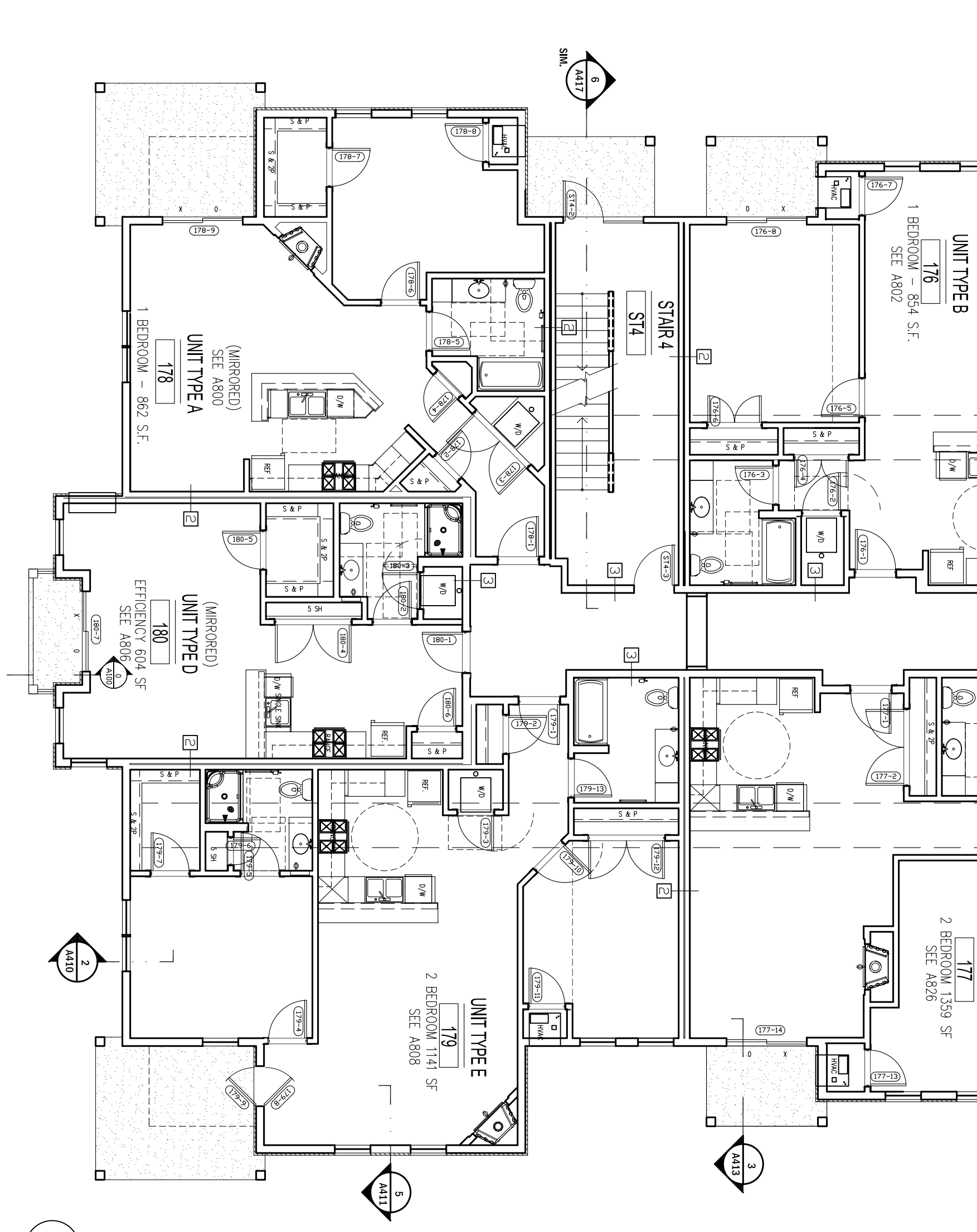
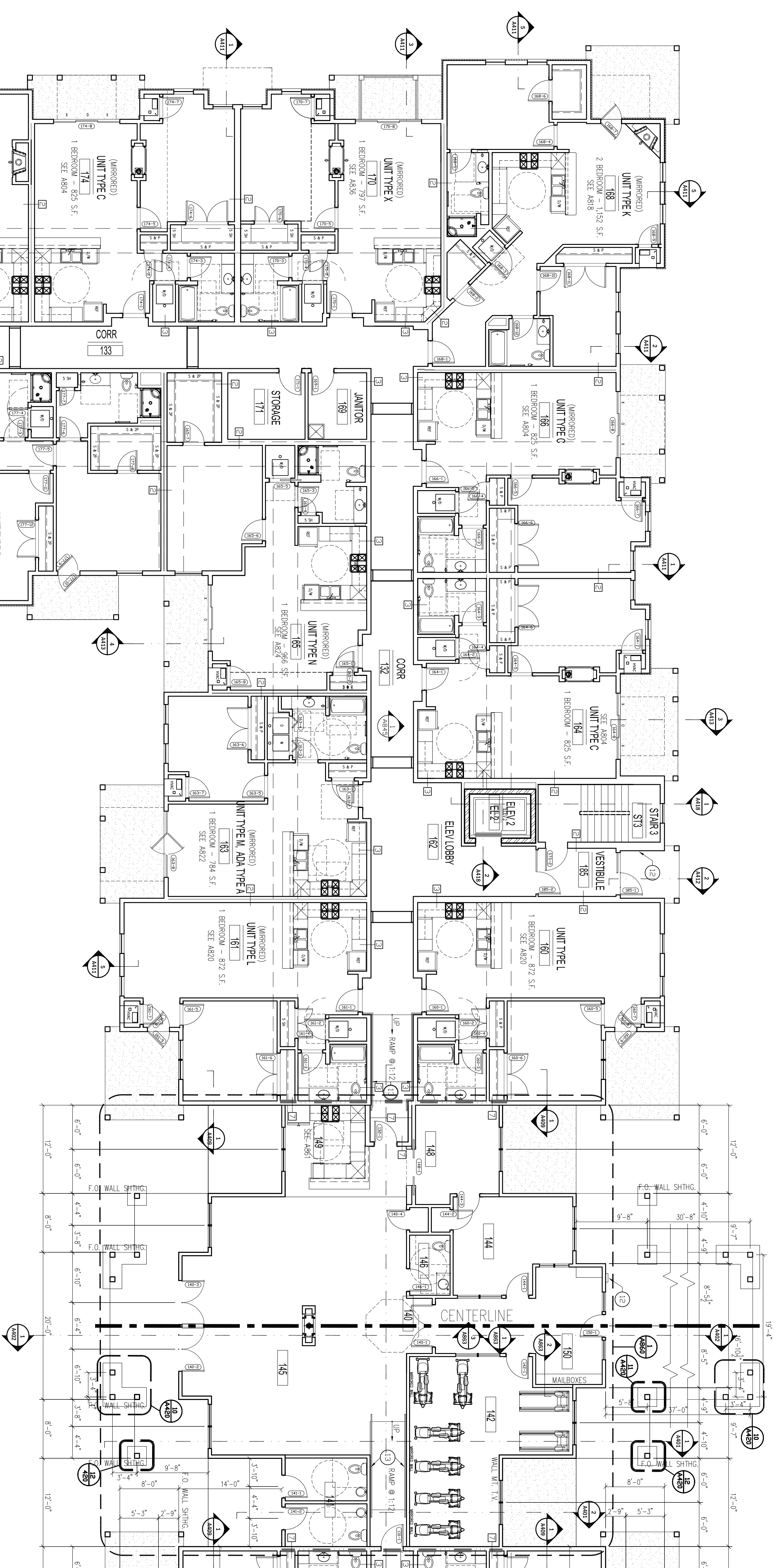


**1 PARTIAL FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

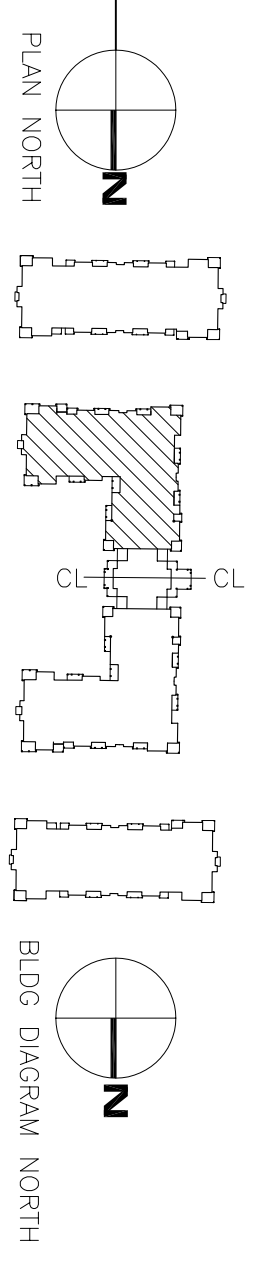


# Churchill Crossing

639 Pleasant View Road  
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1 PARTIAL FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



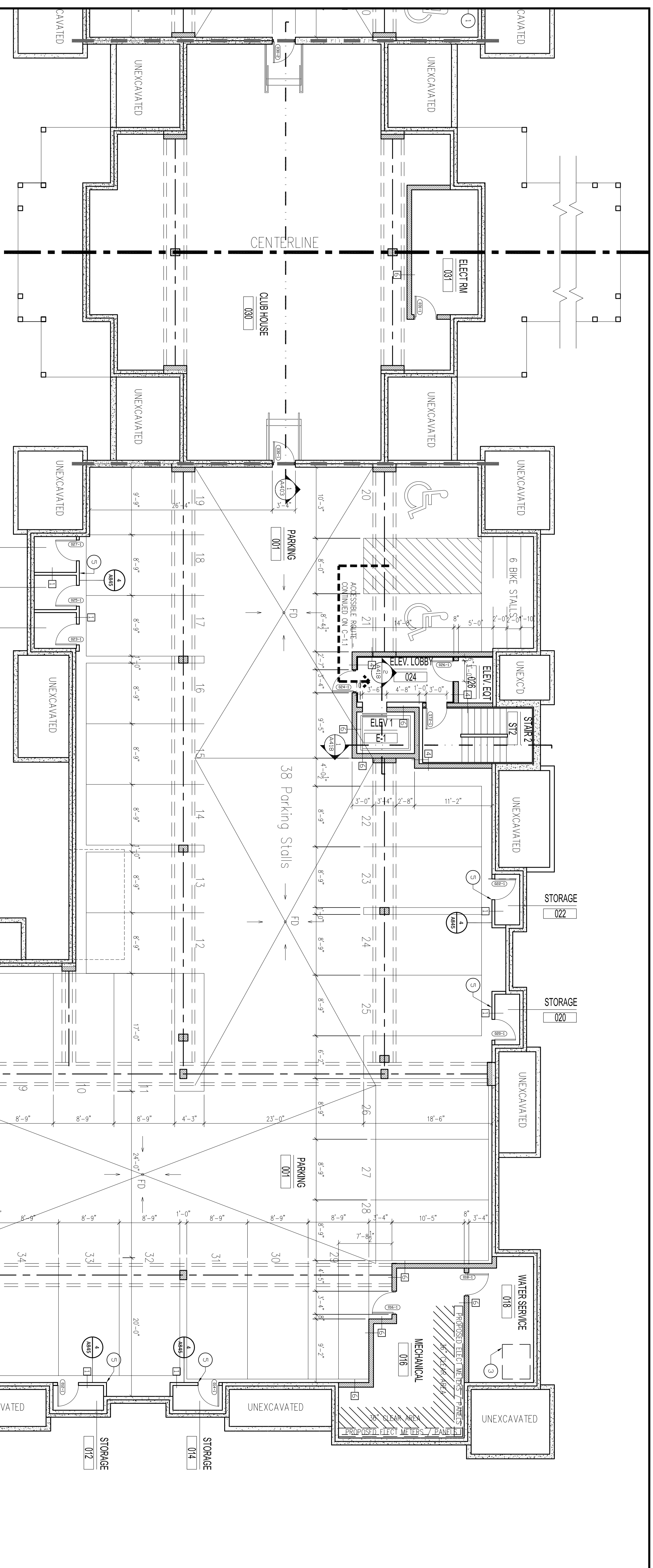
- FLOOR PLAN NOTES
- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL STORAGE - MOUNT BOTTOM OF SIGN @ 5'-0" AFF.
  - 2 GALVANIZED POLE-MOUNTED ACCESSIBLE PARKING STALL STORAGE - MOUNT BOTTOM OF SIGN @ 5'-0" AFF. PER DETAIL (V/XXX).
  - 3 LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.).
  - 4 TYPICAL PARKING AND TRAFFIC STRIPPING, 4" WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
  - 5 PROVIDE PRESSURE TREATED DOUBLE STILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS.
  - 6 CONCRETE STIOP.
  - 7 UNIT HEATER - GAS FRED. CEILING HANG NOT LISTED.
  - 8 ALIGN SPACE OF GVB W/ FACE OF CONCRETE.
  - 9 ALIGN SPACE OF CMU W/ FACE OF CONCRETE.
  - 10 CENTER DOOR IN STORAGE UNIT.
  - 11 TELEPHONE ENTRY SYSTEM. SEE APPEARANCE/EQUIPMENT PRODUCT LIST, SHEET 4701, E-18.
  - 12 TELEPHONE ENTRY SYSTEM. SEE APPEARANCE/EQUIPMENT PRODUCT LIST, SHEET 4701, E-18.
  - 13 HANDRAILS.

**Churchill Crossing**  
639 Pleasant View Road  
Madison, WI 53562

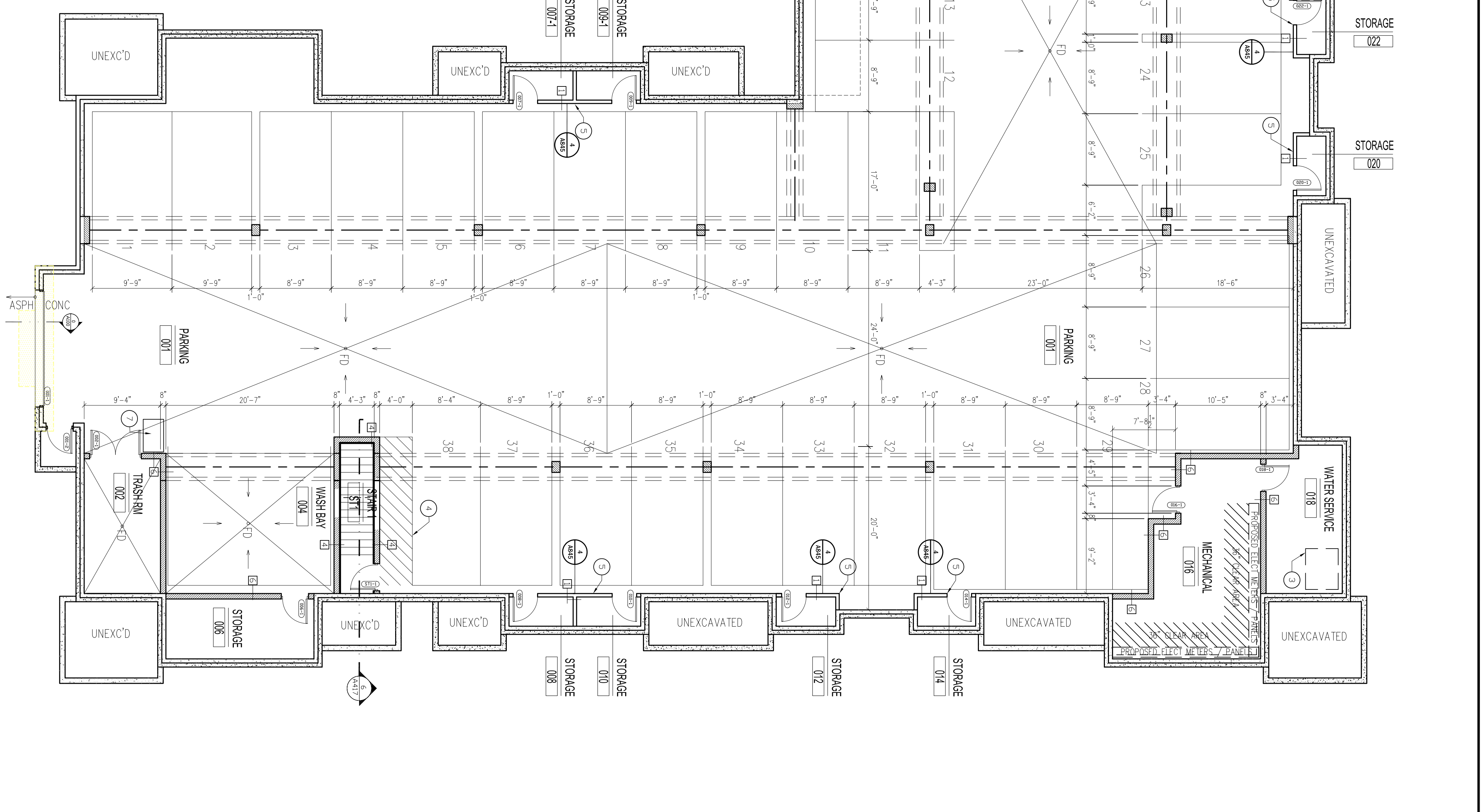
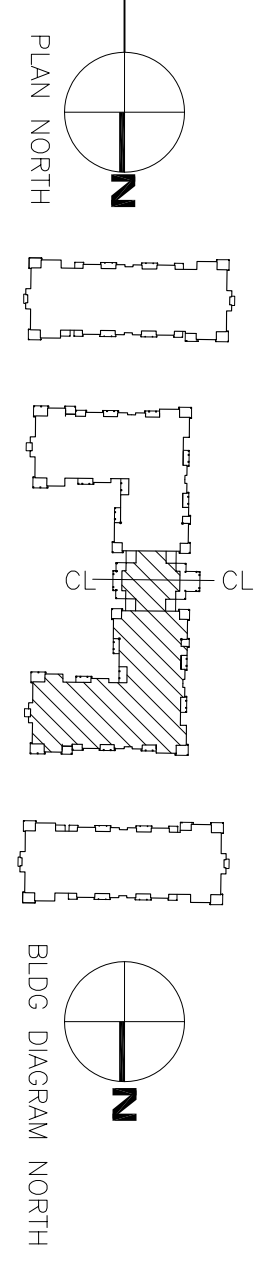
**brownhouse**  
202 West Gorham St. Madison, WI 53703 608.663.5100 608.663.5115 fax

FLOOR PLAN  
A202

|                     |                    |
|---------------------|--------------------|
| DWG STATUS/DATE:    | MINOR ALT 10/10/07 |
| START APPR 10/10/07 | BD 11/15/07        |
| REVISION/NO. DATE:  |                    |



1 PARTIAL BASEMENT PLAN  
SCALE: 1/8" = 1'-0"



- FLOOR PLAN NOTES**
- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F.
  - 2 GALVANIZED POLY-MOUNTED ACCESSIBLE PARKING STALL SIGNAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F. **PER DETAIL (X/XXXX).**
  - 3 LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, TYPICAL PARKING AND TRAFFIC STRIPING, 4" DEEP WHITE PAINT), MEASUREMENTS TO CENTER OF 4" LINE.
  - 4 PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS.
  - 5 CONCRETE STOPP.
  - 6 UNIT HEATER - GAS FIRED, CEILING HUNG NOT USED.
  - 7 ALIGN SPACE OF GVB W/ FACE OF CONCRETE.
  - 8 ALIGN FACE OF CMU W/ FACE OF CONCRETE.
  - 9 CENTER DOOR IN STORAGE UNIT.
  - 10 TELEPHONE ENTRY SYSTEM, SEE APPLIANCE/EQUIPMENT PRODUCT LIST, SHEET A701, E-18.
  - 11 HANDRAILS.

# Churchill Crossing

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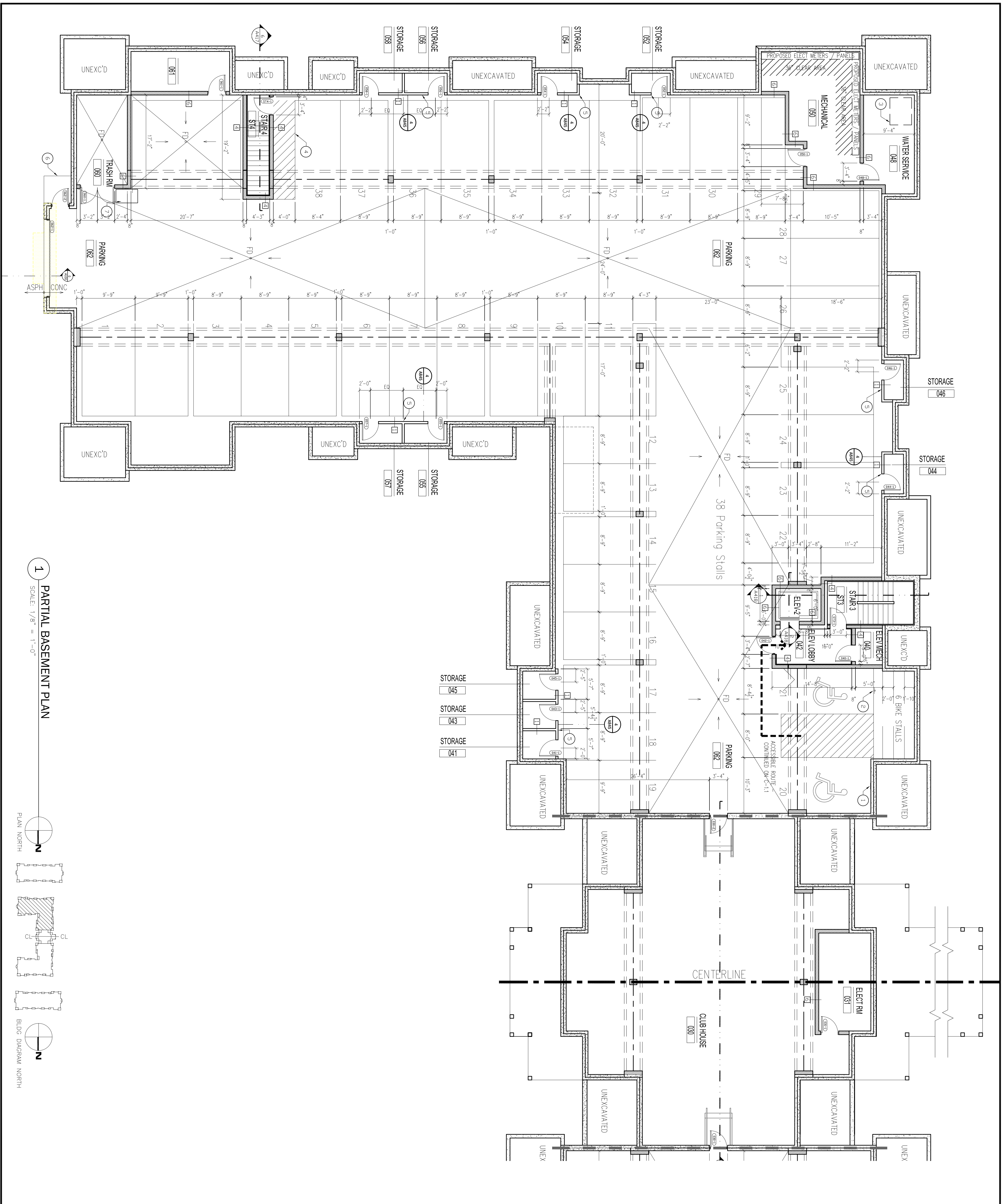
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**A201**

FLOOR PLAN

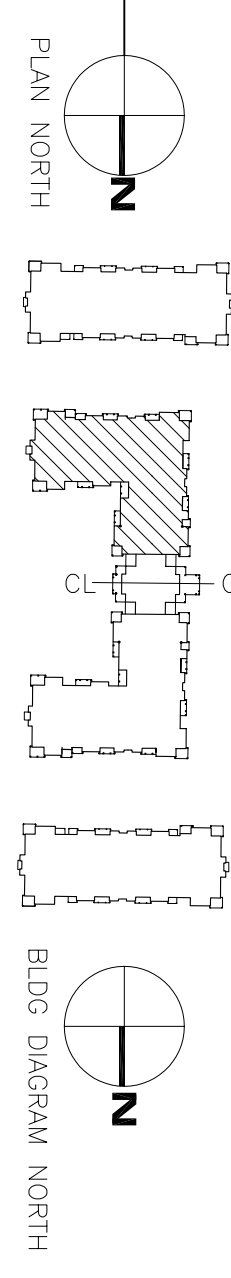
DWG STATUS/DATE:  
MINOR ALT 19/10/07  
START APPR 19/10/07  
BD 11/15/07  
REVISION/NO. DATE:





- FLOOR PLAN NOTES**
- 1 WALL-MOUNTED ACCESSIBLE PARKING STALL
  - 2 STORAGE - MOUNT BOTTOM OF SIGN @ 5'-0" A.F.F. GALVANIZED PILE-MOUNTED ACCESSIBLE PARKING SIGN - REFER **PER DETAIL 02XXXX** OF SIGN @ 5'-0" A.F.F.
  - 3 LOCATION OF WATER SERVICE ENTRY AND EQUIPMENT (VALVES, METERS, SPRINKLER RISER, ETC.)
  - 4 TYPICAL PARKING AND TRAFFIC STRIPING, 4" WIDE WHITE PAINT, MEASUREMENTS TO CENTER OF 4" LINE.
  - 5 PROVIDE PRESSURE TREATED DOUBLE SILL PLATES AT WOOD STUD FRAMED PARTITIONS IN BASEMENT STORAGE ROOMS
  - 6 CONCRETE STUOP
  - 7 UNIT HEATER - GAS FIRED, CEILING HUNG
  - 8 NOT USED
  - 9 ALIGN SPACE OF GWB W/ FACE OF CONCRETE
  - 10 ALIGN FACE OF CMU W/ FACE OF CONCRETE
  - 11 CENTER DOOR IN STORAGE UNIT
  - 12 TELEPHONE ENTRY SYSTEM, SEE APPLIANCE/EQUIPMENT PRODUCT LIST, SHEET A701, E-18
  - 13 HANDRAILS

**1 PARTIAL BASEMENT PLAN**  
SCALE: 1/8" = 1'-0"



DWG STATUS/DATE:  
MINOR ALT 19/10/07  
START APRR 19/10/07  
BD 11/13/07  
REVISION/NO. DATE:

# Churchill Crossing

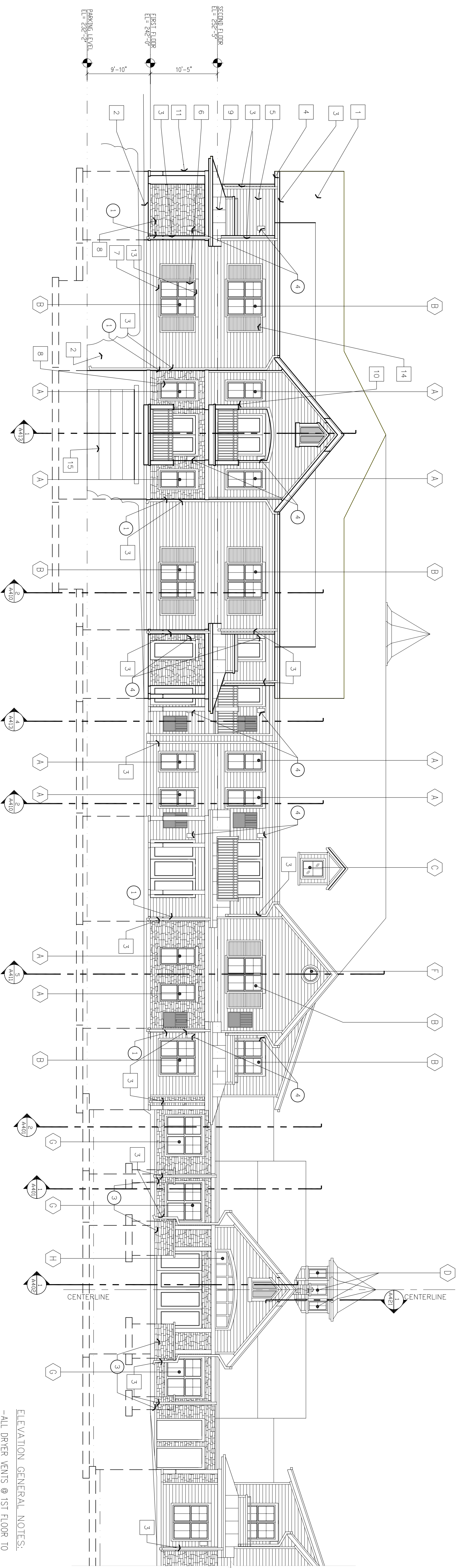
639 Pleasant View Road  
Madison, WI 53562



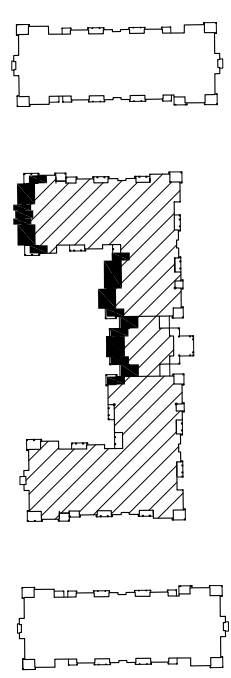
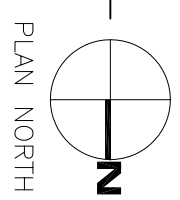
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A200

FLOOR PLAN



**1 PARTIAL EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

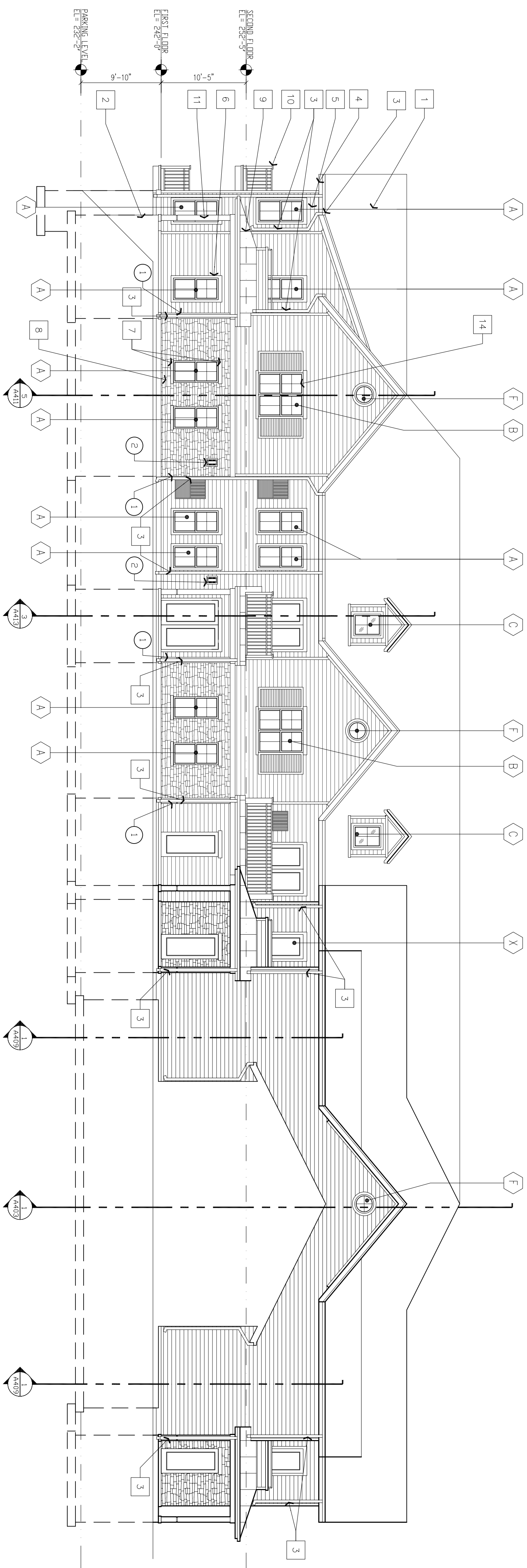
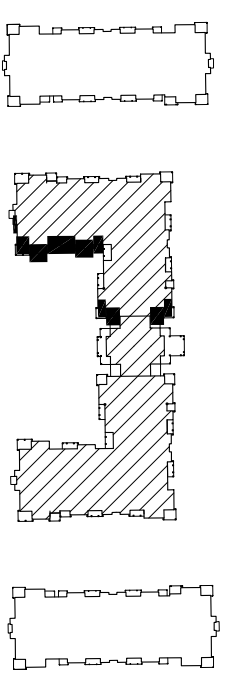
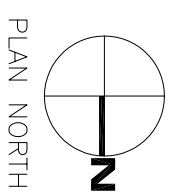


ELEVATION GENERAL NOTES:  
-ALL DRYER VENTS @ 1ST FLOOR TO TERMINATE INTO PORCH ROOF SOFFITS, U.N.O. ON THE ELEVATIONS.  
-ALL DRYER VENTS @ 2ND FLOOR TO TERMINATE IN EAVE SOFFITS, U.N.O. ON THE ELEVATIONS.

TYPICAL MATERIALS:

- 1 ASPHALT SHINGLES, LANDMARK PREMIUM DESIGNER SHINGLES, CERTAINTED. COLOR: HEARTHSTONE
- 2 STUCCO FINISH ON CONCRETE FOUNDATION WALL, INTEGRAL COLOR
- 3 ALUMINUM GUTTERS & DOWNSPOUTS, COLOR TO MATCH ALCOA. PERFORMANCE METALS, COLOR: PEBBLESTONE CLAY. WHERE GUTTERS DO NOT OCCUR, PROVIDE ALUMINUM WRAPPED 1x4 GABLE TRIM, COLOR: PEBBLESTONE CLAY.
- 4 ALUMINUM WRAPPED FASCIA, ALCOA, PERFORMANCE METALS COLOR: PEBBLESTONE CLAY
- 5 VINYL SIDING, ALCOA, MASTIC PREMIUM SIDING, QUEST 3 SERIES W/ 4" EXPOSURE COLOR: PEBBLESTONE CLAY.
- 6 WINDOWS - VINYL WINDOWS & TRIM - COLOR: BEIGE
- 7 PRECAST SILL & HEAD
- 8 OWENS CORNING CULTURED STONE, COLOR: CHARONWAY SOUTHERN LEDGESTONE (CSY-2054)
- 9 STANDING SEAM METAL ROOF COLOR = PAC-CLAD MANSARD BROWN
- 10 BALCONY TRIM, POSTS, AND RAILING - PAINTED HARDPLANK, COLOR = SAND
- 11 PAINTED WOOD COLUMNS - PAINTED HARDPLANK OR CEDAR, COLOR = SAND
- 12 VINYL TRIM, COLOR: PEBBLESTONE CLAY
- 13 PRECAST UNTEL
- 14 CUSTOM SHUTTER AS APPROVED BY OWNER, COLOR: BLACK.
- 15 INSULATED OVERHEAD DOOR, COLOR: CHESTNUT BROWN

**2 NORTH COURTYARD ELEVATION**  
SCALE: 1/8" = 1'-0"



ELEVATION KEY NOTES

- 1 CULTURED STONE ON RETURN WALLS
- 2 FLUE TERMINATION CAP, PAINT
- 3 CULTURED STONE PIERS
- 4 LIGHT FIXTURE