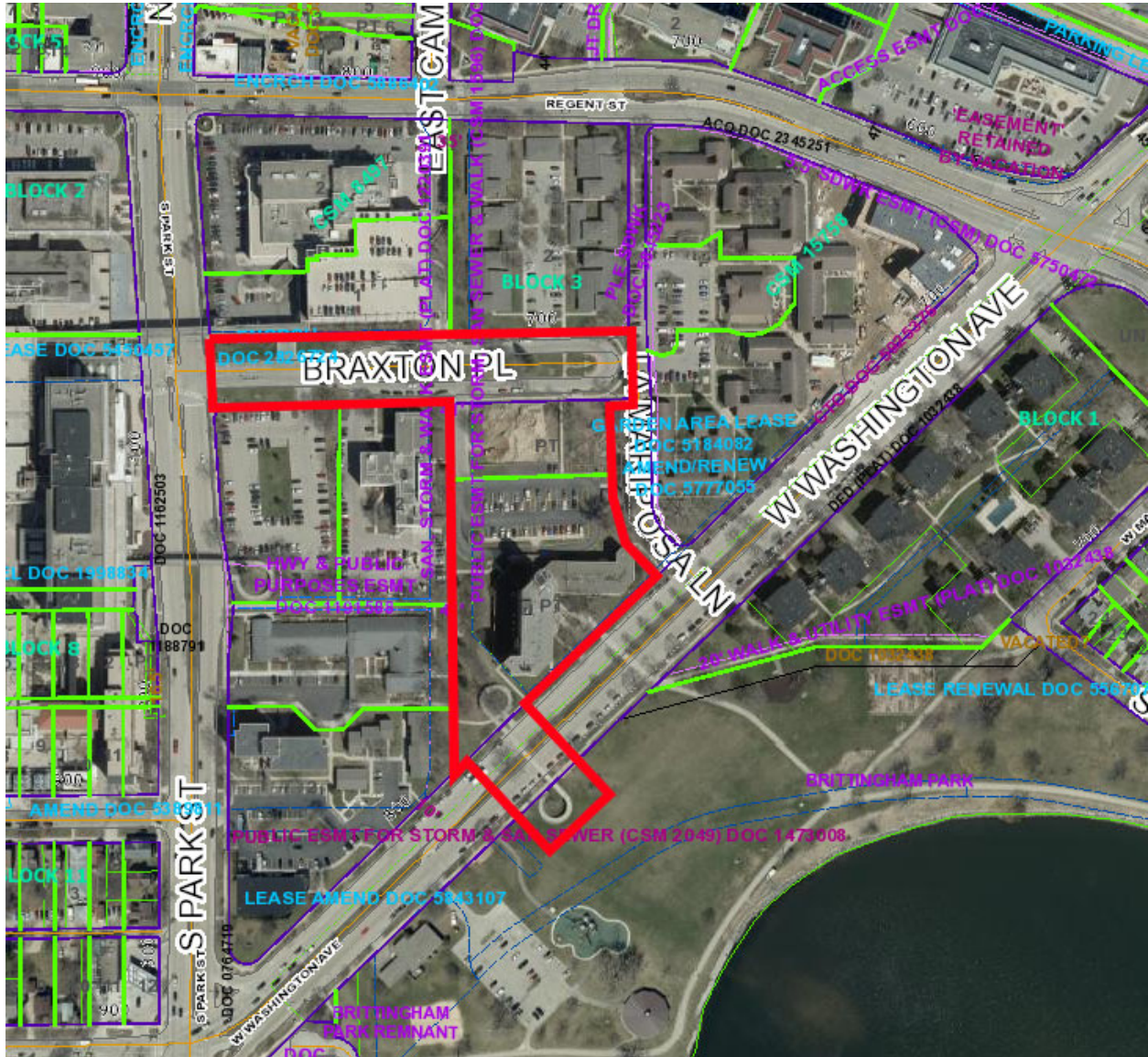


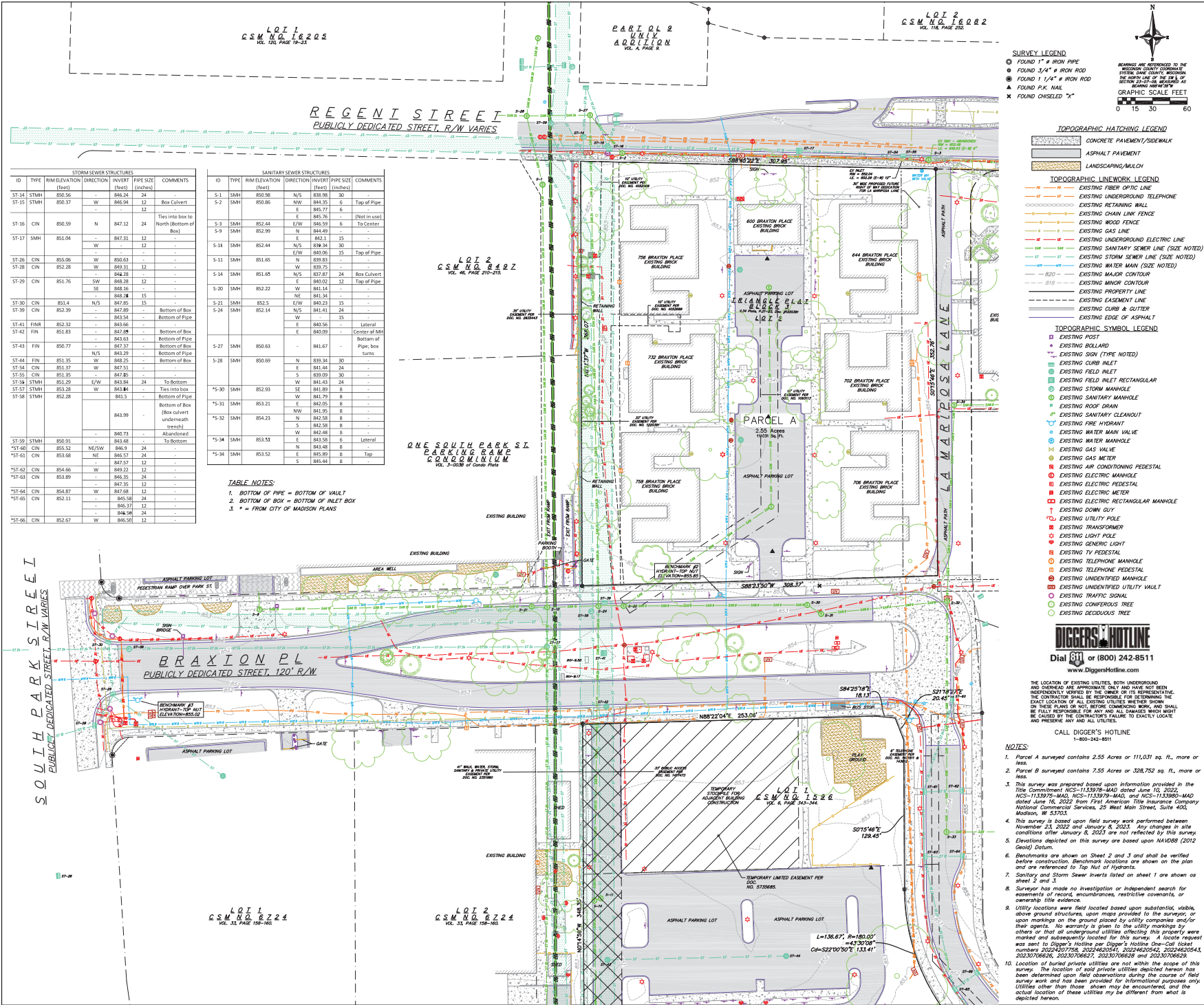
755 Braxton Place
Contract 9595
MUNIS 15476
Developer: Taking Shape B1, LLC



Summary of Improvements:

- Complete and record the Certified Survey Map necessary to accommodate the proposed redevelopment project at 755 Braxton Place.
- Reconstruct Braxton Place from a boulevard cross section to a standard street cross section as approved by the City Traffic Engineer and per plans approved by the City Engineer.

- Complete any public sanitary, storm, and water utility improvements needed to accommodate the Braxton Place street reconstruction.
- Construct East Campus Mall path as approved by the City Traffic Engineer and per plans approved by the City Engineer.
- Construct improvements to W Washington Avenue and S Park Street as needed to provide ingress/egress to the redevelopment as approved by the City Traffic Engineer and per plans approved by the City Engineer.
- Remove existing pedestrian bridge over W Washington Avenue and construct at-grade pedestrian crossing of W Washington Avenue as approved by the City Traffic Engineer and per plans approved by the City Engineer. The new pedestrian crossing will include new pedestrian ramps, continental crosswalks, signs, and rectangular rapid flashing beacons (RRFBs).
- Repair or replace existing public sidewalk, street terrace, curb and gutter, street terrace, and street pavement as necessary to accommodate the redevelopment project.
- Close abandoned private drive entrances with curb and gutter. Construct new private drive entrances per commercial driveway permits approved by City Traffic Engineer and per plans approved by the City Engineer.
- Relocate existing public watermain in Braxton Place to resolve construction conflicts with the proposed redevelopment per plans approved by Madison Water Utility and the City Engineer.
- Provide street lighting and pavement markings as required by the City Traffic Engineer and per plans approved by the City Engineer.
- Construct private sanitary, storm, and water service laterals as needed to serve the redevelopment.
- Public street tree removals, protection, and plantings as approved by the City Forester.



- SURVEY LEGEND**
- FOUND 1" IRON PIPE
 - FOUND 3/4" IRON ROD
 - FOUND 1 1/4" IRON ROD
 - FOUND P.K. NAIL
 - ✗ FOUND CHISELED "X"

- TOPOGRAPHIC HATCHING LEGEND**
- CONCRETE PAVEMENT/SIDEWALK
 - ASPHALT PAVEMENT
 - LANDSCAPING/MULCH

- TOPOGRAPHIC LINEWORK LEGEND**
- EXISTING FIBER OPTIC LINE
 - EXISTING UNDERGROUND TELEPHONE
 - EXISTING RETAINING WALL
 - EXISTING CHAIN LINK FENCE
 - EXISTING WOOD FENCE
 - EXISTING GAS LINE
 - EXISTING UNDERGROUND ELECTRIC LINE
 - EXISTING SANITARY SEWER LINE (SIZE NOTED)
 - EXISTING STORM SEWER LINE (SIZE NOTED)
 - EXISTING WATER MAIN (SIZE NOTED)
 - EXISTING MAJOR CONTIGATOR
 - EXISTING MAJOR CONVEYOR
 - EXISTING PROPERTY LINE
 - EXISTING EASEMENT LINE
 - EXISTING CURB & GUTTER
 - EXISTING EDGE OF ASPHALT

- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING POLE
 - EXISTING BOLLARD
 - EXISTING SIGN (TYPE NOTED)
 - EXISTING CURB INLET
 - EXISTING FIELD INLET
 - EXISTING FIELD INLET RECTANGULAR
 - EXISTING STORM MANHOLE
 - EXISTING SANITARY MANHOLE
 - EXISTING ROOF DRAIN
 - EXISTING SANITARY CLEANOUT
 - EXISTING FIRE HYDRANT
 - EXISTING WATER MAIN VALVE
 - EXISTING WATER MANHOLE
 - EXISTING GAS VALVE
 - EXISTING GAS METER
 - EXISTING AIR CONDITIONING PEDESTAL
 - EXISTING ELECTRIC MANHOLE
 - EXISTING ELECTRIC PEDESTAL
 - EXISTING ELECTRIC METER
 - EXISTING ELECTRIC RECTANGULAR MANHOLE
 - EXISTING DOWN GUY
 - EXISTING UTILITY POLE
 - EXISTING TRANSFORMER
 - EXISTING LIGHT POLE
 - EXISTING GENERIC LIGHT
 - EXISTING TV PEDESTAL
 - EXISTING TELEPHONE MANHOLE
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING UNIDENTIFIED MANHOLE
 - EXISTING UNIDENTIFIED UTILITY VAULT
 - EXISTING TRAFFIC SIGNAL
 - EXISTING CONIFEROUS TREE
 - EXISTING DECIDUOUS TREE

LOT 1
CSM NO. 16202
VOL. 124, PAGE 79-24

PART OF
UNIL
ADDITION
VOL. 11, PAGE 2

LOT 2
CSM NO. 16282
VOL. 124, PAGE 62

REGENT STREET
PUBLICLY DEDICATED STREET, R/W VARIES

LOT 3
CSM NO. 2422
VOL. 46, PAGE 210-211

LOT 2
CSM NO. 2422
VOL. 46, PAGE 210-211

ONE SOUTH PARK ST.
PARKING RAMP
CONDOMINIUM
VOL. 3-5336 of Condo Plats

PRELIMINARY
NOT FOR CONSTRUCTION

BRAXTON PL
PUBLICLY DEDICATED STREET, 120' R/W

SOUTH PARK STREET
PUBLICLY DEDICATED STREET, R/W VARIES

- TABLE NOTES**
1. BOTTOM OF PIPE = BOTTOM OF VAULT
 2. BOTTOM OF BOX = BOTTOM OF INLET BOX
 3. * = FROM CITY OF MADISON PLANS

DIGGERS HOTLINE
Dial 811 or (800) 242-8511
www.DiggersHotline.com

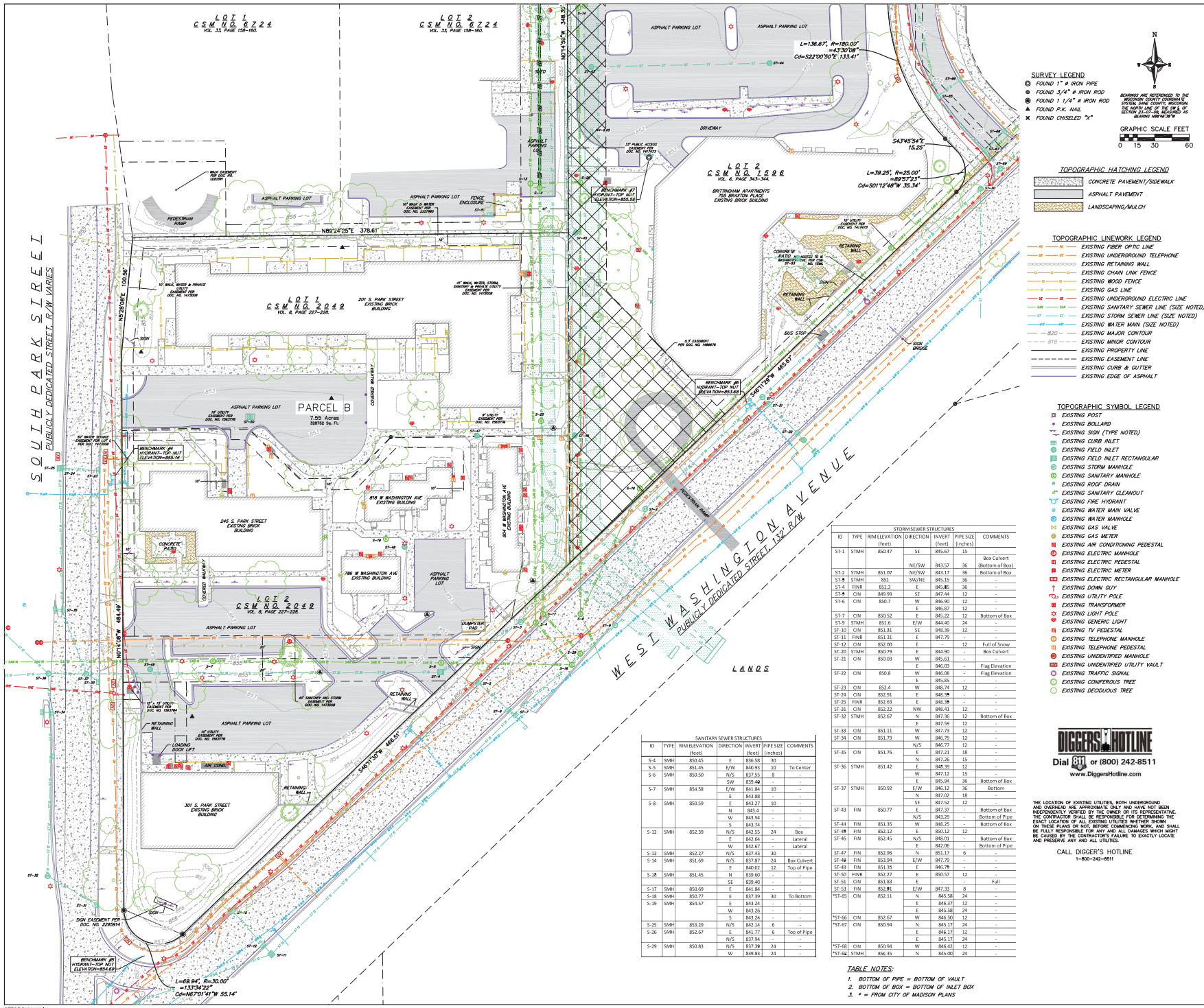
THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD, ARE INFORMATIONAL ONLY AND HAVE NOT BEEN FIELD VERIFIED BY THE SURVEYOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF ALL UTILITIES SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MUST BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

- NOTES**
1. Parcel A surveyed contains 2.55 Acres or 328,752 sq. ft., more or less.
 2. Parcel B surveyed contains 7.55 Acres or 328,752 sq. ft., more or less.
 3. This survey was prepared based upon information provided in the Title Commitment NCS-113379-MAD dated June 10, 2022; NCS-113379-MAD, NCS-113379-MAD, and NCS-113380-MAD dated June 16, 2022; First American Title Insurance Company National Commercial Services, 25 West Main Street, Suite 400, Madison, WI 53703.
 4. This survey is based upon field survey work performed between November 23, 2022 and January 6, 2023. Any changes in site conditions after January 6, 2023 are not reflected by this survey.
 5. Elevations depicted on this survey are based upon NAVD83 (2012 Geoid) Datum.
 6. Benchmarks are shown on Sheet 2 and 3 and shall be verified before construction. Benchmark locations are shown on the plan and are referenced to Top of Hydrants.
 7. Sanitary and Storm Sewer inverts listed on sheet 1 are shown on sheet 2 and 3.
 8. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title interests.
 9. Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground obtained by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline on 01/06/23. One-Call locate numbers 2022407756, 20224620541, 20224620542, 20224620543, 20224620544, 20224620545, 20224620546, 20224620547, 20224620548, and 20224620549.
 10. Location of buried private utilities are not within the scope of this survey. The location of said private utilities depicted hereon has been determined upon field observations during the course of data survey work and has been provided for informational purposes only. Utilities other than those shown may be encountered, and the actual location of these utilities may be different from what is depicted hereon.

EXISTING
CONDITIONS NORTH

BC100



SURVEY LEGEND

- FOUND 1" # IRON PIPE
- FOUND 3/4" # IRON ROD
- ⊙ FOUND 1 1/4" # IRON ROD
- ▲ FOUND P.C. NAIL
- ✕ FOUND CHISELED "X"

BEARINGS ARE REFERENCED TO THE SYSTEM DATE QUANTY RECORDS. THE BEARING LINE OF THE SYSTEM DATE SECTION IS TO BE MEASURED AS BEARING MEASURED.

GRAPHIC SCALE FEET
0 15 30 60

TOPOGRAPHIC HATCHING LEGEND

- Concrete Pavement/Sidewalk
- Asphalt Pavement
- Landscaping/Mulch

TOPOGRAPHIC LINEWORK LEGEND

- Existing Fiber Optic Line
- Existing Underground Telephone
- Existing Retaining Wall
- Existing Chain Link Fence
- Existing Wood Fence
- Existing Gas Line
- Existing Underground Electric Line
- Existing Sanitary Sewer Line (SIZE NOTED)
- Existing Storm Sewer Line (SIZE NOTED)
- Existing Water Main (SIZE NOTED)
- Existing Major Contour
- Existing Minor Contour
- Existing Property Line
- Existing Easement Line
- Existing Curb & Gutter
- Existing Edge of Asphalt

TOPOGRAPHIC SYMBOL LEGEND

- Existing Post
- Existing Bollard
- Existing Sign (TYPE NOTED)
- Existing Curb Inlet
- Existing Field Inlet
- Existing Field Inlet Rectangular
- Existing Storm Manhole
- Existing Sanitary Manhole
- Existing Roof Drain
- Existing Sanitary Cleanout
- Existing Fire Hydrant
- Existing Water Main Valve
- Existing Water Manhole
- Existing Gas Valve
- Existing Gas Meter
- Existing Air Conditioning Pedestal
- Existing Electric Manhole
- Existing Electric Pedestal
- Existing Electric Rectangular Manhole
- Existing Down Gully
- Existing Utility Pole
- Existing Transformer
- Existing Light Pole
- Existing Generic Light
- Existing TV Pedestal
- Existing Telephone Manhole
- Existing Telephone Pedestal
- Existing Unidentified Manhole
- Existing Unidentified Utility
- Existing Traffic Signal
- Existing Coniferous Tree
- Existing Deciduous Tree

STORM SEWER STRUCTURES						
ID	TYPE	RIM ELEVATION (feet)	DIRECTION	INVERT (feet)	PIPE SIZE (inches)	COMMENTS
ST-1	STMH	850.47	SE	845.67	15	-
ST-2	STMH	851.07	NE/SW	843.37	36	Box Culvert (Bottom of Box)
ST-3	STMH	851	SW/NE	845.55	36	-
ST-4	FINR	851.3	E	845.85	36	-
ST-5	CIN	849.95	SE	847.44	12	-
ST-6	CIN	850.7	W	846.90	12	-
ST-7	CIN	850.52	E	846.67	12	-
ST-8	STMH	851.6	EW	845.22	12	Bottom of Box
ST-9	STMH	851.6	E	844.80	24	-
ST-10	CIN	851.81	SE	848.39	12	-
ST-11	FINR	851.81	E	847.79	-	-
ST-12	CIN	852.90	E	844.80	24	Full of Snow
ST-20	STMH	850.79	E	844.90	-	Box Culvert
ST-21	CIN	850.00	W	845.61	-	-
ST-22	CIN	850.8	W	846.08	-	Flag Elevation
ST-23	CIN	852.4	W	846.74	12	-
ST-24	CIN	852.95	E	848.18	-	-
ST-25	FINR	852.63	E	846.38	-	-
ST-31	CIN	852.22	NW	848.41	12	-
ST-32	STMH	852.67	N	847.36	12	Bottom of Box
ST-33	CIN	851.11	W	847.73	12	-
ST-34	CIN	851.79	W	846.79	12	-
ST-35	CIN	851.76	E	847.23	18	-
ST-36	STMH	851.42	W	847.26	15	-
ST-37	STMH	850.92	E	846.59	12	-
ST-38	STMH	851.42	W	847.12	15	-
ST-39	STMH	850.92	E	845.94	36	Bottom of Box
ST-40	STMH	850.92	N	847.02	18	-
ST-41	FIN	850.77	SE	847.52	12	-
ST-42	FIN	851.35	W	848.25	-	Bottom of Box
ST-43	FIN	852.12	E	850.12	12	-
ST-44	FIN	852.45	N/S	848.51	12	Bottom of Box
ST-45	FIN	852.95	N	842.06	-	Bottom of Pipe
ST-46	FIN	852.96	E	847.52	12	-
ST-47	FIN	853.94	EW	847.79	-	-
ST-48	FIN	851.35	E	846.38	-	-
ST-49	FINR	852.27	E	850.57	12	-
ST-50	FINR	851.83	E	-	-	Full
ST-51	FIN	852.89	EW	847.33	8	-
ST-52	CIN	852.11	N	845.58	24	-
ST-53	CIN	852.67	E	846.37	12	-
ST-54	CIN	852.67	W	846.50	12	-
ST-55	CIN	850.94	N	845.17	24	-
ST-56	CIN	852.77	E	846.12	12	-
ST-57	CIN	851.94	W	845.17	24	-
ST-58	CIN	850.94	W	846.42	12	-
ST-59	CIN	850.83	N/S	845.00	24	-

TABLE NOTES:

1. BOTTOM OF PIPE = BOTTOM OF VAULT
2. BOTTOM OF BOX = BOTTOM OF INLET BOX
3. * = FROM CITY OF MADISON PLANS

PRELIMINARY
NOT FOR CONSTRUCTION

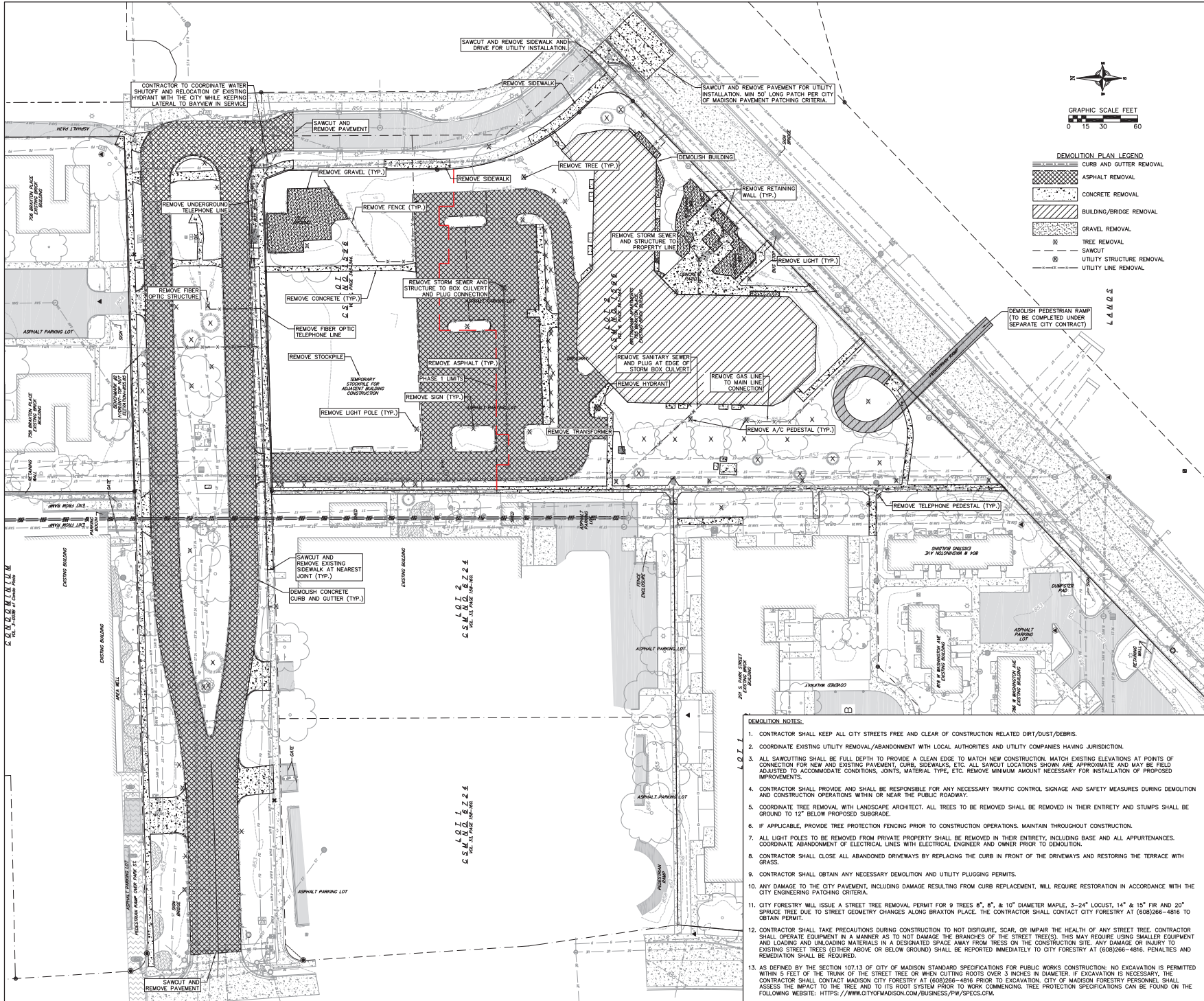
Taking Shape - Building B1
City of Madison CDA
797 Braxton Place
Madison, WI 53715

2021.32.01

DIGGERS HOTLINE
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www.DiggersHotline.com

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR BY REPRESENTATIVE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR SETTING THEM ON THESE PLANS OR NOT BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

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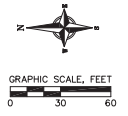
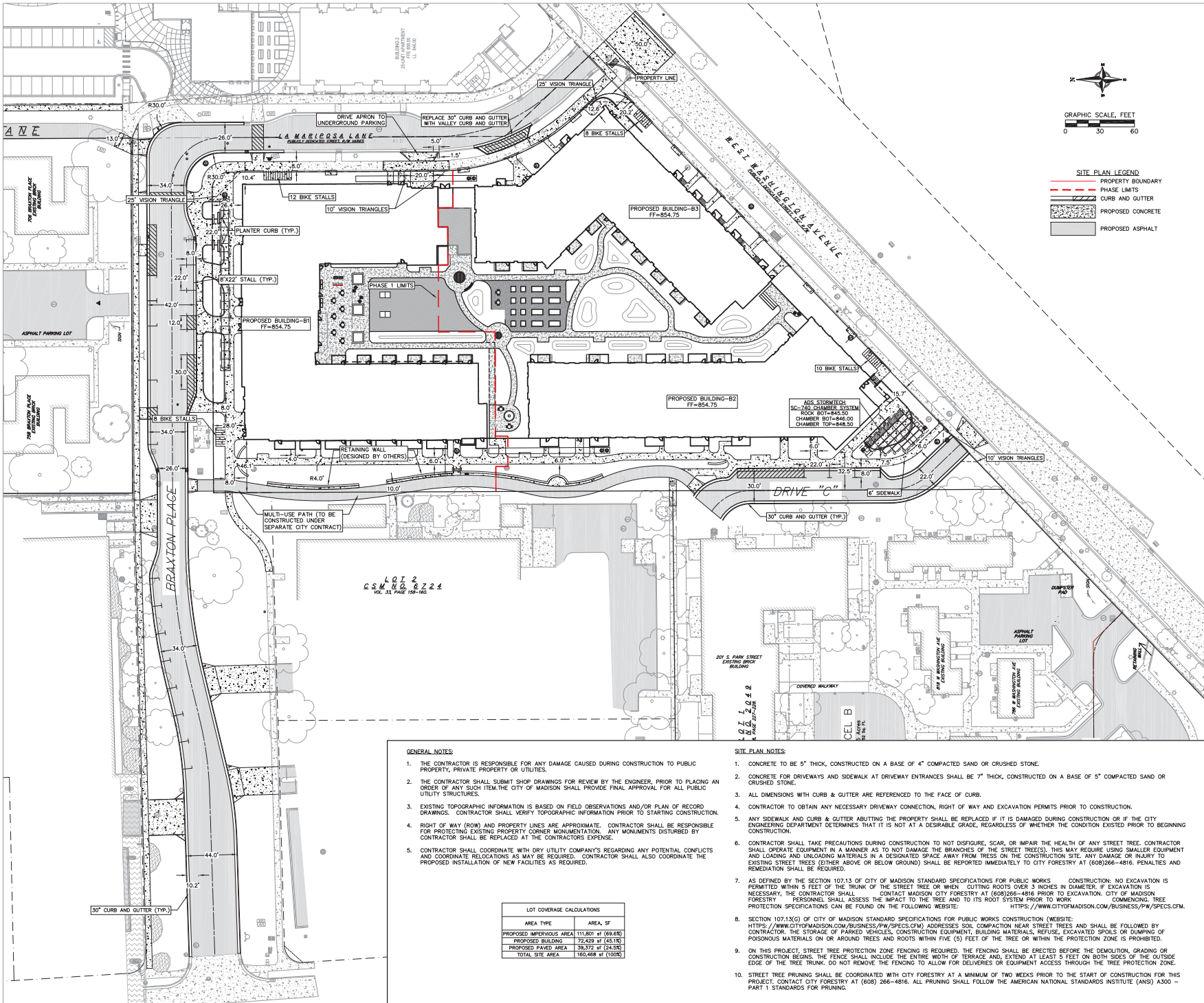
2021.32.01

DATE	ISSUANCE NUMBER
04/28/2021	ISSUANCE NUMBER
07/23/2020	ISSUANCE NUMBER
10/20/2020	ISSUANCE NUMBER

**DEMOLITION
PLAN**

BC200

1811410202-111431 AM (P) Potter Lawson (2021) - final.dwg - Madison (2021) - Building B1 - 797 Braxton Place - Madison, WI 53715 - 10/20/2020 - 10/20/2020 - 10/20/2020 - 10/20/2020



- SITE PLAN LEGEND**
- PROPERTY BOUNDARY
 - - - PHASE LIMITS
 - ▨ CURB AND GUTTER
 - ▨ PROPOSED CONCRETE
 - ▨ PROPOSED ASPHALT

LOT 2
CSM NO. 6224
VOL. 31, PAGE 109-160

GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
2. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM THE CITY OF MADISON SHALL PROVIDE FINAL APPROVAL FOR ALL PUBLIC UTILITY STRUCTURES.
3. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON FIELD OBSERVATIONS AND/OR PLAN OF RECORD DRAWINGS. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
4. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
5. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.

SITE PLAN NOTES:

1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
4. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
5. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
6. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608)266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
7. AS DEFINED BY THE SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608)266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK. COMMENCING TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm).
8. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)) ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPILLS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
9. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
10. STREET TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608) 266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANS) A300 - PART 1 STANDARDS FOR PRUNING.

LOT COVERAGE CALCULATIONS	
AREA TYPE	AREA, SF
PROPOSED IMPERVIOUS AREA	111,007 sf (69.8%)
PROPOSED BUILDING	72,425 sf (45.1%)
PROPOSED PAVED AREA	38,372 sf (24.3%)
TOTAL SITE AREA	156,468 sf (100%)



PRELIMINARY
NOT FOR CONSTRUCTION

Taking Shape - Building B1
City of Madison CDA
797 Braxton Place
Madison, WI 53715

2021.32.01

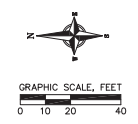
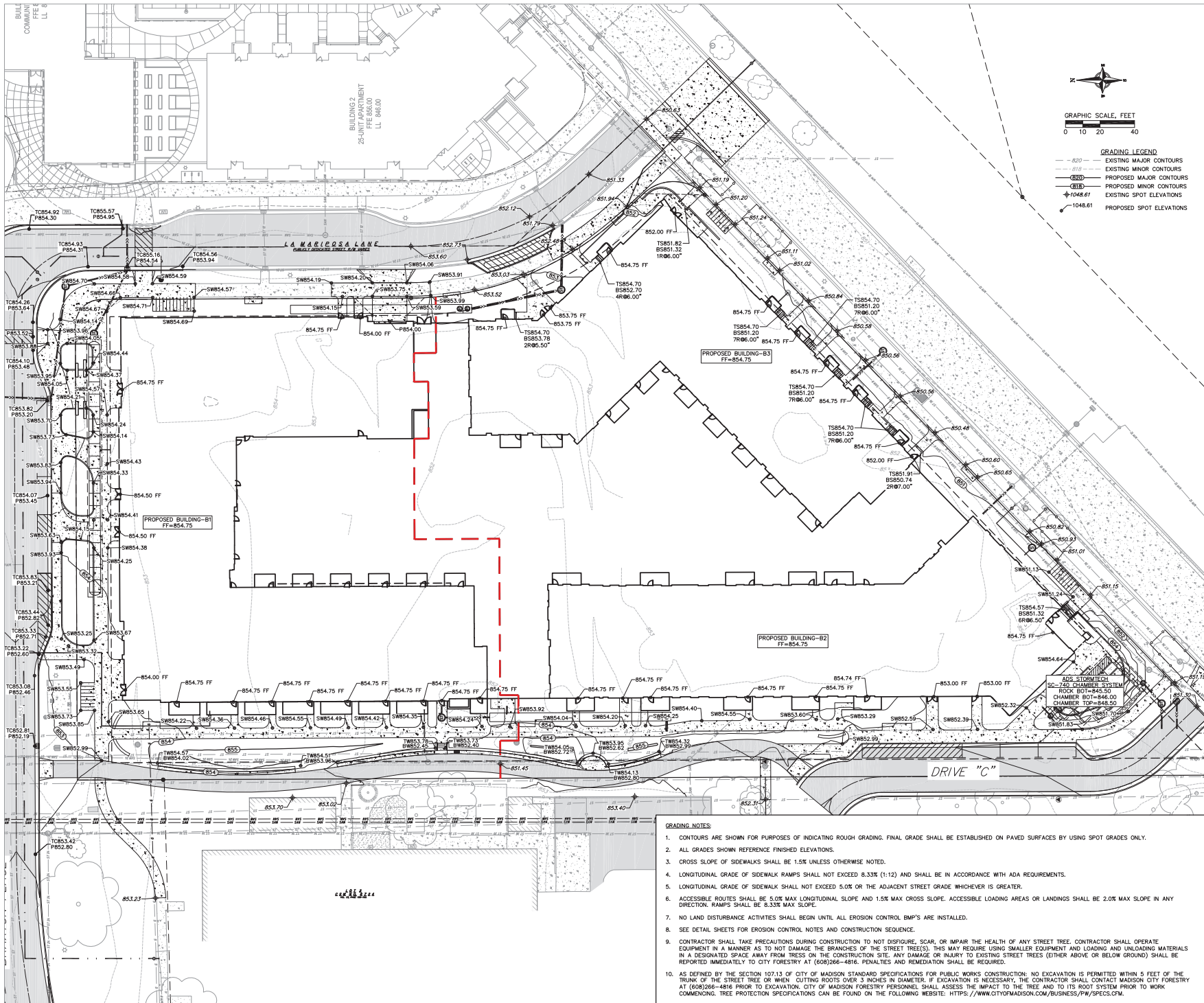
DATE	DESCRIPTION
04/08/2024	LAND USE APPLICATION
07/22/2024	CITY DEVELOPMENT
10/22/2024	CITY PLANNING DIVISION

SITE PLAN

BC300

181142024-1113157 AM 10/2/2024 Potter Lawson 220112_1_image_Site_Madison CAD220112_3 Site DRW.rvt

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GRADING LEGEND

- - - - - EXISTING MAJOR CONTOURS
- - - - - EXISTING MINOR CONTOURS
- - - - - PROPOSED MAJOR CONTOURS
- - - - - PROPOSED MINOR CONTOURS
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS



PRELIMINARY
NOT FOR CONSTRUCTION

Taking Shape - Building B1
City of Madison CDA
797 Braxton Place
Madison, WI 53715

2021.32.01

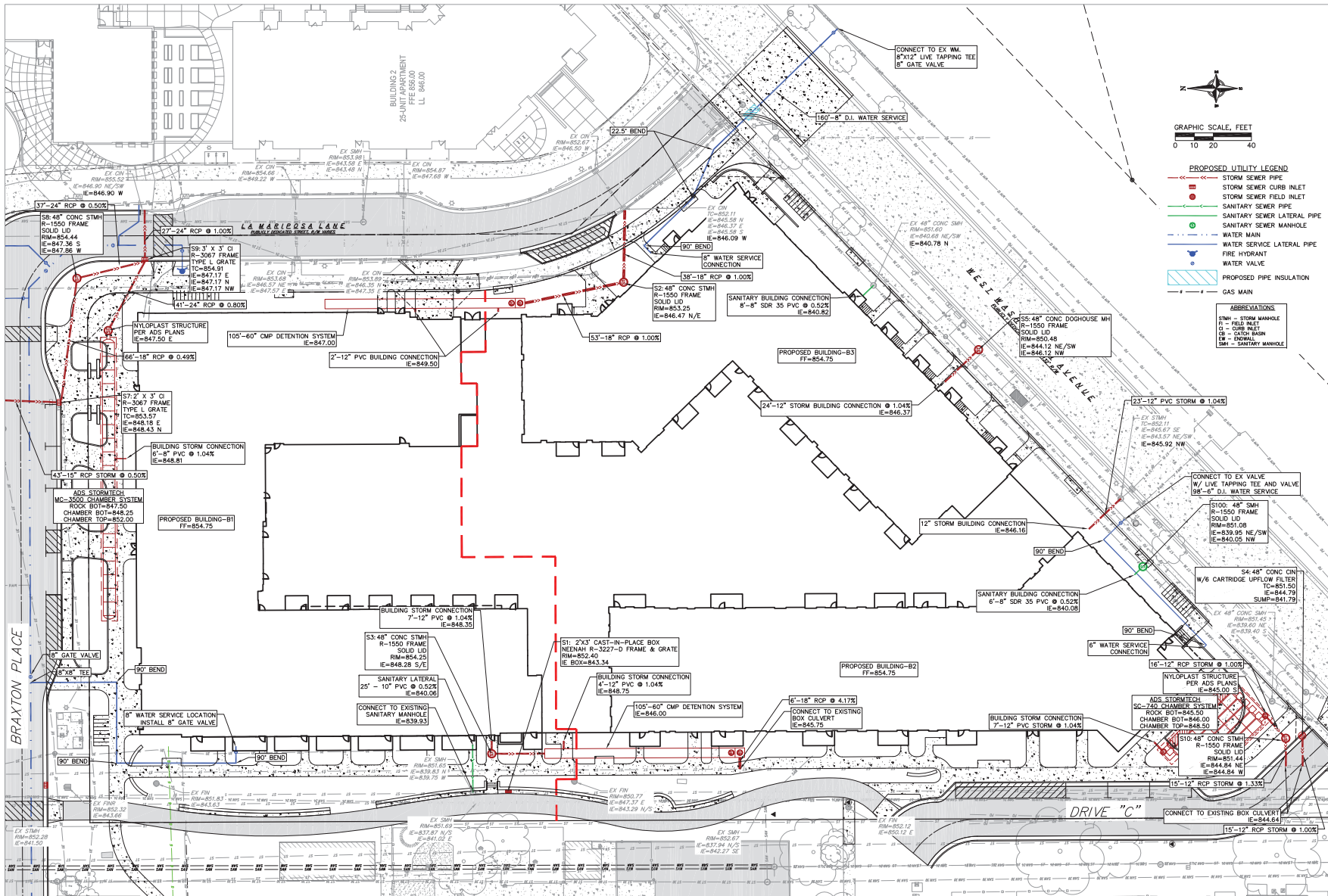
DATE	DESCRIPTION
04/28/2021	ISSUE FOR PERMITTING
07/23/2021	CITY DEVELOPMENT
10/28/2021	REV. PLAN WORKING

- GRADING NOTES:**
- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
 - ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
 - CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
 - LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
 - LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
 - ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMP SHALL BE 8.33% MAX SLOPE.
 - NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
 - SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
 - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608)266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
 - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608)266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/Business/PW/SPECS.CFM).

GRADING PLAN

BC400

18/14/2024 11:17:50 AM N:\P\potter_lawson\20210111_mplg\Site_Madison\CAD\20210111_B_Grading & E.Cwg



PRELIMINARY
NOT FOR CONSTRUCTION

Taking Shape - Building B1
City of Madison CDA
797 Braxton Place
Madison, WI 53715

2021.32.01

DATE	ISSUANCE/REVISION
04/28/2021	ISSUE FOR PERMITTING
07/23/2021	PERMIT DEVELOPMENT
10/23/2021	FOR CONSTRUCTION

- UTILITY NOTES:**
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
 - SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
 - CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
 - IF Dewatering operations exceed 7 gallons per minute of pumping capacity, a dewatering well permit shall be obtained prior to starting any dewatering activities.
 - A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
 - PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
 - STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-6 OF SPS 384.30(3)(c).
 - UNDERGROUND DRAIN AND VENT PIPE/TUBING SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-2 OF SPS 384.30(2).
 - PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(g).
 - PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
 - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(x).
 - EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
 - NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.146.06.
 - SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
 - CONTRACTOR TO CHLORINATE AND BACTERIA TEST BEFORE DOMESTIC SUPPLY PURPOSES.
 - CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
 - SANITARY SEWER MAIN AT BURY DEPTHS GREATER THAN 18" SHALL BE SDR 35. ALL OTHER SANITARY SEWER MAIN SHALL BE SDR 35.
 - CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANIES REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
 - ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
 - INSTALL 1 SHEET OF 4"x8"x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER OR WATER LATERALS.
 - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608)266-4818. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
 - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608)266-4818 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/BUSINESS/PW/SPECS.CFM).

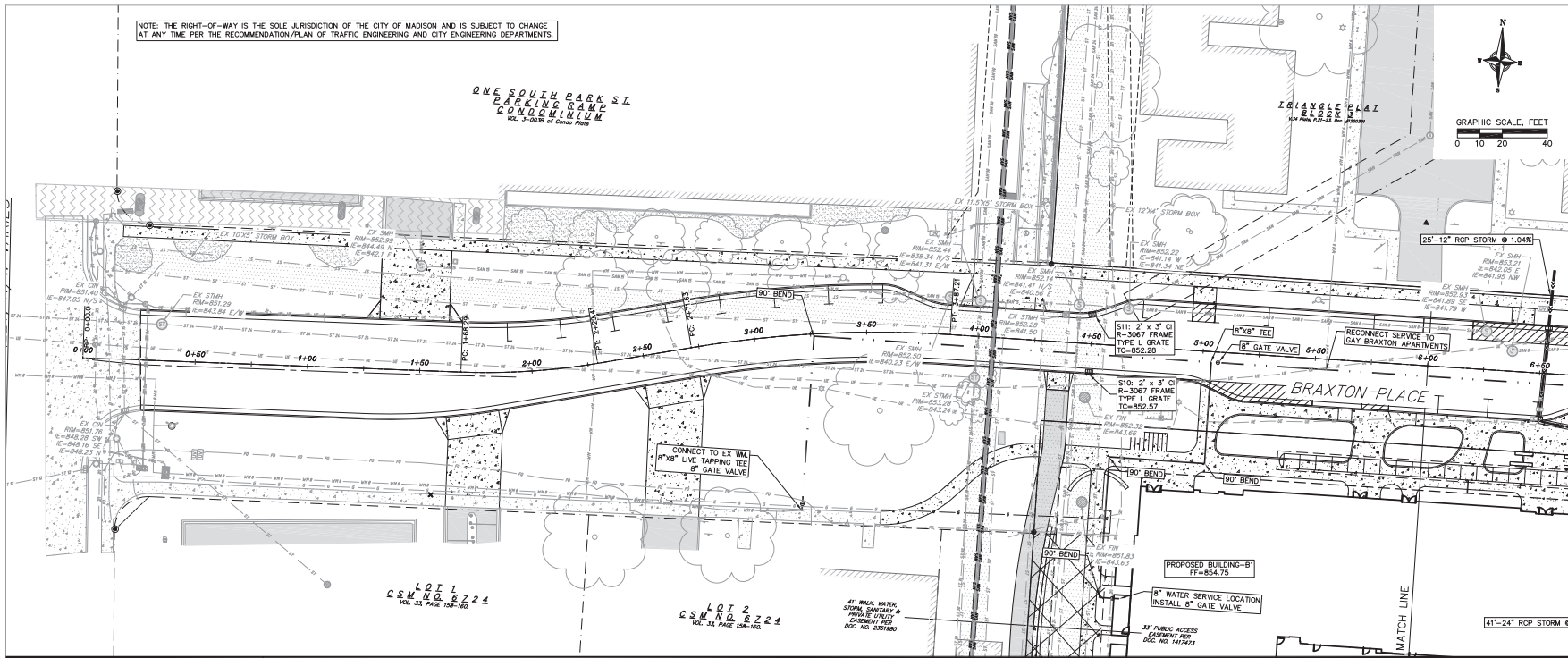
UTILITY PLAN

BC500

NOTE: THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

ONE SOUTH PARK ST.
PARKING RAMP
CONDOMINIUM
VOL. 3-0062 OF CONDO PLAN

TRIANGLE PLAZA
EX. 2' x 3' CI
R-3067 FRAME
TYPE I GRATE
TC=852.28

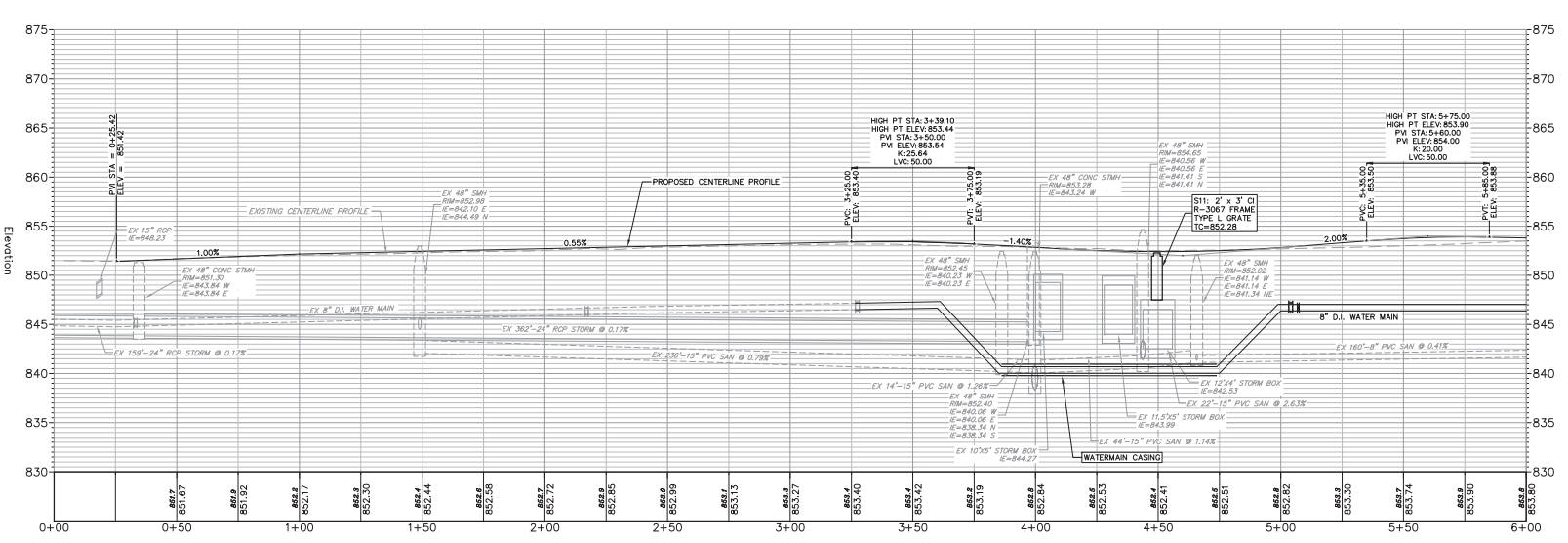


LOT 1
C.S.M. NO. 6224
VOL. 31, PAGE 158-162

LOT 2
C.S.M. NO. 6224
VOL. 31, PAGE 158-162

4" WALK WATER
STORM DRAINAGE #
PVC 15" VERT
EASTWENT TEST
DOC. NO. 231980

NOTE: EXISTING WATERMAIN PROFILE ASSUMES 6.0' OF COVER. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION PRIOR TO REMOVING ANY UTILITIES TO DETERMINE IF CONFLICTS ARISE.



PRELIMINARY
NOT FOR CONSTRUCTION

Taking Shape - Building B1
City of Madison CDA
755 BRAXTON PLACE
MADISON, WI 53715

2021.32.01

DATE	ISSUANCE/REVISION
04/28/2021	ISSUANCE FOR PERMIT
07/23/2020	GENERIC DEVELOPMENT
10/26/2020	REV. PLAN WORKING

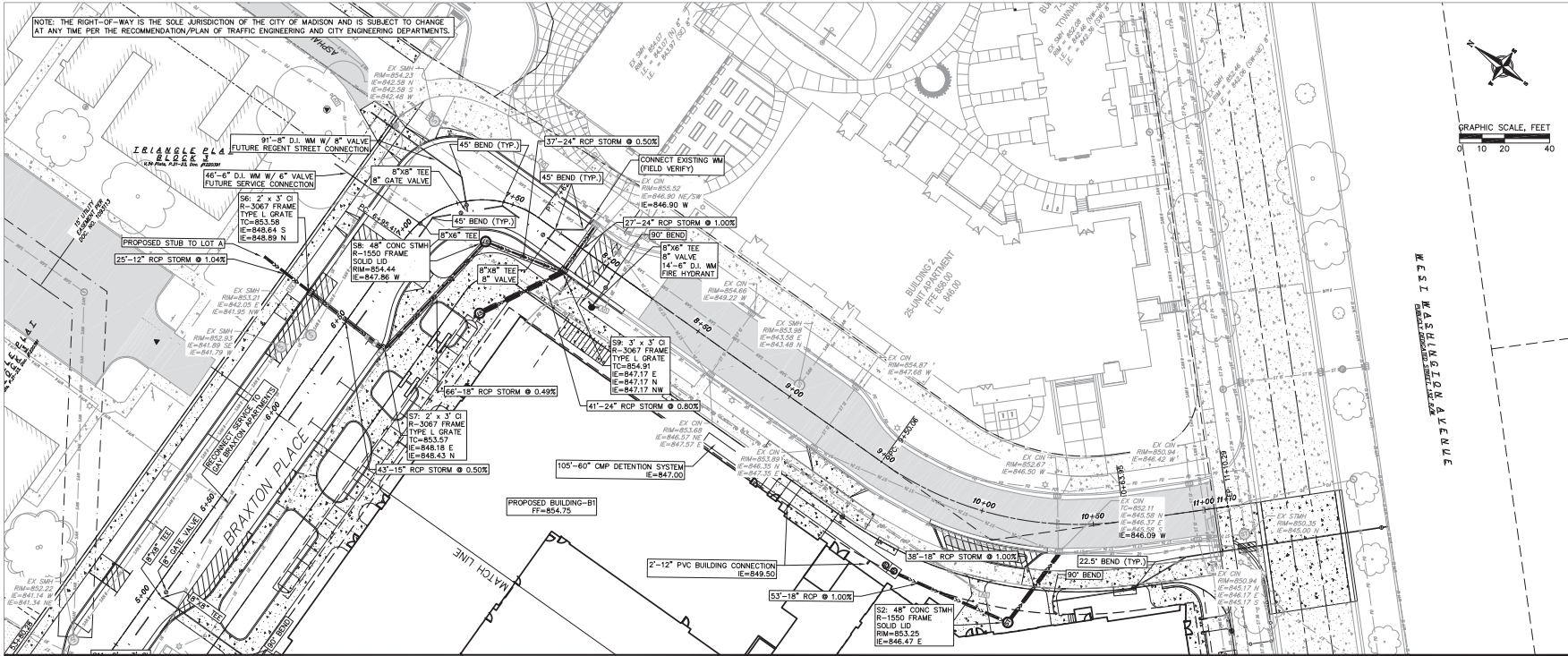
PLAN & PROFILE -
BRAXTON PLACE

BC501



10/14/2021 11:19:58 AM N:\P\Plan_Lawson\220101_Plan_Profile_BC501\220101_Plan_Profile.dwg

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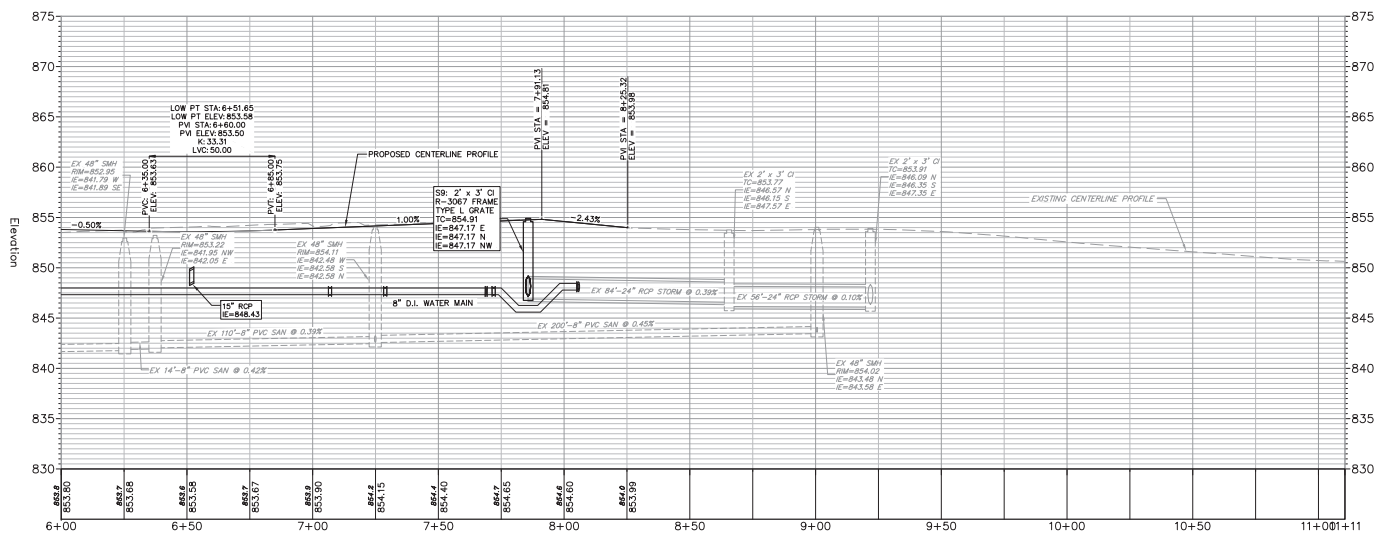
NOTE: THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.



GRAPHIC SCALE, FEET
0 10 20 40



NOTE: EXISTING WATERMAIN PROFILE ASSUMES 6.0' OF COVER. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION PRIOR TO REMEDIATING ANY UTILITIES TO DETERMINE IF CONFLICTS ARISE.



PRELIMINARY
NOT FOR CONSTRUCTION

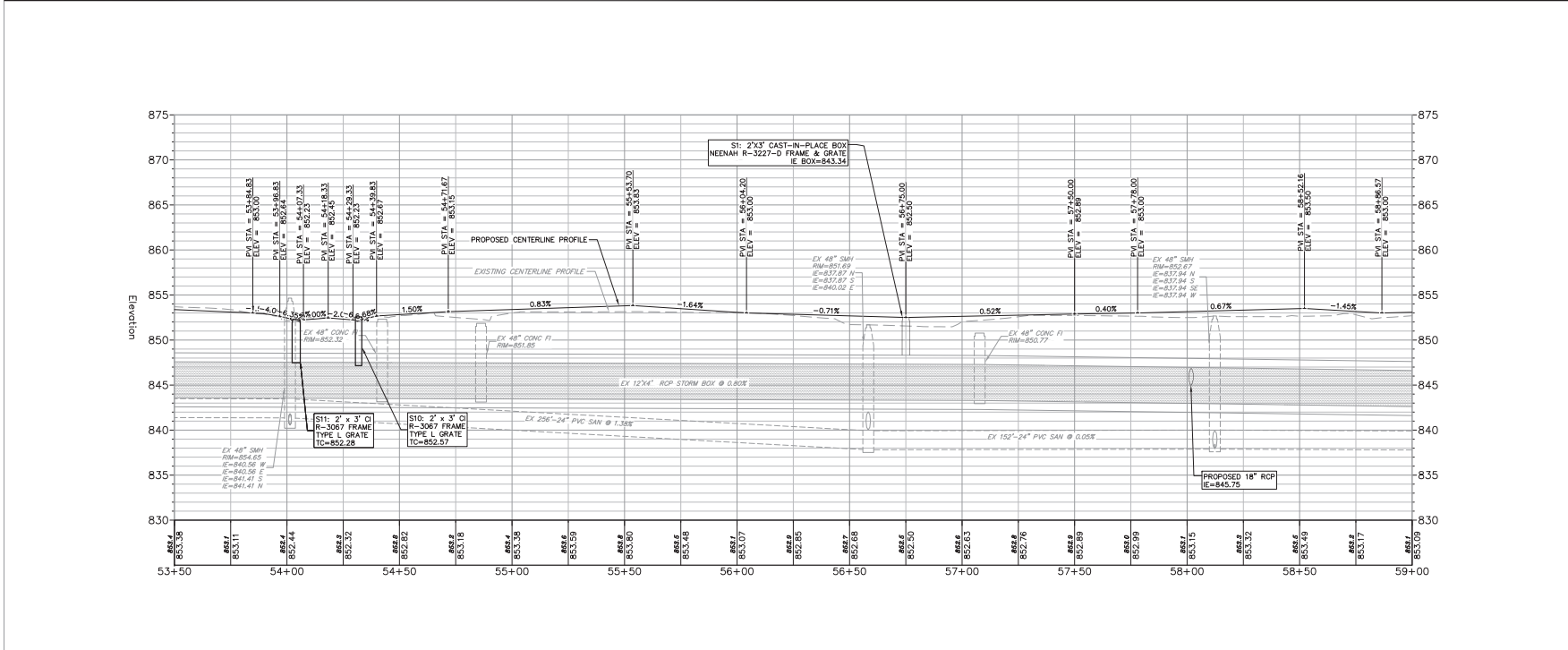
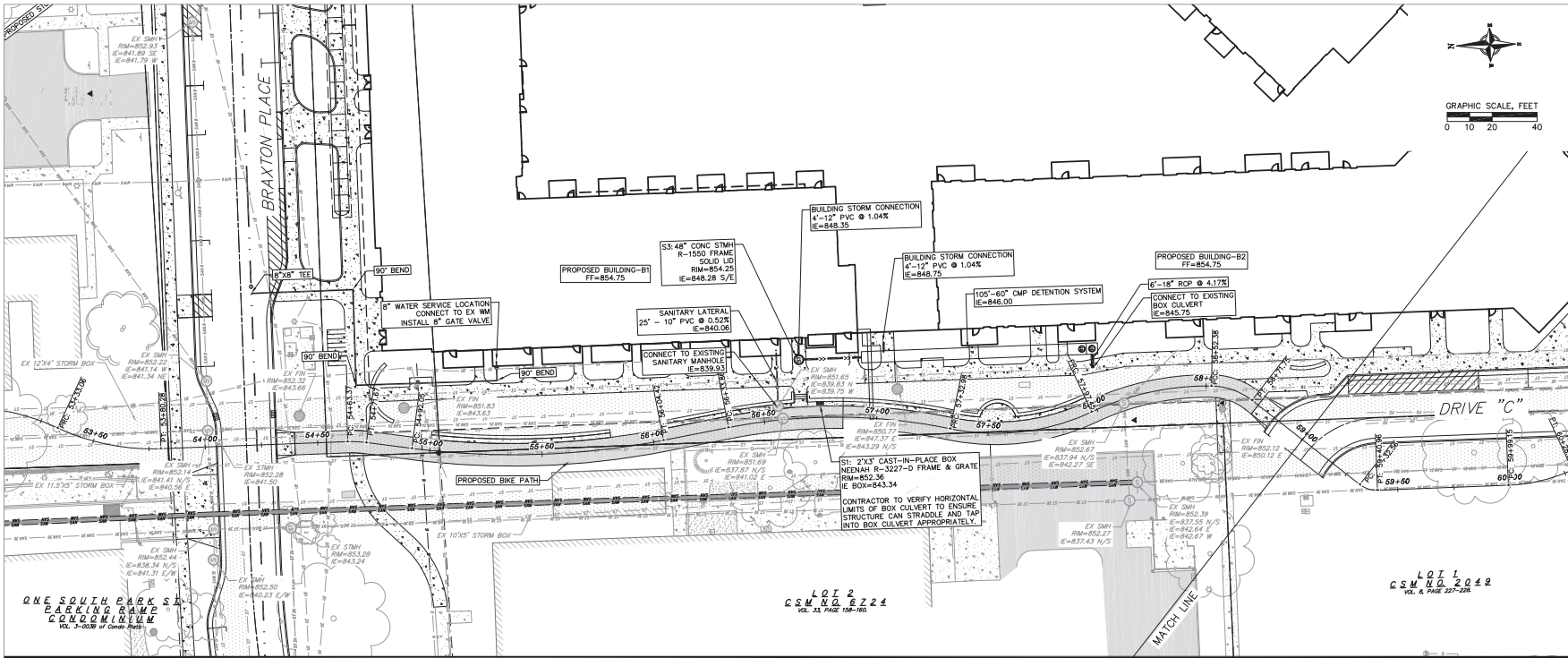
Taking Shape - Building B1
City of Madison CDA
755 BRAXTON PLACE
MADISON, WI 53715

2021.32.01

DATE	ISSUANCE/REVISION
04/28/2021	ISSUE FOR PERMITTING
07/23/2021	GENERIC DEVELOPMENT
10/28/2021	FOR PLAN REVIEW

PLAN & PROFILE -
BRAXTON PLACE

BC502



PRELIMINARY
NOT FOR CONSTRUCTION

Taking Shape - Building B1
City of Madison CDA
797 Braxton Place
Madison, WI 53715

2021.32.01

DATE	ISSUANCE/REVISION
04/28/2021	ISSUE FOR PERMITTING
07/23/2021	CONTRACT DEVELOPMENT
10/23/2021	FINAL WORK PERMIT

PLAN & PROFILE -
BIKE PATH

BC503

18/14/2024 11:18:16 AM K:\P\Potter_Lawson\220101_Thompson_Site_Madison\CADD\220101_L_Plan & Profile.dwg

HARDSCAPE & SITE FURNISHINGS SCHEDULE

	PROPERTY LINE / PUBLIC R.O.W.
	PHASING LINE
	TREE PROTECTION FENCE
	PHASE 1 TEMPORARY CONCRETE PAVING OVER STRUCTURE
	CONCRETE PAVING
	COLORLED CONCRETE PAVING
	TRUNCATED DOME PAVERS
	STABILIZED CRUSHED STONE PAVING
	ARTIFICIAL TURF OVER STRUCTURE

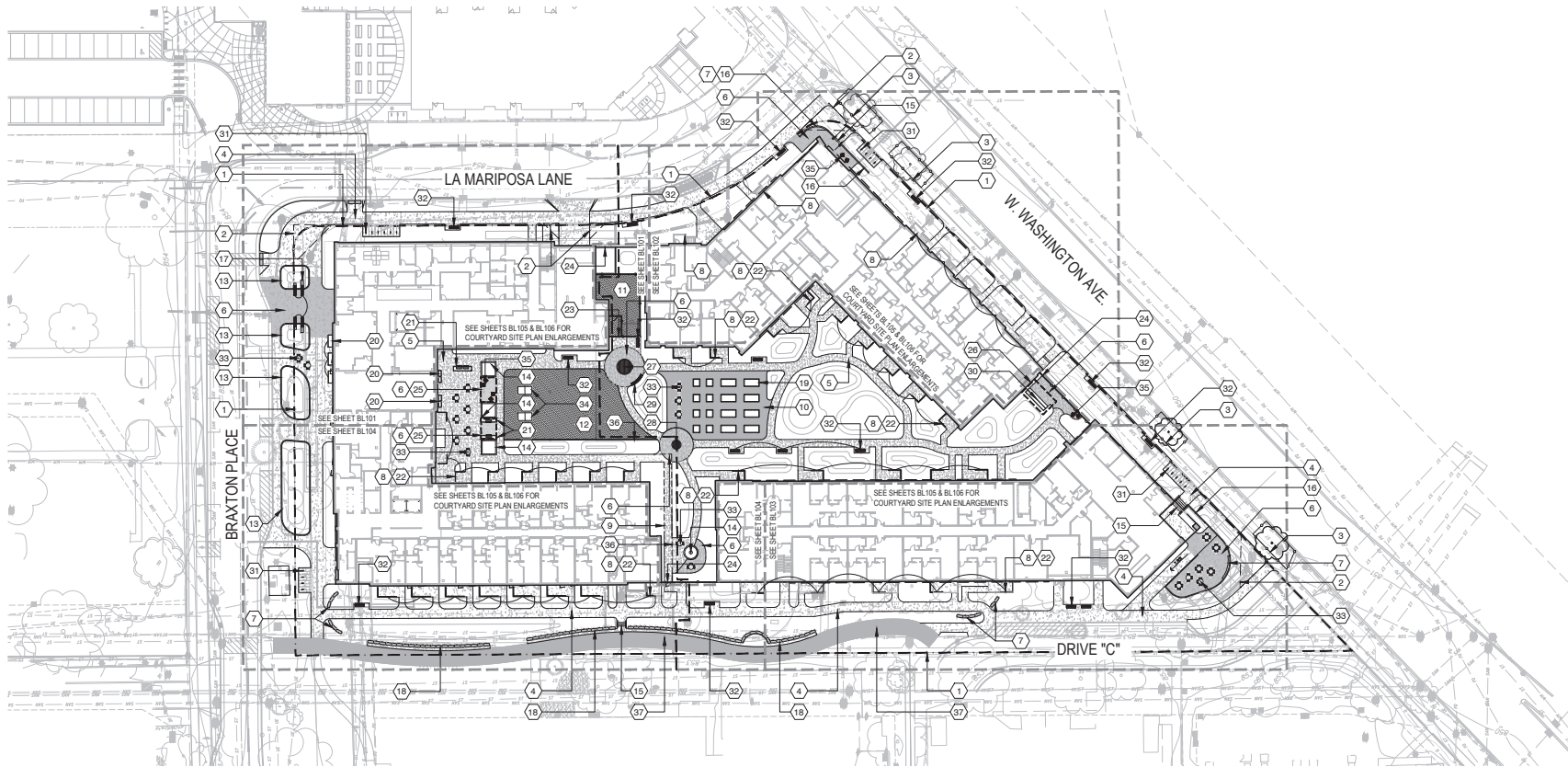
	BIKE RACK
	TABLE AND CHAIR SET, 3 & 4 SEAT CONFIGURATION SURFACE MOUNT - OFCI
	6' BENCH SURFACE MOUNT - OFCI
	MOVABLE CHAIRS - OFCI
	GAME TABLES - OFCI
	PREFABRICATED METAL PRIVACY SCREEN, 3' HT.

REFERENCE SCHEDULE

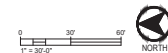
1	PROPERTY LINE / PUBLIC R.O.W.
2	VISION TRIANGLE
3	TREE PROTECTION FENCE - 18L305
4	CONCRETE PAVING - SEE CIVIL PLANS
5	CONCRETE PAVEMENT ON ROOF - 18L303
6	COLORLED CONCRETE PAVING - SEE SPECS
7	PROPOSED GATEWAY / SIGNAGE FEATURE
8	PRIVATE UNIT PATIO
9	PHASE 1 TEMPORARY CONCRETE PAVING
10	STABILIZED CRUSHED STONE PAVING - 108118L303
11	ARTIFICIAL TURF, TYPE 1 - 2838L303
12	ARTIFICIAL TURF, TYPE 2 - 48L303
13	C.I.P. CONCRETE CURB - 38L301
14	PRECAST CONCRETE PLANTER WALL - 98L303
15	CONCRETE STAIR (SEE CIVIL PLANS) & HANDRAIL - 18L301
16	PRECAST CONCRETE RETAINING WALL - 58L301
17	PRECAST CONCRETE SEAT WALL WITH WOOD BENCH TOP - 68L301
18	STONE RETAINING WALL - 48L301
19	RAISED GARDEN BED PLANTER - 38L304
20	GFRG PLANTER - 48L304
21	GRILL ISLAND - 1828L304
22	FENCE, TYPE 1 - 58L302
23	FENCE & GATE, TYPE 2 - 68L302
24	FENCE & GATE, TYPE 3 - 78L302
25	PERGOLA, TYPE 1 - 28L302
26	PERGOLA, TYPE 2 - 28L302
27	STAGE / SEATING, TYPE 1 - 18L302
28	STAGE / SEATING, TYPE 2 - 18L302
29	PREFABRICATED SEATING, TYPE 1 - 38L302
30	PREFABRICATED SEATING, TYPE 2 - 48L302
31	BIKE RACK, TYP. - 78L301
32	6' BENCH - OFCI
33	TABLE & CHAIR SET, TYP. - OFCI
34	GAME TABLE - OFCI
35	MOVABLE CHAIRS - OFCI
36	PHASE 1 TEMPORARY PARAPET WALL - SEE ARCH PLANS
37	MULTI-USE PATH - SEE CIVIL PLANS

NOTES:

1. ALL PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY WILL REQUIRE A DEVELOPER'S AGREEMENT AND WILL BE COORDINATED WITH CITY ENGINEERING, TRAFFIC ENGINEERING, FORESTRY, AND OTHER CITY DEPARTMENTS AS REQUIRED.
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3. CONTRACTOR SHALL CONTACT DIGGERS HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
4. CONTRACTOR SHALL PROTECT BENCHMARKS. ANY RELOCATED BENCHMARKS SHALL BE INCLUDED IN CONTRACTOR AS-BUILTS.
5. BICYCLE STALLS SHALL BE A MINIMUM OF 2'-0" BY 8'-0" PLACEMENT SHALL NOT RESULT IN THE OBSTRUCTION OF A WALKWAY.
6. BICYCLE RACKS SHALL BE SPACED 4'-0" APART AS INDICATED.
7. ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
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1 SITE PLAN - OVERALL
SCALE: 1" = 30'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

Taking Shape - Building B1
City of Madison CDA
797 Braxton Place
Madison, WI 53715

2021.32.01

DATE	DESCRIPTION
04/28/2021	ISSUANCE APPROVAL
05/06/2021	LAND USE APPLICATION
07/29/2021	DE SIGN OF DEVELOPMENT
10/26/2021	SITE PLAN VERIFICATION

SITE PLAN - OVERALL

BL100

HARDSCAPE & SITE FURNISHINGS SCHEDULE

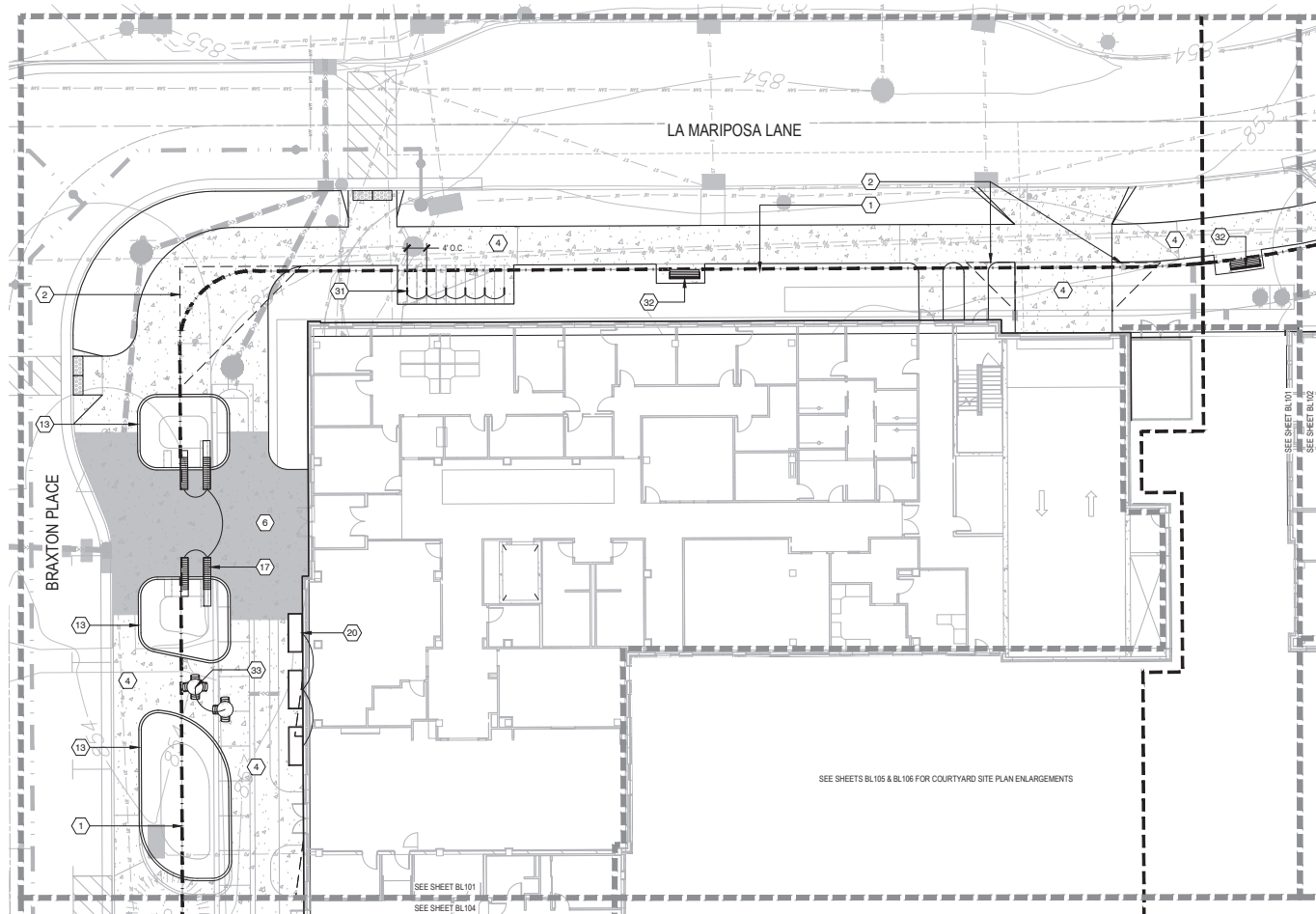
PROPERTY LINE / PUBLIC R.O.W.	BIKE RACK
PHASING LINE	TABLE AND CHAIR SET, 3 & 4 SEAT CONFIGURATION SURFACE MOUNT - OFOI
TREE PROTECTION FENCE	6' BENCH SURFACE MOUNT - OFOI
PHASE 1 TEMPORARY CONCRETE PAVING OVER STRUCTURE	MOVEABLE CHAIRS - OFOI
CONCRETE PAVING	GAME TABLES - OFOI
COLORED CONCRETE PAVING	PREFABRICATED METAL PRIVACY SCREEN, 3' HT.
TRUNCATED DOME PAVERS	
STABILIZED CRUSHED STONE PAVING	
ARTIFICIAL TURF OVER STRUCTURE	

REFERENCE SCHEDULE

1 PROPERTY LINE / PUBLIC R.O.W.	18 STONE RETAINING WALL - 4BL301	55 MOVABLE CHAIRS - OFOI
2 VISION TRIANGLE	19 RAISED GARDEN BED PLANTER - 3BL304	56 PHASE 1 TEMPORARY PARAPET WALL - SEE ARCH PLANS
3 TREE PROTECTION FENCE - 1BL305	20 GFRC PLANTER - 4BL304	57 MULTUUSE PATH - SEE CIVIL PLANS
4 CONCRETE PAVING - SEE CIVIL PLANS	21 GRILL ISLAND - 1A2BL304	
5 CONCRETE PAVING ON ROOF - 1BL303	22 FENCE, TYPE 1 - 5BL302	
6 COLORED CONCRETE PAVING - SEE SPECS	23 FENCE & GATE, TYPE 2 - 6BL302	
7 PROPOSED GATEWAY / SIGNAGE FEATURE	24 FENCE & GATE, TYPE 3 - 7BL302	
8 PRIVATE UNIT PATIO	25 PERGOLA, TYPE 1 - 2BL302	
9 PHASE 1 TEMPORARY CONCRETE PAVING	26 PERGOLA, TYPE 2 - 2BL302	
10 STABILIZED CRUSHED STONE PAVING - 10X11BL303	27 STAGE / SEATING, TYPE 1 - 1BL302	
11 ARTIFICIAL TURF, TYPE 1 - 2B3BL303	28 STAGE / SEATING, TYPE 2 - 1BL302	
12 ARTIFICIAL TURF, TYPE 2 - 4BL303	29 PREFABRICATED SEATING, TYPE 1 - 3BL302	
13 C.I.P. CONCRETE CURB - 3BL301	30 PREFABRICATED SEATING, TYPE 2 - 4BL302	
14 PRECAST CONCRETE PLANTER WALL - 9BL303	31 BIKE RACK, TYP. - 7BL301	
15 CONCRETE STAIR (SEE CIVIL PLANS) & HANDRAIL - 1BL301	32 6' BENCH - OFOI	
16 PRECAST CONCRETE RETAINING WALL - 5BL301	33 TABLE & CHAIR SET, TYP. - OFOI	
17 PRECAST CONCRETE SEAT WALL WITH WOOD BENCH TOP - 6BL301	34 GAME TABLE - OFOI	

NOTES:

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1 SITE PLAN - ENLARGEMENT
SCALE: 1" = 10'-0"

SEE SHEETS BL105 & BL106 FOR COURTYARD SITE PLAN ENLARGEMENTS



PRELIMINARY
NOT FOR CONSTRUCTION

Taking Shape - Building B1
City of Madison CDA
797 Braxton Place
Madison, WI 53715

2021.32.01




DATE	REVISION / REVISIONS
05/08/2024	LAND USE APPLICATION
07/26/2024	DESIGN DEVELOPMENT
08/19/2024	SITE PLAN SUBMITTAL

SITE PLAN - ENLARGEMENT

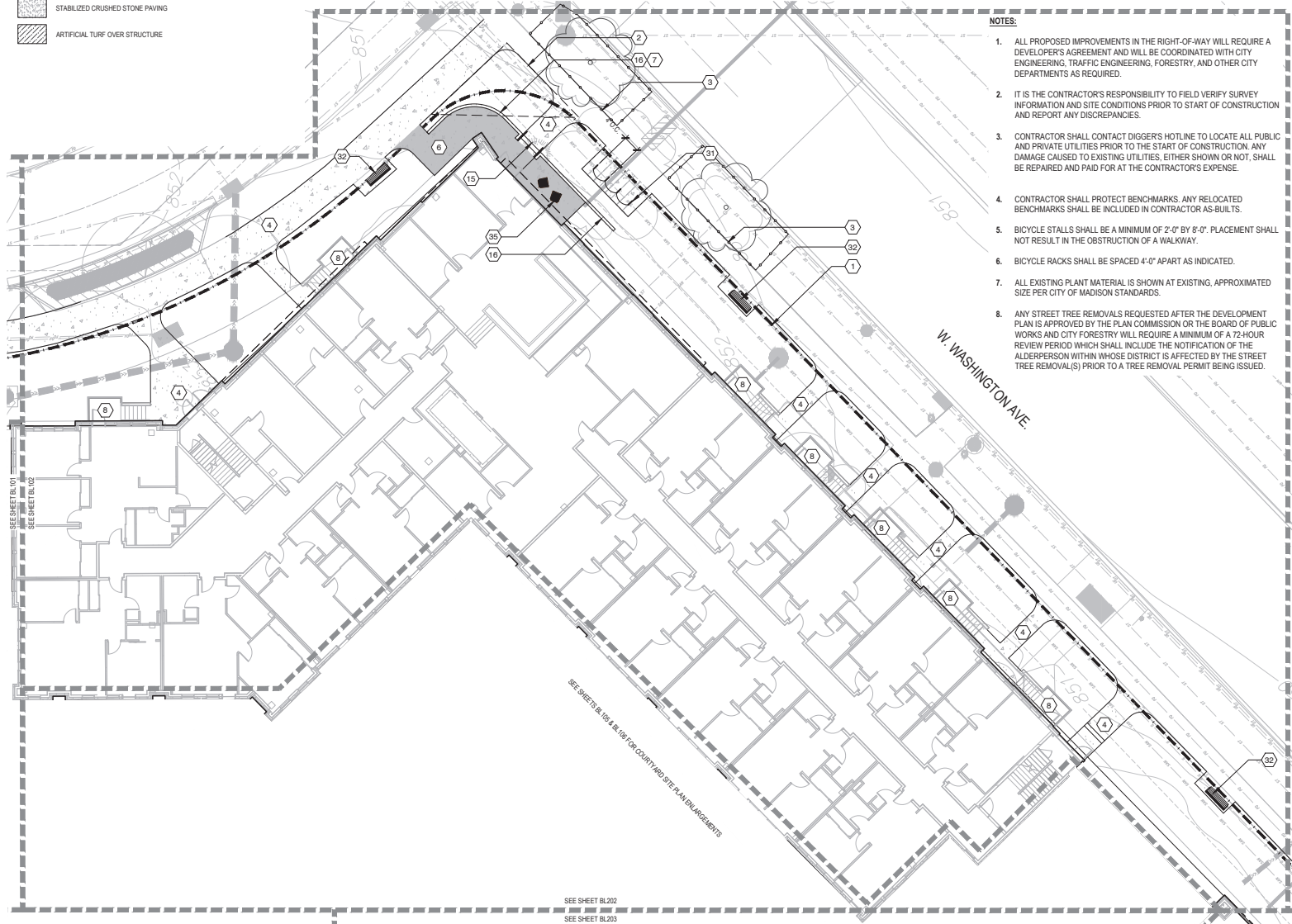
BL101

HARDSCAPE & SITE FURNISHINGS SCHEDULE

REFERENCE SCHEDULE

 PROPERTY LINE / PUBLIC R.O.W.	 BIKE RACK
 PHASING LINE	 TABLE AND CHAIR SET, 3 & 4 SEAT CONFIGURATION SURFACE MOUNT - OFOI
 TREE PROTECTION FENCE	 6' BENCH SURFACE MOUNT - OFOI
 PHASE 1 TEMPORARY CONCRETE PAVING OVER STRUCTURE	 MOVEABLE CHAIRS - OFOI
 CONCRETE PAVING	 GAME TABLES - OFOI
 COLORED CONCRETE PAVING	 PREFABRICATED METAL PRIVACY SCREEN, 3' HT.
 TRUNCATED DOME PAVERS	
 STABILIZED CRUSHED STONE PAVING	
 ARTIFICIAL TURF OVER STRUCTURE	

1 PROPERTY LINE / PUBLIC R.O.W.	11 ARTIFICIAL TURF, TYPE 1 - 2&3/BL303	20 GFRC PLANTER - 4/BL304	30 PREFABRICATED SEATING, TYPE 2 - 4/BL302
2 VISION TRIANGLE	12 ARTIFICIAL TURF, TYPE 2 - 4/BL303	21 GRILL ISLAND - 1&2/BL304	31 BIKE RACK, TYP - 7/BL301
3 TREE PROTECTION FENCE - 1/BL305	13 C.I.P. CONCRETE CURB - 3/BL301	22 FENCE, TYPE 1 - 5/BL302	32 6' BENCH - OFOI
4 CONCRETE PAVING - SEE CIVIL PLANS	14 PRECAST CONCRETE PLANTER WALL - 9/BL303	23 FENCE & GATE, TYPE 2 - 6/BL302	33 TABLE & CHAIR SET, TYP - OFOI
5 CONCRETE PAVEMENT ON ROOF - 1/BL303	15 CONCRETE STAIR (SEE CIVIL PLANS) & HANDRAIL - 1/BL301	24 FENCE & GATE, TYPE 3 - 7/BL302	34 GAME TABLE - OFOI
6 COLORED CONCRETE PAVING - SEE SPECS	16 PRECAST CONCRETE RETAINING WALL - 5/BL301	25 PERGOLA, TYPE 1 - 2/BL302	35 MOVEABLE CHAIRS - OFOI
7 PROPOSED GATEWAY / SIGNAGE FEATURE	17 PRECAST CONCRETE SEAT WALL WITH WOOD BENCH TOP - 6/BL301	26 PERGOLA, TYPE 2 - 2/BL302	36 1' TEMPORARY PARAPET WALL - SEE ARCH PLANS
8 PRIVATE UNIT PATIO	18 STONE RETAINING WALL - 4/BL301	27 STAGE / SEATING, TYPE 1 - 1/BL302	37 MULTISEAT PATH - SEE CIVIL PLANS
9 PHASE 1 TEMPORARY CONCRETE PAVING	19 RAISED GARDEN BED PLANTER - 3/BL304	28 STAGE / SEATING, TYPE 2 - 1/BL302	
10 STABILIZED CRUSHED STONE PAVING - 10&11/BL303		29 PREFABRICATED SEATING, TYPE 1 - 3/BL302	



NOTES:

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1 SITE PLAN - ENLARGEMENT
SCALE: 1" = 10'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

Taking Shape - Building B1
City of Madison CDA
797 Braxton Place
Madison, WI 53715
















2021.32.01

DATE	ISSUANCE / REVISIONS
09/28/2024	LAND USE APPLICATION
07/25/2024	DESIGN DEVELOPMENT
05/29/2024	SITE PLAN WORKSHOP

SITE PLAN - ENLARGEMENT

BL102

HARDSCAPE & SITE FURNISHINGS SCHEDULE

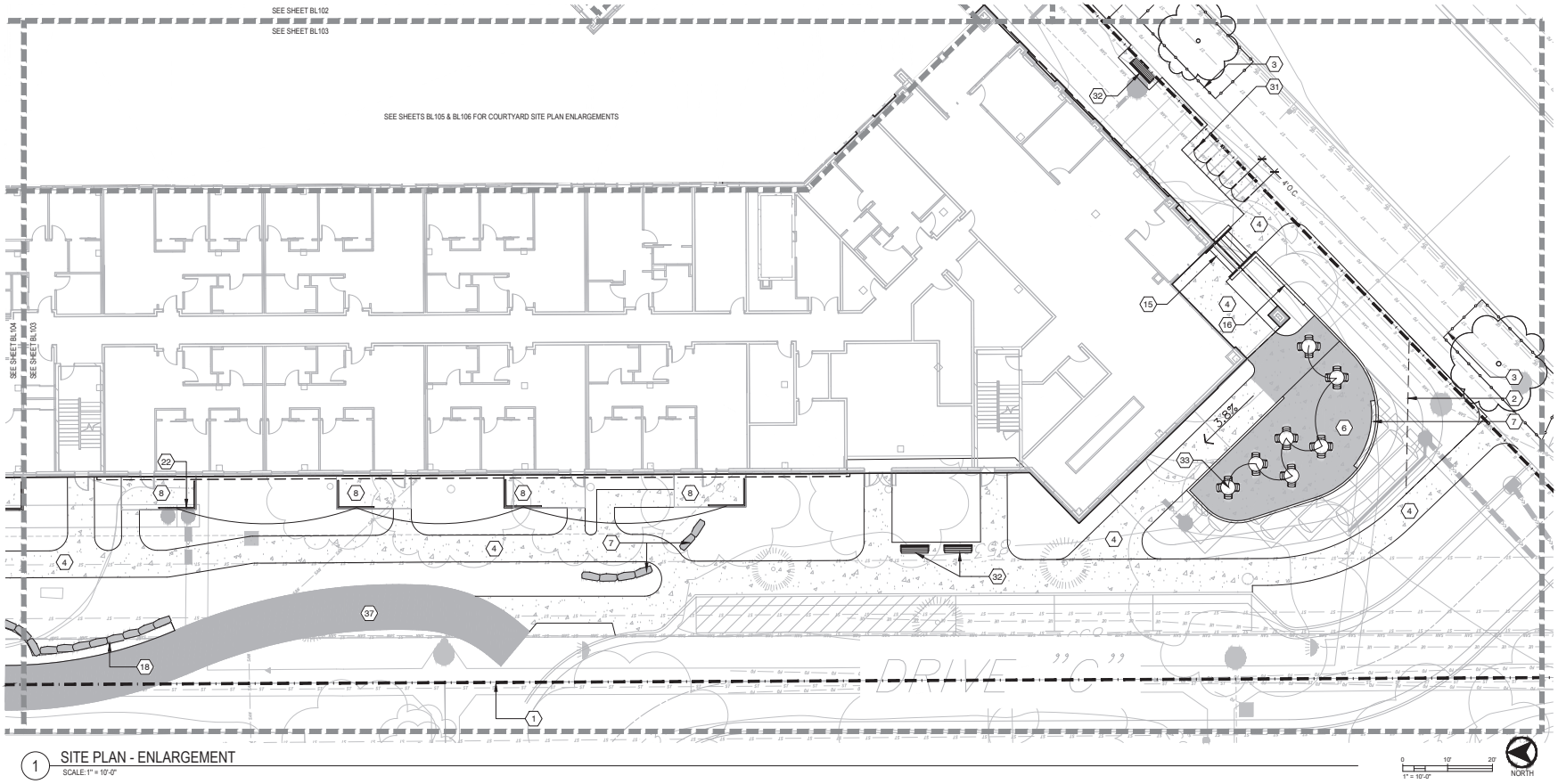
 PROPERTY LINE / PUBLIC R.O.W.	 BIKE RACK
 PHASING LINE	 TABLE AND CHAIR SET, 3 & 4-SEAT CONFIGURATION SURFACE MOUNT - OFOI
 TREE PROTECTION FENCE	 6' BENCH SURFACE MOUNT - OFOI
 PHASE 1 TEMPORARY CONCRETE PAVING OVER STRUCTURE	 MOVEABLE CHAIRS - OFOI
 CONCRETE PAVING	 GAME TABLES - OFOI
 COLORED CONCRETE PAVING	 PREFABRICATED METAL PRIVACY SCREEN, 3' HT.
 TRUNCATED DOME PAVERS	
 STABILIZED CRUSHED STONE PAVING	
 ARTIFICIAL TURF OVER STRUCTURE	

REFERENCE SCHEDULE

1	PROPERTY LINE / PUBLIC R.O.W.
2	VISION TRIANGLE
3	TREE PROTECTION FENCE - 1BL305
4	CONCRETE PAVING - SEE CIVIL PLANS
5	CONCRETE PAVEMENT ON ROOF - 1BL303
6	COLORED CONCRETE PAVING - SEE SPECS
7	PROPOSED GATEWAY / SIGNAGE FEATURE
8	PRIVATE UNIT PATIO
9	PHASE 1 TEMPORARY CONCRETE PAVING
10	STABILIZED CRUSHED STONE PAVING - 10X11BL303
11	ARTIFICIAL TURF, TYPE 1 - 2B3BL303
12	ARTIFICIAL TURF, TYPE 2 - 4BL303
13	C.I.P. CONCRETE CURB - 3BL301
14	PRECAST CONCRETE PLANTER WALL - 9BL303
15	CONCRETE STAIR (SEE CIVIL PLANS) & HANDRAIL - 1BL301
16	PRECAST CONCRETE RETAINING WALL - 5BL301
17	PRECAST CONCRETE SEAT WALL WITH WOOD BENCH TOP - 6BL301
18	STONE RETAINING WALL - 4BL301
19	RAISED GARDEN BED PLANTER - 3BL304
20	GFRC PLANTER - 4BL304
21	GRILL ISLAND - 1A2BL304
22	FENCE, TYPE 1 - 5BL302
23	FENCE & GATE, TYPE 2 - 6BL302
24	FENCE & GATE, TYPE 3 - 7BL302
25	PERGOLA, TYPE 1 - 2BL302
26	PERGOLA, TYPE 2 - 2BL302
27	STAGE / SEATING, TYPE 1 - 1BL302
28	STAGE / SEATING, TYPE 2 - 1BL302
29	PREFABRICATED SEATING, TYPE 1 - 3BL302
30	PREFABRICATED SEATING, TYPE 2 - 4BL302
31	BIKE RACK, TYP. - 7BL301
32	6' BENCH - OFOI
33	TABLE & CHAIR SET, TYP. - OFOI
34	GAME TABLE - OFOI
35	MOVEABLE CHAIRS - OFOI
36	PHASE 1 TEMPORARY PARAPET WALL - SEE ARCH PLANS
37	MULTI-USE PATH - SEE CIVIL PLANS

NOTES:

- ALL PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY WILL REQUIRE A DEVELOPER'S AGREEMENT AND WILL BE COORDINATED WITH CITY ENGINEERING, TRAFFIC ENGINEERING, FORESTRY, AND OTHER CITY DEPARTMENTS AS REQUIRED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES.
- CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS. ANY RELOCATED BENCHMARKS SHALL BE INCLUDED IN CONTRACTOR AS-BUILTS.
- BIKE STALLS SHALL BE A MINIMUM OF 2'-0" BY 8'-0". PLACEMENT SHALL NOT RESULT IN THE OBSTRUCTION OF A WALKWAY.
- BIKE RACKS SHALL BE SPACED 4'-0" APART AS INDICATED.
- ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
- ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.



1 SITE PLAN - ENLARGEMENT
SCALE: 1" = 10'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

Taking Shape - Building B1
City of Madison CDA
797 Braxton Place
Madison, WI 53715

2021.32.01

DATE	REVISIONS
06/08/2024	LAND USE APPLICATION
07/26/2024	DESIGN DEVELOPMENT
08/29/2024	PERMITS
09/24/2024	PERMITS
10/24/2024	PERMITS
11/24/2024	PERMITS
12/24/2024	PERMITS
01/24/2025	PERMITS
02/24/2025	PERMITS
03/24/2025	PERMITS
04/24/2025	PERMITS
05/24/2025	PERMITS
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07/24/2025	PERMITS
08/24/2025	PERMITS
09/24/2025	PERMITS
10/24/2025	PERMITS
11/24/2025	PERMITS
12/24/2025	PERMITS

SITE PLAN - ENLARGEMENT

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HARDSCAPE & SITE FURNISHINGS SCHEDULE

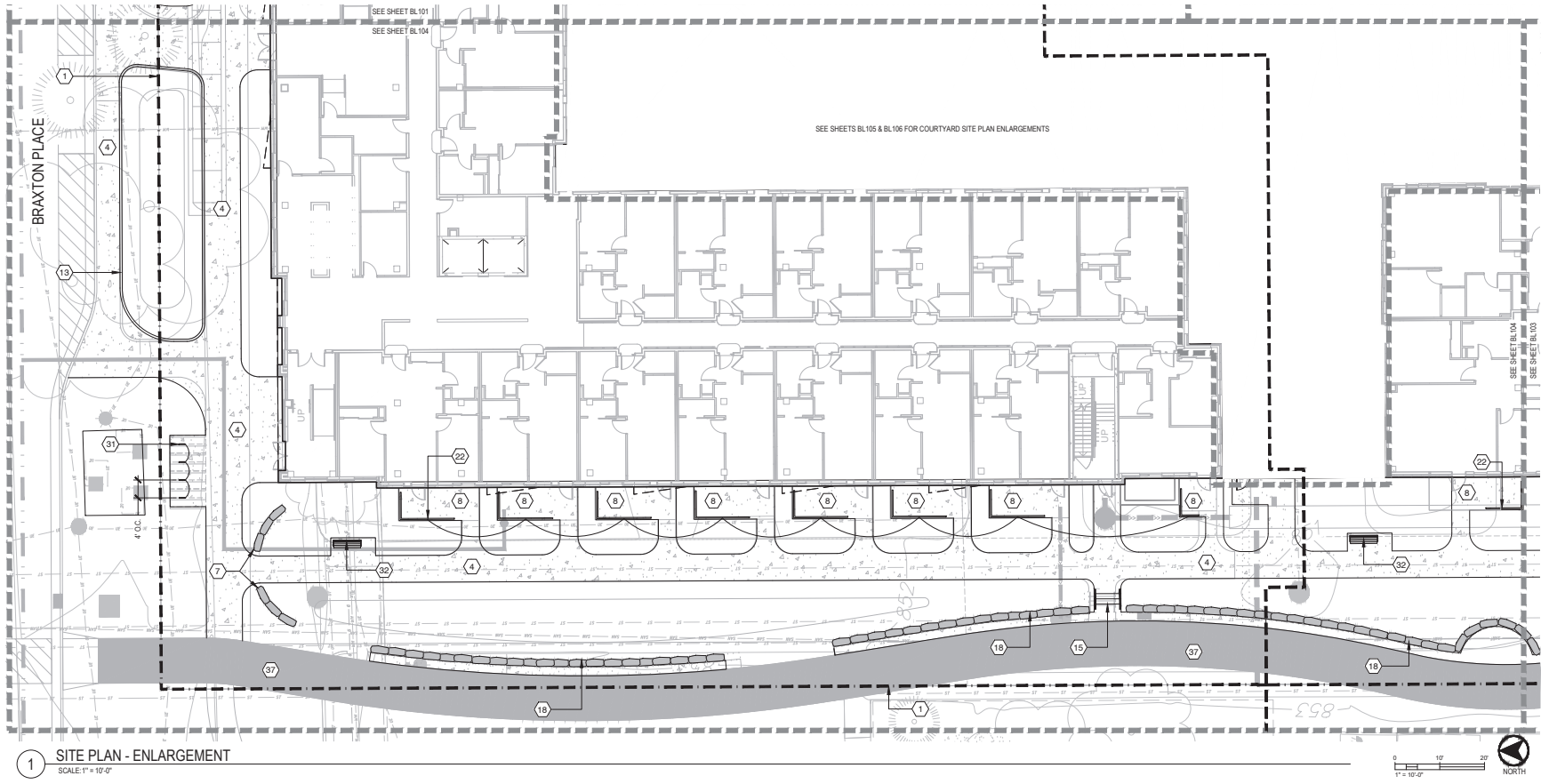
PROPERTY LINE / PUBLIC R.O.W.	BIKE RACK
PHASING LINE	TABLE AND CHAIR SET, 3 & 4-SEAT CONFIGURATION SURFACE MOUNT - OFCI
TREE PROTECTION FENCE	6' BENCH SURFACE MOUNT - OFCI
PHASE 1 TEMPORARY CONCRETE PAVING OVER STRUCTURE	MOVEABLE CHAIRS - OFCI
CONCRETE PAVING	GAME TABLES - OFCI
COLORED CONCRETE PAVING	PREFABRICATED METAL PRIVACY SCREEN, 3' HT.
TRUNCATED DOME PAVERS	
STABILIZED CRUSHED STONE PAVING	
ARTIFICIAL TURF OVER STRUCTURE	

REFERENCE SCHEDULE

1 PROPERTY LINE / PUBLIC R.O.W.	16 PRECAST CONCRETE RETAINING WALL - 5BL301	30 PREFABRICATED SEATING, TYPE 2 - 4BL302
2 VISION TRIANGLE	17 PRECAST CONCRETE SEAT WALL WITH WOOD BENCH TOP - 6BL301	31 BIKE RACK, TYP. - 7BL301
3 TREE PROTECTION FENCE - 1BL305	18 STONE RETAINING WALL - 4BL301	32 6' BENCH - OFCI
4 CONCRETE PAVING - SEE CIVIL PLANS	19 RAISED GARDEN BED PLANTER - 3BL304	33 TABLE & CHAIR SET, TYP. - OFCI
5 CONCRETE PAVING ON ROOF - 1BL303	20 GFR PLANTER - 4BL304	34 GAME TABLE - OFCI
6 COLORED CONCRETE PAVING - SEE SPECS	21 GRILL ISLAND - 1&2BL304	35 MOVEABLE CHAIRS - OFCI
7 PROPOSED GATEWAY / SIGNAGE FEATURE	22 FENCE, TYPE 1 - 5BL302	36 PHASE 1 TEMPORARY PARAPET WALL - SEE ARCH PLANS
8 PRIVATE UNIT PATIO	23 FENCE & GATE, TYPE 2 - 6BL302	37 MULTI-USE PATH - SEE CIVIL PLANS
9 PHASE 1 TEMPORARY CONCRETE PAVING	24 FENCE & GATE, TYPE 3 - 7BL302	
10 STABILIZED CRUSHED STONE PAVING - 10&11BL303	25 PERGOLA, TYPE 1 - 2BL302	
11 ARTIFICIAL TURF, TYPE 1 - 2&3BL303	26 PERGOLA, TYPE 2 - 2BL302	
12 ARTIFICIAL TURF, TYPE 2 - 4BL303	27 STAGE / SEATING, TYPE 1 - 1BL302	
13 C.I.P. CONCRETE CURB - 3BL301	28 STAGE / SEATING, TYPE 2 - 1BL302	
14 PRECAST CONCRETE PLANTER WALL - 9BL303	29 PREFABRICATED SEATING, TYPE 1 - 3BL302	
15 CONCRETE STAIR (SEE CIVIL PLANS) & HANDRAIL - 1BL301	30 PREFABRICATED SEATING, TYPE 2 - 4BL302	

NOTES:

- ALL PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY WILL REQUIRE A DEVELOPER'S AGREEMENT AND WILL BE COORDINATED WITH CITY ENGINEERING, TRAFFIC ENGINEERING, FORESTRY, AND OTHER CITY DEPARTMENTS AS REQUIRED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES.
- CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS. ANY RELOCATED BENCHMARKS SHALL BE INCLUDED IN CONTRACTOR AS-BUILTS.
- BICYCLE STALLS SHALL BE A MINIMUM OF 2'-0" BY 8'-0". PLACEMENT SHALL NOT RESULT IN THE OBSTRUCTION OF A WALKWAY.
- BICYCLE RACKS SHALL BE SPACED 4'-0" APART AS INDICATED.
- ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
- ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.



1 SITE PLAN - ENLARGEMENT
SCALE: 1" = 10'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

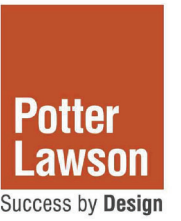
Taking Shape - Building B1
City of Madison CDA
797 Braxton Place
Madison, WI 53715

2021.32.01

DATE	REVISIONS
06/08/2024	LAND USE APPLICATION
07/26/2024	DESIGN DEVELOPMENT
09/26/2024	SITE PLAN WORKSHEET

SITE PLAN -
ENLARGEMENT

BL104



TREE SCHEDULE

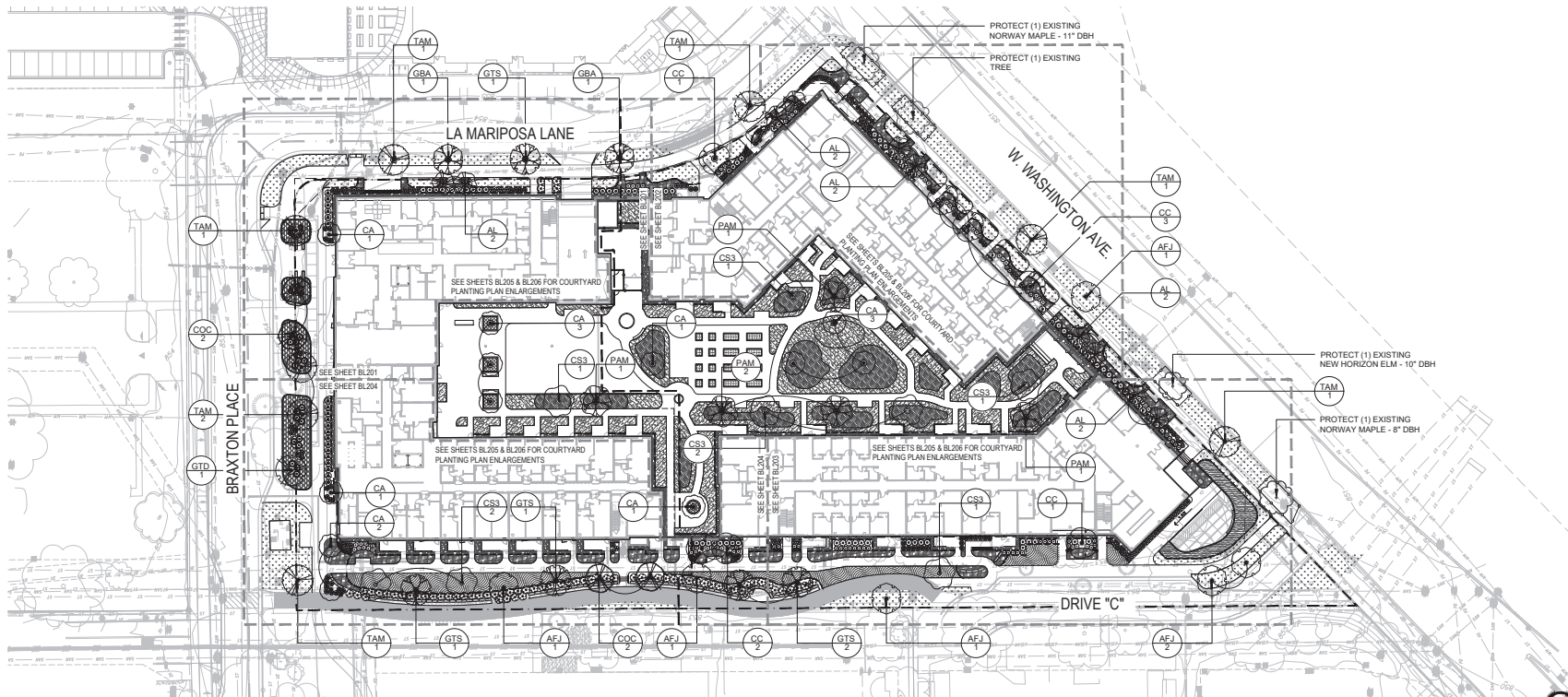
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
ORNAMENTAL TREES					
	AL	<i>Alnus incana</i> / Alder	8.8.8	6 FT (M) UPRIGHT MULTI-STEM	10
	CA	<i>Cornus canadensis</i> / Eastern Redbud	8.8.8	6 FT (M) UPRIGHT MULTI-STEM	12
	CC	<i>Cercis canadensis</i> / Eastern Redbud	8.8.8	6 FT (M) UPRIGHT MULTI-STEM	7
SHADE TREES					
	AFJ	<i>Acer x freemanii</i> / Alder Maple	8.8.8	2" Cal	6
	CS3	<i>Catalpa speciosa</i> / Northern Catalpa	8.8.8	2.5" Cal	8
	COC	<i>Celtis occidentalis</i> / Hackberry	8.8.8	2" Cal	4
	GSA	<i>Ginkgo biloba</i> Autumn Gold™ / Autumn Gold Ginkgo	8.8.8	2" Cal	2
	GTS	<i>Gordonia lasiocarpa</i> / Seyoum	8.8.8	2" Cal	5
	GTD	<i>Gordonia lasiocarpa</i> / Seyoum	8.8.8	2" Cal	1
	PAM	<i>Platanus x acerifolia</i> / London Plane Tree	8.8.8	2" Cal	5
	TAM	<i>Thuja americana</i> / American Arborvitae	8.8.8	2" Cal	8

LEGEND

- PROPERTY LINE
- PHASING LINE
- TREE PROTECTION FENCE - 18L305
- METAL EDGING - 8BL305
- STONE MULCH MAINTENANCE EDGE - 9BL305
- SEEDED BLUEGRASS LAWN
- SEEDED LOW MOW FESCUE
- FILL TO PART-SHADE PERENNIAL MIX - AT GRADE
- RAISED PLANTER PERENNIAL MIX - OVER STRUCTURE
- FILL TO PART-SUN PERENNIAL MIX - AT GRADE
- FULL-SUN SEDUM MAT AND PERENNIAL PLUGS - OVER STRUCTURE
- PERENNIAL PLUGS TO BE INSTALLED WITH SEDUM MAT BY CUTTING THROUGH MAT
- MIX PLUGS EVENLY AND PROPORTIONALLY TO EACH PLANTING AREA AS INDICATED IN THE PLANS AND PER THE PLANT SCHEDULE
- GARDEN BED SOIL MIX
- STORMWATER MANAGEMENT PERENNIAL MIX - AT GRADE
- UNDERSTORY MIX - OVER STRUCTURE

NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY SURVEY INFORMATION AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE CAUSED TO EXISTING UTILITIES, EITHER SHOWN OR NOT, SHALL BE REPAIRED AND PAID FOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROTECT BENCHMARKS.
- ALL EXISTING PLANT MATERIAL IS SHOWN AT EXISTING, APPROXIMATED SIZE PER CITY OF MADISON STANDARDS.
- ALL WRAPPINGS, WIRE BASKETS, BURLAP, AND OTHER MISCELLANEOUS MATERIAL SHALL BE COMPLETELY REMOVED FROM ALL SHRUB AND TREE ROOT BALLS PRIOR TO INSTALLATION.
- ANY LAWN OR LANDSCAPED AREAS OUTSIDE OF THE CONSTRUCTION BOUNDARY THAT ARE DISTURBED SHALL BE RE-SEDED AND/OR REPAIRED WITH ORIGINAL MATERIALS AND TO PRE-DISTURBANCE STANDARDS AT NO COST TO THE OWNER OR CITY.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND MAINTENANCE OF PLANT MATERIAL - SEE SPECIFICATIONS FOR MORE INFORMATION.
- ALL STREET TREE PLANTING LOCATIONS AND TREE SPECIES WITHIN THE RIGHT-OF-WAY SHALL BE DETERMINED BY CITY FORESTRY. AT LEAST ONE WEEK PRIOR TO STREET TREE PLANTING, THE CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO SCHEDULE INSPECTION AND APPROVAL OF NURSERY TREE STOCK AND REVIEW PLANTING SPECIFICATIONS WITH THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY REVIEW ALL SPECIFICATION SECTIONS RELATED TO TREE PROTECTION, SOIL PREPARATION, TURF AND GRASSES, PLANTS, VEGETATED ROOF SYSTEMS, AND EXTERIOR SITE FURNISHINGS. THESE SECTIONS PROVIDE ADDITIONAL DETAILED INFORMATION ON MATERIALS AND SET STANDARDS FOR QUALITY AND INSTALLATION REQUIREMENTS.
- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD, WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHO'S DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- CITY FORESTRY WILL ISSUE A STREET TREE REMOVAL PERMIT FOR (2) TWO TREES: THE 4" LINDEN ALONG E WASHINGTON AVE AND A 3" GINKGO ALONG N HANCOCK STREET DUE TO CONFLICTS. THE CONTRACTOR SHALL CONTACT CITY FORESTRY AT (608) 266-4816 TO OBTAIN A PERMIT.
- AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY (608-266-4816) PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: WWW.CITYOFMADISON.COM/BUSINESS/PWSPECS/CFM
- THE CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPILLS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608) 266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.



1 PLANTING PLAN - OVERALL
SCALE: 1" = 30'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

Taking Shape - Building B1
City of Madison CDA
797 Braxton Place
Madison, WI 53715

2021.32.01

DATE	ISSUANCE REVISION
04/28/2021	LAND USE APPLICATION
07/23/2021	DE SIGN OF DEVELOPMENT
10/14/2021	SEE PLAN VERIFICATION

PLANTING PLAN - OVERALL

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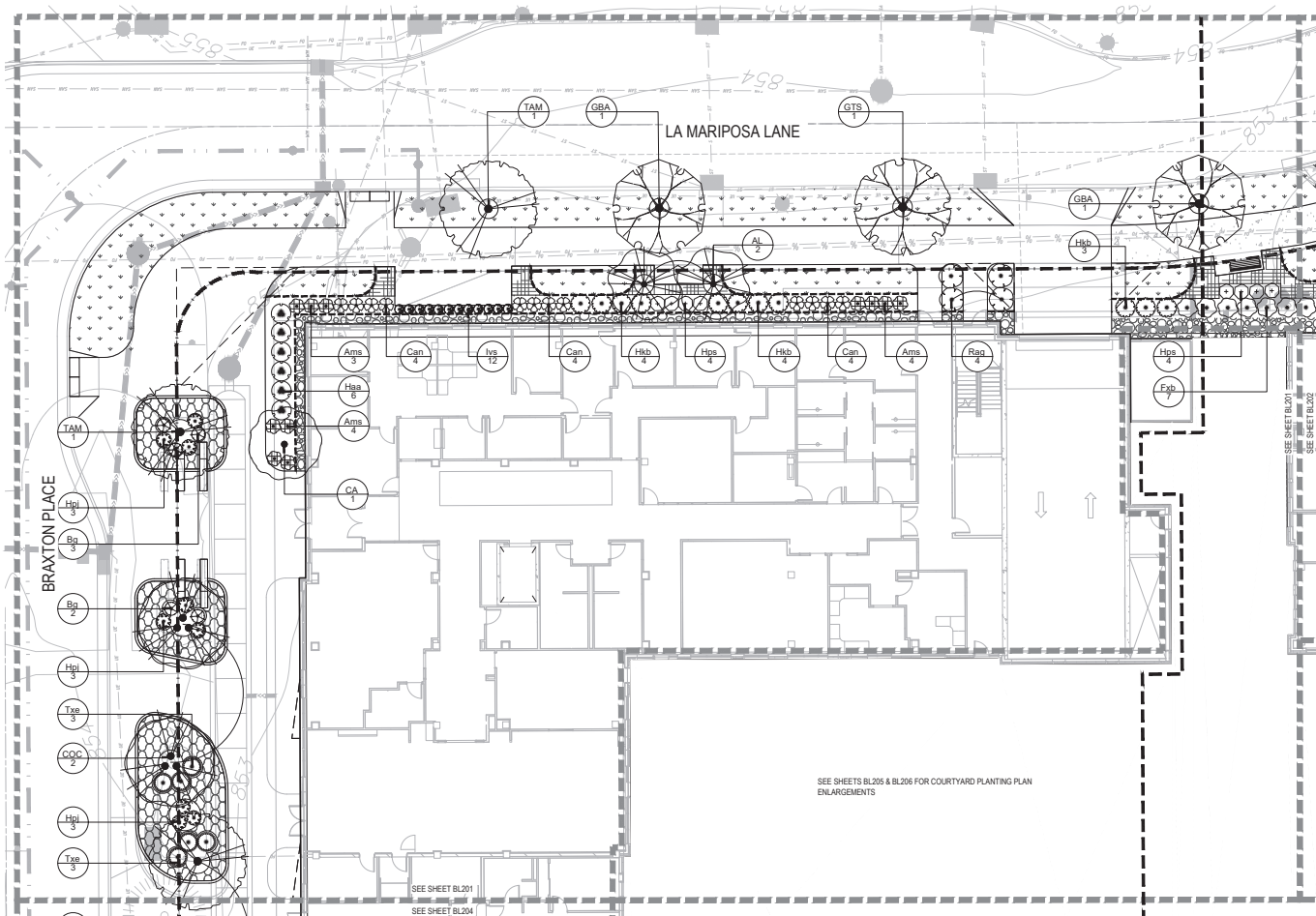
TREE AND SHRUB SCHEDULE - ENLARGEMENT

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY	SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	QTY
ORNAMENTAL TREES												
	AL	<i>Alnus incana</i> / Allegheny Serrivulva	8 B.B.	6 HT (MIN) UPRIGHT MULTISTEM	2		Amc	<i>Amelanchier canadensis</i> 'SUNBAMP' / Low Slope Snowflake™ Black Chokeberry	#3	CONT.	3' o.c.	11
	CA	<i>Carya caroliniana</i> / American Hornbeam	8 B.B.	6 HT (MIN) UPRIGHT MULTISTEM	1		Can	<i>Canadensis</i> / New Jersey Tea	#3	CONT.	3' o.c.	12
SHADE TREES												
	COC	<i>Celtis occidentalis</i> / Chickagland / Chickagland Hackberry	8 B.B.	2' Cal	2		Fob	<i>Fothergilla x intermedia</i> 'Elae Shadow' / Blue Shadow Fothergilla	#5	CONT.	4' o.c.	6
	GBA	<i>Ginkgo biloba</i> 'Autumn Gold' TM / Autumn Gold Ginkgo	8 B.B.	2' Cal	2		Hoa	<i>Hydrangea arborescens</i> 'Raiette' / Ironsides® Hydrangea	#5	CONT.	4' o.c.	6
	HPI	<i>Gladiolus paniculatus</i> 'Jani' / Little Lined® Paricle Hydrangea	#3	CONT.			Hps	<i>Hydrangea paniculata</i> 'SUNPLUG' / Little Quick Frost® Paricle Hydrangea	#3	CONT.	3' o.c.	9
	Hsb	<i>Hibiscus syriacus</i> 'SUNPLUG' / Little Quick Frost® Paricle Hydrangea	#3	CONT.			Hcb	<i>Hypericum calycinum</i> 'SUNPLUG' / Blue Fendish® St. Johnswort	#3	CONT.	4' o.c.	11
	Ivs	<i>Ilex verticillata</i> 'SUNPLUG' / Blue Fendish® St. Johnswort	#3	CONT.			Ivs	<i>Ilex verticillata</i> 'SUNPLUG' / Scarletball® Seeping	#3	CONT.	2' o.c.	12
	Rag	<i>Rhus aromatica</i> 'Trio-Low' / Trio-Low® Faggert Sunac	#3	CONT.			Rag	<i>Rhus aromatica</i> 'Trio-Low' / Trio-Low® Faggert Sunac	#3	CONT.	6' o.c.	4
EVERGREEN SHRUBS												
	Bj	<i>Buxus sempervirens</i> / Chickagland Greenleaf Boxwood	#3	CONT.			Tca	<i>Taxus canadensis</i> / Eastern White® Japanese Yew	#3	CONT.	3' o.c.	5
	Tca	<i>Taxus canadensis</i> / Eastern White® Japanese Yew	#3	CONT.							4' o.c.	6

LEGEND

PROPERTY LINE
PHASING LINE
TREE PROTECTION FENCE - 18L305
METAL EDGING - 8BLL305
STONE MULCH MAINTENANCE EDGE - 8BLL305
SEEDED BLUEGRASS LAWN
SEEDED LOW MOW FESCUE
FULL TO PART SHADE PERENNIAL MIX - AT GRADE
RAISED PLANTER PERENNIAL MIX - OVER STRUCTURE
FULL TO PART-SUN PERENNIAL MIX - AT GRADE
FULL-SUN SEDUM MAT AND PERENNIAL PLUGS - OVER STRUCTURE
PERENNIAL PLUGS TO BE INSTALLED WITHIN SEDUM MAT BY CUTTING THROUGH MAT
MIX PLUGS EVENLY AND PROPORTIONALLY TO EACH PLANTING AREA AS INDICATED IN THE PLANS AND PER THE PLANT SCHEDULE
GARDEN BED SOIL MIX
STORMWATER MANAGEMENT PERENNIAL MIX - AT GRADE
UNDERSTORY MIX - OVER STRUCTURE

NOTES:
1. SEE SHEET BL207 FOR LANDSCAPE WORKSHEET AND COMPLETE PLANT SCHEDULE INCLUDING SHRUB AREAS AND GROUNDCOVERS.



1 PLANTING PLAN - ENLARGEMENT
SCALE: 1" = 10'-0"



Potter Lawson
Success by Design

saiiki
DESIGN

PRELIMINARY
NOT FOR CONSTRUCTION

Taking Shape - Building B1
City of Madison CDA
797 Braxton Place
Madison, WI 53715

2021.32.01

DATE	REVISIONS
06/08/2024	LAND USE APPLICATION
07/26/2024	DESIGN DEVELOPMENT
08/29/2024	PERMITS

PLANTING PLAN - ENLARGEMENT

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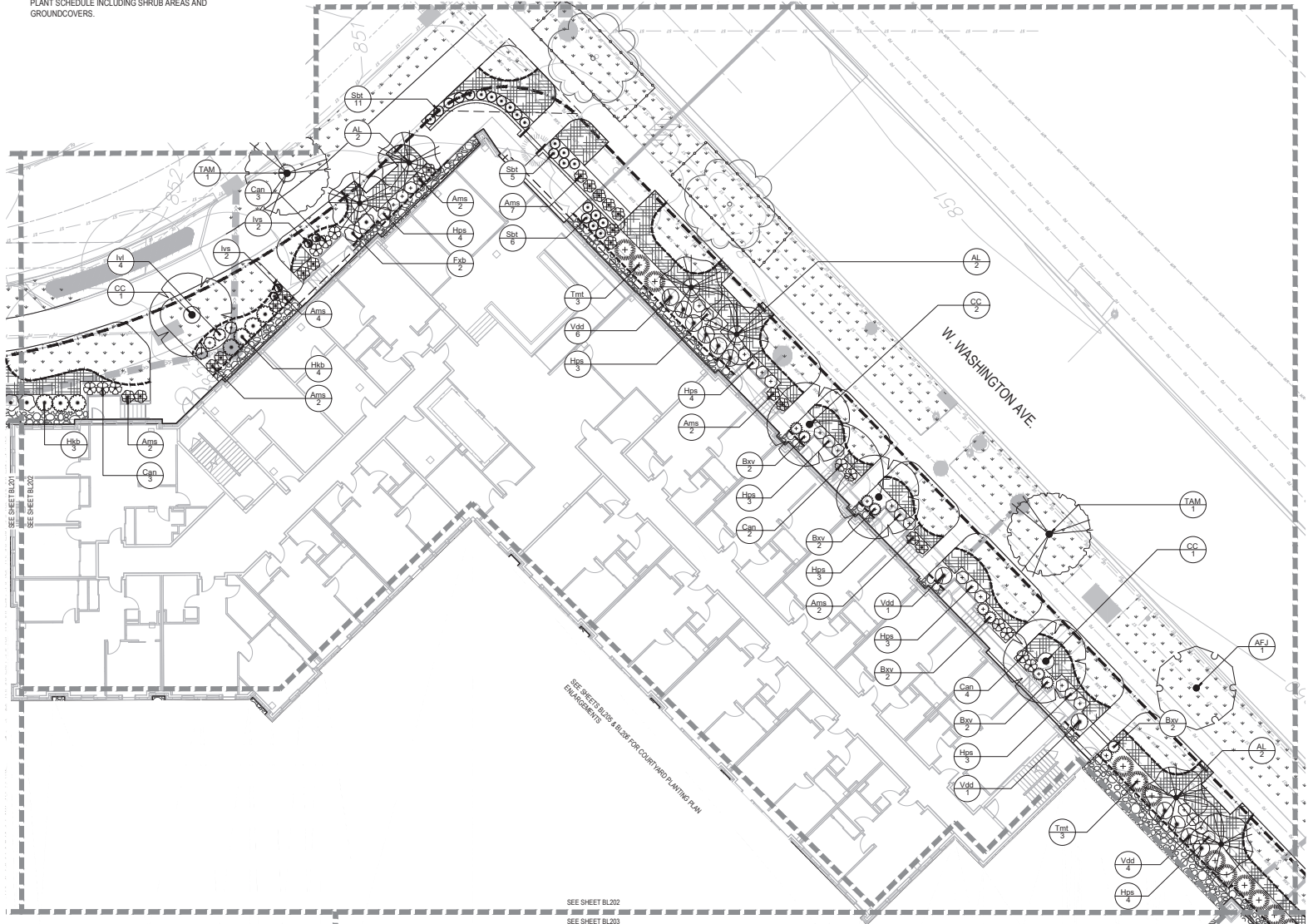
TREE AND SHRUB SCHEDULE - ENLARGEMENT

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
ORNAMENTAL TREES					
	AL	Ambrosia balsamifera / Allegheny Serrisberry	8 B & B	6" HT BIN (UPRIGHT MULTI-STEM)	6
	CC	Cornus canadensis / Eastern Redbud	8 B & B	6" HT BIN (UPRIGHT MULTI-STEM)	4
SHADE TREES					
	AFJ	Acer x freemanii 'Jefferson' / Autumn Blaze® Freeman Maple	8 B & B	2" Cal	1
	TAM	Tilia americana 'Molliserry' / American Serris Linden	8 B & B	2" Cal	2

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	QTY
DECIDUOUS SHRUBS						
	Ams	Amelanchier canadensis 'SARAWAPEN' / Low Slope Smooth™ Black Chokeberry	83	CONT.	36" o.c.	21
	Can	Cantharus americanus / New Jersey Tea	83	CONT.	36" o.c.	12
	Fds	Fothergilla x intermedia 'Blue Shadow' / Blue Shadow Fothergilla	83	CONT.	48" o.c.	3
	Hds	Hydrangea paniculata 'SMPLUG' / Little Quick Parade Hydrangea	83	CONT.	36" o.c.	27
	Hbs	Hydrangea latifolia 'SMPLUG' / Blue Festival St. Johnswort	83	CONT.	48" o.c.	7
	Ivs	Ilex virginica 'SMPLUG' / Scandalball Sweetgum	83	CONT.	24" o.c.	4
	Lj	Lila virginica 'Spicy' / Little Hermy Sweetgum	83	CONT.	36" o.c.	4
	Sst	Spiraea latifolia 'Tall' / White Frost™ Buckhorn Spirea	83	CONT.	36" o.c.	22
	Vds	Viburnum dentatum 'SMPLUG' / All That Glow® Arrowwood Viburnum	85	CONT.	48" o.c.	12
EVERGREEN SHRUBS						
	Bsv	Buxus x Green Velvet / Green Velvet Boxwood	83	CONT.	36" o.c.	10
	Tst	Taxus x media 'Tasteful' / Tustin Tree	85	CONT.	60" o.c.	10

LEGEND

- PROPERTY LINE
- PHASING LINE
- TREE PROTECTION FENCE - 18x305
- METAL EDGING - 8x18x305
- STONE MULCH MAINTENANCE EDGE - 8x18x305
- SEEDED BLUEGRASS LAWN
- SEEDED LOW MOW FESCUE
- FULL TO PART-SHADE PERENNIAL MIX - AT GRADE
- RAISED PLANTER PERENNIAL MIX - OVER STRUCTURE
- FULL TO PART-SUN PERENNIAL MIX - AT GRADE
- FULL-SUN SEDUM MAT AND PERENNIAL PLUGS - OVER STRUCTURE
 - PERENNIAL PLUGS TO BE INSTALLED WITHIN SEDUM MAT BY CUTTING THROUGH MAT
 - MIX PLUGS EVENLY AND PROPORTIONALLY TO EACH PLANTING AREA AS INDICATED IN THE PLANS AND PER THE PLANT SCHEDULE
- GARDEN BED SOIL MIX
- STORMWATER MANAGEMENT PERENNIAL MIX - AT GRADE
- UNDERSTORY MIX - OVER STRUCTURE



1 PLANTING PLAN - ENLARGEMENT
SCALE: 1" = 10'-0"

SEE SHEET BL202
SEE SHEET BL203



PRELIMINARY
NOT FOR CONSTRUCTION

Taking Shape - Building B1
City of Madison CDA
797 Braxton Place
Madison, WI 53715

2021.32.01

DATE	REVISIONS
08/04/2024	LAND USE APPLICATION
07/26/2024	DESIGN DEVELOPMENT
07/26/2024	SITE PLAN WORKSHEET

PLANTING PLAN - ENLARGEMENT

BL202

TREE AND SHRUB SCHEDULE - ENLARGEMENT

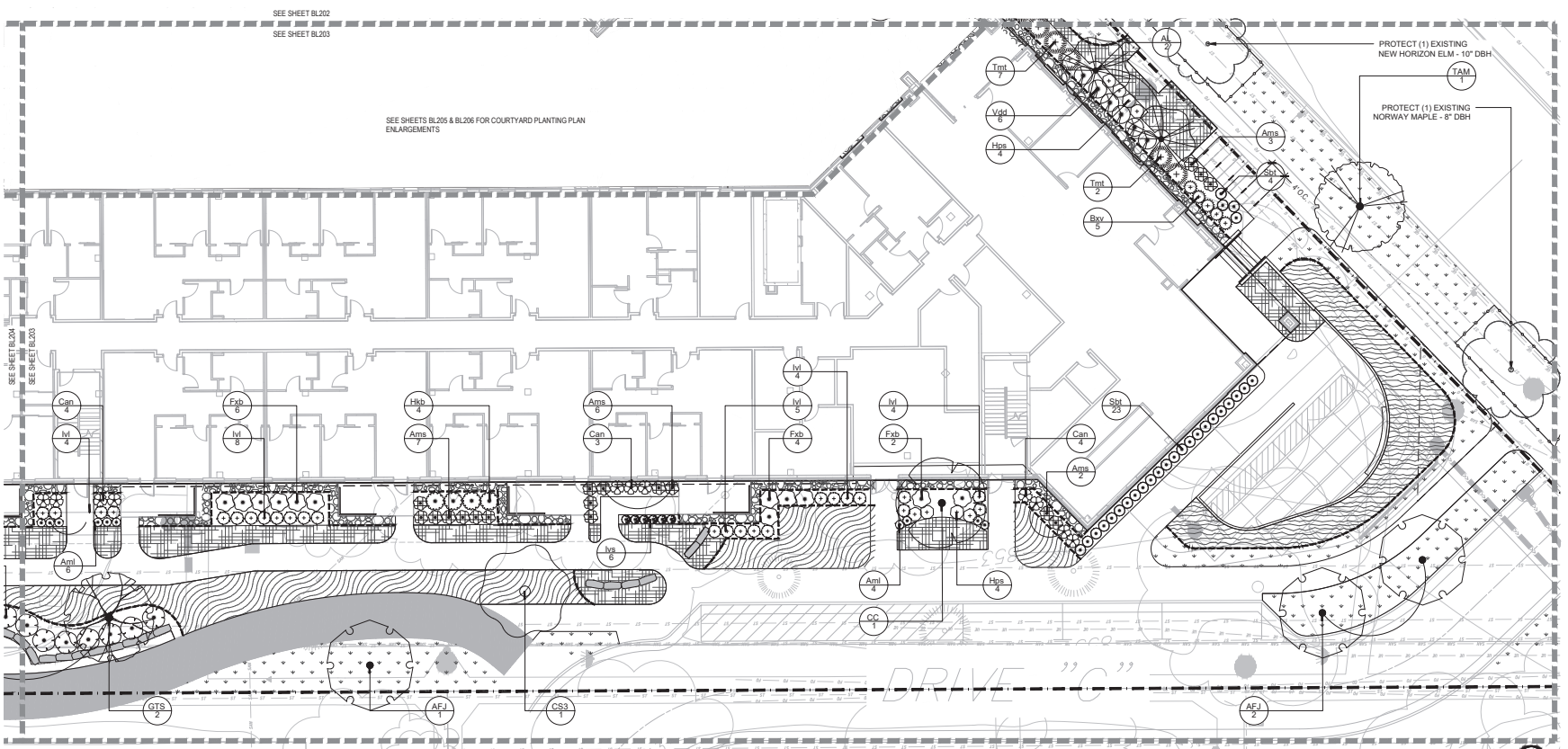
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY	SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	QTY
ORNAMENTAL TREES												
	AL	Aralia nudicaulis / Spiky Sanicleria	8.8	6" HT (MIN) UPRIGHT MULTI-STEM	2		Am1	Amorpha canescens / Blue False Indigo	45	CONT.	36" o.c.	18
	CC	Cercis canadensis / Eastern Redbud	8.8	6" HT (MIN) UPRIGHT MULTI-STEM	1		Am2	Amorpha canescens / Blue False Indigo	45	CONT.	24" o.c.	10
SHADE TREES												
	AF1	Acer Freemanii / Freemanii / Adamsii / Adamsii Freeman Maple	8.8	7" Cal	3		Am3	Amorpha canescens / Blue False Indigo	45	CONT.	36" o.c.	11
	CS1	Castanea speciosa / Northern Catalpa	8.8	2 1/2" Cal	1		Fh1	Fothergilla intermedia / Blue Shadow Fothergilla	45	CONT.	48" o.c.	12
	GTS1	Gleditsia triacanthos 'Skyline' / Skyline Honeylocust	8.8	7" Cal	1		Hs1	Hydrangea paniculata 'SIBYRUP' / Little Quick Fire® Panicle Hydrangea	45	CONT.	36" o.c.	8
	TAM1	Tilia americana 'MacDermid' / American Sastry Linden	8.8	7" Cal	1		Hb1	Hypoxis latifolia 'SIBYRUP' / Blue False Indigo	45	CONT.	48" o.c.	4
							Iv1	Ilex virginica 'SMANVOC' / Spangsdahl Sweetgale	45	CONT.	24" o.c.	6
							Iv2	Ilex virginica 'Spangsdahl' / Little Henry® Sweetgale	45	CONT.	36" o.c.	25
							Rg1	Rhus aromatica 'Cin-Low' / Cin-Low Fragrant Sumac	45	CONT.	60" o.c.	7
							Ss1	Spirea betulifolia 'Tir' / White Frost® Birchleaf Spirea	45	CONT.	36" o.c.	27
							Voo1	Viburnum dentatum 'SMANVOC' / All That Grows® Arrowwood Viburnum	45	CONT.	48" o.c.	6
EVERGREEN SHRUBS												
	Bv1	Buxus 'Green Velvet' / Green Velvet Boxwood	45	CONT.							36" o.c.	5
	Tt1	Taxus 'nana' / Dwarf Norway Spruce	45	CONT.							60" o.c.	5

LEGEND

- PROPERTY LINE
- PHASING LINE
- TREE PROTECTION FENCE - 1/8L305
- METAL EDGING - 8/8L305
- STONE MULCH MAINTENANCE EDGE - 9/8L305
- SEEDED BLUEGRASS LAWN
- SEEDED LOW MOW FESCUE
- FULL TO PART SHADE PERENNIAL MIX - AT GRADE
- RAISED PLANTER PERENNIAL MIX - OVER STRUCTURE
- FULL TO PART SUN PERENNIAL MIX - AT GRADE
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- UNDERSTORY MIX - OVER STRUCTURE

NOTES:

- SEE SHEET BL207 FOR LANDSCAPE WORKSHEET AND COMPLETE PLANT SCHEDULE INCLUDING SHRUB AREAS AND GROUNDCOVERS.



1 PLANTING PLAN - ENLARGEMENT
SCALE: 1" = 10'-0"



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Success by Design

**saiiki
DESIGN**

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Taking Shape - Building B1
City of Madison CDA
797 Braxton Place
Madison, WI 53715

2021.32.01

DATE	REVISIONS
08/08/2024	LAND USE APPLICATION
07/28/2024	DESIGN DEVELOPMENT
07/22/2024	SITE PLAN WORKSHEET

PLANTING PLAN -
ENLARGEMENT

BL203

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TREE AND SHRUB SCHEDULE - ENLARGEMENT

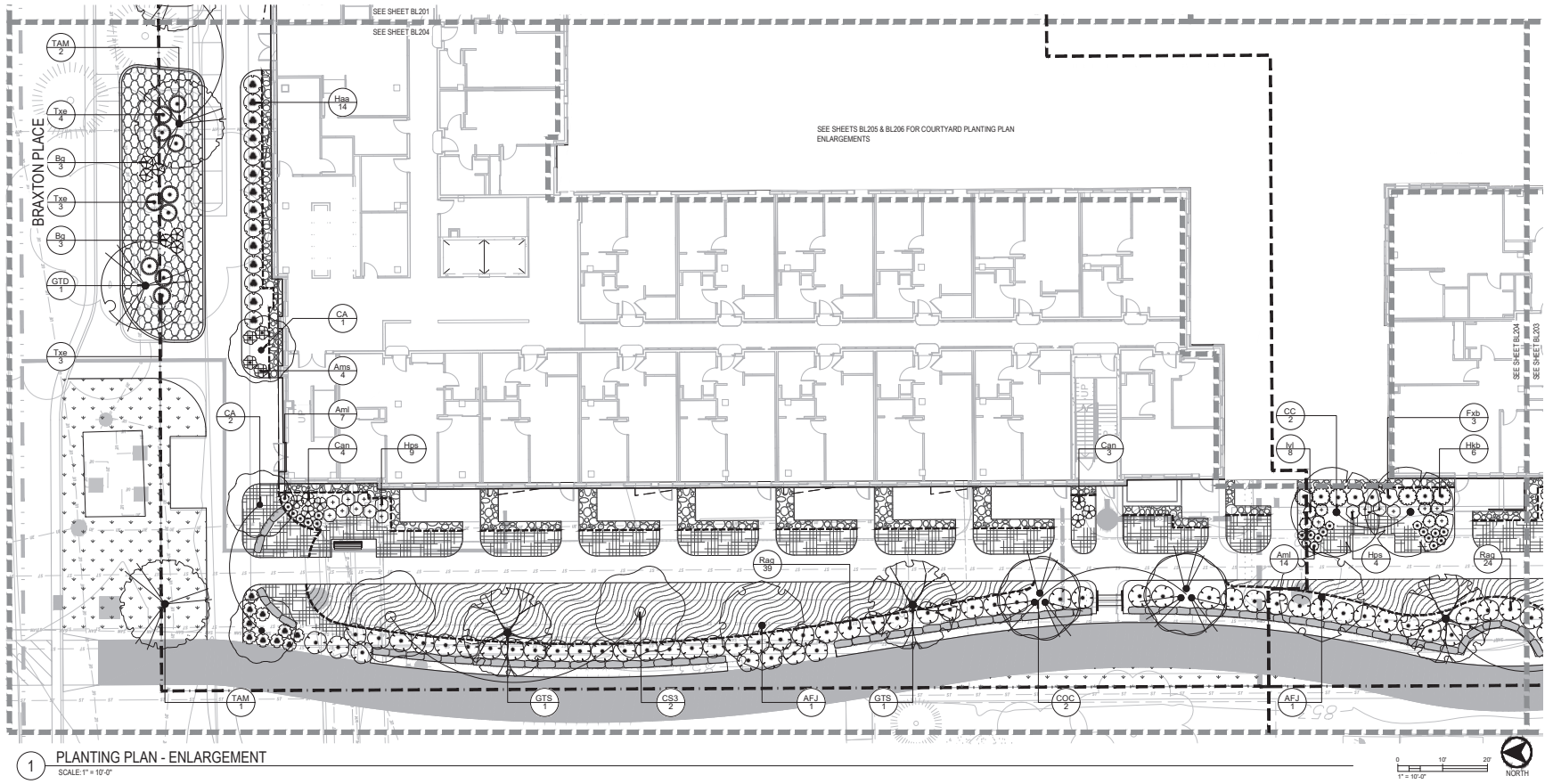
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY	SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	QTY
ORNAMENTAL TREES												
	CA	Carymus canadensis / American Hornbeam	8 B.B.	6 HT (MIN) UPRIGHT MULTI-STEM	3		Am5	Aronia melanocarpa 'SUNAMPEN' / Low Slope Snowy™ Black Chokeberry	#3	CONT.	36" o.c.	4
	CC	Cercis canadensis / Eastern Redbud	8 B.B.	6 HT (MIN) UPRIGHT MULTI-STEM	2		Am6	Aronia melanocarpa 'UDONWARRIOR' / Low Slope Mountoff Black Chokeberry	#3	CONT.	24" o.c.	21
SHADE TREES												
	AF1	Acer x freemanii 'Jefferson' / Autumn Blaze® Freeman Maple	8 B.B.	2" Cal	2		Ca2	Cantharus americana / New Jersey Tea	#3	CONT.	36" o.c.	7
	CS3	Castalia speciosa / Northern Castalia	8 B.B.	2 1/2" Cal	2		Ca3	Diutra alabilla 'Sister Cordis' / Sister Cordis Summerweet	#3	CONT.	36" o.c.	10
	CC2	Celtis occidentalis 'Chagoland' / Chagoland Hackberry	8 B.B.	2" Cal	2		Fa2	Fothergilla x intermedia 'Blue Shadow' / Blue Shadow Fothergilla	#3	CONT.	48" o.c.	3
	HT5	Olethia laevaribus 'Skyline' / Skyline Honeylocust	8 B.B.	2" Cal	3		Ha2	Hydrangea arborescens 'Paeonia' / Incrediball® Hydrangea	#5	CONT.	48" o.c.	14
	HTD	Olethia laevaribus 'Hermes Dancer' / Street Keeper® Honey Locust	8 B.B.	2" Cal	1		Hps2	Hydrangea paniculata 'SIMPLEGIC' / Little Quick Fire® Panicle Hydrangea	#3	CONT.	36" o.c.	13
	TAM2	Tilia americana 'MCKSentry' / American Sentry Linden	8 B.B.	2" Cal	2		Ha3	Hypericum kalmianum 'SUNSHINE' / Blue Feather® St. Johnswort	#3	CONT.	48" o.c.	6
							H4	Ilex virginica 'Spirex' / Little Nelly® Sweetgum	#3	CONT.	36" o.c.	8
							Ra2	Rhus aromatica 'Gris-Lav' / Gris-Lav Fragrant Sumac	#3	CONT.	60" o.c.	56
EVERGREEN SHRUBS												
	Bg2	Buxus x 'Glennol' / Chagoland Green® Boxwood	#3	CONT.			T2	Taxus x media 'Everest' / Everest Ang-Japanese Yew	#3	CONT.	48" o.c.	10

LEGEND

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797 Braxton Place
Madison, WI 53715

2021.32.01

DATE	REVISIONS
06/08/2024	ISSUE FOR PERMITTING
07/25/2024	DESIGN DEVELOPMENT
10/27/2024	REV PLAN WORKSHEET

PLANTING PLAN - ENLARGEMENT

BL204

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