



Location
1001 Sugar Maple Lane

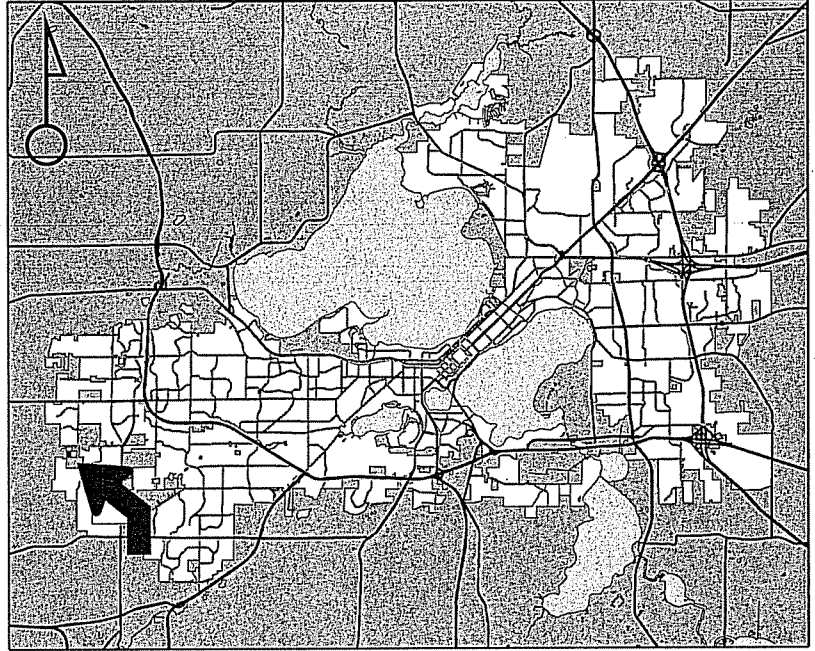
Project Name
Sugar Maple Apartments

Applicant
Sugar Maple, LLC/Randy Bruce -
Knothe & Bruce Architects

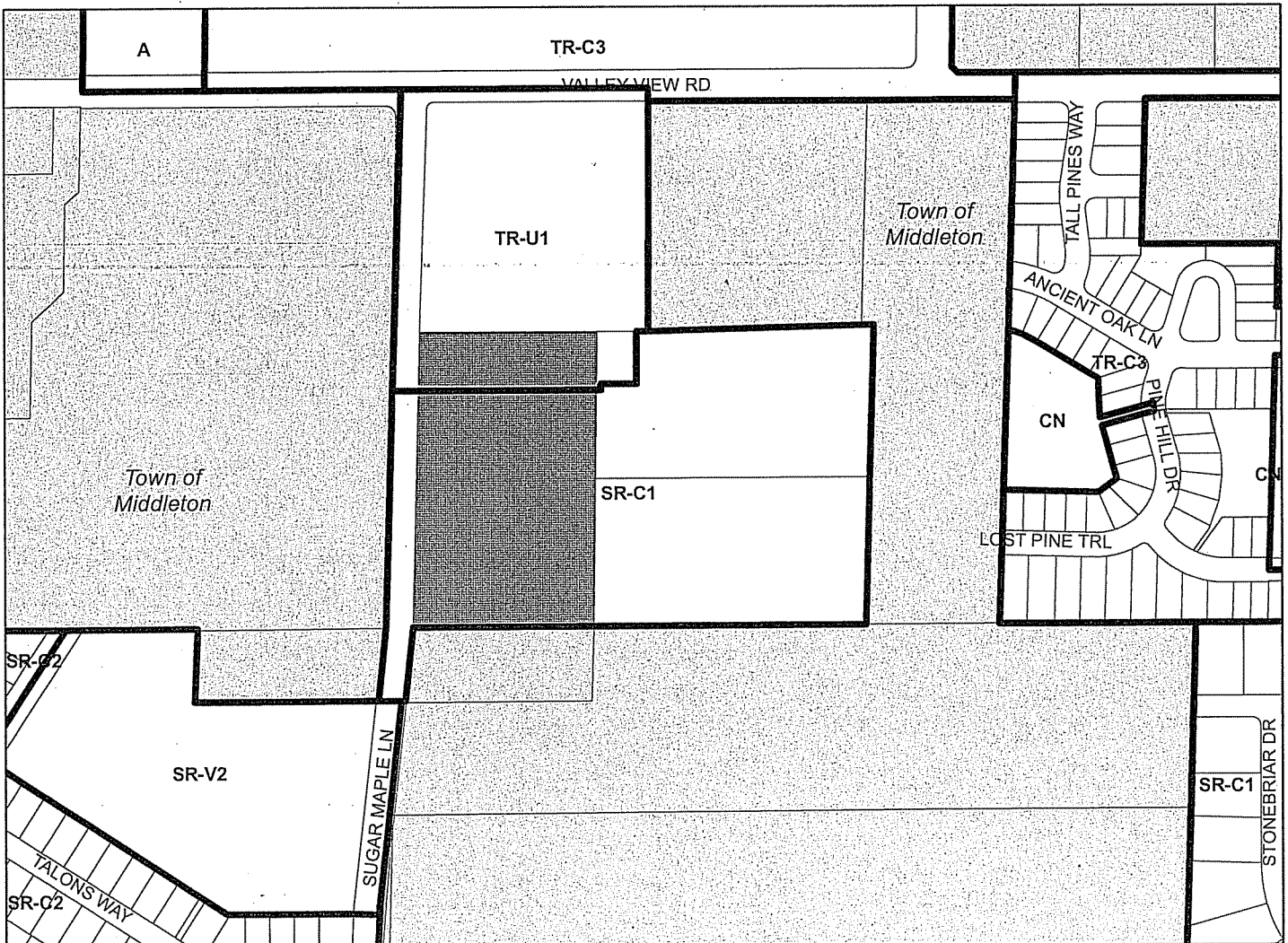
Existing Use
Vacant lands

Proposed Use
Construct residential building complex
containing 180 apartments in 8 buildings

Public Hearing Date
Plan Commission
07 July 2014



For Questions Contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : RPJ : Date : 25 June 2014





LAND USE APPLICATION Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- A separate Urban Design Commission application is no longer required for projects requiring both Urban Design Commission and Plan Commission approvals.
- This form may also be completed online at <http://www.cityofmadison.com/developmentcenter/landdevelopment>
- All Land Use Applications should be filed with the Zoning Administrator at the above address.

FOR OFFICE USE ONLY:	
Amt. Paid \$ <u>1200</u>	Receipt No. <u>154846</u>
Date Received	_____
Received By	_____
Parcel No.	_____
Aldermanic District	_____
GQ	_____
Zoning District	_____
For Complete Submittal	
Application <u>/</u>	Letter of Intent _____
Photos _____	Legal Descript. <u>/</u>
Plan Sets _____	Zoning Text _____
Alder Notification _____	Waiver _____
Ngbrhd. Assn Not. _____	Waiver _____
Date Sign Issued	_____

1. **Project Address:** 1001 Sugar Maple Lane **Project Area in Acres:** 6.32 acres

Project Title (if any): Sugar Maple Apartments

2. **This is an application for (Check all that apply to your Land Use Application):**

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Review of Minor Alteration to Planned Development by the Plan Commission Only

3. **Applicant, Agent & Property Owner Information:**

Applicant's Name: Alex McKenzie Company: T.R. McKenzie, Inc.

Street Address: 1910 Hawks Ridge Dr. #322 City/State: Verona, WI Zip: 53593

Telephone: (608) 848-0111 Fax: () Email: alex@trmckenzie.com

Project Contact Person: J. Randy Bruce Company: Knothe & Bruce Architects

Street Address: 7601 University Ave Suite 201 City/State: Middleton, WI Zip: 53562

Telephone: (608) 836-3690 Fax: () Email: rbruce@knothebruce.com

Property Owner (if not applicant): Sugar Maple, LLC

Street Address: 1910 Hawks Ridge Dr. #322 City/State: Verona, WI Zip: 53593

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: _____

Residential housing development with a mix of single family homes and multi-family housing

Development Schedule: Commencement Start Summer 2014 Completion Complete Summer 2016

5. Required Submittals:

- Site Plans**, fully dimensioned and describing pertinent project details, submitted as follows below and depicting all lot lines; existing, altered, demolished and/or proposed buildings; parking areas and driveways; sidewalks; the location of any new signs; existing and proposed utility locations; building elevations, materials and floorplans, and; landscaping:
 - **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (collated, stapled and folded)
 - **Twenty (20) copies** of the plan set reduced to fit onto 11 X 17-inch paper (collated, stapled and folded)
 - For projects also being reviewed by the **Urban Design Commission**, **twelve (12) additional** 11 X 17-inch copies.
 - **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper
- REVISED! – Letter of Intent: Twelve (12) copies** describing this application in detail including, but not limited to: existing conditions; the project schedule; names of persons involved (contractor, architect, civil engineer, etc.); details of the project, including proposed uses, building square footage, number of dwelling units, auto and bike parking stalls, etc.; hours of operation; value of land; project cost; any public subsidy requested, and; number of construction and full-time equivalent jobs created. **For projects also being reviewed by the Urban Design Commission, provide twelve (12) additional copies** of the letter.
- Filing Fee:** Refer to the Land Use Application Information & Fee Schedule. Make checks payable to: *City Treasurer*.
- Electronic Submittal:** All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets, etc.) as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

In Addition, The Following Items May Also Be Required With Your Application:

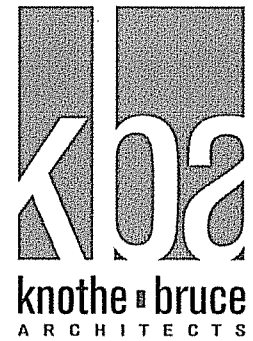
- Legal Description of Property:** For any application for rezoning, the description must be submitted as an electronic word document via CD or e-mail. For applications requesting rezoning to more than one district, a separate description of each district shall be submitted.
- For any applications proposing **Demolition or Removal** of existing buildings, the following items are required:
 - Prior to the filing of an application, the applicant or his/her agent is required to notify a list of interested persons registered with the City **30 or 60 days prior to filing** their application using the online notification tool found at: https://www.cityofmadison.com/developmentCenter/demolitionNotification/
 - A photo array (6-12 photos) of the **interior and exterior** of the building(s) to be demolished or removed. A written assessment of the condition of the building(s) to be demolished or removed is highly recommended.
 - Approval of a **Reuse & Recycling Plan** by the City's Recycling Coordinator is required prior to issuance of permits.
- A **Zoning Text** shall accompany all Planned Development District (PD/PCD/PUD) applications.

6. Applicant Declarations:

- Conformance with adopted City plans:** The site is located within the limits of the Mid-Town Neighborhood Development Plan, which recommends future residential for this property.
- Pre-application Notification:** Section 28.12 of the Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than **30** days prior to filing this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
This notification has been waived. Please see attached correspondence.
- If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.
- Pre-application Meeting with Staff:** Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.
 Planning Staff: Tim Parks Date: 3/4/2014 Zoning Staff: Pat Anderson - DAT Date: 4/24/2014

→ **The applicant attests that this form is accurately completed and all required materials are submitted:**

Name of Applicant Alex McKenzie Relation to Property Owner TR McKenzie Inc.
 Authorizing Signature of Property Owner *Alex McKenzie* Date 6/5/14



June 3, 2014

Ms. Katherine Cornwell
Department of Planning & Development
City of Madison
215 Martin Luther King Jr. Blvd
PO Box 2985
Madison, Wisconsin 53701

Re: Letter of Intent - Conditional Use
901-1001 Sugar Maple Lane
Sugar Maple Plat – Lots 45 & 46
KBA Project # 1310

Ms. Katherine Cornwell:

The following is submitted together with the plans, application, and zoning text for the staff and Plan Commission's consideration of approval.

Organizational Structure:

Owner/Developer: T.R. McKenzie
1910 Hawks Ridge Drive #322
Verona, WI 53593
Phone: 608-848-0111
Contact: Scott McKenzie
sa@trmckenzie.com

Engineer: D'Onofrio Kottke & Assoc.
7530 Westward Way
Madison, WI 53717
Phone: 608-833-7530
Fax: 608-833-1089
Contact: Ron Klaas
rklaas@donofrio.cc

Architect: Knothe & Bruce Architects, LLC
7601 University Avenue, Ste 201
Middleton, WI 53562
Phone: 608-836-3690
Fax: 608-836-6934
Contact: Randy Bruce
rbruce@knothebruce.com

Landscape Design: Herman Landscape Service, Inc.
6606 Seybold Road
Madison, WI 53744
Phone: 608-288-9400
Fax: 608-288-9485
Contact: Ellen Cashman
ellen@hermanlandscape.com

Introduction:

The proposed site is located on the corner of Sugar Maple Lane and Valley View Road in Madison, Wisconsin. The site is zoned TR-UI.

The proposed development plan will create a high end apartment community that will feature attractive architecture, extensive landscaping and amenities that will appeal to a broad range of residents. Amenities including a business center, fitness facility and a community room that will help attract the residents that demands such services.

Project Description:

The site plan is designed to provide an integrated medium-density housing environment with a variety of rental apartments. The project consists of two lots (lot 45 and 46) which is otherwise known as Sugar Maple Plat (September 16, 2013). The development consists of 8 buildings and includes a total of 180 apartments and has a variety of building sizes and heights, which range from two-story townhouses to a three-story 44-unit building. The building façades includes changes in color, texture and material with high-quality façade materials. The exterior materials will be a combination of masonry and horizontal vinyl siding and vertical fiber-cement siding with a simulated stone base.

Vehicular access to the site is achieved from Sugar Maple Lane, Ancient Oak Lane, and Cherry Blossom Drive. Underground parking at each building is provided and includes 178 resident parking stalls. An additional 76 parking spaces on grade is provided. Bicycle parking is dispersed throughout the site.

Conditional Use

A 180 unit multi-family development is a planned residential development and a conditional use in TR-UI, according to Chapter 28, Madison Zoning Code Ordinance 28.050, Table 28C-1.

Site Development Data:

<u>Densities:</u>	<u>LOT 45</u>	<u>LOT 46</u>
Lot Area in S.F.	139,762 S.F.	135,644 S.F.
Lot Area in Acres	3.33 acres	2.99 acres
Dwelling Units	74 DU	106 DU
Lot Area / D.U.	1,960 SF/unit	1,230 SF/unit
Density	22.2 units/acre	35.3 units/acre
Open Space	56,607 S.F.	40,521 S.F.
Open Space / D.U.	765 S.F./unit	382.3 S.F./unit

Total Area: 275,406 S.F. / 6.32 acres
Total Dwelling Units: 180 D.U.
Total Lot Area / D.U.: 1,530 SF/unit
Total Density: 28.5 Units/Acre
Total Open Space: 97,128 S.F.
Total Open Space / D.U.: 539 S.F./unit

<u>Vehicle Parking:</u>	<u>LOT 45</u>	<u>LOT 46</u>
Surface:	40 stalls	36 stalls
Underground:	69 stalls	93 stalls

<u>Garage</u>	<u>6 stalls</u>	<u>10 stalls</u>
Total	115 stalls	139 stalls

<u>Bicycle Parking:</u>	<u>LOT 45</u>	<u>LOT 46</u>
Garage - wall hung	28 stalls	32 stalls
Garage – STD. 2'x6'	52 stalls	65 stalls
<u>Exterior – STD. 2'x6'</u>	<u>8 stalls</u>	<u>12 stalls</u>
Total	88 stalls	109 stalls

<u>Gross Floor Areas:</u>	<u>LOT 45</u>	<u>LOT 46</u>
Building 1	39,561 S.F.	39,561 S.F.
Building 2	-	-
Building 3	70,790 S.F.	-
Building 4	-	50,960 S.F.
Building 5	-	50,960 S.F.
Building 6	12,678 S.F.	-
Building 7	-	8,355 S.F.
<u>Building 8</u>	<u>-</u>	<u>12,678 S.F.</u>
Total	123,029 S.F.	162,514 S.F.

Development GFA Total: 285,543 S.F. (including garage level)
 Floor Area Ratio: 1.04 (including garage level)

<u>Dwelling Unit Mix:</u>	<u>LOT 45</u>	<u>LOT 46</u>
Efficiency	6	14
Studio/Loft	4	8
One Bedroom	33	42
Two Bedroom	18	26
<u>Two Bedroom Loft</u>	<u>13</u>	<u>16</u>
Total Dwelling Units	74	106


Building Height: 36-Unit & 44-Unit: Four Stories (Three Stories + Loft),
 24-Unit: Three Stories (Two Stories + Loft),
 6-Unit & 4-Unit: Two Stories

Project Schedule:

It is anticipated that the new construction phase will start in Summer 2014 and be completed in Summer 2016.

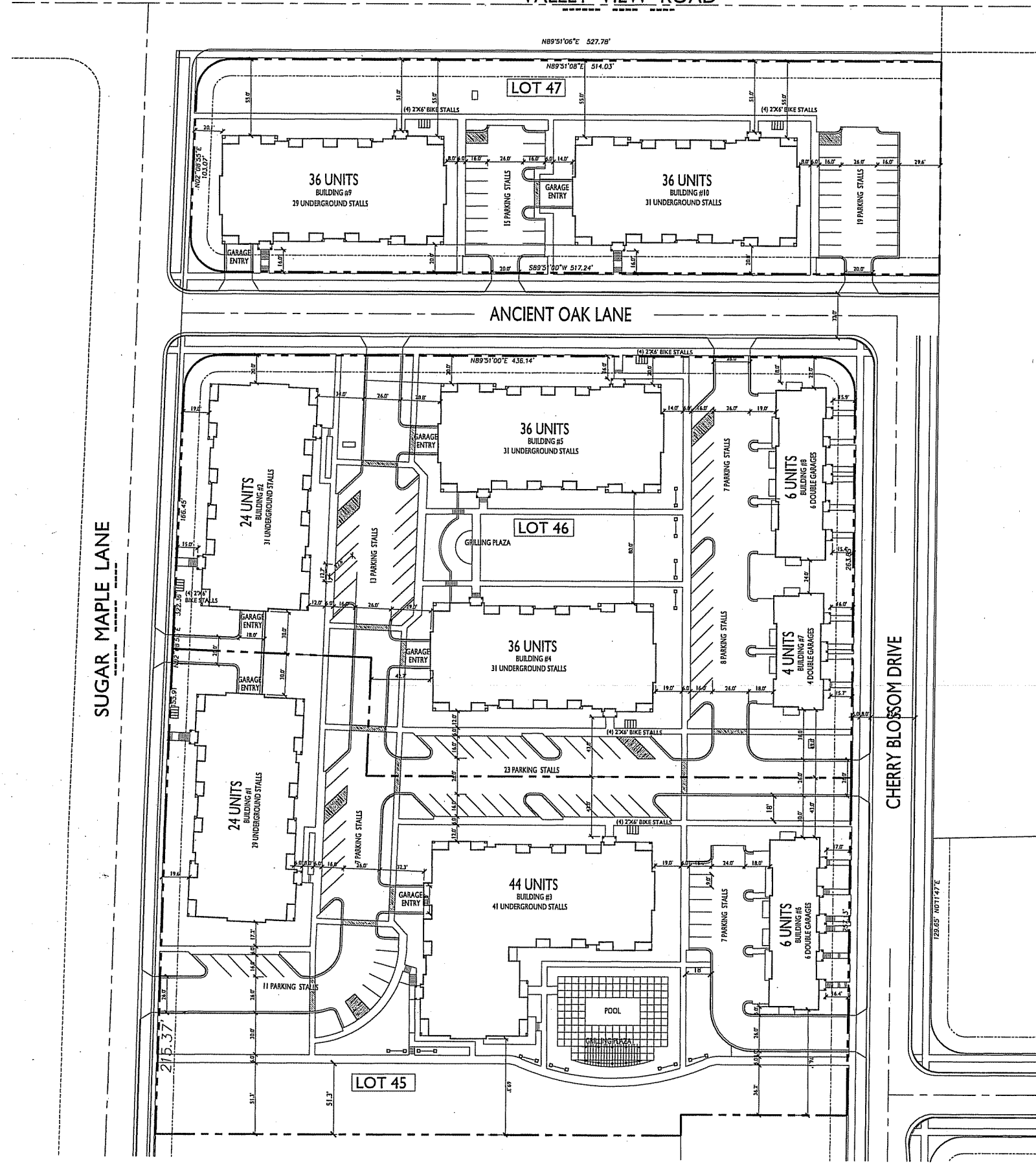
Thank you for your time reviewing our proposal.

Sincerely,



J. Randy Bruce, AIA
 Managing Member

VALLEY VIEW ROAD



SITE INDEX SHEET

SITE	SITE PLAN
C-1.0	FIRE DEPARTMENT ACCESS PLAN
C-1.1	SITE LIGHTING PLAN
C-1.2	OPEN SPACE
C-1.3	
C-2.1	GRADING AND EROSION CONTROL PLAN
C-2.2	GRADING AND EROSION CONTROL PLAN
C-2.3	SITE UTILITY PLAN
C-2.4	SITE UTILITY PLAN
L-1.0	OVERALL LANDSCAPE PLAN
L-1.1	UNIT LANDSCAPE PLANS
ARCHITECTURAL	
1	BASEMENT PLAN - 24 UNIT BLDG 1&2
2	FIRST FLOOR PLAN - 24 UNIT BLDG 1&2
3	SECOND FLOOR PLAN - 24 UNIT BLDG 1&2
4	LOFT FLOOR PLAN - 24 UNIT BLDG 1&2
5	ELEVATIONS - 24 UNIT BLDG 1 (BLDG 2 SIM)
6	ELEVATIONS - 24 UNIT BLDG 1 (BLDG 2 SIM)
7	BASEMENT PLAN - 44 UNIT BLDG 3
8	FIRST FLOOR PLAN - 44 UNIT BLDG 3
9	SECOND FLOOR PLAN - 44 UNIT BLDG 3
10	THIRD FLOOR PLAN - 44 UNIT BLDG 3
11	LOFT FLOOR PLAN - 44 UNIT BLDG 3
12	ELEVATIONS - 44 UNIT BLDG 3
13	ELEVATIONS - 44 UNIT BLDG 3
14	BASEMENT PLAN - 36 UNIT BLDG 4,5,9,10
15	FIRST FLOOR PLAN - 36 UNIT BLDG 4,5,9,10
16	SECOND FLOOR PLAN - 36 UNIT BLDG 4,5,9,10
17	THIRD FLOOR PLAN - 36 UNIT BLDG 4,5,9,10
18	LOFT FLOOR PLAN - 36 UNIT BLDG 4,5,9,10
19	ELEVATIONS - 36 UNIT BLDG 4 (5,9,10 SIM)
20	ELEVATIONS - 36 UNIT BLDG 4 (5,9,10 SIM)
21	FLOOR PLANS - 6 UNIT BLDG 6 & 8
22	ELEVATIONS - 6 UNIT BLDG 8 (BLDG 6 SIM)
23	FLOOR PLANS - 4 UNIT BLDG 7
24	ELEVATIONS - 4 UNIT BLDG 7

SITE DEVELOPMENT STATISTICS - LOT 45 & 46

LOT AREA 275,406 SF/ 6.32 ACRES
 DWELLING UNITS 180 DU
 LOT AREA/ D.U. 1,530 SF/DU
 DENSITY 28.5 UNITS/ACRE
 BUILDING HEIGHT 2-4 STORIES

GROSS FLOOR AREA 285,543 SF INCLUDING GARAGE LEVEL
 FLOOR AREA RATIO 1.04 INCLUDING GARAGE LEVEL

UNIT MIX	LOT 45	LOT 46
EFFICIENCY	6	14
STUDIO/LOFT	4	8
ONE BEDROOM	33	42
TWO BEDROOM	18	26
TWO BEDROOM LOFT	13	16
TOTAL	74	106

VEHICLE PARKING	LOT 45	LOT 46
SURFACE	40	36
UNDERGROUND	69	93
GARAGE	6	10
TOTAL	115	139

BIKE PARKING	LOT 45	LOT 46
SURFACE - 2x6	8	12
GARAGE - Wall Hung	28	32
GARAGE - 2x6	52	65
TOTAL	88	109



ISSUED
 Issued For SIP Submittal - January 28, 2014

PROJECT TITLE
Sugar Maple

Madison, WI
 SHEET TITLE
SITE PLAN

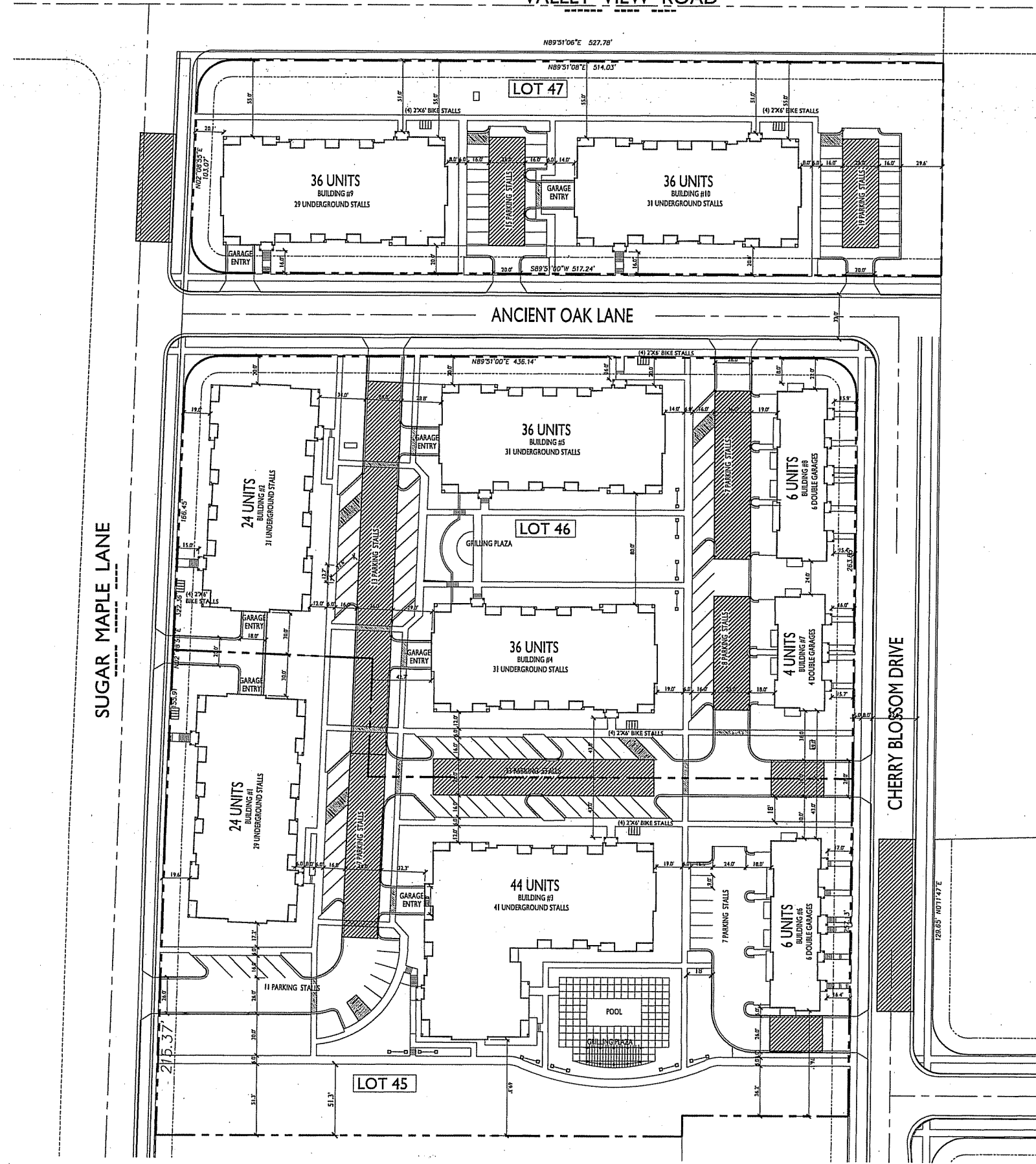
LOT 45 & 46
 SHEET NUMBER

C-1.0 12

1 SITE PLAN
 C-1.0 SCALE: 1"=40'-0"



VALLEY VIEW ROAD



 FIRE ACCESS LANES

ISSUED
 Issued For SIP Submittal - January 28, 2014

PROJECT TITLE
Sugar Maple

Madison, WI
 SHEET TITLE
FIRE DEPARTMENT ACCESS PLAN

LOT 45 & 46
 SHEET NUMBER

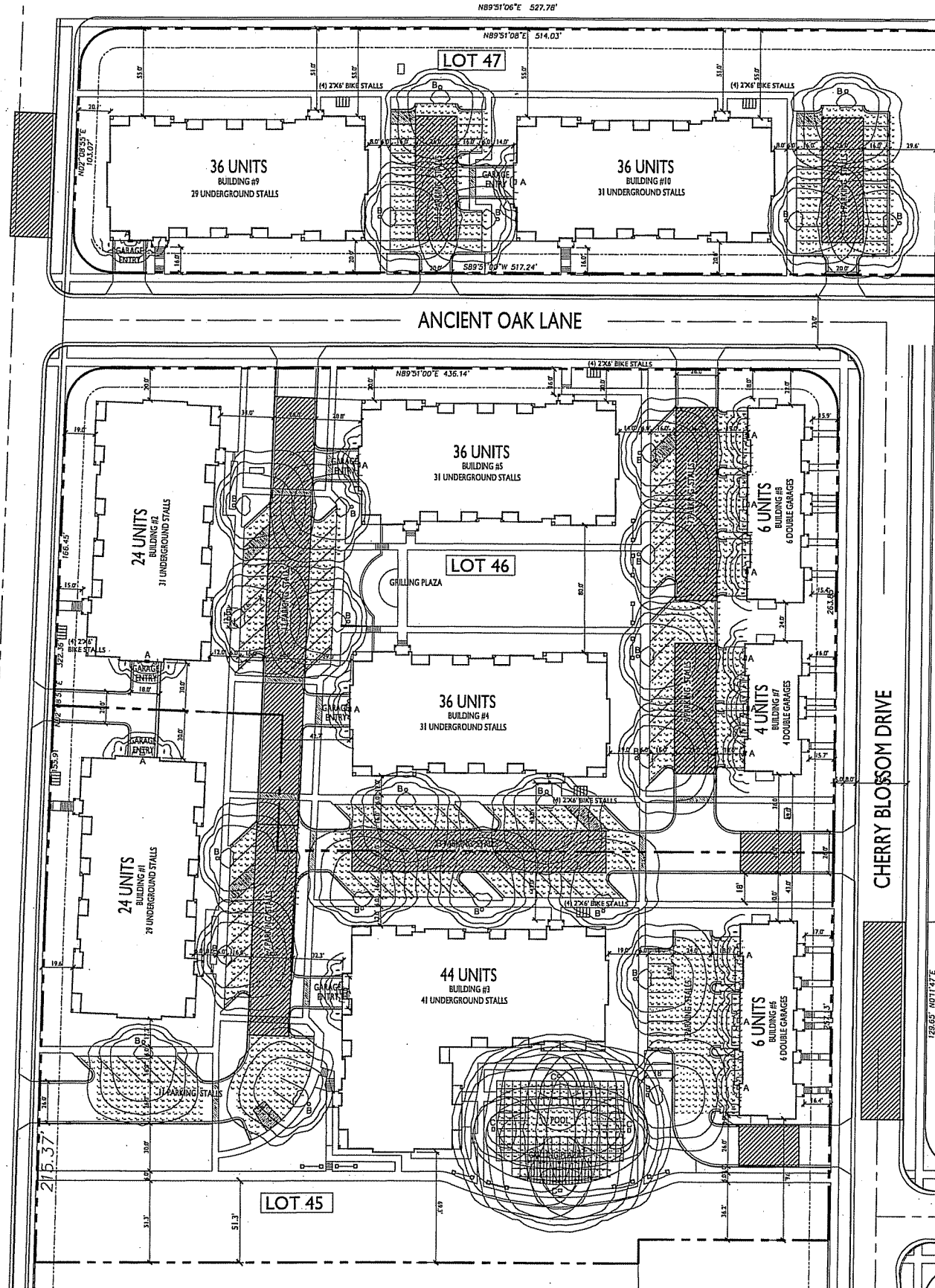
FIRE DEPARTMENT ACCESS PLAN
 C-1.1 SCALE: 1"=40'-0"



C-1.1

VALLEY VIEW ROAD

SUGAR MAPLE LANE



LIGHTING SCHEDULE

Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Mounting
□	A	10	RUUD LIGHTING	E8405	RECTANGULAR SECURITY / DEEP SHIELDED	60WATT MH	E8507.JES	8'-0" ABOVE GRADE ON SIDE OF BUILDING
○	B	25	RUUD LIGHTING	MAC410SBL	12" AREA CUTOFF / W/BACK LT. SHIELD	100 WATT MH	MAC417SBL.je	10'-0" POLE ON 2'-0" TALL CONC. BASE
□	C	4	RUUD LIGHTING	AC440	10" AREA CUTOFF / FORWARD THROW	400 WATT MH	AC440.jes	20'-0" POLE ON 2'-0" TALL CONC. BASE

LIGHTING STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Pool and Deck	+	11.5 fc	17.4 fc	3.2 fc	5.4:1	3.6:1
North Parking	+	1.0 fc	5.0 fc	0.4 fc	14.8:1	4.0:1
Central Parking	+	1.2 fc	5.0 fc	0.3 fc	19.3:1	4.0:1
Southeast Parking	+	1.2 fc	0.0 fc	0.2 fc	33.0:1	4.0:1

ISSUED
Issued For SIP Submittal - January 28, 2014

PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
SITE LIGHTING PLAN

LOT 45 & 46
SHEET NUMBER

1 SITE LIGHTING PLAN
C-1.2 SCALE: 1"=40'-0"

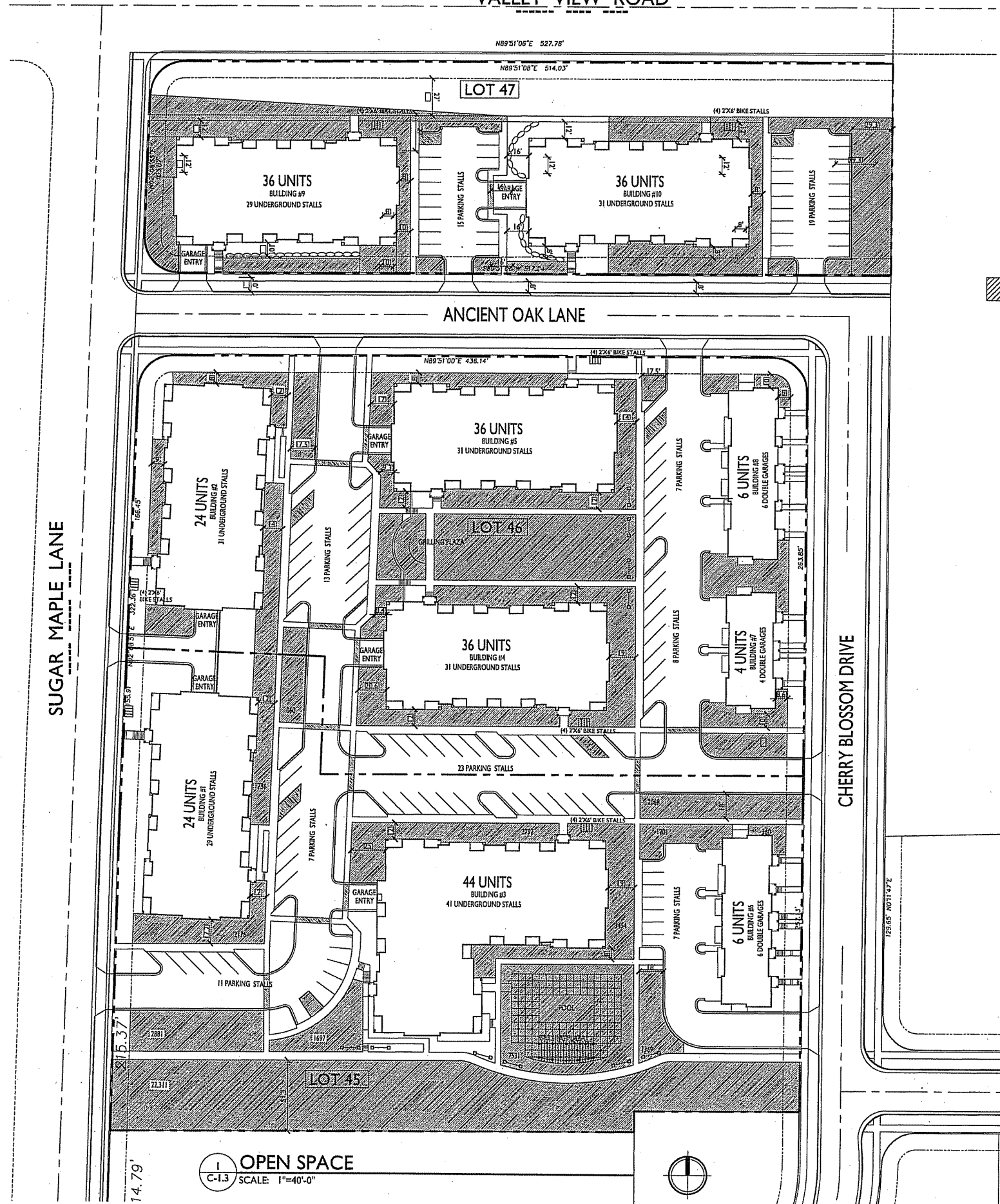


C-1.2

PROJECT NO. 1310
© 2013 Knothe & Bruce Architects, LLC

knothe & bruce
ARCHITECTS
Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562
CONSULTANT

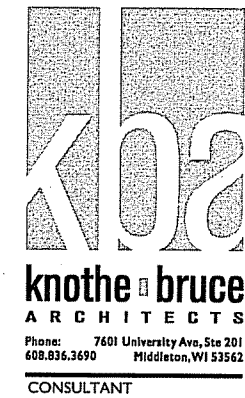
VALLEY VIEW ROAD



OPEN SPACE

LOT 45
 50,441 SF ON SITE
 2340 SF DECKS AT 24 UNIT
 3120 SF DECKS AT 44 UNIT
 706 SF DECKS AT 6 UNIT
 56,607 SF=TOTAL

LOT 46
 32,505 SF ON SITE
 2340 SF DECKS AT 24 UNIT
 2286 SF DECKS AT 36 UNIT
 398 SF DECKS AT 4 UNIT
 706 SF DECKS AT 6 UNIT
 40,521 SF = TOTAL



ISSUED
 Issued For SIP Submittal - January 28, 2014

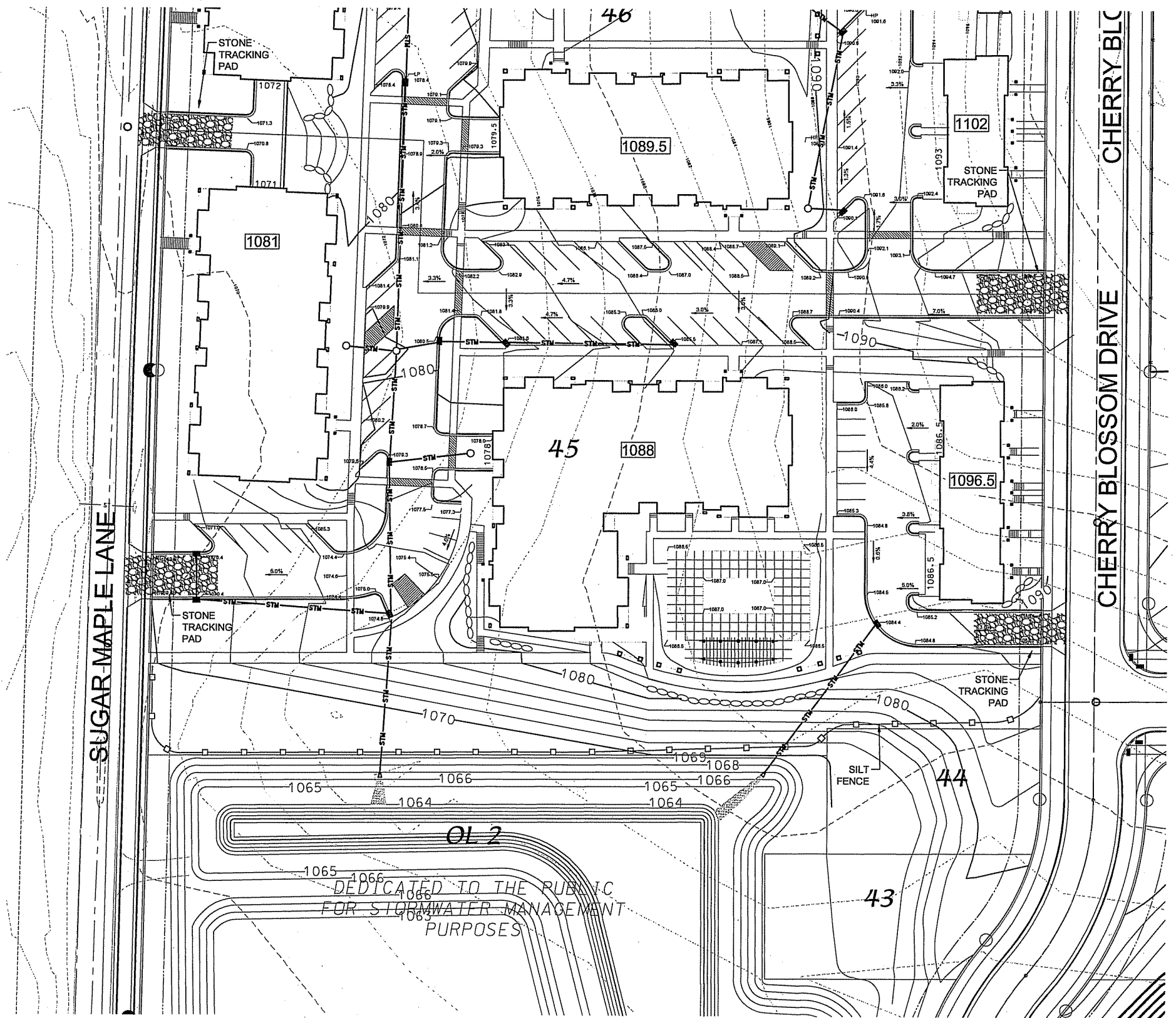
PROJECT TITLE
 Sugar Maple

Madison, WI
 SHEET TITLE
 OPEN SPACE
 PLAN

SHEET NUMBER

C-1.3

PROJECT NO. 1310
 © 2013 Knothe & Bruce Architects, LLC



- SITE GRADING AND EROSION CONTROL NOTES**
1. All site grading and erosion control shall conform to the City of Madison Chapter 37 Ordinance and any addendums prior to the contract bid date.
 2. Silt fence and the stone tracking pad shall be installed at the start of site grading and maintained until the site has been stabilized.
 3. Areas disturbed within the Sugar Maple Lane right-of-way shall be restored with 4" topsoil, fertilizer, seed and mulch.
 4. Disturbed areas within the site shall be restored per the approved landscape plan.
 5. Sugar Maple Lane shall be cleaned daily as necessary. Hydraulic flushing will not be allowed.
 6. Erosion control shall be the responsibility of the Earthwork Contractor until the site has been stabilized. Erosion measures as listed shall be the minimum that will be acceptable.
 7. The Contractor shall install additional erosion measures as requested in writing by the project superintendent or the City of Madison within 24 hours of notification.
 8. Once the site has undergone final restoration and vegetation has established, the silt fence shall be removed and if necessary, restored with fertilizer, seed and mulch. Alternatively, if vegetation has not established, erosion matting must be placed on all disturbed areas that may drain toward the silt fence.
 9. Type D inlet filter bags shall be installed in all inlets receiving runoff immediately upon placement of structure. They shall be cleaned and maintained throughout construction and removed after a satisfactory stand of grass has been achieved.
 10. All slopes 4:1 or steeper shall be restored with 4" topsoil, fertilizer, seed and Class I, Type A erosion mat. Seed mix shall be consistent with the approved landscape plan.

D'ONOFRI KOTTKE AND ASSOCIATES, INC.
 7330 Westward Way, Madison, WI 53717
 Phone: 608.833.2550 • Fax: 608.833.1089
 YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

GRADING AND EROSION CONTROL

SUGAR MAPLE APARTMENTS

SUGAR MAPLE LANE
 MADISON, WI



SCALE: 1" = 30'
 (PAGE SIZE 24x36)

DATE: 05-07-14
 REVISED:

DRAWN BY: NGO

FN: 14-05-101

Sheet Number:
 C-2.1

- SITE GRADING AND EROSION CONTROL NOTES**
1. All site grading and erosion control shall conform to the City of Madison Chapter 37 Ordinance and any addendums prior to the contract bid date.
 2. Silt fence and the stone tracking pad shall be installed at the start of site grading and maintained until the site has been stabilized.
 3. Areas disturbed within the Sugar Maple Lane right-of-way shall be restored with 4" topsoil, fertilizer, seed and mulch.
 4. Disturbed areas within the site shall be restored per the approved landscape plan.
 5. Sugar Maple Lane shall be cleaned daily as necessary. Hydraulic flushing will not be allowed.
 6. Erosion control shall be the responsibility of the Earthwork Contractor until the site has been stabilized. Erosion measures as listed shall be the minimum that will be acceptable.
 7. The Contractor shall install additional erosion measures as requested in writing by the project superintendent or the City of Madison within 24 hours of notification.
 8. Once the site has undergone final restoration and vegetation has established, the silt fence shall be removed and if necessary, restored with fertilizer, seed and mulch. Alternatively, if vegetation has not established, erosion matting must be placed on all disturbed areas that may drain toward the silt fence.
 9. Type D Inlet filter bags shall be installed in all inlets receiving runoff immediately upon placement of structure. They shall be cleaned and maintained throughout construction and removed after a satisfactory stand of grass has been achieved.
 10. All slopes 4:1 or steeper shall be restored with 4" topsoil, fertilizer, seed and Class 1, Type A erosion mat. Seed mix shall be consistent with the approved landscape plan.

GRADING AND EROSION CONTROL
SUGAR MAPLE APARTMENTS
 SUGAR MAPLE LANE
 MADISON, WI



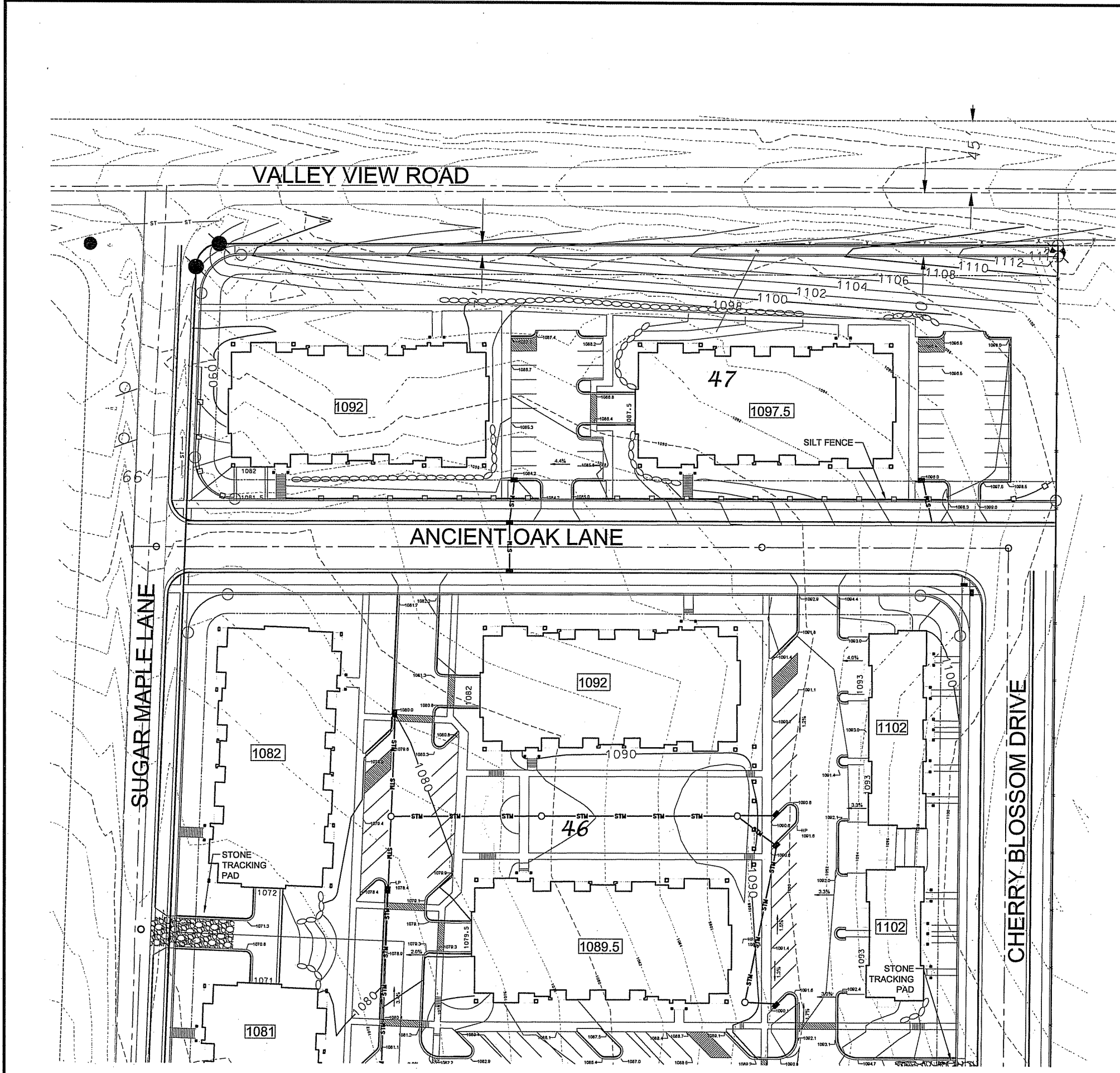
SCALE: 1" = 30'
 (PAGE SIZE 24x36)

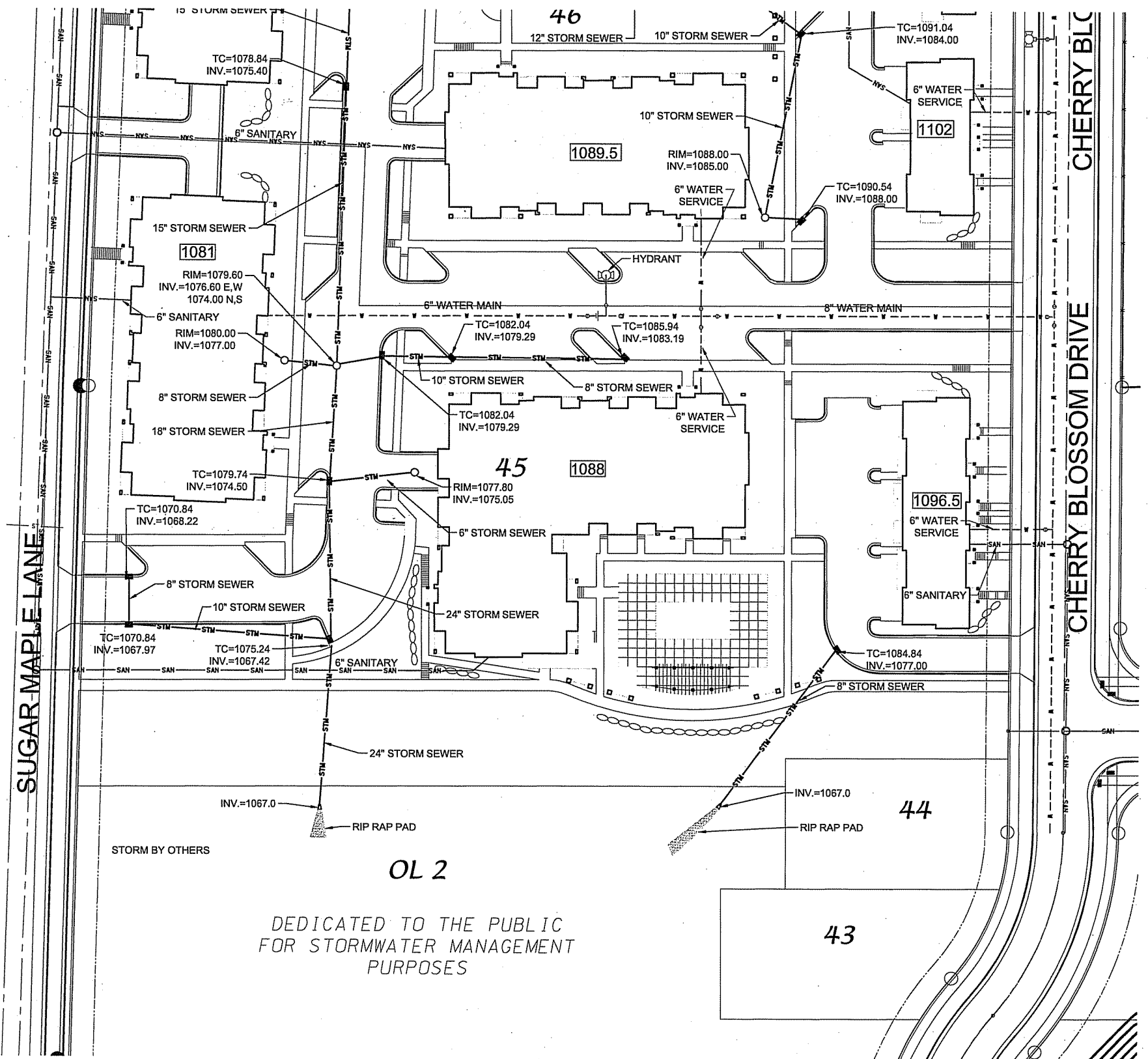
DATE: 05-07-14
 REVISED:

DRAWN BY: MGO

FN: 14-05-101

Sheet Number:
 C-2.2





UTILITY NOTES:

1. All site utilities shall conform to the City of Madison Standard Specifications for Public Works Construction, latest edition.
2. The locations of existing utility installations as shown on this drawing were obtained from the records of municipality, local utility records and Diggers Hotline locations. The accuracy of these records or the locations by Diggers Hotline cannot be certified or guaranteed. There may be other underground utility installations within the project area that are not shown.
3. Contractor shall provide 6.5' of cover for the new water service.
4. Storm sewer shall be installed with water tight joints.
5. Sanitary sewer lateral shall be PVC, SDR-35.
6. 10. All utilities serving the proposed building shall be stubbed 5 feet inside of the building and marked using a 4" x 4" hardwood post.
7. Prior to connecting to existing storm sewer or sanitary sewer the contractor shall verify the existing inverts and notify project superintendent if discrepancies are found from plan grades.
8. Contractor to coordinate with the respective companies for gas, electric, telephone, cable extensions and/or abandonment.
9. Prior to storm sewer construction, the Utility Contractor shall obtain a connection and excavation permit from the City.
10. All proposed storm sewer, sanitary sewer and water services within Lots 45-47 are private except where labeled as public.

SUGAR MAPLE LANE

CHERRY BLOSSOM DRIVE

STORM BY OTHERS

OL 2

DEDICATED TO THE PUBLIC
FOR STORMWATER MANAGEMENT
PURPOSES

D'ONOFRIO KOTTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.633.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

SITE UTILITY PLAN
SUGAR MAPLE APARTMENTS
SUGAR MAPLE LANE
MADISON, WI



SCALE: 1" = 30'
(PAGE SIZE: 24x36)

DATE: 05-07-14
REVISED:

DRAWN BY: NIG

FN: 14-05-101

Sheet Number:
C-2.3

UTILITY NOTES:

1. All site utilities shall conform to the City of Madison Standard Specifications for Public Works Construction, latest edition.
2. The locations of existing utility installations as shown on this drawing were obtained from the records of municipality, local utility records and Diggers Hotline locations. The accuracy of these records or the locations by Diggers Hotline cannot be certified or guaranteed. There may be other underground utility installations within the project area that are not shown.
3. Contractor shall provide 6.5' of cover for the new water service.
4. Storm sewer shall be installed with water tight joints.
5. Sanitary sewer lateral shall be PVC, SDR-35.
6. 10. All utilities serving the proposed building shall be stubbed 5 feet inside of the building and marked using a 4" x 4" hardwood post.
7. Prior to connecting to existing storm sewer or sanitary sewer the contractor shall verify the existing inverts and notify project superintendent if discrepancies are found from plan grades.
8. Contractor to coordinate with the respective companies for gas, electric, telephone, cable extensions and/or abandonment.
9. Prior to storm sewer construction, the Utility Contractor shall obtain a connection and excavation permit from the City.
10. All proposed storm sewer, sanitary sewer and water services within Lots 45-47 are private except where labeled as public.

SITE UTILITY PLAN

SUGAR MAPLE APARTMENTS

SUGAR MAPLE LANE
MADISON, WI



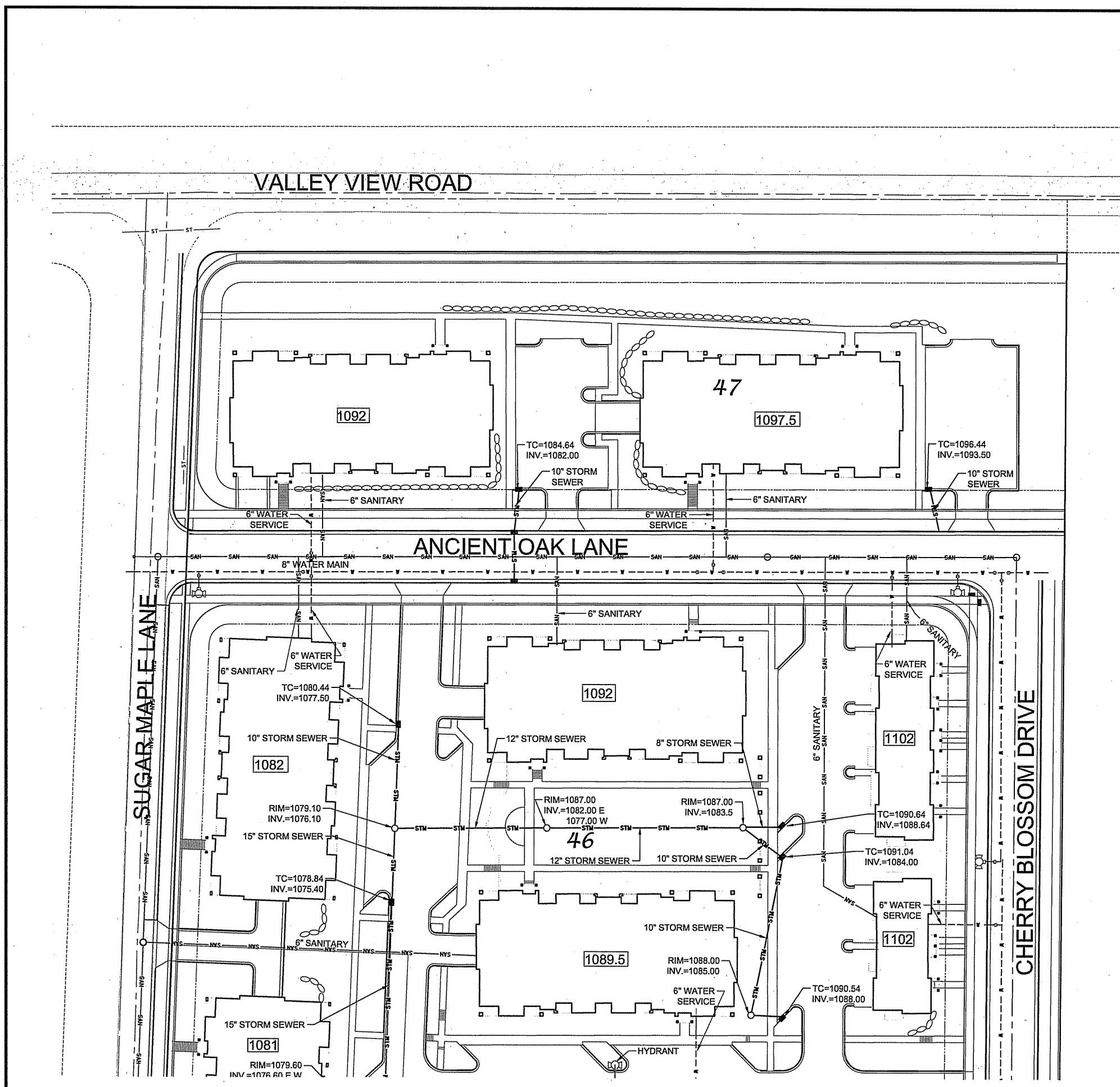
SCALE: 1" = 30'
(PAGE SIZE 24x36)

DATE: 05-07-14
REVISED:

DRAWN BY: MGO

FN: 14-05-101

Sheet Number:
C-2.4



VALLEY VIEW ROAD

Symbol	Scientific Name	Common Name	Size	Quantity	Root
OVERSTORY DECIDUOUS TREES					
ABM	<i>Acer x freemanii</i> 'Jeffersred'	Autumn Blaze Maple	2"	34	B&B
HB	<i>Celtis occidentalis</i>	Common Hackberry	2"	9	B&B
NHE	<i>Ulmus</i> 'New Horizon'	New Horizon Hybrid Elm	2"	8	B&B
SM	<i>Acer saccharum</i> 'Green Mountain'	Green Mountain Sugar Maple	2"	8	B&B
SWO	<i>Quercus bicolor</i>	Swamp White Oak	2"	8	B&B
ORNAMENTAL TREES					
ABS	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5"	9	B&B
CP	<i>Pyrus calleryana</i> 'Cleveland Select'	Cleveland Select Pear	1.5"	5	B&B
ISL	<i>Syringa reticulata</i> 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5"	6	B&B
RB	<i>Cercis canadensis</i>	Redbud	1.5"	5	B&B
RRC	<i>Malus transitoria</i> 'Royal Raindrops'	Royal Raindrops Crabapple	1.5"	6	B&B
ZC	<i>Malus 'Zumi'</i>	Zumi Crabapple	1.5"	11	B&B
EVERGREEN TREES					
BHS	<i>Picea glauca</i> var. <i>densata</i>	Black Hills Spruce	6 ft	6	B&B
CS	<i>Picea pungens</i> forma <i>glauca</i>	Blue Colorado Spruce	5 ft	3	B&B
DGA	<i>Thuja occidentalis</i> 'Dark Green'	Dark Green Arborvitae	5 ft	7	B&B
NS	<i>Picea abies</i>	Norway Spruce	6 ft	3	B&B
WP	<i>Pinus strobus</i>	White Pine	6 ft	9	B&B



knothe bruce
ARCHITECTS
Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

CONSULTANT

Issued For SIP Submittal - January 28, 2014
ISSUED

Sugar Maple
PROJECT TITLE

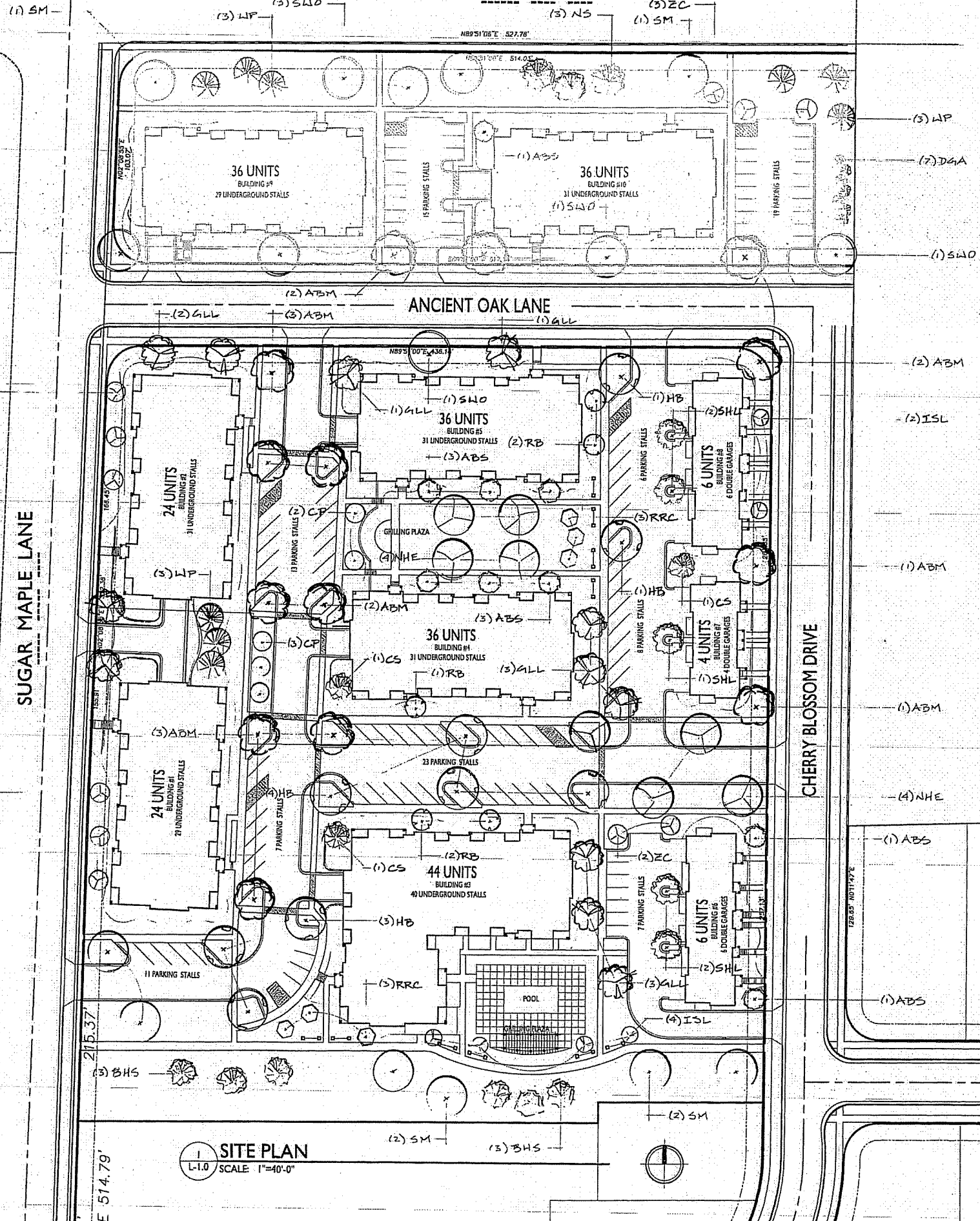
Madison, WI

SITE PLAN
SHEET TITLE

SHEET NUMBER

L-1.0

1310



1 SITE PLAN
L-1.0 SCALE 1"=40'-0"



(2) SWO

(3) ZC

(3) ALL

(3) ZC

(2) SM

SUGAR MAPLE LANE

ANCIENT OAK LANE

CHERRY BLOSSOM DRIVE

WILD PRAIRIE TRAIL

E 514.79'

N89°49'14" E 521.1'

S89°49'14" W 520'

(2) SM

(3) BHS

(2) ABM

(2) ISL

(1) ABM

(1) ABM

(4) NHE

(1) ABS

(1) ABS

(3) WP

(7) DGA

(1) SWO

(1) SM

(3) WP

(3) SWO

(3) NS

(3) ZC

N89°51'06" E 527.78'

N89°50'07" E 436.1'

E 514.79'

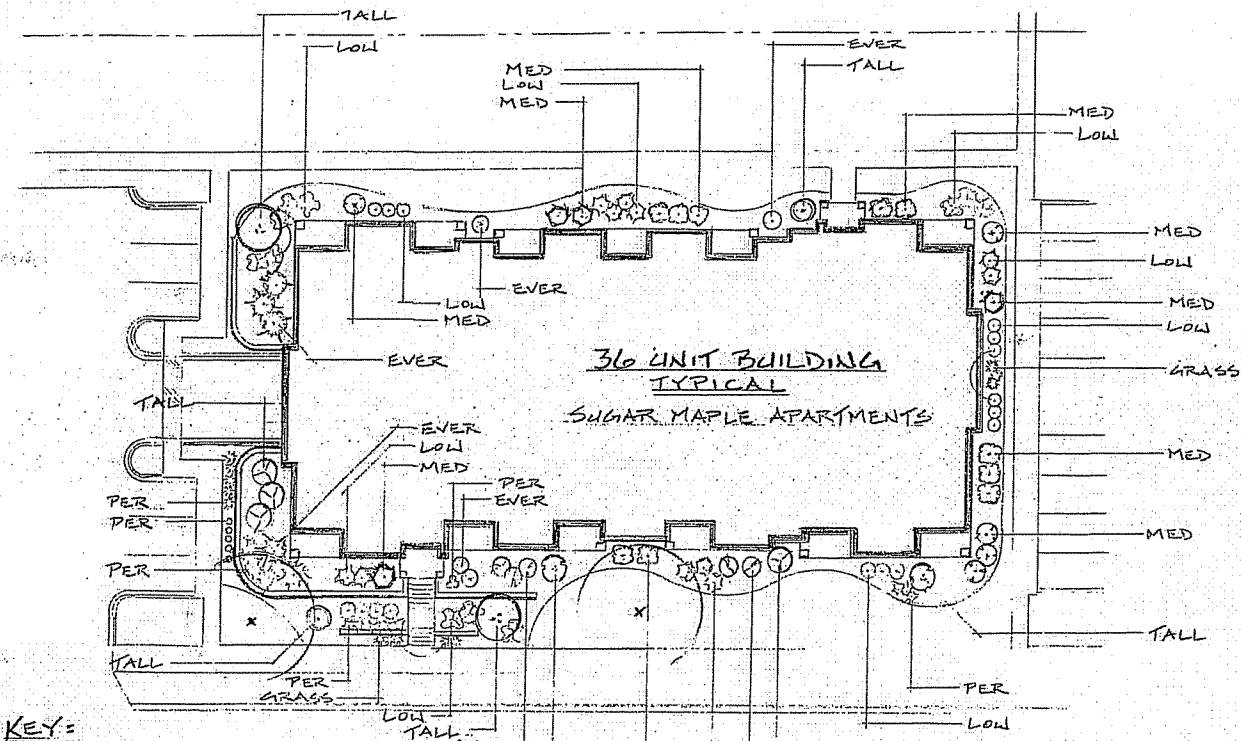
N89°05'40" E 401.47'



knothe • bruce
ARCHITECTS

Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

CONSULTANT



KEY:

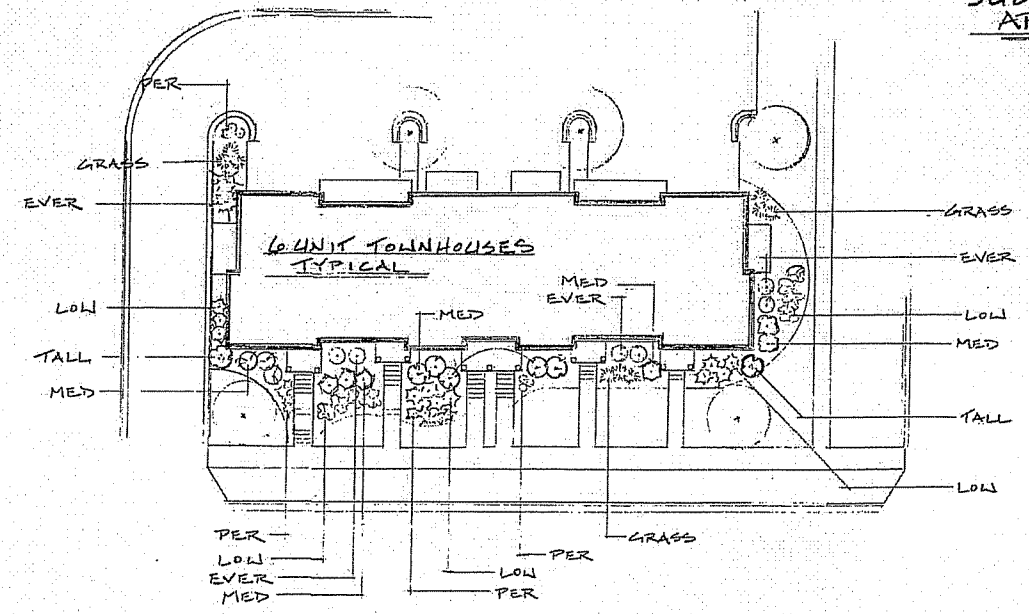
- TALL:** TALL DECIDUOUS SHRUBS
 AMELANCHIER CANADENSIS
 CORNUS BAILEYI
 SYRINGA PATULA 'MISSKIM'
 VIBURNUM TRILOBUM 'HAAS'
- MED:** MEDIUM DECIDUOUS SHRUBS
 ARONIA MELANOCARPA VAR ELATA
 HYDRANGEA ARBORESCENS 'ANNABELLE'
 PHYSCARPUS OPULIFOLIUS 'SUMMERLINE'
 WEIGELA FLORIDA 'CARNAVAL'

- LOW:** LOW DECIDUOUS SHRUBS
 FORSYTHIA VIRIDISSIMA 'BRONXENSIS'
 RHUS AROMATICA 'GRO-LOW'
 RIBES ALPIMUM 'GREEN MOUND'

- EVER:** EVERGREEN SHRUBS
 JUNIPER 'KALLAYS COMPACTA'
 TAXUS MEDIA 'TAUNTONII'
- PER:** PERENNIALS - HEMEROCALLIS
 HEUCHERA
- GRASS:** ORNAMENTAL GRASS

SCALE: 1" = 20'

SUGAR MAPLE APARTMENTS



KEY:

- TALL:** TALL DECIDUOUS SHRUBS
 SYRINGA PATULA 'MISSKIM'
- MED:** MEDIUM DECIDUOUS SHRUBS
 ARONIA MELANOCARPA VAR ELATA
 HYDRANGEA ARBORESCENS 'ANNABELLE'
 PHYSCARPUS OPULIFOLIUS 'SUMMERLINE'
 WEIGELA FLORIDA 'CARNAVAL'

- LOW:** LOW DECIDUOUS SHRUBS
 FORSYTHIA VIRIDISSIMA 'BRONXENSIS'
 RHUS AROMATICA 'GRO-LOW'
 RIBES ALPINA 'GREEN MOUND'
- EVER:** EVERGREEN SHRUBS
 JUNIPER 'KALLAYS COMPACTA'
 TAXUS MEDIA 'TAUNTONII'

- PER:** PERENNIALS - HEMEROCALLIS
 HEUCHERA
- GRASS:** ORNAMENTAL GRASS

SCALE: 1" = 20'

ISSUED
 Issued For SIP Submittal - January 28, 2014

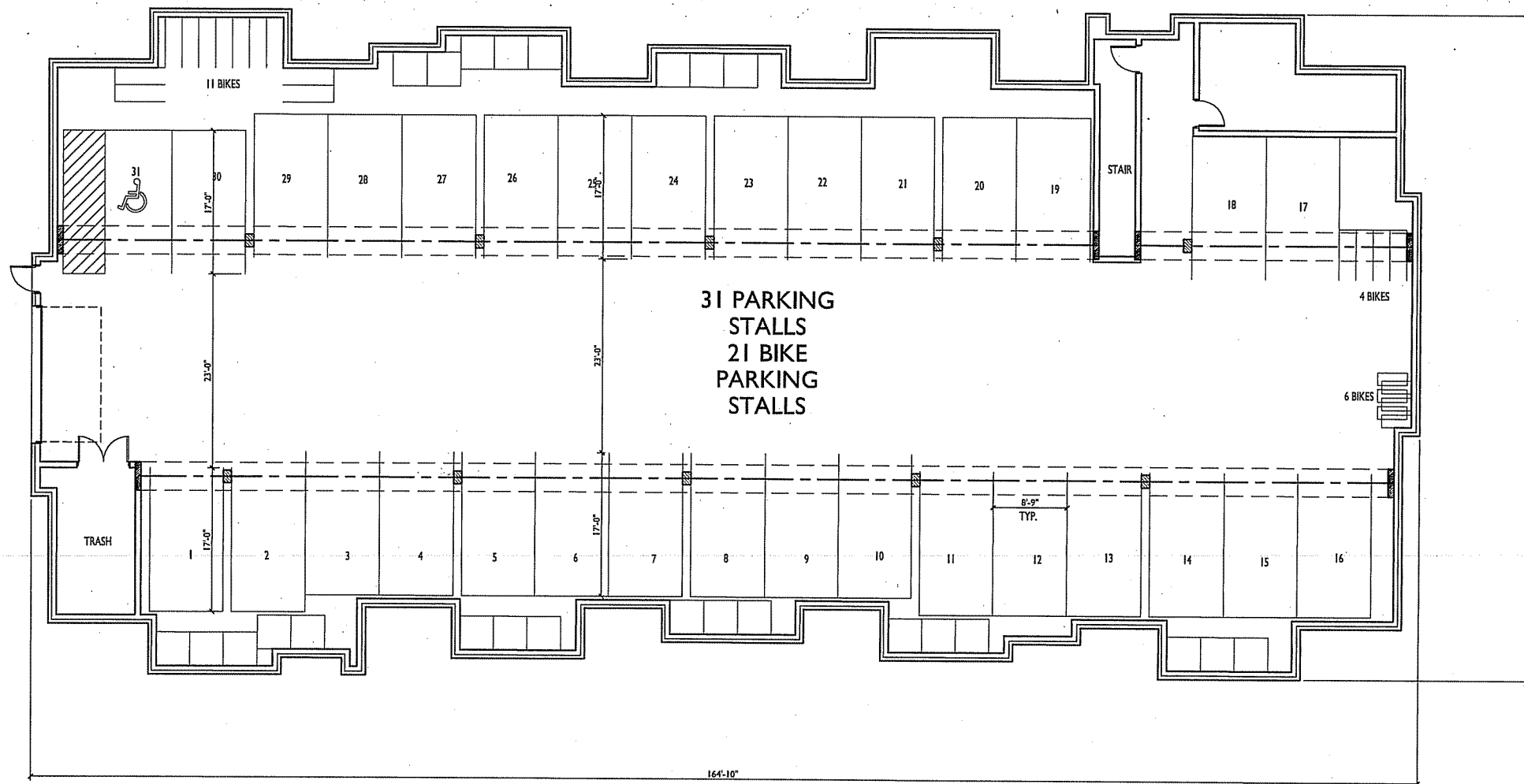
PROJECT TITLE
 Sugar Maple

Madison, WI
 SHEET TITLE
 LANDSCAPE
 PLAN

SHEET NUMBER

L-1.1

PROJECT NO. 1310
 © 2013 Knothe & Bruce Architects, LLC



ISSUED
 Issued For SIP Submittal - January 28, 2014

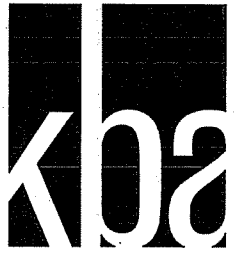
PROJECT TITLE
 Sugar Maple

Madison, WI
 SHEET TITLE
**BASEMENT
 PLAN**
 24-UNIT
 BLDG #1 & #2

SHEET NUMBER

BASEMENT FLOOR PLAN - 24-UNIT
 SCALE: 1/8"=1'-0"

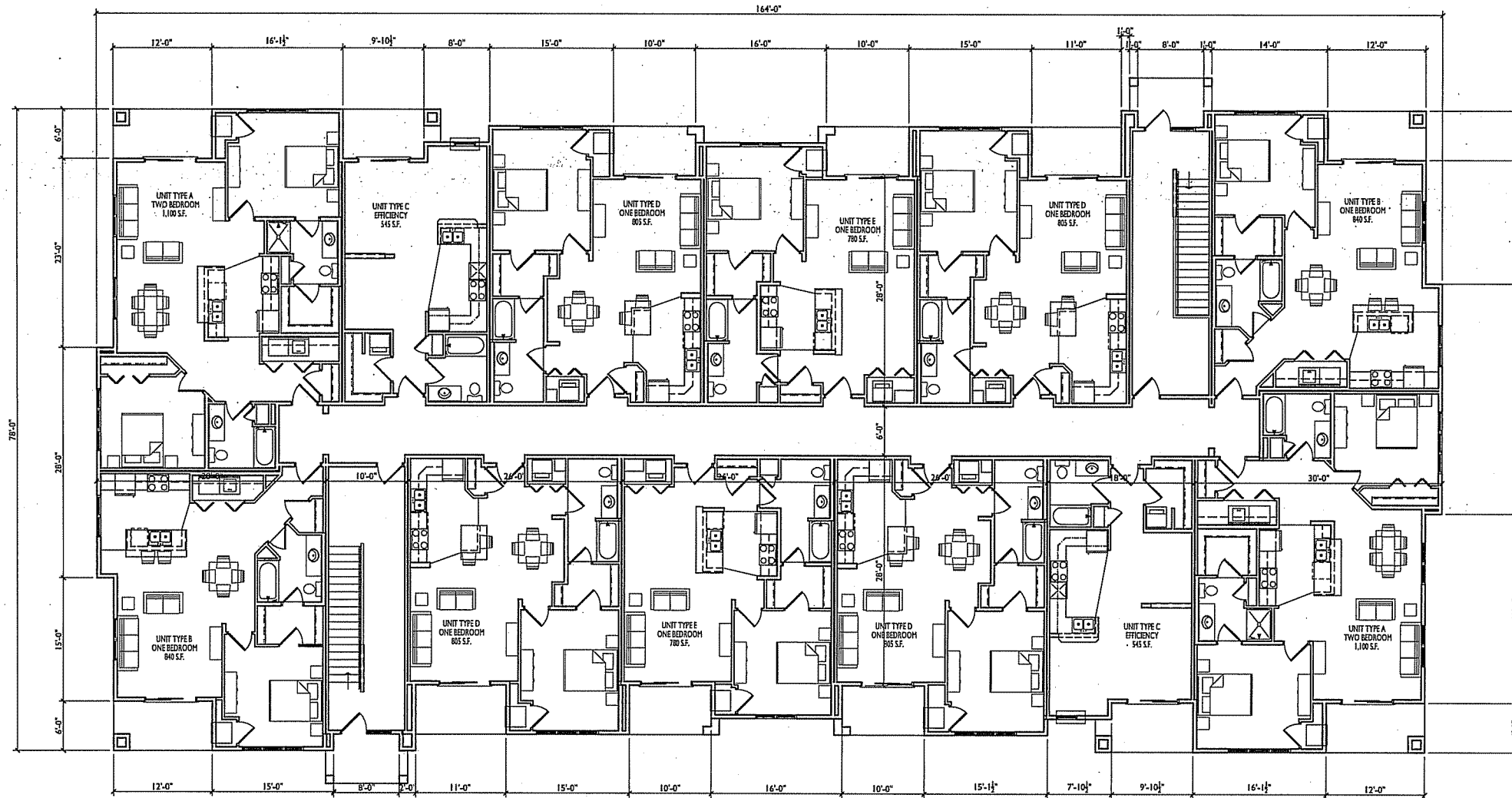




knothe & bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

CONSULTANT



ISSUED
Issued For SIP Submittal - January 28, 2014

PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
**FIRST FLOOR
PLAN
24-UNIT
BLDG #1 & #2**

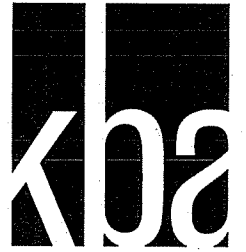
SHEET NUMBER

2

FIRST FLOOR PLAN - 24-UNIT
SCALE: 1/8"=1'-0"



PROJECT NO. **1310**
© 2013 Knothe & Bruce Architects, LLC



knothe & bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

CONSULTANT

ISSUED
Issued For SIP Submittal - January 28, 2014

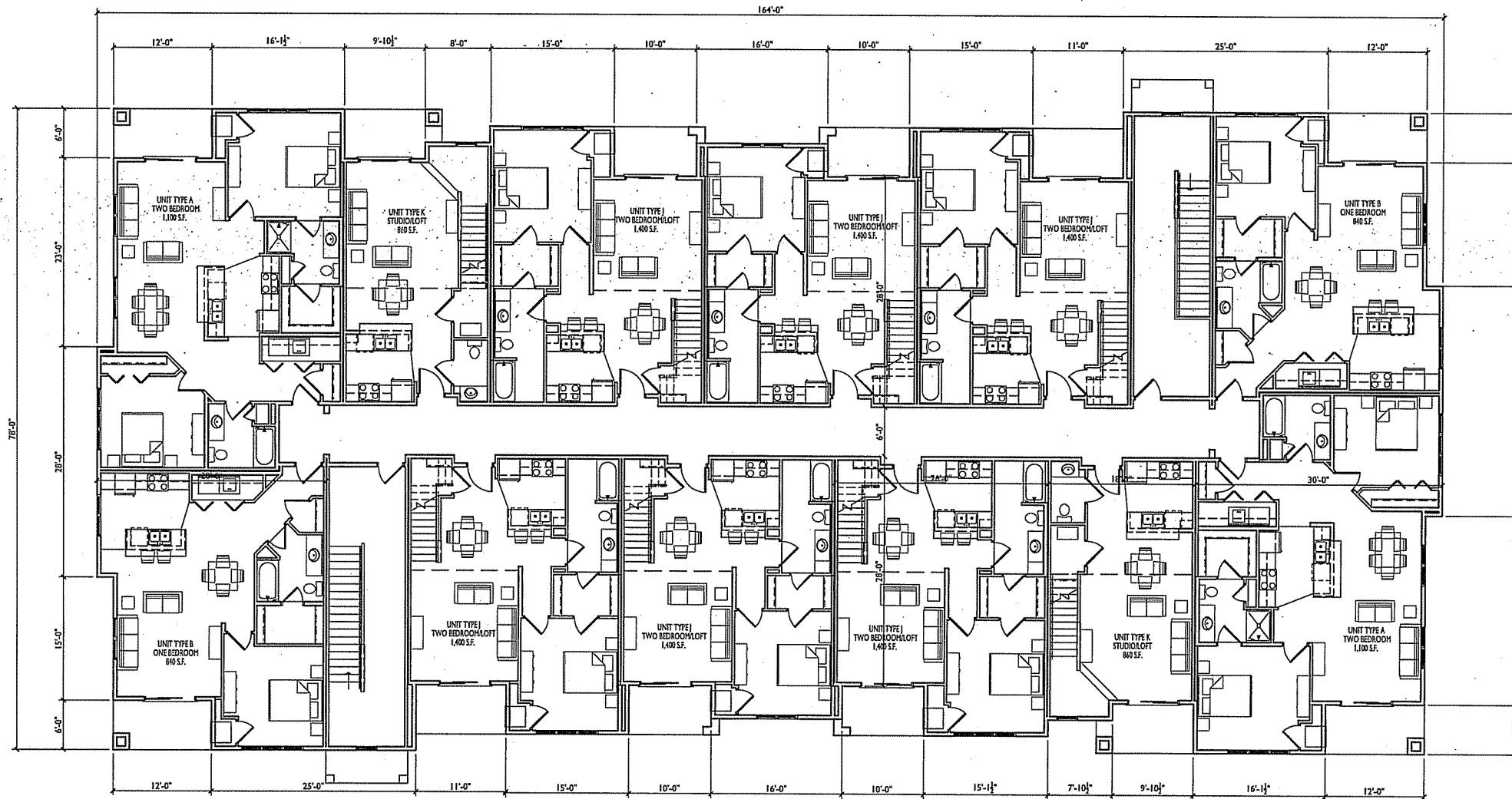
PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
SECOND
FLOOR PLAN
24-UNIT
BLDG #1 & #2

SHEET NUMBER

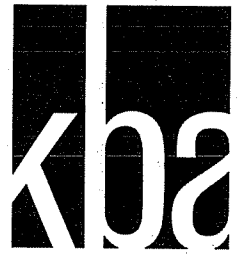
3

PROJECT NO. 1310
© 2013 Knothe & Bruce Architects, LLC

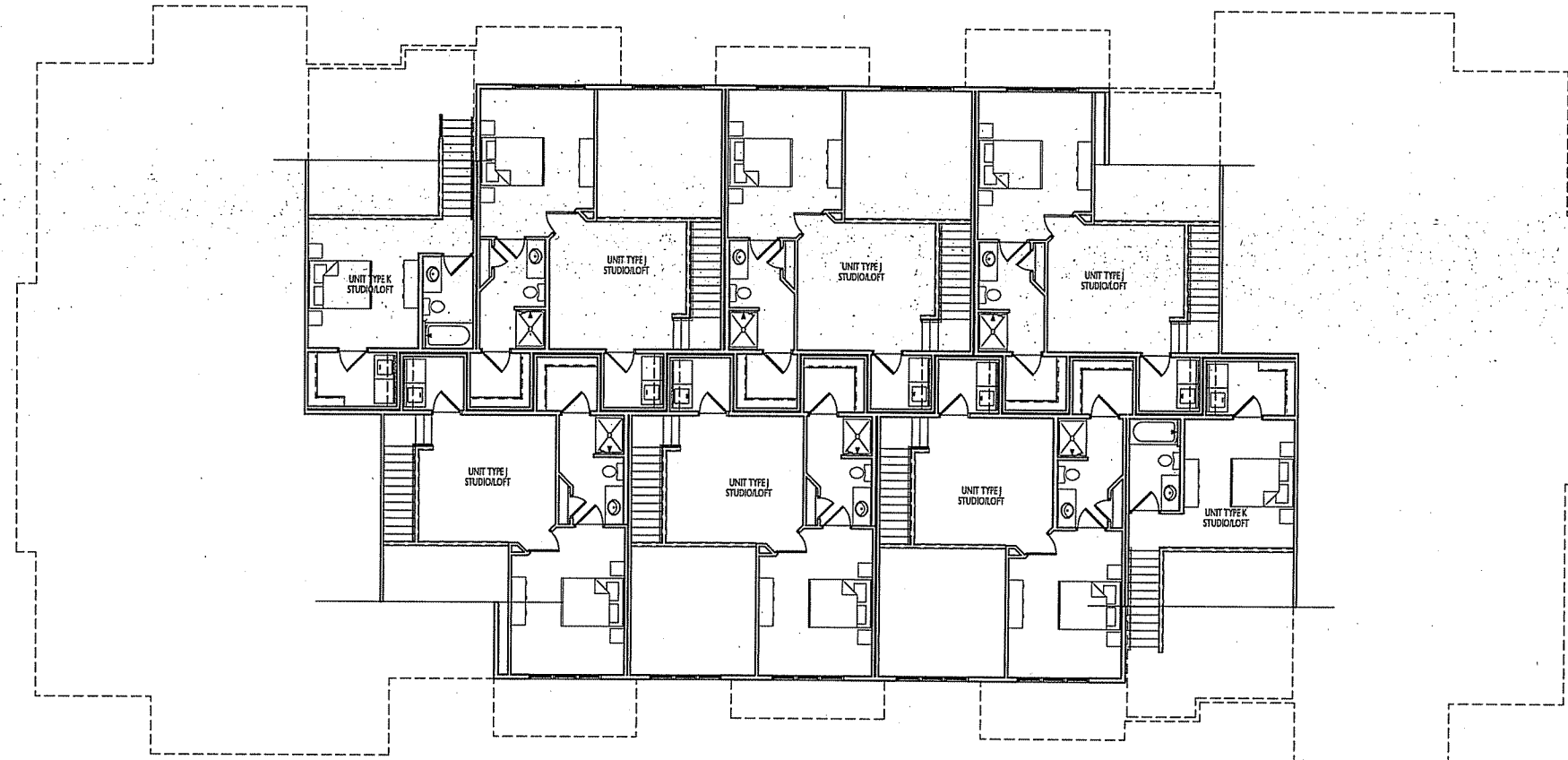


1 SECOND FLOOR PLAN - 24-UNIT
3 SCALE: 1/8"=1'-0"





knothe & bruce
ARCHITECTS
Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562
CONSULTANT



ISSUED
Issued For SIP Submittal - January 28, 2014

PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
LOFT FLOOR
PLAN
24-UNIT
BLDG #1 & #2

SHEET NUMBER

4

PROJECT NO. 1310
© 2013 Knothe & Bruce Architects, LLC

1 LOFT FLOOR PLAN - 24-UNIT
4 SCALE: 1/8"=1'-0"





1
5 EAST ELEVATION - 24-UNIT
 SCALE: 1/8"=1'-0"



2
5 NORTH ELEVATION - 24-UNIT
 SCALE: 1/8"=1'-0"

ISSUED
 Issued For SIP Submittal - January 28, 2014

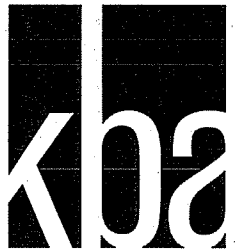
PROJECT TITLE
 Sugar Maple

Madison, WI
 SHEET TITLE
 ELEVATIONS
 24-UNIT
 BLDG #1
 (BLDG #2 SIM.)

SHEET NUMBER

5

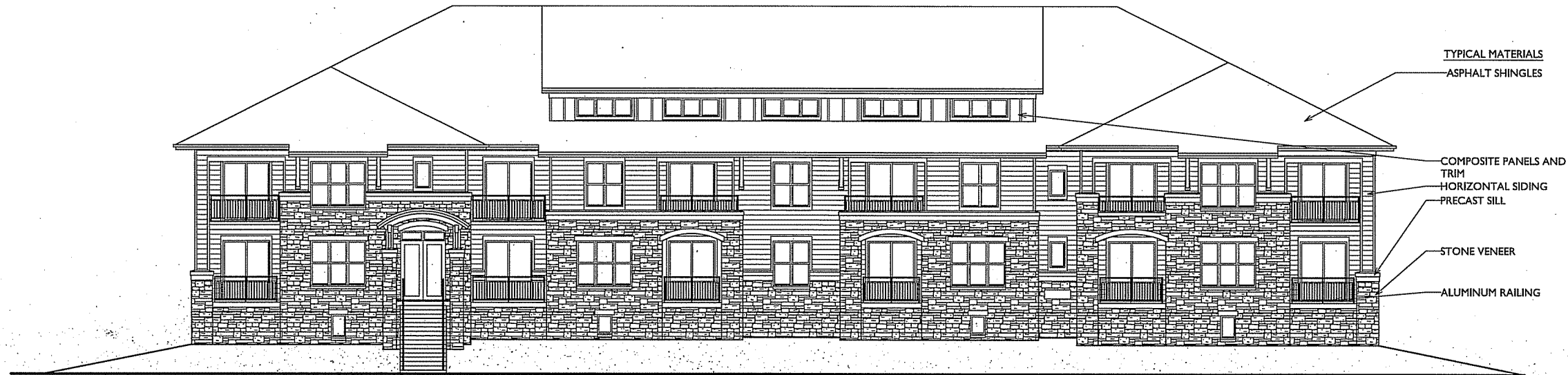
PROJECT NO. 1310
 © 2013 Knothe & Bruce Architects, LLC



knothe & bruce
ARCHITECTS

Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

CONSULTANT



1 WEST ELEVATION - 24-UNIT
6 SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION - 24-UNIT
6 SCALE: 1/8"=1'-0"

ISSUED
Issued For SIP Submittal - January 28, 2014

PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
ELEVATIONS
24-UNIT
BLDG #1
(BLDG #2 SIM.)

SHEET NUMBER

6

PROJECT NO. 1310
© 2013 Knothe & Bruce Architects, LLC

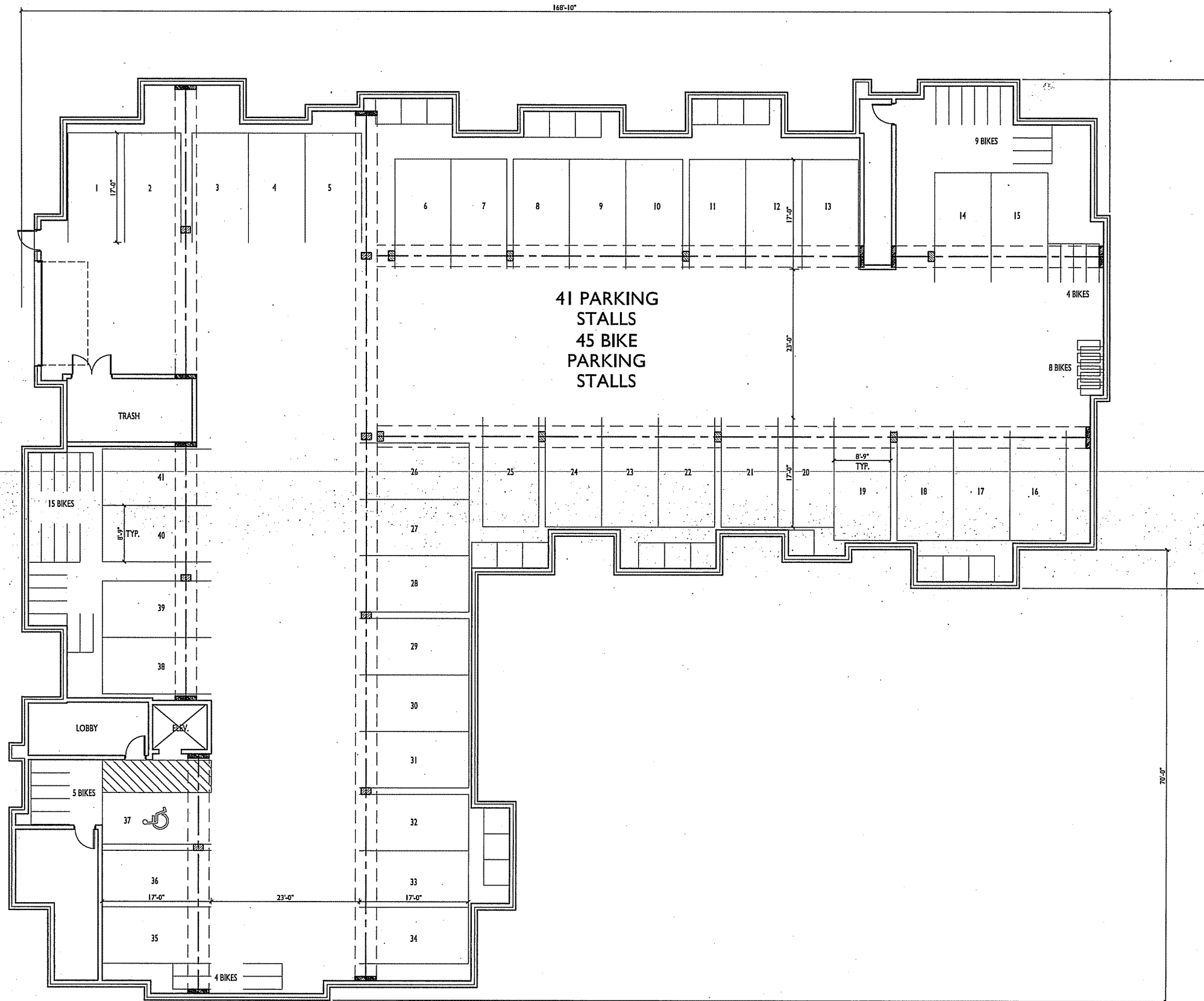


knothe & bruce
ARCHITECTS

Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

CONSULTANT

ISSUED
Issued For SIP Submittal - January 28, 2014



PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
**BASEMENT
FLOOR PLAN
44-UNIT
BLDG #3**

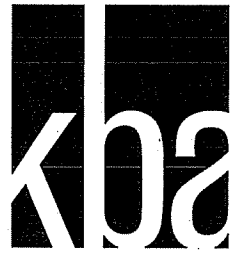
SHEET NUMBER

7

BASEMENT FLOOR PLAN - 44-UNIT
SCALE: 1/8"=1'-0"



PROJECT NO. **1310**
© 2013 Knothe & Bruce Architects, LLC



knothe & bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

CONSULTANT

ISSUED
Issued For STP Submittal - January 28, 2014

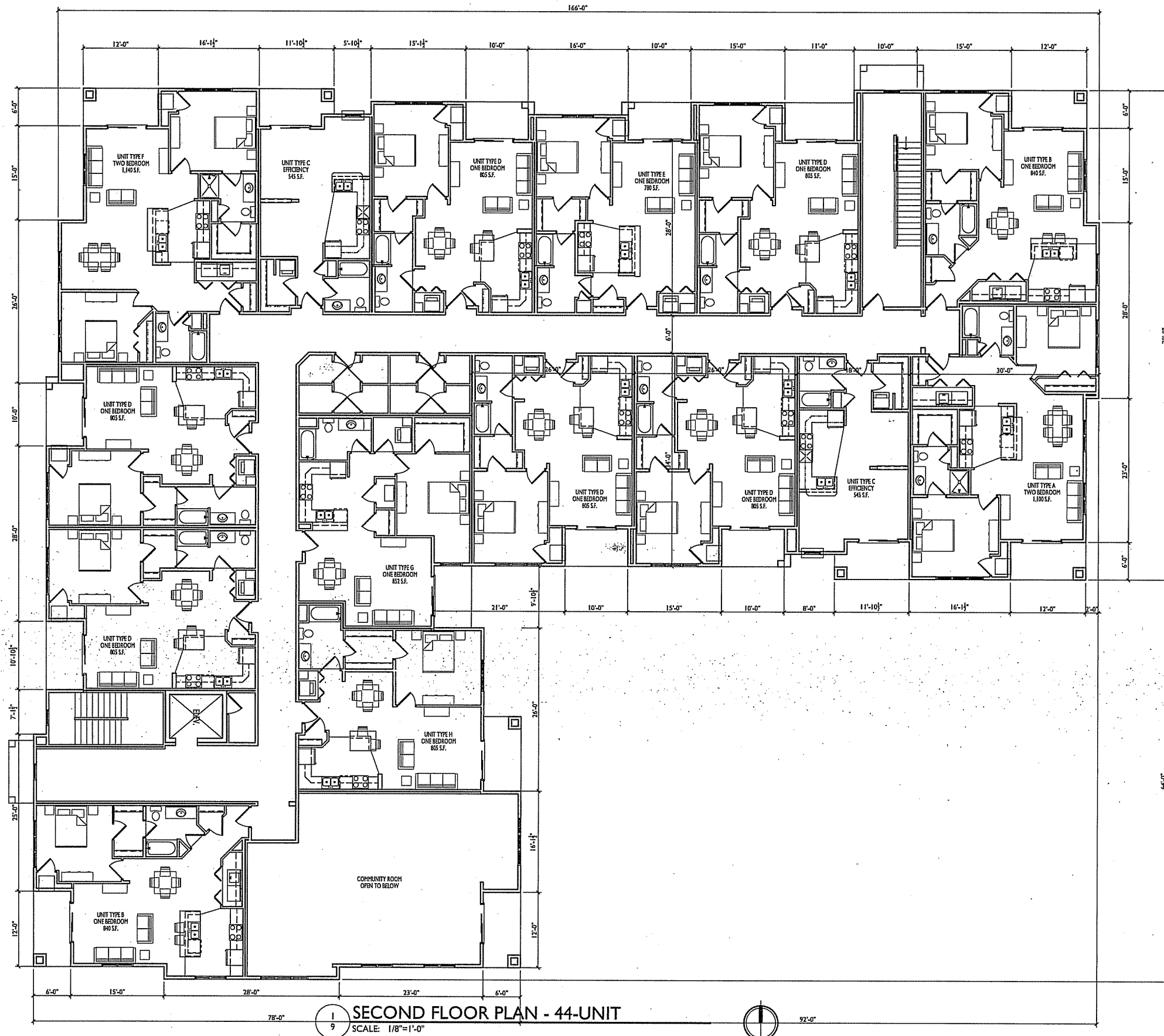
PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
SECOND
FLOOR PLAN
44-UNIT
BLDG #3

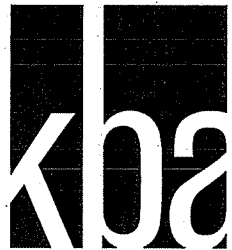
SHEET NUMBER

9

PROJECT NO. 1310
© 2013 Knothe & Bruce Architects, LLC



1
9
SECOND FLOOR PLAN - 44-UNIT
SCALE: 1/8"=1'-0"



knothe & bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

CONSULTANT

ISSUED
Issued For SIP Submittal - January 28, 2014

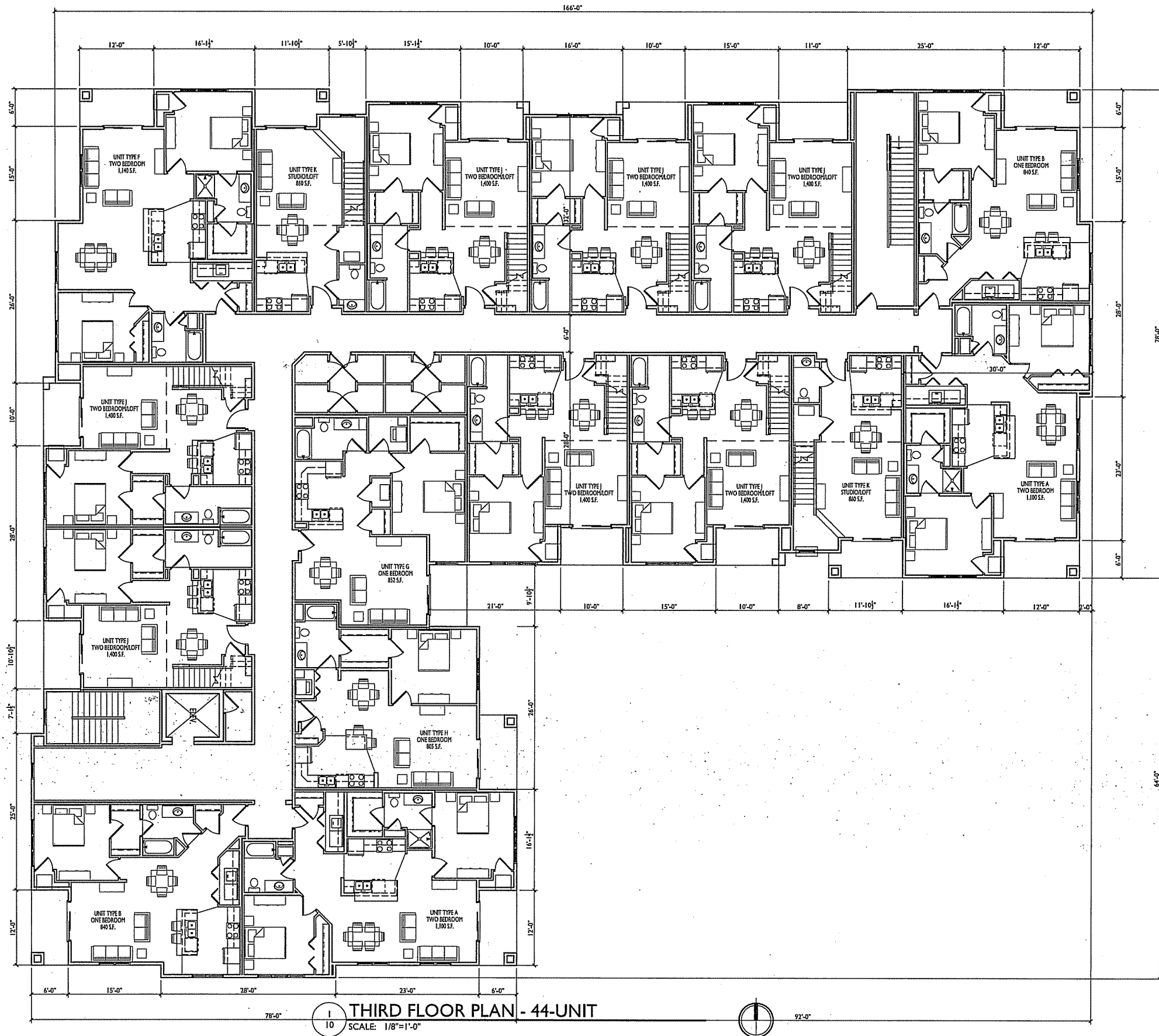
PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
THIRD FLOOR
PLAN
44-UNIT
BLDG #3

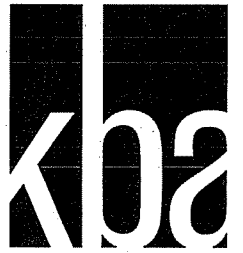
SHEET NUMBER

10

PROJECT NO. 1310
© 2013 Knothe & Bruce Architects, LLC



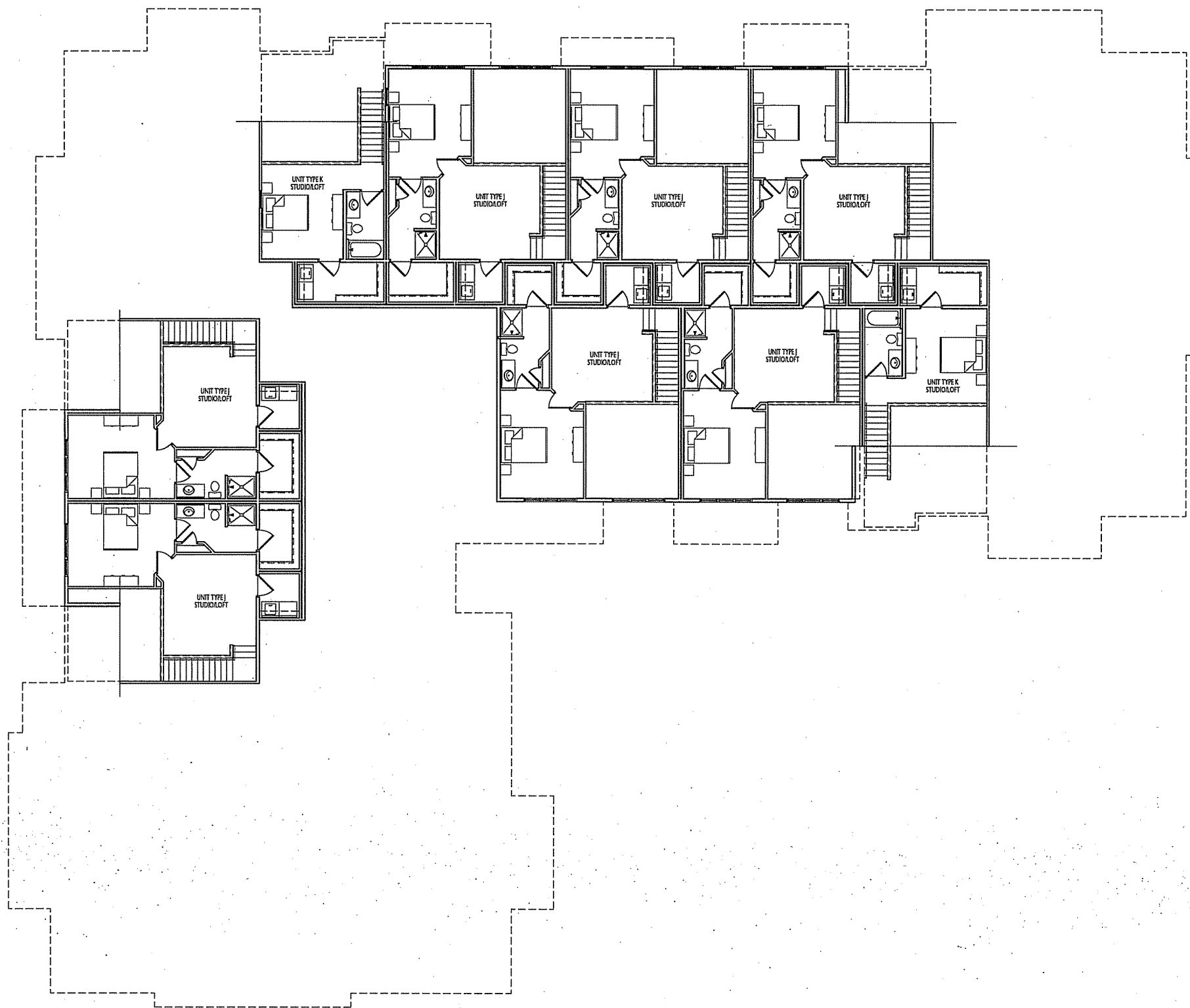
1
10
THIRD FLOOR PLAN - 44-UNIT
SCALE: 1/8"=1'-0"



knothe & bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

CONSULTANT



ISSUED
Issued For SIP Submittal - January 28, 2014

PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
**LOFT FLOOR
PLAN
44-UNIT
BLDG #3**

SHEET NUMBER

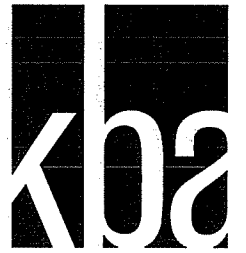
11

11 LOFT FLOOR PLAN - 44-UNIT
SCALE: 1/8"=1'-0"



PROJECT NO. 1310

© 2013 Knothe & Bruce Architects, LLC



knothe & bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

CONSULTANT



1 NORTH ELEVATION - 44-UNIT
SCALE: 1/8"=1'-0"

ISSUED
Issued For SIP Submittal - January 28, 2014



2 WEST ELEVATION - 44-UNIT
SCALE: 1/8"=1'-0"

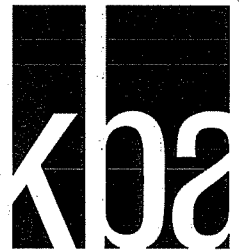
PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
ELEVATIONS
44-UNIT
BLDG #3

SHEET NUMBER

12

PROJECT NO. 1310
© 2013 Knothe & Bruce Architects, LLC



knothe & bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

CONSULTANT



TYPICAL MATERIALS
- ASPHALT SHINGLES

COMPOSITE PANELS AND
TRIM

ALUMINUM RAILING

HORIZONTAL SIDING

PRECAST SILL

STONE VENEER

1 SOUTH ELEVATION - 44-UNIT
13 SCALE: 1/8"=1'-0"



1 EAST ELEVATION - 44-UNIT
13 SCALE: 1/8"=1'-0"

ISSUED
Issued For SIP Submittal - January 28, 2014

PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
ELEVATIONS
44-UNIT
BLDG #3

SHEET NUMBER

13

PROJECT NO. 1310
© 2013 Knothe & Bruce Architects, LLC

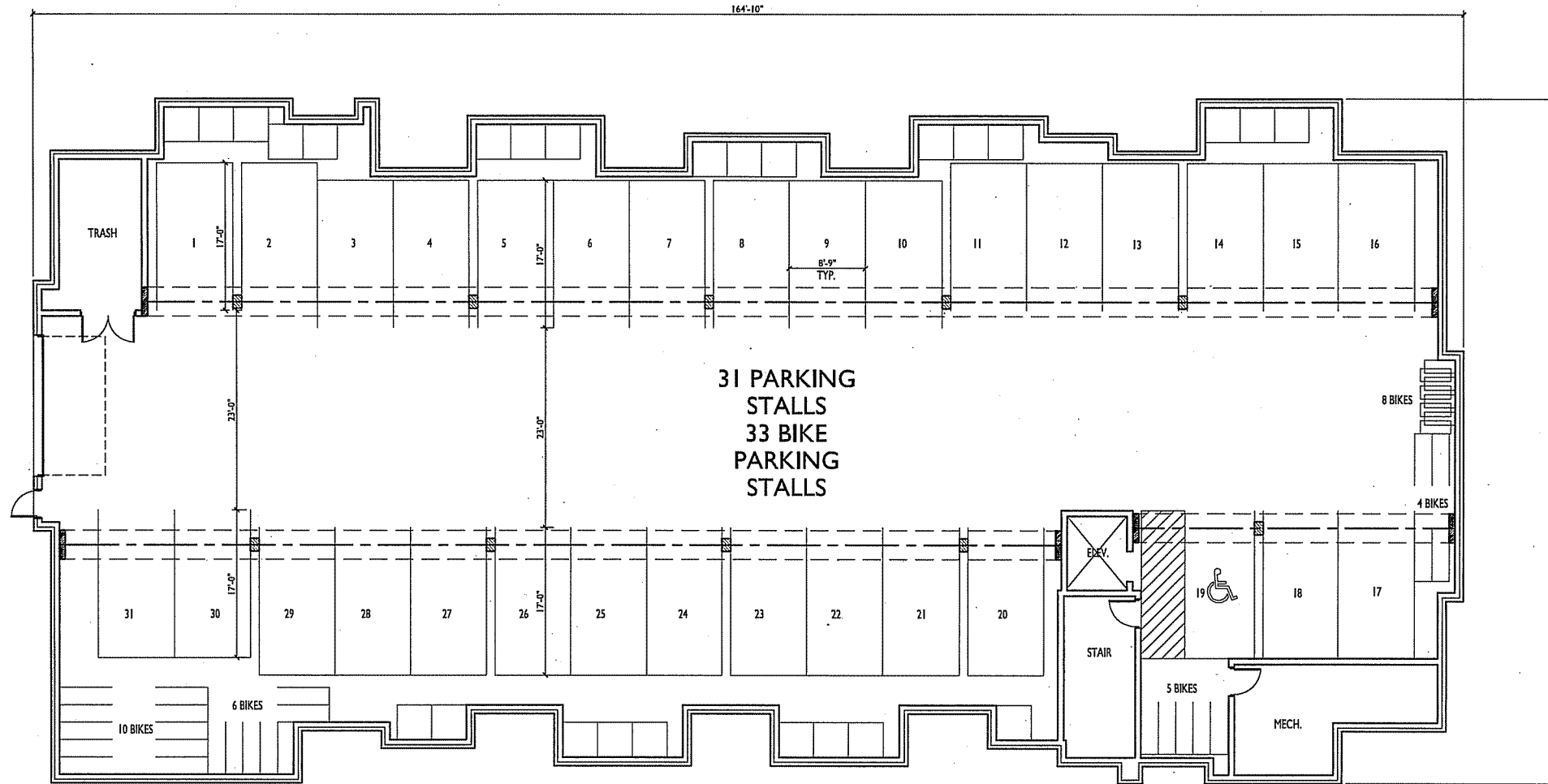


knothe & bruce
ARCHITECTS

Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

CONSULTANT

ISSUED
Issued For SIP Submittal - January 28, 2014



PROJECT TITLE
Sugar Maple

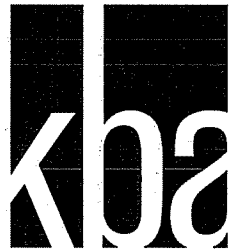
Madison, WI
SHEET TITLE
BASEMENT
PLAN
36-UNIT
BLDG #4, #5,
#9, & #10
SHEET NUMBER

14
BASEMENT FLOOR PLAN - 36-UNIT
SCALE: 1/8"=1'-0"



14

PROJECT NO. 1310
© 2013 Knothe & Bruce Architects, LLC

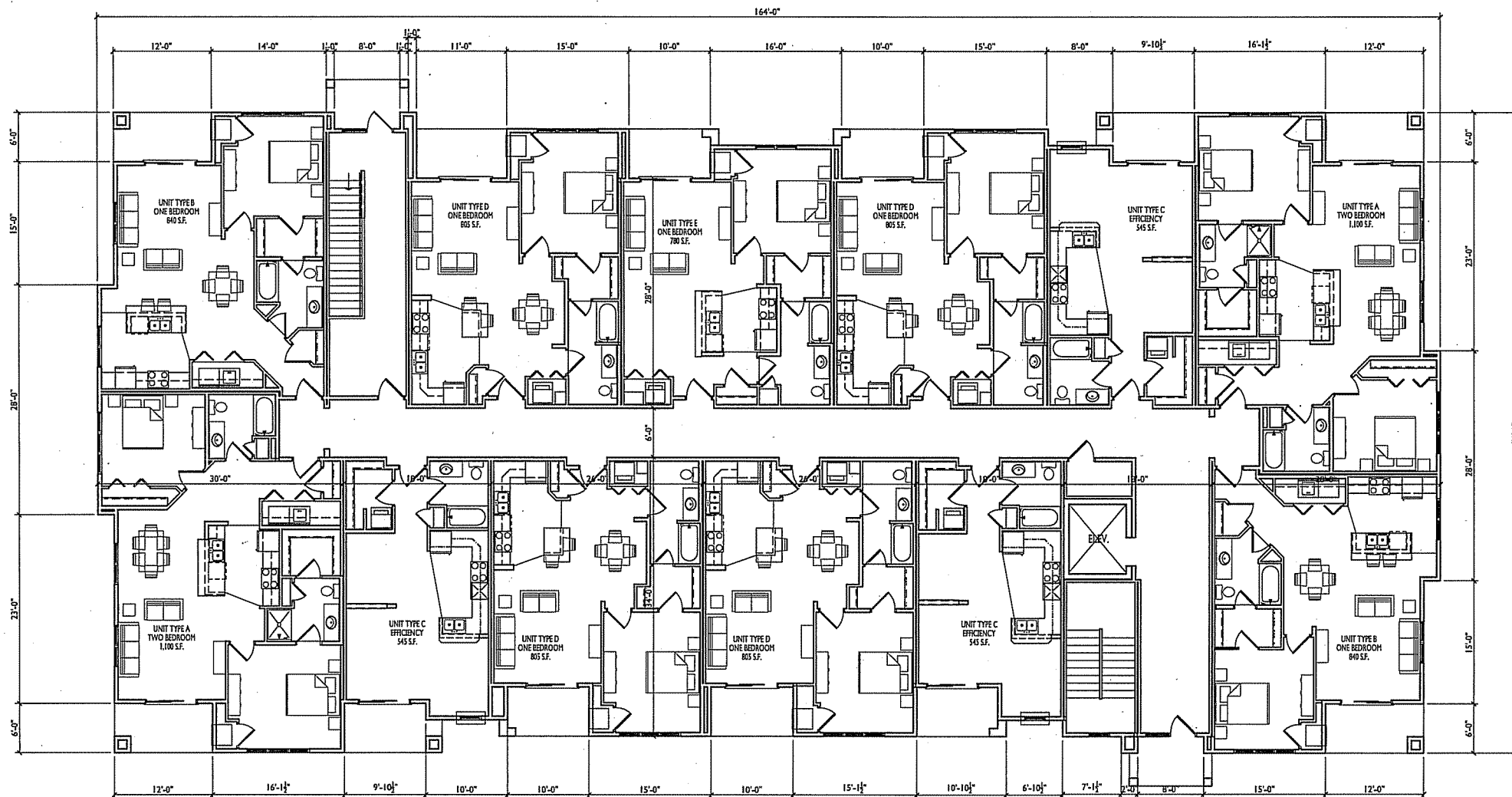


knothe & bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

CONSULTANT

ISSUED
Issued For SIP Submittal - January 28, 2014



PROJECT TITLE
Sugar Maple

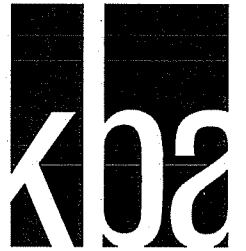
Madison, WI
SHEET TITLE
FIRST FLOOR
PLAN
36-UNIT
BLDG #4, #5,
#9, & #10
SHEET NUMBER

15 FIRST FLOOR PLAN - 36-UNIT
SCALE: 1/8"=1'-0"



15

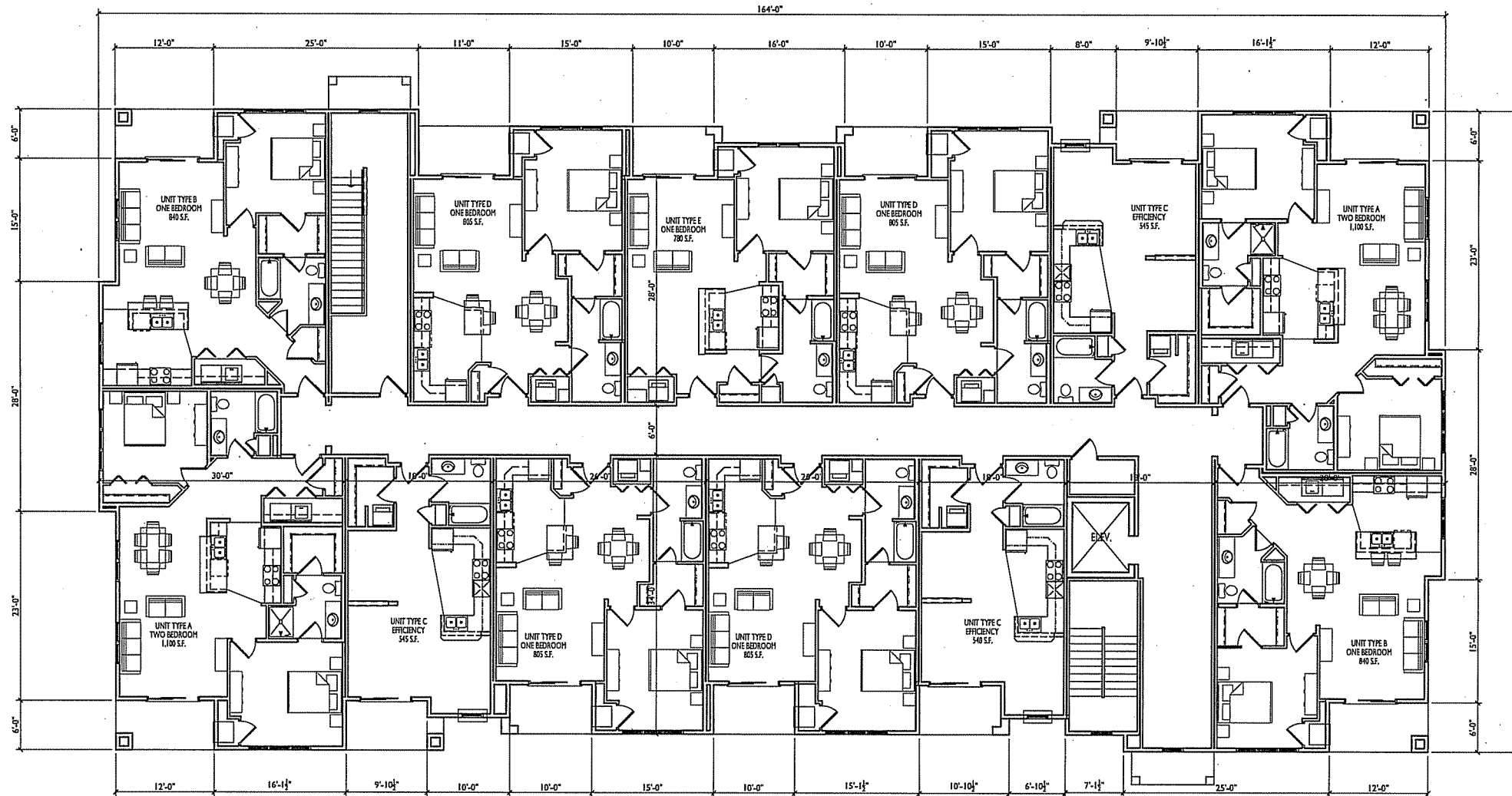
PROJECT NO. 1310
© 2013 Knothe & Bruce Architects, LLC



knothe & bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

CONSULTANT



ISSUED
Issued For SIP Submittal - January 28, 2014

PROJECT TITLE
Sugar Maple

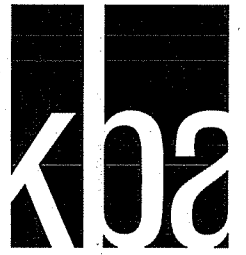
Madison, WI
SHEET TITLE
**SECOND
FLOOR PLAN
36-UNIT
BLDG #4, #5,
#9, & #10**
SHEET NUMBER

16 SECOND FLOOR PLAN - 36-UNIT
SCALE: 1/8"=1'-0"

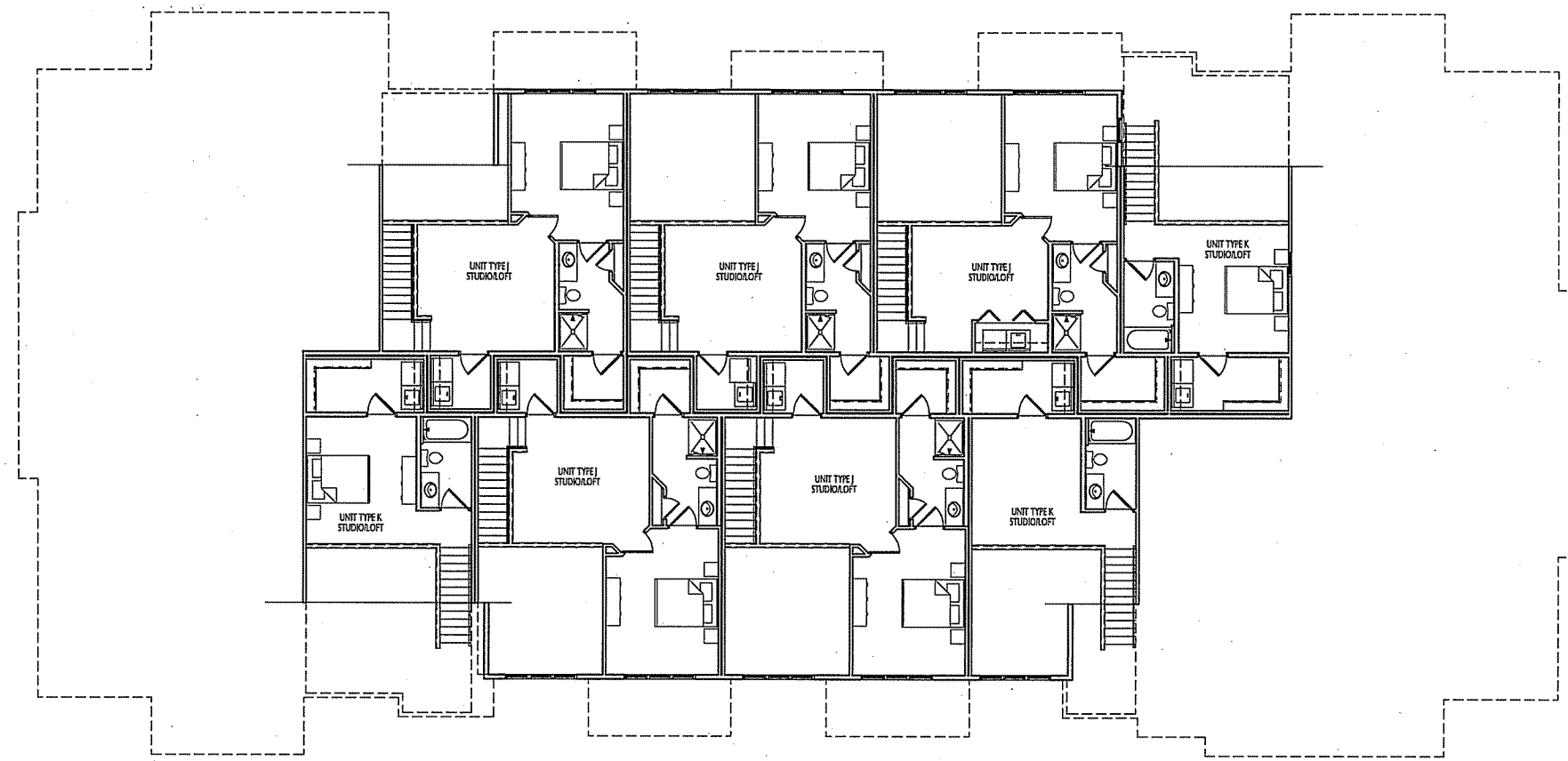


16

PROJECT NO. **1310**
© 2013 Knothe & Bruce Architects, LLC



knothe & bruce
 ARCHITECTS
 Phone: 7601 University Ave, Ste 201
 608.836.3690 Middleton, WI 53562
 CONSULTANT



ISSUED
 Issued For SIP Submittal - January 28, 2014

PROJECT TITLE
Sugar Maple

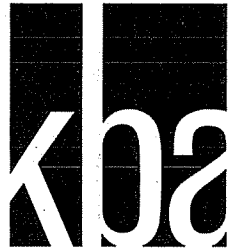
Madison, WI
 SHEET TITLE
**LOFT FLOOR
 PLAN
 36-UNIT
 BLDG #4, #5,
 #9, & #10**
 SHEET NUMBER

LOFT FLOOR PLAN - 36-UNIT
 SCALE: 1/8"=1'-0"



18

PROJECT NO. **1310**
 © 2013 Knothe & Bruce Architects, LLC



knothe & bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

CONSULTANT



TYPICAL MATERIALS

ASPHALT SHINGLES

ALUMINUM RAILING

HORIZONTAL SIDING

COMPOSITE PANELS AND TRIM

PRECAST SILL

STONE VENEER

1 NORTH ELEVATION - 36-UNIT
SCALE: 1/8"=1'-0"



2 WEST ELEVATION - 36-UNIT
SCALE: 1/8"=1'-0"

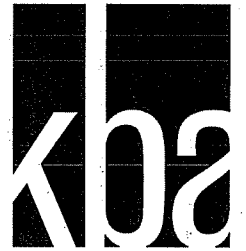
ISSUED
Issued For SIP Submittal - January 28, 2014

PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
ELEVATIONS
36-UNIT
BLDG #4
(BLDG #5, #9,
& #10 SIM.)
SHEET NUMBER

19

PROJECT NO. 1310
© 2013 Knothe & Bruce Architects, LLC



knothe & bruce
 ARCHITECTS
 Phone: 7601 University Ave, Ste 201
 608.836.3690 Middleton, WI 53562
 CONSULTANT



- TYPICAL MATERIALS**
- ASPHALT SHINGLES
 - ALUMINUM RAILING
 - HORIZONTAL SIDING
 - COMPOSITE PANELS AND TRIM
 - PRECAST SILL
 - STONE VENEER

1 SOUTH ELEVATION - 36-UNIT
 SCALE: 1/8"=1'-0"



2 EAST ELEVATION - 36-UNIT
 SCALE: 1/8"=1'-0"

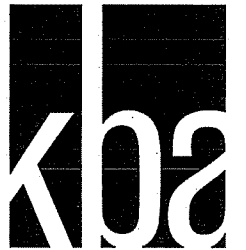
ISSUED
 Issued For SIP Submittal - January 28, 2014

PROJECT TITLE
Sugar Maple

Madison, WI
 SHEET TITLE
ELEVATIONS
36-UNIT
BLDG #4
(BLDG #5, #9,
& #10 SIM.)
 SHEET NUMBER

20

PROJECT NO. **1310**
 © 2013 Knothe & Bruce Architects, LLC



knothe & bruce
ARCHITECTS

Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

CONSULTANT

ISSUED
Issued For SIP Submittal - January 28, 2014

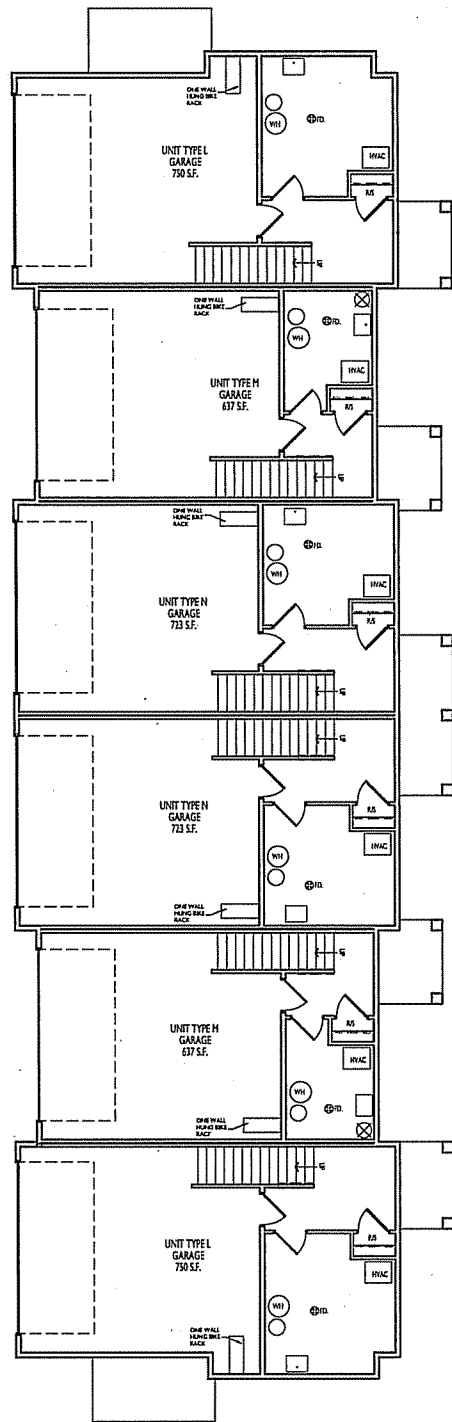
PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
FLOOR PLANS
6-UNIT
BLDG # 6 & #8

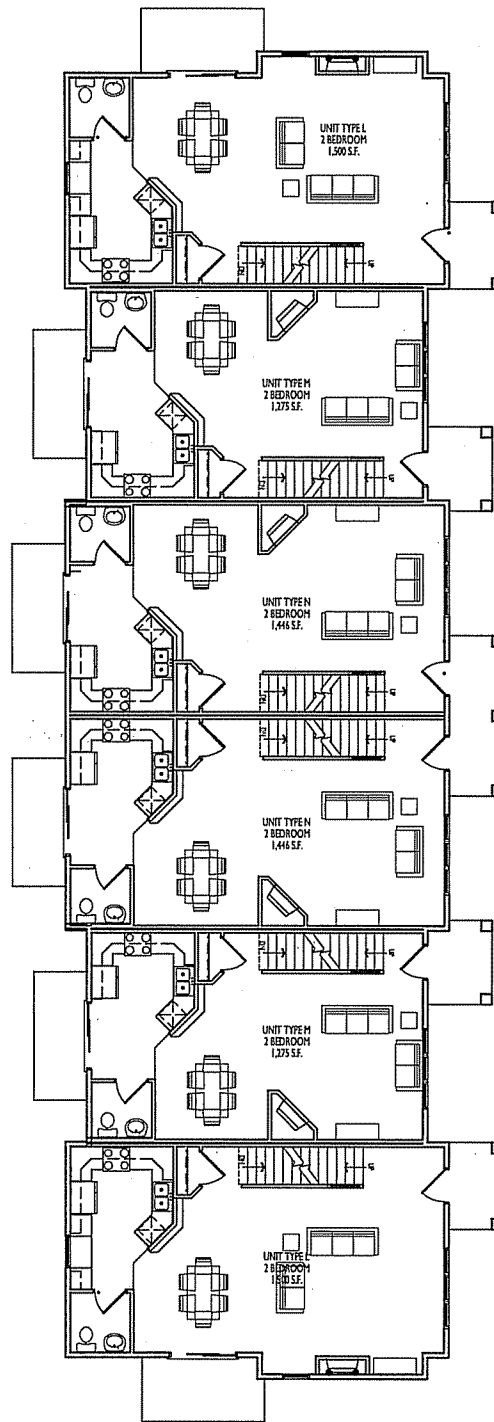
SHEET NUMBER

21

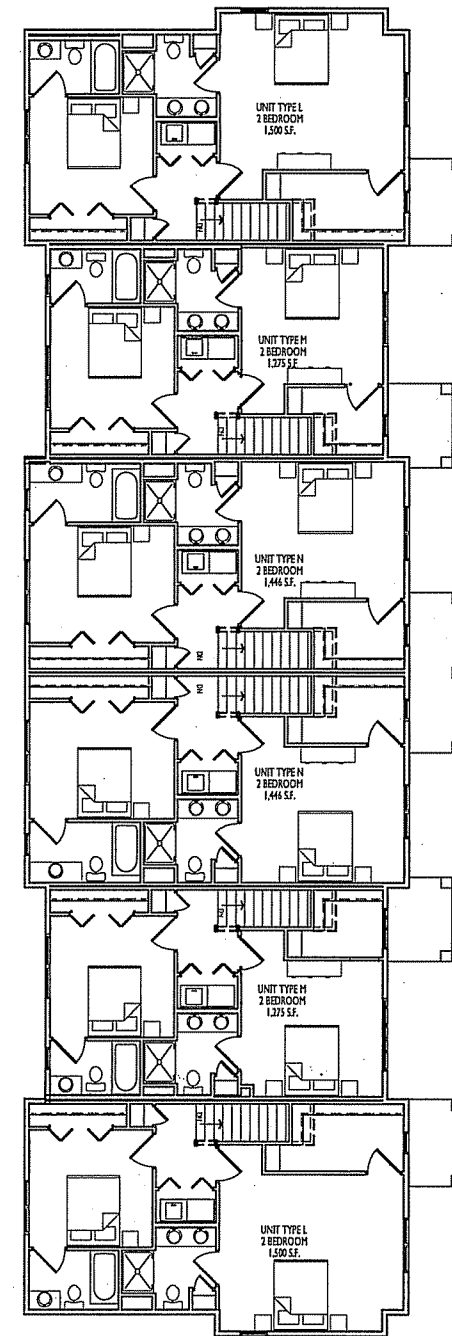
PROJECT NO. 1310
© 2013 Knothe & Bruce Architects, LLC



1 BASEMENT PLAN - 6-UNIT
21 SCALE: 1/8"=1'-0"

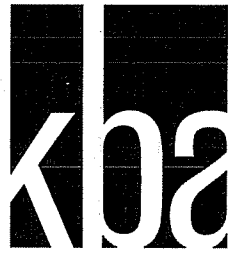


2 FIRST FLOOR PLAN - 6-UNIT
21 SCALE: 1/8"=1'-0"



3 SECOND FLOOR PLAN - 6-UNIT
21 SCALE: 1/8"=1'-0"





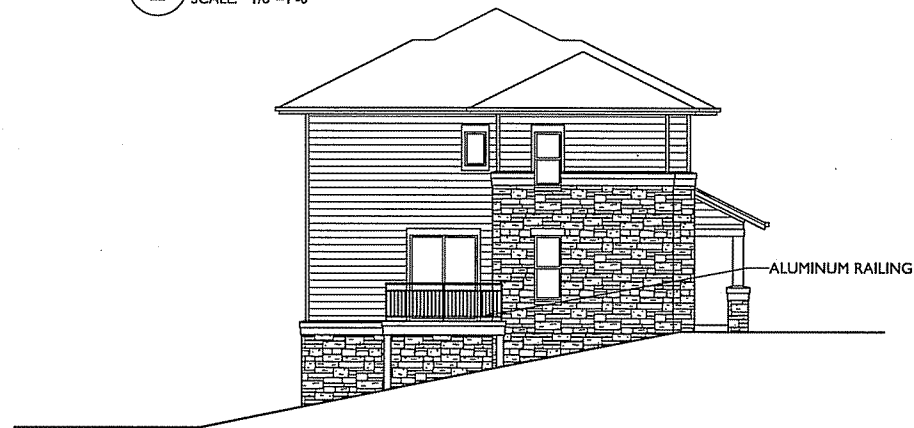
knothe & bruce
ARCHITECTS

Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562

CONSULTANT



1 EAST ELEVATION - 6-UNIT
22 SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION - 6-UNIT (NORTH ELEV. MIRROR IMAGE)
22 SCALE: 1/8"=1'-0"



3 WEST ELEVATION - 6-UNIT
22 SCALE: 1/8"=1'-0"

ISSUED
Issued For SIP Submittal - January 28, 2014

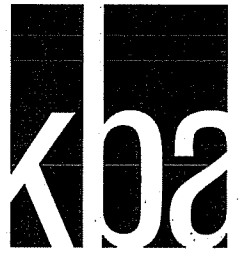
PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
ELEVATIONS
6-UNIT
BLDG #8
(BLDG #6 SIM.)

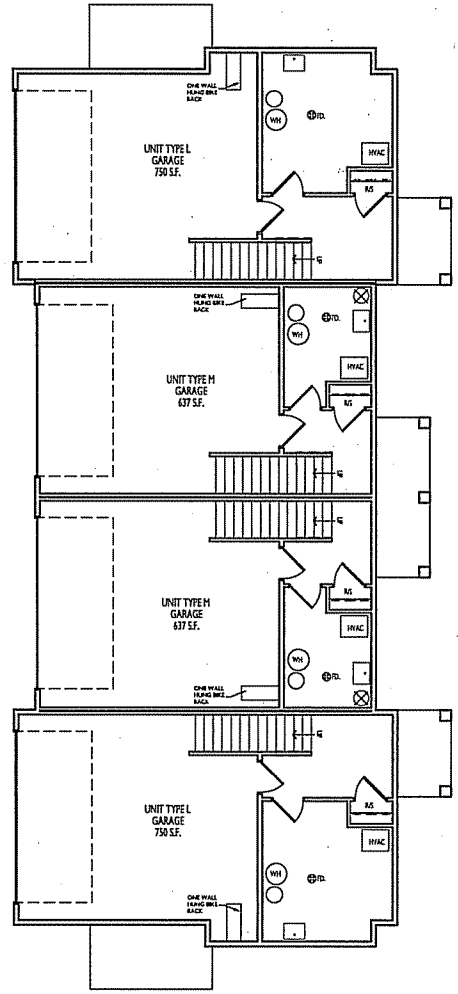
SHEET NUMBER

22

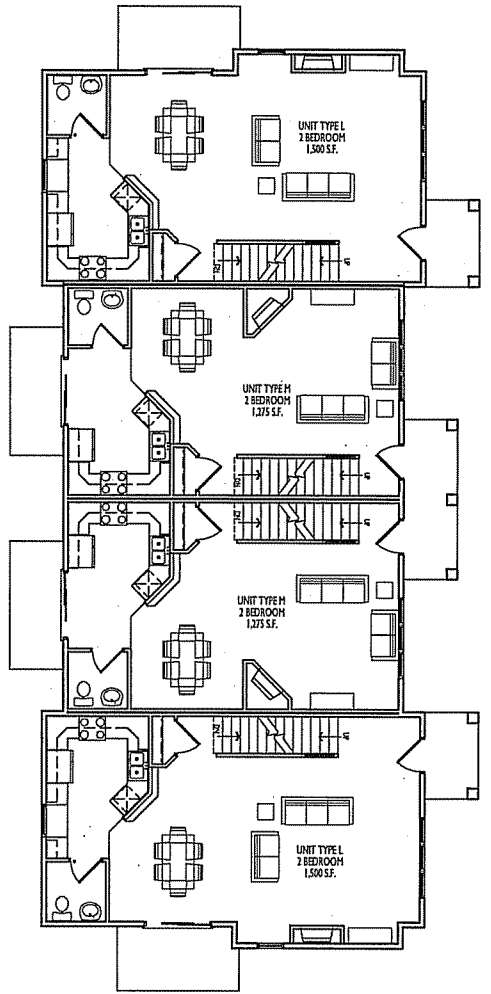
PROJECT NO. 1310
© 2013 Knothe & Bruce Architects, LLC



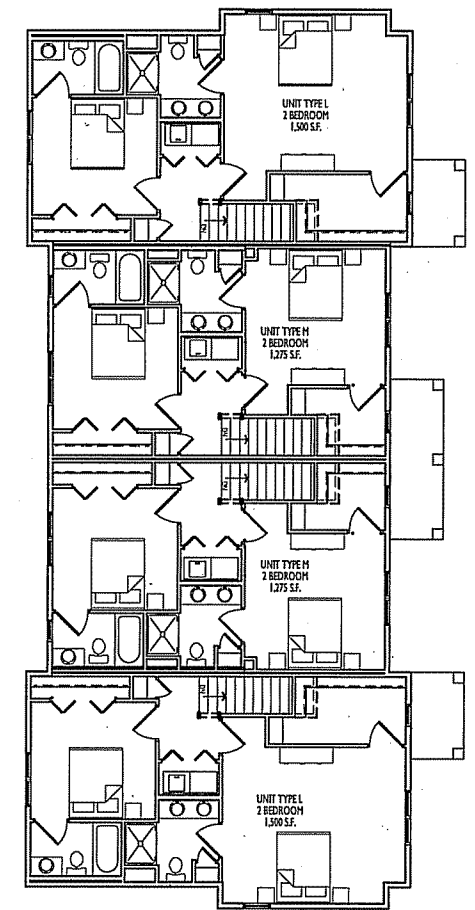
knothe & bruce
ARCHITECTS
Phone: 7601 University Ave, Ste 201
608.836.3690 Middleton, WI 53562
CONSULTANT



1 BASEMENT PLAN - 4-UNIT
23 SCALE: 1/8"=1'-0"



2 FIRST FLOOR PLAN - 4-UNIT
23 SCALE: 1/8"=1'-0"



3 SECOND FLOOR PLAN - 4-UNIT
23 SCALE: 1/8"=1'-0"



ISSUED
Issued For SIP Submittal - January 28, 2014

PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
FLOOR PLANS
4-UNIT
BLDG #7

SHEET NUMBER

23

PROJECT NO. 1310
© 2013 Knothe & Bruce Architects, LLC



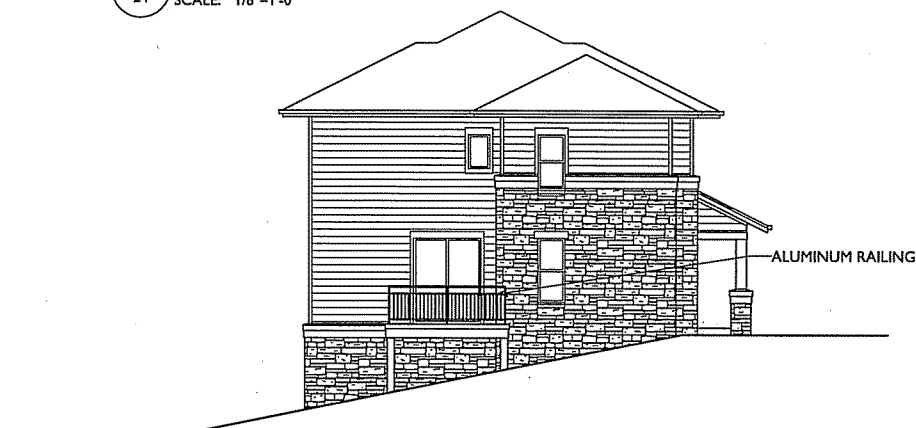
knothe & bruce
ARCHITECTS

Phone: 7601 University Ave., Ste 201
608.836.3690 Middleton, WI 53562

CONSULTANT



1 EAST ELEVATION - 4-UNIT
SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION - 4-UNIT (NORTH ELEV. MIRROR IMAGE)
SCALE: 1/8"=1'-0"



3 WEST ELEVATION - 4-UNIT
SCALE: 1/8"=1'-0"

ISSUED
Issued For SIP Submittal - January 28, 2014

PROJECT TITLE
Sugar Maple

Madison, WI
SHEET TITLE
ELEVATIONS
4-UNIT
BLDG #7

SHEET NUMBER

24

PROJECT NO. 1310
© 2013 Knothe & Bruce Architects, LLC