



CITY OF MADISON
ZONING BOARD OF APPEALS
VARIANCE APPLICATION

\$300 Filing Fee

Ensure all information is **typed** or legibly **printed** using blue or black ink.

Address of Subject Property: 3009 University Avenue, Madison, WI 53705

Name of Owner: Duke Dykstra, Shorewood House LLC

Address of Owner (if different than above): _____

Daytime Phone: 608-238-0501 Evening Phone: 608-238-0501

Email Address: duke@cleanplace.com

Name of Applicant (Owner's Representative): Bill Dunlop, JSD Professional Services, Inc.,

Address of Applicant: 161 Horizon Drive, Suite 101, Verona, WI 53593

Daytime Phone: 608-848-5060 Evening Phone: 217-649-1236

Email Address: bill.dunlop@jsdinc.com

Description of Requested Variance: Rear and sideyard set back variance to allow the construction of carports up to the property line.

(See reverse side for more instructions)

FOR OFFICE USE ONLY

Amount Paid: \$300
Receipt: 149656
Filing Date: 12/3/13
Received By: ST
Parcel Number: 0709-212-0302-5
Zoning District: CCT
Alder District: 5

Hearing Date: 5-22-14
Published Date: 5/15/14
Appeal Number: 05/22/14-2
GQ: Conditional Use, ZBA, UDDG
Code Section(s): 28.131(3)

Standards for Variance

The Zoning Board of Appeals shall not grant a variance unless it finds that the applicant has shown the following standards are met:

1. There are conditions unique to the property of the applicant that do not apply generally to other properties in the district.

The property is an existing use with surface parking that provides no protection for residents.

The existing parking is constructed up to the property lines.

2. The variance is not contrary to the spirit, purpose, and intent of the regulations in the zoning district and is not contrary to the public interest.

The variance if approved would include improvements that would improve the appearance and function of the parking area.

3. For an area (setbacks, etc) variance, compliance with the strict letter of the ordinance would unreasonably prevent use of the property for a permitted purpose or would render compliance with the ordinance unnecessarily burdensome.

The site was cited for a fire lane violation and the requirements of the fire lane make meeting the setback requirements infeasible.

4. The alleged difficulty or hardship is created by the terms of the ordinance rather than by a person who has a present interest in the property.

See item #4 related to fire lane requirements.

5. The proposed variance shall not create substantial detriment to adjacent property.

Adjoining uses are similar in nature

6. The proposed variance shall be compatible with the character of the immediate neighborhood.

The screening and carport improvements would be in character of the neighborhood.

Application Requirements

Please provide the following Information (Please note any boxes left unchecked below could result in a processing delay or the Board's denial of your application):

<input checked="" type="checkbox"/>	Pre-application meeting with staff: Prior to submittal of this application, the applicant is strongly encouraged to discuss the proposed project and submittal material with Zoning staff. Incomplete applications could result in referral or denial by the Zoning Board of Appeals.
<input checked="" type="checkbox"/>	Site plan , drawn to scale. A registered survey is recommended, but not required. Show the following on the site plan (Maximum size for all drawings is 11" x 17"): <ul style="list-style-type: none"><input type="checkbox"/> Lot lines<input type="checkbox"/> Existing and proposed structures, with dimensions and setback distances to all property lines<input type="checkbox"/> Approximate location of structures on neighboring properties adjacent to variance<input type="checkbox"/> Major landscape elements, fencing, retaining walls or other relevant site features<input type="checkbox"/> Scale (1" = 20' or 1' = 30' preferred)<input type="checkbox"/> North arrow
<input checked="" type="checkbox"/>	Elevations from all relevant directions showing existing and proposed views, with notation showing the existing structure and proposed addition(s). (Maximum size for all drawings is 11" x 17")
<input type="checkbox"/>	Interior floor plan of existing and proposed structure , when relevant to the variance request and required by Zoning Staff (Most additions and expansions will require floor plans). (Maximum size for all drawings is 11" x 17")
<input type="checkbox"/>	Front yard variance requests only. Show the building location (front setback) of adjacent properties on each side of the subject property to determine front setback average.
<input type="checkbox"/>	Lakefront setback variance requests only. Provide a survey prepared by a registered land surveyor showing existing setbacks of buildings on adjacent lots, per MGO 28.138.
<input type="checkbox"/>	Variance requests specifically involving slope, grade, or trees. Approximate location and amount of slope, direction of drainage, location, species and size of trees.
<input checked="" type="checkbox"/>	CHECK HERE. I acknowledge any statements implied as fact require supporting evidence.
<input checked="" type="checkbox"/>	CHECK HERE. I have been given a copy of and have reviewed the standards that the Zoning Board of Appeals will use when reviewing applications for variances.

Owner's Signature: _____

Date: 11-20-13

----- (Do not write below this line/For Office Use Only) -----

DECISION

The Board, in accordance with its findings of fact, hereby determines that the requested variance for _____ **(is) (is not)** in compliance with all of the standards for a variance. Further findings of fact are stated in the minutes of this public hearing.

The Zoning Board of Appeals: ☐ Approved ☐ Denied ☐ Conditionally Approved

Zoning Board of Appeals Chair: _____

Date: _____

UNIVERSITY AVENUE





120°-0° HAMMERHEAD
DEAD-END FIRE APPARATUS
ACCESS ROAD TURNAROUND
MEETS 2009 INTERNATIONAL
FIRE CODE FIGURE D103.1

Six-story mixed-use building
New Detachable accessory structure
Rear Yard Setback
10.0' Required
0.0' Provided
10.0' Variance

- PAINTED PAVEMENT
MARKING, 4" YELLOW TYP.

LEGEND (PROPOSED)

- | | |
|---|---|
| _____ | PROPERTY LINE |
| _____ | ROOF OUTLINE |
| _____ | EDGE OF PAVEMENT |
| _____ | RETAINING WALL |
| _____ | 1 HOUR RATED FIRE WALL |
|  | PROPOSED CONCRETE PAVEMENT, 5" NON REINFORCED |
|  | PROPOSED ASPHALT PAVEMENT, 3.25" MIN. E.O.3; 1.5" 9.5 MM SURFACE; 1.75", 12.5 MM BINDER |

GENERAL NOTES

1. REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
5. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

SITE PLAN NOTES

1. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER
2. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER
3. EXTERIOR CONCRETE SURFACES SHALL HAVE A LIGHT BROOM FINISH.
4. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
5. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
6. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
7. 2' x 4' TRUNCATED DOME SECTIONS SHALL BE PLACED AT ALL ADA RAMPS.
8. BIKE RACK TO MEET CITY OF MADISON STANDARDS.

Parking Lot Plan Site Information Block

Site Address 3009 University Avenue

Site acreage (total) 0.999

Number of building stories (above grade) 6

Building height xx

DILHR type of construction (new structures of additions) N/A

Total square footage of building 11,000

Use of property Multifamily Residential

Gross Square Feet of office 0

Gross Square Feet of retail 0

Number of employees in warehouse 0

Number of employees in production area -

Capacity of restaurant/place of assembly -

Number of bicycle stalls shown 40

Number of parking stalls:

shown

Small car	0
Large car	64
Accessible	3
Total	67

Number of trees shown xx

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MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE / 608.848.2255 FAX

MADISON | MILWAUKEE
KENOSHA | APPLETON

— www.jsdinc.com

SERVICES PROVIDED TO:

**SHOREWOOD
HOUSE, LLP.**

3009 UNIVERSITY AVE.
MADISON, WI 53705

PROJECT:
3009 UNIVERSITY AVE
PARKING LOT

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 10-4352

SEAL/SIGNATURE

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	PGB	11-20-13
DRAWN:	PGB	11-20-13
APPROVED:	BD	11-20-13

PLAN MODIFICATIONS:	DATE:
REVISED UDC SUBMITTAL	03-12-14

DIGGERS HOTLINE

Toll Free (800) 242-8511

Milwaukee Area (414) 259-1181

Hearing Impaired TDD (800) 542-2289

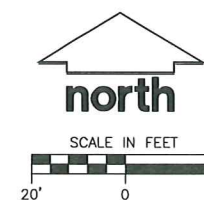
www.DiggersHotline.com

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

C-1.0A





Project: Site Improvements to 3009 University Ave. / 3118 Harvey St.

3009 University Avenue & 3118 Harvey Street
Madison, Wisconsin 53705

~~December 3, 2013~~ April 30, 2014 (City of Madison - Planning Division Updates)

DRAWING INDEX

000 Title Sheet

Civil

1	Boundary, Topographic and Utility Survey
C-0.1A	3009 University Ave. - Demolition Plan
C-1.0A	3009 University Ave. - Site Plan
C-2.0A	3009 University Ave. - Grading & Erosion Control Plan
C-3.0A	3009 University Ave. - Utility Plan
L-1.0A	3009 University Ave. - Landscape Plan
L-2.0A	3009 University Ave. - Landscape Details & Specs
C-0.1B	3118 Harvey St. - Demolition Plan
C-1.0B	3118 Harvey St. - Site Plan
C-2.0B	3118 Harvey St. - Grading & Erosion Control Plan
C-3.0B	3118 Harvey St. - Utility Plan
C-4.0B	3118 Harvey St. - Details
L-1.0B	3118 Harvey St. - Landscape Plan
L-2.0B	3118 Harvey St. - Landscape Details & Specs

Architectural

A1.2	Architectural Site Details
A2	3009 University Ave. - Carport Floor Plan
A3	3118 Harvey St. - Carport Floor Plan
A4	Carport Exterior Elevations
A5	Carport Exterior Elevations
A6	Carport Sections & Details
A7	Carport Exterior Perspectives

Electrical (scope documents only)

E1	Carport Electrical Plan
E2	Carport Electrical Details & Fixture Cut Sheets
E3	Electrical Scope Specifications

PROJECT INFORMATION

Applicable Codes and Zoning

Wisconsin enrolled commercial building code 2014
Storage occupancy, Group S-2

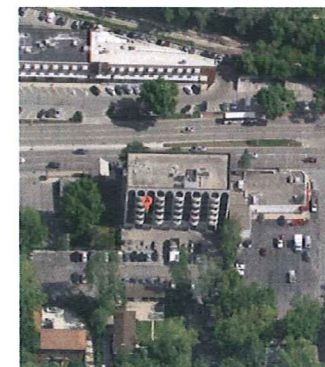
Zoning: City of Madison ordinances

Type of Construction

New Carport Structures (Exterior Only)
Type of construction, unprotected, type 5b - Non-Sprinklered



Location Map



OWNER:

SHOREWOOD HOUSE, LLP.
3009 University Avenue
Madison, WI 53705
Contact: Duke Dykstra
TEL 608-238-0501
duke@cleanplace.com

ARCHITECT:

RUSS OWENS, AIA, CCCA, LEEDap
413 Ravine Street
Janesville, WI 53548
TEL 608 219-1316
rowensra@sbcglobal.net

CIVIL ENGINEER:

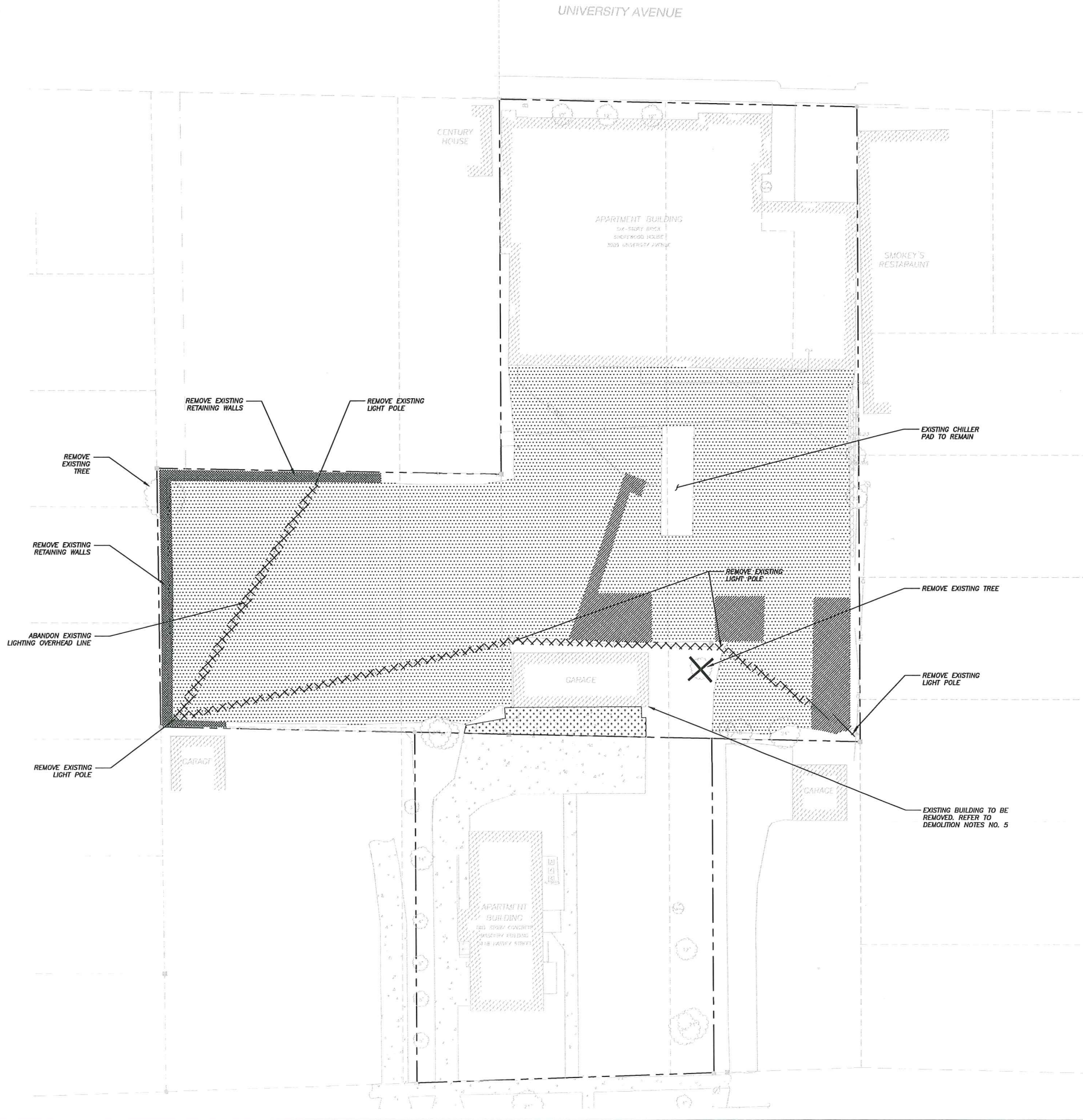
JSD Professional Services, Inc.
161 Horizon Drive, Suite 101
Verona, WI 53593
TEL 608 848-5060
Bill Dunlop, P.E. - bill.dunlop@jsdinc.com

Asphalt Paving Consultant: Preeda Chaturabong

STRUCTURAL ENGINEER:

MP-Squared Structural Engineers, LLC
583 D'Onofrio Drive, Suite 201
Madison, WI 53719
TEL 608 821-4770
Melissa A. Peyton, P.E. - mpeyton@mpsqr.com

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LEGEND (PROPOSED)

- PROPERTY LINE
- ASPHALT REMOVAL, BASE TO REMAIN
- ASPHALT/BASE REMOVAL
- BUILDING REMOVAL (INCLUDING FOOTING)
- CONCRETE/BASE REMOVAL
- UTILITY REMOVAL / ABANDONMENT

GENERAL NOTES

- REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY BY JSD PROFESSIONAL SERVICES DATED 11-05-13 FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- PERFORM TREE PRUNING IN ALL LOCATIONS WHERE PROPOSED PAVEMENT AND/OR UTILITY INSTALLATION ENCRDACH WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN. ALL TRENCING WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN SHALL BE DONE RADIALLY AWAY FROM THE TRUNK IF ROOTS IN EXCESS OF 1" DIAMETER ARE EXPOSED. ROOTS MUST BE CUT BY REPUTABLE TREE PRUNING SERVICE PRIOR TO ANY TRANSVERSE TRENCING.
- ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
- BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. NO PORTIONS OF THE BUILDING SHALL NOT BE BURIED ON SITE. ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
- GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
- WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION. ALL INCLUDED WATER AND SEWER SERVICES SHALL BE FIELD VERIFIED FOR LOCATION, SIZE, AND INVERT PRIOR TO CONSTRUCTION. THESE SHOULD BE REMOVED IF LOCATED WITHIN THE BUILDING FOOTPRINT AND REMOVED OR ABANDONED IF LOCATED OUTSIDE OF THE BUILDING FOOTPRINT. THE CONTRACTOR SHALL SHUT THE CORPORATION VALVE AT THE MAIN AS PART OF THE ABANDONMENT/RECONNECTION.

INDEX OF SHEETS

- C-0.1 - DEMOLITION PLAN
- C-1.0 - SITE PLAN
- C-2.0 - GRADING & EROSION CONTROL PLAN
- C-3.0 - UTILITY PLAN
- L-1.0 - LANDSCAPE PLAN
- L-2.0 - LANDSCAPE DETAILS AND SPECIFICATIONS

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Engineers • Surveyors • Planners

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SERVICES PROVIDED TO:

SHOREWOOD
HOUSE, LLP.

3009 UNIVERSITY AVE.
MADISON, WI 53705

PROJECT:
3009 UNIVERSITY AVE
PARKING LOT

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI
JSD PROJECT NO.: 10-4352

SEAL/SIGNATURE:

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DESIGN: PGB 11-20-13
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APPROVED: BD 11-20-13

PLAN MODIFICATIONS: DATE:
REVISED UDC SUBMITTAL 03-12-14

DIGGERS HOTLINE

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Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:

DEMOLITION
PLAN

SHEET NUMBER:

C-0.1A

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

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UNIVERSITY AVENUE

LEGEND (PROPOSED)

- PROPERTY LINE
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- ROOF OUTLINE
- EDGE OF PAVEMENT
- 1 HOUR RATED FIRE WALL
- RETAINING WALL
- SPOT ELEVATION
 - EP - EDGE OF PAVEMENT
 - FE - FINISHED FLOOR ELEVATION
 - SW - SIDEWALK
 - FG - FINAL GRADE
 - RM - STRUCTURE RIM

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CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
- INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
- EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MUSKEGO.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
- INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION.
- APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- ALL SLOPES EXCEEDING 5:1 (25%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WDOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 106B.
- CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.

GRADING AND SEEDING NOTES

- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
- ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
- CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- CONTRACTOR TO DEEP TILL ALL COMPACTED PERVIOUS SURFACES PRIOR TO SEEDING AND MULCHING.

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MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
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www.jsdinc.com

SERVICES PROVIDED TO:

SHOREWOOD
HOUSE, LLP.

3009 UNIVERSITY AVE.
MADISON, WI 53705

PROJECT:

3009 UNIVERSITY AVE
PARKING LOT

PROJECT LOCATION:

CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.:

10-4352

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: PGB 11-20-13
DRAWN: PGB 11-20-13
APPROVED: BD 11-20-13

PLAN MODIFICATIONS: DATE:
REVISED UDC SUBMITTAL 03-12-14

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Milwaukee Area (414) 259-1181
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SHEET TITLE:

GRADING & EROSION
CONTROL PLAN

SHEET NUMBER:

C-2.0A



SCALE IN FEET
20' 0 20'

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UNIVERSITY AVENUE

CENTURY
HOUSE

APARTMENT BUILDING
SIX-STORY BRICK
SHOREWOOD HOUSE
3003 UNIVERSITY AVENUE

SMOKEY'S
RESTAURANT

1
C-3.0
REPLACE EXISTING STORM INLET WITH
48" STORM MANHOLE. MANHOLE TO
CONTAIN 36" SUMP.
I.E. = 892.97
RIM = 892.74

REPLACE ONE FULL SECTION
OF 12" RCP WITH 12" RCP
WITH 8" CORE DRILLED HOLE
TO CONNECT 8" PVC USING
KOR-N-SEAL PIPE TO PIPE
CONNECTION

LEGEND (PROPOSED)

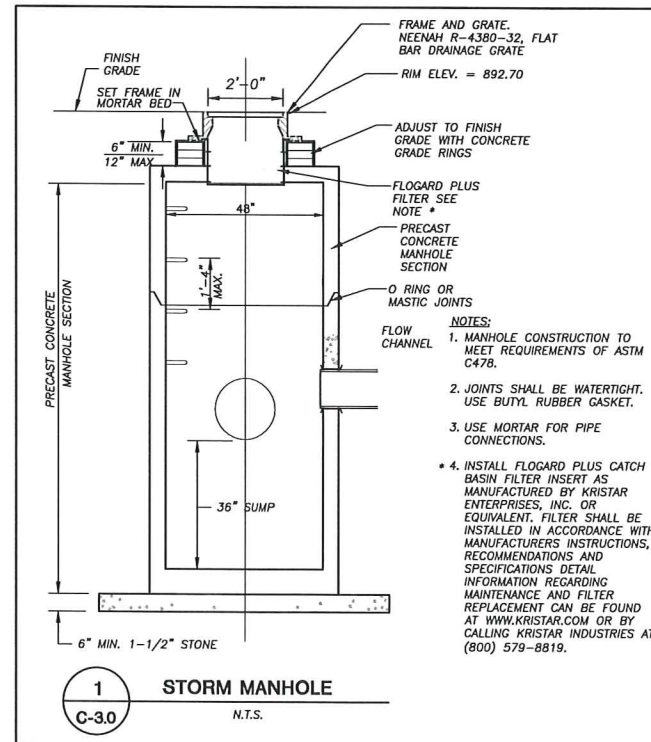
- PROPERTY LINE
- ROOF OUTLINE
- EDGE OF PAVEMENT
- 5' STORM SEWER EASEMENT
- ST STORM SEWER
- ROUND CATCH BASIN INLET

GENERAL NOTES

- REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

UTILITY NOTES

- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
- THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WDSFS, AND WDNR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY IN INCLUDING BUT NOT LIMITED TO EXISTING SERVICE ABANDONMENT.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS. PUBLIC IMPROVEMENTS ONLY SHOWN ON THIS PLAN FOR GRAPHIC PURPOSES. CONTRACTOR SHALL COORDINATE A PRECONSTRUCTION MEETING WITH CITY OF MADISON INSPECTION A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES OR DOING ANY OTHER WORK WITHIN THE PUBLIC RIGHT-OF-WAY. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30, TABLE 384.30-6.
- WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE. REPORT DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
- ALL PRIVATE SANITARY SEWER BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30, TABLE 384.30-6.
- COORDINATE AND OBTAIN ALL PERMITS FOR EXISTING PRIVATE SERVICES TO BE ABANDONED WITH THE CITY OF MADISON.
- DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.



PROPOSED STORM SEWER PIPE SCHEDULE							
PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEVATION (FT)	DISCHARGE ELEVATION (FT)	SLOPE (%)	PIPE SIZE & TYPE
P-1	UNDERGROUND STORAGE	STMM# NO.1	10	892.10	892.00	1.00%	8" PVC
P-2	STMM# NO.1	EXISTING INLET	100	891.95	889.94	2.00%	8" PVC

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3009 UNIVERSITY AVE.
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PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 10-4352

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SHEET TITLE:

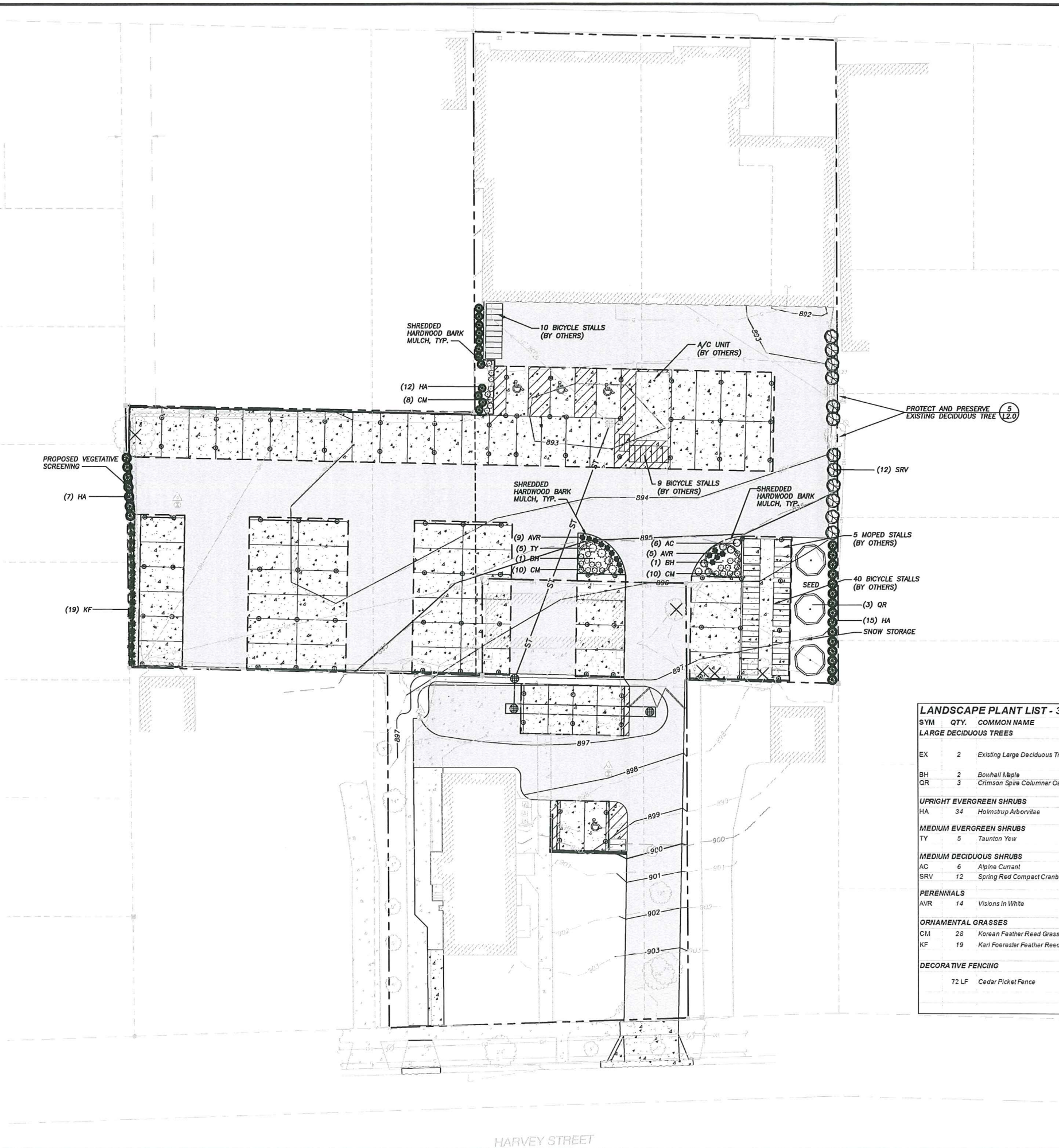
UTILITY PLAN

SHEET NUMBER:

C-3.0A

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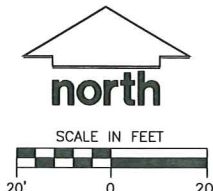


- LEGEND (PROPOSED)**
- PROPERTY LINE
 - CAR PORT ROOF OUTLINE
 - PROPOSED FENCE LINE
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED TREE/SHRUB REMOVAL
 - EXISTING LARGE DECIDUOUS TREES
 - TALL DECIDUOUS TREES
 - UPRIGHT EVERGREEN SHRUBS
 - MEDIUM EVERGREEN SHRUBS
 - MEDIUM DECIDUOUS SHRUBS
 - PERENNIALS
 - ORNAMENTAL GRASSES

Site Plan Information Block	
Site Address	3009 University Avenue
Total Site	43,094 sq. ft.
Existing Apartment Building	10,972 sq. ft.
Existing Detached Garage	1,002 sq. ft.
Existing Open Space	3,938 sq. ft.
Existing Impervious Surface	27,182 sq. ft.
Proposed Open Space	2,936 sq. ft.
Proposed Impervious Surface	29,186 sq. ft.

LANDSCAPE PLANT LIST - 3009 UNIVERSITY AVE							
SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POINTS	TOTAL POINTS
LARGE DECIDUOUS TREES							
EX	2	Existing Large Deciduous Trees	VARIES	22" TOTAL DBH		14	22x14=308 (30% OF 487 = 146) 146 POINTS ALLOWED FOR EXISTING TREE TOTAL
BH	2	Bowhall Maple	ACER rubrum 'Bowhall'	2-1/2" Cal.	B&B	35	70
QR	3	Crimson Spire Columnar Oak	QUERCUS robur 'Crimschmidt'	2-1/2" Cal.	B&B	35	105
UPRIGHT EVERGREEN SHRUBS							
HA	34	Holmstrup Arborvitae	THUJA occidentalis 'Holmstrup'	3-4' Mn Ht.	B&B	10	340
MEDIUM EVERGREEN SHRUBS							
TY	5	Taunton Yew	TAXUS x media 'Tauntonii'	12"-24" Mn Ht.	# 3 Cont.	4	20
MEDIUM DECIDUOUS SHRUBS							
AC	6	Alpine Currant	RIBES alpinum	12-24" Mn Ht.	# 3 Cont.	3	18
SRV	12	Spring Red Compact Cranberrybush Vib.	VIBURNUM triebum 'Spring Red'	18" Ht.	# 3 Cont.	3	36
PERENNIALS							
AVR	14	Visions in White	ASTILBE x chinensis 'Visions in White'	8"-18" Mn Ht.	# 1 Cont.	2	28
ORNAMENTAL GRASSES							
CM	28	Korean Feather Reed Grass	CALAMAGROSTIS brachytricha	8"-18" Mn Ht.	# 1 Cont.	2	56
KF	19	Karl Foerster Feather Reed Grass	CALAMAGROSTIS x acutiflora 'Karl Foerster'	8"-18" Mn Ht.	# 1 Cont.	2	38
DECORATIVE FENCING							
	72 LF	Cedar Picket Fence				4 per 10 lineal feet	28.8
						TOTAL:	886

- GENERAL NOTES**
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SERVICES PROVIDED TO:
SHOREWOOD HOUSE, LLP.

3009 UNIVERSITY AVE.
MADISON, WI 53705

PROJECT:
**3009 UNIVERSITY AVE
PARKING LOT AND
FIRE LANE**

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI

JSD PROJECT NO.: 10-4352

SEAL/SIGNATURE:

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DESIGN: KJY 11/20/13
DRAWN: KJY 11/20/13
APPROVED: MAS 11/20/13

PLAN MODIFICATIONS: DATE:
REVISED UDC SUBMITTAL 03/12/14

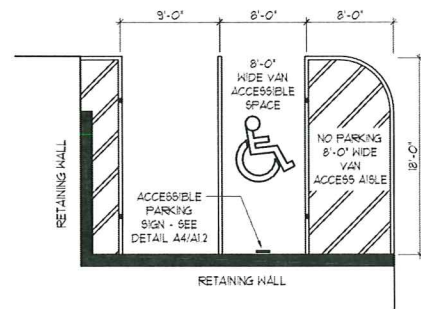
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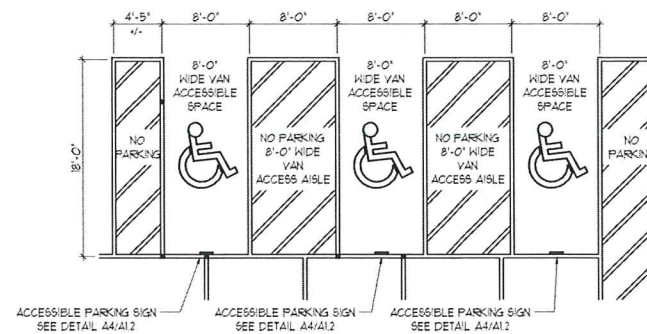
SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L-1.0A

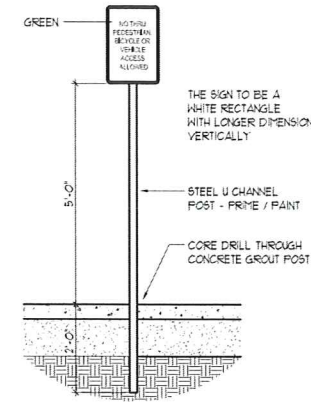
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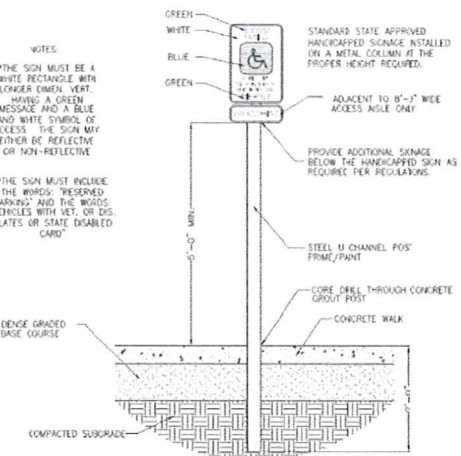
A1
A1.2 ACCESSIBLE PARKING STALL LAYOUT
3118 HARVEY STREET 1/8"=1'-0"



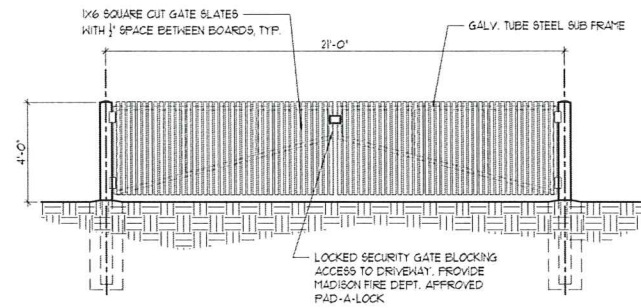
A2
A1.2 ACCESSIBLE PARKING STALL LAYOUT
3009 UNIVERSITY AVENUE 1/8"=1'-0"



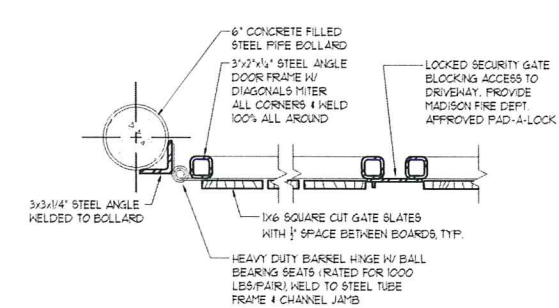
A3
A1.2 SIGNAGE DETAIL 1/2"=1'-0"



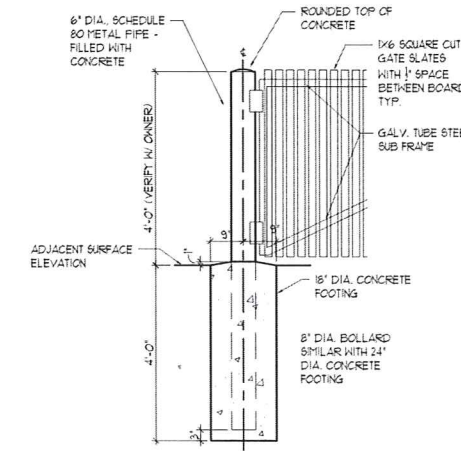
A4
A1.2 ACCESSIBLE PARKING STALL SIGNAGE 1/2"=1'-0"



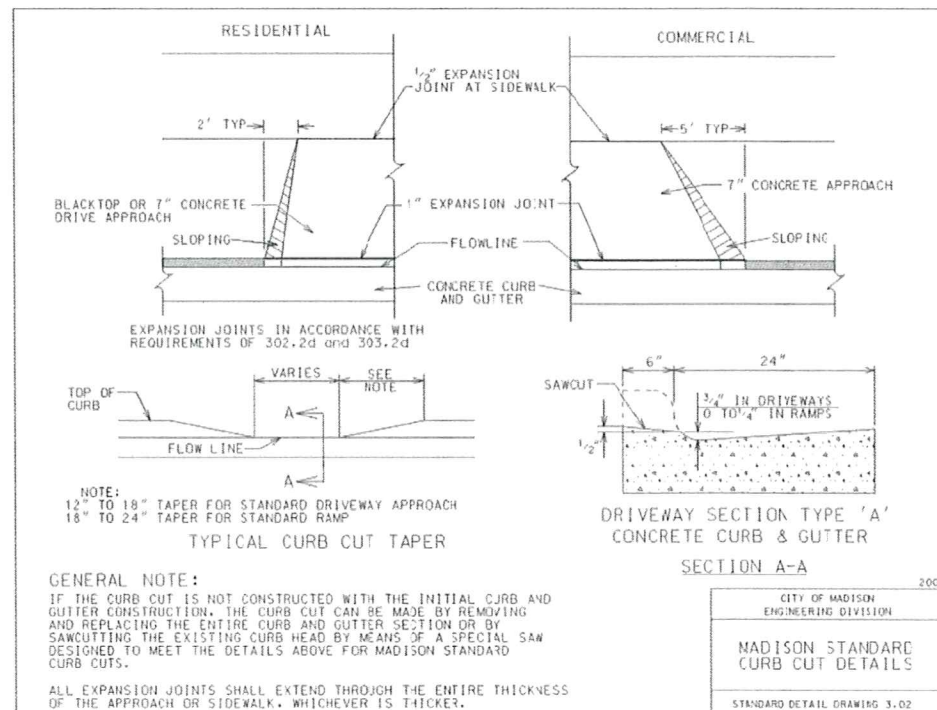
A5
A1.2 ENCLOSURE GATE ELEVATION 1/4"=1'-0"



A6
A1.2 ENCLOSURE GATE JAMB 1/2"=1'-0"

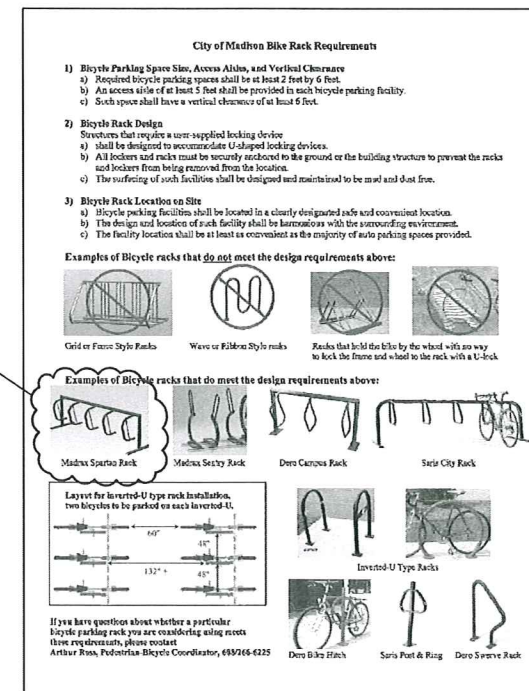


A7
A1.2 CONCRETE FILLED PIPE BOLLARD 6" DIAMETER 1/2"=1'-0"



A8
A1.2 CITY OF MADISON STANDARD CURB CUT DETAILS NO SCALE

SUGGESTED RACK STYLE



A9
A1.2 CITY OF MADISON BIKE RACKS NO SCALE

ARCHITECT:
RUSS OWENS, AIA, CCCA, LEEDap
413 RAVINE ST.
JANESVILLE, WI 53548
608-219-1316
rowensra@sbcglobal.net

OWNER:
SHOREWOOD HOUSE, LLP.
3009 University Avenue
Madison, WI 53705
Duke Dykstra
duke@deanplace.com

PROJECT:
Site Improvements for 3009 University Avenue /
3118 Harvey Street Properties
MADISON, WI 53705

Revisions:
REV. 1 - 04/30/14

Drawn by:
AJR

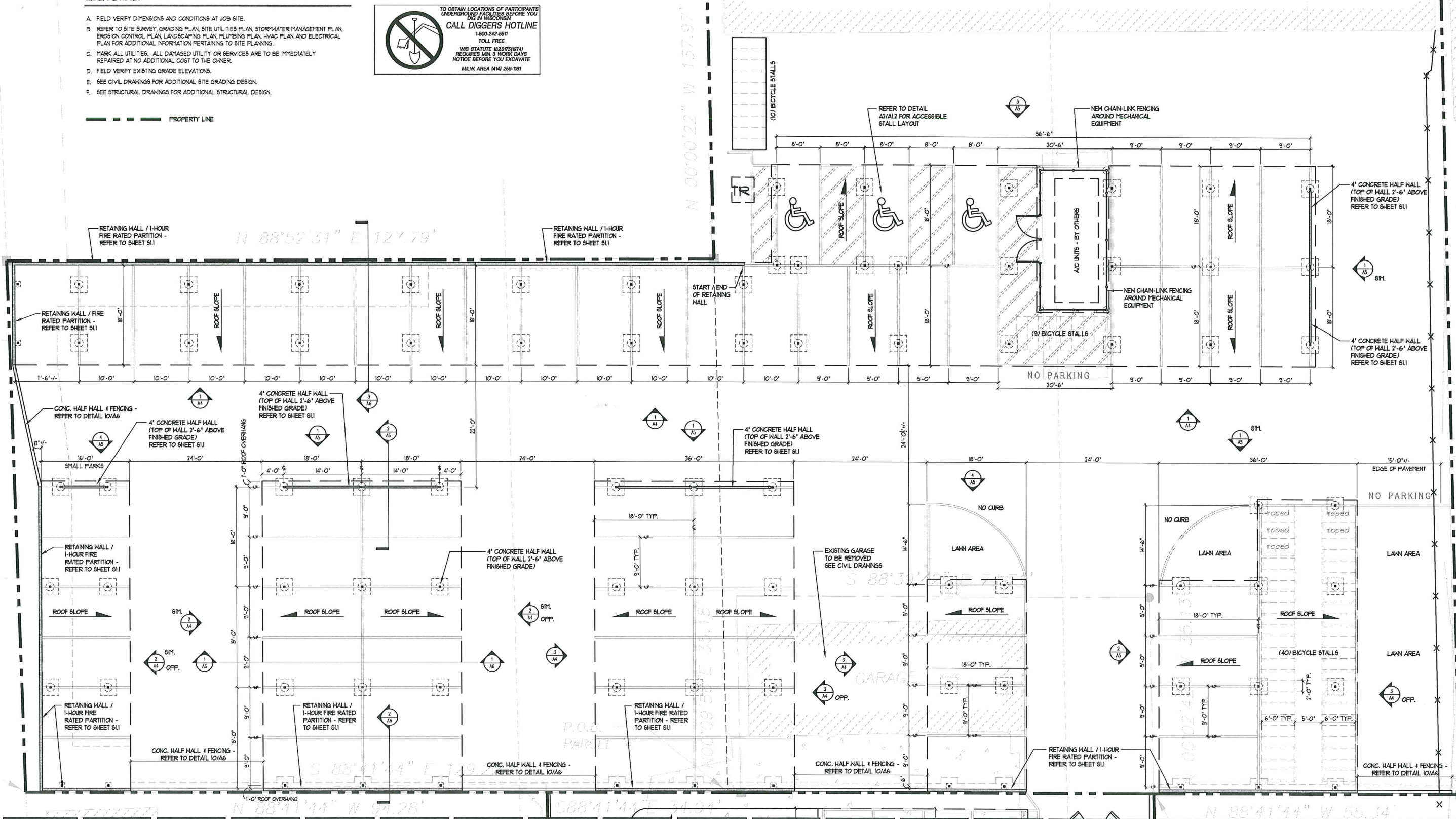
Date:
12 / 03 / 2013

Sheet No.:
A1.2

GENERAL NOTES

- A. FIELD VERIFY DIMENSIONS AND CONDITIONS AT JOB SITE.
B. REFER TO SITE SURVEY, GRADING PLAN, SITE UTILITIES PLAN, STORMWATER MANAGEMENT PLAN, EROSION CONTROL PLAN, LANDSCAPING PLAN, PLUMBING PLAN, HVAC PLAN AND ELECTRICAL PLAN FOR ADDITIONAL INFORMATION PERTAINING TO SITE PLANNING.
C. MARK ALL UTILITIES. ALL DAMAGED UTILITY OR SERVICES ARE TO BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
D. FIELD VERIFY EXISTING GRADE ELEVATIONS.
E. SEE CIVIL DRAWINGS FOR ADDITIONAL SITE GRADING DESIGN.
F. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL DESIGN.

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-6511
TOLL FREE
WIS STATUTE §82.07(5)(b)
REQUIRES MAX 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE
MILWAUKEE AREA (414) 259-1181



SEE SHEET A3

SEE SHEET A3

0 4' 8' 16'
SCALE: 1/8" = 1'-0"

1
A2

3009 UNIVERSITY AVE. - CARPORT FLOOR PLAN

1/8" = 1'-0"

3009 UNIVERSITY AVE. PARKING STALLS		
MOPED STALLS	BICYCLE STALLS	PARKING STALLS
# OF MOPED STALLS REQUIRED: N/A	# OF BICYCLE STALLS REQUIRED: 80 STALLS	# OF PARKING STALLS REQUIRED: 90 STALLS
# OF MOPED STALLS PROVIDED: 5 MOPED STALLS (5 COVERED / 0 NOT COVERED)	# OF BICYCLE STALLS PROVIDED: 53 BICYCLE STALLS (49 COVERED / 10 NOT COVERED)	# OF PARKING STALLS PROVIDED: 61 STALLS (58 LARGE / 6 SMALL / 3 HANDICAP) (61 COVERED / 0 NOT COVERED)
TOTAL AREA COVERED BY CAR PORTS: 100 SQ. FT.	TOTAL AREA COVERED BY CAR PORTS: 941 SQ. FT.	TOTAL AREA COVERED BY CAR PORTS: 1339 SQ. FT.

ARCHITECT:
RUSS OWENS, AIA, CCCA, LEEDap
413 RAVINE ST.
JANESVILLE, WI 53548
608-219-1316
rowensra@sbcglobal.net

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3009 University Avenue
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duke@clearplace.com

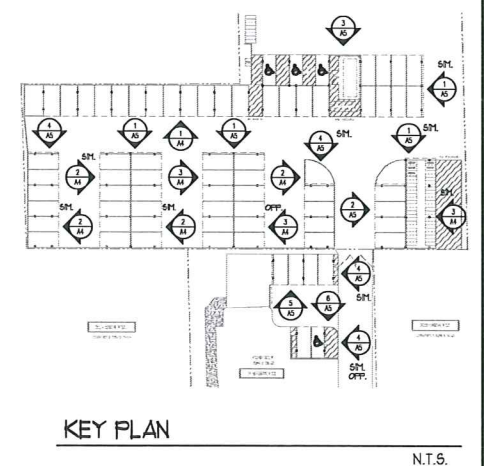
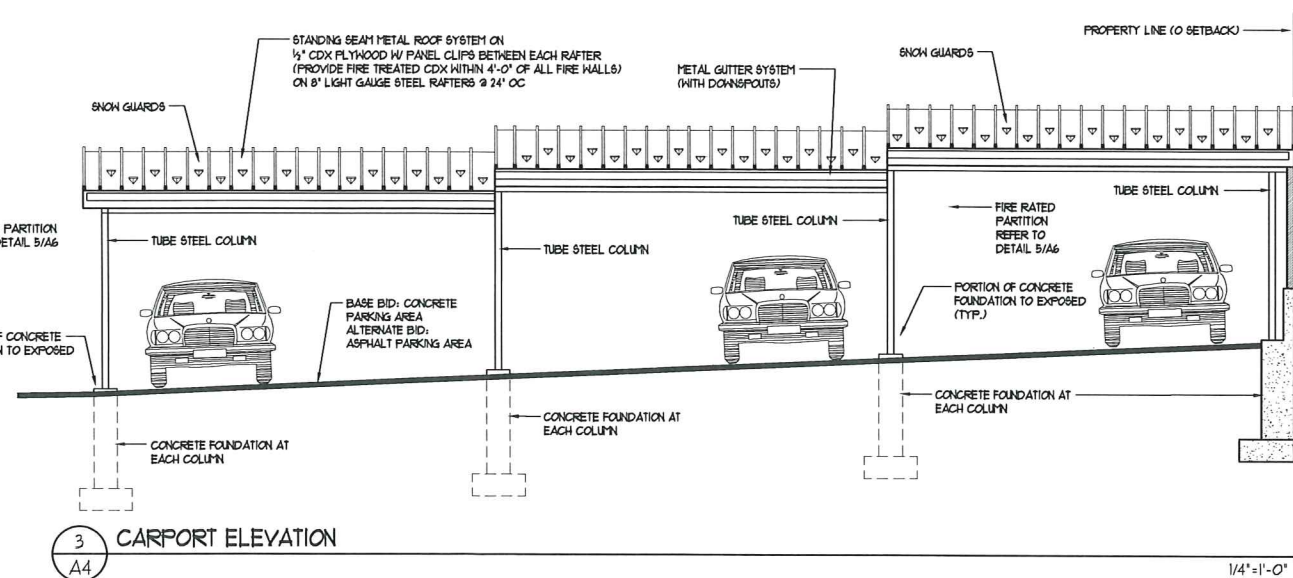
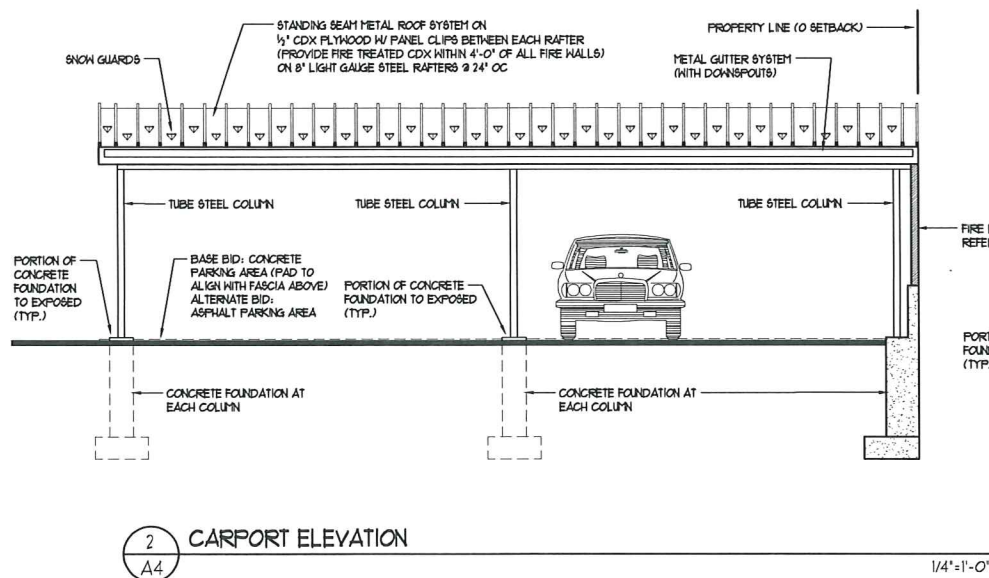
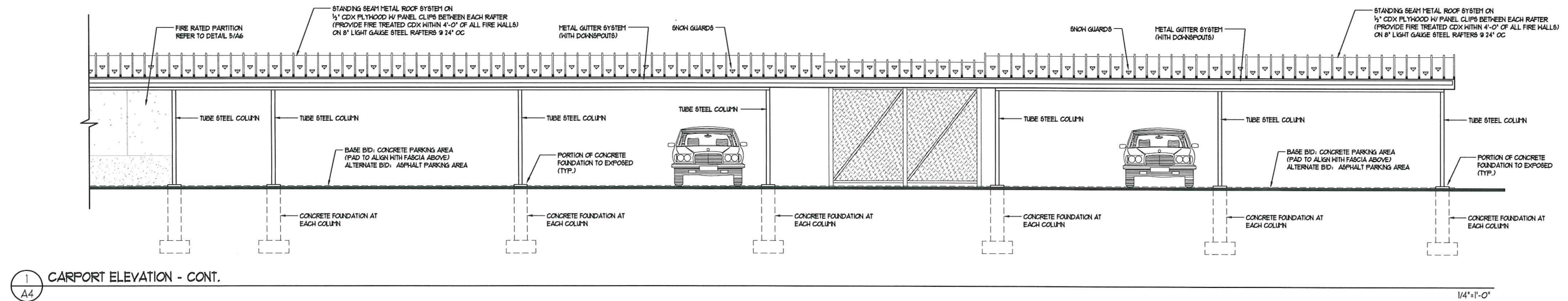
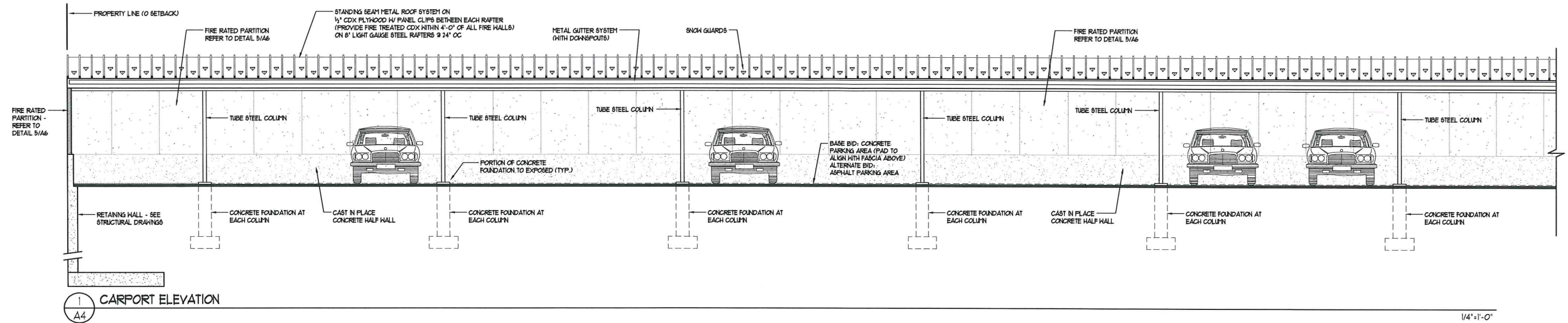
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REV. 1 - 04/30/14

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AJR

Date:
12 / 03 / 2013

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A2



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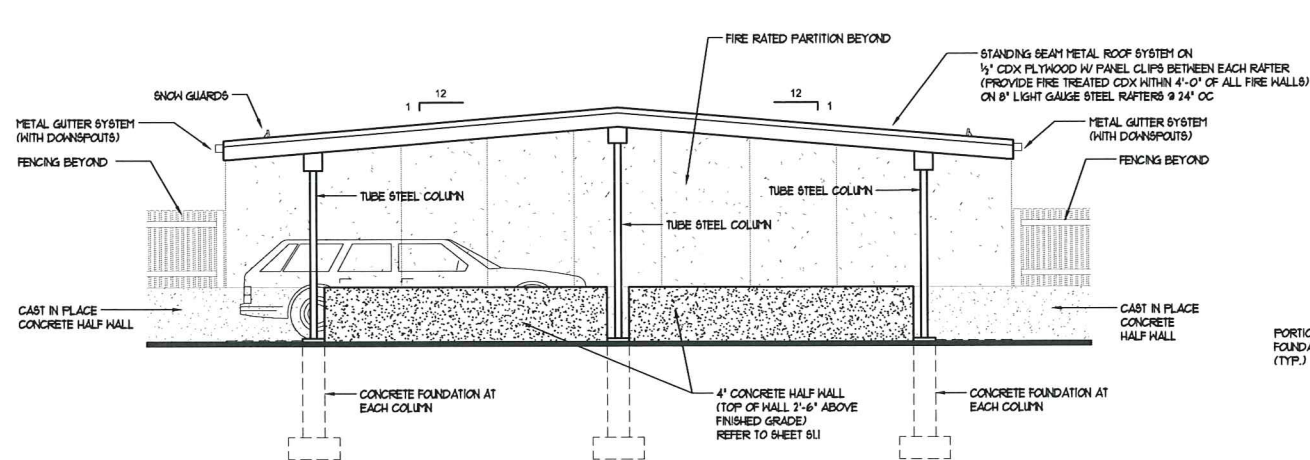
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Drawn by:
AJR

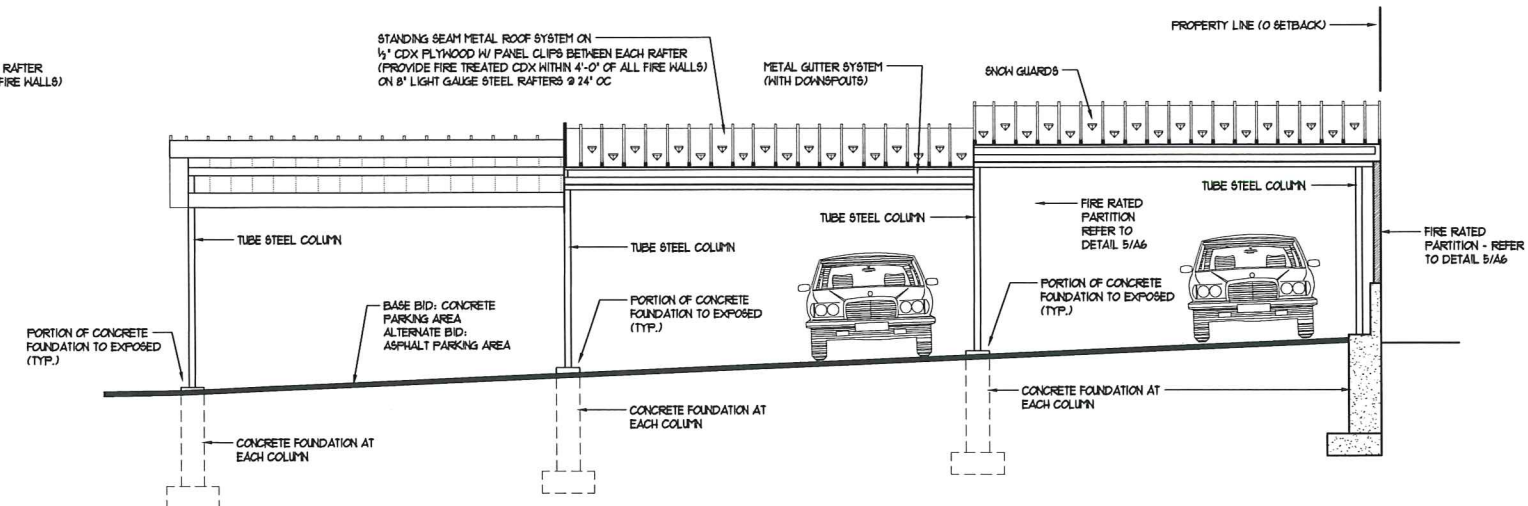
Date:
12 / 03 / 2013

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A4



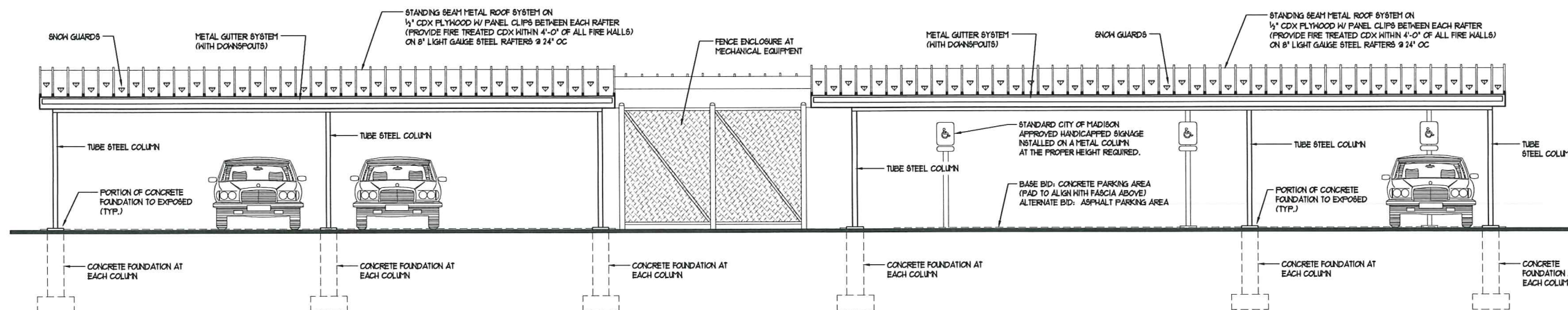
1 CARPORT ELEVATION
A5

1/4"=1'-0"



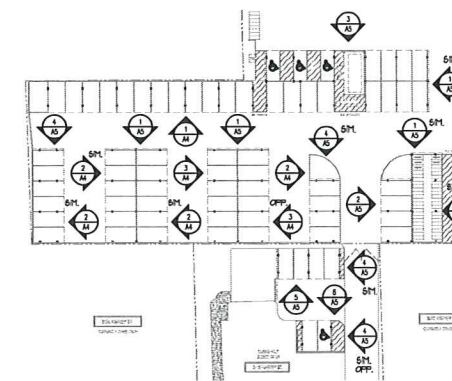
2 CARPORT ELEVATION
A5

1/4"=1'-0"



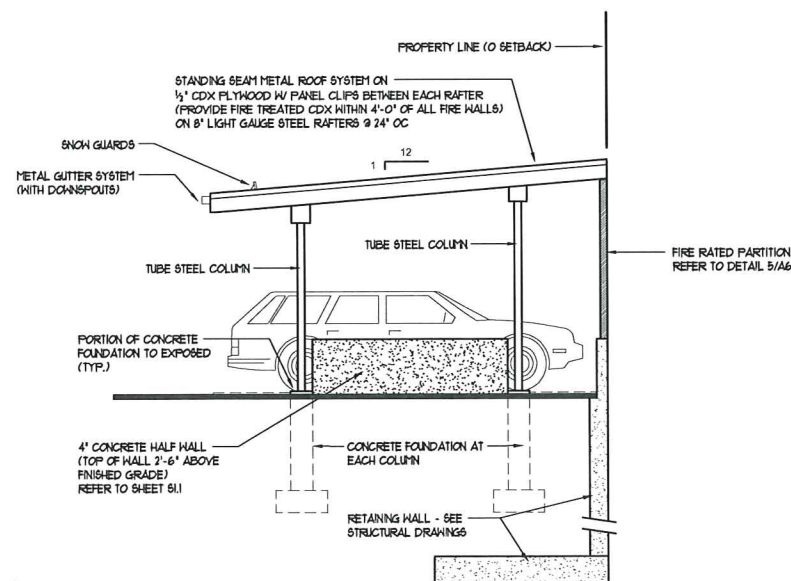
3 CARPORT ELEVATION
A5

1/4"=1'-0"



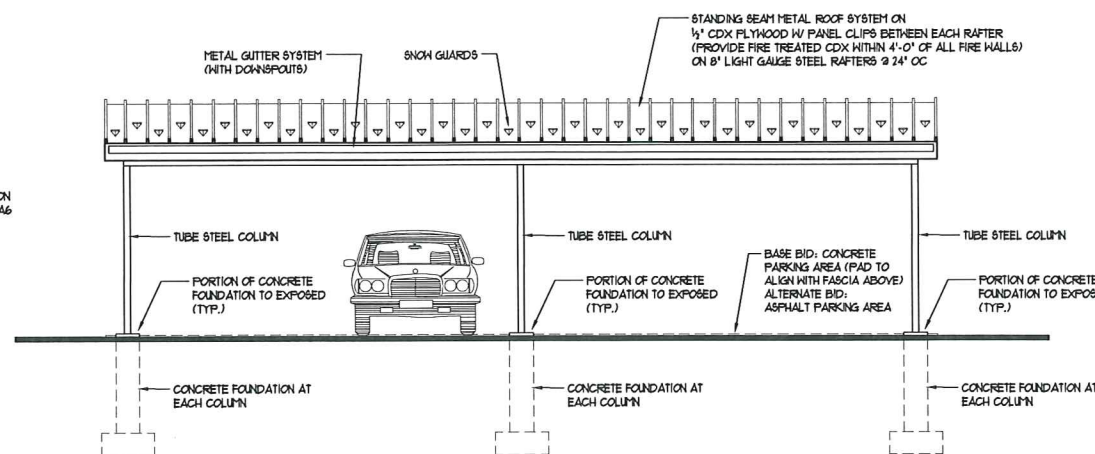
KEY PLAN

N.T.S.



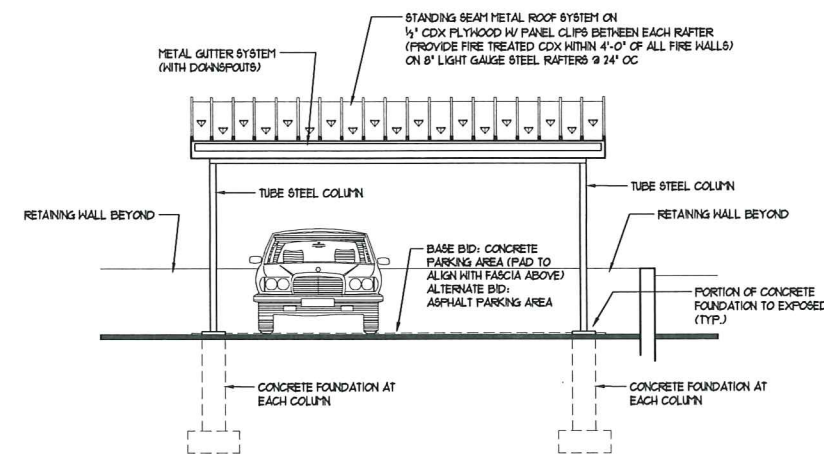
4 CARPORT ELEVATION
A5

1/4"=1'-0"



5 CARPORT ELEVATION
A5

1/4"=1'-0"



6 CARPORT ELEVATION - CONT.
A5

1/4"=1'-0"

ARCHITECT:
RUSS OWENS, AIA, CCCA, LEEDap
413 RAVINE ST.
JANESVILLE, WI 53548
608-219-1316
rowensra@sbcglobal.net

OWNER:
SHOREWOOD HOUSE, LLP.
3009 University Avenue
Madison, WI 53705
Duke Dykstra
duke@clearplace.com

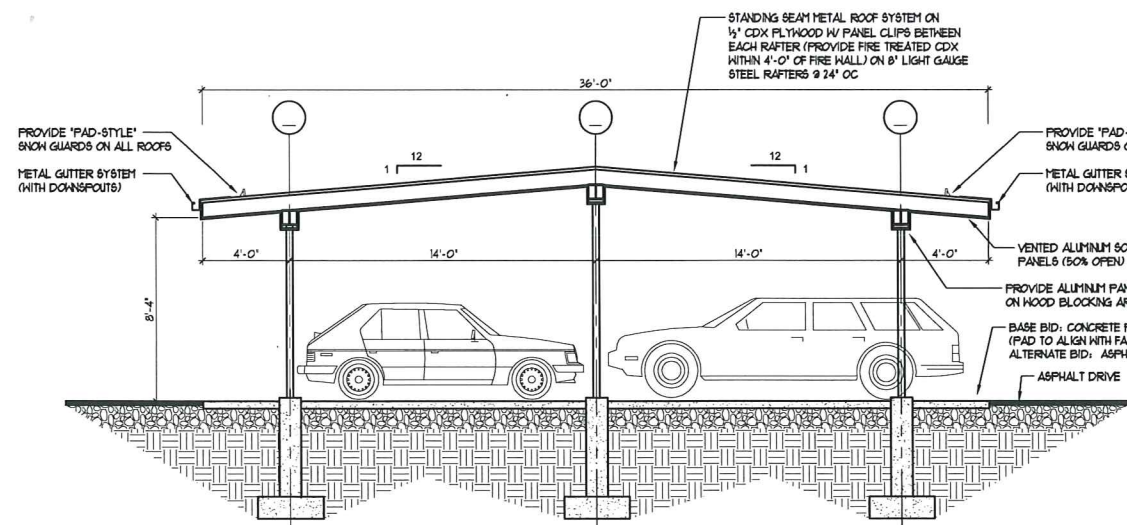
PROJECT:
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3118 Harvey Street Properties
MADISON, WI 53705

Revisions:
REV. 1 - 04/30/14

Drawn by:
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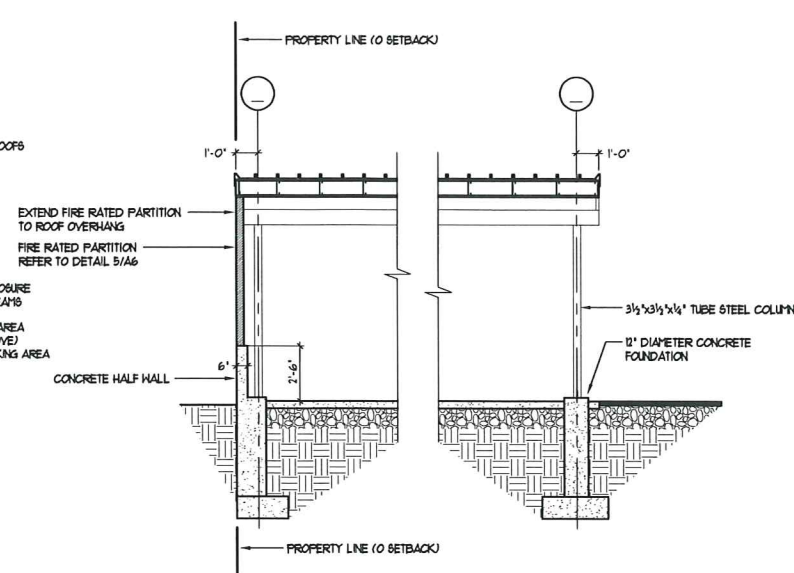
Date:
12 / 03 / 2013

Sheet No.:
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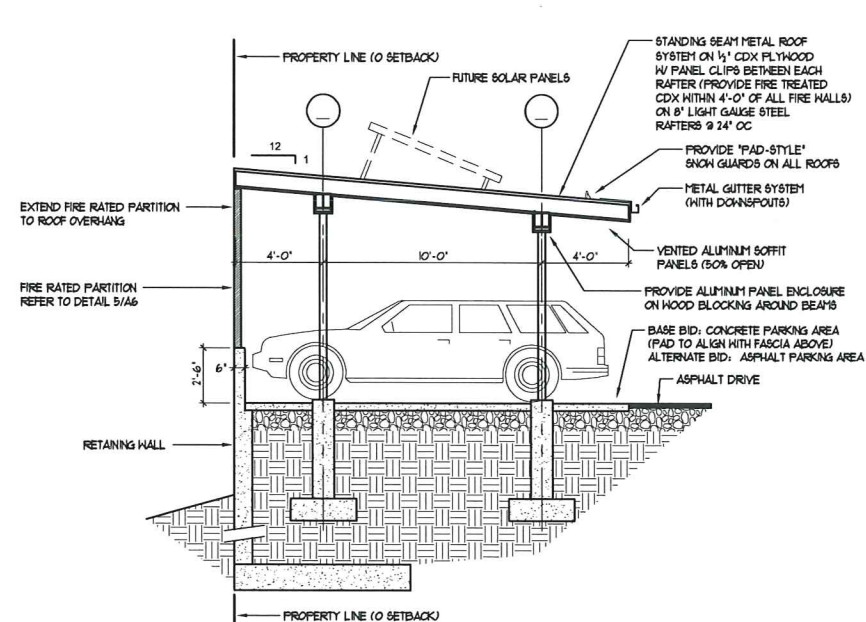
1 CARPORT SECTION
A6

1/4"=1'-0"



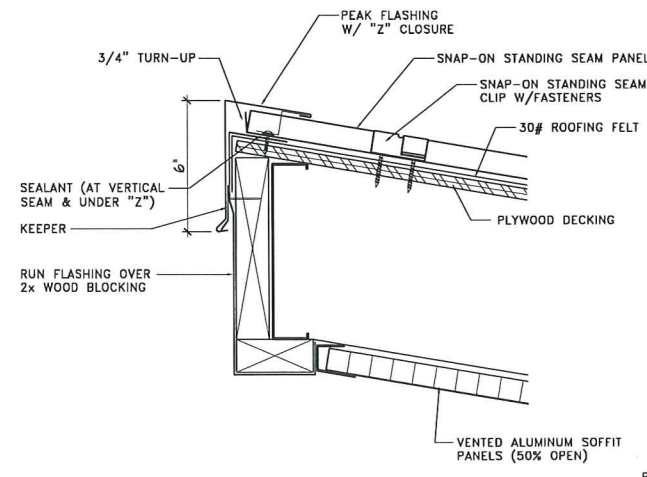
2 CARPORT SECTION
A6

1/4"=1'-0"



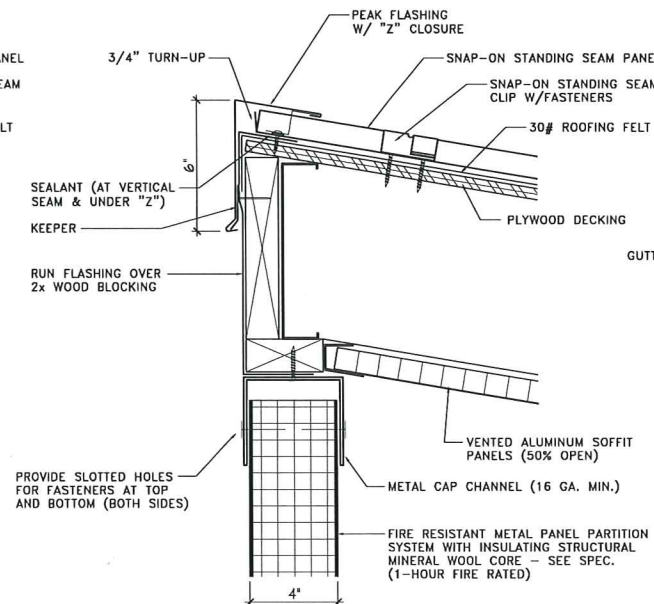
3 CARPORT SECTION
A6

1/4"=1'-0"



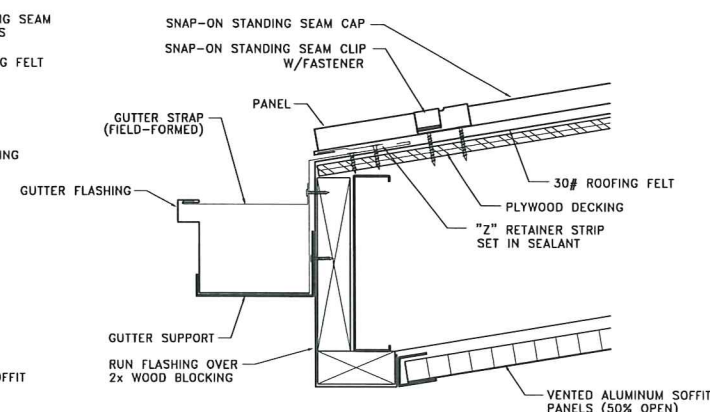
4 CARPORT ROOF EDGE DETAIL
A6

1-1/2"=1'-0"



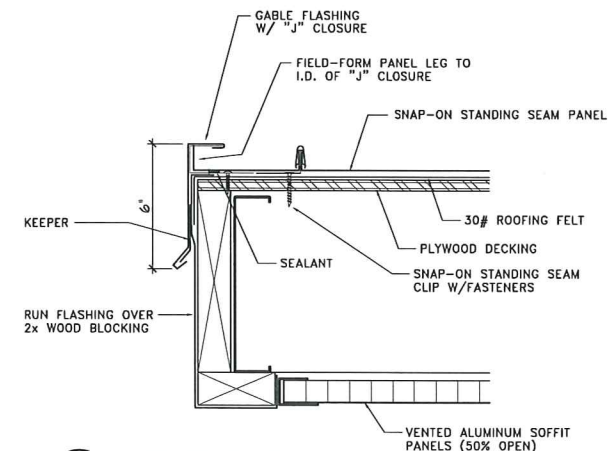
5 CARPORT ROOF EDGE DETAIL
A6

1-1/2"=1'-0"



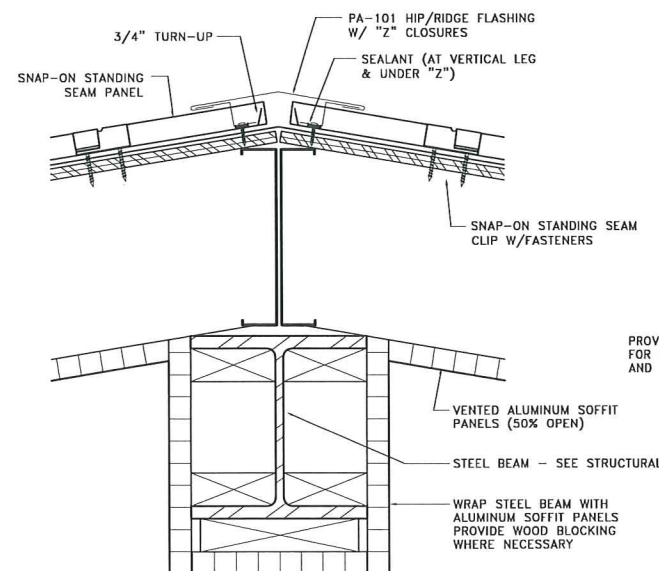
6 CARPORT ROOF EDGE DETAIL
A6

1-1/2"=1'-0"



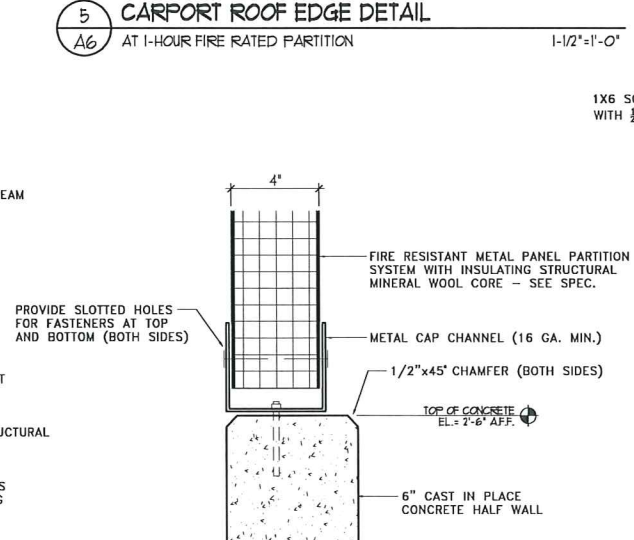
7 CARPORT ROOF EDGE DETAIL
A6

1-1/2"=1'-0"



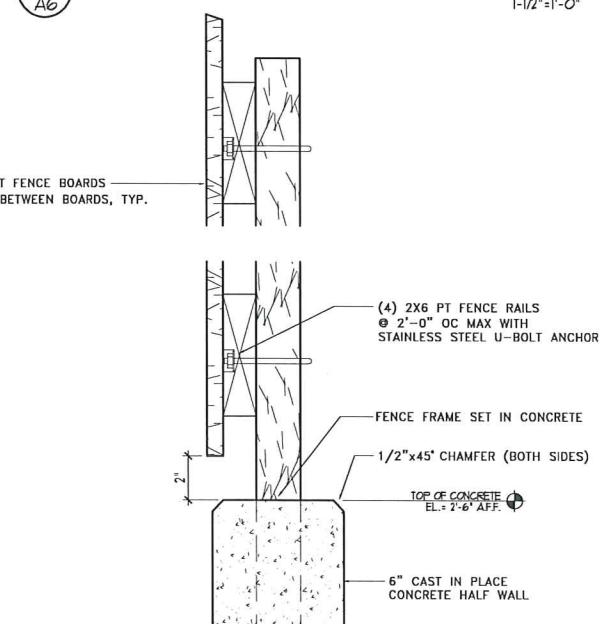
8 CARPORT RIDGE DETAIL
A6

1-1/2"=1'-0"



9 CONCRETE HALF WALL DETAIL
A6

1-1/2"=1'-0"



10 WOOD SCREEN WALL DETAIL
A6

1-1/2"=1'-0"

ARCHITECT:
RUSS OWENS, AIA, CCCA, LEEDap
413 RAVINE ST.
JANESVILLE, WI 53548
608-219-1316
rowenra@sboglobal.net

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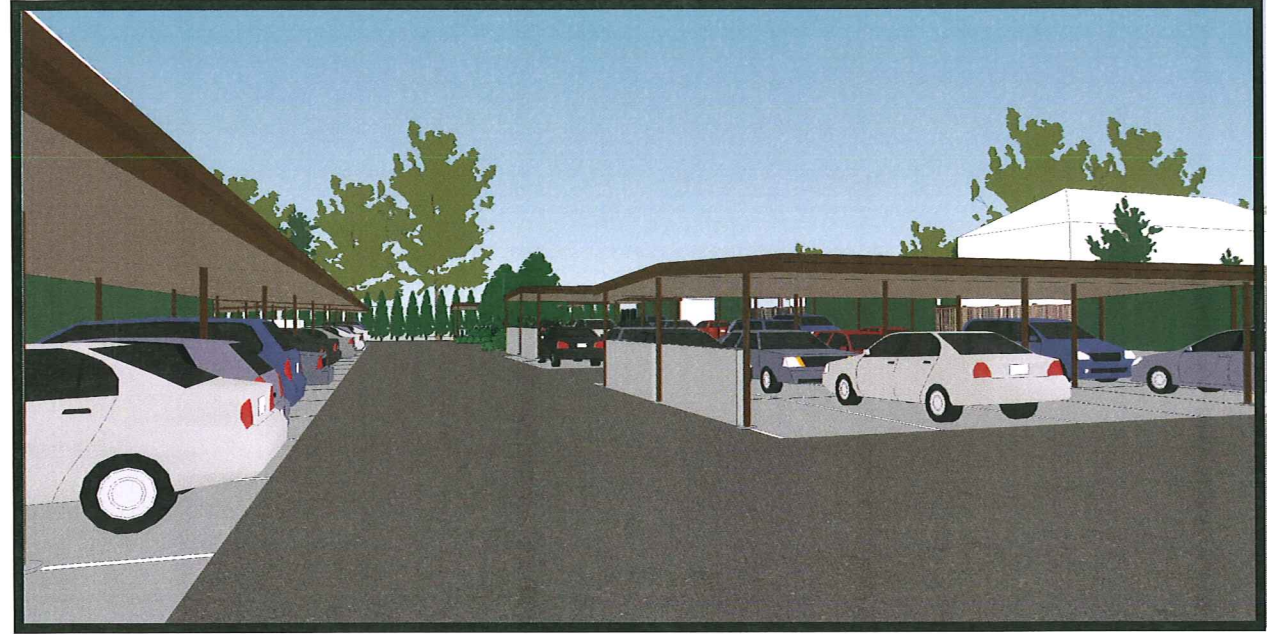
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Sheet No.:
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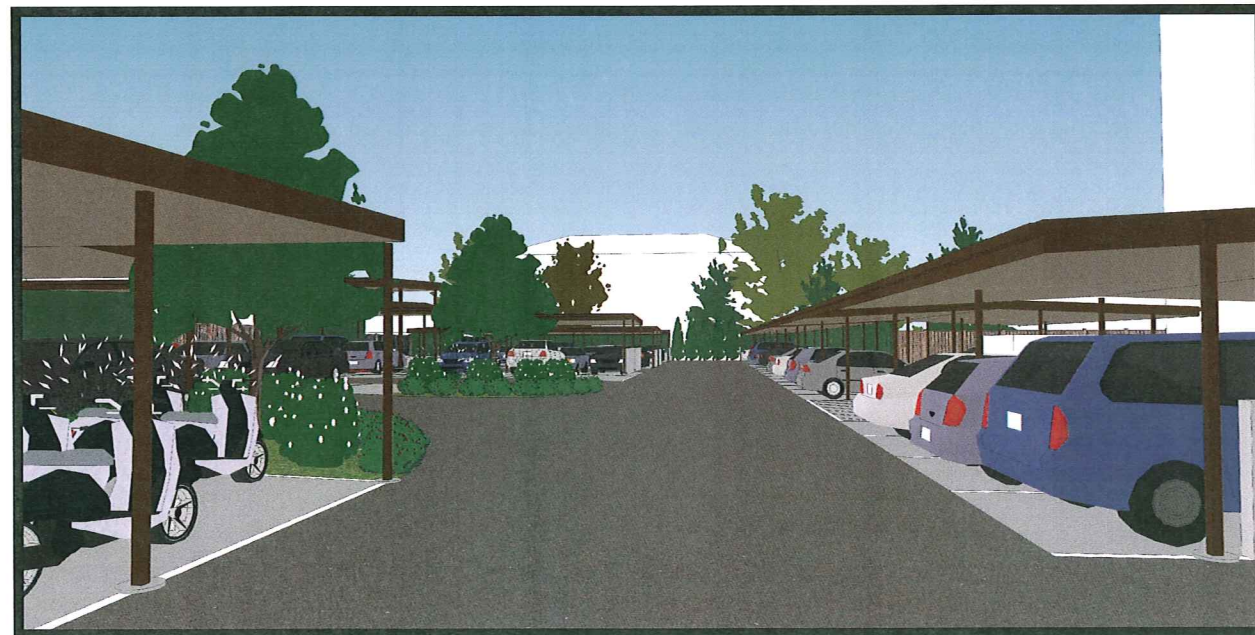
1
A1 CARPORT PERSPECTIVE

NO SCALE



2
A1 CARPORT PERSPECTIVE

NO SCALE



3
A1 CARPORT PERSPECTIVE

NO SCALE



4
A1 CARPORT PERSPECTIVE

NO SCALE

ARCHITECT:
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JANESVILLE, WI 53548
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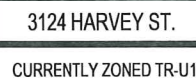
Sheet No.:
A7

DUPLEX RECEPTACLE - MOUNTED 48" AFF TO CENTER OF BOX UNLESS NOTED OTHERWISE
 GFI 3 ——— CIRCUIT NUMBER
 ——— RECEPTACLE TYPE
 (GFI) GROUND FAULT INTERRUPTING
 (WP) WEATHERPROOF

CANOPY MOUNTED LIGHT FIXTURE
SEE SHEET E2 FOR LIGHT FIXTURE MANUFACTURER PHOTOMETRICS

VCS: Vehicles charge stations (Future – By Building Owner)
Security Camera: By Building Owner

NEW 800A EXTERIOR GROUND MOUNTED
SERVICE, 208/120 3 PHASE 4 WIRE WITH
TWO 42 SPACE DISTRIBUTION PANELS IN
LOCKABLE WEATHERPROOF ENCLOSURE
PROVIDE 40 /2 BREAKER FOR EACH
CHARGING STATION. COORDINATE NEW
SERVICE INSTALLATION WITH MGE. _____
NEW CHARGING STATIONS ARE TYPE 2.



3010 HARVEY ST.
CURRENTLY ZONED TR-U1

CURRENTLY
ZONED TR-U1

3118 HARVEY ST

0 5'-4" 10'-8" 21'-4"

SCALE: 3/32" = 1'-0"

3/32" = 1'-0"

CARPORT SCOPE ELECTRICAL PLAN

THE ARCHITECT PREPARED ELECTRICAL DESIGN SCOPE DOCUMENTS
CONSISTING OF DRAWINGS AND SPECIFICATIONS THAT WILL OUTLINE THE
GENERAL REQUIREMENTS FOR BIDDING. IT IS THE RESPONSIBILITY OF
THE BIDDING CONTRACTOR TO TAKE RESPONSIBILITY OF THE FINAL
DESIGN FOR NECESSARY APPROVALS AND CONSTRUCTION REQUIREMENTS.

PROJECT: **Site Improvements for 3009 University Avenue /
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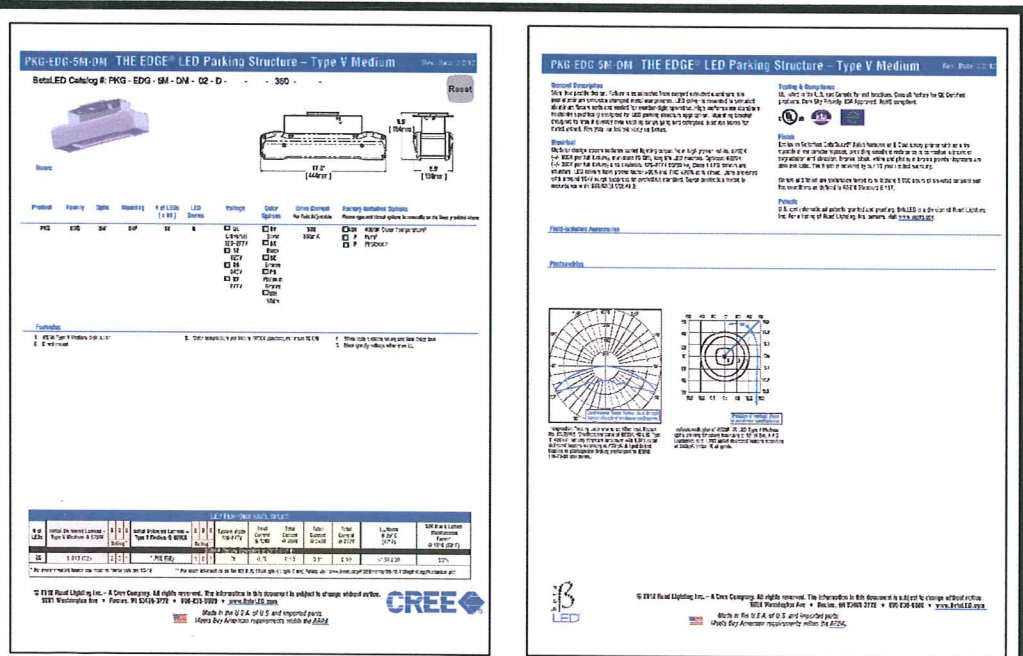
Drawn by:
AJR
Date:
12 / 03 / 2013

Sheet No.:

E1

[illegible]

FEEDER SCHEDULE:

[illegible]

SCOPE DOCUMENT ONLY

THE ARCHITECT PREPARED ELECTRICAL DESIGN SCOPE DOCUMENTS CONSISTING OF DRAWINGS AND SPECIFICATIONS THAT WILL OUTLINE THE GENERAL REQUIREMENTS FOR BIDDING. IT IS THE RESPONSIBILITY OF THE BIDDING CONTRACTOR TO TAKE RESPONSIBILITY OF THE FINAL DESIGN FOR NECESSARY APPROVALS AND CONSTRUCTION REQUIREMENTS.

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 413 RAVINE ST.
 JANESVILLE, WI 53548
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3009 University Avenue
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Revisions:

REV. 1 - 04/30/14

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AJR

Date:

12 / 03 / 2013

Sheet No.:

E2

Panelboard	Site 1	Panel Source:	MSP
Bus Ampacity	400	Volts	120/208
Branch Brkr Space	42	Phase	3
MLO Amps	400	Wires	4
MCB A/P	--	Surf/Face	Sub-Feed Lugs
Pnl Mfr	New	Recessed	X
Pnl Type	--	AIC	Sub-Feed Brkr #1
Pnl Height	20"	Pnl MCA	--
Pnl Width	5.75"	Sub-Feed	Brkr #2
Pnl Depth	--	Load Fed	--
Largest Motor FLA	--		
X-Ray Adj 3-Ph Equiv KVA	--		

Load to be Fed	Cct No	Brkr A/P	Left Phases	Right Phases	Brkr A/P	Cct No	Load to be Fed
Vehicle Charger	1	40/2	3600		1215	20/1	2 Site Lighting
--	3	--		3600	1620	20/1	4 Exterior Recept.
Vehicle Charger	5	40/2		3600	1440	20/1	6 Exterior Recept.
--	7	--	3600		--	20/1	8 Spare
Vehicle Charger	9	40/2		3600	--	20/1	10 Spare
--	11	--		3600	--	40/2	12 Spare
Vehicle Charger	13	40/2			--	--	14 --
--	15	--	3600		--	40/2	16 Spare
Spare	17	40/2			--	--	18 --
--	19	--	--		--	40/2	20 Spare
Spare	21	40/2			--	22	--
--	23	--			--	40/2	24 Spare
Spare	25	40/2			--	--	26 --
--	27	--	--		--	40/2	28 Spare
Spare	29	40/2			--	30	--
--	31	--	--		--	40/2	32 Spare
Spare	33	40/2			--	34	--
--	35	--			--	40/2	36 Spare
Spare	37	40/2			--	--	38 --
--	39	--	--		--	40/2	40 Spare
Spare	41	20/1			--	42	--
Feed-Thru Lugs	73	--	--			74	Sub-Feed Brkr 1
--	75	--	--			76	--
--	77	--	--			78	--
Sub-Feed Lugs	79	--	--			80	Sub-Feed Brkr 2
--	81	--	--			82	--
--	83	--	--			84	--
Total Lights	--	--	--	--	--	--	--
Total Recepts	--	--	--	--	--	--	--
Total HVAC Blwrs	--	--	--	--	--	--	--
Total HVAC A/C	--	--	--	--	--	--	--
Total HVAC Htg	--	--	--	--	--	--	--
Total HVAC	--	--	--	--	--	--	--
Total X-Ray Instant	--	--	--	--	--	--	--
Total X-Ray Long	--	--	--	--	--	--	--
Total Misc	--	--	--	--	--	--	--
Total Phases	--	--	5725	6060	6600	--	--
Total Panel	--	--	18,385	--	--	--	--

Panelboard	Site 2	Panel Source:	MSP
Bus Ampacity	400	Volts	120/208
Branch Brkr Space	42	Phase	3
MLO Amps	400	Wires	4
MCB A/P	--	Surf/Face	Sub-Feed Lugs
Pnl Mfr	New	Recessed	X
Pnl Type	--	AIC	Sub-Feed Brkr #1
Pnl Height	20"	Pnl MCA	--
Pnl Width	5.75"	Sub-Feed	Brkr #2
Pnl Depth	--	Load Fed	--
Largest Motor FLA	--		
X-Ray Adj 3-Ph Equiv KVA	--		

Load to be Fed	Cct No	Brkr A/P	Left Phases	Right Phases	Brkr A/P	Cct No	Load to be Fed
Spare	1	40/2	--	B	--	20/1	2 Spare
--	3	--	--		--	20/1	4 Spare
Spare	5	40/2		--	--	20/1	6 Spare
--	7	--	--		--	40/2	8 Spare
Spare	9	40/2			--	--	10 --
--	11	--	--		--	40/2	12 Spare
Spare	13	40/2			--	--	14 --
--	15	--	--		--	40/2	16 Spare
Spare	17	40/2			--	18	--
--	19	--	--		--	40/2	20 Spare
Spare	21	40/2			--	--	22 --
--	23	--	--		--	40/2	24 Spare
Spare	25	40/2			--	--	26 --
--	27	--	--		--	40/2	28 Spare
Spare	29	40/2			--	30	--
--	31	--	--		--	40/2	32 Spare
Spare	33	40/2			--	--	34 --
--	35	--	--		--	40/2	36 Spare
Spare	37	40/2			--	38	--
--	39	--	--		--	40/2	40 Spare
Spare	41	20/1			--	42	--
Feed-Thru Lugs	73	--	--			74	Sub-Feed Brkr 1
--	75	--	--			76	--
--	77	--	--			78	--
Sub-Feed Lugs	79	--	--			80	Sub-Feed Brkr 2
--	81	--	--			82	--
--	83	--	--			84	--
Total Lights	--	--	--	--	--	--	--
Total Recepts	--	--	--	--	--	--	--
Total HVAC Blwrs	--	--	--	--	--	--	--
Total HVAC A/C	--	--	--	--	--	--	--
Total HVAC Htg	--	--	--	--	--	--	--
Total HVAC	--	--	--	--	--	--	--
Total X-Ray Instant	--	--	--	--	--	--	--
Total X-Ray Long	--	--	--	--	--	--	--
Total Misc	--	--	--	--	--	--	--
Total Phases	--	--	--	--	--	--	--
Total Panel	--	--	--	--	--	--	--

Division 16 Electrical

Part 1 - General

Description

Prior to submitting a bid, bidders are required to visit the premises, take measurements, inspect existing conditions & limitations & obtain first hand information necessary to submit a bid. The intent of the contract is to obtain complete systems, tested, ready for operation. No extras will be allowed because of the Contractor's misunderstanding of the work involved.

Work included: Provide electrical work as specified herein, and as needed for a complete and proper installation including, but not necessarily limited to:

Underground Electric Service, metering facilities, main breaker, main distribution, and distribution panelboards;

Feeder system, in conduit to branch circuits panels;

Branch circuit panels for power and lighting;

Branch circuit wiring, in conduit, for lighting, receptacles, junction boxes;

Data wiring conduit system;

Hangers, anchor sleeves, chase supports for fixtures, and other electrical materials and equipment in association therewith;

Lighting fixtures and lamps;

Other items and services required to complete the systems.

Work of Other Sections

Openings for electrical work in ceiling, columns, etc., will be provided by General Contractor. Location and size of these openings will be the responsibility of the Electrical Contractor.

Painting electrical equipment will be the responsibility of Painting Contractor.

Roofing, exterior wall and related exterior opens shall be caulked, sealed and patched by the General Contractor.

General Provisions

Everything essential for the completion of the work implied to be covered by these Specifications to make the system ready for normal and proper operation must be furnished and installed by this Contractor. Accordingly, any omission from either the plans or the Specifications, or both, of details necessary for the proper installation and operation of the system shall not relieve this Contractor from furnishing such detail in full and proper manner.

Quality Assurance

Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and methods needed for proper performance of the work of this Section.

Without additional cost to the Owner, provide such other labor and materials as required to complete the work of this Section in accordance with the requirements of governmental agencies having jurisdiction, regardless of whether such materials and associated labor are called for elsewhere in these Contract Documents.

In acceptance or rejection of installed work, the Architect or Engineer shall make no allowance for lack of skill on the part of the Workmen.

Reference Standards: The following standards are imposed, as applicable to work in each instance:

ASME American Society of Mechanical Engineers

ASTM American Society of Testing and Materials

IES Illuminating Engineering Society

NCA National Contractors Association

NEC National Electric Code

NEMA National Electrical Manufacturers Association

UL Underwriters Laboratories

Codes and Permits

The Contractor must comply with building and electrical codes and other ordinances in force where the building is located as far as same apply to his work.

He must secure permits from proper offices and pay fees as may be necessary for fulfilling the requirements of these Specifications.

One copy of all permits must be furnished to the Owner.

Coordination

Coordinate and coordinate with other trades to assure that all systems in the electrical work may be installed in the best arrangement. Coordinate as required with all other trades to share space in common areas and to provide the maximum of access to each system.

Arrange electrical work in a neat, well organized manner with piping and similar running parallel with primary lines of building construction.

Floor, Wall, Roof and Ceiling Openings

The Electrical Contractor will be required to leave openings in new ceiling, columns, etc., as required to install the electrical work specified or shown on the Drawings. The Electrical Contractor is responsible for correct size and location of his openings.

Provisions for openings and holes to be made in advance of construction of such parts of the building.

If the Electrical Contractor should neglect to inform the General Contractor of his opening requirements and that portion of the Building construction has been completed, the Electrical Contractor shall pay the General Contractor for providing these openings.

Make arrangements with various other contractors for all special framing, spacing and chases.

Equipment Access

General: All panel boards, boxes, equipment and accessories shall be installed to permit access to equipment for maintenance, servicing or repairs.

Equipment Supports

General: Provide all supporting steel and related materials not indicated on structural drawings as required for the installation of equipment and materials, including angles, channels, beams and hangers.

Prime coat paint all supports.

Warranty

All material and workmanship must be new and first class in every respect; the electrical equipment and systems must be turned over to the owner in complete working order and free from mechanical defects.

The Electrical Contractor must:

Guarantee all labor and materials for two (2) year from the completion and acceptance of the systems.

Keep or place same in repair for said period, unless such defects are clearly the result of bad management after apparatus is out of his control.

Before final acceptance of this work, the Contractor shall:

Have the entire apparatus and system in complete and satisfactory operation.

Shall have all testing and balancing complete and approved.

Shall maintain system in satisfactory and continuous operation for a period of ten days prior to the date of acceptance.

The Electrical Contractor shall submit to the Engineer in triplicate, at the completion of his work, a certified statement, signed by a principal of the firm, stating that the system has been fully installed and is operating within the intent of the plans and specifications and that all system components have been tested and adjusted. This statement shall be submitted before the system is presented to the Owner for final inspection.

Provide a two year warranty on ballasts for all new fluorescent lighting fixtures.

Submittals

The Electrical Contractor will be held responsible for correction of work deemed necessary by the Engineer due to proceeding with the work without shop drawings that have the Engineers final approval.

Shop drawings shall include data on physical dimensions, gauges, materials of construction and capacities.

Incomplete drawings will be disapproved.

This Contractor will be responsible for all figures and dimensions shown on the shop drawings. Approval of shop drawings describing equipment that cannot fit in the space allotted does not relieve this Contractor from providing equipment that will meet the space requirements.

Submit one electronic copy of shop drawings to the Architect/Engineer for approval, with complete detail for all equipment, materials, etc., to be furnished and installed for this project as follows:

Service Equipment.

Panelboards.

Switchboards.

Devices.

Light fixtures.

Instructions and O&M manuals.

Manual: Upon completion of this portion of the Work, and as a condition of its acceptance, deliver to the Architect two copies of an operation and maintenance manual compiled in accordance with the provisions of Division 1 of these Specifications. Include within the manual:

Copy of the approved Record Documents for this portion of the Work;

Copies of all warranties and guarantees.

Marked-up blue-line prints indicating as-built Electrical work.

Instructions

Upon completion of the installation, but before final acceptance of the system, this Contractor shall instruct the Owner on the care and operation of all parts of the systems installed by this contractor.

Identification

Furnish and install adequate marking of panelboards, disconnect switches, motor starters, junction boxes, conductors (at each accessible point), and empty raceways/ junction boxes.

Equipment markers shall be engraved plastic construction with letters 1/2" high minimum unless available space dictates otherwise.

Conductor identification shall be wraparound adhesive markers equal to Brady. In addition color coding is required, each phase, neutral and ground shall be a specific color.

Part 2 - Products

General

Provide only materials that are new, of the type and quality specified. Where Underwriters' Laboratories, Inc. have established standards for such materials, provide only materials bearing the UL label.

Service Entrances and Metering

Provide new 600A, 120/208 volt 3-phase underground electric service as required by the local utility.

Main switches:

Provide main breaker as shown on plans and specifications. Verify required AIC rating with MGAE. NEMA 3R enclosure.

Metering:

Provide metering equipment per MGAE requirements.

Main Distribution Panel:

Provide MSP panel as indicated on plans complete with 22000 AIC breakers, and NEMA 3R enclosure and other components required for a complete installation.

Provide engraved plastic nameplate secured by two cadmium screws indicating "Panel NDP".

Panel board shall be equal to Square D - I Line type IHCN.

Approve Manufacturers: Square D, Cutler-Hammer, Siemens ITE, and General Electric.

Grounding System

Ground all equipment, including conduit systems, motors, and other apparatus, by conduit or conductor to independent electrode, using irreversible exothermic welds.

Use additional ground rods to bound parking structure steel to ground rods.

Locate ground rods in planters or similar areas which will receive water regularly, and drive to a depth of at least 8'-0".

Make meg ground tests to measure ground resistance, and provide not more than 5 ohms resistance, adding ground rods as required to achieve that level.

Locate all ground electrodes on record drawings. Make ground rods accessible for inspection.

Distribution System

Identification:

Identify all panelboards.

Provide plastic laminate nameplates, black face with white core letters, showing proper and complete identification.

See plans for panel capacity, voltage ratings, and branch circuit breaker units.

All panels to be of the circuit breaker type with plug-on circuit breakers.

Branch circuit breakers shall be thermal magnetic quick-make and quick break. Multi-pole breakers to have cannon trip. Handle ties of any sort not allowed.

Panelboards shall be Square "D" type M200 with plug-on branch circuit breakers, 22,000 Amp I.C.

Panelboard of comparable construction and arrangement as manufactured by Cutler-Hammer, General Electric, shall be considered acceptable alternates.

Each panel shall be provided with a typewritten directory mounted on inside of panel door and covered with clear plastic. This directory shall indicate the load supplied by each branch circuit breaker in panel.

All panelboards shall be equipped with an equipment grounding bar that is separate from the solid neutral bar.

Wiring Devices

General:

Devices shall be provided at each location shown on the plans or called for in the specifications.

All devices to be Leviton, Hubbell or General Electric.

Device catalog references herein and on the plans are to be considered as standards of comparison. Comparable devices manufactured by the other manufacturer will be considered as an optional choice.

Receptacles:

Provide duplex receptacles of 3-wire grounding type with the third terminal U-shaped and grounded to the conduit system or green wire ground. Provide Leviton 16352-1, premium specification grade, side-wired only, 20A, Decora Series. Use of self-grounding option not permitted.

GFCI receptacle to be Leviton #6359-1 20A and feed through.

All devices shall be from one manufacturer.

Plates:

Provide as required for each outlet.

Provide blank covers on all empty boxes or outlets.

Provide single gang raintight while in use, vertical cover Leviton N5979 on receptacles in damp areas and exterior.

Raceway System

Provide rigid schedule 80 PVC for exterior buried or exposed conduit.

Minimum conduit size - 3/4".

Outlets, Junction Boxes and Switch Boxes:

Provide standard one-piece units, PVC, of shape and size best suited to that particular location, of sufficient size to contain enclosed wires without crowding.

Provide deep boxes with 1" and larger conduit.

For direct buried pull boxes, provide corrosion resistant boxes with heavy duty traffic rated covers, of size and shape required to accommodate wires without crowding and to suit the location.

Conductors

For the voltages, provide 600 V insulated copper wire and cable, NEC standard, of types specified below for different applications, with UL label, and color coded as required by governmental agencies having jurisdiction.

With conductors No. 4 and larger, provide insulating bushings.

Wire and cable shall be THW, THHN, THWN.

Identify feeder neutrals with white tape or white paint.

For wire No. 10 and smaller, provide solid wire; for wire larger than No. 10, provide stranded wire.

For wire in conduits subjected to direct sunlight, provide THWN or RHNW.

Use only copper wires and cables.

Lighting Fixtures

Provide fixtures of the types shown on the Drawings.

See plans for approximate location and sizes of all equipment. Field verify all locations.

The Drawings show the anticipated circuit sizes. These shall be used as a guide to the final requirements. Verify all requirements with contractor concerned and install accordingly under this contract.

All final connections to motors to be made by this Contractor.

All equipment to be connected using flexible metallic conduits extending from equipment box to outlet box. Use liquid tight flexible metallic conduit with PVC covering in wet locations. All wires in flexible metallic conduit shall be stranded. Grounding wires shall be in all cases installed in flexible conduit and not wrapped around the outside of the conduit.

Photocontrol Control

The photocontrol shall operate magnetic contactors.

The contactors shall be rated at 20 amps, 120V.