



Plat Name
Woodstone

Location
9305-9437 Elderberry Road

Applicant
Don Heffron - Pheasant Ridge Lots /
Jason Valerius - MSA

Preliminary Final

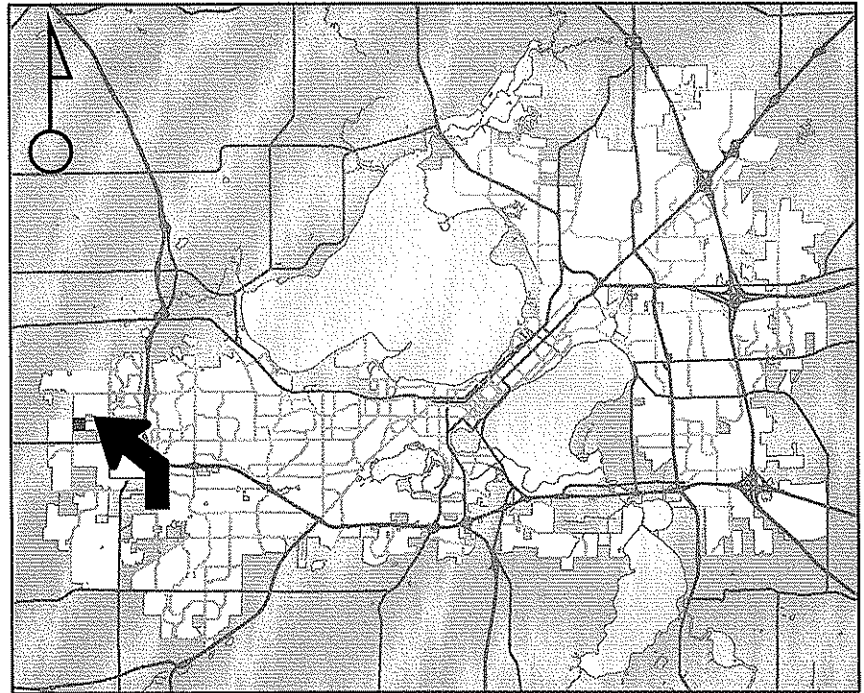
From: Temp A To: R2T & PUD(GDP)

Proposed Use
90 Single-Family Lots, 10 Two-Family Lots
5 Multi-Family Lots & 2 Outlots

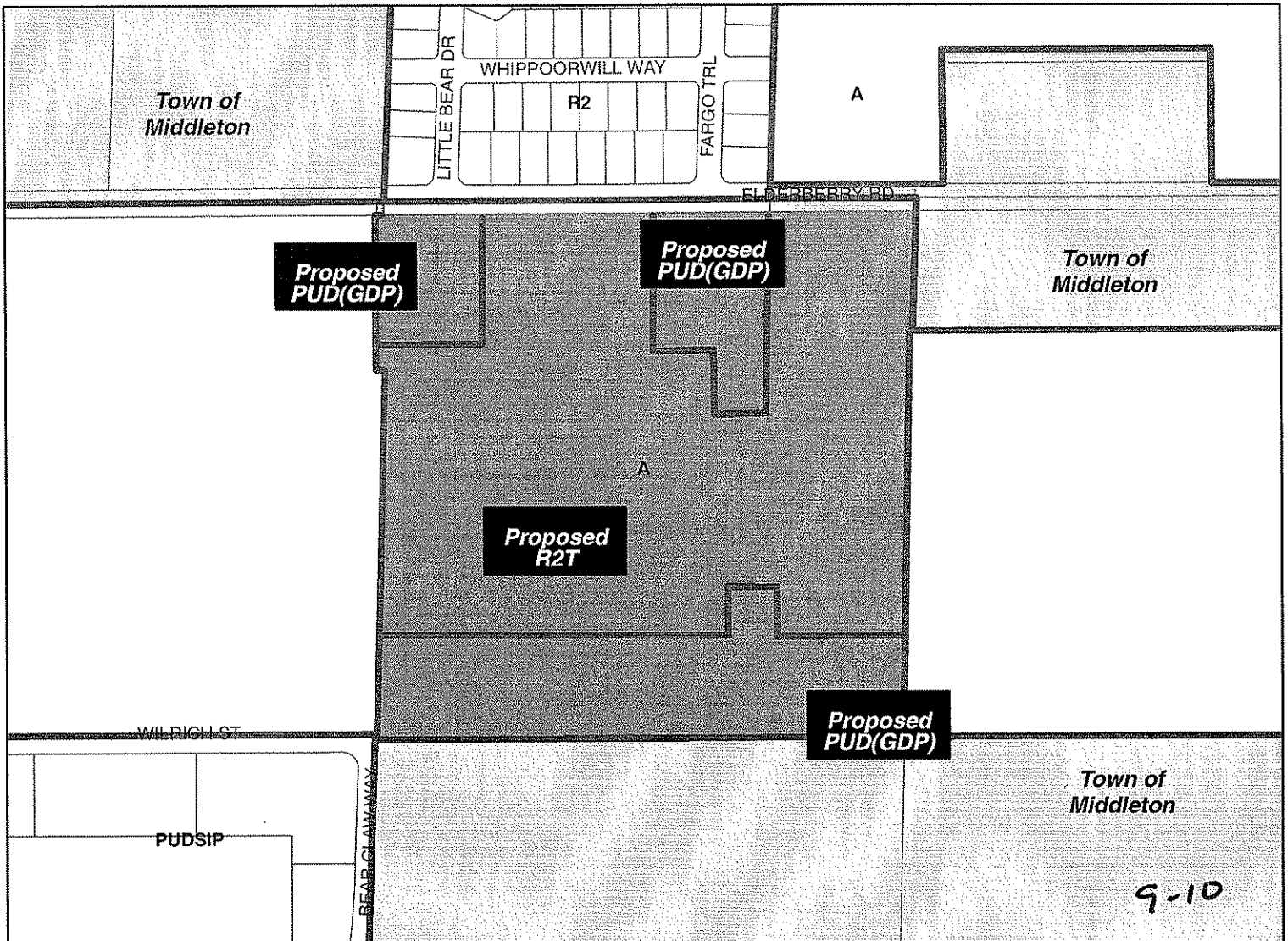
Public Hearing Date

Plan Commission
05 May 2008

Common Council
20 May 2008



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 22 April 2008



LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.html
- All zoning application packages should be filed directly with the Zoning Administrator's desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.

FOR OFFICE USE ONLY:

Amt. Paid 5000 - Receipt No. 89005
Date Received 2-6-08
Received By JLK/mw
Parcel No. multiple
Aldermanic District 4-Skidmore
GQ ok
Zoning District Temp AG
For Complete Submittal
Application _____ Letter of Intent _____
IDUP _____ Legal Descript. _____
Plan Sets _____ Zoning Text _____
Alder Notification 8/30/07 Waiver _____
Ngrhd. Assn Not. _____ Waiver _____
Date Sign Issued _____

1. Project Address: 7197 Elderberry Road Project Area in Acres: 38.81

Project Title (if any): Woodstone

2. This is an application for: (check at least one)

Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)

Rezoning from Ag to R2T/PUD Rezoning from _____ to PUD/PCD-SIP

Rezoning from _____ to PUD/PCD-GDP Rezoning from PUD/PCD-GDP to PUD/PCD-SIP

Conditional Use Demolition Permit Other Requests (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: Dan Heffron Company: Pheasant Ridge LLC
Street Address: 2000 Prairie St. #220 City/State: Prairie du Sac, WI Zip: 53578
Telephone: (608) 643-8525 Fax: (608) 642-2793 Email: dan@heffrongroup.com

Project Contact Person: Jason Valerius Company: MSA Professional e
Street Address: 2901 International Lane #300 City/State: Madison, WI Zip: 53704
Telephone: (608) 242-7779 Fax: (608) 242-5664 Email: jvalerius@msa-ps.com

Property Owner (if not applicant): _____
Street Address: _____ City/State: _____ Zip: _____

4. Project Information:

Provide a general description of the project and all proposed uses of the site: 38.81 farm to be developed into 105 residential lots and two outlots.

Development Schedule: Commencement Fall 2008 Completion Spring 2011

CONTINUE →

April 16, 2008

(REVISED) LETTER OF INTENT
TO THE PLAN COMMISSION AND CITY COUNCIL
OF THE CITY OF MADISON

PLAT OF WOODSTONE

A Mixed Single Family, Duplex & Multifamily Residential Development
located at 9313 Elderberry Road in the City of Madison, Dane County, Wisconsin

Project Name: Woodstone

Owner: Pheasant Ridge, LLC
2000 Prairie Street
Prairie du Sac, WI 53578
Contact: Daniel R. Heffron
(608) 644-3902

Project Manager: Daniel R. Heffron
The Heffron Company, Inc.
2000 Prairie Street
Prairie du Sac, WI 53578
(608) 644-3902

Project Planner: Jason Valerius, AICP
MSA Professional Services, Inc.
2901 International Lane, Suite 300
Madison, WI 53704
(608) 242-7779

Project Engineer: Thomas Pinion, PE
MSA Professional Services, Inc.
2901 International Lane, Suite 300
Madison, WI 53704
(608) 242-7779

Surveyor: James Grothman
Grothman & Associates, S.C.
625 E. Slifer Street
Portage, WI 53901
(608) 742-7788

A. Enclosed Submittals (April 17, 2008)

This is a re-submittal of the Preliminary & Final Plats for Woodstone (originally submitted on February 7th, 2008). Only the section that have been changed are included in this document, as shown below:

- Preliminary Plat
- Final Plat
- Zoning Text
- Rezone Legal Description
- Design Standards

Revisions to Plats:

1. *Alternative names for all the streets running east to west.*
2. *9313 Elderberry Road is the project address (prior address was outdated)*
3. *Identified street to the west of the property and along Lot 10 (formerly Lot 11) as Bear Claw Way.*
4. *Outlot 2 is designated as "Dedicated to the Public for Stormwater Detention and Conveyance Purposes".*
5. *Dedicated n 18-foot Permanent Limited Easement for grading, sloping, utilities, and storm sewer along Wilrich Road and Bear Claw Way (along Lot 10).*
6. *Public Drainage Easements 5-feet in width measured from the property line to the interior of each lot.*
7. *Utility easements were provided based on Alliant Energy Requirements.*
 - a. *12-feet along property edges, around Outlot 2, and on all sides of the southern blocks (containing lots 10-12 & lots 103-104).*
 - b. *6-feet along the following sides of the lots:*

Side of Lot	Lot Numbers
North	1, 2, 5, 7, 9, 24, 34, 46, 56, 57-80, 92, 93, 95, 97
South	1, 4, O.L. 1,13, 23, 35, 45, 65-70, 86, 92, 94, & 97
East	15, 18, 21, 23-24, 26, 29, 32, 37, 40, 45-46, 48, 51, 54, 59, 62, 64, 65, 67, 70, 76, 83, 89, 91, 98, & 100
West	13, 17, 19, 22, 25, 28, 31, 34, 39, 41, 44, 47, 50, 53, 56, 67, 60, 63, 66, 69, 72, 73, 77, 83, 86, 88, 90, 92, 97, 99, & 101

8. *Expanded the boulevard to create an informal green space and play area.*

B. Project Summary

Woodstone is to be a residential subdivision in the Elderberry Neighborhood. The property was annexed to Madison in July, 2007 and is currently comprised of three parcels totaling 38.81 acres. The property is located along the south side of Elderberry Road, directly South of the Highland Park Subdivision and directly north and East of the Blackhawk Church Town Center Plat.

As recommended by the Elderberry Neighborhood Plan, this plat features mostly low-density residential including single family and duplex units. Along the local collector at the south edge, now known as Wilrich Road, the proposed plat and PUD feature a multi-family rental apartment building and a series of condominium townhomes.

This development is proposed with two zoning designations: R2T and PUD. 88 of the 104 lots will be R2T, including 8 with accessory dwelling units as shown in Exhibit B (lots 13, 23, 24, 34, 35, 45, 46, and 56). The remaining 15 lots will utilize PUD zoning to allow for the specific design and construction of 38 duplex units, 32 townhome units, and 30 apartment units within the proposed Plat of Woodstone.

Lots 1, 2, 57, 64, 65, 72, 73, 86, 92, and 97 are corner lots in the low-density portion of the plat ranging in size from 10,350 SF to 18,769 SF. Each will feature a 1-2 story duplex residential structure with one unit facing each of the adjoining streets (22 total units). PUD zoning is requested to allow for smaller, 15-foot front yard setbacks as will be allowed for adjacent lots in the R2T District.

Lot 10 is a 1.50-acre parcel located at the future intersection of Bear Claw Way and Wilrich Road. This lot will feature a 3-story, 30-unit apartment building with underground parking.

Lots 11 and 104 are 1.99 and 2.14 acres, respectively, located northwest and northeast of the intersection of Wilrich Road and Fargo Trail. These two parcels will feature a total of 32 condominium townhome units with underground parking and porches facing a public street. These units will be two stories above-grade.

Lots 12 and 103 are 1.07 and 0.91 acres, respectively, located along the south side of Slate Street. These two parcels will feature a total of 18 condominium duplex units (9 buildings) with porches facing either Slate Street or Fargo Trail.

Woodstone Design Standards - TYPE 1 HOUSE

Applies to Lots 13-56

Qualitative Standards

Type 1 Houses shall enhance the public street by providing all of the following features:

- A front porch with a roof supported by columns
- Architectural details appropriate to the style of the home
- A gable facing the street
- Quality materials that will age well
- A mix of 2-4 materials and/or colors
- A variety of plantings that complement architectural features

Stone or masonry, if used on the front elevation, shall extend around the corner and continue to an appropriate point along the side.

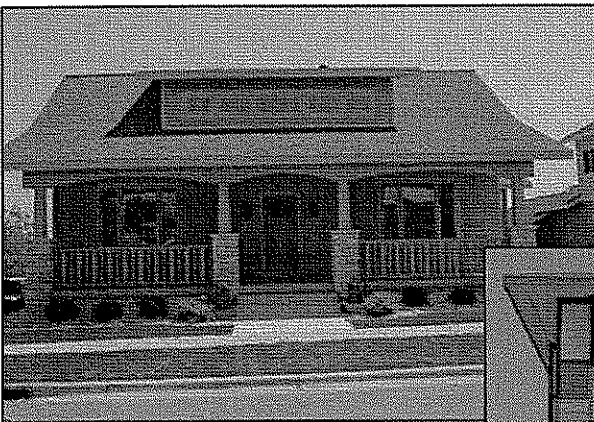
Lighting shall be attractive and not excessive. "Full cut off" fixtures are strongly encouraged.

Shutters, if used, shall be appropriately sized to cover, or appear that they could cover, the window entirely.

Specific architectural styles are neither required nor prohibited, however the architecture should be appropriate to the neighborhood and any chosen style should be consistently applied to the entire house.

Architectural compatibility with neighboring houses is encouraged, but variety is also strongly encouraged. The use of similar floorplans for adjacent homes is discouraged, and variations in garage placement, materials, details, color, and landscaping is encouraged.

Examples of the desired architectural character



Woodstone Design Standards - TYPE 1 HOUSE

Applies to Lots 13-56

Quantitative Standards

Type 1 Houses shall meet all of the following dimensional standards:

The 15-foot setback as established by zoning shall be treated as a "build-to" line, and a portion (preferably no less than 25% of the building shall be built to this line.

The front porch shall be at least 6 feet deep and 10 feet wide, and may encroach into the front yard up to 7 feet beyond the front yard setback.

20 feet (1.5 stories) is the minimum height, 35 feet (2.5 stories) is the maximum height, **measured to the roof peak.**

Exterior window casings or surrounds shall be at least 3 inches wide (except with brick or stone cladding).

Fascia boards shall be at least 8 inches wide.

Garages shall be accessed only from the alley, shall be either rear-loaded or side-loaded, and shall be set back from the alley right-of-way a minimum of 10 feet and a maximum of 24 feet. Garages should usually be located near to the alley to help slow alley traffic and minimize wasted yard space. Deep garage setbacks for adjoining properties is strongly discouraged and unlikely to be approved by the Architectural Control Committee.

Roof eaves shall extend at least 16 inches beyond the finished exterior wall; roof rakes shall extend at least 12 inches beyond the finished exterior wall.

Woodstone Design Standards - TYPE 2 HOUSE

Applies to Lots 1-9, and 57-102.

Qualitative Standards

Type 2 Houses shall enhance the public street by providing all of the following features:

- A front porch with a roof supported by columns
- Architectural details appropriate to the style of the home
- A gable facing the street
- Quality materials that will age well
- A mix of 2-4 materials and/or colors
- A variety of plantings that complement architectural features

Duplex homes on corner lots should be configured such that one unit faces each street.

Stone or masonry, if used on the front elevation, shall extend around the corner and continue to an appropriate point along the side.

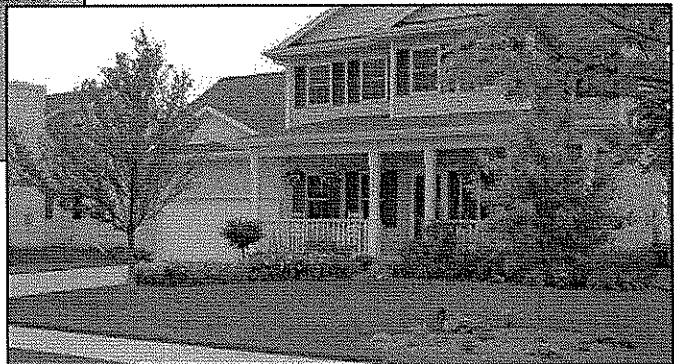
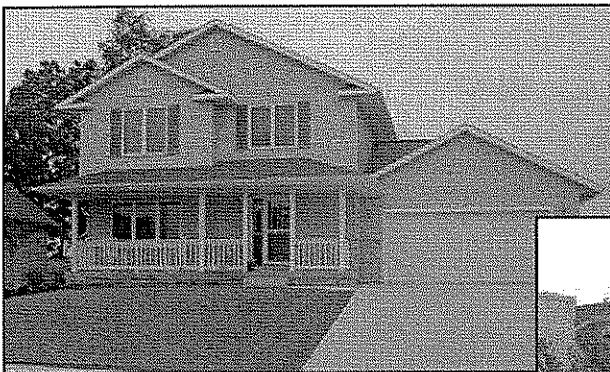
Lighting shall be attractive and not excessive. "Full cut off" fixtures are strongly encouraged.

Shutters, if used, shall be appropriately sized to cover, or appear that they could cover, the window entirely.

Specific architectural styles are neither required nor prohibited, however the architecture should be appropriate to the neighborhood and any chosen style should be consistently applied to the entire house.

Architectural compatibility with neighboring houses is encouraged, but variety is also strongly encouraged. The use of similar floorplans for adjacent homes is discouraged, and variations in garage placement, materials, details, color, and landscaping is encouraged.

Examples of the desired architectural character



Woodstone Design Standards - TYPE 2 HOUSE

Applies to Lots 1-9, and 57-102.

Quantitative Standards

Type 2 Houses shall meet all of the following dimensional standards:

Lots 2-10, 14, 59-66, 82-105: The 15-foot setback as established by zoning shall be treated as a "build-to" line, and a portion (preferably no less than 20%) of the building shall be built to this line.

Lots 1, 67-74, 75-81: A 25-foot "build-to" line shall be established along Elderberry Road, and a portion (preferably no less than 20%) of the building shall be built to this line. The "build-to" line along Fargo Trail and Little Bear Drive shall be 15 feet from ROW (this applies to lots 1, 67, 74, and 75).

Front Porches are strongly encouraged, should generally be at least 6 feet deep and 10 feet wide, and may encroach into the front yard up to 7 feet beyond the front yard setback line.

20 feet (1.5 stories) is the minimum height, 35 feet (2.5 stories) is the maximum height, **measured to the roof peak.**

Garages may be front-loaded, side-loaded, or rear-loaded. Front-loaded garages (doors face the street) shall be set back a minimum of 5 feet from the primary facade of the home.

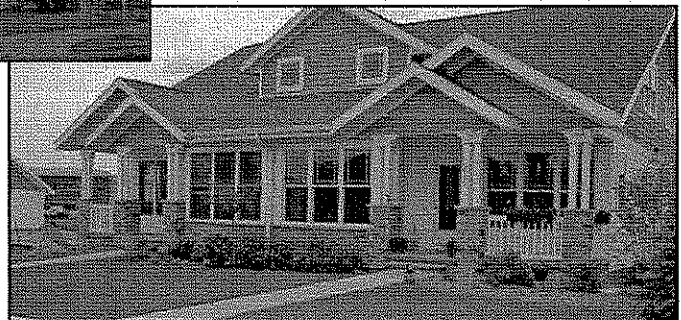
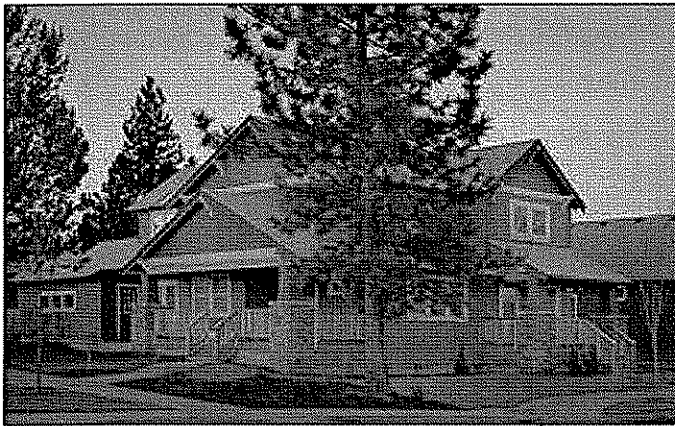
Front-loaded garages are prohibited on lots 14 and 105.

Exterior window casings or surrounds shall be at least 3 inches wide (except with brick or stone cladding).

Fascia boards shall be at least 8 inches wide.

Roof eaves shall extend at least 16 inches beyond the finished exterior wall; roof rakes shall extend at least 12 inches beyond the finished exterior wall.

Examples of the desired architectural character



Woodstone Design Standards - TYPE 3 TOWNHOME*

Applies to Lots 11, 12, 103, and 104.

Qualitative Standards

Type 5 Townhomes shall enhance the public street by providing all of the following features:

- Architectural details appropriate to the style of the home

- A gable facing the street

- Quality materials that will age well

- A mix of 2-4 materials and/or colors

- A variety of plantings that complement architectural features

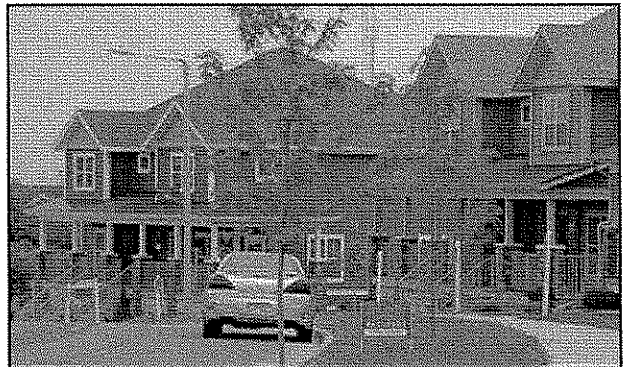
Stone or masonry, if used on the front elevation, shall extend around the corner and continue to an appropriate point along the side.

Lighting shall be attractive and not excessive. "Full cut off" fixtures are strongly encouraged.

Shutters, if used, shall be appropriately sized to cover, or appear that they could cover, the window entirely.

Specific architectural styles are neither required nor prohibited, however the architecture should be appropriate to the neighborhood and any chosen style should be consistently applied to the entire house.

Examples of the desired architectural character



Woodstone Design Standards - TYPE 3 TOWNHOME*

Applies to Lots 11, 12, 103, and 104.

Quantitative Standards

Type 5 Townhomes shall meet all of the following dimensional standards:

The 15-foot setback as established by zoning shall be treated as a "build-to" line, and a portion (preferably no less than 25% of the building shall be built to this line.

Front Porches are strongly encouraged, and where provided should be at least 6 feet deep and 10 feet wide, and may encroach up to 7 feet into the front yard setback

20 feet (2 stories) is the minimum height, 35 feet (3 stories) is the maximum height, measured to the roof peak.

Garages shall not face the street.

Exterior window casings or surrounds shall be at least 3 inches wide (except with brick or stone cladding)

Fascia boards shall be at least 8 inches wide

Roof eaves shall extend at least 16 inches beyond the finished exterior wall; roof rakes shall extend at least 12 inches beyond the finished exterior wall.

Woodstone Design Standards - TYPE 4 MULTIFAMILY

Applies to Lot 10.

Qualitative Standards

Type 6 Apartments shall enhance the public street by providing all of the following features:

Architectural character and details comparable to and consistent with other buildings in the neighborhood.

Elements that provide visual interest and variety, such as balconies, porches, bay windows, garden walls, varied building and facade setbacks, and varied roof designs.

Quality materials that will age well, especially brick and other natural materials

A mix of 2-4 materials and/or colors

A variety of plantings that complement architectural features

Stone or masonry, if used on the front elevation, shall extend around the corner and continue to an appropriate point along the side.

Lighting shall be attractive and not excessive. "Full cut off" fixtures are strongly encouraged for all fixtures and required for any light source greater than 100 watts.

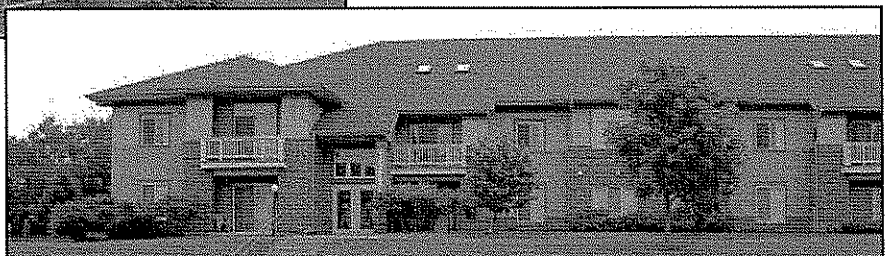
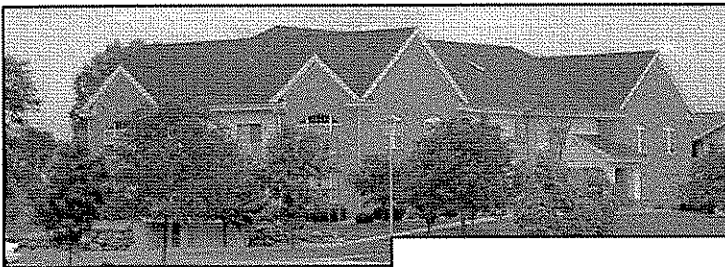
Shutters, if used, shall be appropriately sized to cover, or appear that they could cover, the window entirely.

Buildings shall be close to the street and private sidewalk connections should be provided to enhance pedestrian access.

Parking and dumpsters shall be located behind or beneath the building. Parking lots shall be broken up with planting islands, and shall provide pedestrian connections to the building separate from vehicular movement areas.

Generous landscaping shall be provided along all street frontages, along the perimeter of paved areas, along building foundations, along yards separating land uses, and around storage and utility areas.

Examples of the desired architectural character



Woodstone Design Standards - TYPE 4 MULTIFAMILY

Applies to Lots 11.

Quantitative Standards

Type 6 Apartments shall meet all of the following dimensional standards:

20 feet (1.5 stories) is the minimum height, 45 feet (3 stories) is the maximum height, **measured to the roof peak.**

Underbuilding parking is encouraged. Detached garages are permitted and shall be located at least 30 feet from any public right of way. Garage doors shall not face the street if located within 50 feet of the public right of way. All garage doors shall be screened from view from the public right of way through site and landscape design to the greatest extent practicable.

Exterior window casings or surrounds must be at least 3 inches wide (except with brick or stone cladding)

Fascia boards shall be at least 8 inches wide

Roof eaves shall extend at least 16 inches beyond the finished exterior wall; roof rakes shall extend at least 12 inches beyond the finished exterior wall.

April 16, 2008

REVISED ZONING TEXT

**PLANNED UNIT DEVELOPMENT – GENERAL DEVELOPMENT PLAN
PUD-GDP**

**Lots 1, 2, 9, 10, 11, 12, 57, 64, 65, 72, 73, 86, 92, 97, 103 and 104
of the Proposed Plat of Woodstone,
a Mixed Single Family, Duplex & Multifamily Residential Development
located at 9313 Elderberry Road in the City of Madison, Dane County, Wisconsin**

Legal Description: The lands subject to the Plat of Woodstone shall include those described in Exhibit A, attached hereto. The lands subject to this planned unit development district shall include lots 1, 2, 9, 10, 11, 12, 57, 64, 65, 72, 73, 86, 92, 97, 103 and 104 of the Proposed Plat of Woodstone, shown in the attached Preliminary Plat

A. Statement of Purpose

This zoning district is established to allow for the construction of 40 duplex units, 32 townhome units, and 30 apartment units on 16 lots within the proposed Plat of Woodstone. The remaining 88 lots are to be zoned R2T for single family use.

Lots 1, 2, 9, 57, 64, 65, 72, 73, 86, 92, and 97 are corner lots ranging in size from 10,350 SF to 18,769 SF and will each feature a 1-2 story duplex residential structure with one unit facing each of the adjoining streets (22 total units). PUD zoning is requested to allow for smaller, 15-foot front yard setbacks as will be allowed for adjacent lots in the R2T District.

Lot 10 is a 1.50-acre parcel located at the future intersection of Bear Claw Way and Wilrich Road. This lot will feature a 3-story, 30-unit apartment building with underground parking.

Lots 11 and 104 are 1.99 and 2.14 acres, respectively, located northwest and northeast of the intersection of Wilrich Road and Fargo Trail. These two parcels will feature a total of 32 condominium townhome units with underground parking and porches facing a public street. These units will be two stories above-grade as viewed from Wilrich Road.

Lots 12 and 103 are 1.07 and 0.91 acres, respectively, located along the south side of Slate Street. These two parcels will feature a total of 18 condominium duplex units (9 buildings) with porches facing either Slate Street or Fargo Trail.

B. Permitted Uses

The following uses are permitted within the PUD District:

1. Single family, two-unit, townhome, and multifamily apartment residential buildings
2. Accessory uses including but not limited to:
 - a. Accessory uses directly associated with those permitted uses including recreational facilities and parking for residents and guests.
 - b. Temporary buildings for storage of building materials and equipment for construction purposes when on the same lot as a principle use for a period of time not to exceed the duration of such construction.

C. Lot Area

The lots subject to this PUD-GDP and their respective areas are listed below.

Lot 1	18,839 SF
Lot 2	15,689 SF
Lot 10	65,209 SF
Lot 11	86,500 SF
Lot 12	46,542 SF
Lot 57	10,292 SF
Lot 64	10,300 SF
Lot 65	12,268 SF
Lot 72	12,289 SF
Lot 73	12,296 SF
Lot 86	10,298 SF
Lot 92	10,311 SF
Lot 97	10,301 SF
Lot 103	39,640 SF
Lot 104	92,218 SF

D. Height Regulations

Maximum building height shall be three stories or as shown on approved plans

E. Yard Regulations

Building placement will be established by an approved SIP and will follow these guidelines:

- Side Yards: 5 foot minimum setback
- Rear Yards: as established by approved SIP
- Front Yards: as established by following table. Also, porches, stoops, balconies, and roof eaves may project up to 7 feet closer to the public ROW than the build-to line or minimum setback.

Front yard building placement guidelines

	Elderberry Road	Bear Claw Way	Wilrich Road	Little Bear Drive	Fargo Trail	Springtide Street	Fireside Boulevard	Azur Avenue
Lot 1	25-foot build-to line (30% of building)			15-foot build-to line (30% of building)				
Lot 2				15-foot build-to line (30% of building)		15-foot build-to line (30% of building)		
Lot 9				15-foot build-to line (30% of building)				15-foot build-to line (30% of building)
Lot 10		25-foot min. setback, 30-foot max. setback*	25-foot min. setback, 30-foot max. setback*					15-foot min. setback, 25-foot max. setback
Lot 11			25-foot min. setback, 30-foot max. setback		15-foot min. setback, 25-foot max. setback			
Lot 12					15-foot min. setback, 20-foot max. setback			15-foot min. setback, 20-foot max. setback
Lot 57				15-foot build-to line (30% of building)		15-foot build-to line (30% of building)		
Lot 64					15-foot build-to line (30% of building)	15-foot build-to line (30% of building)		
Lot 65	25-foot build-to line (30% of building)				15-foot build-to line (30% of building)			
Lot 72	25-foot build-to line (30% of building)			15-foot build-to line (30% of building)				
Lot 73	25-foot build-to line (30% of building)				15-foot build-to line (30% of building)			
Lot 86					15-foot build-to line (30% of building)	15-foot build-to line (30% of building)		
Lot 92					15-foot build-to line (30% of building)	15-foot build-to line (30% of building)		
Lot 97					15-foot build-to line (30% of building)			15-foot build-to line (30% of building)
Lot 103					15-foot min. setback, 20-foot max. setback			15-foot min. setback, 20-foot max. setback
Lot 104			25-foot min. setback, 30-foot max. setback		15-foot min. setback, 25-foot max. setback			
*	Building façade facing roundabout at corner of Bear Claw Way and Wilrich Road not held to a maximum setback							

F. Landscaping

Site Landscaping will be provided as shown on approved plans.

G. Lighting

Site lighting will be provided as shown on approved plans.

H. Signage

Signage will be limited to condominium and apartment identification signage and directional signage. Signage will be allowed as per Chapter 31 of the Madison General Ordinances as compared to the R4 District and per the approved SIP.

I. Accessory Off-Street Parking and Loading

Off-street parking will be provided as shown on approved plans and as described below

Lot 10	30 2-bedroom apartment units	30 underground spaces, 23 surface spaces
Lots 11, 104	32 2-bedroom townhome units	64 underground spaces
Lots 1, 2, 9, 12, 57, 64, 65, 72, 73, 86, 92, 97, and 103	38 2-3 bedroom duplex units	Each unit will have a two car attached garage (total 74 parking spaces) plus driveway parking

I. Family Definition

The family definition of the PUD shall coincide with the definition given in Chapter 28.03(2) of the Madison General Ordinances and shall allow for:

Lot 10	30 rental units
Lots 11, 12, 103, 104	40 owner-occupied condominium units
Lots 1, 2, 9, 57, 64, 65, 72, 73, 86, 92, and 97	Minimum one owner-occupied unit per lot and maximum one rental unit per lot

J Alterations and Revisions

No alteration or revision of this planned unit development shall be permitted unless approved by the City Plan Commission, however, the Zoning Administrator may issue permits for minor alterations or additions which are approved by the Director of Planning and Development and the alderperson of the district and are compatible with the concept approved by the City Plan Commission.

Assessment of Buildings Proposed for Demolition

There are three principal buildings that are within the plat of Woodstone that will have to be demolished in order to prepare the site for construction. 7247 Elderberry and 7191 Elderberry are ranch homes, and 7197 Elderberry is a farmhouse. The building landscape has changed in this area from a rural farm area to a traditional residential subdivision. The neighborhood across the street is made up of modern two-story single-family homes on small lots with minimal building setbacks.

In accordance to the City of Madison's zoning code section 28.04(22), we are assessing the buildings' conditions and their ability to be reused or relocated. Below is an evaluation of each of the buildings.

Ranch homes (7191 & 7247)

The ranch houses are neither landmarks or historical. The ranch-style floor plan is outdated and is not marketable in today's housing market. The exterior of both ranch homes are in fair condition. The interior of the 7247 Elderberry home is in fair to poor condition as it is missing a kitchen sink, the kitchen cabinetry, the bathroom toilet, and doors/doorframes, etc. (see Exhibit C). The interior of the 7191 Elderberry home is in fair condition (see Exhibit A).

Farmhouse (7197)

The farmhouse does not meet current building codes (plumbing, electrical, and fire egress) and is not a landmark or historical. The staircase is too steep and does not provide a landing between the first and second floors. Plumbing is outdated and there are minimal electrical outlets throughout the house. The exterior is in fair condition. The interior is in poor condition as it is missing baseboards, doors/doorframes, a bathroom toilet, and has torn-up flooring (see Exhibit B). There are noticeable cracks throughout the building's walls and ceiling, which suggest possible structural issues.

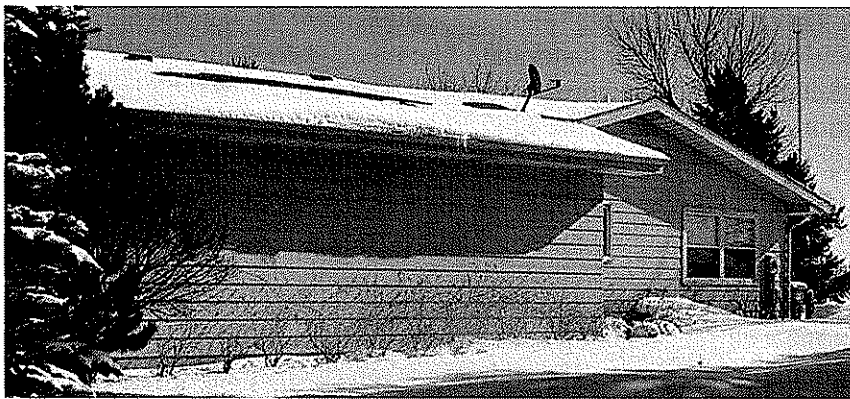
The ranch homes cannot be integrated into the development because they do not follow the existing urban landscape (building types, building setbacks, lot sizes, and character) of the subdivision across the street and will not meet the proposed development pattern. Secondly, the outdated floor plan of the ranch house takes up too much land, which will disrupt the proposed development and will make it difficult to sell lots surrounding the existing buildings. Thirdly, new modern homes on smaller lots will have a greater value to the City, its residents, and the developer than maintaining dilapidated unmarketable, large lot ranch homes.

As discussed above, the farmhouse does not meet current standards and is financially unproductive to relocate. The ranch home at the west end of the site, 7247 Elderberry, is in fair to poor condition and does not benefit from relocation. The ranch home to the east, 7191 Elderberry, has minimal benefit to relocating, but is deemed financially unproductive. It is our recommendation that the buildings be demolished in order to make way for more productive and marketable residential buildings that follow the surrounding neighborhood.

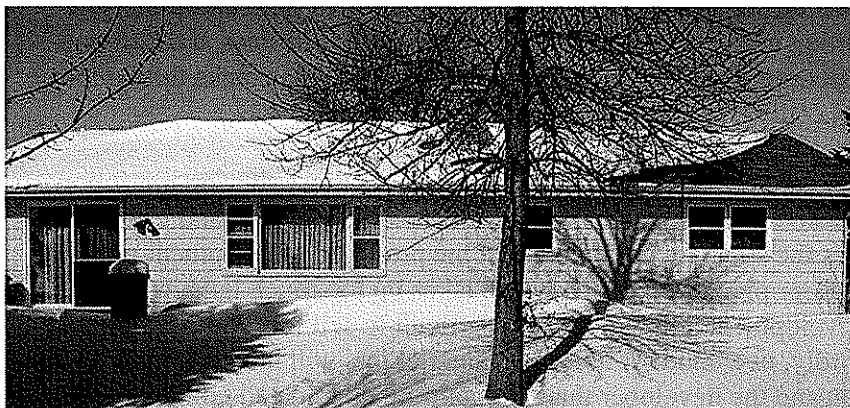
Exhibit A – 7191 Elderberry



North Elevation



West Elevation



South Elevation



East Elevation

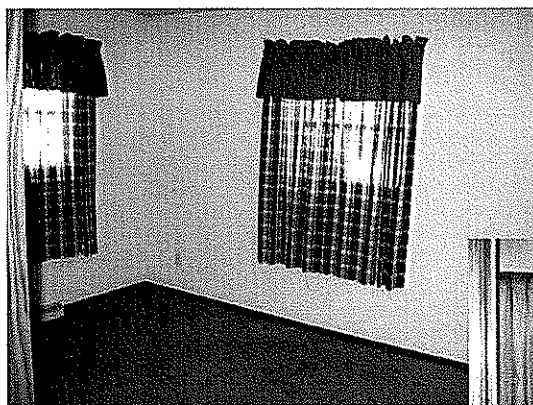
Exhibit A – 7191 Elderberry (cont.)



Kitchen in good condition.



Bathroom in fair condition.



Bedrooms in fair condition.



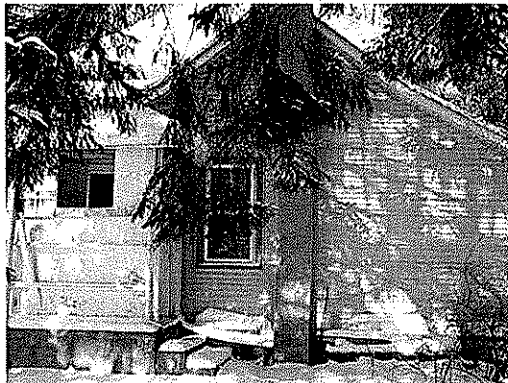
Exhibit B – 7197 Elderberry



North Elevation



West Elevation

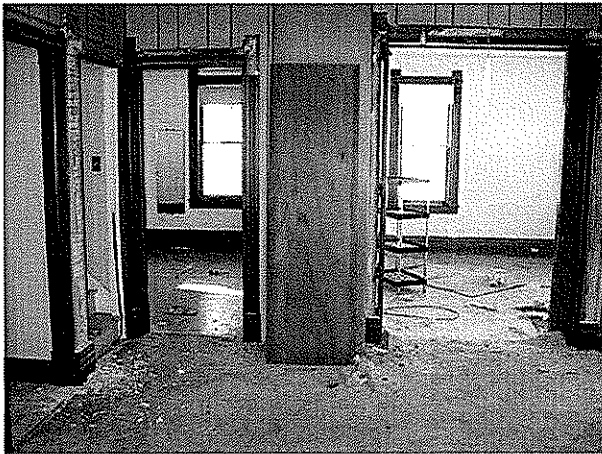


South Elevation

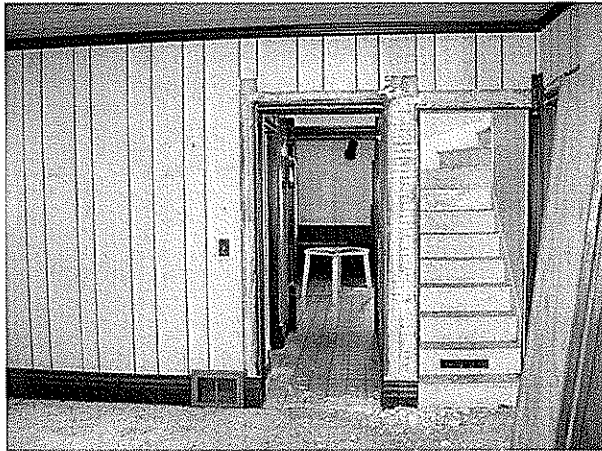


East Elevation

Exhibit B – 7197 Elderberry (cont.)



Walls, doorways, and flooring in poor condition.



Stairway is not up to code standards (steep and no landing)



Sub-par bathrooms with out-of-date plumbing and missing toilet.

Exhibit C – 7247 Elderberry



North Elevation



West Elevation

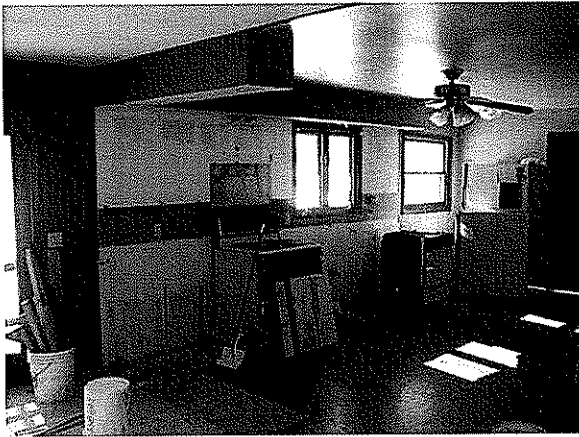


South Elevation



East Elevation

Exhibit C – 7247 Elderberry (cont.)



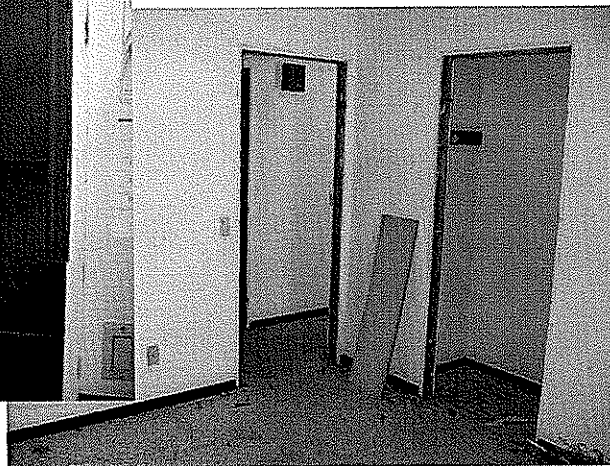
Gutted Kitchen.



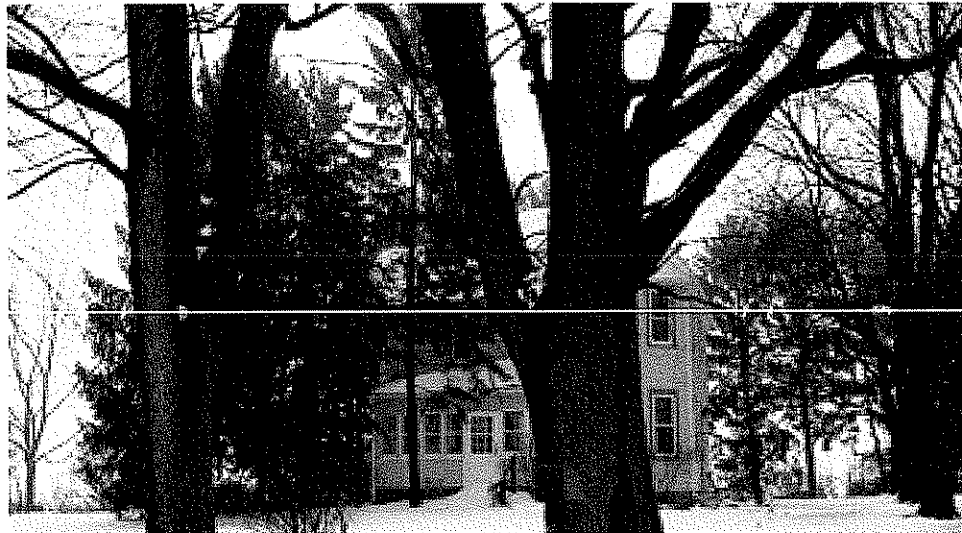
Bathroom in fair condition
(missing toilet)



Doors and doorframes are
missing. Bedrooms in fair
condition.

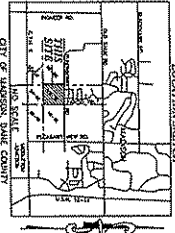
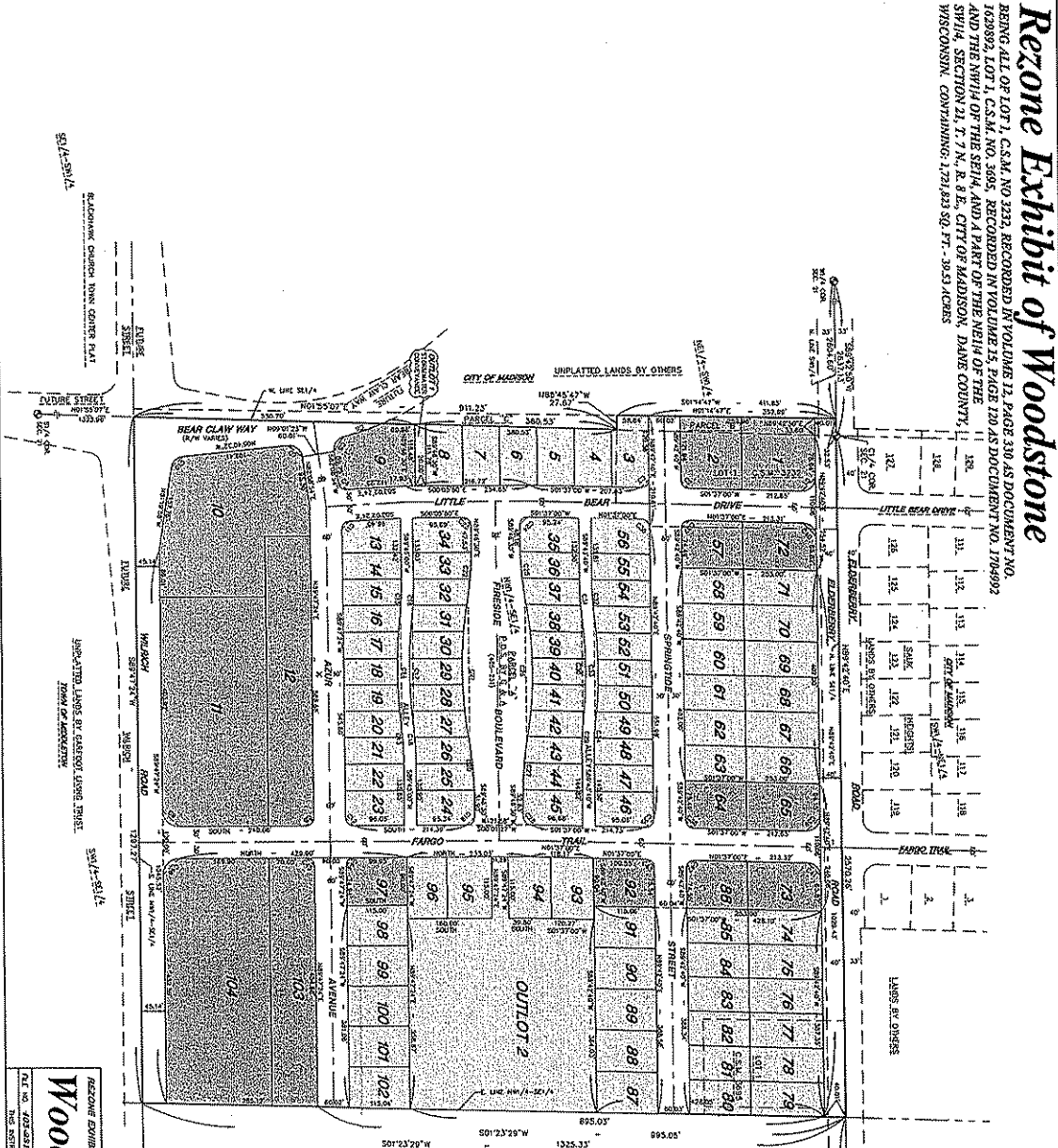


BUILDINGS TO BE DEMOLISHED



Rezone Exhibit of Woodstone

BEING ALL OF LOT 1, C.S.M. NO. 3132, RECORDED IN VOLUME 12, PAGE 310 AS DOCUMENT NO. 1039892, LOT 1, C.S.M. NO. 3695, RECORDED IN VOLUME 15, PAGE 120 AS DOCUMENT NO. 1704992 AND THE NORTH OF THE SE1/4, AND A PART OF THE NORTH OF THE SW1/4, SECTION 21, T. 7 N., R. 3 E., CITY OF MADISON, DANE COUNTY, WISCONSIN, CONTAINING: 174,833 SQ. FT. - 3.954 ACRES



BASIS OF REZONING: IS THE NORTH LINE OF THE SW1/4, SECTION 21, WHICH BEARS BEARING OF 145° 00' 00" W. A DISTANCE OF 100.00 FEET TO THE CENTERLINE OF THE SECTION 21, WHICH BEARS BEARING OF 145° 00' 00" W. A DISTANCE OF 100.00 FEET TO THE CENTERLINE OF THE SECTION 21, WHICH BEARS BEARING OF 145° 00' 00" W. A DISTANCE OF 100.00 FEET TO THE CENTERLINE OF THE SECTION 21.

SCALE: 1" = 100'

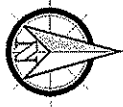
- LEGEND**
- RUG DISTRICT
 - SET DISTRICT
 - CITY OF MADISON, STATE CAP
 - EXISTING REZONING PINS

OWNER/ENGINEER:
 520 DANA WENTON SQ.
 1000 UNIVERSITY AVENUE
 MADISON, WI 53706
 PHONE: 608-261-1828
 FAX: 608-261-1828

ENGINEER:
 WITKINS ASSOCIATES, INC.
 2000 WISCONSIN AVENUE
 MADISON, WI 53706
 PHONE: 1-800-448-0079
 FAX: 608-742-0033

SUBSECTOR:
 200 WEST WISCONSIN STREET
 MADISON, WI 53706
 PHONE: 608-261-1828
 FAX: 608-261-1828

WOODSTONE EXHIBIT OF
Woodstone
 GROTHMAN
 & ASSOCIATES S.C.
 1000 UNIVERSITY AVENUE
 MADISON, WI 53706
 PHONE: 608-261-1828
 FAX: 608-261-1828
 SHEET 1 OF 8



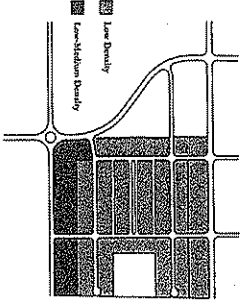
PLAT OF WOODSTONE





Madison, Wisconsin

Density

	Low		Low / Medium	
	Gross	Net	Gross	Net
ACTUAL				
Acres	31.46	21.17	7.95	5.05
Units	1228	1228	61	62
Density	42.0	62.4	8.30	10.97
ALLOWED				
Units	292	169	81	62
Density	8	8	11	11

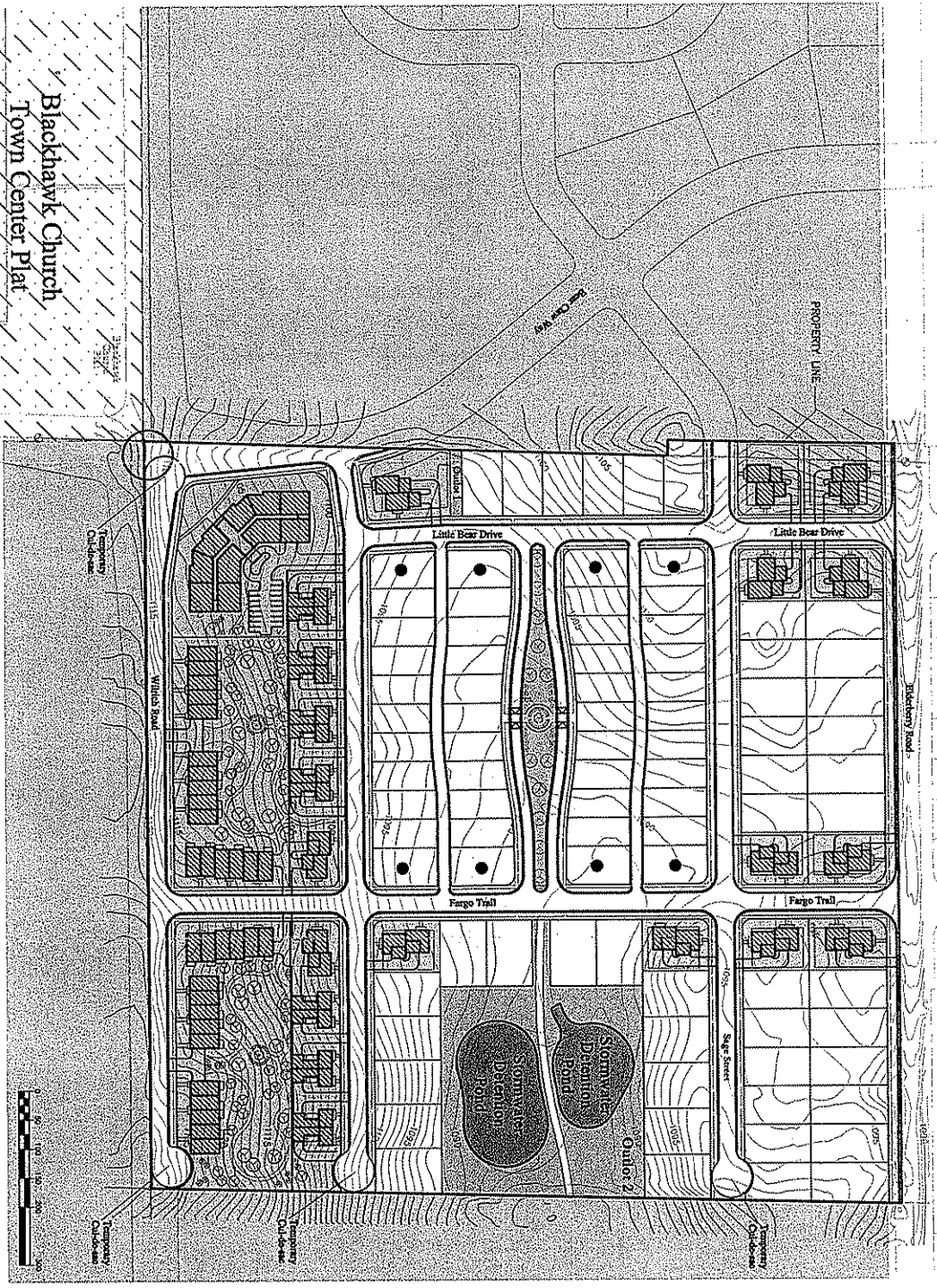
* Based on the maximum density set at the Neighborhood Plan



-  Undeveloped Area
-  Proposed Accessory Residential Unit
-  R2T Single-Family Residences
-  PUD Two-Family Residences, Multi-Family Apartments, Town Homes



Blackhawk Church
Town Center Plat



Woodstone

BEING ALL OF LOT 1, C.S.M. NO. 3392, RECORDED IN VOLUME 17, PAGE 390 AS DOCUMENT NO. 163892, LOT 1, C.S.M. NO. 3695, RECORDED IN VOLUME 15, PAGE 720 AS DOCUMENT NO. 1798992 AND THE NORTH OF THE SE1/4, AND A PART OF THE NE1/4 OF THE SW1/4, SECTION 21, T. 7 N., R. 3 E., CITY OF MADISON, DANE COUNTY, WISCONSIN. CONTAINING: 1.71 (93) SQ. FT. - 39.53 ACRES.

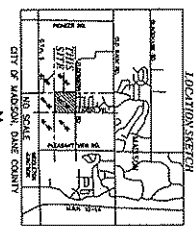
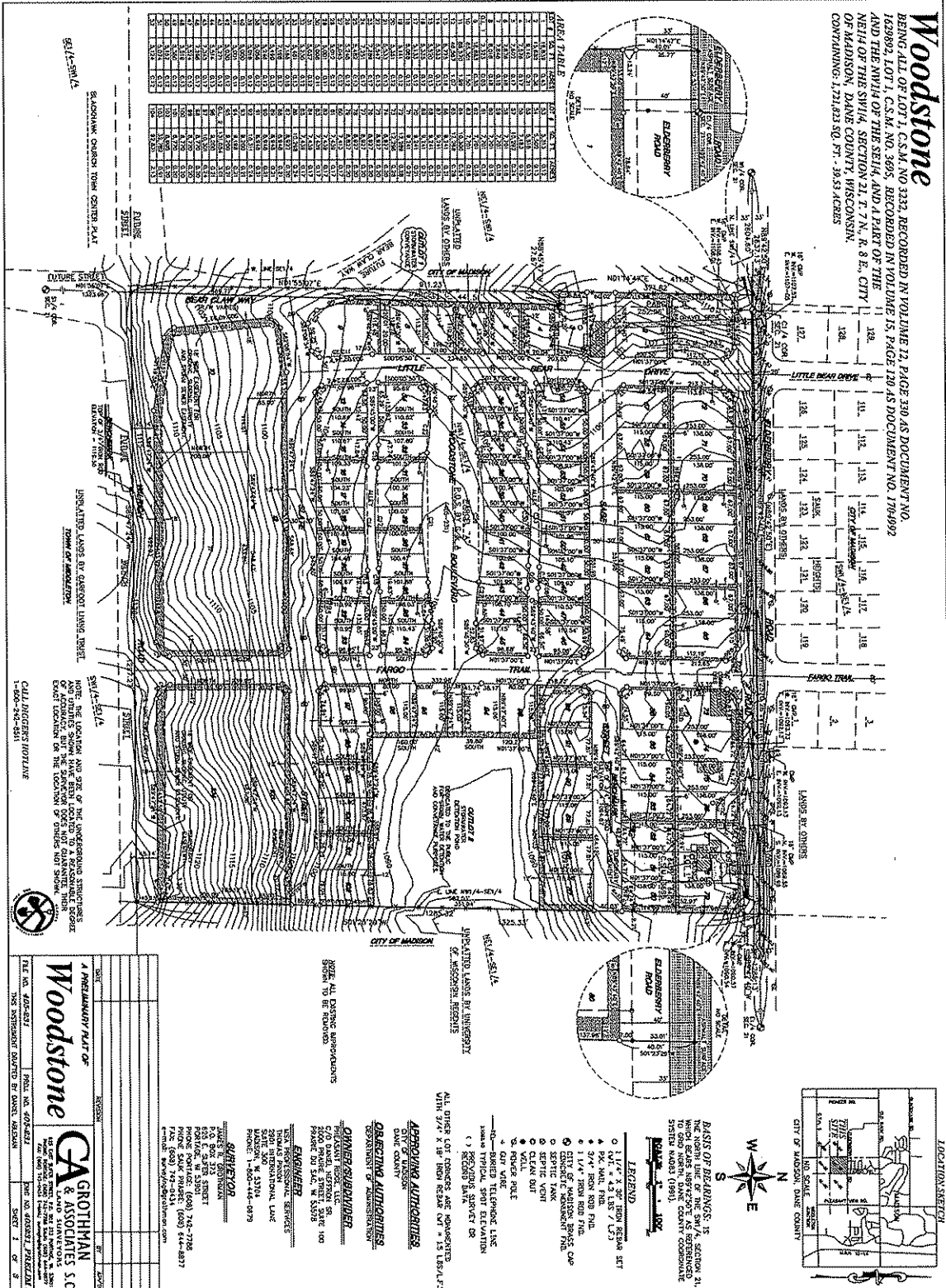
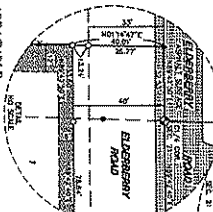
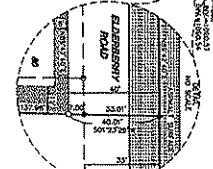


PLATE OF FINISHES - IF THE SHOWN LOT OF THE SW1/4, SECTION 21, WHICH BEARS HEREON AS REFERENCED SURVEY MAPS (1991), COUNTY COMPADIMATE



4 PRELIMINARY PLAN OF Woodstone

G.A. GROTHMAN & ASSOCIATES S.C.
 211 EAST MAIN STREET, SUITE 200, MADISON, WISCONSIN 53703
 TEL. (608) 784-3131 FAX. (608) 784-3133
 MAIL. (608) 784-3131 FAX. (608) 784-3133

DATE: 12/14/89
 SHEET 7 OF 9

- 1.14" X 3.00" IRON REBAR SET
- 1.14" X 4.31 1/2" U.P.S.
- 2.14" IRON ROD FHL
- 3.14" IRON ROD FHL
- 4.14" IRON ROD FHL
- 5.14" IRON ROD FHL
- 6.14" IRON ROD FHL
- 7.14" IRON ROD FHL
- 8.14" IRON ROD FHL
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- 97.14" IRON ROD FHL
- 98.14" IRON ROD FHL
- 99.14" IRON ROD FHL
- 100.14" IRON ROD FHL

ALL OTHER LOT CORNERS ARE UNDESIGNATED WITH 3/4" X 1/2" IRON REBAR SET = 15 TIES/LTS

APPROVING AUTHORITY:
 DANIEL COUNTY
 DANE COUNTY

OWNER/ENGINEER:
 G.A. GROTHMAN & ASSOCIATES S.C.
 211 EAST MAIN STREET, SUITE 200, MADISON, WISCONSIN 53703
 TEL. (608) 784-3131 FAX. (608) 784-3133
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ENGINEER:
 DANIEL COUNTY
 DANIEL COUNTY

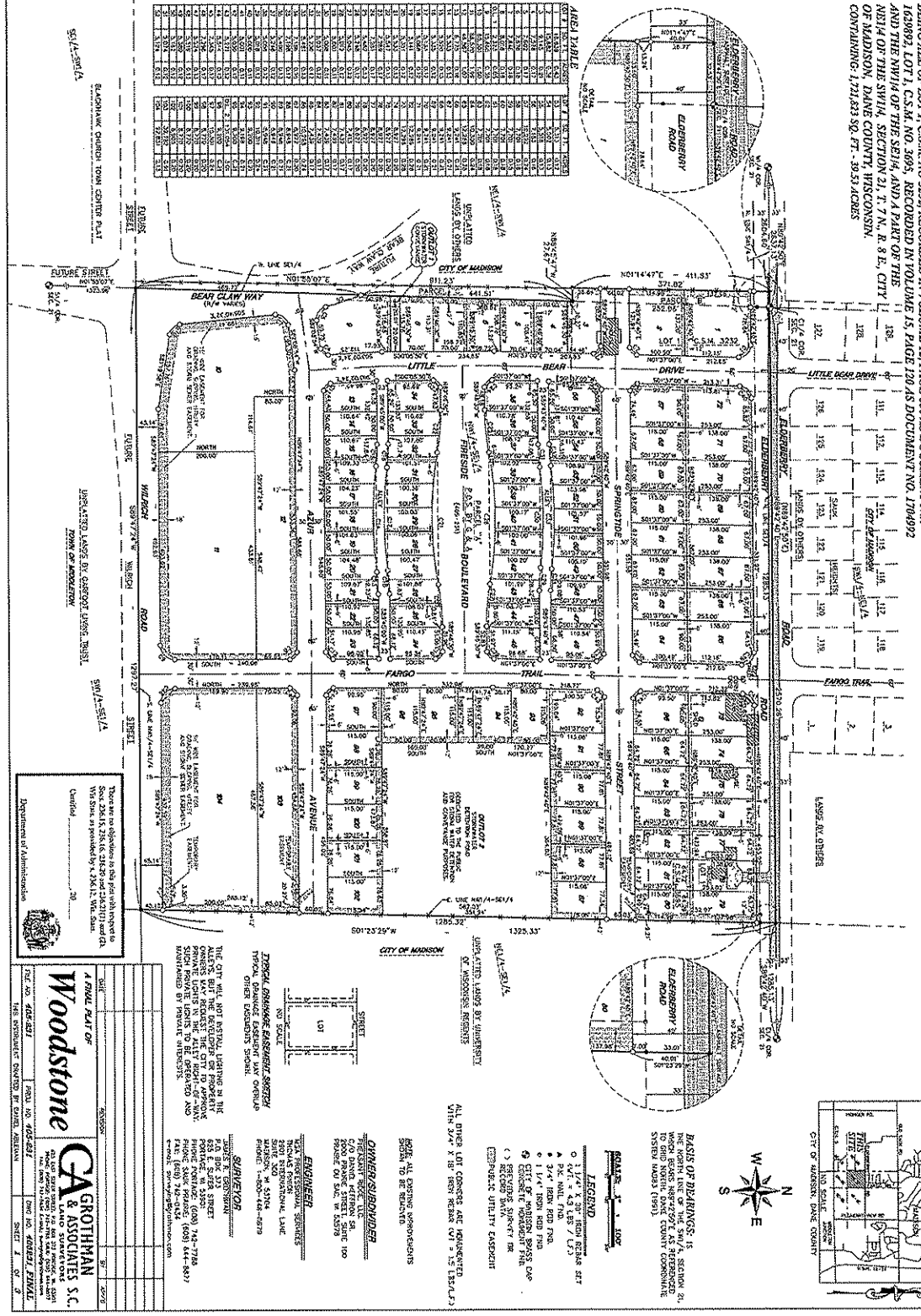
OWNER/ENGINEER:
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ENGINEER:
 DANIEL COUNTY
 DANIEL COUNTY

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 MAIL. (608) 784-3131 FAX. (608) 784-3133

Woodstone

BEING ALL OF LOT 1, C.S.M. NO. 3232, RECORDED IN VOLUME 12, PAGE 330 AS DOCUMENT NO. 1636992, LOT 1, C.S.M. NO. 3695, RECORDED IN VOLUME 15, PAGE 120 AS DOCUMENT NO. 1704992 AND THE NW1/4 OF THE SW1/4 AND A PART OF THE NW1/4 OF THE SW1/4, SECTION 21, T. 7 N., R. 8 E., CITY OF MADISON, DANE COUNTY, WISCONSIN. COMPLAINING: 1-724-833-89, FT. - 39-55-40-89S



AREA TABLE

LOT NO.	AREA (SQ. FT.)	AREA (SQ. YD.)
1	10,000	727.67
2	10,000	727.67
3	10,000	727.67
4	10,000	727.67
5	10,000	727.67
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95	10,000	727.67
96	10,000	727.67
97	10,000	727.67
98	10,000	727.67
99	10,000	727.67
100	10,000	727.67

These are not to be construed as a warranty of any kind, but are for information only. The City of Madison, Wisconsin, does not warrant the accuracy of the information provided herein. The City of Madison, Wisconsin, does not warrant the accuracy of the information provided herein. The City of Madison, Wisconsin, does not warrant the accuracy of the information provided herein.

Department of Administration

Woodstone

A FINAL PART OF

CA GROTHMAN & ASSOCIATES S.C.

1000 EAST WISCONSIN AVENUE, SUITE 200, MADISON, WISCONSIN 53703

TEL: 608-261-1000 FAX: 608-261-1001

THIS PROJECT IS CONTROLLED BY THE CITY OF MADISON.

LEGEND

- 1" x 1" x 3/4" IRON REBAR SET
- PK. WALK FIN.
- 3/4" IRON ROD FIN.
- 1 1/4" IRON ROD FIN.
- 6" CONCRETE W/REINFORCING
- RESURFACING
- CONCRETE UTILITY EXPOSED

SCALE 1" = 10'

LEGEND

- 1" x 1" x 3/4" IRON REBAR SET
- PK. WALK FIN.
- 3/4" IRON ROD FIN.
- 1 1/4" IRON ROD FIN.
- 6" CONCRETE W/REINFORCING
- RESURFACING
- CONCRETE UTILITY EXPOSED

OWNER/SUBOWNER

THE CITY OF MADISON

ENGINEER

CA GROTHMAN & ASSOCIATES S.C.

1000 EAST WISCONSIN AVENUE, SUITE 200, MADISON, WISCONSIN 53703

TEL: 608-261-1000 FAX: 608-261-1001

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