



CITY OF MADISON
ZONING BOARD OF APPEALS
VARIANCE APPLICATION

\$300 Filing Fee

Ensure all information is **typed** or legibly **printed** using blue or black ink.

Address of Subject Property: 3009 University Avenue, Madison, WI 53705

Name of Owner: Duke Dykstra, Shorewood House LLC

Address of Owner (if different than above):

Daytime Phone: 608-238-0501

Evening Phone: 608-238-0501

Email Address: duke@cleanplace.com

Name of Applicant (Owner's Representative): Bill Dunlop, JSD Professional Services, Inc.,

Address of Applicant: 161 Horizon Drive, Suite 101, Verona, WI 53593

Daytime Phone: 608-848-5060

Evening Phone: 217-649-1236

Email Address: bill.dunlop@jsdinc.com

Description of Requested Variance: Rear and sideyard set back variance to allow the construction of carports up to the property line.

(See reverse side for more instructions)

FOR OFFICE USE ONLY	
Amount Paid:	<u>\$300</u>
Receipt:	<u>149656</u>
Filing Date:	<u>12/3/13</u>
Received By:	<u>SP</u>
Parcel Number:	<u>0709-212-0302-5</u>
Zoning District:	<u>CCT</u>
Alder District:	<u>5</u>
Hearing Date:	<u>5-22-14</u>
Published Date:	<u>5/15/14</u>
Appeal Number:	<u>05-2214-2</u>
GQ:	<u>Car Mkt Use, ZBA, WDDG</u>
Code Section(s):	<u>28.131(3)</u>

Standards for Variance

The Zoning Board of Appeals shall not grant a variance unless it finds that the applicant has shown the following standards are met:

1. There are conditions unique to the property of the applicant that do not apply generally to other properties in the district.

The property is an existing use with surface parking that provides no protection for residents.

The existing parking is constructed up to the property lines.

2. The variance is not contrary to the spirit, purpose, and intent of the regulations in the zoning district and is not contrary to the public interest.

The variance if approved would include improvements that would improve the appearance and function of the parking area.

3. For an area (setbacks, etc) variance, compliance with the strict letter of the ordinance would unreasonably prevent use of the property for a permitted purpose or would render compliance with the ordinance unnecessarily burdensome.

The site was cited for a fire lane violation and the requirements of the fire lane make meeting the setback requirements infeasible.

4. The alleged difficulty or hardship is created by the terms of the ordinance rather than by a person who has a present interest in the property.

See item #4 related to fire lane requirements.

5. The proposed variance shall not create substantial detriment to adjacent property.

Adjoining uses are similar in nature

6. The proposed variance shall be compatible with the character of the immediate neighborhood.

The screening and carport improvements would be in character of the neighborhood.

Application Requirements

Please provide the following Information (Please note any boxes left uncheck below could result in a processing delay or the Board's denial of your application):

<input type="checkbox"/>	Pre-application meeting with staff: Prior to submittal of this application, the applicant is strongly encouraged to discuss the proposed project and submittal material with Zoning staff. Incomplete applications could result in referral or denial by the Zoning Board of Appeals.
<input type="checkbox"/>	Site plan , drawn to scale. A registered survey is recommended, but not required. Show the following on the site plan (Maximum size for all drawings is 11" x 17"): <ul style="list-style-type: none"><input type="checkbox"/> Lot lines<input type="checkbox"/> Existing and proposed structures, with dimensions and setback distances to all property lines<input type="checkbox"/> Approximate location of structures on neighboring properties adjacent to variance<input type="checkbox"/> Major landscape elements, fencing, retaining walls or other relevant site features<input type="checkbox"/> Scale (1" = 20' or 1' = 30' preferred)<input type="checkbox"/> North arrow
<input type="checkbox"/>	Elevations from all relevant directions showing existing and proposed views, with notation showing the existing structure and proposed addition(s). (Maximum size for all drawings is 11" x 17")
<input type="checkbox"/>	Interior floor plan of existing and proposed structure , when relevant to the variance request and required by Zoning Staff (Most additions and expansions will require floor plans). (Maximum size for all drawings is 11" x 17")
<input type="checkbox"/>	Front yard variance requests only. Show the building location (front setback) of adjacent properties on each side of the subject property to determine front setback average.
<input type="checkbox"/>	Lakefront setback variance requests only. Provide a survey prepared by a registered land surveyor showing existing setbacks of buildings on adjacent lots, per MGO 28.138.
<input type="checkbox"/>	Variance requests specifically involving slope, grade, or trees. Approximate location and amount of slope, direction of drainage, location, species and size of trees.
<input type="checkbox"/>	CHECK HERE. I acknowledge any statements implied as fact require supporting evidence.
<input type="checkbox"/>	CHECK HERE. I have been given a copy of and have reviewed the standards that the Zoning Board of Appeals will use when reviewing applications for variances.

Owner's Signature:



Date: 11-20-13

-----(Do not write below this line/For Office Use Only)-----

DECISION

The Board, in accordance with its findings of fact, hereby determines that the requested variance for

(is) (is not) in compliance with all of the standards for a variance.

Further findings of fact are stated in the minutes of this public hearing.

The Zoning Board of Appeals: Approved Denied Conditionally Approved

Zoning Board of Appeals Chair:

Date:

UNIVERSITY AVENUE



LEGEND (PROPOSED)

PROPERTY LINE
ROOF OUTLINE
EDGE OF PAVEMENT
RETAINING WALL
1 HOUR RATED FIRE WALL

PROPOSED CONCRETE PAVEMENT, 5" NON REINFORCED
 PROPOSED ASPHALT PAVEMENT, 3.25" MIN. FO-3, 1.5" 9.5 MM SURFACE; 1.25" 12.5 MM BINDER

GENERAL NOTES

1. REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
5. DRAWING FOR REVIEW – NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

SITE PLAN NOTES

1. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER
2. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER
3. EXTERIOR CONCRETE SURFACES SHALL HAVE A LIGHT BROOM FINISH.
4. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
5. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
6. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
7. 2' x 4' TRUNCATED DOME SECTIONS SHALL BE PLACED AT ALL ADA RAMPS.
8. BIKE RACK TO MEET CITY OF MADISON STANDARDS.

SERVICES PROVIDED TO:
**SHOREWOOD
HOUSE, LLP.**

3009 UNIVERSITY AVE.
MADISON, WI 53705

PROJECT:
3009 UNIVERSITY AVE
PARKING LOT

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI
JSD PROJECT NO.:

10-4352

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

Parking Lot Plan Site Information Block									
Site Address	3009 University Avenue								
Site acreage (total)	<u>0.989</u>								
Number of building stories (above grade) <u>6</u>									
Building height	<u>xx</u>								
DILHR type of construction (new structures or additions)	<u>N/A</u>								
Total square footage of building	<u>11,000</u>								
Use of property									
Gross Square Feet of office	<u>0</u>								
Gross Square Feet of retail	<u>0</u>								
Number of employees in warehouse	<u>—</u>								
Number of employees in production area	<u>—</u>								
Capacity of restaurant/place of assembly	<u>—</u>								
Number of bicycle stalls shown <u>40</u>									
Number of parking stalls:									
shown									
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 2px;">Small car</td> <td style="padding: 2px; text-align: center;">0</td> </tr> <tr> <td style="padding: 2px;">Large car</td> <td style="padding: 2px; text-align: center;">64</td> </tr> <tr> <td style="padding: 2px;">Accessible</td> <td style="padding: 2px; text-align: center;">3</td> </tr> <tr> <td style="padding: 2px;">Total</td> <td style="padding: 2px; text-align: center;">67</td> </tr> </table>		Small car	0	Large car	64	Accessible	3	Total	67
Small car	0								
Large car	64								
Accessible	3								
Total	67								
Number of trees shown <u>xx</u>									

Six-story mixed-use building
New detached accessory structure
Rear Yard Setback
10.0' Required
0.0' Provided
10.0' Variance



DIGGERS HOTLINE
Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289

SHEET TITLE: SITE PLAN

SHEET NUMBER:



Project: Site Improvements to 3009 University Ave. / 3118 Harvey St.

3009 University Avenue & 3118 Harvey Street
Madison, Wisconsin 53705

~~December 3, 2013~~ April 30, 2014 (City of Madison - Planning Division Updates)

DRAWING INDEX

000	Title Sheet
Civil	
1	Boundary, Topographic and Utility Survey
C-0.1A	3009 University Ave. - Demolition Plan
C-0.1B	3009 University Ave. - Site Plan
C-2.0A	3009 University Ave. - Grading & Erosion Control Plan
C-3.0A	3009 University Ave. - Utility Plan
L-1.0A	3009 University Ave. - Landscape Plan
L-2.0A	3009 University Ave. - Landscape Details & Specs
C-0.1B	3118 Harvey St. - Demolition Plan
C-1.0B	3118 Harvey St. - Site Plan
C-2.0B	3118 Harvey St. - Grading & Erosion Control Plan
C-3.0B	3118 Harvey St. - Utility Plan
C-4.0B	3118 Harvey St. - Details
L-1.0B	3118 Harvey St. - Landscape Plan
L-2.0B	3118 Harvey St. - Landscape Details & Specs

Architectural

A1.2	Architectural Site Details
A2	3009 University Ave. - Carport Floor Plan
A3	3118 Harvey St. - Carport Floor Plan
A4	Carport Exterior Elevations
A5	Carport Exterior Elevations
A6	Carport Sections & Details
A7	Carport Exterior Perspectives

Electrical (scope documents only)

E1	Carport Electrical Plan
E2	Carport Electrical Details & Fixture Cut Sheets
E3	Electrical Scope Specifications

PROJECT INFORMATION

Applicable Codes and Zoning

Wisconsin enrolled commercial building code 2014
Storage occupancy, Group S-2

Zoning: City of Madison ordinances

Type of Construction

New Carport Structures (Exterior Only)
Type of construction, unprotected, type 5b - Non-Sprinklered



Location Map



OWNER:

SHOREWOOD HOUSE, LLP.
3009 University Avenue
Madison, WI 53705
Contact: Duke Dykstra
TEL 608-238-0501
duke@cleanplace.com

ARCHITECT:

RUSS OWENS, AIA, CCCA, LEEDap
413 Ravine Street
Janesville, WI 53548
TEL 608 219-1316
rowensra@sbcglobal.net

CIVIL ENGINEER:

JSD Professional Services, Inc.
161 Horizon Drive, Suite 101
Verona, WI 53593
TEL 608 848-5060

Bill Dunlop, P.E. - bill.dunlop@jsdinc.com

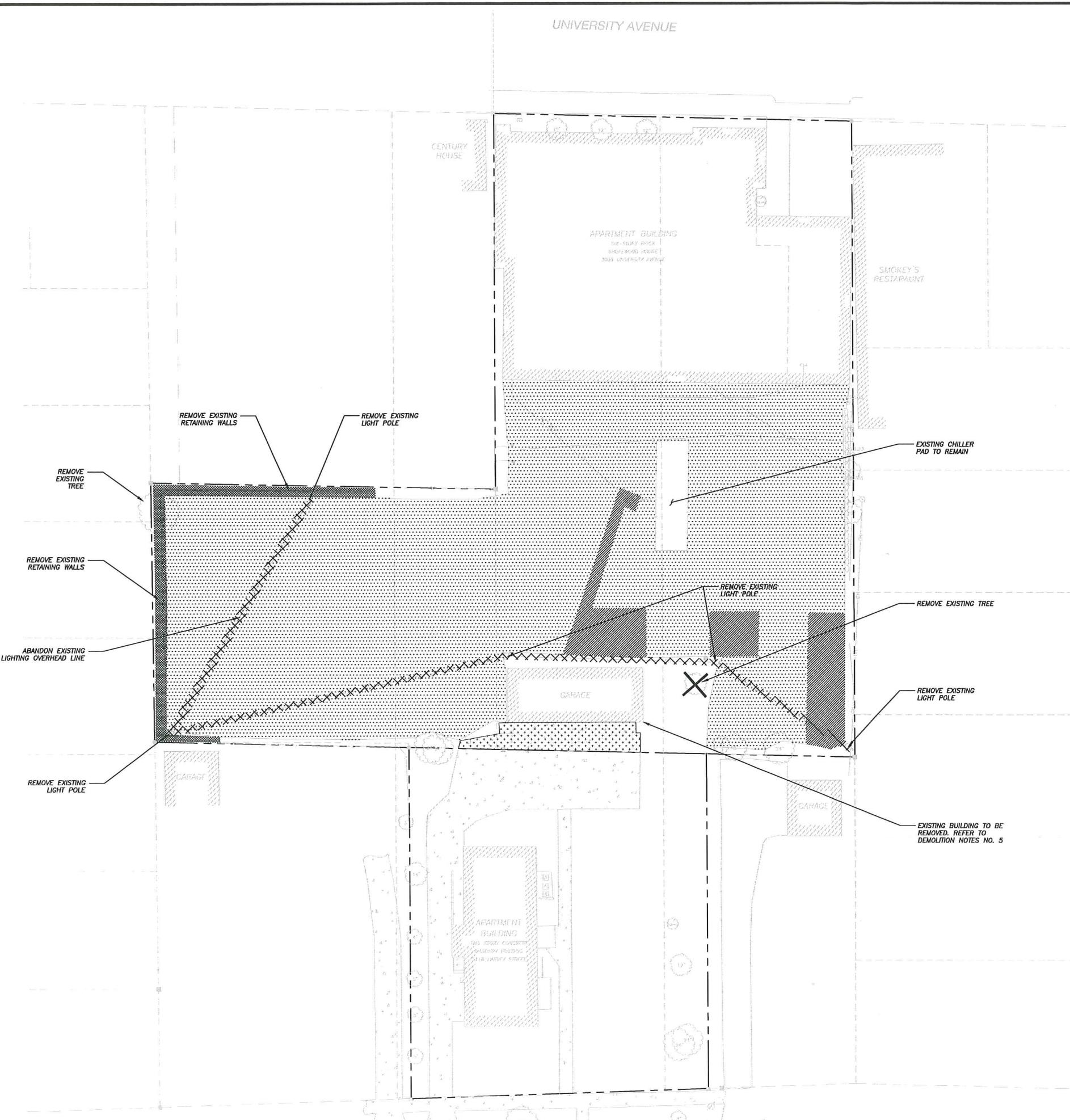
Asphalt Paving Consultant: Preeda Chaturabong

STRUCTURAL ENGINEER:

MP-Squared Structural Engineers, LLC
583 D'Onofrio Drive, Suite 201
Madison, WI 53719
TEL 608 821-4770

Melissa A. Peyton, P.E. - mpeyton@mpsqr.com

UNIVERSITY AVENUE



LEGEND (PROPOSED)

PROPERTY LINE
ASPHALT/BASE REMOVAL, BASE TO REMAIN
ASPHALT/BASE REMOVAL
BUILDING REMOVAL (INCLUDING FOOTING)
CONCRETE/BASE REMOVAL
UTILITY REMOVAL / ABANDONMENT

GENERAL NOTES

1. REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY BY JSO PROFESSIONAL SERVICES DATED 11-05-13 FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
3. JSO SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

DEMOLITION NOTES

1. THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY, RECONNAISSANCE, "DIGGER'S HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSO TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
2. ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
3. PERFORM TREE PRUNING IN ALL LOCATIONS WHERE PROPOSED PAVEMENT AND/OR UTILITY INSTALLATION ENCROACH WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN. ALL TRENCHING WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN SHALL BE DONE RADIALLY AWAY FROM THE TRUNK IF ROOTS IN EXCESS OF 1" DIAMETER ARE EXPOSED. ROOTS MUST BE CUT BY REPUTABLE TREE PRUNING SERVICE PRIOR TO ANY TRANSVERSE TRENCHING.
4. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
5. BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. NO PORTIONS OF THE BUILDING SHALL NOT BE BURIED ON SITE. ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
6. ABANDONED/REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
8. CONTRACTOR TO REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".
9. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
10. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH BACKFILL SHALL BE COMPAKTED PER SPECIFICATIONS.
11. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
12. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
13. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
14. WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION.
15. SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION.
16. CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION. ALL INCLUDED WATER AND SEWER SERVICES SHALL BE FIELD VERIFIED FOR LOCATION, SIZE, AND INVERT PRIOR TO CONSTRUCTION. THESE SHOULD BE REMOVED IF LOCATED WITHIN THE BUILDING FOOTPRINT AND REMOVED OR ABANDONED IF LOCATED OUTSIDE OF THE BUILDING FOOTPRINT. THE CONTRACTOR SHALL SHUT THE CORPORATION VALVE AT THE MAIN AS PART OF THE ABANDONMENT/RECONNECTION.

INDEX OF SHEETS

C-0.1 - DEMOLITION PLAN
C-1.0 - SITE PLAN
C-2.0 - GRADING & EROSION CONTROL PLAN
C-3.0 - UTILITY PLAN
L-1.0 - LANDSCAPE PLAN
L-2.0 - LANDSCAPE DETAILS AND SPECIFICATIONS

JSO Professional Services, Inc.
Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

• CIVIL ENGINEERING
• SURVEYING & MAPPING
• CONSTRUCTION SERVICES
• WATER RESOURCES
• PLANNING & DEVELOPMENT
• TRANSPORTATION ENGINEERING
• STRUCTURAL ENGINEERING
• LANDSCAPE ARCHITECTURE
MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
KENOSHA | APPLETON
www.jsodinc.com

SERVICES PROVIDED TO:
SHOREWOOD
HOUSE, LLP.

3009 UNIVERSITY AVE.
MADISON, WI 53705

PROJECT:
3009 UNIVERSITY AVE
PARKING LOT

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI
JSO PROJECT NO.: 10-4352
SEAL/SIGNATURE:

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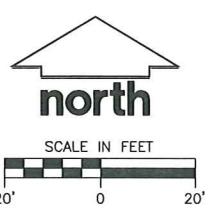
DESIGN: PGB 11-20-13
DRAWN: PGB 11-20-13
APPROVED: BD 11-20-13

PLAN MODIFICATIONS: DATE:
REVISED UDC SUBMITTAL 03-12-14

DIGGERS HOTLINE
Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
DEMOLITION
PLAN

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSO PROFESSIONAL SERVICES, INC.
SHEET NUMBER:
C-0.1A



UNIVERSITY AVENUE

LEGEND (PROPOSED)

—	PROPERTY LINE
—	PROPOSED 1 FOOT CONTOUR
—	PROPOSED 5 FOOT CONTOUR
—	ROOF OUTLINE
—	EDGE OF PAVEMENT
—	1 HOUR RATED FIRE WALL
—	RETAINING WALL
SPOT ELEVATION	
EP - EDGE OF PAVEMENT	
FFE - FINISHED FLOOR ELEVATION	
SW - SIDEWALK	
FG - FINAL GRADE	
RIM - STRUCTURE RIM	

GENERAL NOTES

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CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/runoff/stormwater/techstds.htm>
2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN OR PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS.
3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
5. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT INTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF MUSKEGO.
7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE Dewatering TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
10. INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION.
11. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
13. ALL SLOPES EXCEEDING 5:1 (25%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS 1 TYPE B EROSION MATTING OR APPLICATION OF A WOOL APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068.
15. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.

GRADING AND SEEDING NOTES

1. ALL DISTURBED AREAS SHALL BE SEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
2. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
4. CONTRACTOR SHALL WATER ALL NEWLY SEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
5. CONTRACTOR TO DEEP TILL ALL COMPAKTED PERVERIOUS SURFACES PRIOR TO SEEDING AND MULCHING.

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161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE | 608.848.2255 FAX

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SHOREWOOD
HOUSE, LLP.3009 UNIVERSITY AVE.
MADISON, WI 53705PROJECT:
3009 UNIVERSITY AVE
PARKING LOTPROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI
JSD PROJECT NO.: 10-4352
SEAL/SIGNATURE:

10-4352

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	PGB	11-20-13
DRAWN:	PGB	11-20-13
APPROVED:	BD	11-20-13

PLAN MODIFICATIONS:	DATE:
REVISED UDC SUBMITTAL	03-12-14

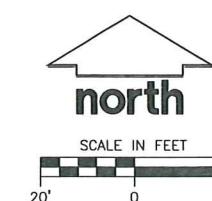
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SHEET TITLE:
GRADING & EROSION
CONTROL PLAN

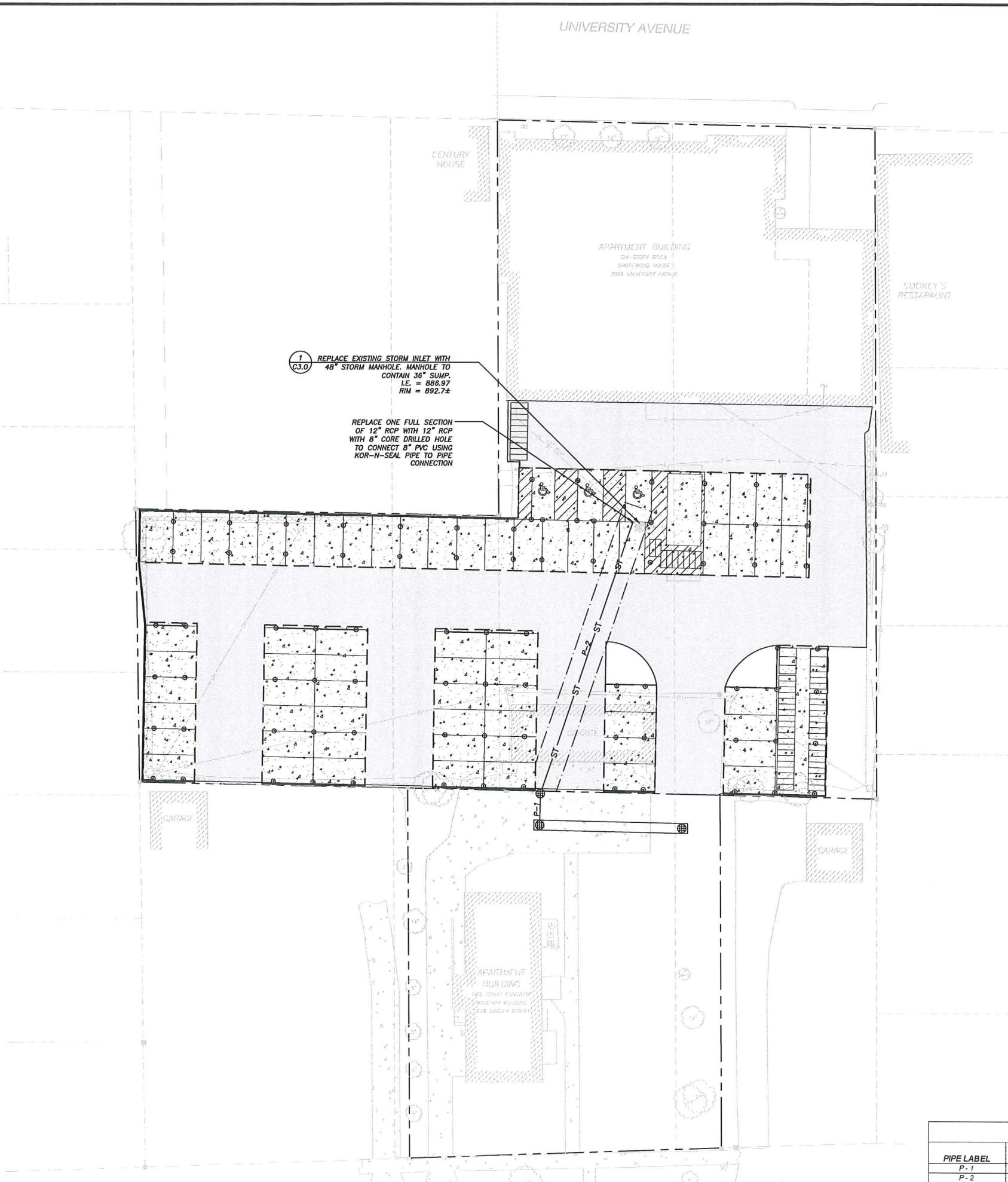
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scale in feet
20' 0 20'
SHEET NUMBER:
C-2.0A



UNIVERSITY AVENUE



LEGEND (PROPOSED)

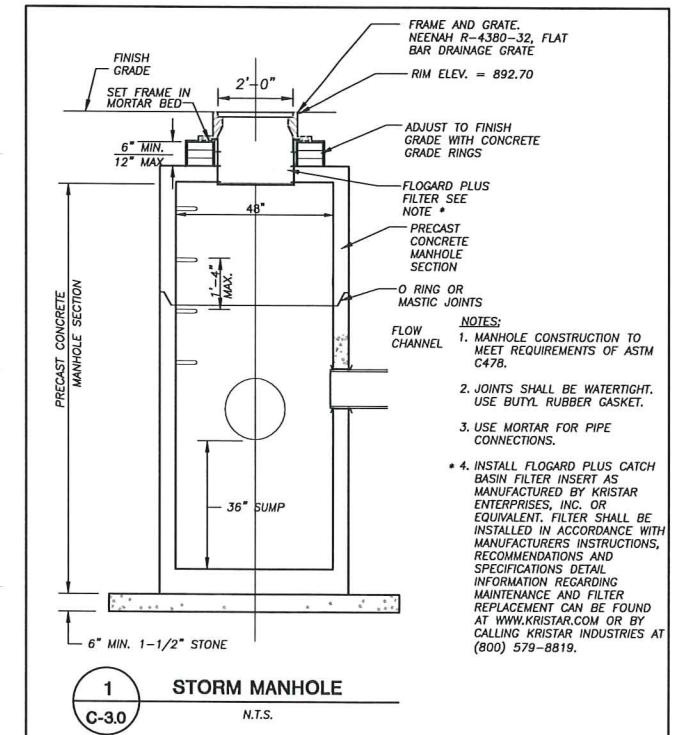
- PROPERTY LINE
- ROOF OUTLINE
- EDGE OF PAVEMENT
- 5' STORM SEWER EASEMENT
- ST STORM SEWER
- ROUND CATCH BASIN INLET

GENERAL NOTES

1. REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
5. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

UTILITY NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
4. ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
5. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
6. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WDSPS, AND WDNR.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY IN INCLUDING BUT NOT LIMITED TO EXISTING SERVICE ABANDONMENT.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
9. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
11. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
12. ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS. PUBLIC IMPROVEMENTS ONLY SHOWN ON THIS PLAN FOR GRAPHIC PURPOSES. CONTRACTOR SHALL COORDINATE A PRECONSTRUCTION MEETING WITH CITY OF MADISON INSPECTION A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES OR DOING ANY OTHER WORK WITHIN THE PUBLIC RIGHT-OF-WAY. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
13. ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS J84.30, TABLE 384.30-6.
14. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE. REPORT DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
15. ALL PRIVATE SANITARY SEWER BUILDING PIPE AND TUBING SHALL CONFORM TO SPS J84.30, TABLE 384.30-6.
16. COORDINATE AND OBTAIN ALL PERMITS FOR EXISTING PRIVATE SERVICES TO BE ABANDONED WITH THE CITY OF MADISON.
17. Dewatering, if applicable, shall be conducted per WDNR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.



PROPOSED STORM SEWER PIPE SCHEDULE						
PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEVATION (FT)	DISCHARGE ELEVATION (FT)	SLOPE (%) PIPE SIZE & TYPE
P-1	UNDERGROUND STORAGE	STMHNO1	10	892.10	892.00	1.00% 8" PVC
P-2	STMHNO1	EXISTING INLET	100	891.95	889.94	2.00% 8" PVC

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3009 UNIVERSITY AVE.
MADISON, WI 53705

PROJECT:
3009 UNIVERSITY AVE
PARKING LOT

PROJECT LOCATION:
CITY OF MADISON
DANE COUNTY, WI
JSD PROJECT NO.: 10-4352
SEAL/SIGNATURE:

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APPROVED: BD 11-20-13

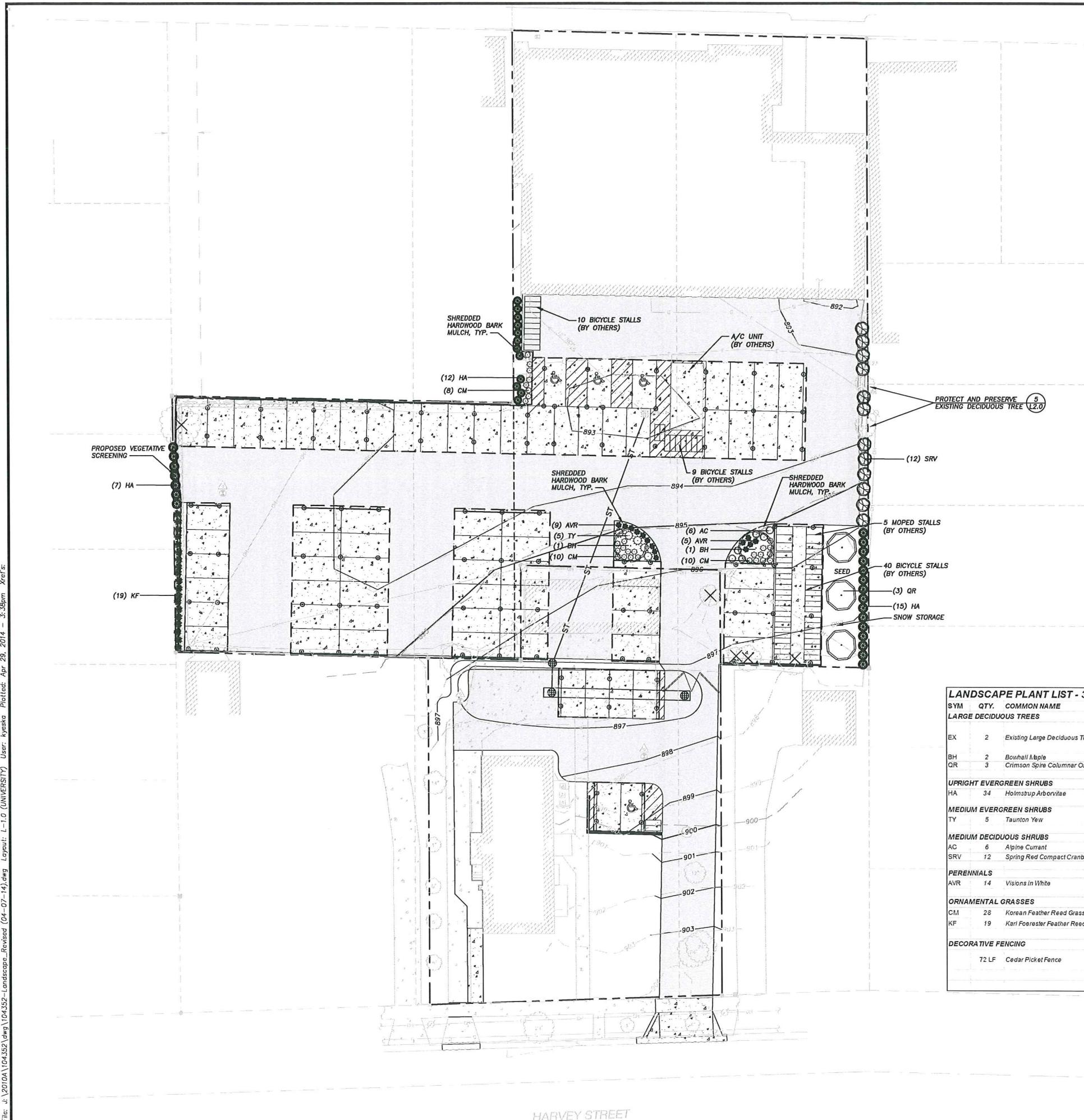
PLAN MODIFICATIONS: DATE:
REVISED UDC SUBMITTAL 03-12-14

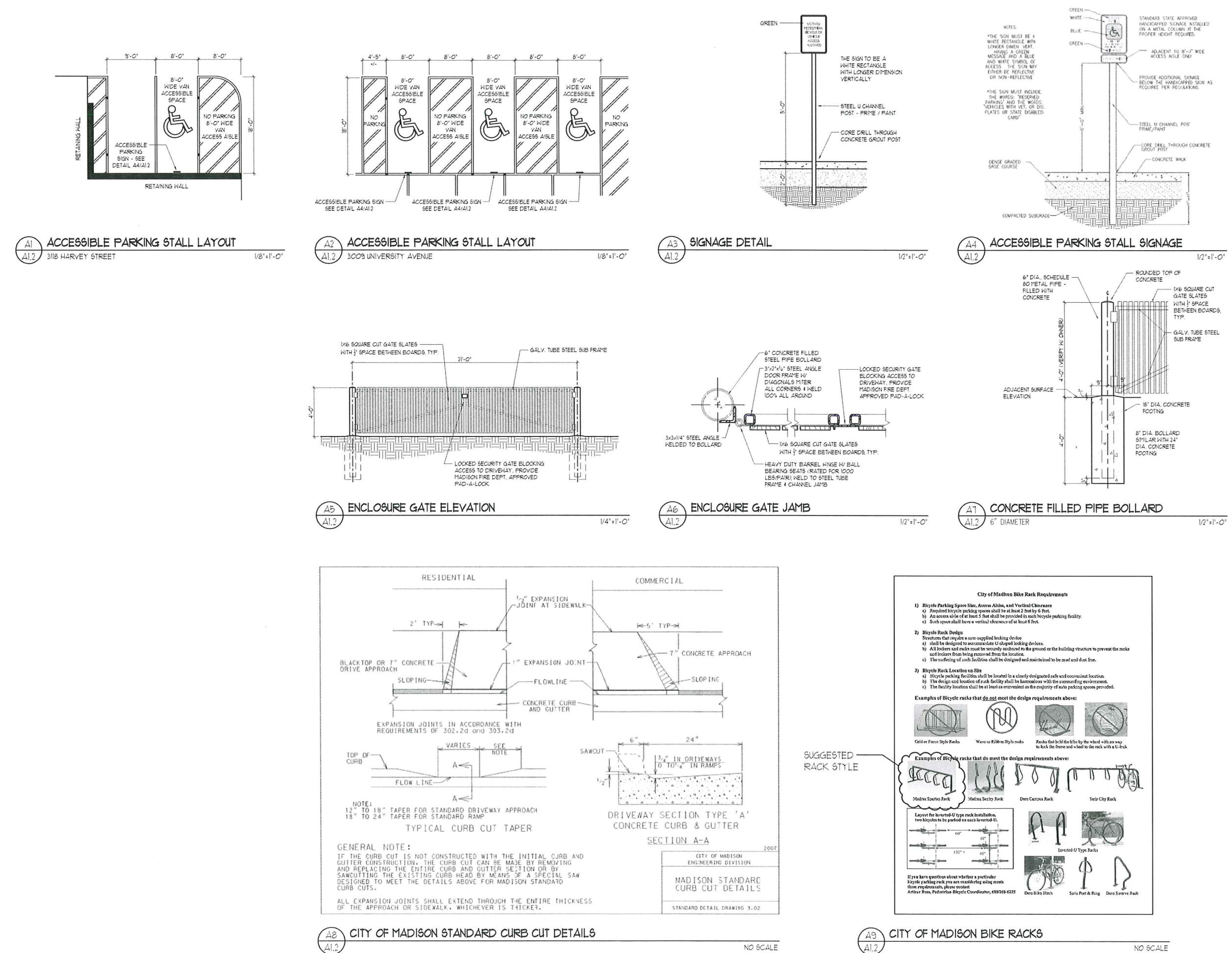
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SHEET TITLE:

UTILITY PLAN

SHEET NUMBER:
C-3.0A





PROJECT:
Site Improvements for 3009 University Avenue /
3118 Harvey Street Properties
MADISON, WI 53705

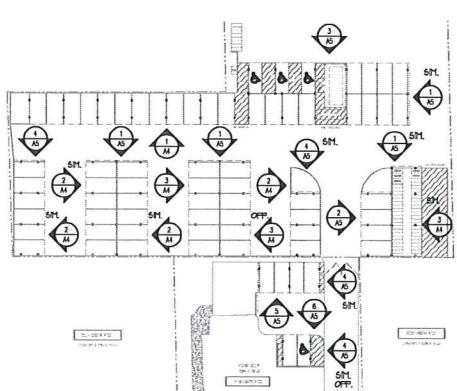
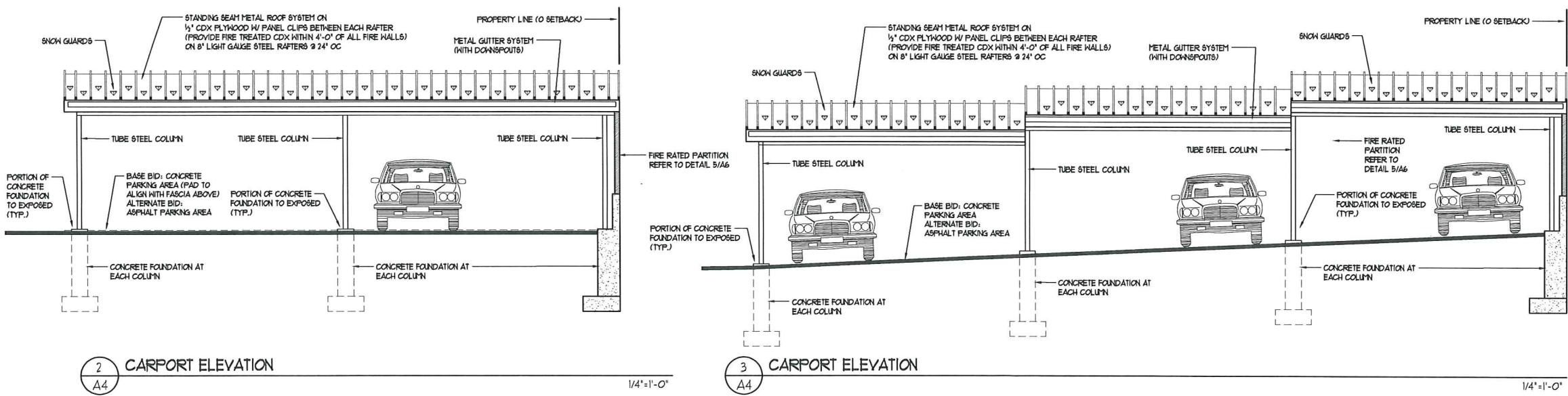
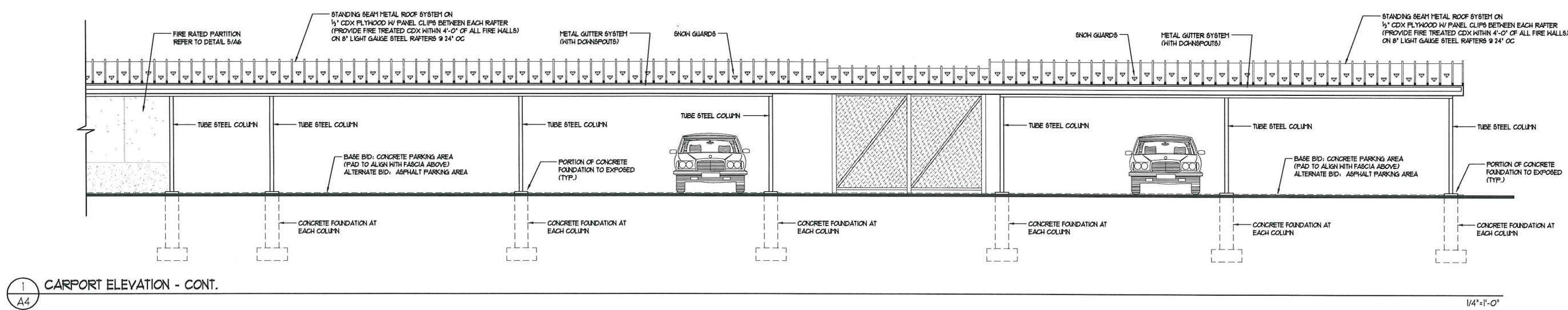
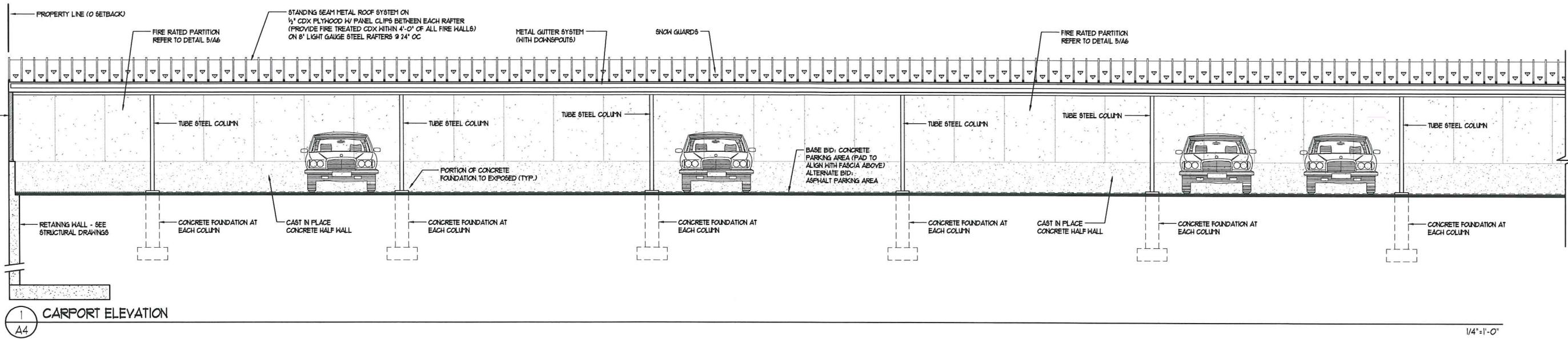
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AJR

Date:
12/03/2013

Sheet No.:
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ARCHITECT:
RUSS OWENS, AIA, CCCA, LEEDap
413 RAVINE ST.
JANESVILLE, WI 53548
608-219-1316
rowensra@sbccglobal.net



PROJECT: Site Improvements for 3009 University Avenue / 3118 Harvey Street Properties
WISCONSIN, USA

PROJECT:
**Site Im
3118 H
MADISON**

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RUSS OWENS, AIA, CCOA, LEEDap
413 RAVINE ST.
JANESVILLE, WI 53548
608-219-1316
rowensra@sbccglobal.net

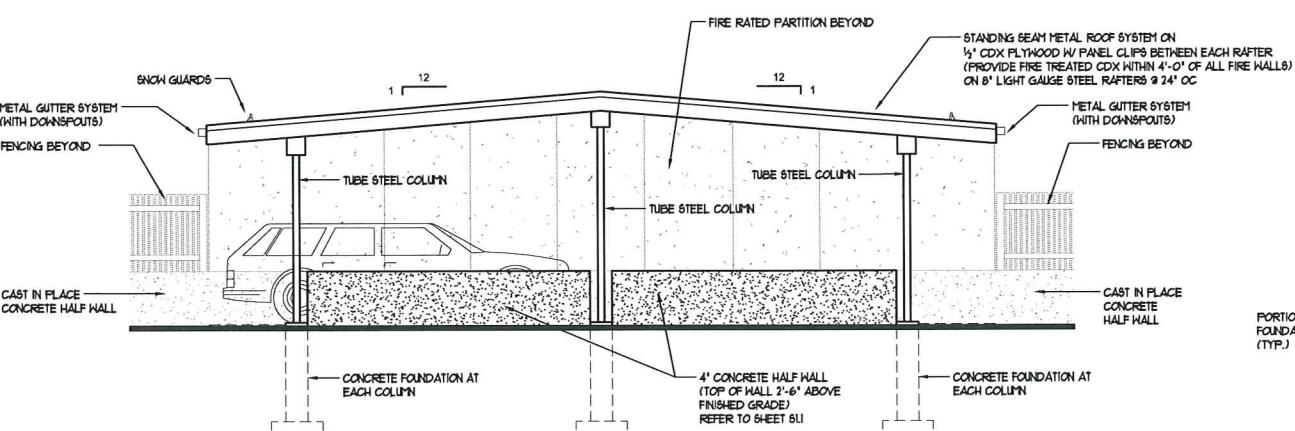
OWNER:
SHOREWOOD HOUSE, LLP.
3009 University Avenue
Madison, WI 53705
Duke Dykstra
duke@cleanplace.com

PROJECT:
Site Improvements for 3009 University Avenue /
3118 Harvey Street Properties
MADISON, WI 53705

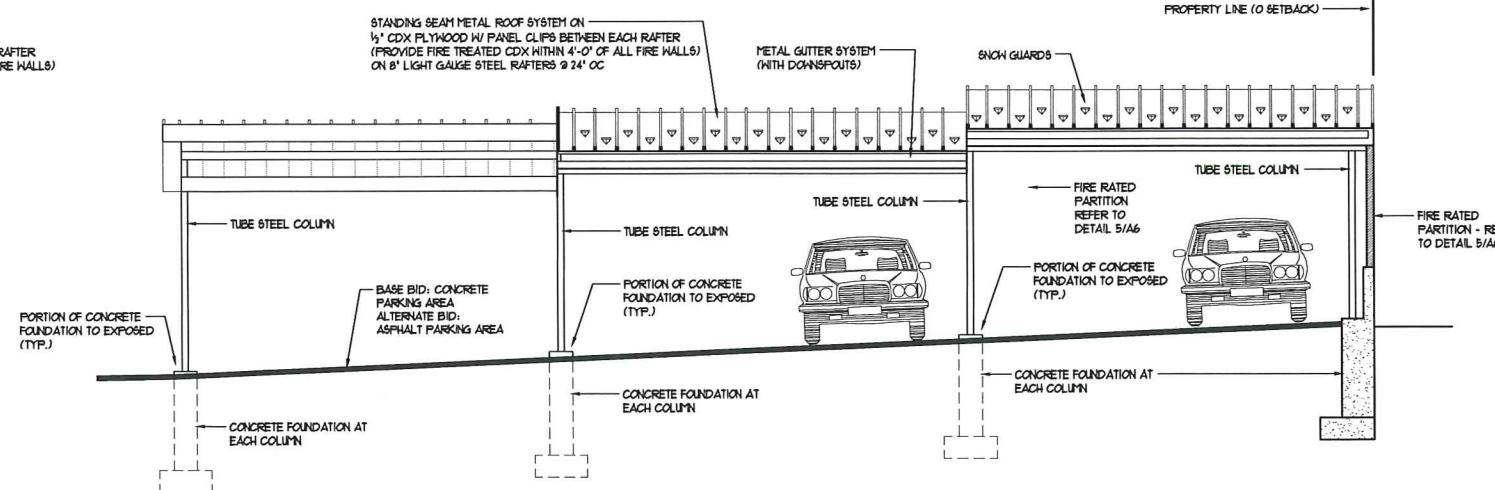
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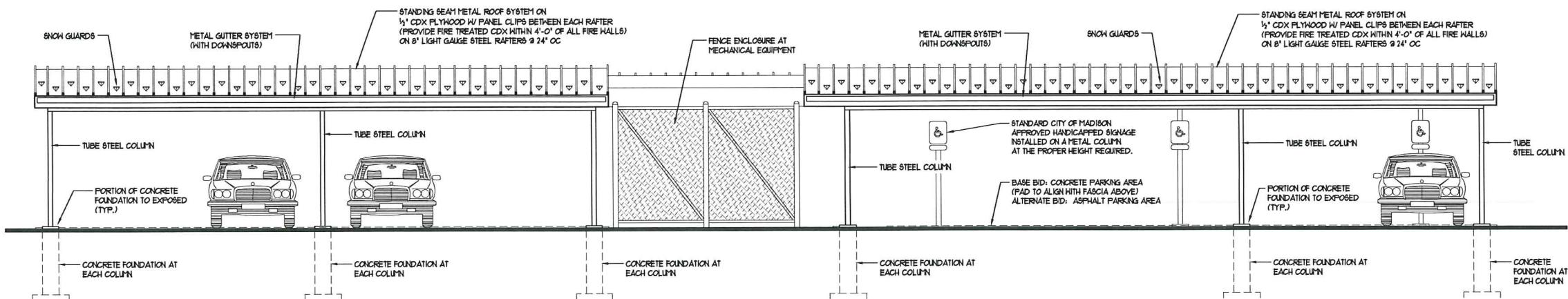
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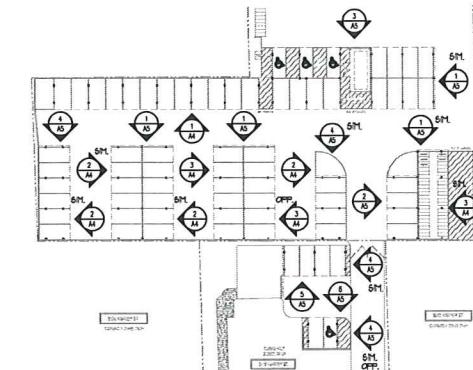
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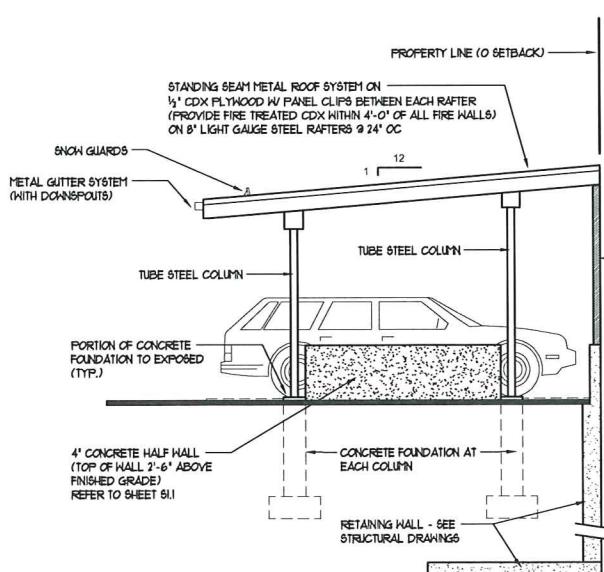
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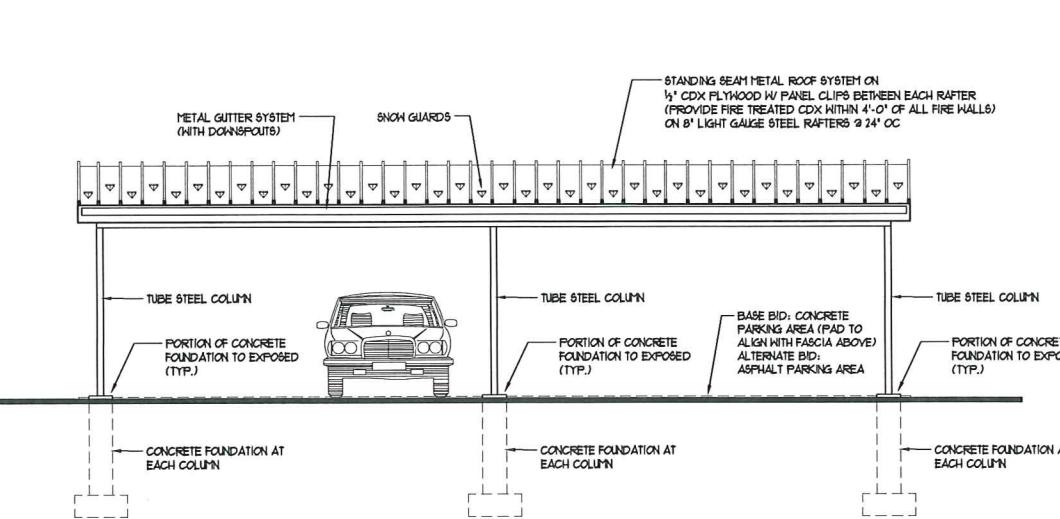
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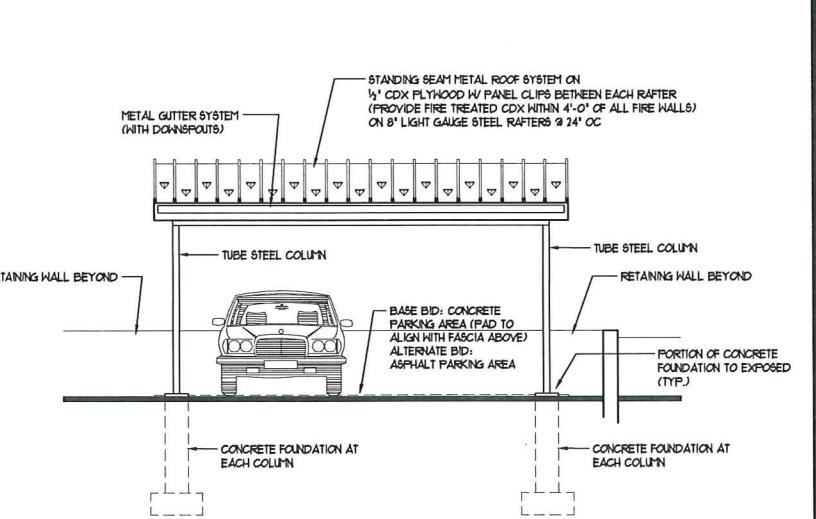
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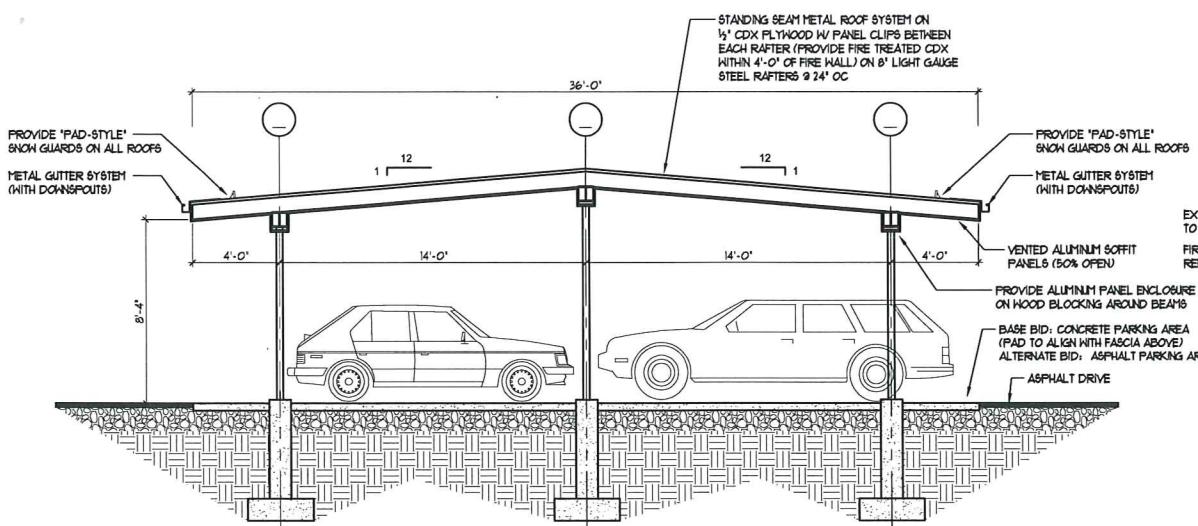
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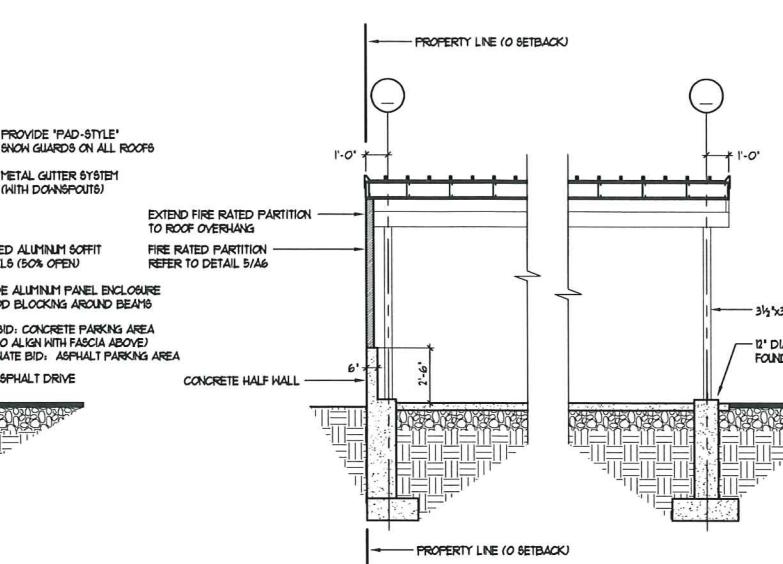
5 CARPORT ELEVATION



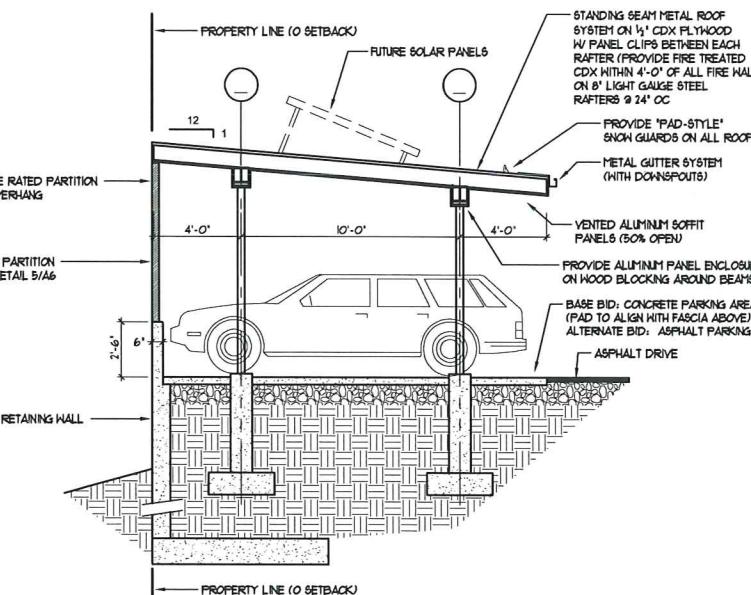
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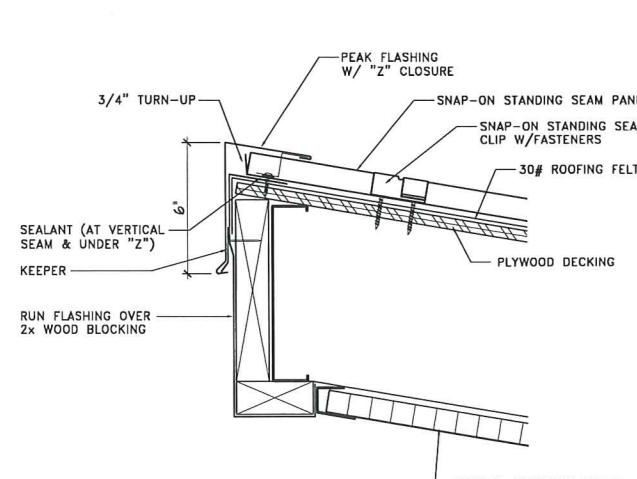
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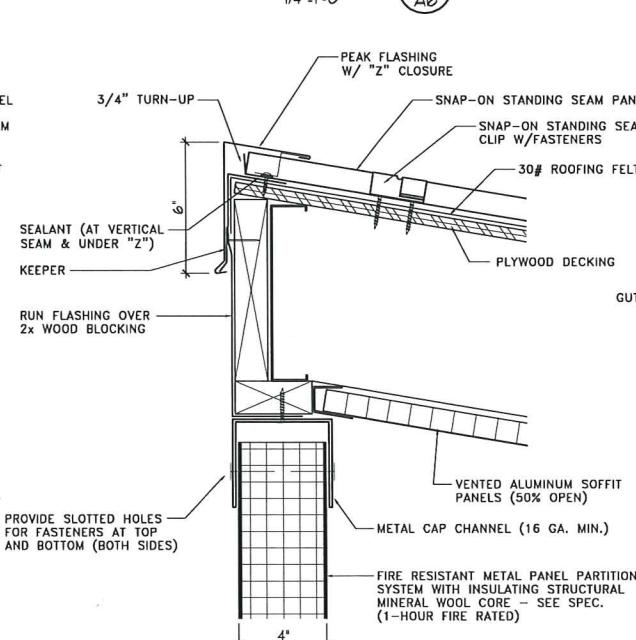
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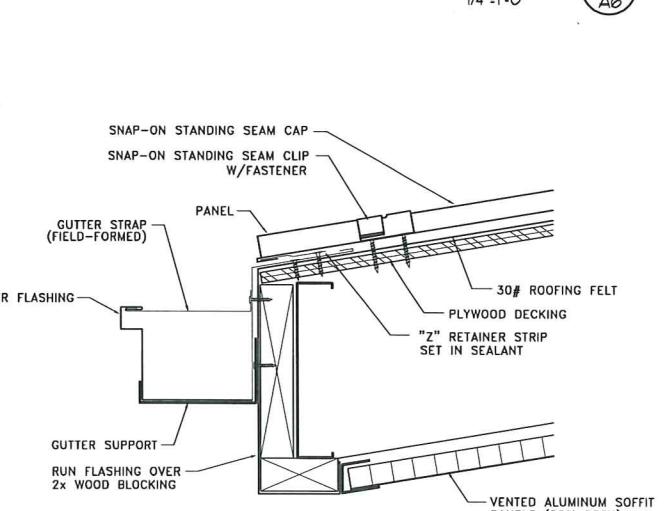
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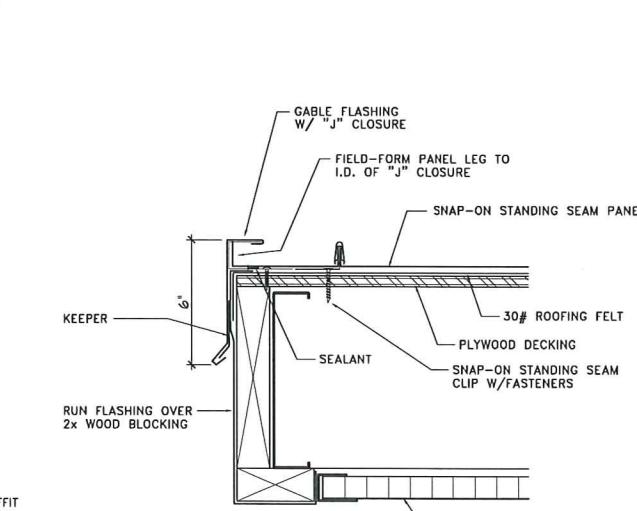
4 CARPORT ROOF EDGE DETAIL



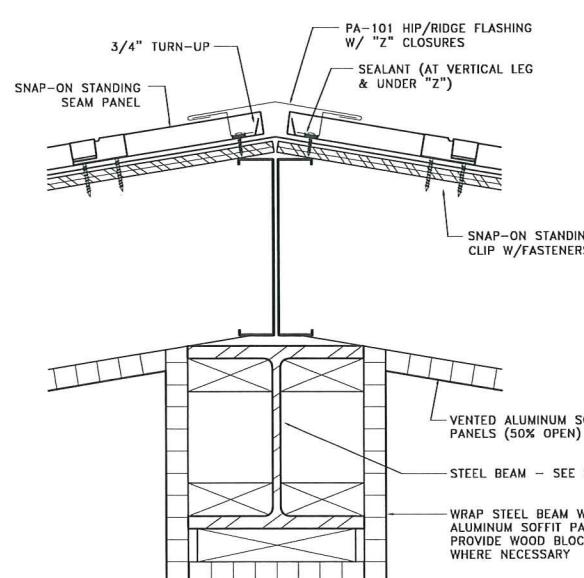
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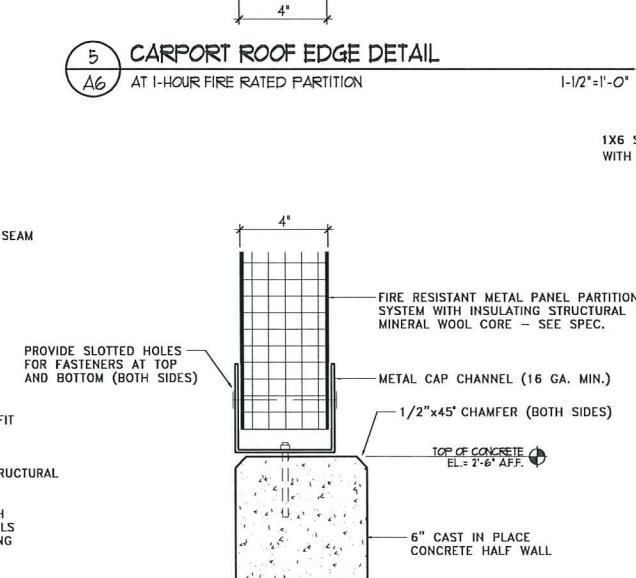
6 CARPORT ROOF EDGE DETAIL



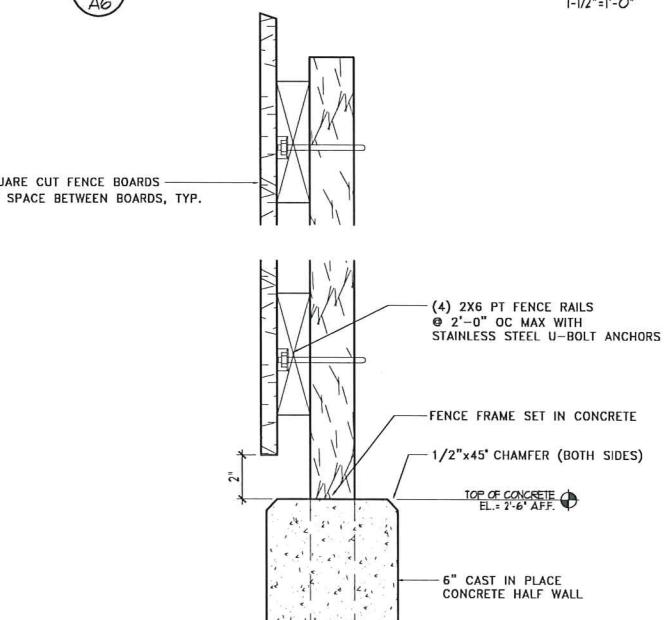
1 CARPORT ROOF EDGE DETAIL



8 CARPORT RIDGE DETAIL



9 CONCRETE HALF WALL DETAIL



10 WOOD SCREEN WALL DETAIL

PROJECT: Site Improvements for 3009 University Avenue /
3118 Harvey Street Properties
MADISON, WI 53705

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A6



1 CARPORT PERSPECTIVE
A1

NO SCALE



2 CARPORT PERSPECTIVE
A1

NO SCALE



3 CARPORT PERSPECTIVE
A1

NO SCALE



4 CARPORT PERSPECTIVE
A1

NO SCALE

PROJECT:
Site Improvements for 3009 University Avenue /
3118 Harvey Street Properties
MADISON, WI 53705

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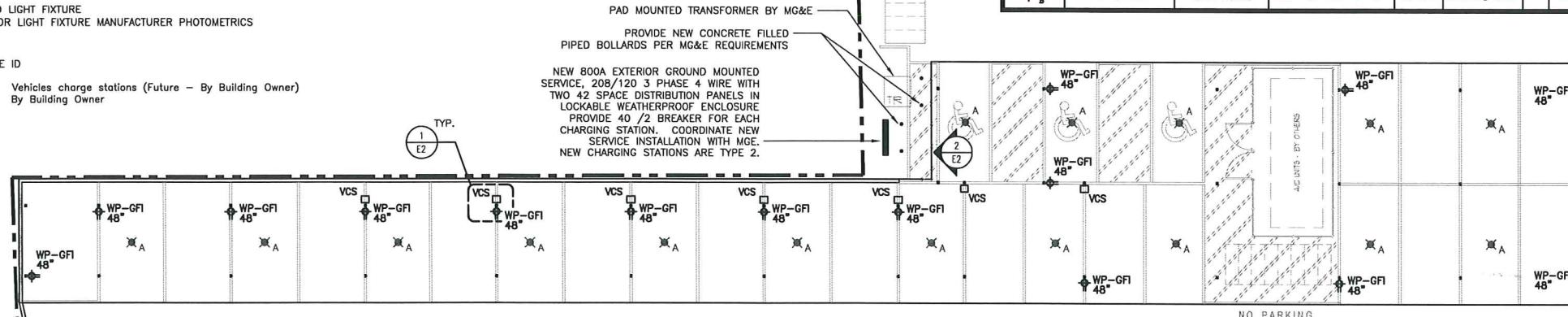
ARCHITECT:
RUSS OWENS, AIA, CCCA, LEEDap
413 RAVINE ST.
JANESVILLE, WI 53548
608-219-1316
rowensra@sbccglobal.net

OWNER:
SHOREWOOD HOUSE, LLP.
3009 University Avenue
Madison, WI 53705
Duke Dykstra
duke@cleanplace.com

SYMBOLS LIST:

GFI 3
 DUPLEX RECEPTACLE - MOUNTED 48" AFF TO CENTER OF BOX UNLESS NOTED OTHERWISE
 CIRCUIT NUMBER
 RECEPTACLE TYPE (GFI) GROUND FAULT INTERRUPTING (WP) WEATHERPROOF
 JUNCTION BOX - HUBBELL QUAZITE RECESSED J-BOX WITH GASKETED HEAVY DUTY 4-BOLT COVER
 METER SOCKET
 CANOPY MOUNTED LIGHT FIXTURE
 SEE SHEET E2 FOR LIGHT FIXTURE MANUFACTURER PHOTOMETRICS
 A
 FIXTURE ID
 VCS: Vehicles charge stations (Future - By Building Owner)
 Security Camera: By Building Owner

LIGHT FIXTURE SCHEDULE							
Fixture Mounting		Fixture Description					
Fixture No.	Description	Manufacturer	Model No.	Fixture Volts	Lamp Qty and Type	Wtg	Remarks
A	Canopy	Beta LED	PKG EDG PS IM 02 C 12 3K	120	20 LED	S	Alternate Bid Fixture Photocell on/off See sheet E2 for fixture
B	Site Light Pole	Cooper Lighting	LDRV - T2 - 302 - E - IP	120-277V	21 LED Lightbars		See sheet E2 for fixture


3124 HARVEY ST.

CURRENTLY ZONED TR-U1

3010 HARVEY ST.

CURRENTLY ZONED TR-U1

WIRING SCHEDULE		SCOPE INFORMATION, FINAL DESIGN BY ELECTRICAL CONTRACTOR
ROUGH-IN MIN. 3/4" C	POWER AND 1" C	FOR DATA INTO COLUMN AT EACH CHARGING STATION LOCATION.
EACH SECURITY CAMERA AND VCS REQUIRE A HOME RUN CAT6 DATA		
EACH VCS REQUIRES TWO #6AWG POWER + #10AWG GROUND TO EACH LOCATION.		
RECEPTACLE WIRING TO BE 2 #10 AWG POWER + #10 GROUND.		
ALL CAT 6 DATA WIRING TO HOME RUN		
TO BASEMENT PATCH PANEL, APPROX. 30' INSIDE EXISTING APARTMENT BUILDING		

0 5'-4" 10'-8" 21'-4"
 SCALE: 3/32" = 1'-0"

1
 CARPORT SCOPE ELECTRICAL PLAN
 3/32" = 1'-0"

SCOPE DOCUMENT ONLY

THE ARCHITECT PREPARED ELECTRICAL DESIGN SCOPE DOCUMENTS CONSISTING OF DRAWINGS AND SPECIFICATIONS THAT WILL OUTLINE THE GENERAL REQUIREMENTS FOR BIDDING. IT IS THE RESPONSIBILITY OF THE BIDDING CONTRACTOR TO TAKE RESPONSIBILITY OF THE FINAL DESIGN FOR NECESSARY APPROVALS AND CONSTRUCTION REQUIREMENTS.

ARCHITECT:
 RUSS OWENS, AIA, CCCA, LEEDap
 413 RAVINE ST.
 JAMESVILLE, WI 53548
 608-219-1316
 rowensra@sbccglobal.net

OWNER:
 SHOREWOOD HOUSE, LLP.
 3009 University Avenue
 Madison, WI 53705
 Duke Dykstra
 duke@cleanplate.com

PROJECT:
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 3118 HARVEY ST.
 MADISON, WI 53705

Revisions:
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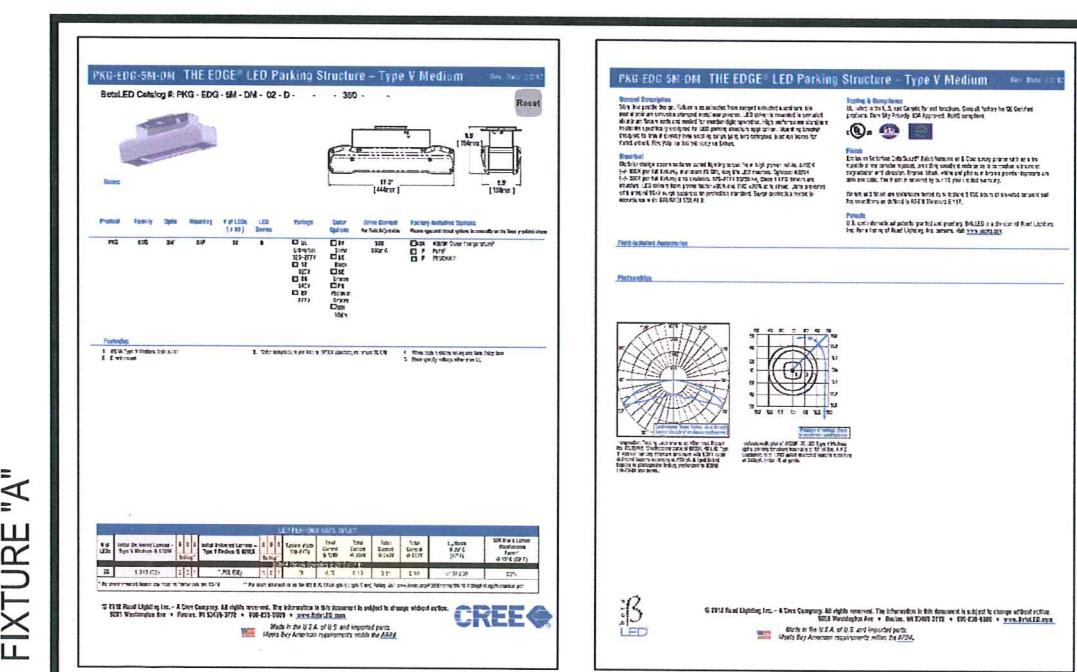
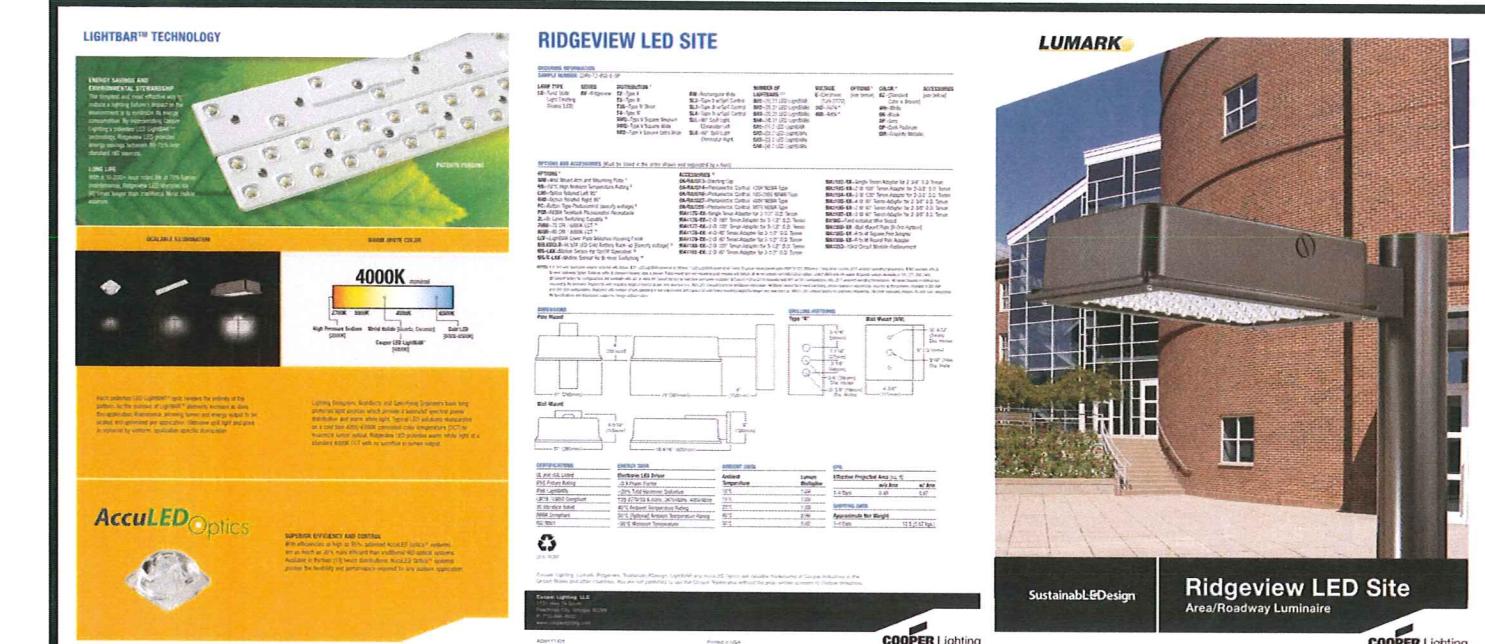
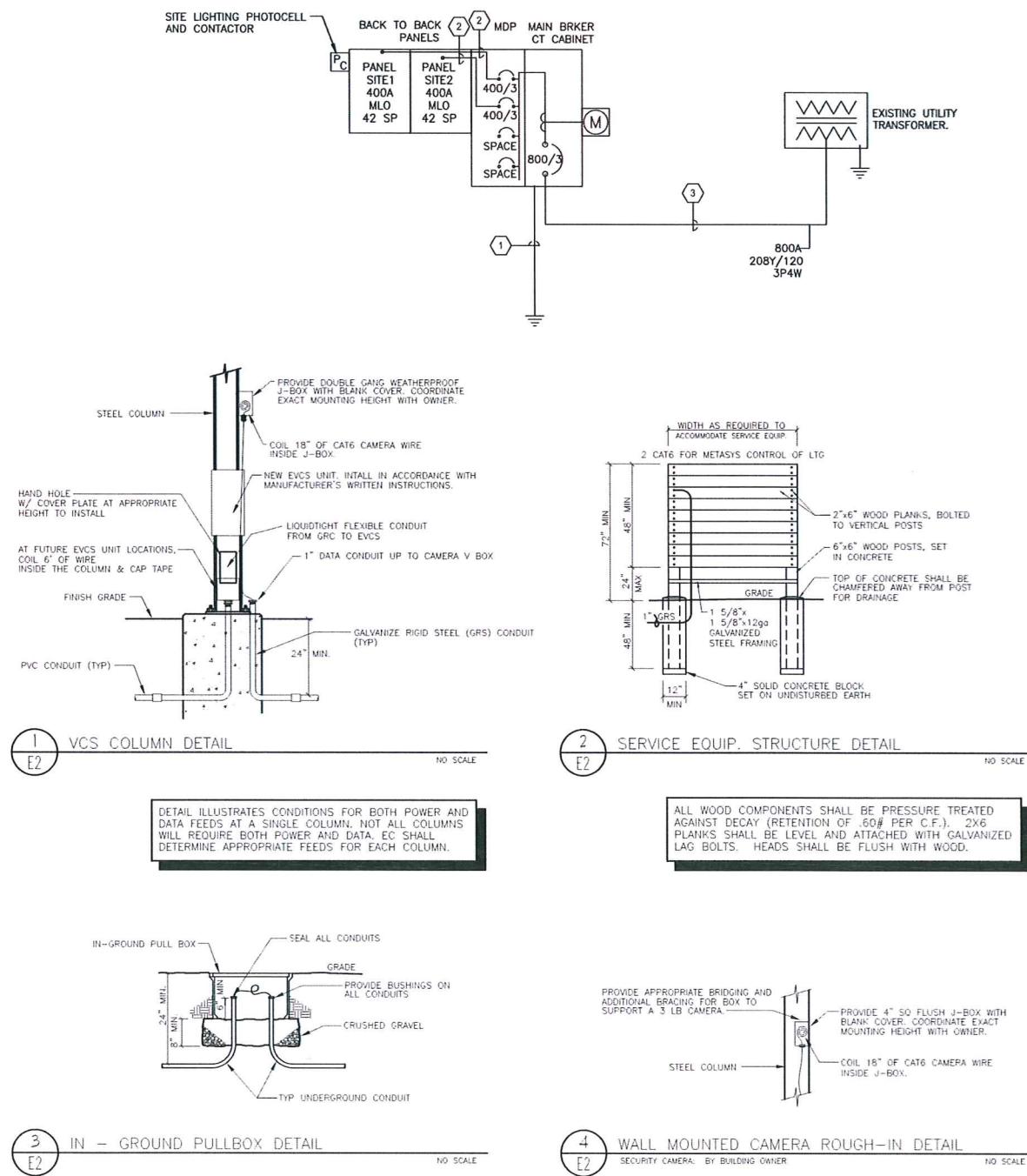
Drawn by:
 AJR

Date:
 12 / 03 / 2013

Sheet No.:
 1

EQUIPMENT SCHEDULE												
Mech. Equip. No.	Equipment	Location Room No.	KW	MCA	MOCP	H.P.	Volt	Ph	Starter By MC/PC/EC	Disconnect By MC/PC/EC	Control Wiring By MC/PC/EC	Remarks
VCS	Vehicle Charging Station	Exterior	7.2	34.6	40/2		208	1				Note 1
1. Verify column mounting with equipment supplier. Power wiring and dedicated Cat6 data cable to be concealed in structural 4x4 steel column.												

FEEDER SCHEDULE:									
Feeder Number	Voltage	Phase	Amps	Material	Conduit Qty & Size	Phase Cond Qty & Size	Neut Cond Qty & Size	Ground Cond Qty & Size	
1	G			CU	(NONE)	(NONE)	(NONE)	1-2/0	
2	208/120	3	400	CU	(NONE)	3 #500MCM	1 #500MCM	1-1/0	
3	208/120	3	800	CU	2 @ 4"	BY UTILITY	BY UTILITY	BY UTILITY	



FIXTURE "A"

FIXTURE "B"

SCOPE DOCUMENT ONLY

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413 RAVINE ST.
JANESVILLE, WI 53548
608-219-1316
rowensra@sbgglobal.net

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Drawn by:
AJR

Date:
12/03/2013

Sheet No.:

E2

Panelboard	Site 1		Panel Source	M&P	
Bus Ampacity	450	Volts	120/208	Feed (Top/Bottom)	
Branch Brkr Space	42	Phase	3	Feed-Thru Lugs	
M&D Amps	400	Wires	4	Load Fed	
MCB A/P	-	Surface		Sub-Feed Lugs	
Pnl Mfr	New	Recessed	X	Load Fed	
Pnl Type	--	AIC		Sub-Feed Brkr #1	
Pnl Height	--			Load Fed	
Pnl Width	20'	Pnl MCA	-	Sub-Feed Brkr #2	
Pnl Depth	575"			Load Fed	
Largest Motor FLA					
X-Ray Adj 3-Ph Equiv KVA					
Load to be Fed	Cct	Brkr No	A/P	Left Phases	Right Phases
				A B C	A B C
Vehicle Charger	1	40/2			1215
--	3	--			1620
Vehicle Charger	5	40/2			1440
--	7	--			20/1 4
Vehicle Charger	9	40/2			20/1 8
--	11	--			14
Vehicle Charger	13	40/2			14
--	15	--			40/2 16
Spare	17	40/2			18
--	19	--			40/2 20
Spare	21	40/2			22
--	23	--			40/2 24
Spare	25	40/2			26
--	27	--			40/2 28
Spare	29	40/2			30
--	31	--			40/2 32
Spare	33	40/2			34
--	35	--			40/2 36
Spare	37	40/2			38
--	39	--			40/2 40
Spare	41	20/1			42
Feed-Thru Lugs	73	-			74 Sub-Feed Brkr 1
--	75	-			76
Sub-Feed Lugs	79	-			78 Sub-Feed Brkr 2
--	81	-			82
--	83	-			84
Total Lights	-	-			-
Total Recpts	-	-			-
Total HVAC Bltrs	-	-			-
Total HVAC A/C	-	-			-
Total HVAC Htg	-	-			-
Total HVAC	-	-			-
Total X-Ray Instant	-	-			-
Total X-Ray Long	-	-			-
Total Misc	-	-			-
Total Phases	5725	6060	6600		-
Total Panel					18,385

Panelboard	Site 2		Panel Source	M&P	
Bus Ampacity	400	Volts	120/208	Feed (Top/Bottom)	
Branch Brkr Space	42	Phase	3	Feed-Thru Lugs	
M&D Amps	400	Wires	4	Load Fed	
MCB A/P	-	Surface		Sub-Feed Lugs	
Pnl Mfr	New	Recessed	X	Load Fed	
Pnl Type	--	AIC		Sub-Feed Brkr #1	
Pnl Height	--	Pnl MCA	-	Load Fed	
Pnl Width	20'			Sub-Feed Brkr #2	
Pnl Depth	575"			Load Fed	
Largest Motor FLA					
X-Ray Adj 3-Ph Equiv KVA					
Load to be Fed	Cct	Brkr No	A/P	Left Phases	Right Phases
				A B C	A B C
Spare	1	40/2	-	-	20/1 2 Spare
--	3	--	-		20/1 4 Spare
Spare	5	40/2	-		40/2 6 Spare
--	7	--	-		40/2 8 Spare
Spare	9	40/2	-		40/2 10 Spare
--	11	--	-		40/2 12 Spare
Spare	13	40/2	-		40/2 14 Spare
--	15	--	-		40/2 16 Spare
Spare	17	40/2	-		40/2 18 Spare
--	19	--	-		40/2 20 Spare
Spare	21	40/2	-		22
--	23	--	-		40/2 24 Spare
Spare	25	40/2	-		26
--	27	--	-		40/2 28 Spare
Spare	29	40/2	-		30
--	31	--	-		40/2 32 Spare
Spare	33	40/2	-		34
--	35	--	-		40/2 36 Spare
Spare	37	40/2	-		38
--	39	--	-		40/2 40 Spare
Spare	41	20/1			42
Feed-Thru Lugs	73	-			74 Sub-Feed Brkr 1
--	75	-			76
Sub-Feed Lugs	79	-			78 Sub-Feed Brkr 2
--	81	-			82
--	83	-			84
Total Lights	-	-			-
Total Recpts	-	-			-
Total HVAC Bltrs	-	-			-
Total HVAC A/C	-	-			-
Total HVAC Htg	-	-			-
Total HVAC	-	-			-
Total X-Ray Instant	-	-			-
Total X-Ray Long	-	-			-
Total Misc	-	-			-
Total Phases	-	-			-
Total Panel					-

DIVISION 16 ELECTRICAL

PART 1 - GENERAL

DESCRIPTION

Prior to submitting a bid, bidders are required to visit the premises, take measurements, inspect existing conditions & limitations & obtain first hand information necessary to submit a bid. The intent of the contract is to obtain complete systems, tested, ready for operation. No extras will be allowed because of the Contractor's misunderstanding of the work involved.

Work included: Provide electrical work as specified herein, and as needed for a complete and proper installation including, but not necessarily limited to

Underground Electric Service, metering facilities, main breaker, main distribution, and distribution panelboards;

Feeder system, in conduit to branch circuits panels;

Branch circuit wiring, in conduit, for lighting, receptacles, junction boxes;

Data wiring conduit system;

Hangers, anchor sleeves, chase supports for fixtures, and other electrical materials and equipment in association therewith;

Lighting fixtures and lamps;

Other items and services required to complete the systems.

WORK OF OTHER SECTIONS

Openings for electrical work in ceiling, columns, etc., will be provided by General Contractor. Location and size of these openings will be the responsibility of the Electrical Contractor.

Painting electrical equipment will be the responsibility of Painting Contractor.

Roofing, exterior wall and related exterior openins shall be caulked, sealed and patched by the General Contractor.

GENERAL PROVISIONS

Everything essential for the completion of the work listed to be covered by these Specifications to make the system ready for normal and proper operation must be furnished and installed by this Contractor. Accordingly, any omission from either the plans or the Specifications, or both, of details necessary for the proper installation and operation of the system shall not relieve this Contractor from furnishing such detail in full and proper manner.

QUALITY ASSURANCE

Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and methods needed for proper performance of the work of this Section.

Without additional cost to the Owner, provide such other labor and materials as required to complete the work of this Section in accordance with the requirements of governmental agencies having jurisdiction, regardless of whether such materials and associated labor are called for elsewhere in these Contract Documents.

In acceptance or rejection of installed work, the Architect or Engineer shall make no allowance for lack of skill on the part of the Workmen.

REFERENCE STANDARDS

The following standards are imposed, as applicable to work in each instance:

ASME American Society of Mechanical Engineers

ASTM American Society of Testing and Materials

IES Illuminating Engineering Society

NCA Mechanical Contractors Association

NEC National Electrical Code

NSPE National Electrical Manufacturers Association

UL Underwriters Laboratories

CODES AND PERMITS

The Contractor must comply with building and electrical codes and other ordinances in force where the building is located as far as same apply to his work.

We must secure permits from proper offices and pay fees as may be necessary for fulfilling the requirements of these Specifications.

One copy of all permits must be furnished to the Owner.

COORDINATION

Coordinate and coordinate with other trades to assure that all systems in the electrical work may be installed in the best arrangement. Coordinate as required with all other trades to share space in common areas and to provide the maximum of access to each system.

Arrange electrical work in a neat, well organized manner with piping and similar running parallel with primary lines of building construction.

FLOOR, WALL, ROOF AND CEILING OPENINGS

The General Contractor will be required to leave openings in ceiling, columns, etc., as required to install the electrical work specified or shown on the Drawings. The Electrical Contractor is responsible for correct size and location of his openings.

Provisions for openings and holes to be made in advance of construction of such parts of the building.

If the Electrical Contractor should neglect to inform the General Contractor of his opening requirements and that portion of the building construction has been completed, the Electrical Contractor shall pay the General Contractor for providing these openings.

Make arrangements with various other contractors for all special framing, spacing and chases.

DEPARTMENT ACCESS

General: All panel boards, boxes, equipment and accessories shall be installed to permit access to equipment for maintenance, servicing or repairs.

EQUIPMENT SUPPORTS

General: Provide all supporting steel and related materials not indicated on structural drawings as required for the installation of equipment and materials, including angles, channels, beams and joists. Paint coats paint all supports.

GUARANTEES

All material and workmanship must be new and first class in every respect; the electrical equipment and systems must be turned over to the owner in complete working order and free from mechanical defects.

The Electrical Contractor must:

Guarantee all labor and materials for two (2) year from the completion and acceptance of the systems

Keep or place same in repair for said period, unless such defects are clearly the result of bad management after apparatus is out of his control.

Before final acceptance of this work, the Contractor shall:

Have the entire apparatus and system in complete and satisfactory operation.

Shall have all testing and balancing complete and approved.

Shall maintain system in satisfactory and continuous operation for a period of ten days prior to the date of acceptance.

The Electrical Contractor shall submit to the Engineer in triplicate, at the completion of his work, a certified statement, signed by a principal of the firm, stating that the system has been fully installed and is operating within the intent of the plans and specifications and that all system components have been tested and adjusted. This statement shall be submitted before the system is presented to the Owner for final inspection.