

URBAN DESIGN COMMISSION APPLICATION

UDC

City of Madison
Planning Division
Madison Municipal Building, Suite 017
215 Martin Luther King, Jr. Blvd.
P.O. Box 2985
Madison, WI 53701-2985
(608) 266-4635



FOR OFFICE USE ONLY:

Paid _____ Receipt # _____
Date received _____
Received by _____
Aldermanic District _____
Zoning District _____
Urban Design District _____
Submittal reviewed by _____
Legistar # _____

Complete all sections of this application, including the desired meeting date and the action requested.

If you need an interpreter, translator, materials in alternate formats or other accommodations to access these forms, please call the phone number above immediately.

1. Project Information

Address: 2161 Rimrock Road Madison, WI 53713
Title: Rimrock Retail

2. Application Type (check all that apply) and Requested Date

UDC meeting date requested June 12, 2019
 New development Alteration to an existing or previously-approved development
 Informational Initial approval Final approval

3. Project Type

Project in an Urban Design District
 Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
 Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
 Planned Development (PD)
 General Development Plan (GDP)
 Specific Implementation Plan (SIP)
 Planned Multi-Use Site or Residential Building Complex

Signage
 Comprehensive Design Review (CDR)
 Signage Variance (i.e. modification of signage height, area, and setback)

Other
 Please specify
Alteration to Conditional Use Part of Hotel (LNDUSE 2018-00001)

4. Applicant, Agent, and Property Owner Information

Applicant name Josh Wilcox Company GBA Architecture | Design
Street address 2248 Deming Way, Suite 120 City/State/Zip Middleton, WI 53562
Telephone 608-829-1750 Email josh.wilcox@garybrink.com

Project contact person (same as applicant) Company _____
Street address _____ City/State/Zip _____
Telephone _____ Email _____

Property owner (if not applicant) Madison Rimrock Retail Investors I, LLC (c/o North Central Group)
Street address 1600 Aspen Commons, Suite 200 City/State/Zip Middleton, WI 53562
Telephone 608-662-3631 Email ainman@ncghotels.com

5. Required Submittal Materials

- Application Form**
- Letter of Intent**
 - If the project is within an Urban Design District, a summary of how the development proposal addresses the district criteria is required
 - For signage applications, a summary of how the proposed signage is consistent with the applicable CDR or Signage Variance review criteria is required.
- Development plans** (Refer to checklist on Page 4 for plan details)
- Filing fee**
- Electronic Submittal***

Each submittal must include fourteen (14) 11" x 17" **collated** paper copies. Landscape and Lighting plans (if required) must be **full-sized and legible**. Please refrain from using plastic covers or spiral binding.

Both the paper copies and electronic copies must be submitted prior to the application deadline before an application will be scheduled for a UDC meeting. Late materials will not be accepted. A completed application form is required for each UDC appearance.

For projects also requiring Plan Commission approval, applicants must also have submitted an accepted application for Plan Commission consideration prior to obtaining any formal action (initial or final approval) from the UDC. All plans must be legible when reduced.

**Electronic copies of all items submitted in hard copy are required. Individual PDF files of each item submitted should be compiled on a CD or flash drive, or submitted via email to udcapplications@cityofmadison.com. The email must include the project address, project name, and applicant name. Electronic submittals via file hosting services (such as Dropbox.com) are not allowed. Applicants who are unable to provide the materials electronically should contact the Planning Division at (608) 266-4635 for assistance.*

6. Applicant Declarations

1. Prior to submitting this application, the applicant is required to discuss the proposed project with Urban Design Commission staff. This application was discussed with Janine Glaeser on 11/22/17 (as part of original conditional use submittal)
2. The applicant attests that all required materials are included in this submittal and understands that if any required information is not provided by the application deadline, the application will not be placed on an Urban Design Commission agenda for consideration.

Name of applicant Josh Wilcox Relationship to property Architect

Authorizing signature of property owner  Date April 24, 2019

7. Application Filing Fees

Fees are required to be paid with the first application for either initial or final approval of a project, unless the project is part of the combined application process involving the Urban Design Commission in conjunction with Plan Commission and/or Common Council consideration. Make checks payable to City Treasurer. Credit cards may be used for application fees of less than \$1,000.

Please consult the schedule below for the appropriate fee for your request:

- Urban Design Districts: \$350 (per §35.24(6) MGO).
- Minor Alteration in the Downtown Core District (DC) or Urban Mixed-Use District (UMX) : \$150 (per §33.24(6)(b) MGO)
- Comprehensive Design Review: \$500 (per §31.041(3)(d)(1)(a) MGO)
- Minor Alteration to a Comprehensive Sign Plan: \$100 (per §31.041(3)(d)(1)(c) MGO)
- All other sign requests to the Urban Design Commission, including, but not limited to: appeals from the decisions of the Zoning Administrator, requests for signage variances (i.e. modifications of signage height, area, and setback), and additional sign code approvals: \$300 (per §31.041(3)(d)(2) MGO)

A filing fee is not required for the following project applications if part of the combined application process involving both Urban Design Commission and Plan Commission:

- Project in the Downtown Core District (DC), Urban Mixed-Use District (UMX), or Mixed-Use Center District (MXC)
- Project in the Suburban Employment Center District (SEC), Campus Institutional District (CI), or Employment Campus District (EC)
- Planned Development (PD): General Development Plan (GDP) and/or Specific Implementation Plan (SIP)
- Planned Multi-Use Site or Residential Building Complex

April 24, 2019

Tim Parks
Department of Planning & Development
126 S. Hamilton Street
Madison, WI 53703

Re: Letter of Intent
2161 Rimrock Road – Alteration of Existing Conditional Use

Dear Tim:

This is our Letter of Intent (Alteration of Existing Conditional Use) for the property located at 2161 Rimrock Road. The owner, Madison Rimrock Retail Investors, LLC is planning to develop two new retail buildings at this location. The lot is currently vacant, and demolition of existing structures will not be required.

The total gross area of the new buildings is 9,128 sf (Building A: 5,300 sf, Building B: 3,600 sf. The lot area is 62,726 sf (or 1.44 acres).

Total Parking/Bicycle Stalls will be as follows:

Parcel 1 (Retail Parcel along Rimrock Road)

Small Car Parking: 0
Large Car Parking: 69
Accessible Parking: 4
Bicycle Stall: 0 Total Parcel 1 Parking: 73

Parcel 2 (Hotel – Under Construction)

Small Car Parking: 28
Large Car Parking: 107
Accessible Parking: 5
Bicycle Stall: 16
Total Parcel 2 Parking: 140

Parcel 3 (DOR Overflow Lot – Under Construction)

Small Car Parking: 0
Large Car Parking: 24
Accessible Parking: 0
Bicycle Stall: 0
Total Parcel 3 Parking: 24

Total Site Parking

Small Car Parking: 28
Large Car Parking: 131
Accessible Parking: 5
Bicycle Stall: 16
Total Site Car Parking: 164

All maintenance, including trash and snow removal, will be provided by private contract.

The proposed hotel hours of operation will be 24 hours a day/365 days a year, the retail and restaurant hours of operation are anticipated to be no more than from 5AM to 1AM. Building A's proposed use is a restaurant and will include an outdoor seating area with approximately 105 seats & 3,300 square feet. Building B's proposed use will be a restaurant/coffee shop and will include an outdoor seating area with approximately 10 seats and 100 square feet. Building B will also include a drive through lane. The drive through lane will comply with all applicable City of Madison drive through requirements and restrictions.

The number of construction jobs created as a result of this new development will be 30 and the number of full time equivalent jobs created is approximately 80 FTE.

The current assessed value of the land is approximately \$3,000,000.

The hotel construction is expected to be complete in June of 2019. The retail construction will continue upon the completion of the hotel and be complete in 2020.

The Development Team includes the following:

Developer/Owner: Madison Rimrock Retail Investors, LLC
c/o North Central Group
1600 Aspen Commons, Suite 200
Middleton, WI 53562
Phone: 608-662-3631
Fax: 608-836-6399
Principal Contact: Andy Inman, P.E.
ainman@ncghotels.com

Architect: GBA
2248 Deming Way, Suite 120
Middleton, WI 53562
Phone: 608-829-1750
Fax: 608-829-3056
Principal Contact: Josh Wilcox
josh.wilcox@garybrink.com

Civil/Landscape: Vierbicher
N27 W23957 Paul Road, Suite 105
Pewaukee, WI 53072
Phone: 262-408-5708
Principal Contact: John Kastner, P.E.
jkas@vierbicher.com

Please refer to the attached plans for additional information.

Sincerely,



Josh Wilcox
Partner

PROPOSED Rimrock Retail

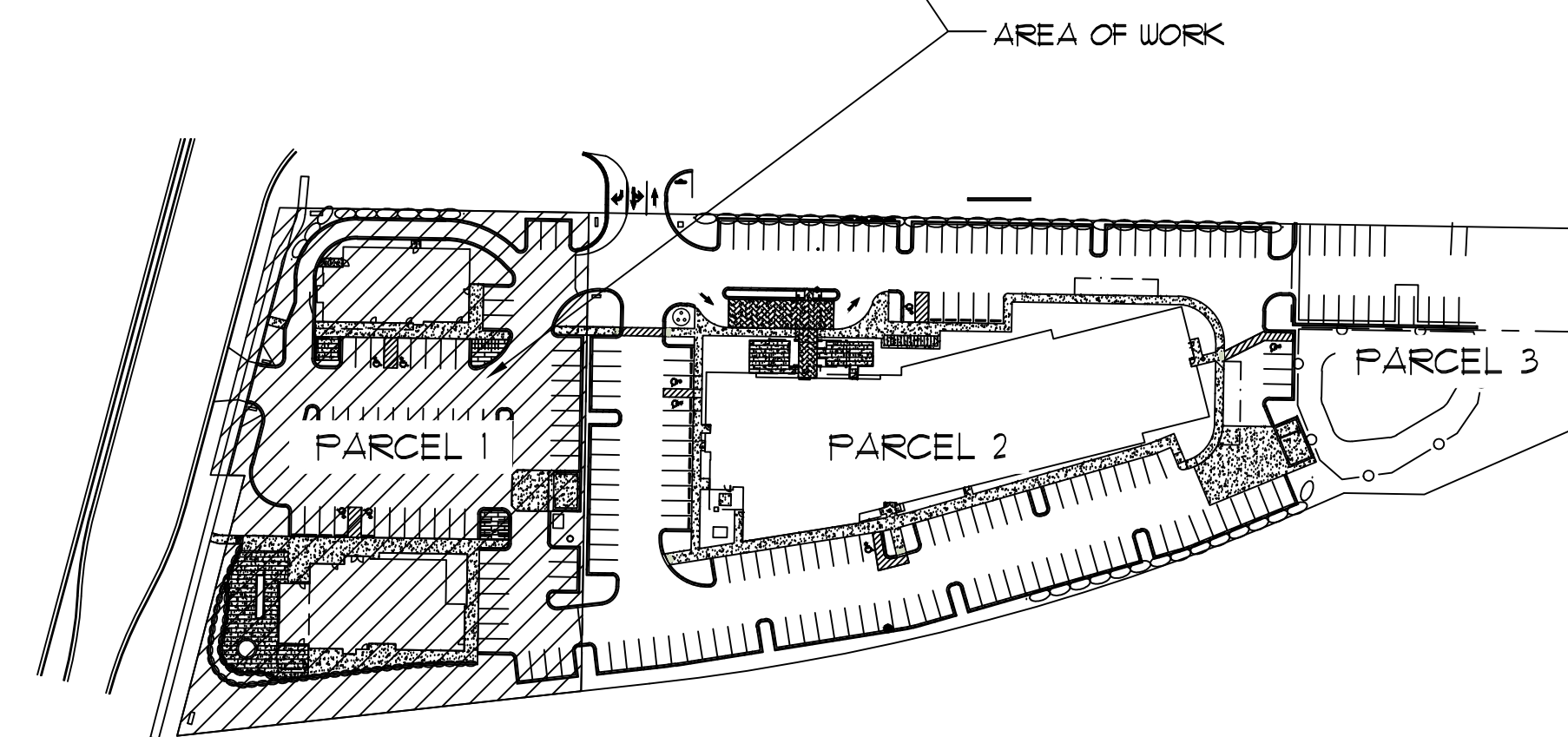
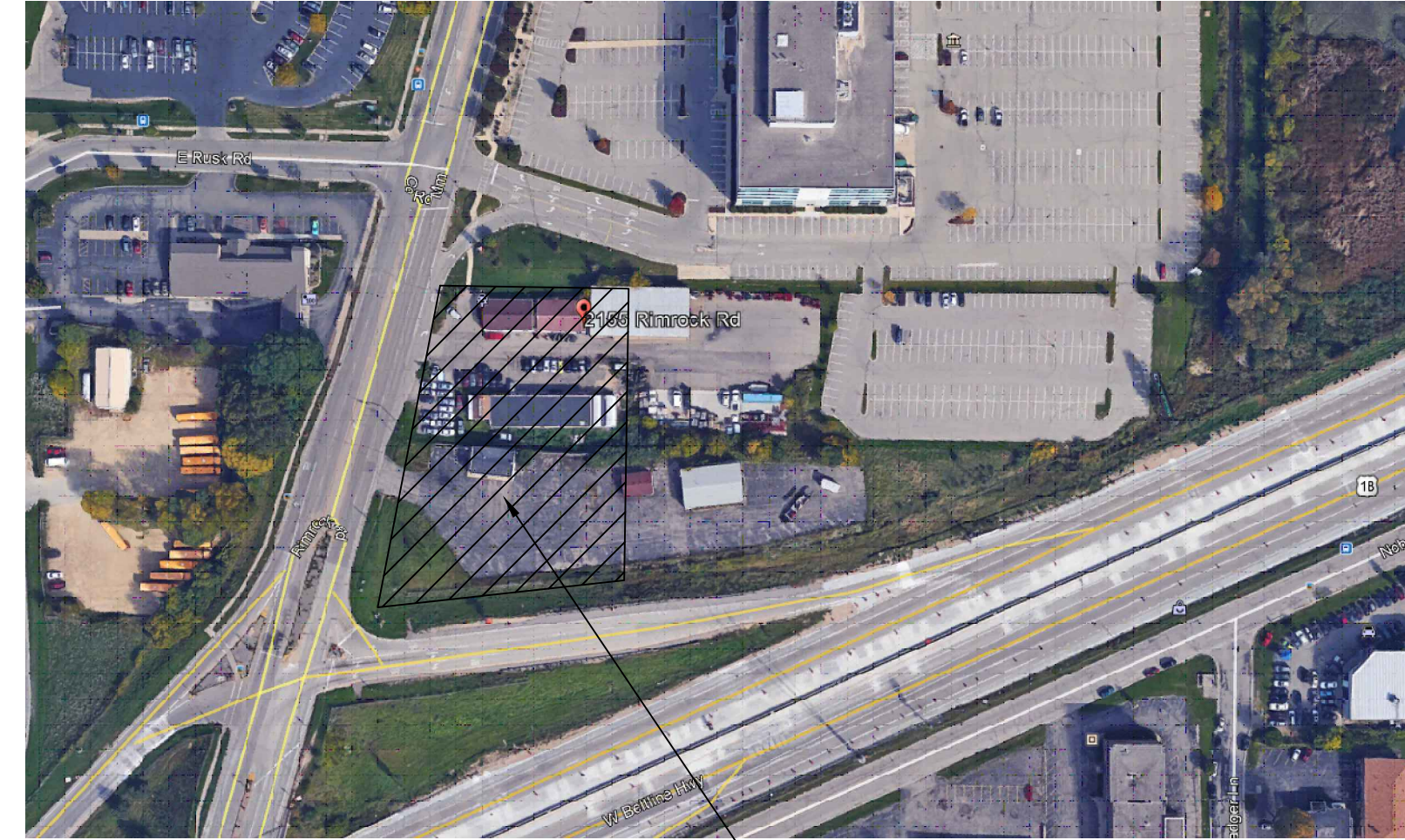
2161 Rimrock Road
Madison, Wisconsin

UDC/ LANDUSE SUBMITTAL
April 24, 2019

PROJECT BUILDING & PARKING MATRIX

Building	Square Footage						
A	5,300						
B	3,600						
Parking Stalls (Previously Approved Hotel)							
ACC-Parking Stalls	5	140					
		Total 145					
Parking Stalls (Parcel #1)							
ACC-Parking Stalls	4	69					
		Total 73					
Site Information							
			Area Total				
By Parcels	Parcel #1	1.44 acres	Parcel #2	2.72 acres	Parcel #3	.28 acres	3. acres

PROJECT LOCATION MAP



CONDITIONAL USE APPROVED AS PART OF HOTEL
PROJECT REGSTAR #49924 & 50223 (LNDUSE 2018-00001)

SHEET INDEX:

- T-1 TITLE SHEET
- CIVIL DRAWINGS
 - C100 EXISTING CONDITIONS PLAN
 - C101 DEMOLITION PLAN
 - C200 SITE PLAN
 - C300 GRADING PLAN
 - C400 UTILITY PLAN
 - C500 CONSTRUCTION DETAILS
 - C501 CONSTRUCTION DETAILS
 - C502 CONSTRUCTION DETAILS
 - C503 CONSTRUCTION DETAILS
 - C504 CONSTRUCTION DETAILS
 - C505 CONSTRUCTION DETAILS
 - C506 CONSTRUCTION DETAILS
 - C507 CONSTRUCTION DETAILS
 - L100 LANDSCAPE PLAN
 - F100 FIRE ACCESS PLAN
- LIGHTING DRAWINGS
 - E101 SITE LIGHTING PLAN
 - E102 SITE LIGHTING DETAILS
- ARCHITECTURAL DRAWINGS
 - A2.01a BUILDING "A" FLOOR PLAN & ROOF PLAN
 - A2.01b BUILDING "B" FLOOR PLAN & ROOF PLAN
 - A6.01a BUILDING "A" BUILDING ELEVATIONS
 - A6.01b BUILDING "B" BUILDING ELEVATIONS



DEVELOPER:
MADISON RIMROCK LODGING INVESTORS I, LLC.
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WISCONSIN 53562
PHONE: (608) 662-3631
EMAIL: AINMAN@NCGHOTELS.COM
CONTACT: ANDY INMAN



ARCHITECT:
GBA ARCHITECTURE & DESIGN
2248 DEMING WAY, SUITE 120
MIDDLETON, WISCONSIN 53562
PHONE: (608) 829-1750
EMAIL: JOSH.WILCOX@GARYBRINK.COM
CONTACT: JOSH WILCOX



CIVIL ENGINEER / LANDSCAPE ARCHITECT
VIERBICHER
N27 W23957 PAUL ROAD, SUITE 105
PEWAUKEE, WISCONSIN 53072
PHONE: (262) 408-5708
EMAIL: JKAS@VIERBICHER.COM
CONTACT: JOHN KASTNER

PROJECT:
RIMROCK RETAIL
2161 RIMROCK ROAD
MADISON, WI 53713
CLIENT:
RIMROCK RETAIL INVESTORS, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WI 53562

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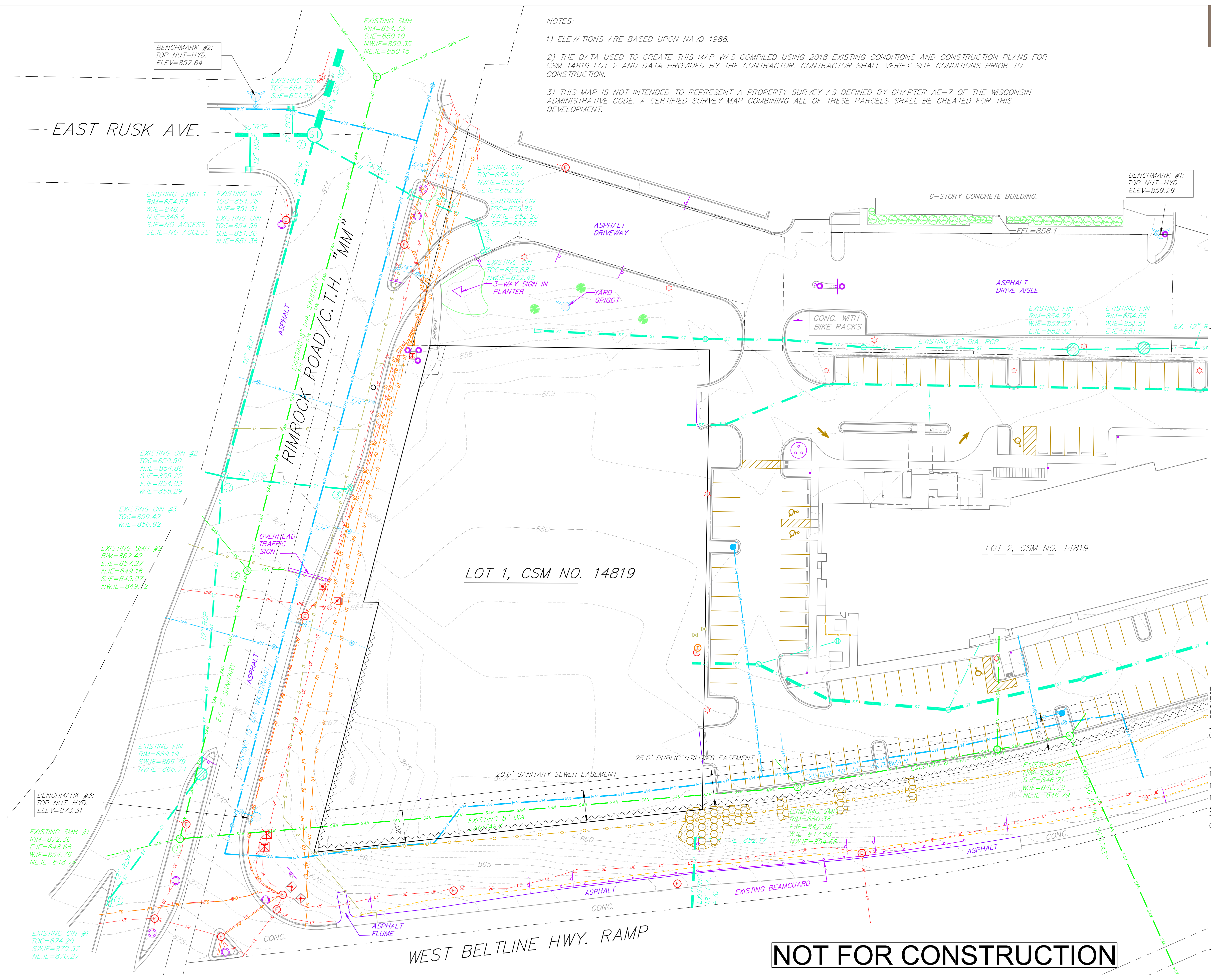
PROJECT: 201732.1
DRAWN BY: D&D
DATE:
SCALE: AS NOTED
CITY SUBMITTAL 04-10-2019

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING BOLLARD
- EXISTING FLAG POLE
- EXISTING MAILBOX
- EXISTING MONITORING WELL
- EXISTING POST
- EXISTING SIGN (TYPE NOTED)
- EXISTING PARKING METER
- EXISTING CURB INLET
- EXISTING ENDWALL
- EXISTING FIELD INLET RECTANGULAR
- EXISTING FIELD INLET
- EXISTING ROOF DRAIN CLEANOUT
- EXISTING ROOF DRAIN
- EXISTING STORM MANHOLE
- EXISTING STORM MANHOLE RECTANGULAR
- EXISTING SANITARY CLEANOUT
- EXISTING SANITARY MANHOLE
- EXISTING SEPTIC VENT
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPARTMENT CONNECTION
- EXISTING WATER MAIN VALVE
- EXISTING CURB STOP
- EXISTING WELL
- EXISTING WATER MANHOLE
- EXISTING GAS VALVE
- EXISTING GAS METER
- EXISTING AIR CONDITIONING PEDESTAL
- EXISTING DOWN GUY
- EXISTING ELECTRIC MANHOLE
- EXISTING ELECTRIC RECTANGULAR MANHOLE
- EXISTING ELECTRIC PEDESTAL
- EXISTING TRANSFORMER
- EXISTING ELECTRIC METER
- EXISTING GUY POLE
- EXISTING LIGHT POLE
- EXISTING GENERIC LIGHT
- EXISTING UTILITY POLE
- EXISTING TV MANHOLE
- EXISTING TV RECTANGULAR MANHOLE
- EXISTING TV PEDESTAL
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNIDENTIFIED MANHOLE
- EXISTING UNIDENTIFIED UTILITY VAULT
- EXISTING HANDICAP PARKING
- EXISTING TRAFFIC SIGNAL
- EXISTING SHRUB
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- EXISTING BORING

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING UNDERGROUND CABLE TV
- EXISTING OVERHEAD CABLE TV
- EXISTING FIBER OPTIC LINE
- EXISTING OVERHEAD TELEPHONE LINE
- EXISTING UNDERGROUND TELEPHONE
- EXISTING RETAINING WALL
- EXISTING CHAIN LINK FENCE
- EXISTING GENERAL FENCE
- EXISTING WIRE FENCE
- EXISTING WOOD FENCE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING GUY LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY FORCE MAIN (SIZE NOTED)
- EXISTING SANITARY SEWER LINE (SIZE NOTED)
- EXISTING STORM SEWER LINE (SIZE NOTED)
- EXISTING EDGE OF TREES
- EXISTING WATER MAIN (SIZE NOTED)
- EXISTING WETLAND DELINEATION
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- WDOT NO ACCESS



NOTES:
 1) ELEVATIONS ARE BASED UPON NAVD 1988.
 2) THE DATA USED TO CREATE THIS MAP WAS COMPILED USING 2018 EXISTING CONDITIONS AND CONSTRUCTION PLANS FOR CSM 14819 LOT 2 AND DATA PROVIDED BY THE CONTRACTOR. CONTRACTOR SHALL VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION.
 3) THIS MAP IS NOT INTENDED TO REPRESENT A PROPERTY SURVEY AS DEFINED BY CHAPTER AE-7 OF THE WISCONSIN ADMINISTRATIVE CODE. A CERTIFIED SURVEY MAP COMBINING ALL OF THESE PARCELS SHALL BE CREATED FOR THIS DEVELOPMENT.



2248 DEMING WAY, STE. 120
 MIDDLETON, WI 53562
 (608) 829-1750
 (608) 829-3056 (FAX)



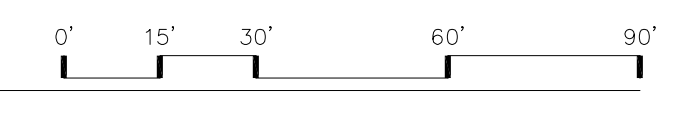
Phone: (800) 261-3898

PROJECT: RIMROCK RETAIL
 2161 RIMROCK ROAD
 MADISON, WI 53713
 CLIENT: RIMROCK RETAIL INVESTORS, LLC
 C/O NORTH CENTRAL GROUP
 1600 ASPEN COMMONS, SUITE 200

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PROJECT: 201732.1
 DRAWN BY: JGOL
 DATE:
 SCALE: AS NOTED
 CITY SUBMITAL 04-10-2019

EXISTING CONDITIONS PLAN



NOT FOR CONSTRUCTION

EXISTING CONDITIONS PLAN
C100



vierbicher
planners | engineers | advisors
Phone: (800) 261-3898

PROJECT: RIMROCK RETAIL
2161 RIMROCK ROAD
MADISON, WI 53713
CLIENT: RIMROCK RETAIL INVESTORS, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WI 54662

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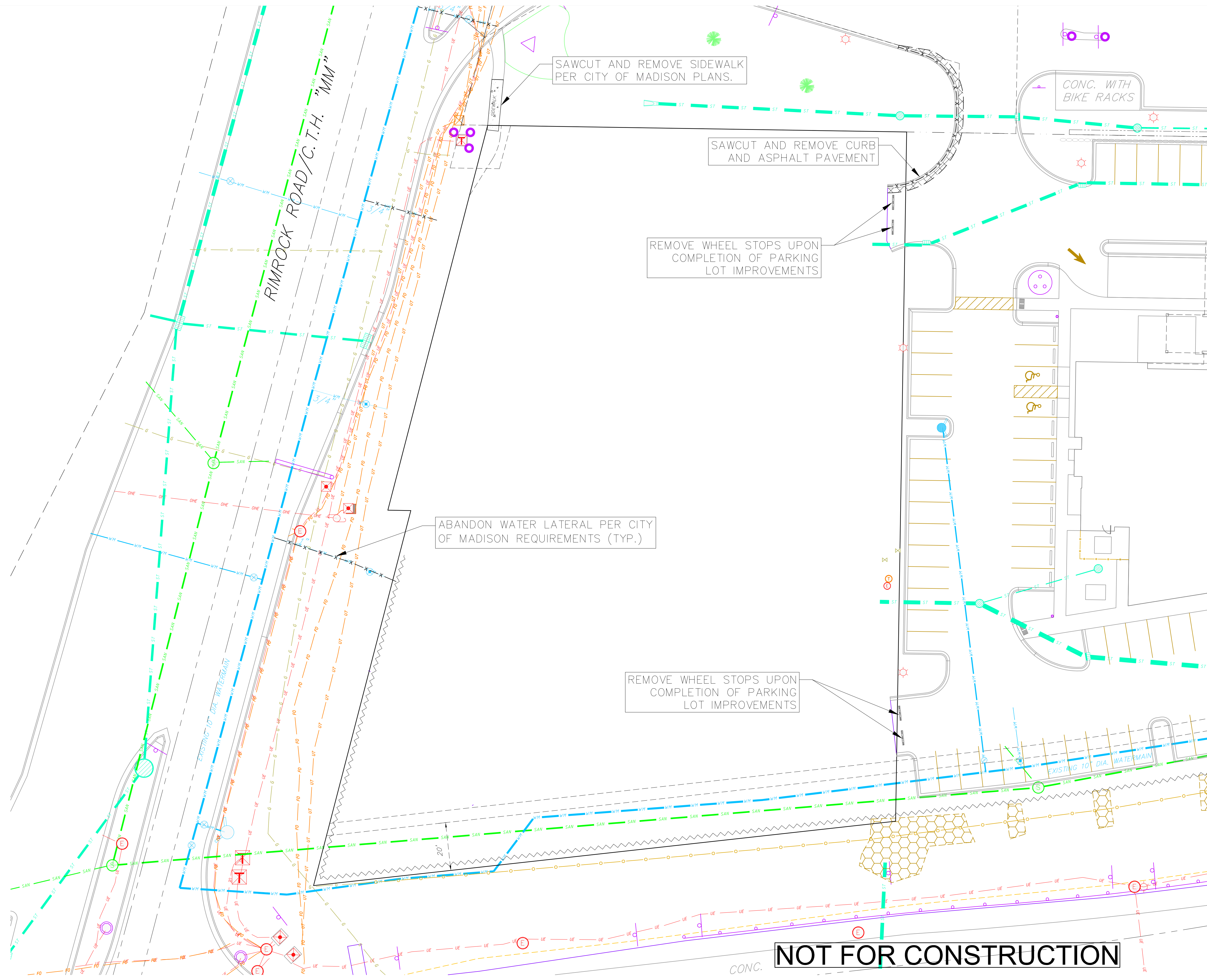
PROJECT: 201732.1
DRAWN BY: JGOL
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CITY SUBMITTAL 04-10-2019

DEMOLITION
PLAN

C101

DEMOLITION PLAN LEGEND

	CURB AND GUTTER REMOVAL
	ASPHALT REMOVAL
	CONCRETE REMOVAL
	BUILDING REMOVAL
	TREE REMOVAL
	SAWCUT
	UTILITY STRUCTURE REMOVAL
	UTILITY LINE REMOVAL



NOT FOR CONSTRUCTION

DEMOLITION PLAN
1"=20'



vierbicher
planners | engineers | advisors
Phone: (800) 261-3898

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2161 RIMROCK ROAD
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RIMROCK RETAIL INVESTORS, LLC
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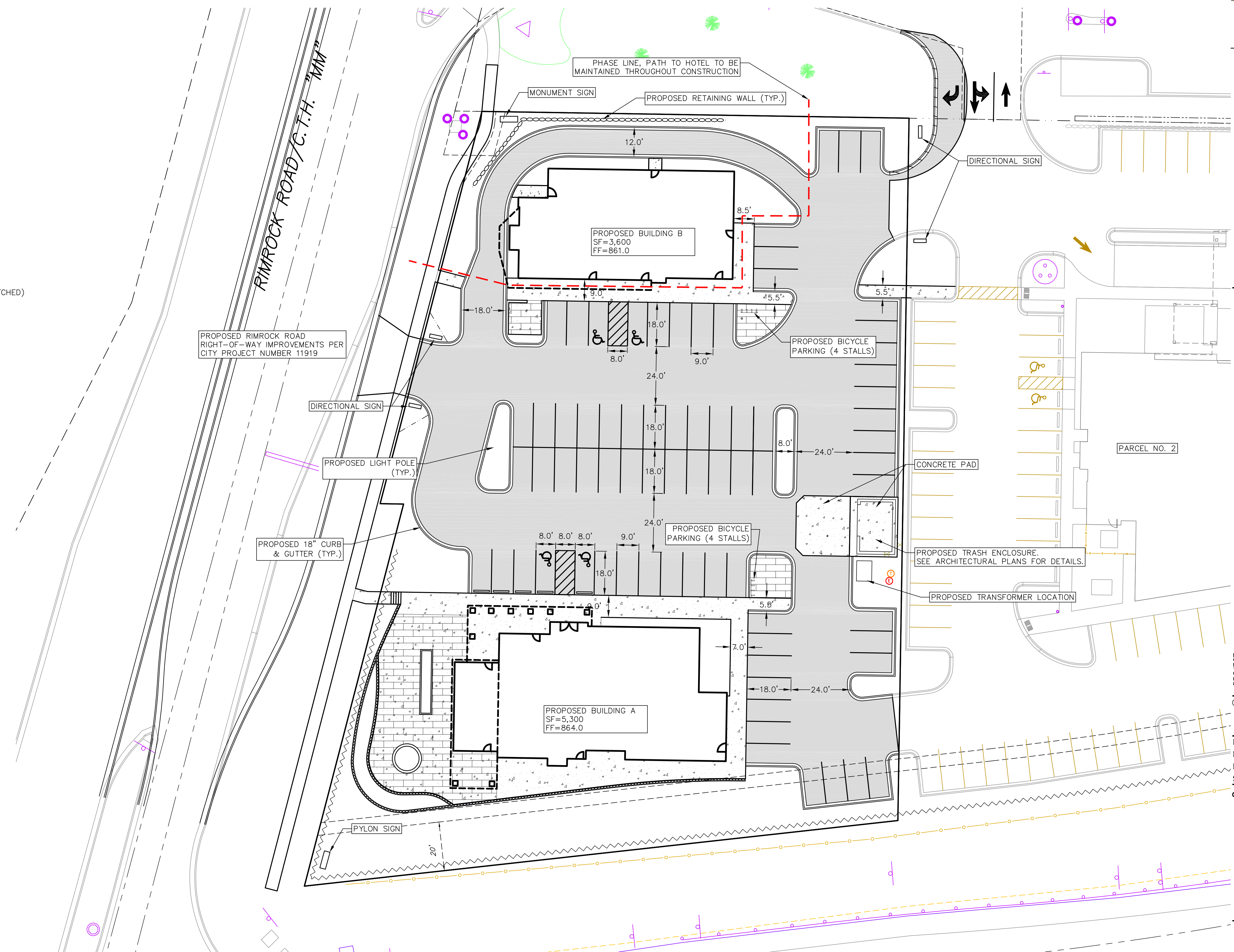
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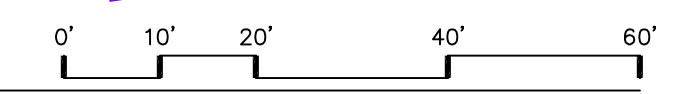
SITE PLAN
C200

- SITE PLAN LEGEND**
- PROPERTY BOUNDARY
 - - - PROPERTY FUTURE VISION TRIANGLE
 - ▨ CURB AND GUTTER (REVERSE CURB HATCHED)
 - ▤ PROPOSED RETAINING WALL
 - ▧ PROPOSED CONCRETE
 - ▩ PROPOSED POROUS PAVEMENT
 - PROPOSED HEAVY-DUTY ASPHALT
 - PROPOSED LIGHT-DUTY ASPHALT
 - ☆ PROPOSED LIGHT POLE

- GENERAL NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER, WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
 3. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
 4. DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB.
 5. CROSS-SLOPE OF SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
 6. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
 7. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
 8. ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
 9. ALL PUBLIC IMPROVEMENTS AND WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED PER THE CITY ISSUED PLANS, PROJECT NUMBER XXXXX.
 10. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
 11. ALL DAMAGE TO THE PAVEMENT ON RIMROCK ROAD ADJACENT TO THE DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
 12. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
 13. PROVIDE ALL NECESSARY TEMPORARY TRAFFIC CONTROL PER MUTCD AND CITY OF MADISON REQUIREMENTS.



SITE PLAN
1"=20'



NOT FOR CONSTRUCTION



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planners | engineers | advisors
Phone: (800) 261-3898

PROJECT: RIMROCK RETAIL
2161 RIMROCK ROAD
MADISON, WI 53713
CLIENT: RIMROCK RETAIL INVESTORS, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200

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PROJECT: 201732.1
DRAWN BY: JGOL
DATE:
SCALE: AS NOTED
QTY SUBMITTAL 04-10-2019

GRADING
PLAN

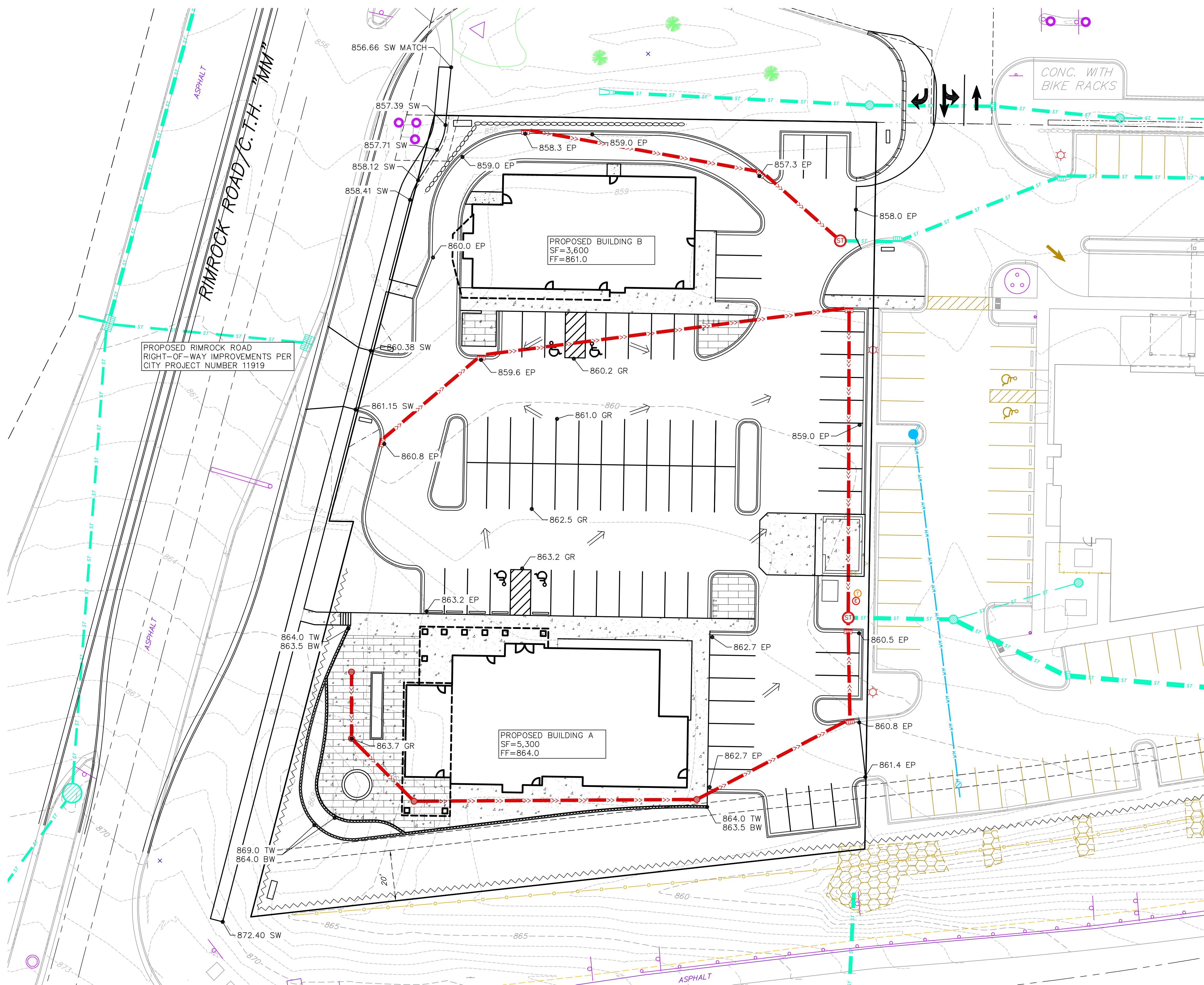
C300

- GRADING LEGEND**
- 820 - EXISTING MAJOR CONTOURS
 - 818 - EXISTING MINOR CONTOURS
 - 820 - PROPOSED MAJOR CONTOURS
 - 818 - PROPOSED MINOR CONTOURS
 - - - - DITCH CENTERLINE
 - - - - SILT FENCE OR SILT SOCK
 - - - - DISTURBED LIMITS
 - - - - BERM
 - - - - DRAINAGE DIRECTION
 - - - - PROPOSED SLOPE ARROWS
 - ⊕ 1048.61 EXISTING SPOT ELEVATIONS
 - ⊕ 1048.61 PROPOSED SPOT ELEVATIONS
 - STONE WEEPER
 - VELOCITY CHECK
 - INLET PROTECTION
 - EROSION MAT CLASS I TYPE A
 - EROSION MAT CLASS III TYPE B (TRM)
 - TRACKING PAD
 - RIP RAP

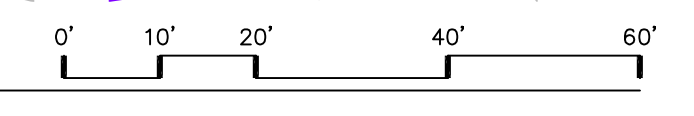
ABBREVIATIONS

TC	- TOP OF CURB
FF	- FINISHED FLOOR
FL	- FLOW LINE
SW	- TOP OF WALK
TW	- TOP OF WALL
BW	- BOTTOM OF WALL

- GRADING NOTES:**
- ALL GRADES SHOWN ARE FINISHED GRADES. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
 - SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
 - NEW GRADES ARE DESIGNED TO PRODUCE DESIRED CONFIGURATION OF SITE AND DO NOT REPRESENT A BALANCE BETWEEN CUT AND FILL. CONTRACTOR IS RESPONSIBLE FOR PERFORMING HIS OWN ANALYSIS OF EXISTING AND PROPOSED GRADES TO CALCULATE SITE BALANCE AND ANY REQUIRED SOIL IMPORT OR EXPORT. ALL SOIL IMPORT AND EXPORT, EXCEPT AS DESCRIBED IN THE SPECIFICATIONS FOR EXCAVATION BELOW SUBGRADE AND REMOVAL OF UNSUITABLE MATERIAL, IS INCLUDED IN THE SCOPE OF THE PROJECT EARTHWORK TO BE PERFORMED AS PART OF THE CONTRACT WITH NO ADDITIONAL COSTS.
 - ALL PUBLIC IMPROVEMENTS AND WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED PER THE CITY ISSUED PLANS, PROJECT NUMBER XXXXX.
 - THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.



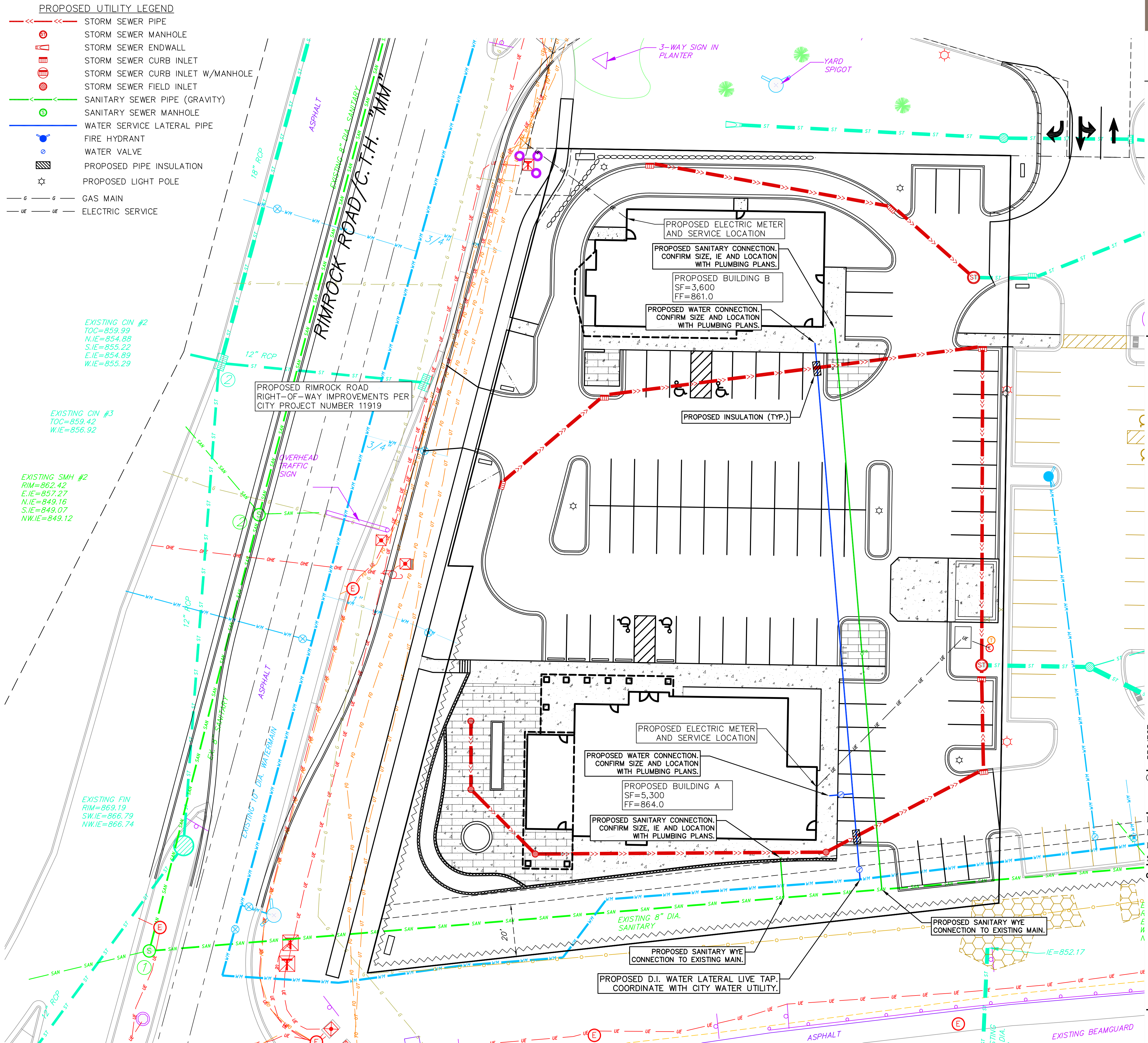
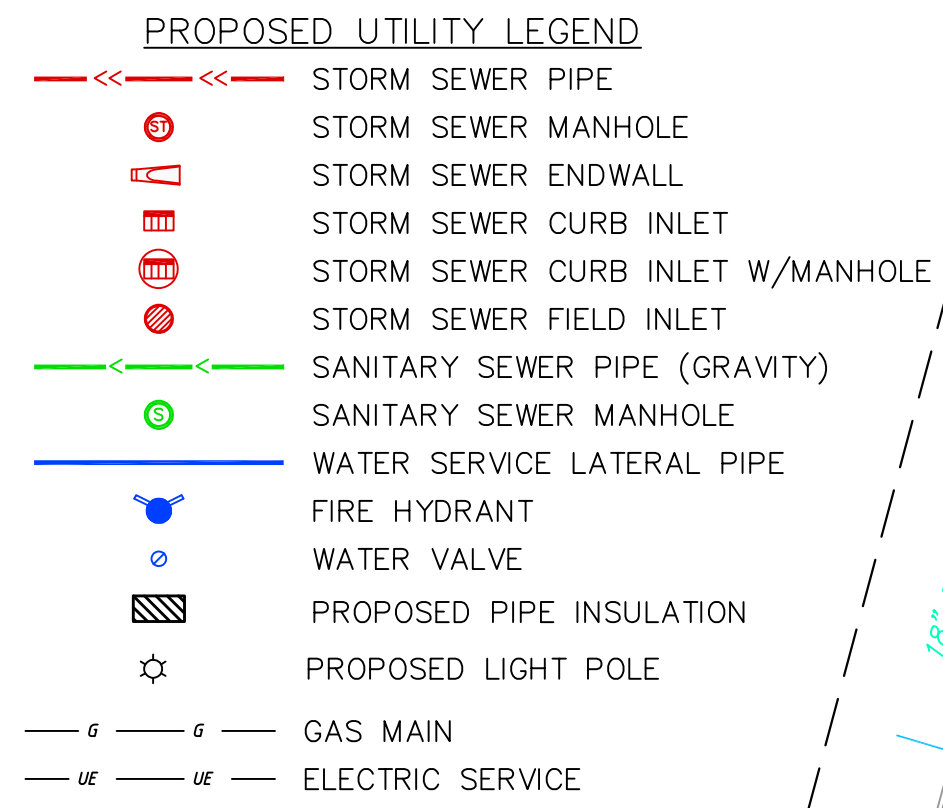
GRADING PLAN
1"=20'



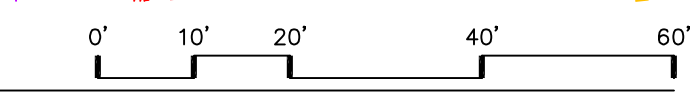
NOT FOR CONSTRUCTION

UTILITY NOTES:

- CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
- SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
- CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF-WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
- FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
- IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED FROM THE DNR PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
- A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
- STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
- PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
- PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
- EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b.).
- NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
- SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
- CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
- PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
- ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
- CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
- FOR WATER SERVICES AND HYDRANT LEADS, ALL MECHANICAL JOINTS TO BE RESTRAINED WITH MEGALUG 1100 OR APPROVED EQUAL. PIPE JOINTS TO BE RESTRAINED AS INDICATED WITH MEGALUG 1700 HARNES OR APPROVED EQUAL.
- CONNECTIONS TO EXISTING WATER MAIN TO BE BY LIVE TAPPING. CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTION FEES AND COSTS PAYABLE TO THE CITY OF MADISON FOR LIVE TAPPING, AND ALL OTHER WORK AND COSTS ASSOCIATED WITH LIVE TAPPING.
- NEW SANITARY MANHOLE TO BE CONSTRUCTED WITH FLAT CAP OR ECCENTRIC CONE. OPENING FOR ACCESS TO BE ROTATED SUCH THAT MANHOLE FRAME AND GRATE IS WITHIN PROPOSED PARKING AREA. CONTRACTOR TO CONFIRM THAT PROPOSED FRAME AND GRATE WILL FALL WITHIN PARKING AREA PRIOR TO CONSTRUCTING MANHOLE AND ADVISE THE CONSULTANT OF ANY DISCREPANCIES.
- ALL PUBLIC IMPROVEMENTS AND WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED PER THE CITY ISSUED PLANS, PROJECT NUMBER XXXX.
- THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.



UTILITY PLAN
1"=20'



NOT FOR CONSTRUCTION

EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE SITE HAS 70% ESTABLISHED VEGETATION.
11. USE DETENTION BASINS AS SEDIMENT BASINS DURING CONSTRUCTION. AT THE END OF CONSTRUCTION, REMOVE SEDIMENT AND RESTORE PER PLAN.
12. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET.
13. TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. OTHER AREAS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
14. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
15. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
16. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
17. INSTALL MINIMUM 6'-7" WIDE EROSION MAT ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TERRACE IF THIS AREA WILL NOT BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL.
18. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
19. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
20. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
21. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
22. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
23. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE, INLET PROTECTION IN EXISTING STORM INLETS WHERE INDICATED, AND TRACKING PAD
2. DEMOLITION PER PLAN
3. STRIP TOPSOIL-DETENTION BASIN
4. ROUGH GRADE-DETENTION BASIN
5. SEED AND EROSION MAT DETENTION BASIN
6. STRIP TOPSOIL
7. ROUGH GRADE
8. CONSTRUCT UNDERGROUND UTILITIES
9. INSTALL INLET PROTECTION
10. CONSTRUCT SITE IMPROVEMENTS
11. RESTORE ALL DISTURBED AREAS
12. REMOVE INLET PROTECTION AND SILT FENCE ONCE SITE HAS 70% ESTABLISHED VEGETATION
13. INSTALL OIL & GREASE FILTERS WHERE INDICATED ON GRADING AND EROSION CONTROL PLAN

SEEDING RATES:

TEMPORARY:

1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

PERMANENT:

1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

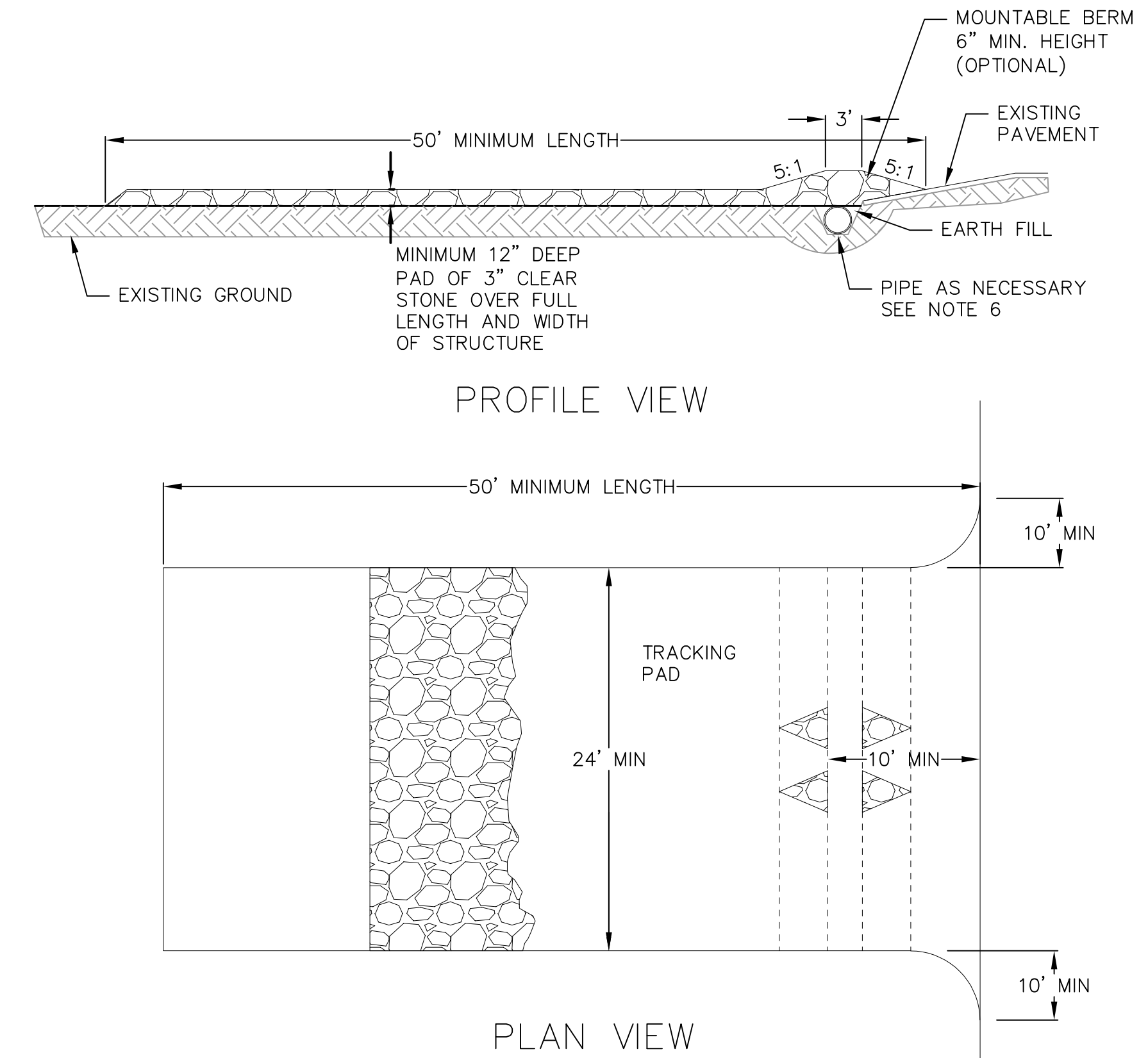
TEMPORARY AND PERMANENT:

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

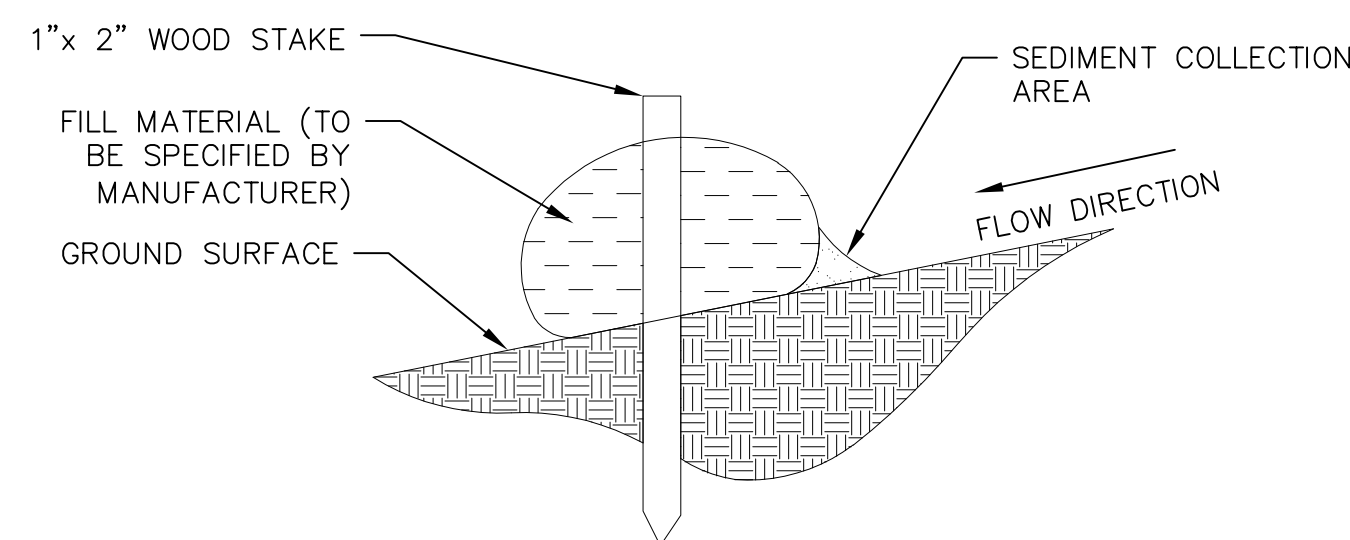
MULCHING RATES:

TEMPORARY AND PERMANENT:

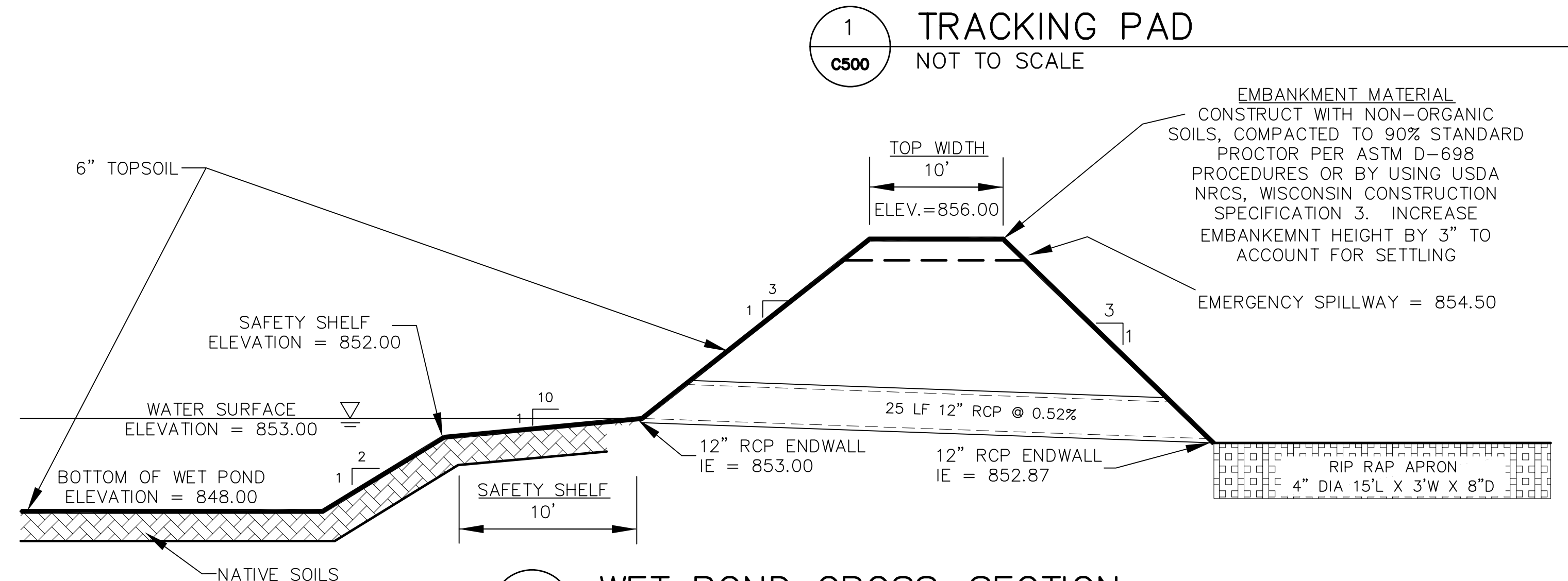
USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'.
3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WSDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.



2 SILT SOCK
C500 NOT TO SCALE



3 WET POND CROSS-SECTION
C500 NOT TO SCALE

NOT FOR CONSTRUCTION



vierbicher
planners | engineers | advisors
Phone: (800) 261-3898

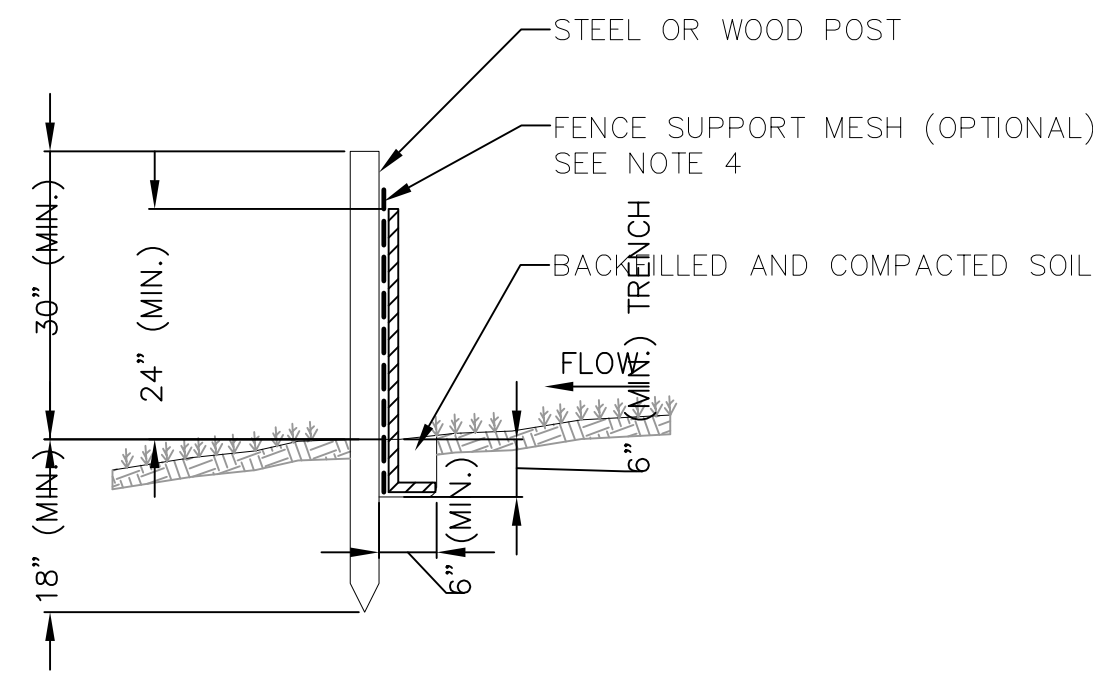
PROJECT:
RIMROCK RETAIL
2161 RIMROCK ROAD
MADISON, WI 53713
CLIENT:
RIMROCK RETAIL INVESTORS, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200

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PROJECT: 201732.1
DRAWN BY: JGOL
DATE:
SCALE: AS NOTED
QTY SUBMITTAL 04-10-2019

CONSTRUCTION
DETAILS

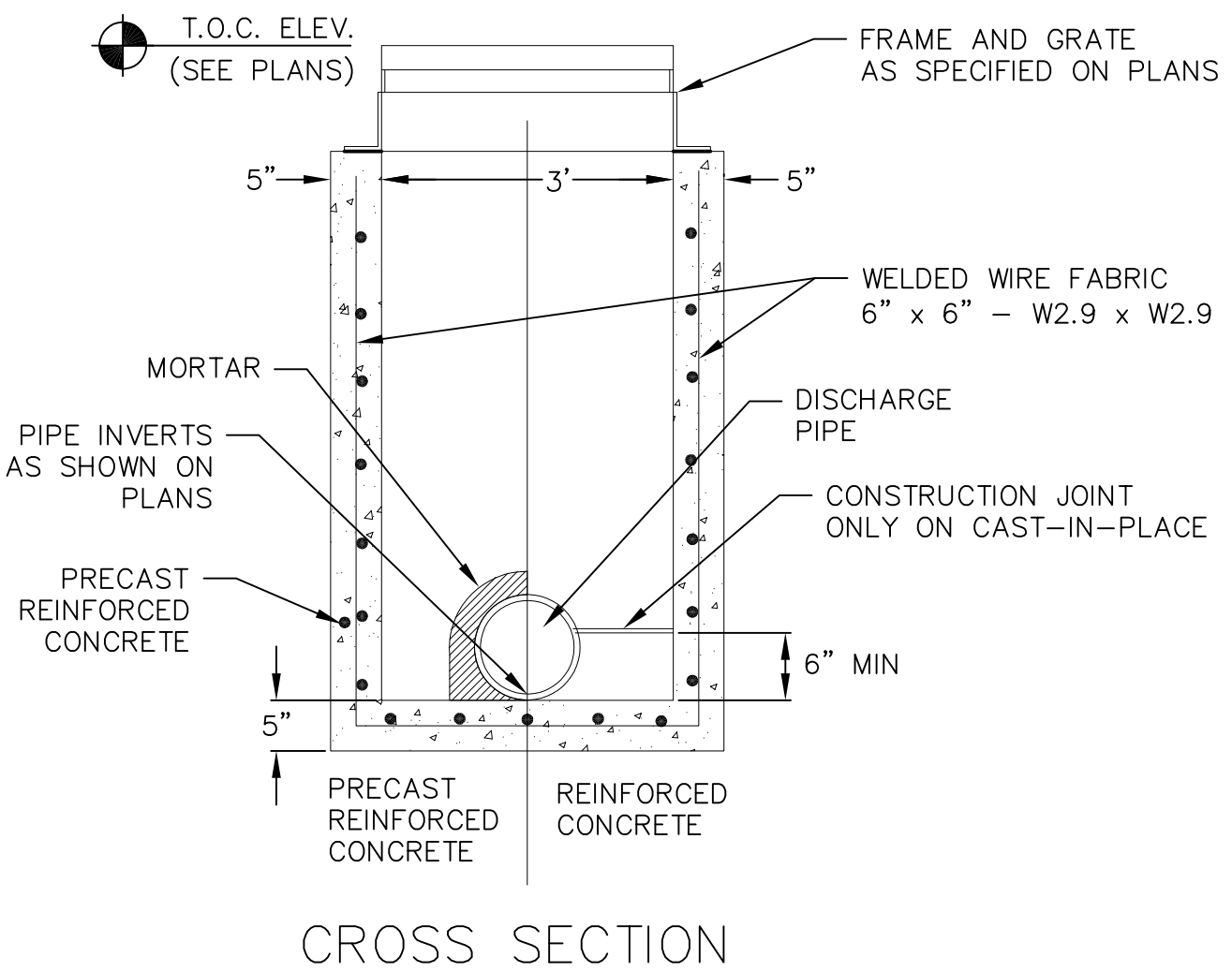
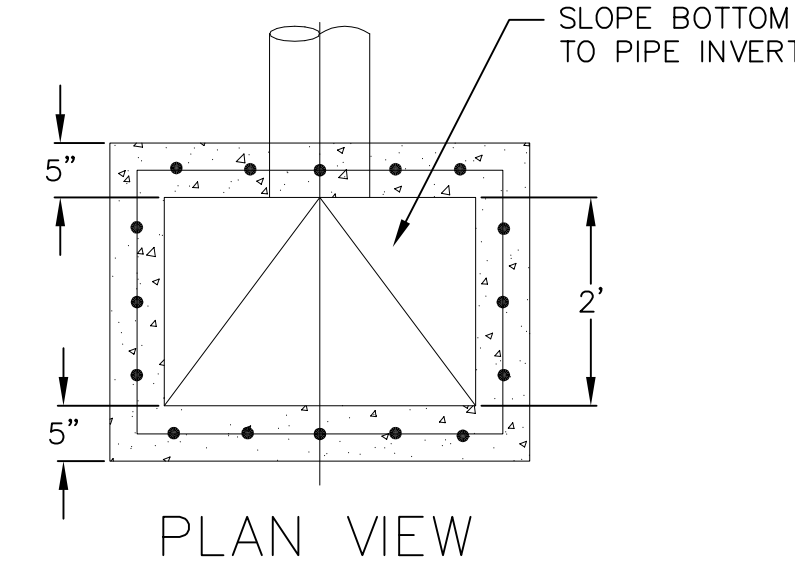
C500



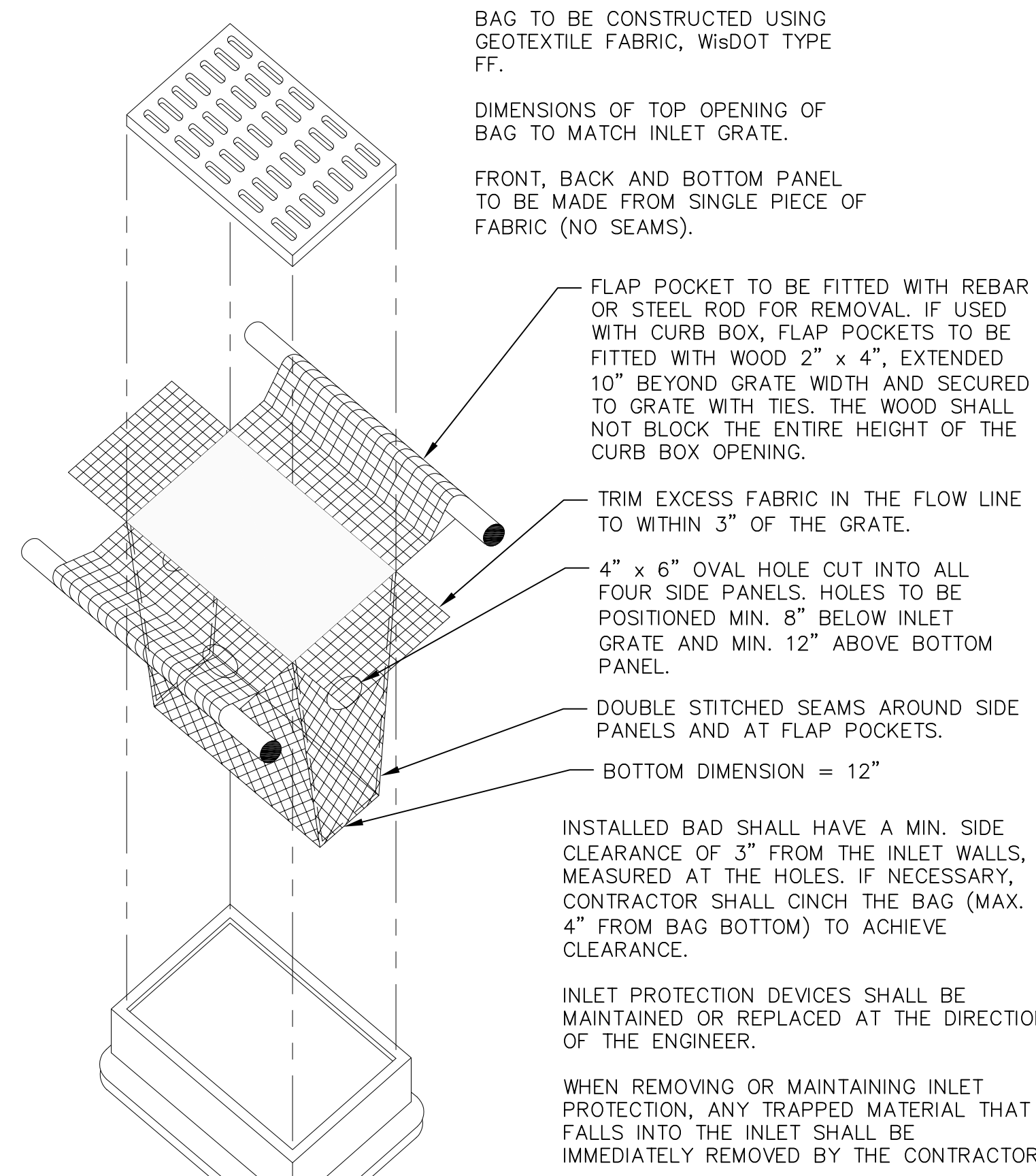
NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. x 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

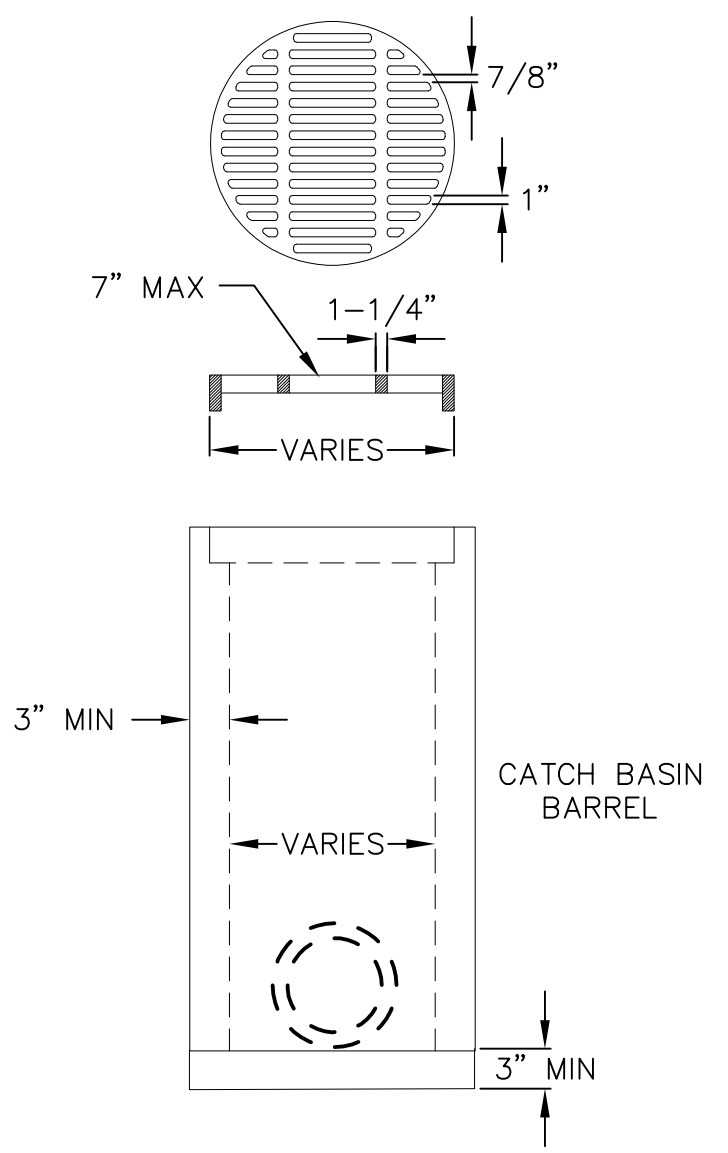
1 SILT FENCE
NOT TO SCALE



2 CURB INLET - TYPE 3, 2' x 3' BASIN
NOT TO SCALE



4 INLET PROTECTION TYPE D
NOT TO SCALE



CONTRACTOR TO VERIFY COMPATIBILITY OF FRAME AND GRATE WITH CATCH BASIN PRIOR TO PROCUREMENT.

FRAME AND GRATE AS SPECIFIED ON THE PLANS. WHERE NOT OTHERWISE SPECIFIED, FRAME AND GRATE SHALL ADHERE TO THE FOLLOWING:

GRATE IS CAST GRAY IRON MANUFACTURED TO MEET ASTM A-48 CLASS 35 B AND AASHTO M105 SPECIFICATIONS

GRATES ARE AASHTO H20 LOAD RATED

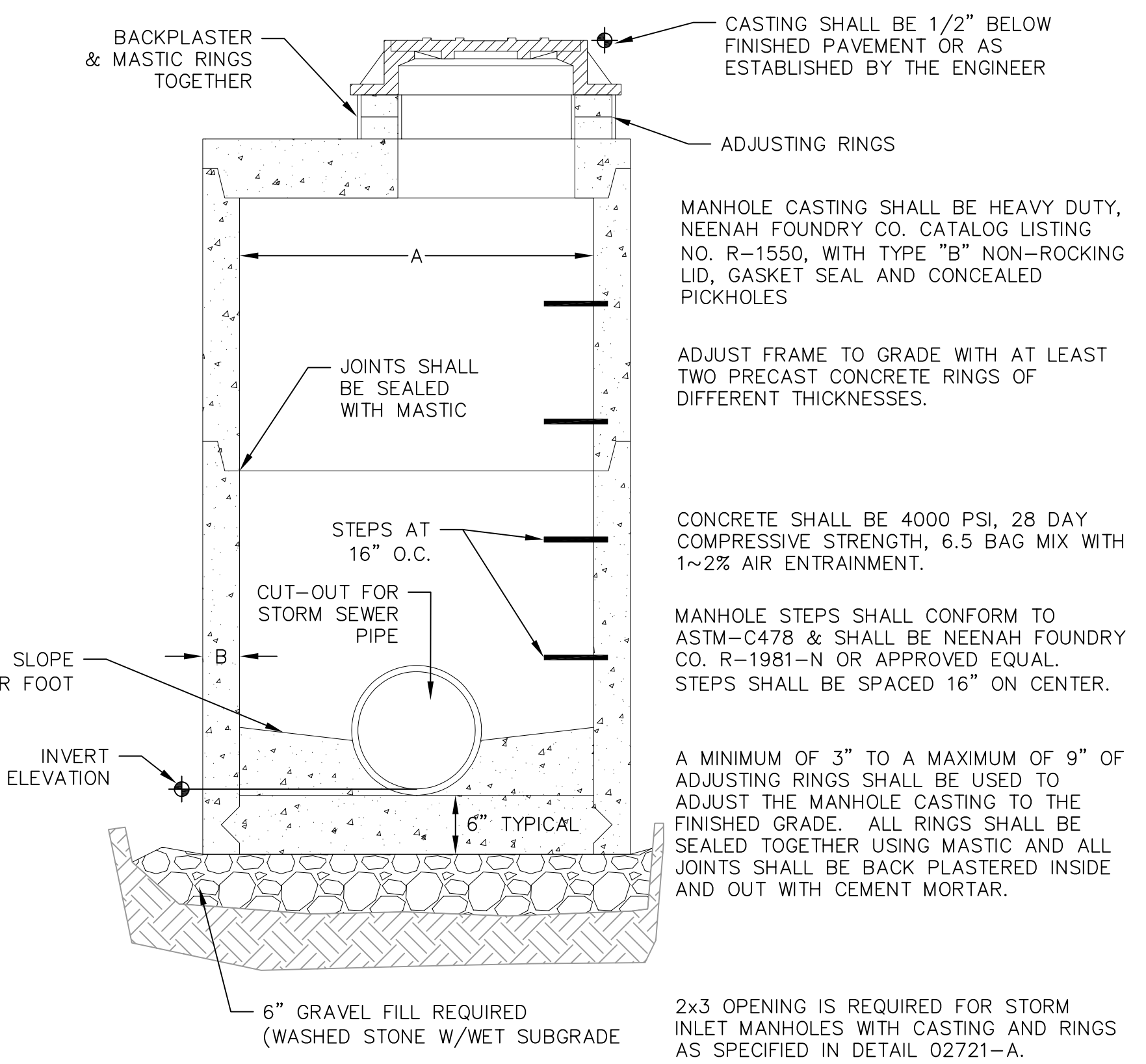
GRATE SETS FLUSH WITH TOP OF CATCH BASIN BELL

PRECAST REINFORCED CONCRETE CATCH BASIN IN MANUFACTURED TO MEET ASTM C-478 AND AASHTO M199 SPECIFICATIONS

CATCH BASIN JOINT MATERIAL: CONSEAL CS-102 AND/OR CS-202 OR EQUIVALENT WHICH MEETS OR EXCEEDS FEDERAL SPECIFICATION SS-S-210 (210A), AASHTO M-198B AND ASTM C-990

PIPE TO CATCH BASIN CONNECTORS: KOR-N-SEAL OR EQUIVALENT WHICH MEETS OR EXCEEDS REQUIREMENTS OF ASTM C-923

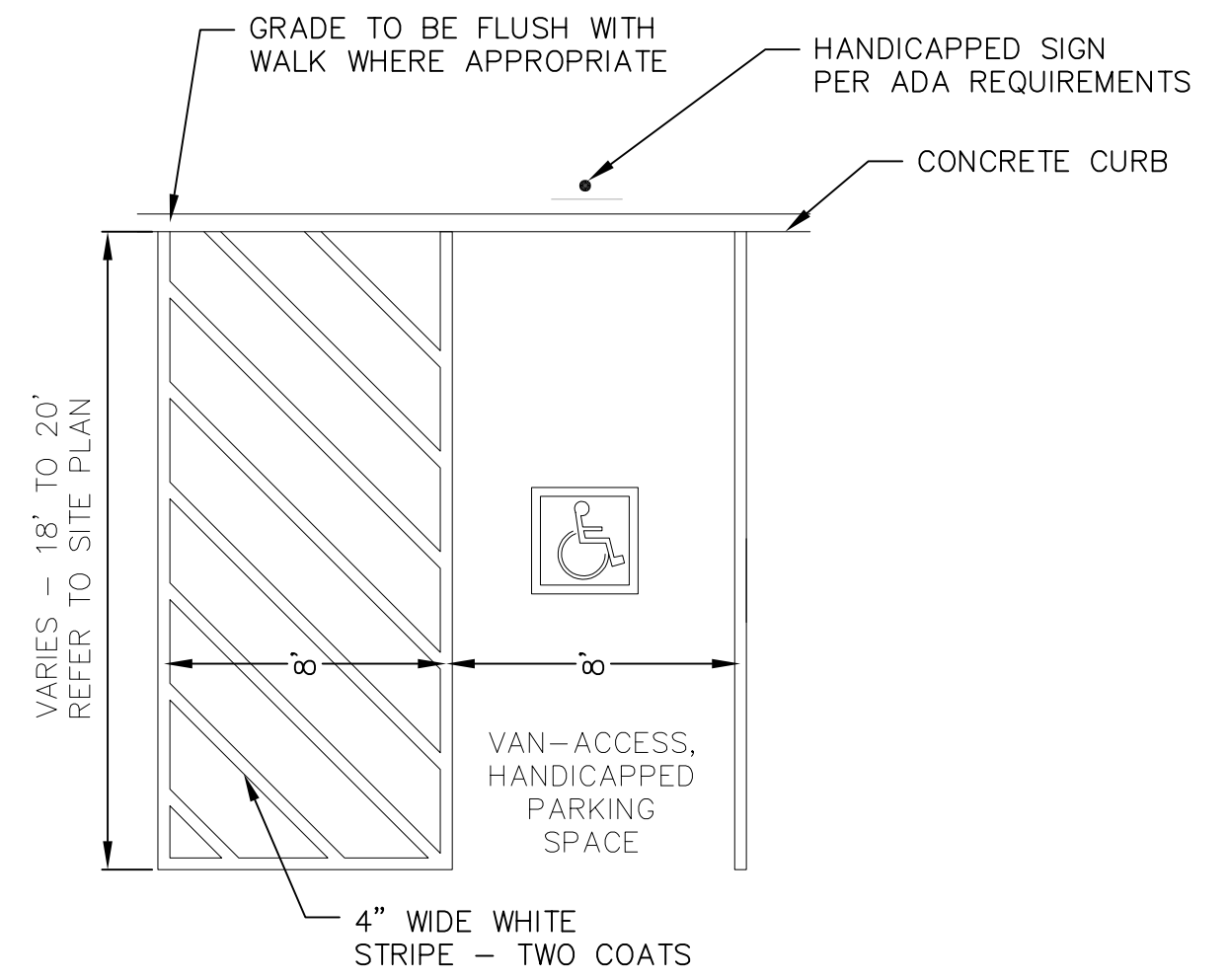
5 24" - DIA. FIELD INLET (FI) & GRATE
NOT TO SCALE



MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

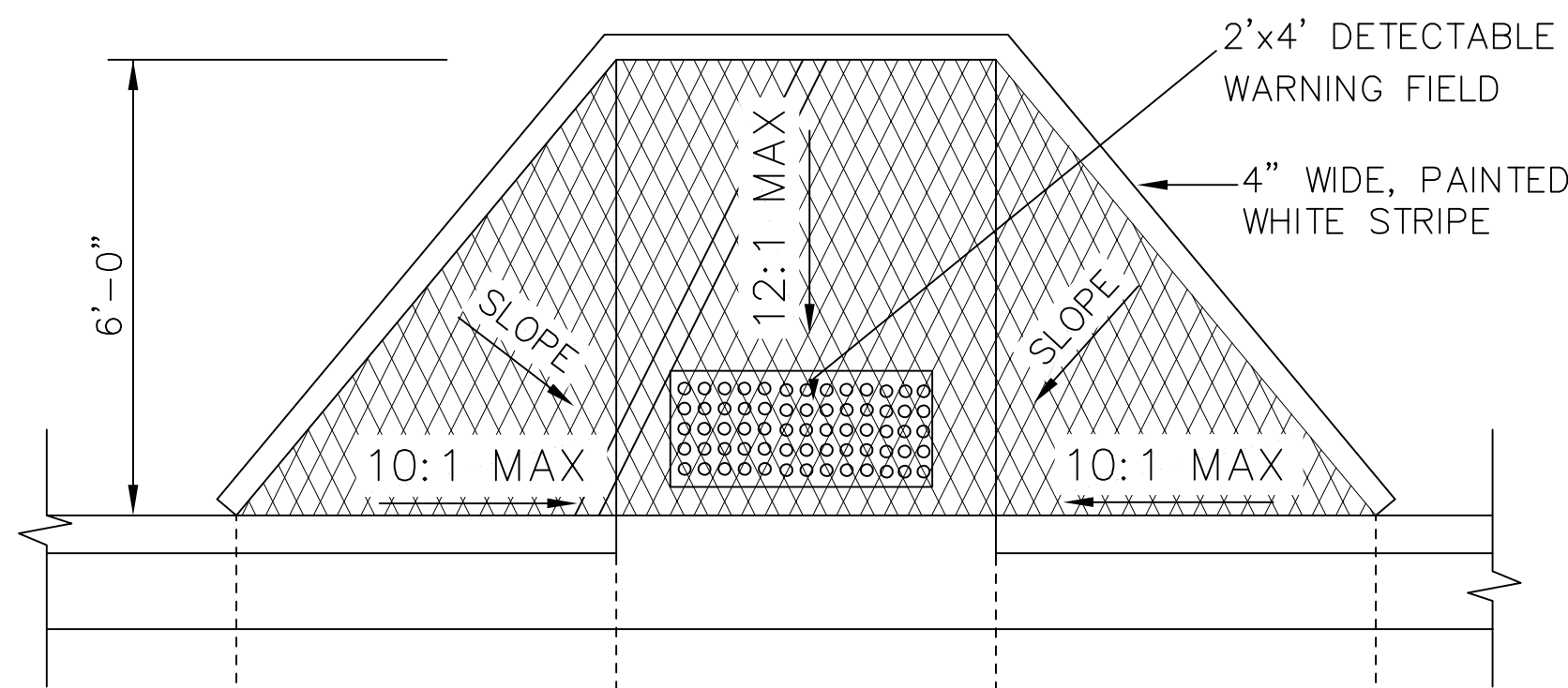
STORM MANHOLE DIMENSIONS

3 STORM SEWER MANHOLE
NOT TO SCALE



6 HANDICAP STRIPING
NOT TO SCALE

NOT FOR CONSTRUCTION

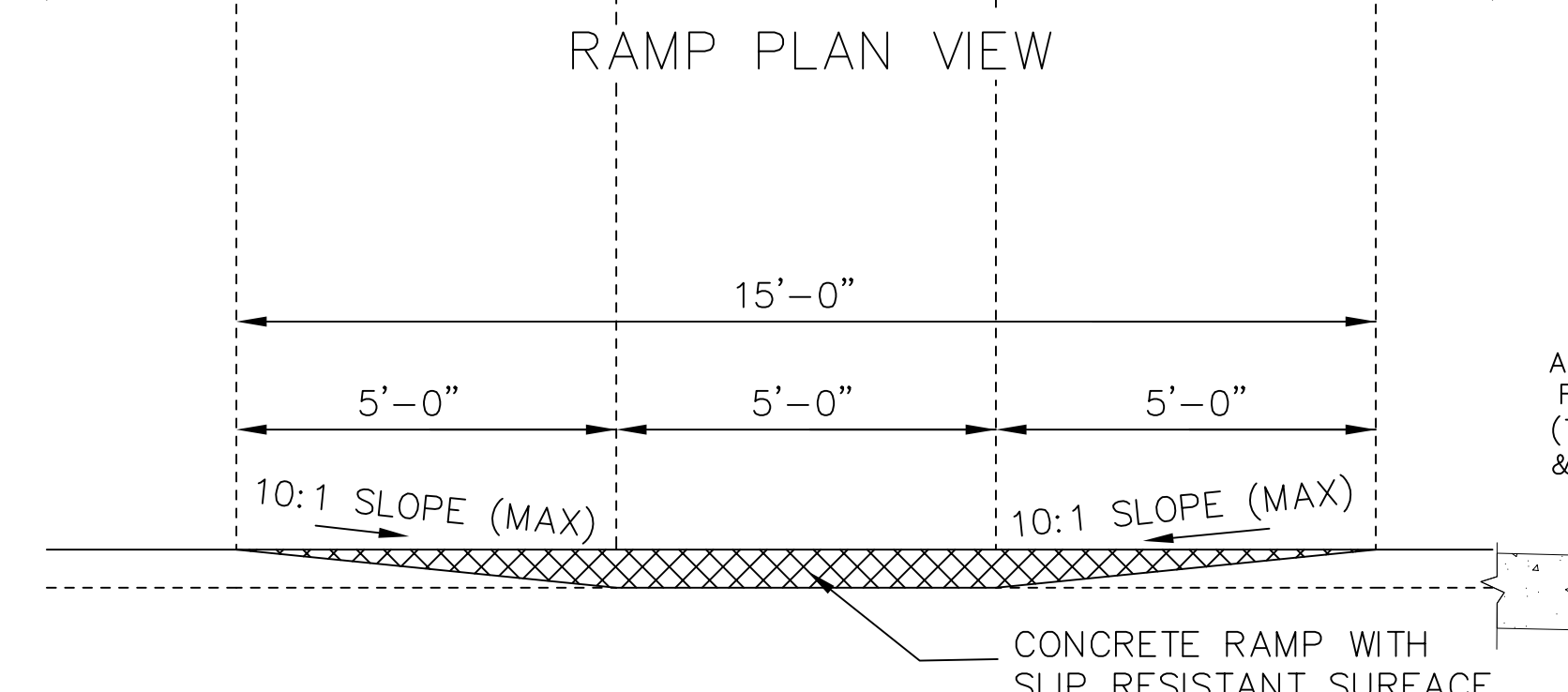


RAMP PLAN VIEW

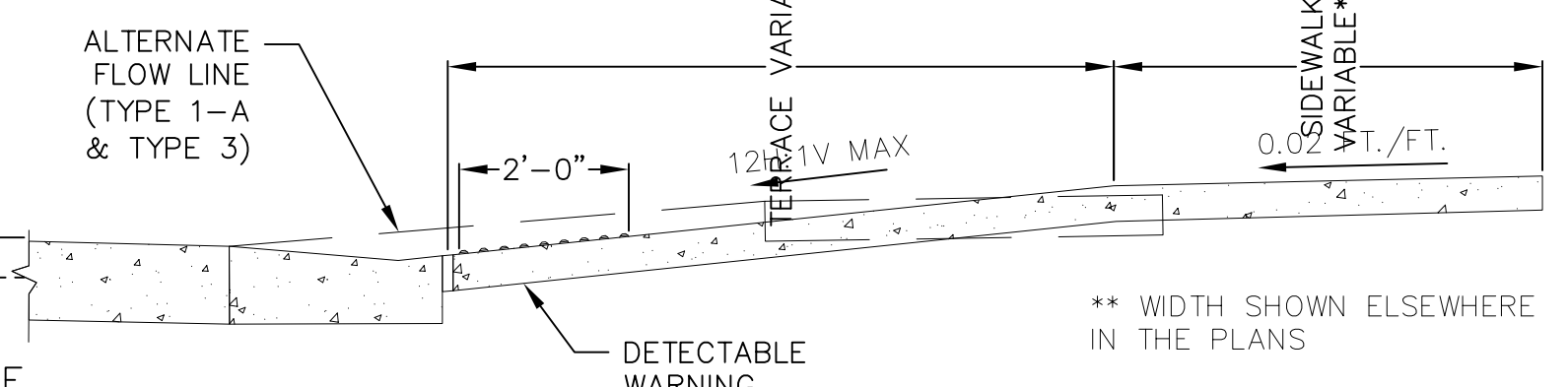
GENERAL NOTES
 RAMP SHALL BE BUILT AT 12:1 OR FLATTER. WHEN NECESSARY, THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.

THE RAMP SHALL BE BORDERED ON BOTH SIDES AND ON THE CURB LINE WITH A 4 INCH WIDE YELLOW STRIPE OR WITH BRICK OF A CONTRASTING COLOR. NORMALLY THE PAINT STRIPE ALTERNATE WILL BE USED. THE CONTRACTOR WILL APPLY THIS STRIPING UNLESS OTHERWISE SPECIFIED IN THE CONTRACT.

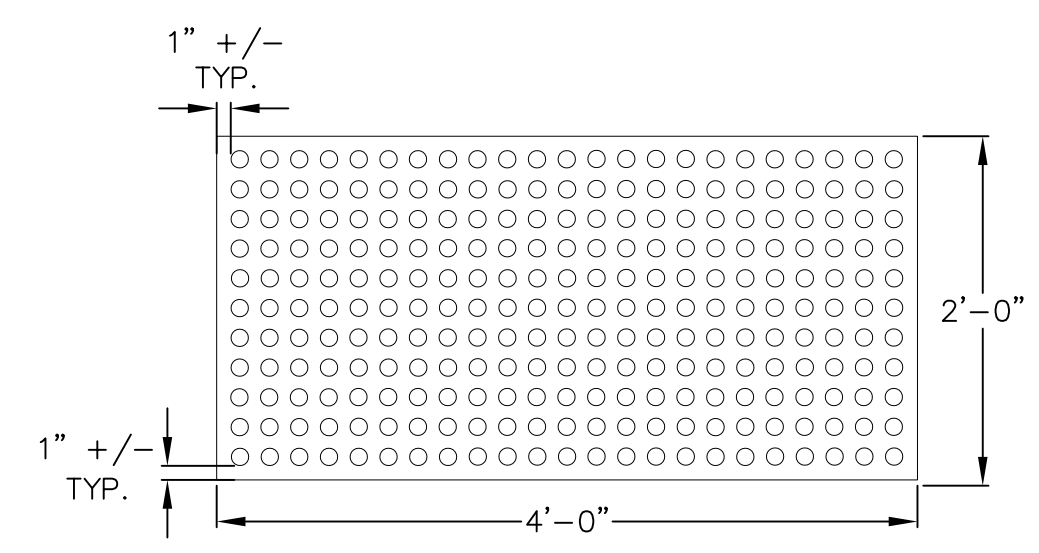
IF THE OWNER REQUIRES THE BRICK ALTERNATE, SPECIAL DETAILS AND PROVISIONS ARE SHOWN ELSEWHERE IN THE PLANS.



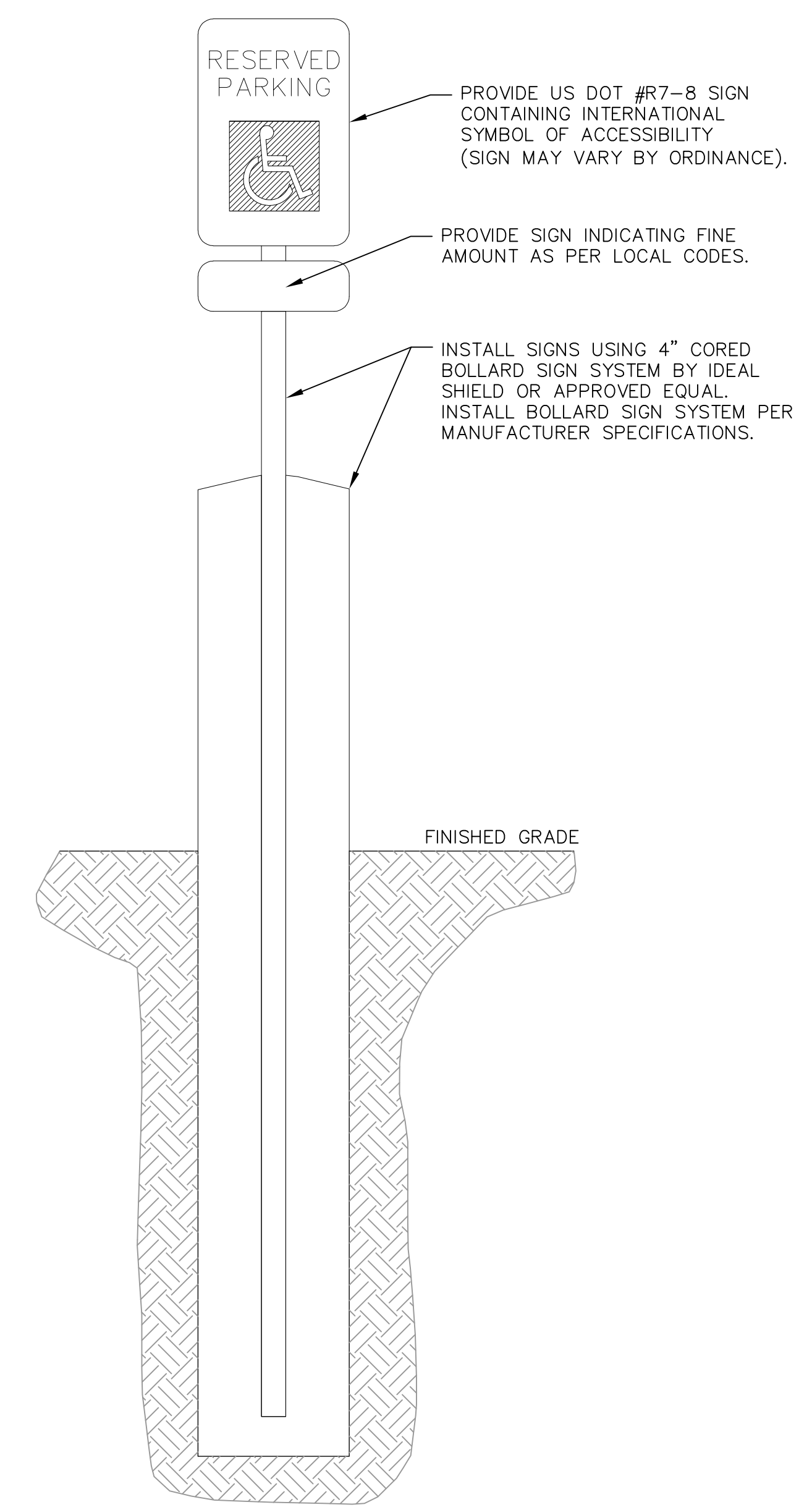
RAMP PROFILE VIEW



SECTION B-B



PLAN VIEW
 DETECTABLE WARNING FIELD (TYPICAL)

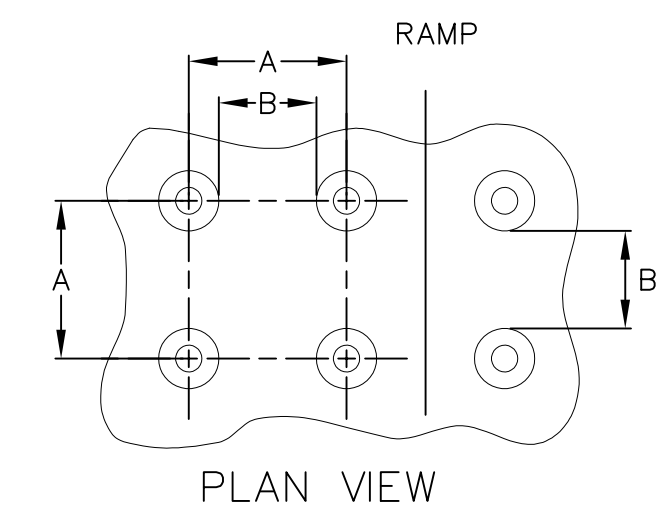


PROVIDE US DOT #R7-8 SIGN CONTAINING INTERNATIONAL SYMBOL OF ACCESSIBILITY (SIGN MAY VARY BY ORDINANCE).

PROVIDE SIGN INDICATING FINE AMOUNT AS PER LOCAL CODES.

INSTALL SIGNS USING 4" CORED BOLLARD SIGN SYSTEM BY IDEAL SHIELD OR APPROVED EQUAL. INSTALL BOLLARD SIGN SYSTEM PER MANUFACTURER SPECIFICATIONS.

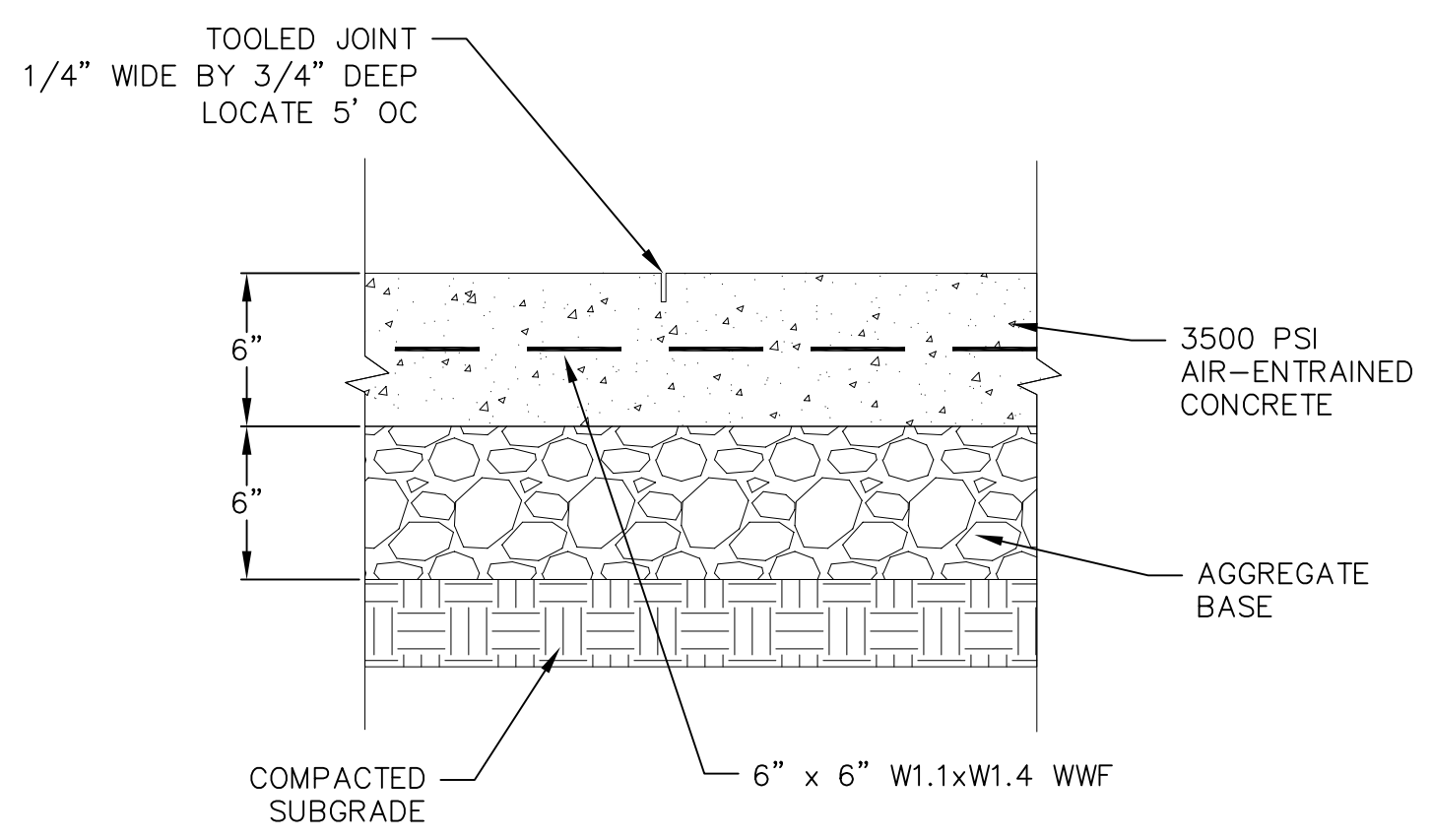
	MIN.	MAX.
A	1.6"	2.4"
B	0.65"	1.5"
C	*	*
D	0.9"	1.4"



TRUNCATED DOMES
 DETECTABLE WARNING
 PATTERN DETAIL

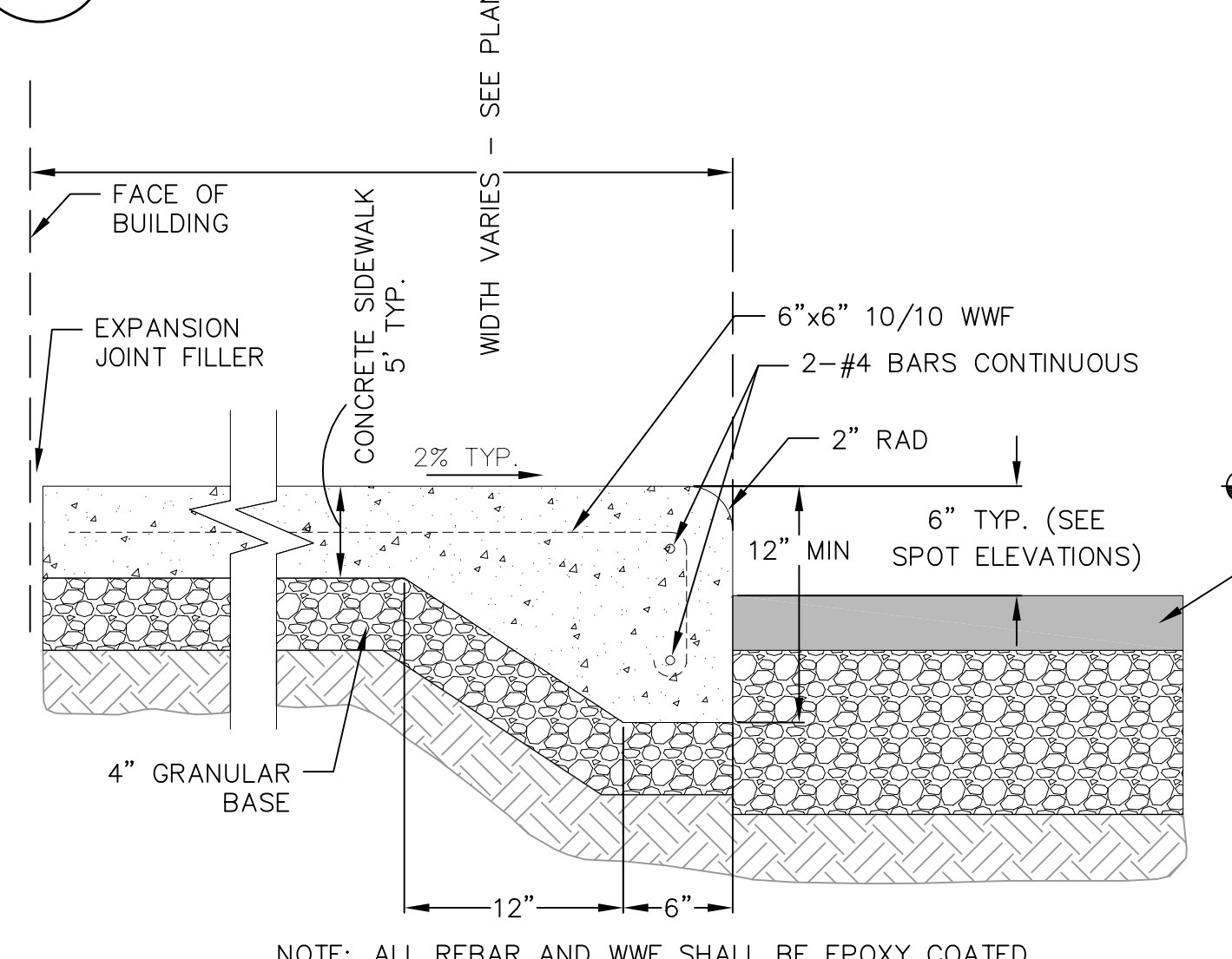
* THE C DIMENSION IS 50% TO 65% OF THE D DIMENSION

NOTE: TRUNCATED DOMES SHALL BE MANUFACTURED BY NEENAH FOUNDRY OR APPROVED EQUAL



NOTE: ALL WWF SHALL BE EPOXY COATED

1 SITE HANDICAP RAMP
 C502 NOT TO SCALE

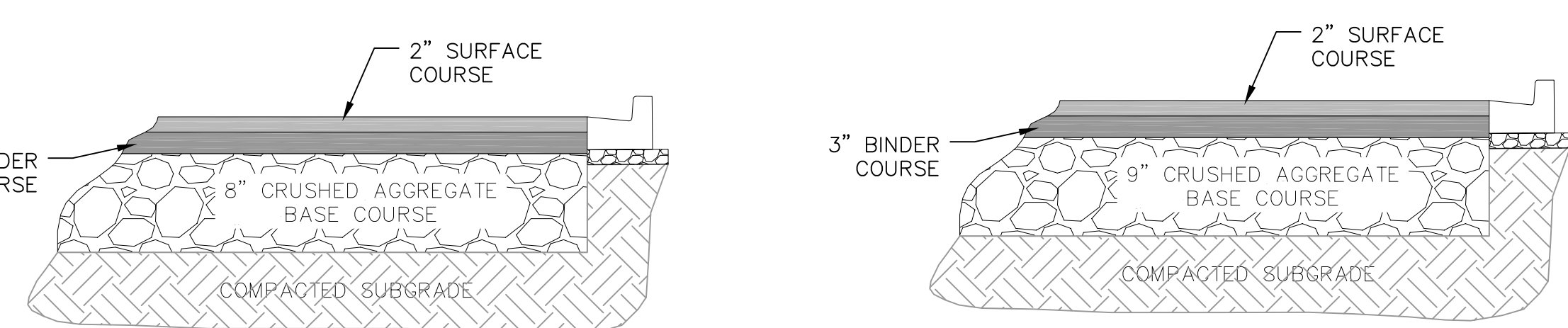


NOTE: ALL REBAR AND WWF SHALL BE EPOXY COATED

2 CONCRETE PAD
 C502 NOT TO SCALE

TOP OF CURB ELEV. VARIES SEE SITE PLAN FOR TOC ELEV.

3 HANDICAP/HILTON HONORS PARKING SIGN
 C502 NOT TO SCALE



LIGHT-DUTY BITUMINOUS PAVEMENT PARKING LOT

HEAVY-DUTY BITUMINOUS PAVEMENT PARKING LOT

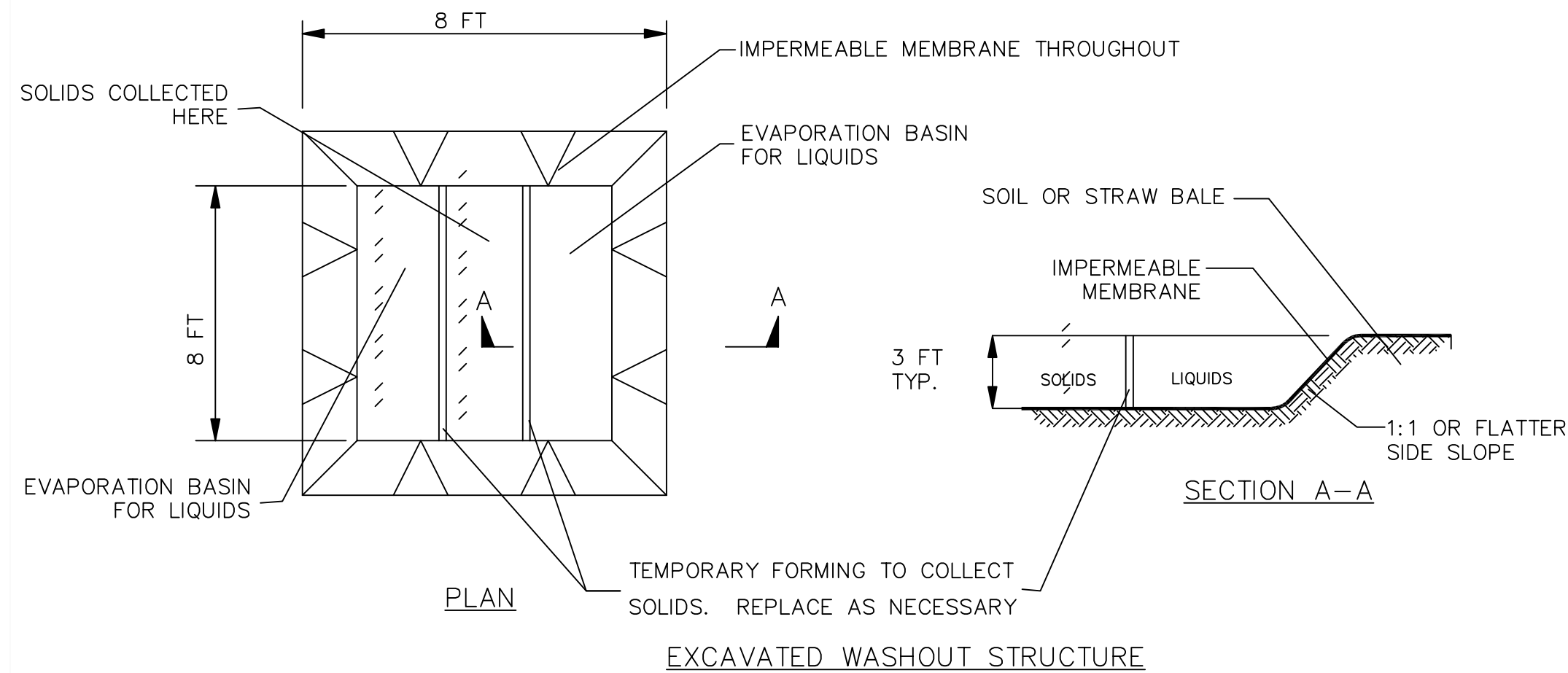
5 SITE PAVEMENT
 C502 NOT TO SCALE

4 CURBED SIDEWALK DETAIL (INTEGRAL)
 C502 NOT TO SCALE

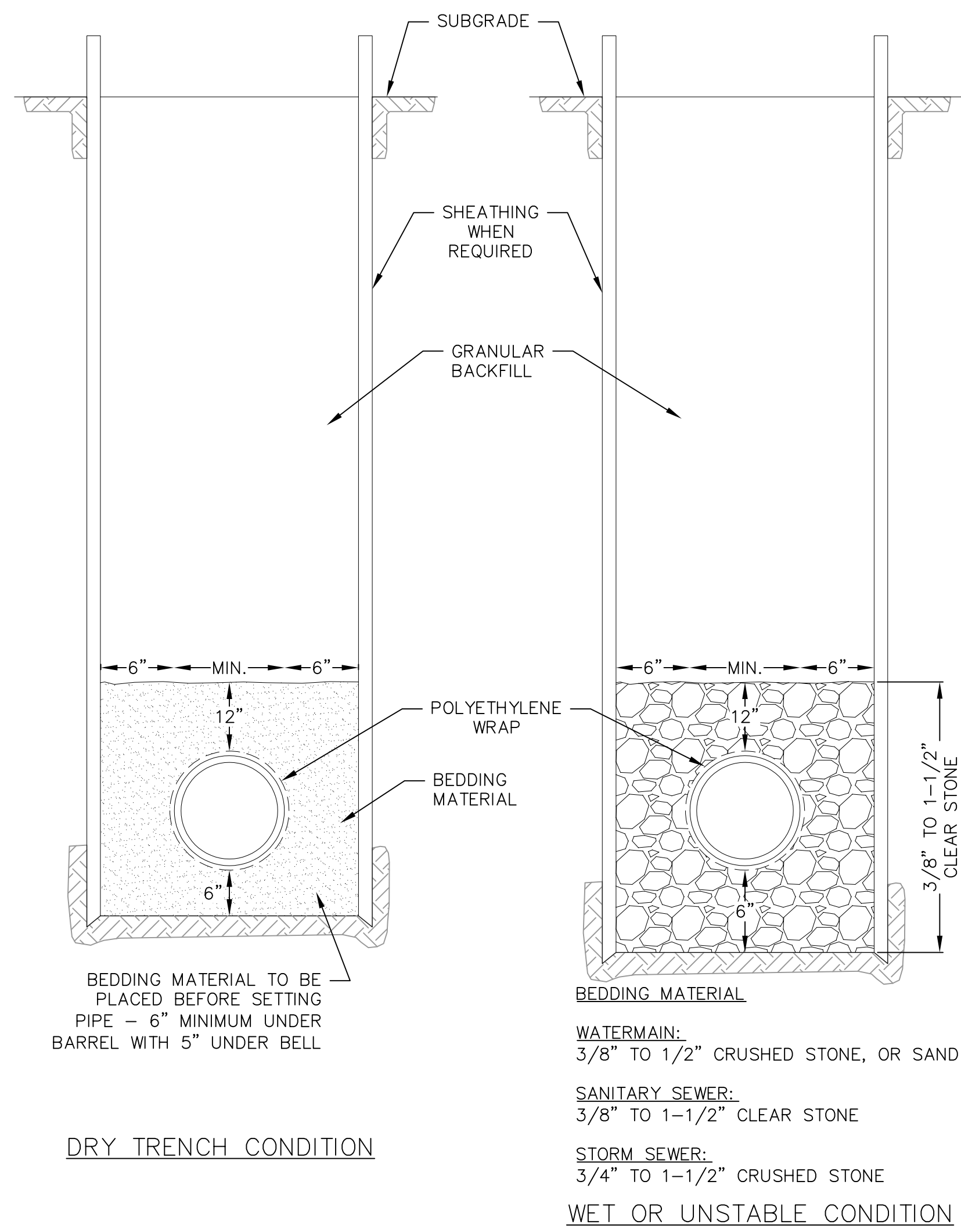
NOT FOR CONSTRUCTION

CONSTRUCTION SPECIFICATIONS

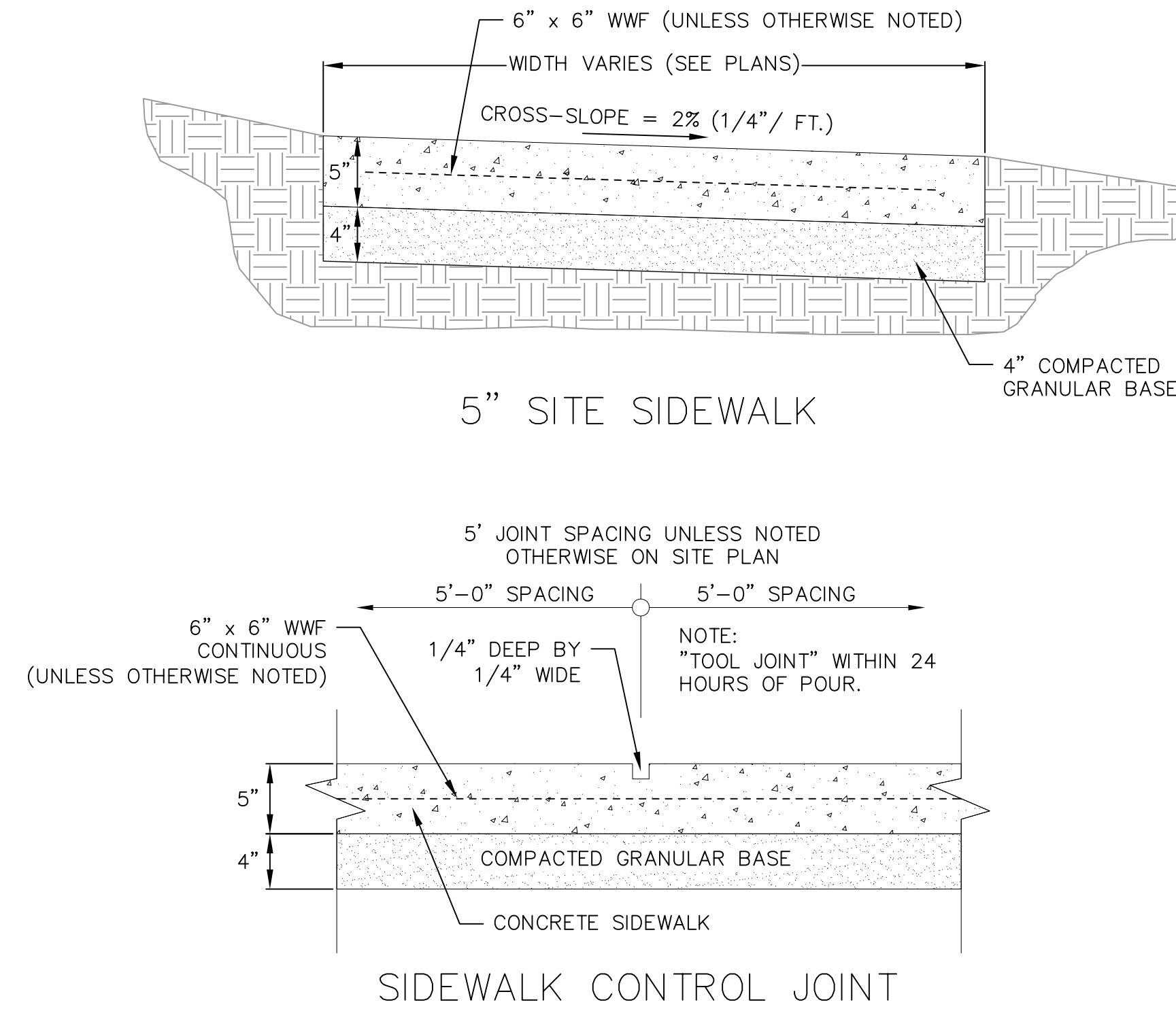
1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
3. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.



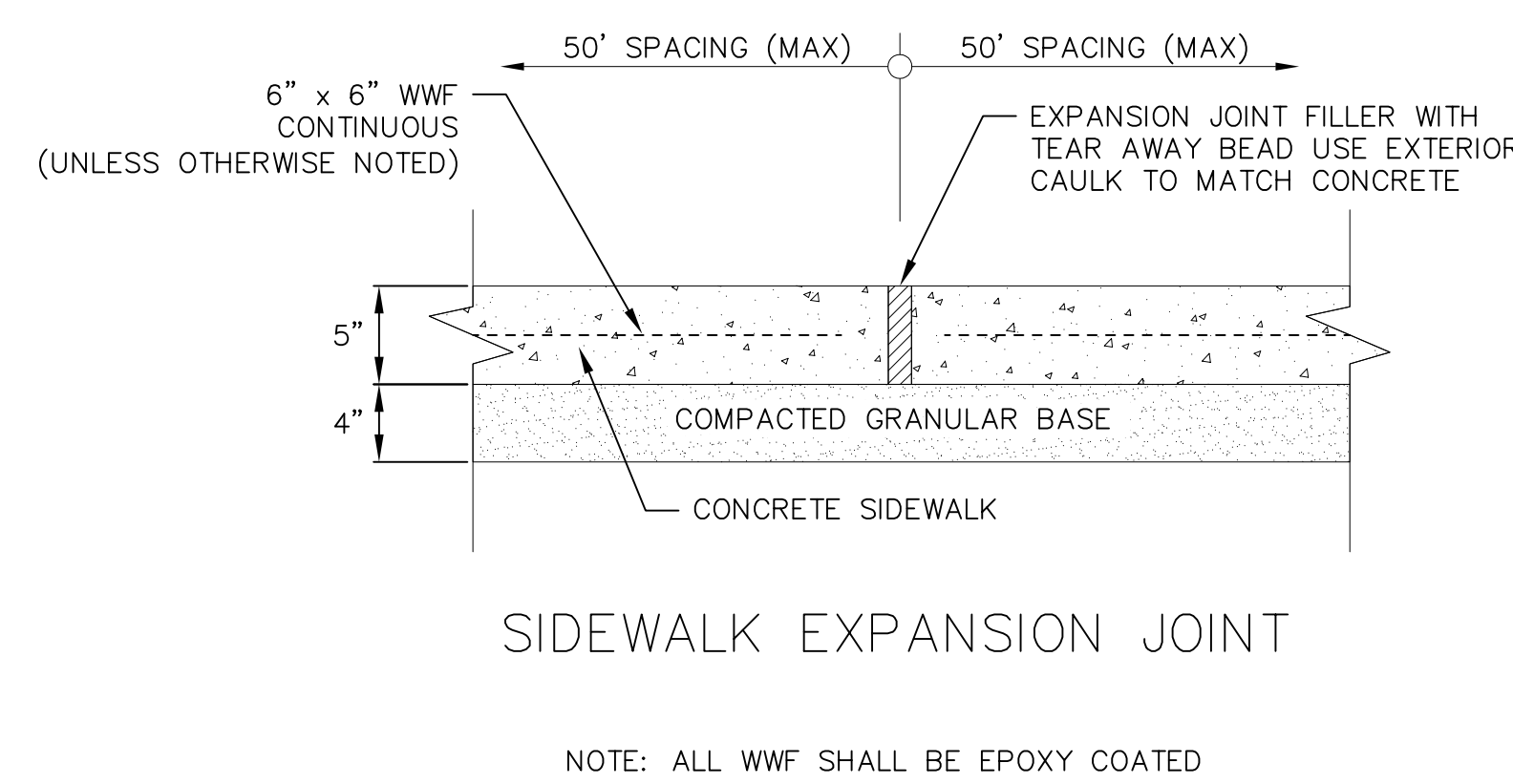
1 CONCRETE WASHOUT AREA
C503 NOT TO SCALE



4 STANDARD TRENCH SECTION
C503 NOT TO SCALE

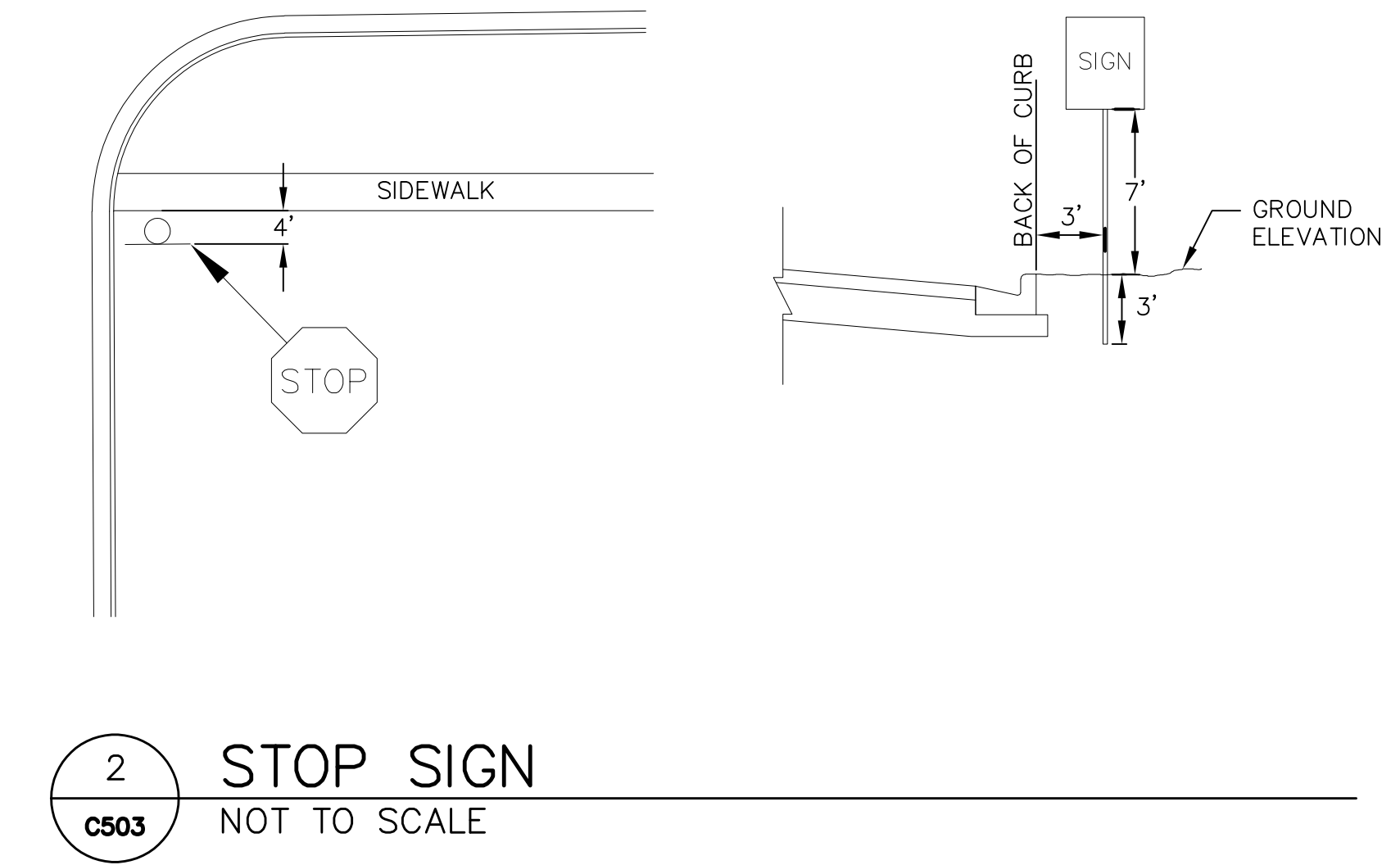


3 5 inch SIDEWALK
C503 NOT TO SCALE

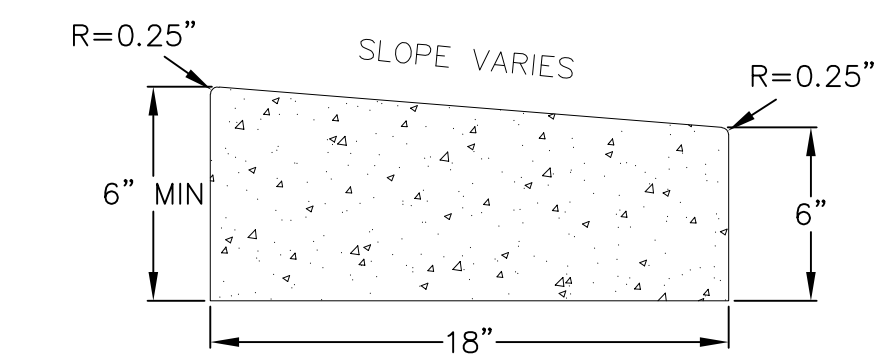


SIGNAGE NOTES:

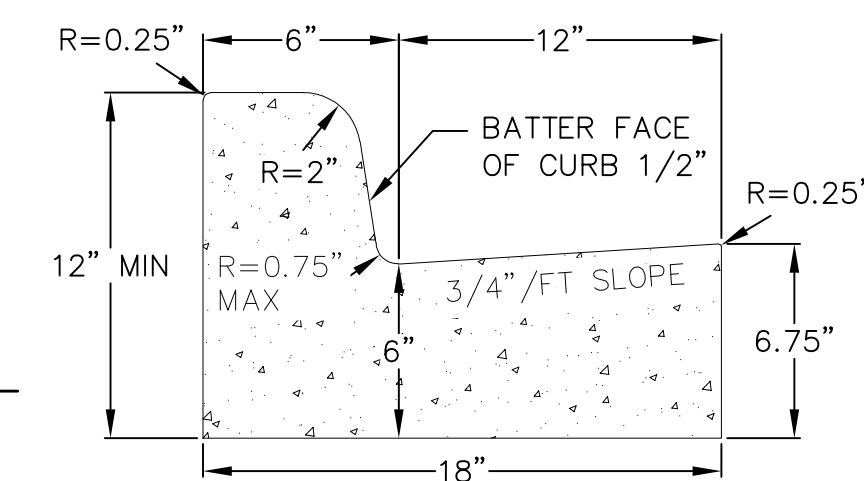
1. ALL SIGNS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
2. SIGNS SHALL BE A DISTANCE OF 7\"/>



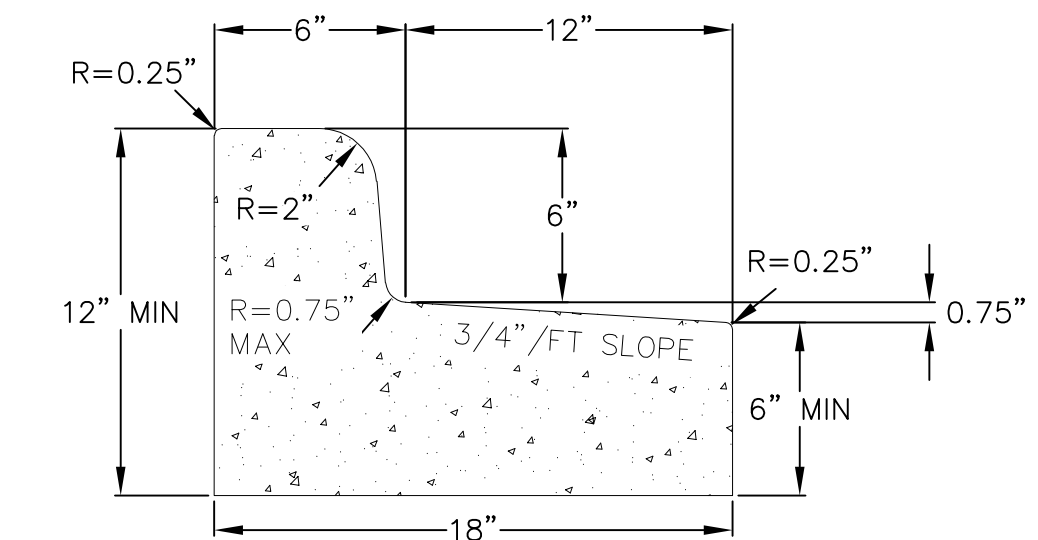
2 STOP SIGN
C503 NOT TO SCALE



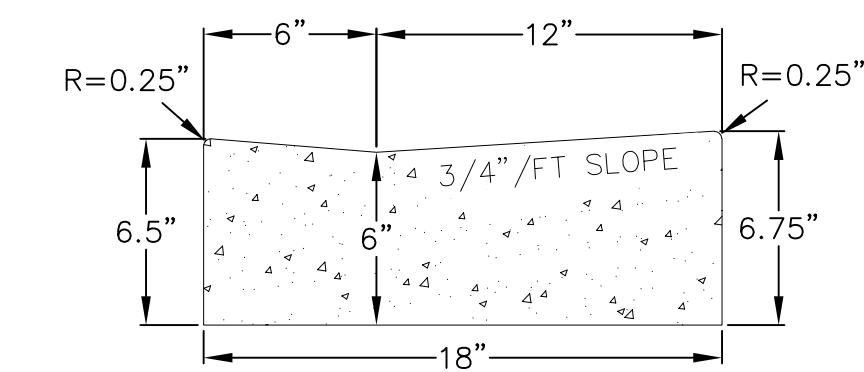
RIBBON CURB CROSS SECTION



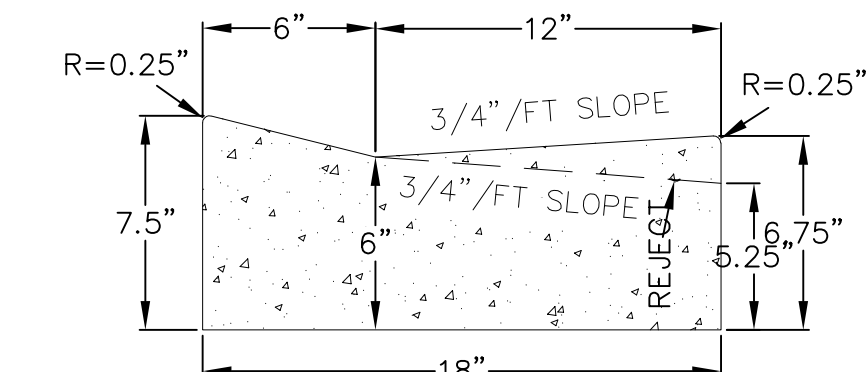
CURB AND GUTTER CROSS SECTION



CURB AND GUTTER REJECT SECTION



HANDICAP RAMP GUTTER CROSS SECTION



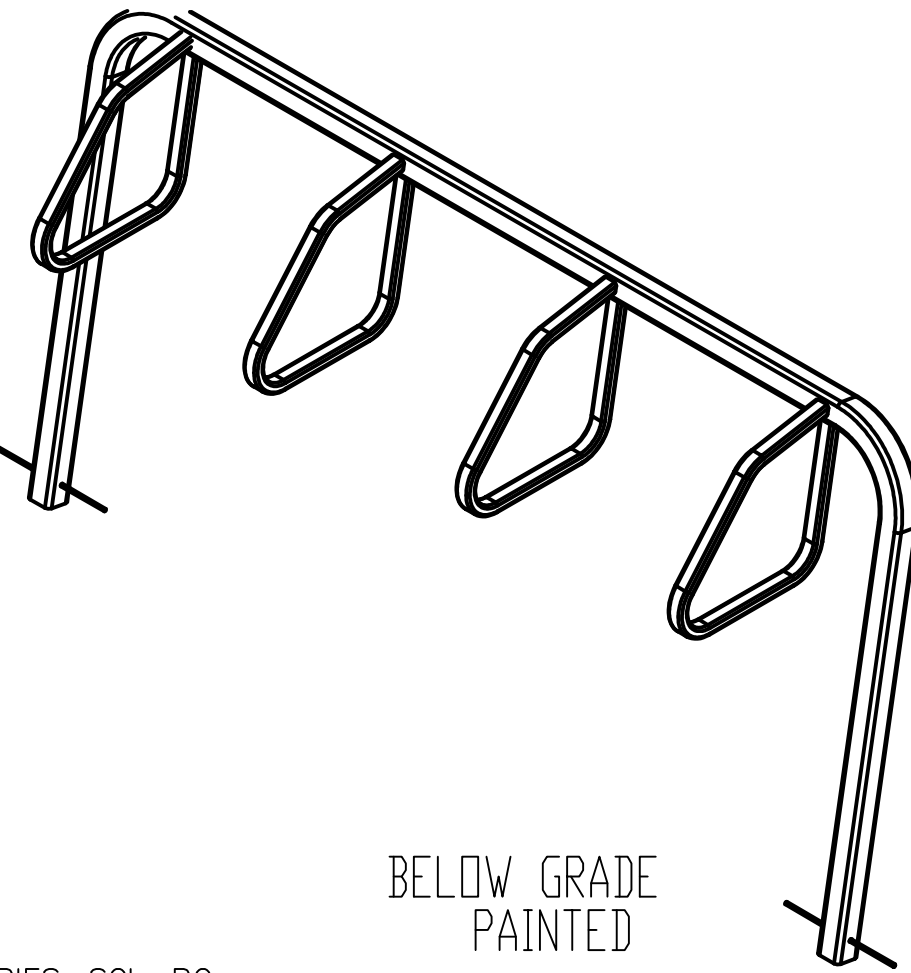
ROLL FACE GUTTER CROSS SECTION

5 18 inch CONCRETE CURB AND GUTTER
C503 NOT TO SCALE

NOT FOR CONSTRUCTION

SARIS CYCLING GROUP

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BELOW GRADE
PAINTED

CITY RACK, 2400 SERIES, SGL, BG



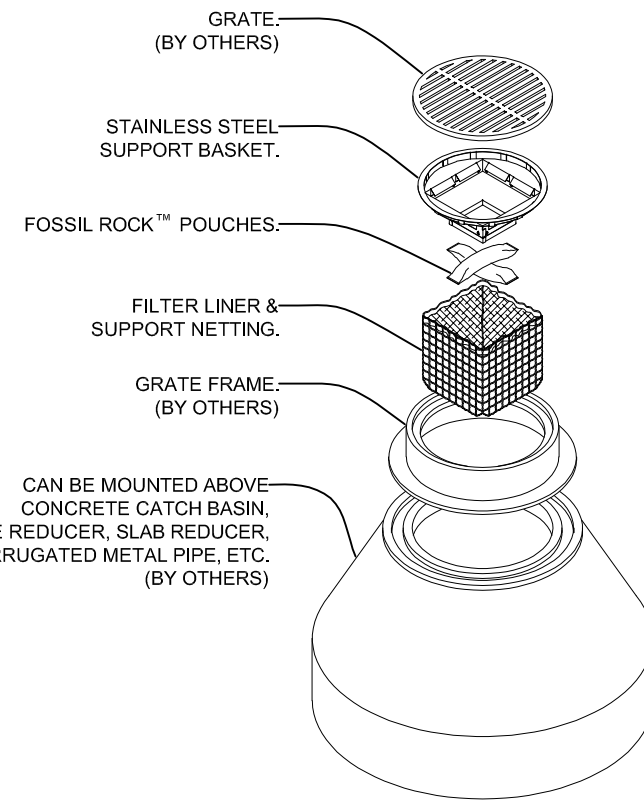
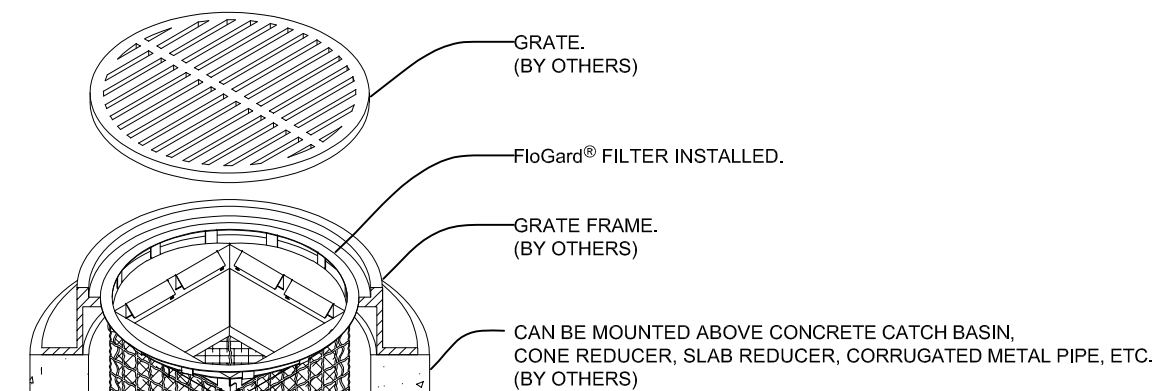
WE BRING CYCLING TO LIFE.
5253 VERONA RD, MADISON WI 53711
1-800-783-7577 / 1-608-274-1702
WWW.SARISCYCLING.COM

- NOTES:
- DO NOT SCALE DRAWING.
 - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - WEIGHT IS RACK ONLY, NOT TO BE CONSIDERED AS SHIPPING WEIGHT.
 - FINISHING OPTIONS INCLUDE SUPER DURABLE POLYESTER POWDERCOAT AND HOT DIP GALVANIZING.
 - SEE WEBSITE OR CATALOG FOR POLYESTER POWDERCOAT COLOR OPTIONS.

1 BIKE RACK DETAIL (4-STALL SHOWN)
C504 NOT TO SCALE

FGP-0003

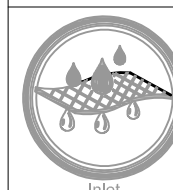
SPECIFIER CHART					
MODEL NUMBER	INLET ID (Ø INCHES)	GRATE OD (Ø INCHES)	SOLIDS STORAGE CAPACITY (CU FT)	FILTERED FLOW (GFS)	TOTAL BYPASS CAPACITY (GFS)
FGP-RF15F	16	18	0.3	0.4	2.8
FGP-RF18F	18	20	0.8	0.7	4.7
FGP-RF20F	20	23	0.8	0.7	4.7
FGP-RF21F	21	23.5	0.8	0.7	4.7
FGP-RF22F	22	24	0.8	0.7	4.7
FGP-RF24F	24	26	0.8	0.7	4.7
FGP-RF30F	30	32	2.2	1.5	6.1
FGP-RF36F	36	39	3.6	2.0	8.1



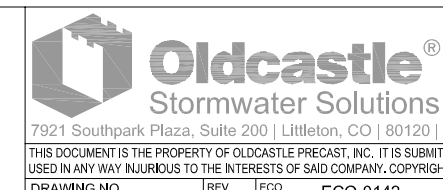
NOTES:

- Filter insert shall have a high flow bypass feature.
- Filter support frame shall be constructed from stainless steel Type 304.
- Filter medium shall be Fossil Rock™, installed and maintained in accordance with manufacturer specifications.
- Storage capacity reflects 80% of maximum solids collection prior to impeding filtering bypass.

EXPLODED VIEW
SCALE: 1/2



FloGard®
Catch Basin Insert Filter
Circular Frame Style



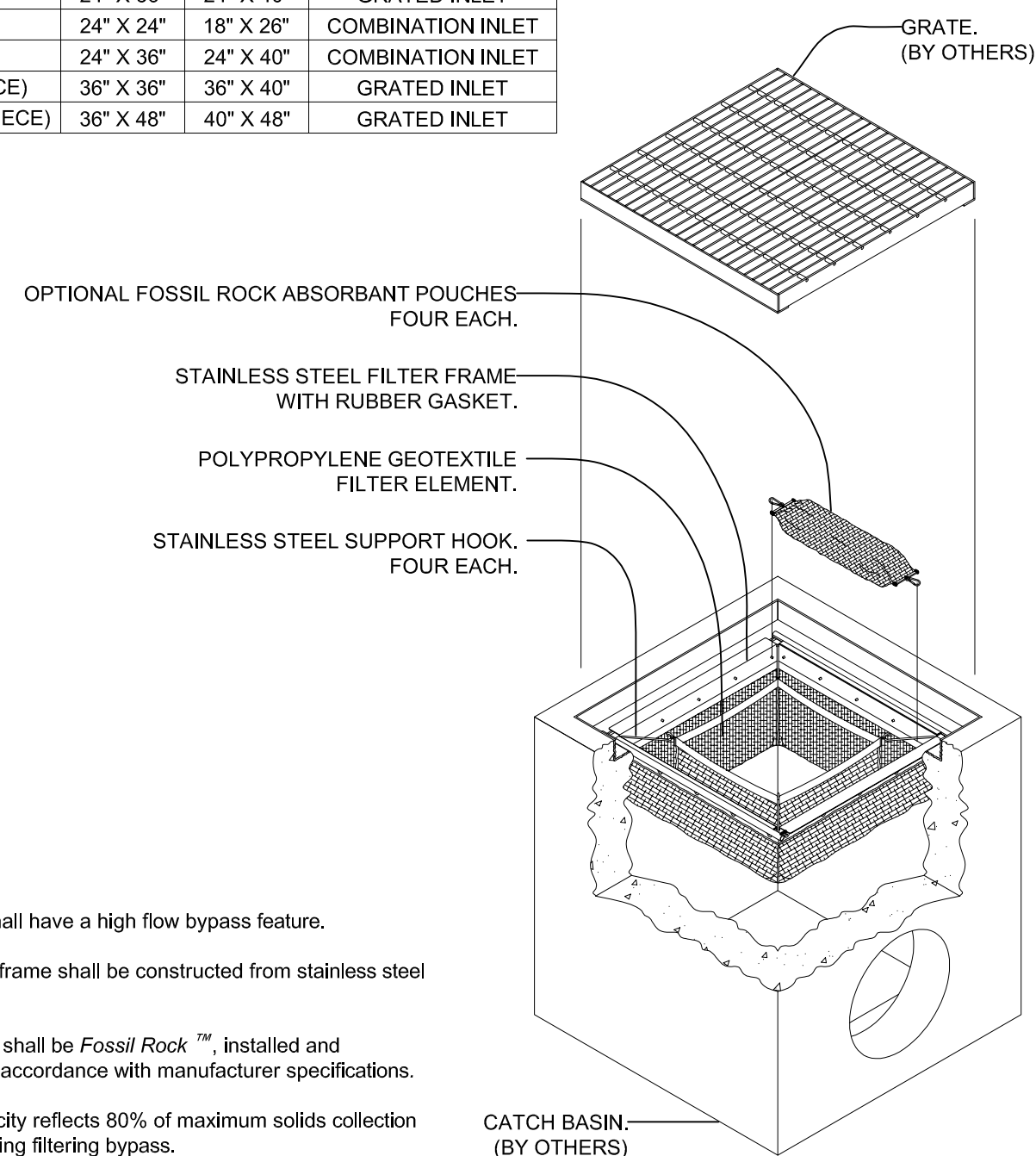
7921 Southpark Plaza, Suite 200 | Littleton, CO 80120 | Ph: 800-579-8819 | oldcastlestormwater.com
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DRAWING NO. FGP-0003
REV. E
DATE: JPR 7/13/16
SHEET 1 OF 1

3 OIL & GREASE INLET FILTER (CIRCULAR)
C504 NOT TO SCALE

NOT FOR CONSTRUCTION

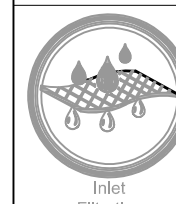
FG-0001

SPECIFIER CHART			
MODEL	INLET ID	GRATE OD	COMMENTS
FF-12D	12" X 12"	15" X 15"	GRATED INLET
FF-16D	16" X 16"	18" X 18"	GRATED INLET
FF-18D	18" X 18"	20" X 20"	GRATED INLET
FF-1836SD	18" X 36"	18" X 40"	GRATED INLET
FF-1836DGO	18" X 36"	18" X 40"	COMBINATION INLET
FF-24D	24" X 24"	26" X 26"	GRATED INLET
FF-2436SD	24" X 36"	24" X 40"	GRATED INLET
FF-24DGO	24" X 24"	18" X 26"	COMBINATION INLET
FF-2436DGO	24" X 36"	24" X 40"	COMBINATION INLET
FF-36D (2 PIECE)	36" X 36"	36" X 40"	GRATED INLET
FF-3648D (2 PIECE)	36" X 48"	40" X 48"	GRATED INLET



NOTES:

- Filter insert shall have a high flow bypass feature.
- Filter support frame shall be constructed from stainless steel Type 304.
- Filter medium shall be Fossil Rock™, installed and maintained in accordance with manufacturer specifications.
- Storage capacity reflects 80% of maximum solids collection prior to impeding filtering bypass.



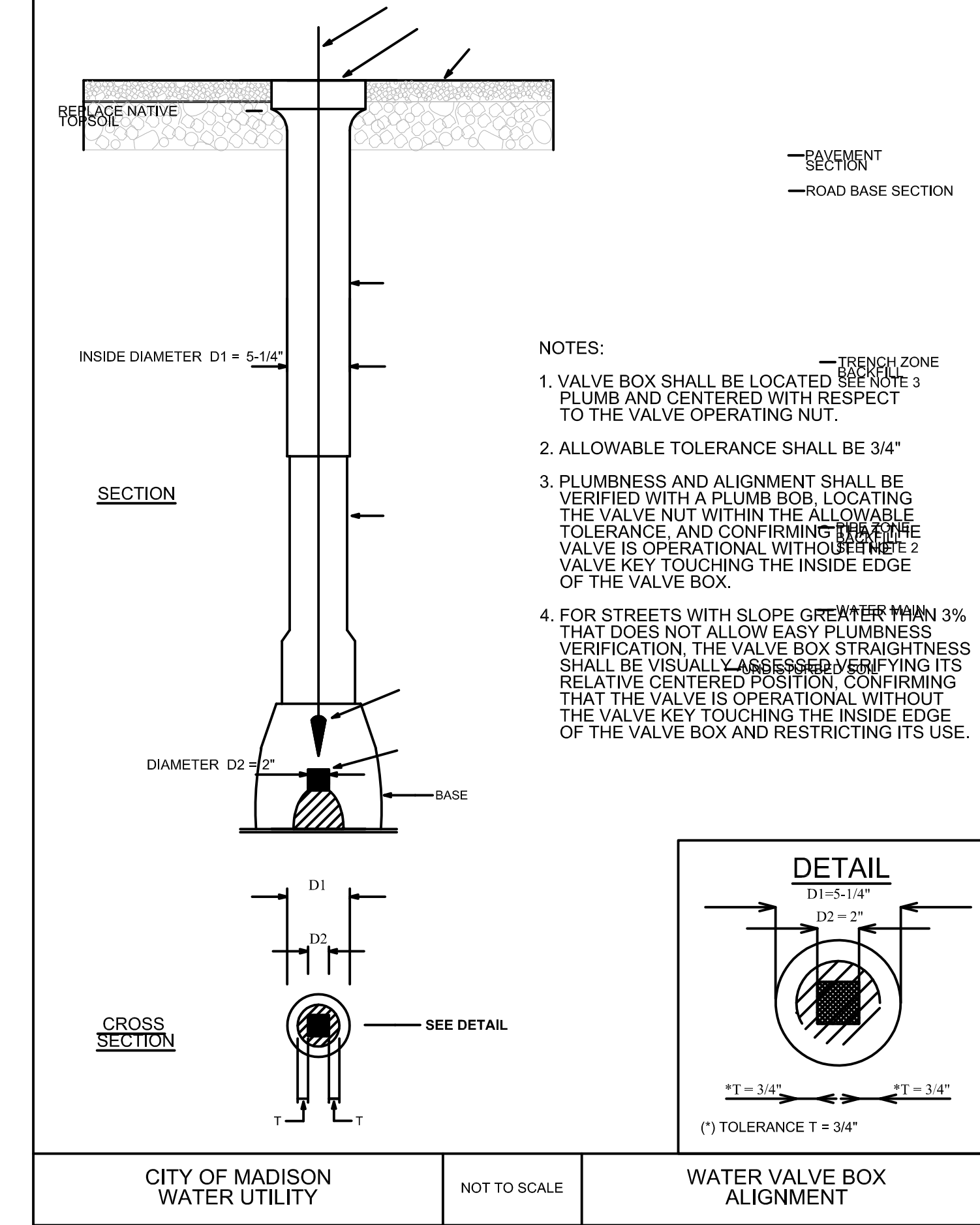
FloGard®
Catch Basin Insert Filter
Grated Inlet Style



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REV. E
DATE: JPR 7/13/16
SHEET 1 OF 2

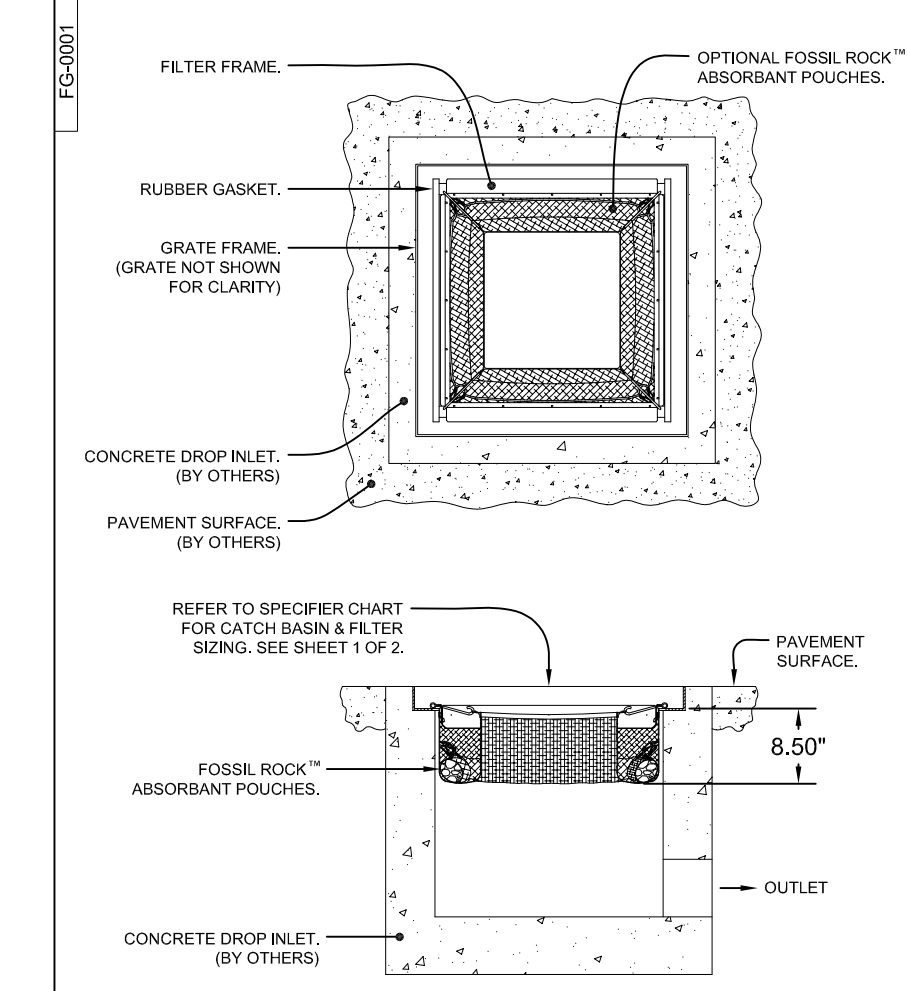
4 OIL & GREASE INLET FILTER (RECTANGULAR)
C504 NOT TO SCALE

PART VII - WATER MAINS AND SERVICE LATERALS
DETAIL DRAWING NO. 7.06
REVISED: 12/2015



2 STANDARD GATE VALVE BOX SETTING
C504 NOT TO SCALE

FG-0001



FloGard®
Catch Basin Insert Filter
Grated Inlet Style

Oldcastle®
Stormwater Solutions

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SHEET 1 OF 2



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MIDDLETON, WI 53562
(608) 829-1750
(608) 829-3056 (FAX)



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Phone: (800) 261-3898

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MADISON, WI 53713
CLIENT:
RIMROCK RETAIL INVESTORS, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200

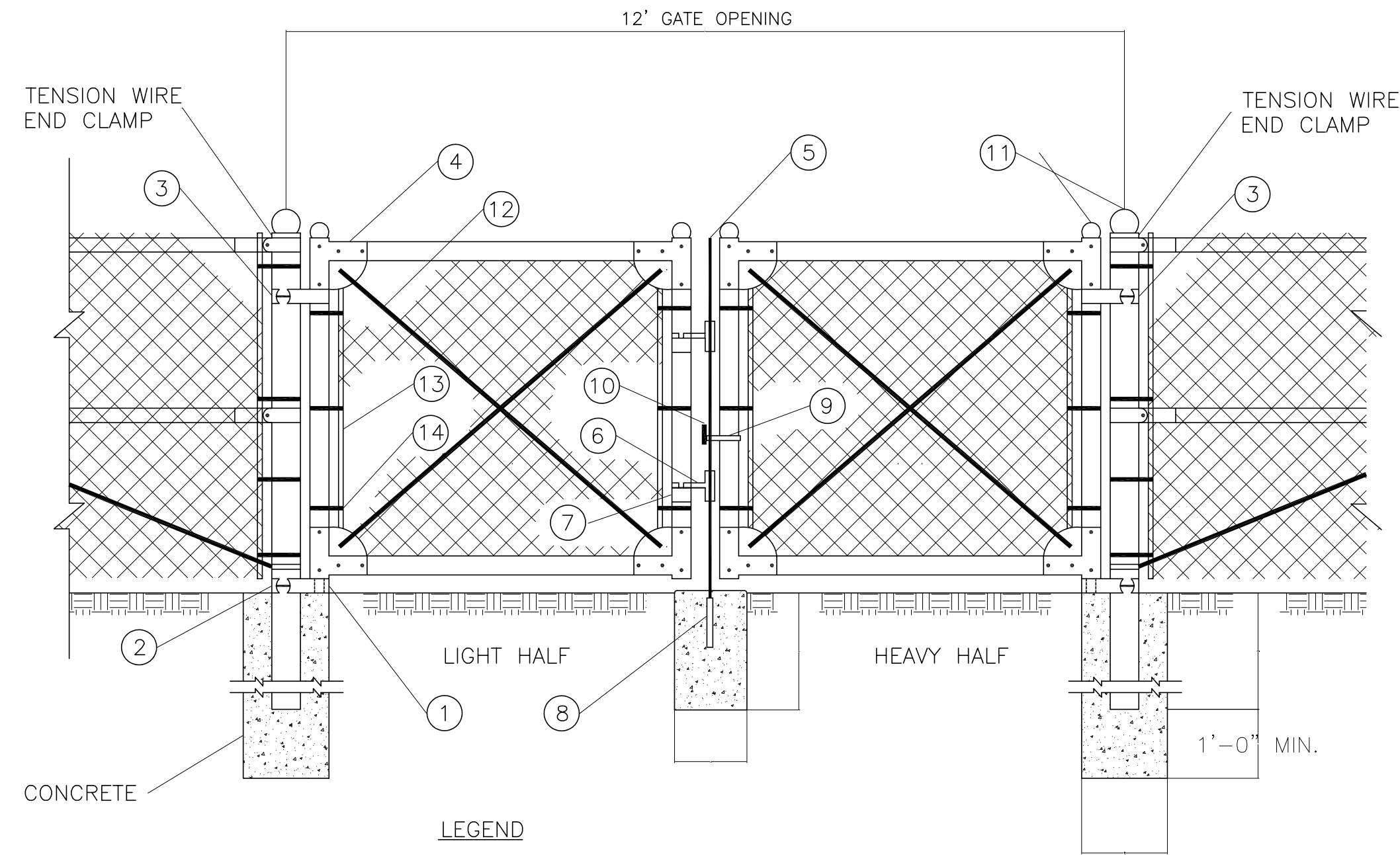
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DRAWN BY: JGOL
DATE:
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QTY SUBMITTAL 04-10-2019

CONSTRUCTION
DETAILS

C504

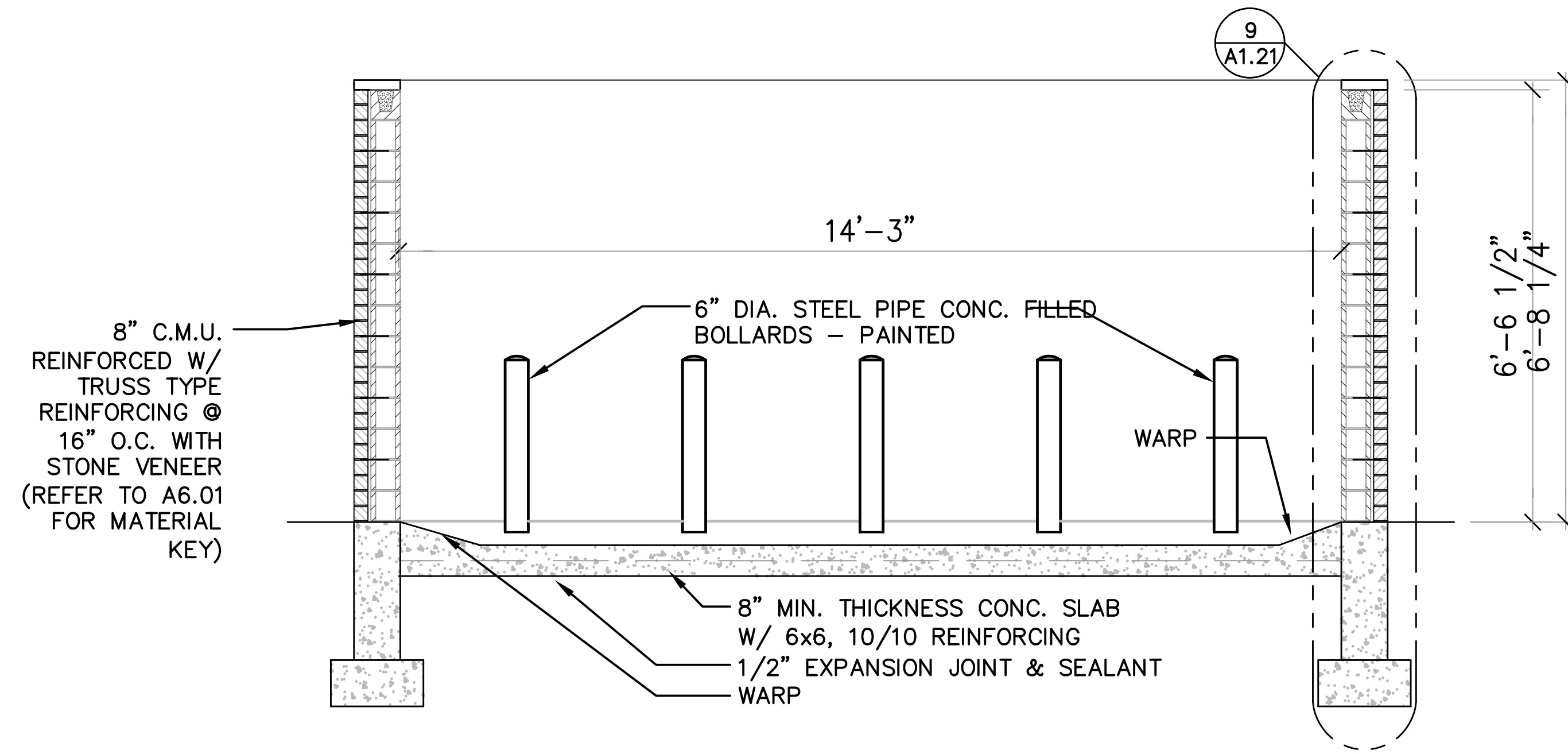
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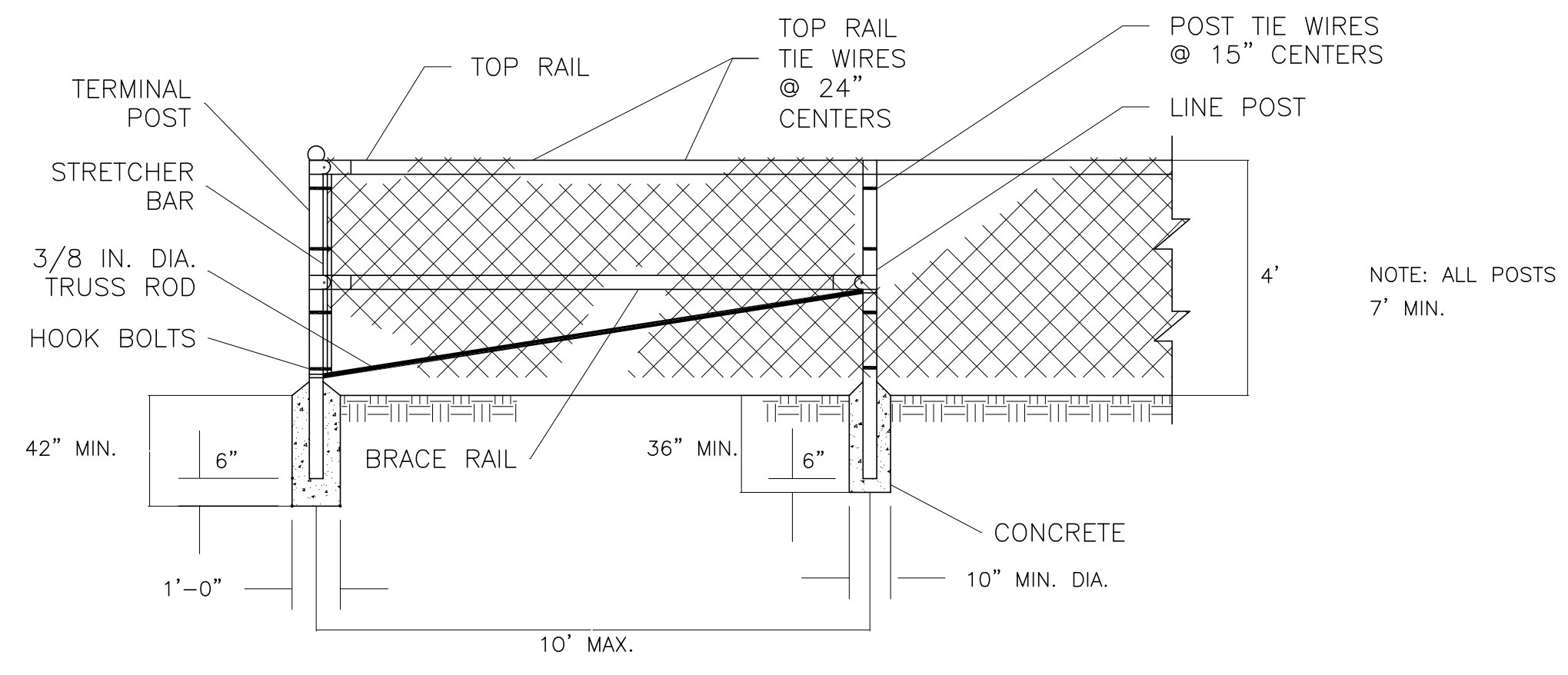
LEGEND

PART NO.	DESCRIPTION	QUANTITY
1	STRAIGHT PLUG	2
2	BOTTOM HINGE	2
3	TOP HINGE	2
4	CORNER ELBOW	8
5	PLUNGER ROD	1
6	LATCH FORK	2
7	FORK CATCH	2
8	PLUNGER ROD CATCH	1
9	LOCK KEEPER GUIDE	1
10	LOCK KEEPER	1
11	ORNAMENTAL TOPS	6
12	TRUSS RODS	4
13	STRETCHER BAR	4
14	HOOK BOLTS	12

NOTE:
THE FENCING SHALL BE BLACK VINYL COATED #9 GAGE FENCE FABRIC, STANDARD 2-INCH CHAIN LINK DIAMOND MESH.



2 REFUSE ENCLOSURE – LONGITUDINAL SECTION
NOT TO SCALE



CONSTRUCTION NOTES

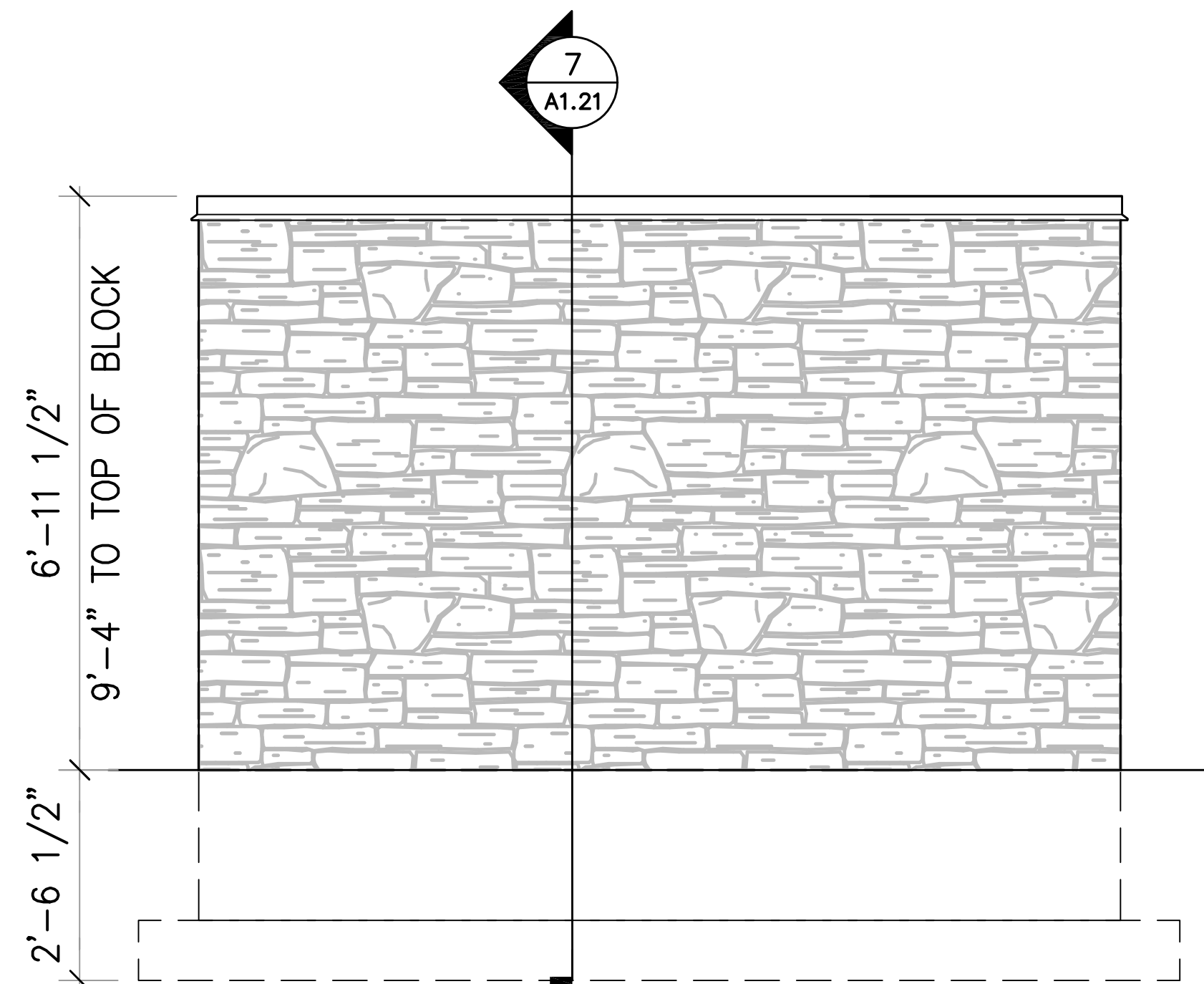
- MATERIALS, INSTALLATION, AND WORKMANSHIP SHALL CONFORM TO THE MANUFACTURER'S SPECIFICATIONS. MANUFACTURER TO BE QUAL-LINE, STRUCK AND IRWIN, OR APPROVED EQUAL.
- ALL POSTS SHALL BE INSTALLED VERTICALLY. WHERE POSTS ARE INSTALLED ON AN INCLINED SURFACE, THE ANGLE OF THE POST SHALL BE ADJUSTED SO THAT THE POST WILL BE VERTICAL.
- THE FENCING SHALL BE BLACK VINYL COATED #9 GAUGE FENCE FABRIC, STANDARD 2 IN. CHAIN LINK DIAMOND MESH.

1 CHAIN LINK FENCE
NOT TO SCALE



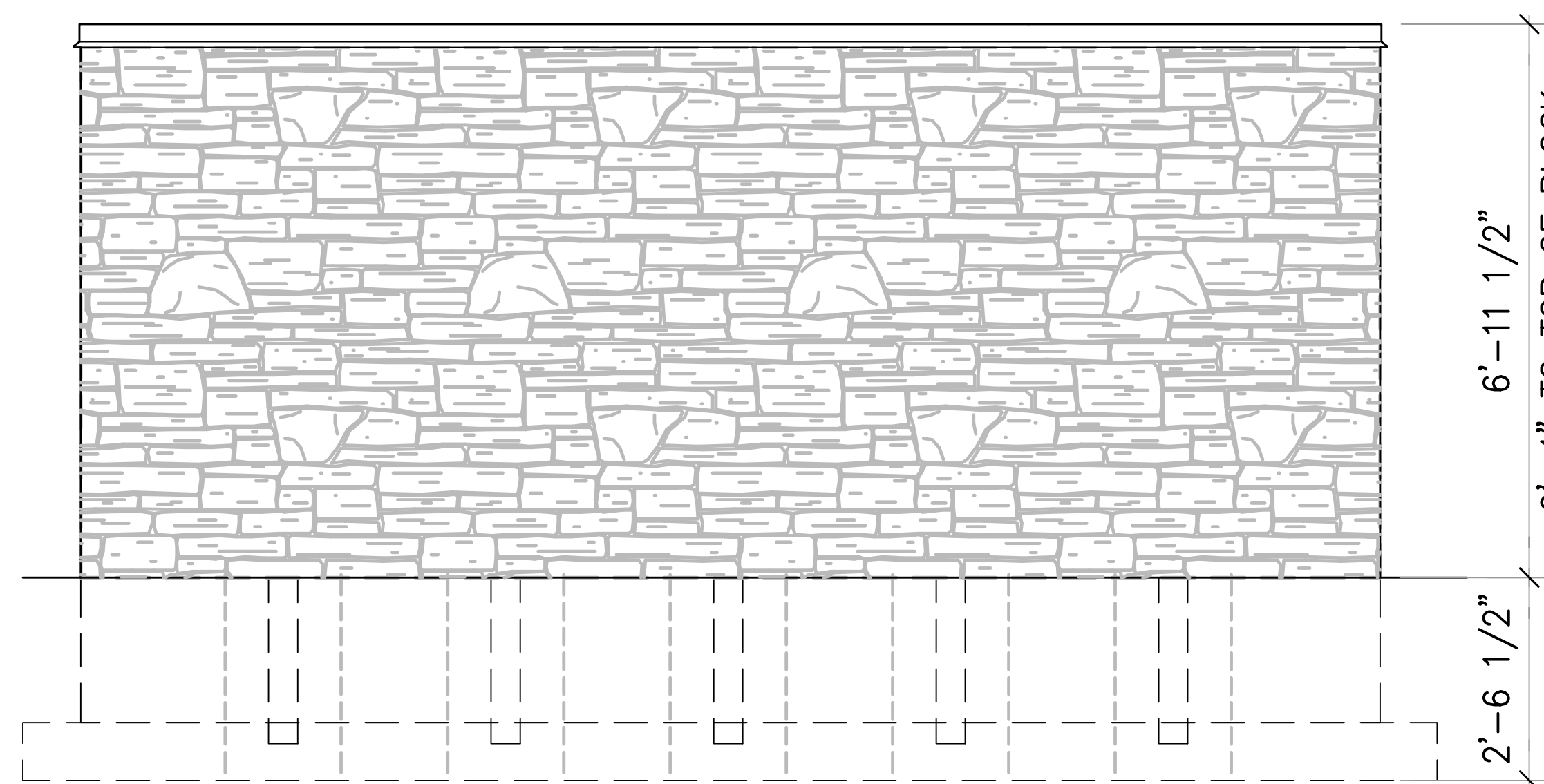
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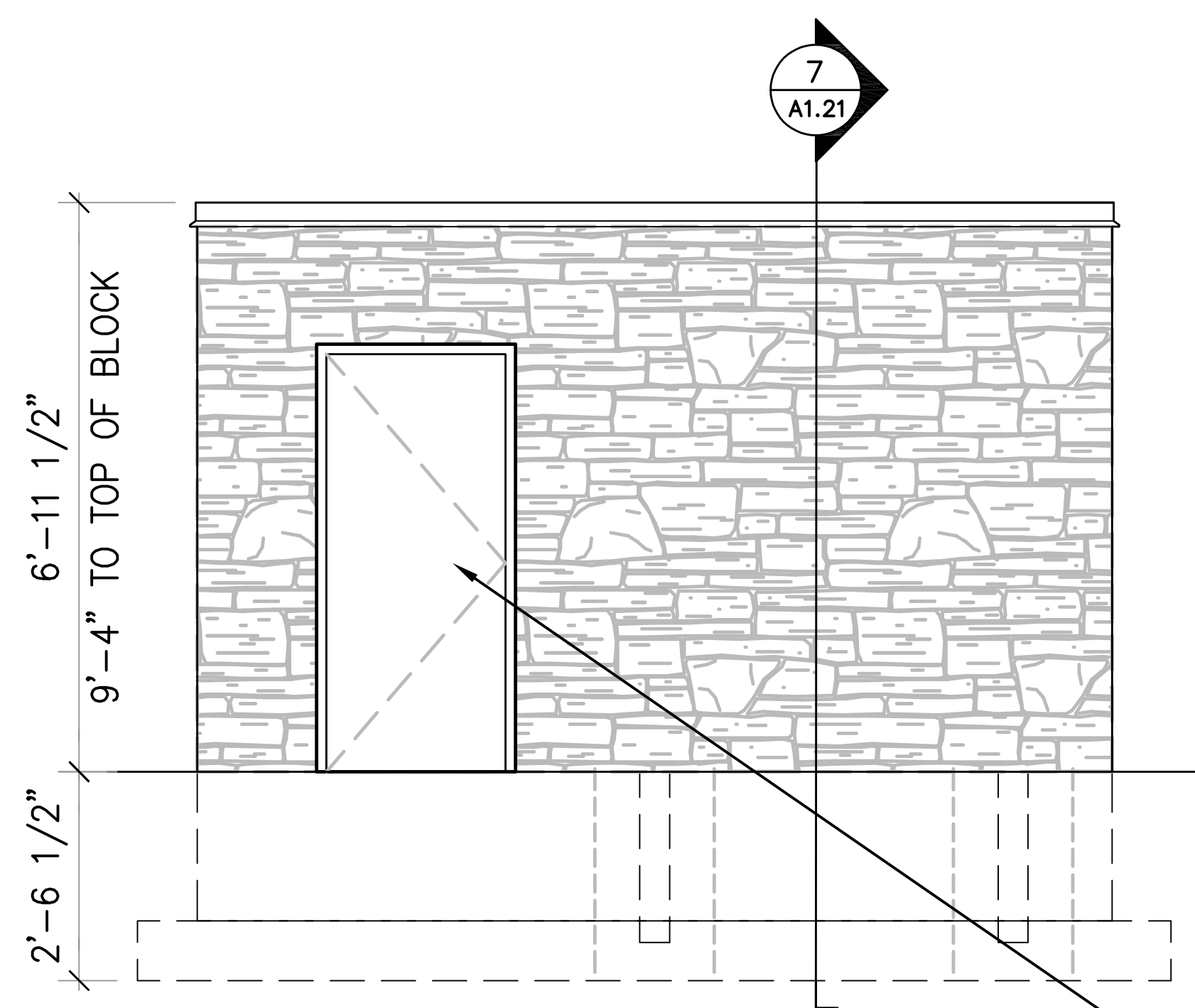
1 REFUSE ENCLOSURE – NORTH ELEVATION
NOT TO SCALE

NOTE:
REFER TO BUILDING
ELEVATIONS (A6.01 AND
A6.02) FOR MATERIAL KEY



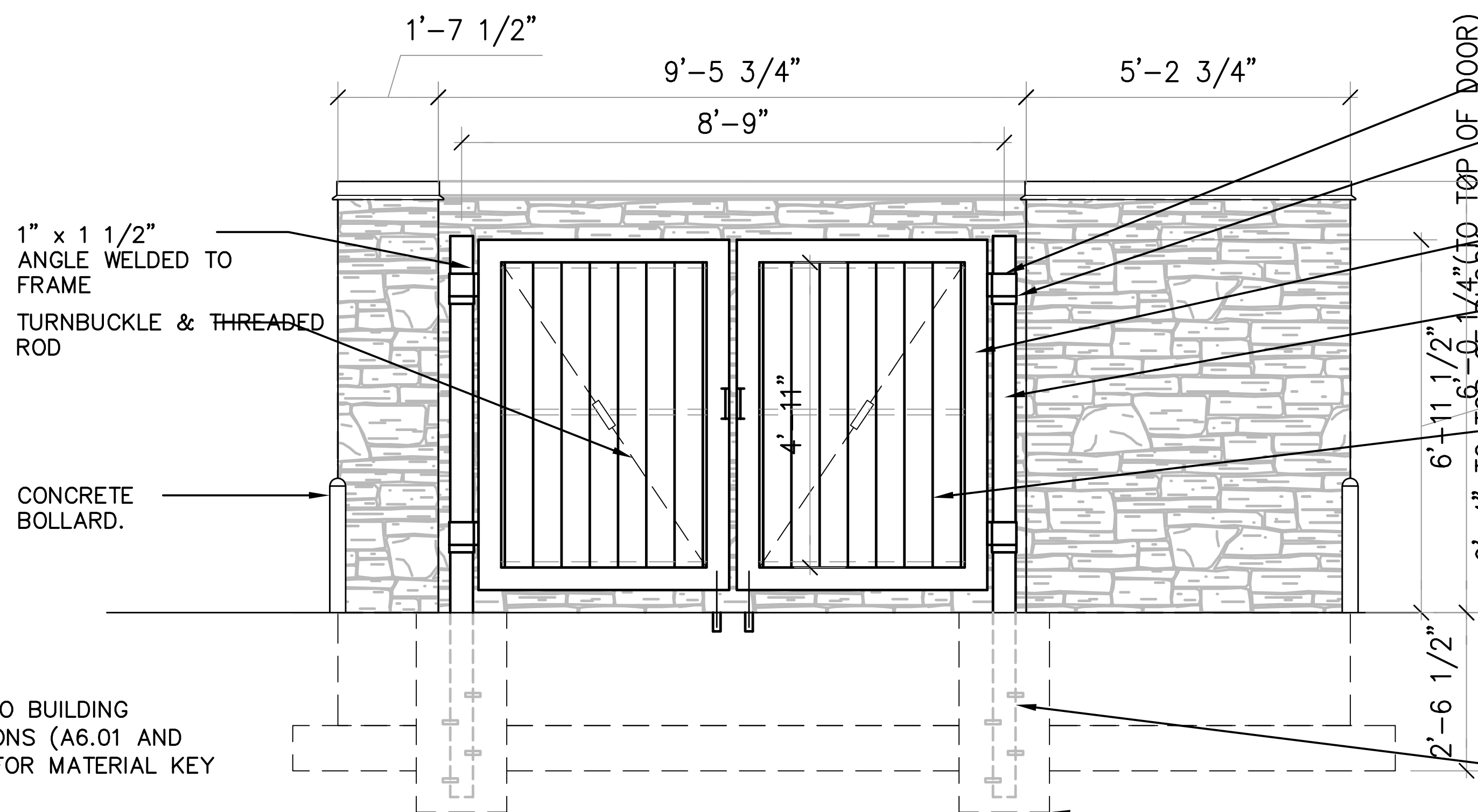
2 REFUSE ENCLOSURE – EAST ELEVATION
NOT TO SCALE

NOTE:
REFER TO BUILDING
ELEVATIONS (A6.01 AND
A6.02) FOR MATERIAL KEY



3 REFUSE ENCLOSURE – SOUTH ELEVATION
NOT TO SCALE

NOTE:
REFER TO BUILDING
ELEVATIONS (A6.01 AND
A6.02) FOR MATERIAL KEY



4 REFUSE ENCLOSURE – WEST ELEVATION
NOT TO SCALE

NOTE:
REFER TO BUILDING
ELEVATIONS (A6.01 AND
A6.02) FOR MATERIAL KEY

NOTE: PROVIDE HOLD OPEN
SLEEVES FOR TRASH DOORS
AT 100"

(2) DROP RODS, 1" DIA. x
2'-0" LONG W/ 90° BEND
W/ STEEL RECEIVING
SLEEVE IN PAVEMENT

EMBEDDED STUDS, 6
PER PIPE
48" DEEP x 24" DIA.
POURED CONC. FTGS

PROJECT:
RIMROCK RETAIL
2161 RIMROCK ROAD
MADISON, WI 53713
CLIENT:
RIMROCK RETAIL INVESTORS, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200

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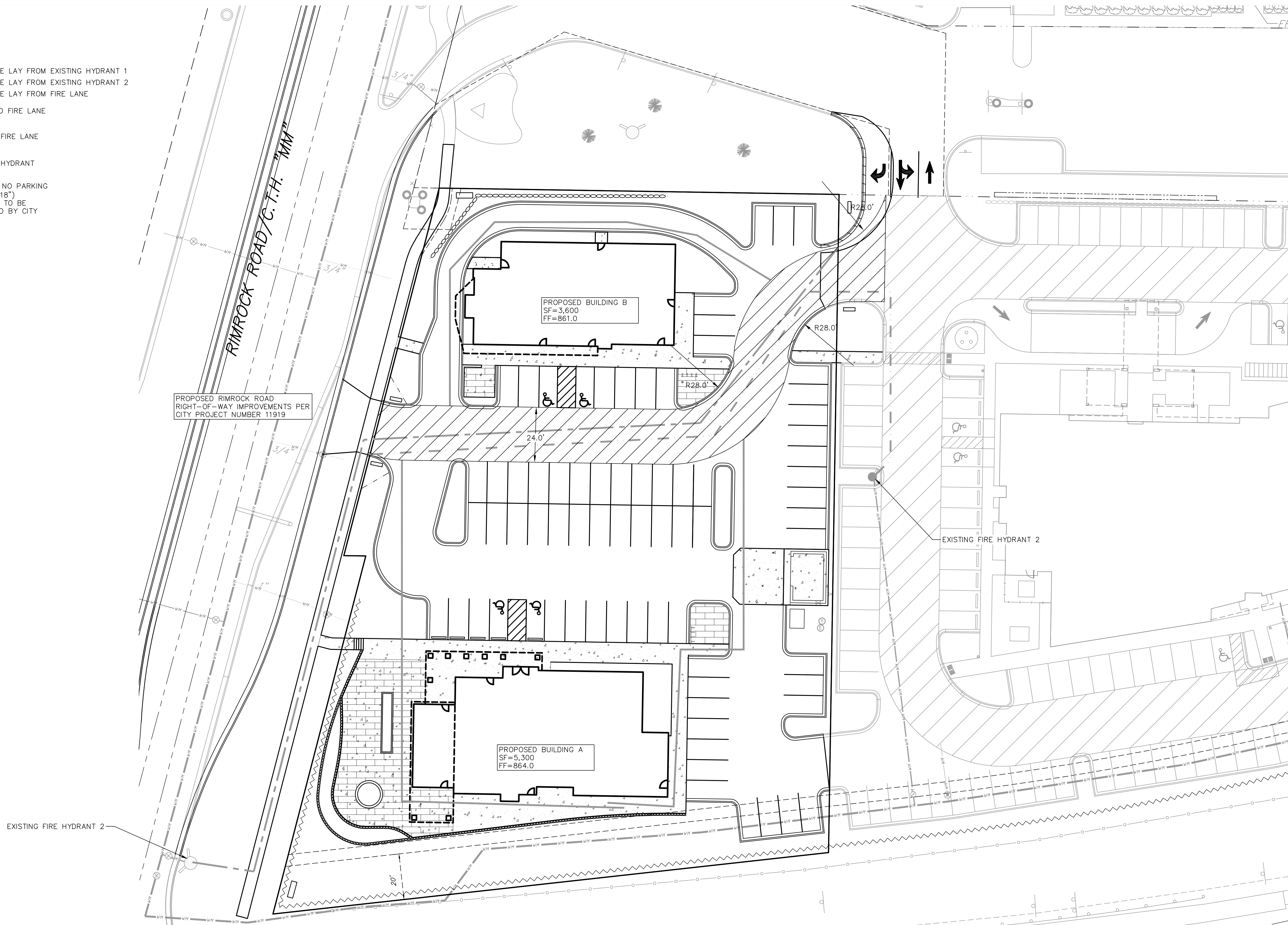
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CLIENT: RIMROCK RETAIL INVESTORS, LLC
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FIRE
ACCESS
F100

- LEGEND**
- 500' HOSE LAY FROM EXISTING HYDRANT 1
 - - - 500' HOSE LAY FROM EXISTING HYDRANT 2
 - - - 250' HOSE LAY FROM FIRE LANE
 - ▨ PROPOSED FIRE LANE
 - ▩ EXISTING FIRE LANE
 - ⊙ EXISTING HYDRANT
 - NO PARKING FIRE LANE SIGN (12"x18") LOCATIONS TO BE DETERMINED BY CITY



FIRE ACCESS
1"=20'



NOT FOR CONSTRUCTION

CALCULATION SUMMARY					
LABEL	CALCTYPE	UNITS	MIN	AVG	AVGMIN
PARKING LOT - PAVEMENT	ILLUMINANCE	FC	0.3	1.14	3.80

SUGGESTED CONTROL SEQUENCE:

POLE, BOLLARD AND BUILDING MOUNTED LUMINAIRES AUTOMATICALLY ON AT SUNSET.

POLE, BOLLARD AND BUILDING MOUNTED LUMINAIRES AUTOMATICALLY OFF AT SUNRISE.

GBA
architecture | design

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(608) 829-3056 (FAX)

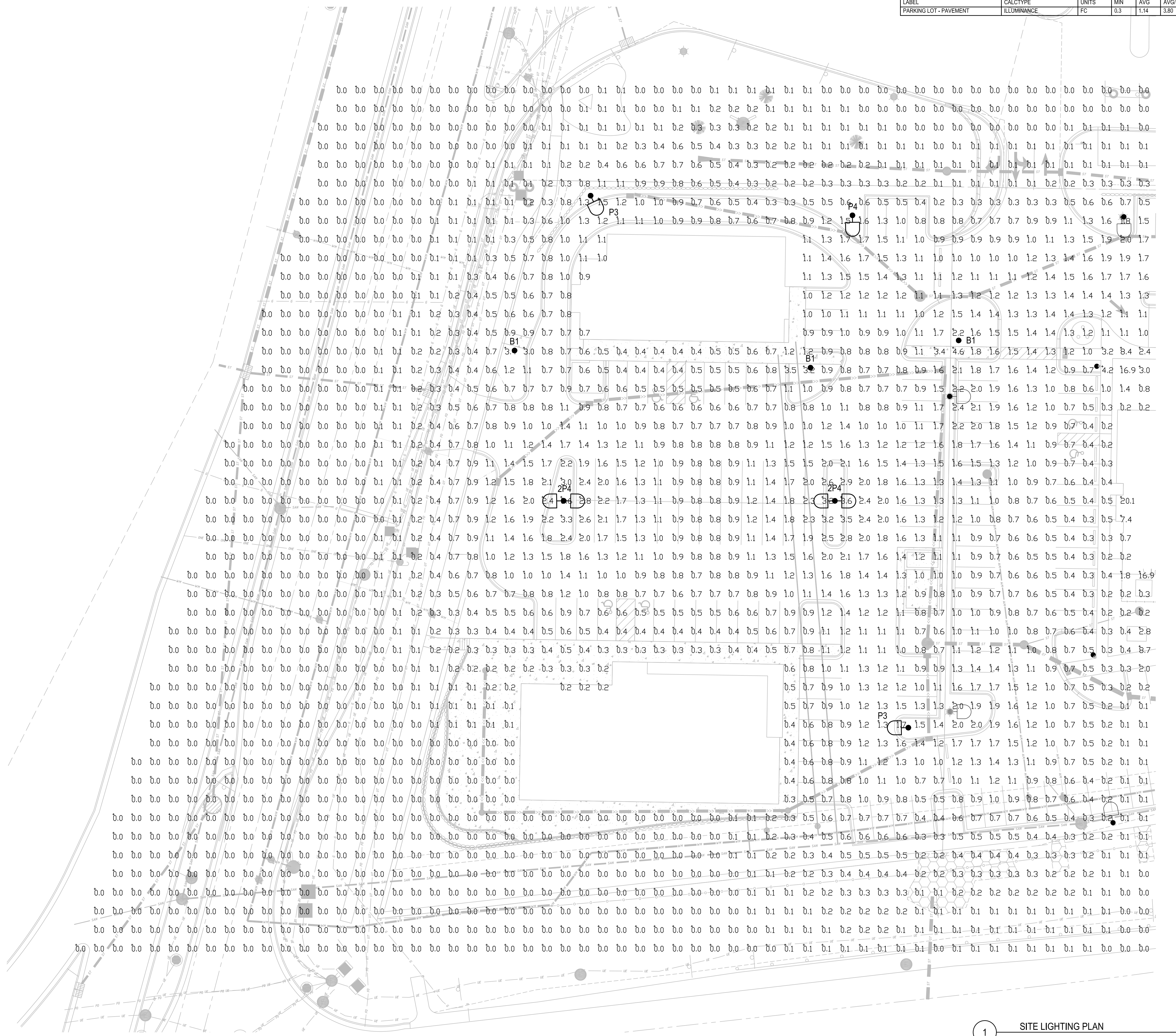
POLE TYPE DISTRIBUTION KEY:

P24 25'-0" TALL POLE WITH LED LUMINAIRE: IES TYPE 4 DISTRIBUTION, DUAL HEAD

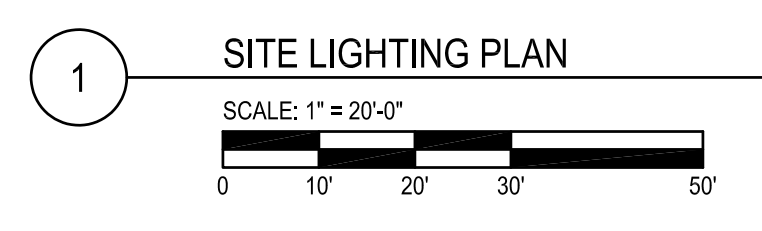
P3 25'-0" TALL POLE WITH LED LUMINAIRE: IES TYPE 3 DISTRIBUTION

P4 25'-0" TALL POLE WITH LED LUMINAIRE: IES TYPE 4 DISTRIBUTION

B1 BOLLARD LED LUMINAIRE: IES TYPE 5 DISTRIBUTION



EXISTING HOTEL LIGHTING INCLUDED IN ILLUMINANCE STUDY.



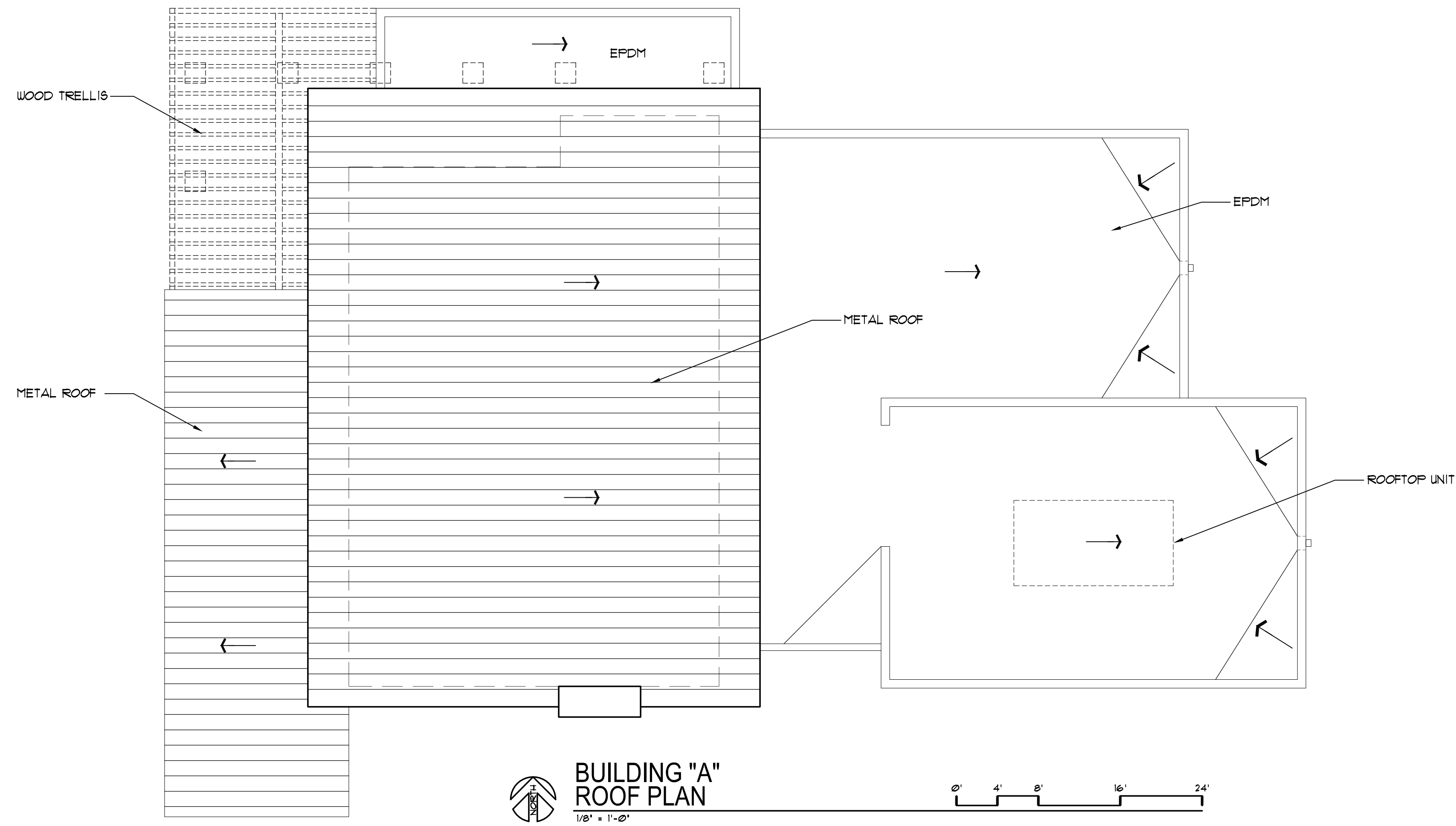
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2161 RIMROCK ROAD
MADISON, WI 53713

CLIENT: RIMROCK RETAIL INVESTORS, LLC
C/O NORTH CENTRAL GROUP
1600 ASPEN COMMONS, SUITE 200
MIDDLETON, WI 54562

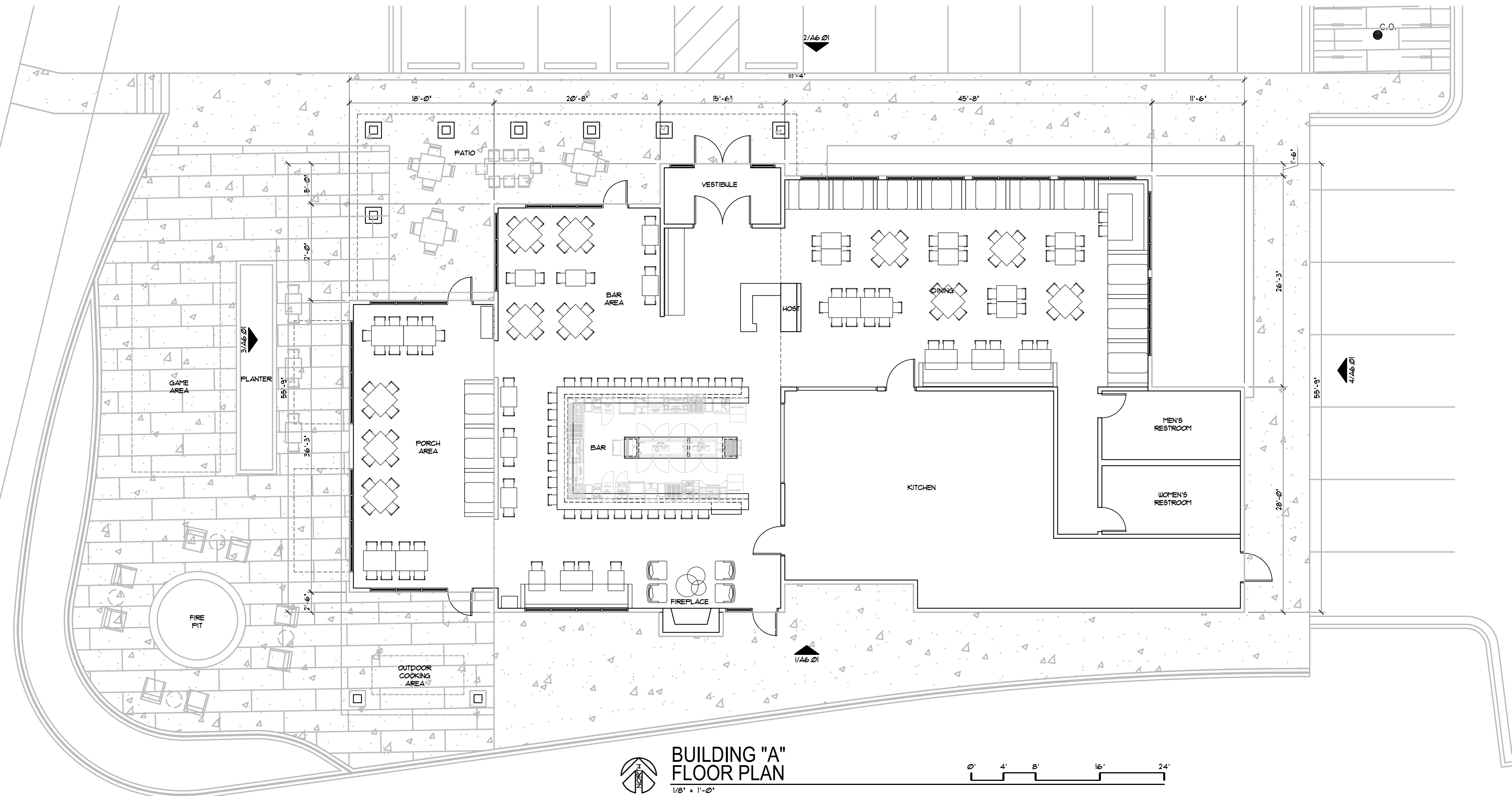
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**BUILDING "A"
ROOF PLAN**
1/8" = 1'-0"



**BUILDING "A"
FLOOR PLAN**
1/8" = 1'-0"

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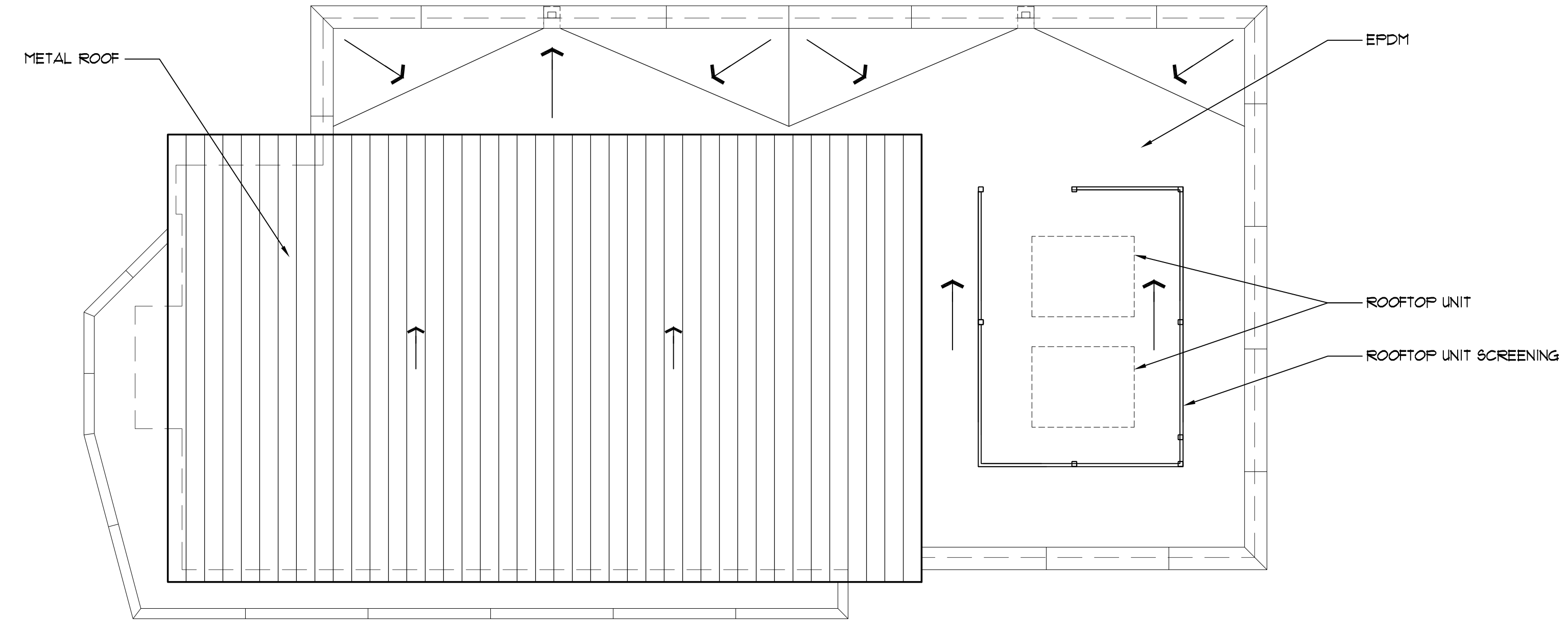
PROJECT: 201732.1

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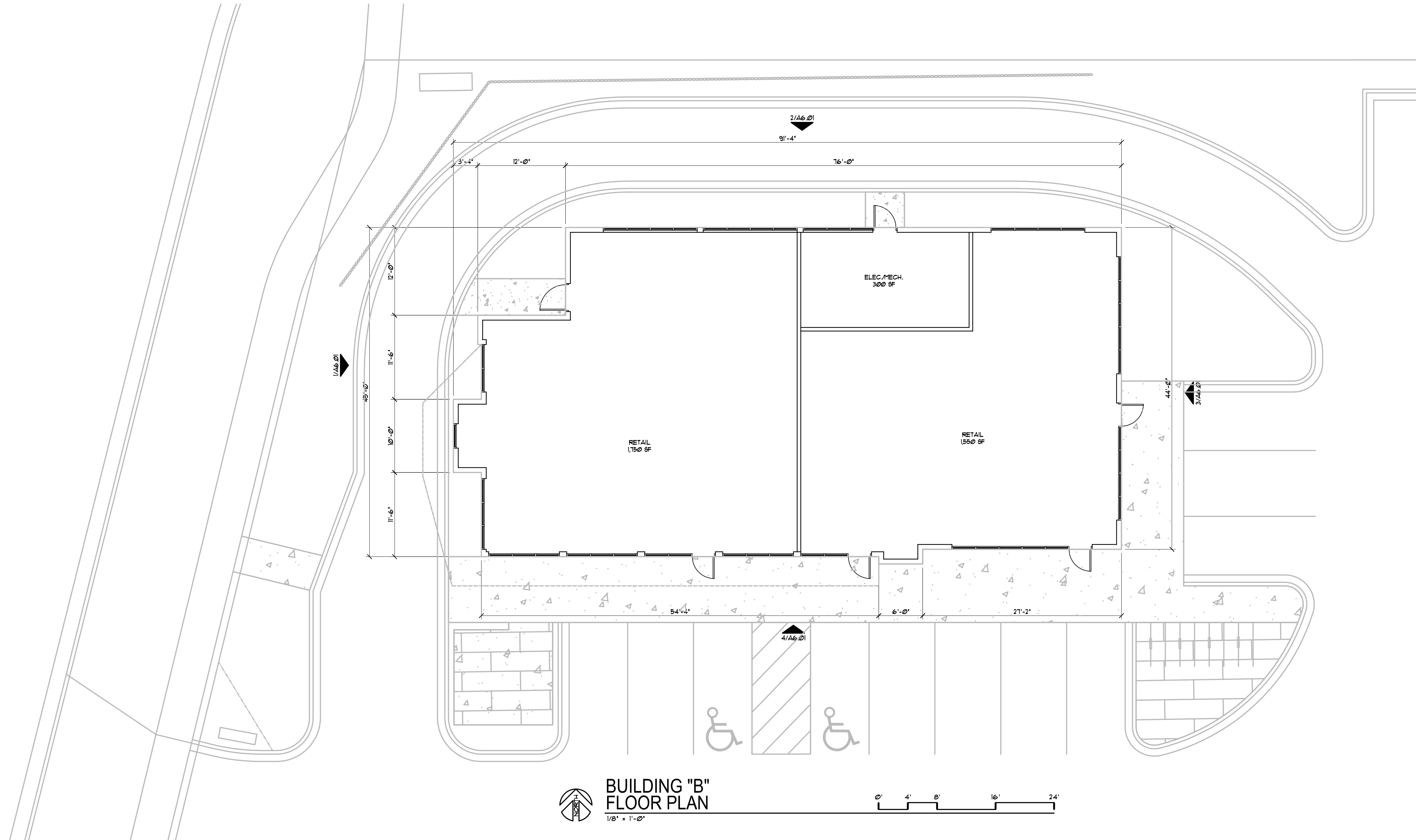
DATE:

SCALE:

CITY SUBMITTAL 04-10-2019



BUILDING "B"
ROOF PLAN
1/8" = 1'-0"
0' 4' 8' 16' 24'



BUILDING "B"
FLOOR PLAN
1/8" = 1'-0"
0' 4' 8' 16' 24'

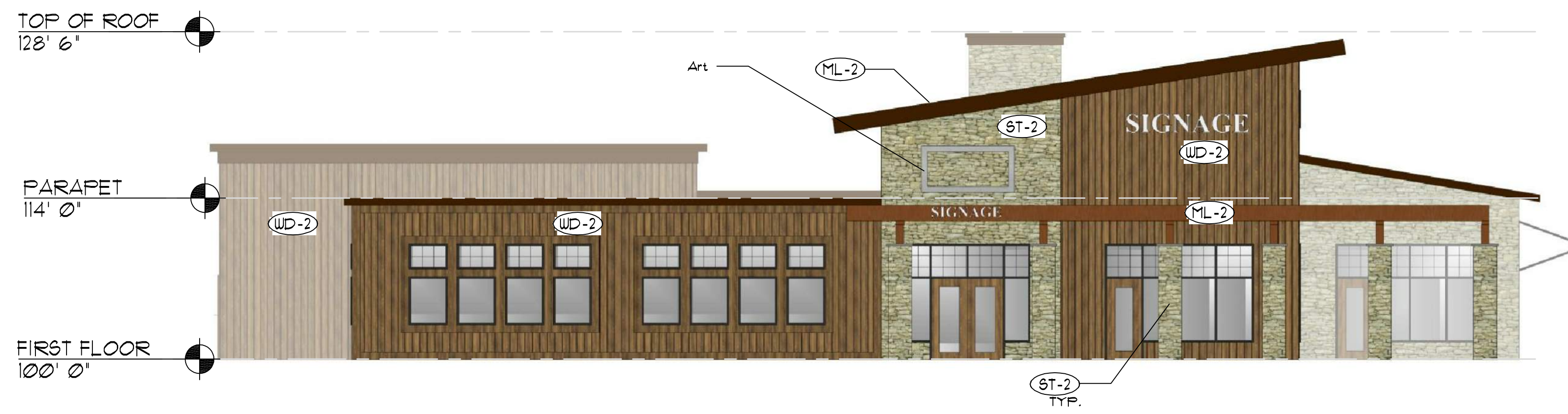
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DATE:
SCALE:

CITY SUBMITTAL 04-10-2019



1 NORTH ELEVATION
1" = 1/8"



2 SOUTH ELEVATION
1" = 1/8"

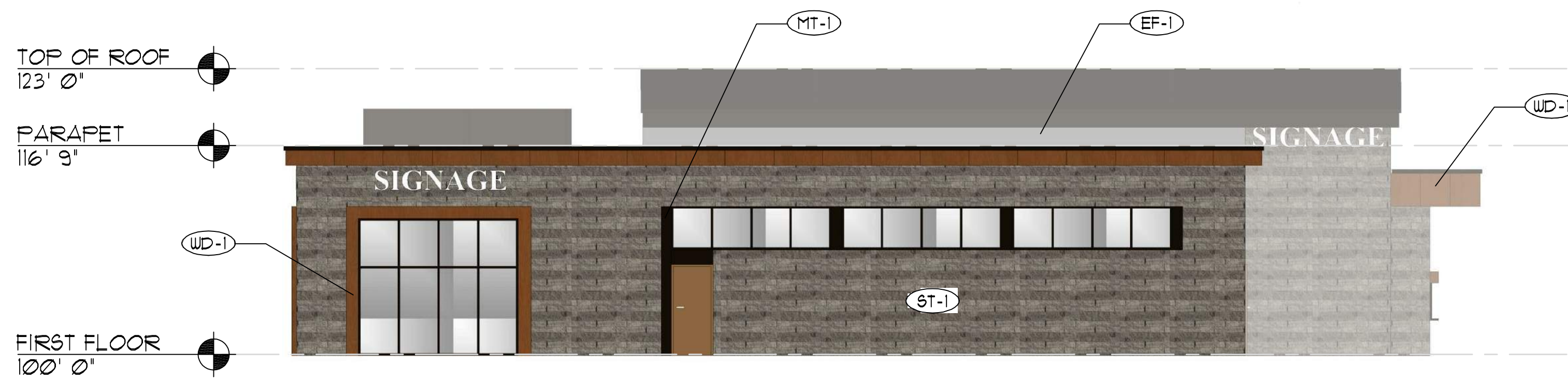


3 EAST ELEVATION
1" = 1/8"



4 WEST ELEVATION
1" = 1/8"

MATERIAL DESCRIPTION	
	EIFS-01: EF-1 MANUFACTURER: DRYVIT COLOR: TBD
	WOOD-01: WD-1 MANUFACTURER: TBD COLOR: WOOD
	WOOD-02: WD-2 MANUFACTURER: TBD COLOR: WOOD
	METAL-01: MT-1 MANUFACTURER: FIRESTONE UNA-CLAD COLOR: ANODIZED ALUMINUM DARK BRONZE
	METAL-01: MT-2 MANUFACTURER: FIRESTONE UNA-CLAD COLOR: WEATHER STEEL
	STONE-01: ST-1 MANUFACTURER: ELDERADO STONE COLOR: STORMCLOUD
	STONE-02: ST-2 MANUFACTURER: LIMESTONE COLOR: TBD
	WINDOW: CLEAR GLASS W/ DARK BRONZE FRAME



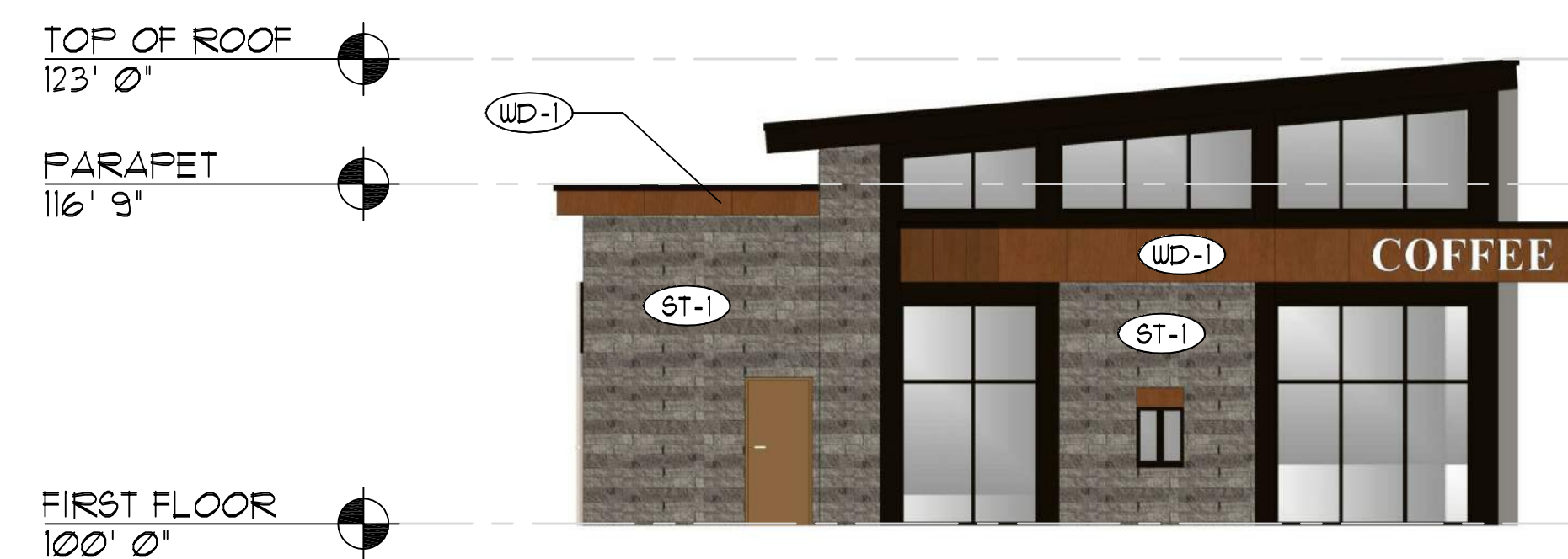
1 NORTH ELEVATION
1" = 1/8"



2 SOUTH ELEVATION
1" = 1/8"



3 EAST ELEVATION
1" = 1/8"



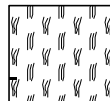
4 WEST ELEVATION
1" = 1/8"

	MATERIAL DESCRIPTION
	EIFS-01: EF-1 MANUFACTURER: DRYVIT COLOR: TBD
	WOOD-01: WD-1 MANUFACTURER: TBD COLOR: WOOD
	WOOD-02: WD-2 MANUFACTURER: TBD COLOR: WOOD
	METAL-01: MT-1 MANUFACTURER: FIRESTONE UNA-CLAD COLOR: ANODIZED ALUMINUM DARK BRONZE
	METAL-01: MT-2 MANUFACTURER: FIRESTONE UNA-CLAD COLOR: WEATHER STEEL
	STONE-01: ST-1 MANUFACTURER: ELDERADO STONE COLOR: STORMCLOUD
	STONE-02: ST-2 MANUFACTURER: LIMESTONE COLOR: TBD
	WINDOW: CLEAR GLASS W/ DARK BRONZE FRAME

PLANT SCHEDULE LOT 1

<u>DECIDUOUS TREES</u>		<u>BOTANICAL NAME / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>	<u>QTY</u>	
AF		Acer freemanii `Celzam` TM / Celebration Maple	B & B	2"Cal		3	
CEL		Celtis occidentalis / Common Hackberry	B & B	2.5"Cal		4	
GT		Gleditsia triacanthos inermis `Skycole` TM / Skyline Thornless Honey Locust	B & B	2.5"Cal		9	
QR		Quercus rubra / Red Oak	B & B	2.5"Cal		1	
<u>FLOWERING TREES</u>		<u>BOTANICAL NAME / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>	<u>QTY</u>	
AC		Amelanchier Canadensis/Shadblow Serviceberry	B & B		6` ht.	4	
CA		Cornus alternifolia / Pagoda Dogwood	B & B		6` ht. multi stem	1	
CRA		Crataegus crus-galli `Inermis` / Thornless Hawthorn	B & B	1.5"Cal		5	
<u>ANNUALS/PERENNIALS</u>		<u>BOTANICAL NAME / COMMON NAME</u>	<u>SIZE</u>	<u>FIELD2</u>	<u>FIELD3</u>	<u>QTY</u>	
hsd		Hemerocallis x `Stella de Oro` / Stella de Oro Daylily	4" pot	Cont		41	
hb		Hosta x `Blue Cadet` / Plantain Lily	1 gal	Cont		29	
ss		Schizachyrium scoparium / Little Bluestem Grass	1 gal			12	
sh		Sporobolus heterolepis / Prairie Dropseed	1 gal	Cont		68	
<u>DECIDUOUS SHRUBS</u>		<u>BOTANICAL NAME / COMMON NAME</u>	<u>SIZE</u>	<u>FIELD2</u>	<u>FIELD3</u>	<u>QTY</u>	
Dl		Diervilla lonicera / Dwarf Bush Honeysuckle	3 gal	Cont		19	
Hp		Hydrangea paniculata `Limelight` TM / Limelight Hydrangea	5 gal	Cont		2	
Ra		Rhus aromatica `Gro-Low` / Gro-Low Fragrant Sumac	3 gal	Cont		38	
Sb		Spiraea x bumalda `Anthony Waterer` / Anthony Waterer Spiraea	3 gal	Cont		14	
Sy		Syringa vulgaris / Common Lilac	7 gal	Cont		12	
Vd		Viburnum dentatum / Viburnum	5 gal	Cont		5	
<u>EVERGREEN SHRUBS</u>		<u>BOTANICAL NAME / COMMON NAME</u>	<u>SIZE</u>	<u>FIELD2</u>	<u>FIELD3</u>	<u>QTY</u>	
BG		Buxus x `Green Gem` / Green Gem Boxwood 2` x 2`	3 gal			13	
JcM		Juniperus chinensis `Mountbatten` / Chinese Juniper	10 gal	Cont		7	
JcP		Juniperus chinensis `Pfitzerana Kallays Compacta` / Kally Pfitzer Compact Juniper	5 gal	Cont		18	
Jh		Juniperus horizontalis `Blue Chip` / Blue Chip Juniper	3 gal	Cont		20	
TxE		Taxus x media `Everlow` / Yew	3 gal	Cont		4	
<u>GROUND COVERS</u>		<u>BOTANICAL NAME / COMMON NAME</u>	<u>CONT</u>	<u>FIELD2</u>	<u>FIELD3</u>	<u>SPACING</u>	<u>QTY</u>
vmb		Vinca minor `Bowles` / Bowles` Common Periwinkle	flat	2" pot		18" o.c.	430

STORMWATER SEEDING LOT 1



BASIC PRAIRIE SEED MIX 2,506 sf

GENERAL NOTES:

1. All plantings shall conform to quality requirements as per ANSI Z60.1.
2. All plant material shall be true to the species, variety and size specified, nursery grown in accordance with good horticultural practices, and under climactic conditions similar to those of the project site.
3. Contact Landscape Architect, in writing, to request and plant material substitutions due to availability issues.
4. All disturbed areas, unless otherwise noted, to be seeded with Tuff-Stuff Turf Mix by LaCrosse Seed Company or equivalent, per manufacturer's specified application rates. All seeded areas are to be watered daily to maintain adequate soil moisture for proper germination. After vigorous growth is established, apply 1/2" water twice weekly until final acceptance.
5. All plants shall be guaranteed to be in healthy and flourishing condition during the growing season following installation. All plant material shall be guaranteed for one year from the time of installation.
6. Contractor shall provide a suitable amended topsoil blend for all planting areas where soil conditions are unsuitable for plant growth. Topsoil shall conform to quality requirements as per Section 625.2(1) of the Standard Specifications for Highway Construction. Provide a minimum of 12" of topsoil in all planting areas and 6" of topsoil in areas to be seeded/sodded.
7. Landscape beds to be mulched with undyed shredded hardwood bark mulch to 3" depth min. and edged with commercial grade aluminum landscape edging, Permaloc CleanLine 3/16" x 4" or equal, color black anodized .

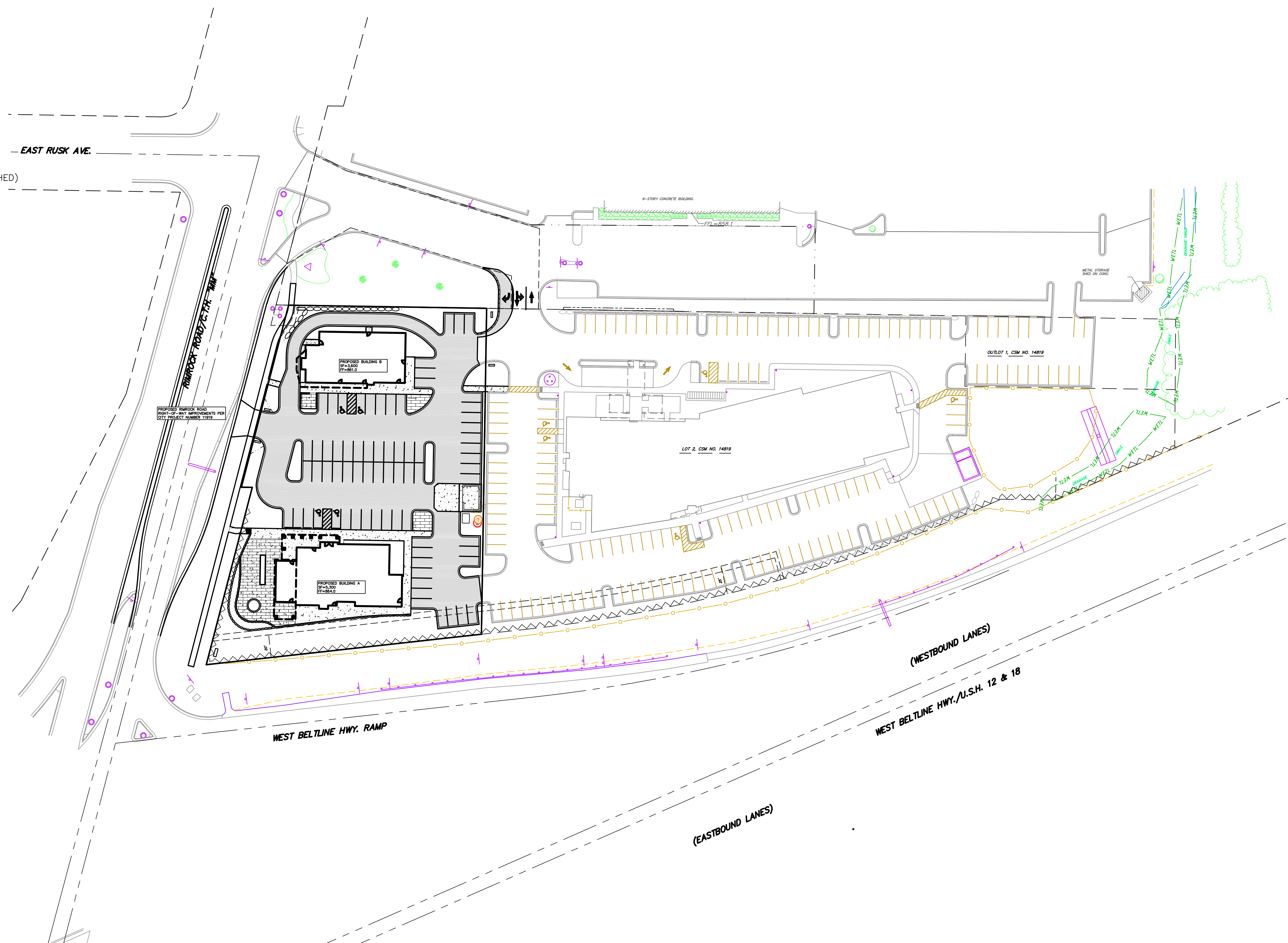


SITE PLAN LEGEND

- PROPERTY BOUNDARY
- PROPERTY FUTURE VISION TRIANGLE
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE
- PROPOSED POROUS PAVEMENT
- PROPOSED HEAVY-DUTY ASPHALT
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED LIGHT POLE

GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES. CONTRACTOR SHALL REPLACE ALL SIDEWALK AND CURB AND GUTTER THAT ABUTS THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER, WHICH THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
3. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
4. DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB.
5. CROSS-SLOPE OF SIDEWALKS SHALL BE 2% UNLESS OTHERWISE NOTED.
6. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
7. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
8. ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.
9. ALL PUBLIC IMPROVEMENTS AND WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED PER THE CITY ISSUED PLANS, PROJECT NUMBER XXXXX.
10. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.
11. ALL DAMAGE TO THE PAVEMENT ON RIMROCK ROAD ADJACENT TO THE DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY'S PAVEMENT PATCHING CRITERIA.
12. ALL WORK IN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
13. PROVIDE ALL NECESSARY TEMPORARY TRAFFIC CONTROL PER MUTCD AND CITY OF MADISON REQUIREMENTS.



SITE PLAN
1"=50'



NOT FOR CONSTRUCTION



VIEW OF BUILDING ON E RUSK AVE



VIEW OF BUILDING ON OPPOSITE CORNER OF RIMROCK AND E RUSK



VIEW OF DEVELOPMENT DIRECTLY ACROSS RIMROCK ROAD



NORTHWEST CORNER OF LOT LOOKING NORTHEAST



NORTHWEST CORNER OF LOT LOOKING SOUTHEAST



NORTHEAST CORNER OF LOT LOOKING SOUTHEAST



SOUTHEAST CORNER OF LOT LOOKING NORTHEAST



SOUTHEAST CORNER OF LOT LOOKING NORTHWEST



NORTHEAST CORNER OF LOT LOOKING SOUTHWEST



NORTHWEST CORNER OF LOT LOOKING NORTHWEST



SOUTHEAST VIEW FROM RIMROCK E RUSK INTERSECTION



NORTHEAST VIEW FROM RIMROCK AND W BELTLINE HIGHWAY

PROJECT:
RIMROCK RETAIL
2161 RIMROCK ROAD
MADISON, WI 53713
CLIENT:
RIMROCK RETAIL INVESTORS, LLC
C/O NORTH CENTRAL GROUP
1600 ASHEN COMMONS, SUITE 200
MIDDLETON, WI 53562

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PROJECT: 201732.1
DRAWN BY: DSD
DATE:
SCALE:
CITY SUBMITTAL 04-10-2019