

APPLICATION FOR
URBAN DESIGN COMMISSION
REVIEW AND APPROVAL

AGENDA ITEM # _____
Project # _____
02987

Action	Requested
DATE SUBMITTED: <u>MARCH 15 2006</u>	<input type="checkbox"/> Informational Presentation
UDC MEETING DATE: <u>MARCH 22 2006</u>	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 3540 ATWOOD AVE
ALDERMANIC DISTRICT: _____

OWNER/DEVELOPER (Partners and/or Principals)	ARCHITECT/DESIGNER/OR AGENT:
<u>PARK EAST, LLC</u>	<u>LINVILLE ARCHITECTS, LLC</u>
<u>1249 WILLIAMSON ST.</u>	<u>408 EAST WILSON ST.</u>
<u>MADISON, WI 53703</u>	<u>MADISON, WI 53703</u>

CONTACT PERSON: JOHN SVEUM

Address: 1249 WILLIAMSON ST.
MADISON, WI 53703

Phone: (608) 287-1445

Fax: (608) 287-1443

E-mail address: jsveum@yaharabuilders.com

TYPE OF PROJECT:
(See Section A for:)

- Planned Unit Development (PUD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
 - General Development Plan (GDP)
 - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District * (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 50,000 Sq. Ft.
- Planned Commercial Site



(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review* (Fee required)
- Street Graphics Variance* (Fee required)

Other _____

*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)



Architecture
Commercial
Residential
Interior Design

URBAN DESIGN COMMISSION SUBMITTAL

Letter of Intent

**Project:
Park East Condominiums
Redevelopment of
3540 Atwood Ave.**

March 15, 2006

3540 Atwood Avenue is another of Madison's high traffic points of entry & located adjacent to Olbrich Park Apartments, and across from the park and Lake Monona. The site is approximately 1/3 of an acre, and occupied by a non-operating convenience store, which will require demolition.

The design will show four stories out of the ground with a set back unit on the fifth floor and a symbolic tower with a hip roof on the corner. The skin is all brick with standing seam roofs over the decks. While every unit has its own outside space and lake views, there is also a green roof of approximately 1700 sq. ft. which will be a common element

There is approximately 31,000 sq. ft. of residential floor area including halls, etc. and a 21 space parking structure. The 16 residential units range in size from 1070 sq. ft. to 2500 sq. ft. In unit types we offer nine one bedrooms with den, and seven with two bedrooms and den. We are assuming units selling from \$268,000-\$764,000.

The project is scheduled to start in 2006, and be completed by April of 2007.

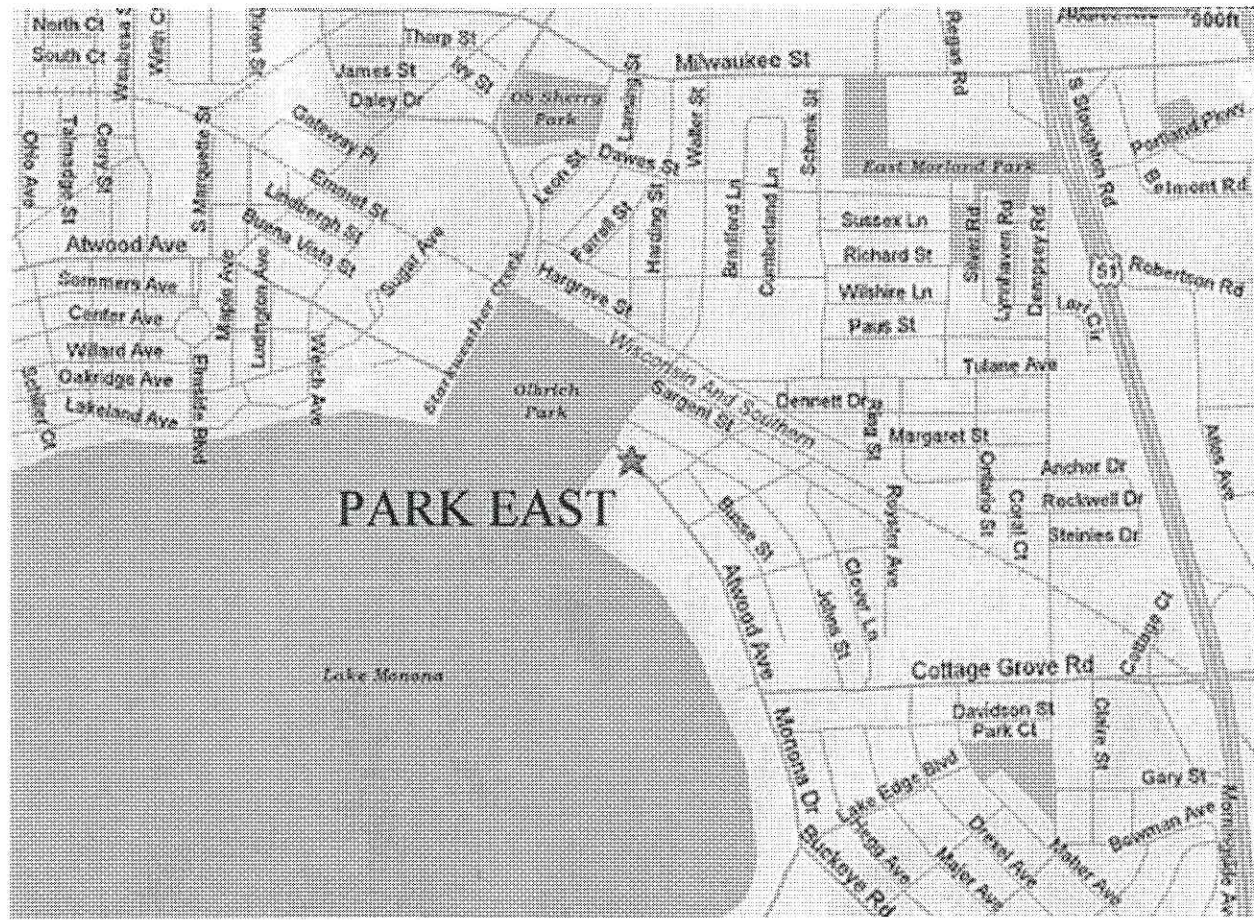
PROJECT PARTICIPANTS

<u>Developer:</u>	Park East LLC. 1249 Williamson Street Madison, WI 53703	<u>Architect:</u>	Linville Architects Ed Linville 408 E. Wilson Street Madison, WI 53703
<u>General Contractor:</u>	Yahara Builders John Sveum 1249 Williamson Street Madison, WI 53703	<u>Landscape Architect:</u>	Schreiber/Anderson Associates, Inc. 717 John Nolen Drive Madison, WI 53713

408 East Wilson Street
Madison, WI 53703
608.251.6696
Fax 608.251.3836

Park East Condominiums
3540 Atwood Ave

LOCATOR MAP



PARK EAST CONDOMINIUMS

3540 ATWOOD AVE
MADISON, WI 53714

OWNER

PARK EAST, LLC
1249 WILLIAMSON ST.
MADISON, WI 53703

PROJECT CONTACT: JOHN SVEUM
PHONE: (608) 287-1445
FAX: (608) 287-1445

DESIGN TEAM

ARCHITECT

LINVILLE ARCHITECTS
E. EDWARD LINVILLE, AIA , ARCHITECT
408 EAST WILSON STREET
MADISON, WISCONSIN 53703
PHONE: (608) 251-6696
FAX: (608) 251-3836

CIVIL/LANDSCAPE

SCHREIBER/ANDERSON ASSOCIATES
717 JOHN NOLEN DRIVE
MADISON, WISCONSIN 53713
PHONE: (608) 255-0800
FAX: (608) 255-7750

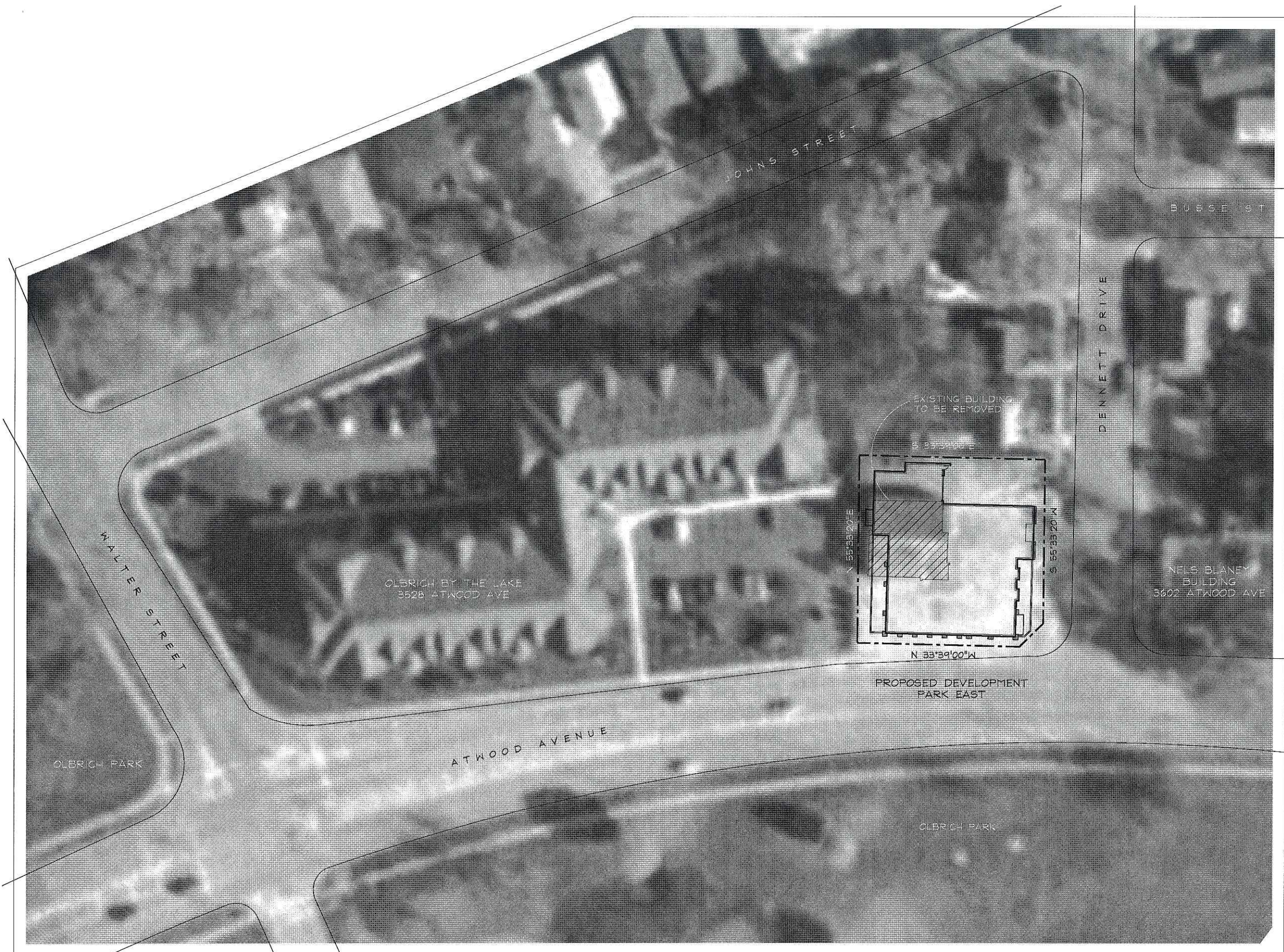
URBAN DESIGN COMMISSION

SUBMITTAL FOR INITIAL APPROVAL

MARCH 15, 2006

SHEET INDEX

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PROJECT NUMBER:	212
DRAWN BY:	AW/CT
CHECKED BY:	CT
ISSUE DATE:	07/20/14
ISSUED FOR:	PC/AR/PSIP

RESIDENTIAL
PARK EAST CONDOMINIUMS
 3540 ATWOOD AVE.
 MADISON, WISCONSIN

LINVILLE ARCHITECTS, LLC
 408 E. WILSON ST. MADISON, WI 53703 608-255-0800
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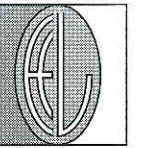
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C-0

CONTEXT PLAN

NOT FOR CONSTRUCTION

SCALE INDICATED FOR 24"x36" SHEET



NOTES:

LEGAL DESCRIPTION:

LOTS ONE (1) AND TWO (2), EXCEPT THE SOUTHEAST 30 FEET THEREOF, AND ALL OF LOTS THREE (3), FOUR (4), FIVE (5), SIX (6), AND SEVEN (7), AND THE SOUTHEAST 1/2 OF VACATED UPHAM STREET ABUTTING ON SAID LOTS 1 TO 7, INCLUSIVE, BLOCK THREE HUNDRED TWENTY-ONE (321), RILEY PLAT, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

LOTS ONE (1) THROUGH SIX (6), BOTH INCLUSIVE, AND LOTS NINETEEN (19) TO TWENTY-FIVE (25), BOTH INCLUSIVE, AND THE NORTHWEST 1/2 OF VACATED UPHAM STREET ABUTTING ON SAID LOTS 19 TO 25, BLOCK THREE HUNDRED TWENTY-TWO (322), RILEY PLAT, EXCEPTING THEREFROM THOSE PORTIONS OF SAID LOTS WHICH LIE WITHIN 50 FEET OF THE EAST RIGHT-OF-WAY LINE OF PENNSYLVANIA AVENUE AS SHOWN ON THE RECORDED PLAT THEREOF, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

PROJECT NUMBER: 212
DRAWN BY: AWCS
CHECKED BY: CT
ISSUE DATE: 03/06
ISSUED FOR: PUB/D/SP

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PARK EAST CONDOMINIUMS

3540 ATWOOD AVE.
MADISON, WISCONSIN

LINVILLE ARCHITECTS, LLC

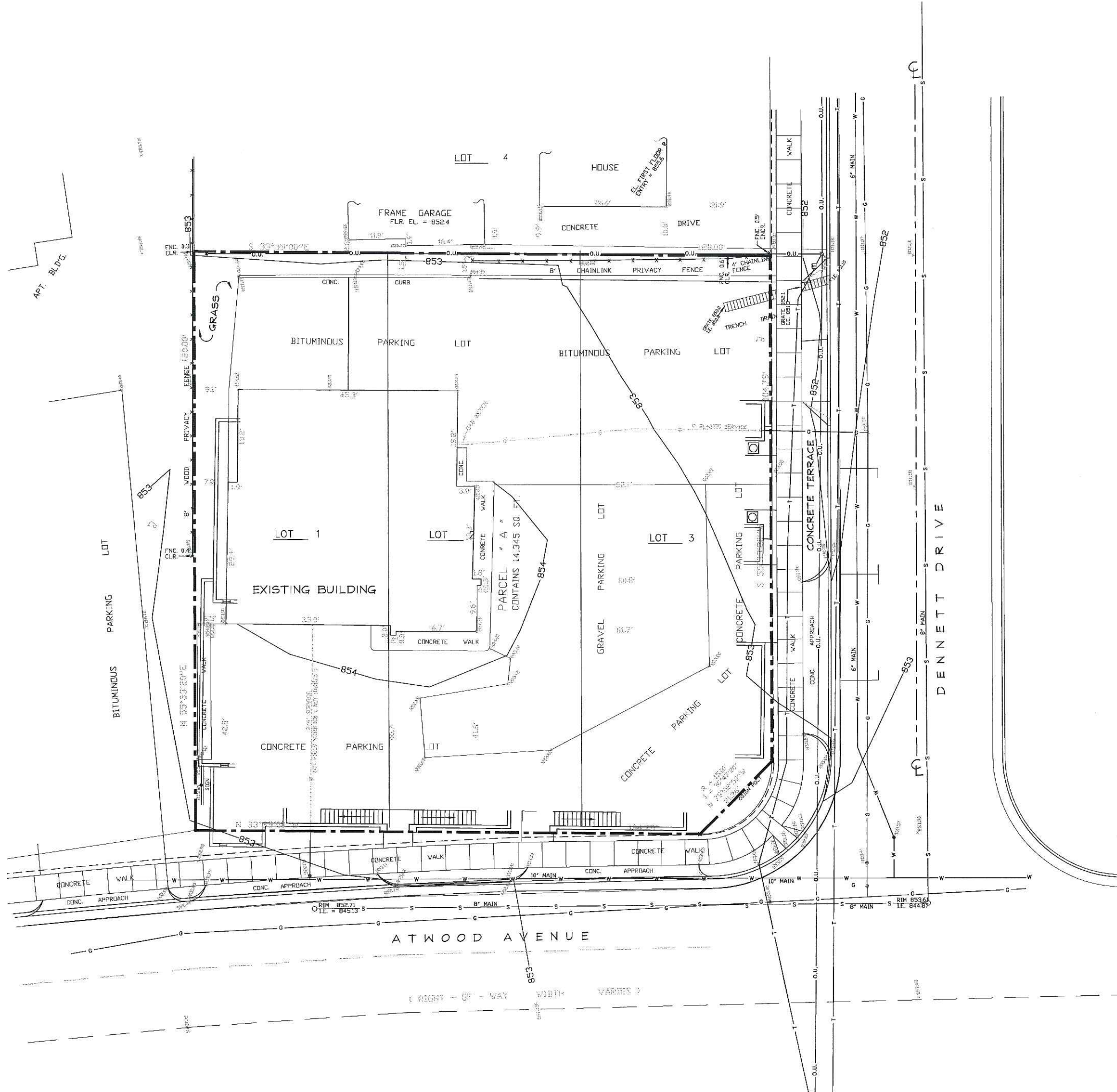
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C-1

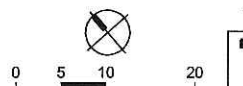


EXISTING CONDITIONS

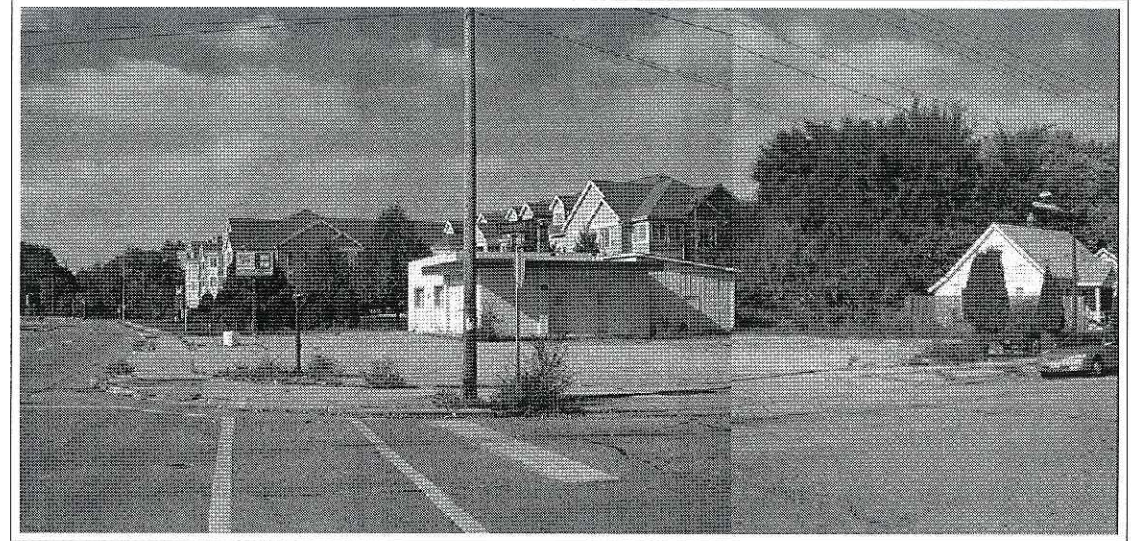
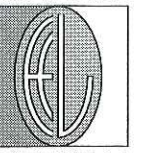
NOT FOR CONSTRUCTION



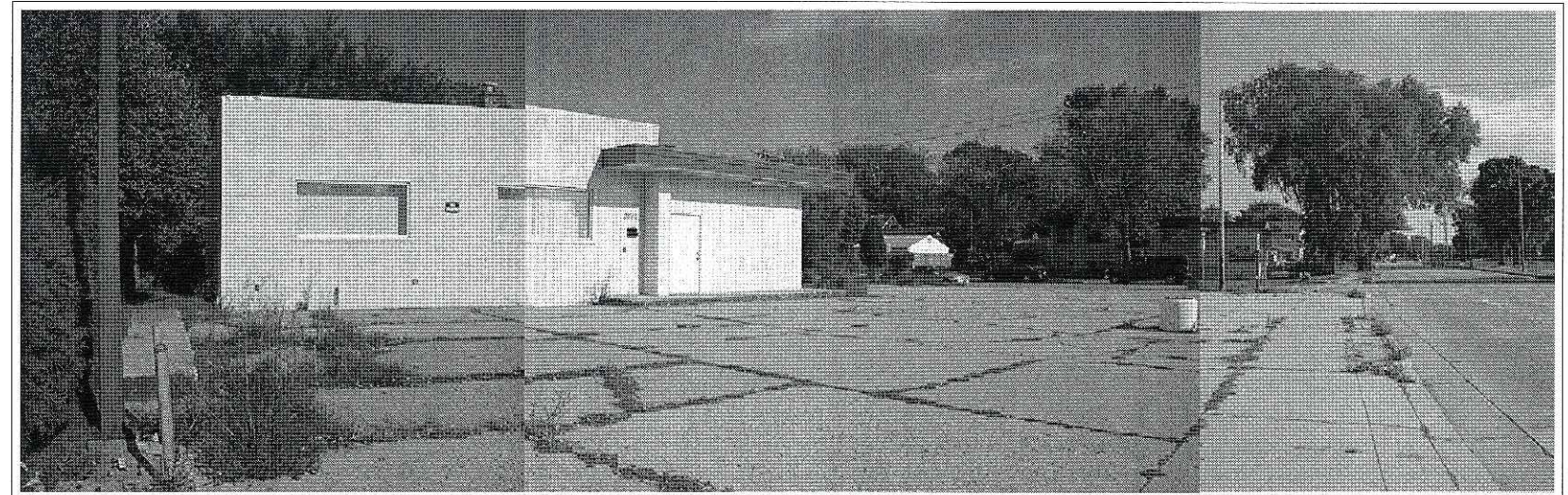
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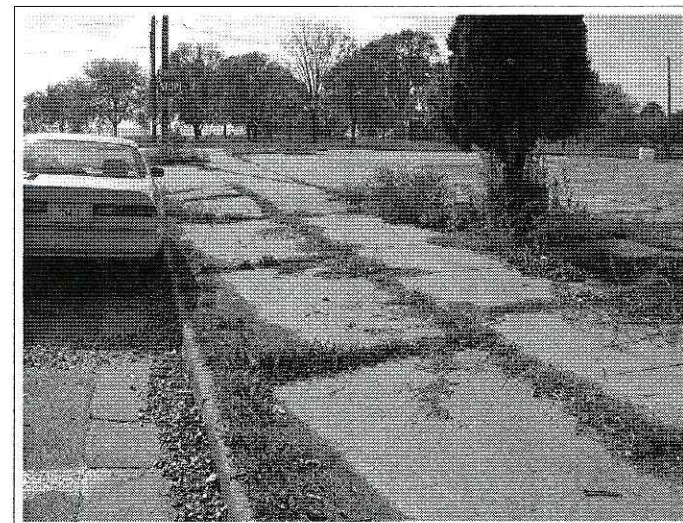
SCALE INDICATED FOR 24"x36" SHEET



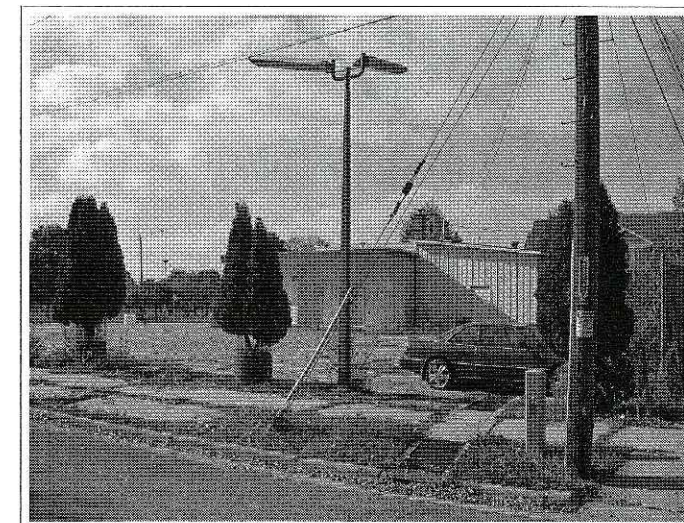
VIEW LOOKING NORTH TOWARDS SITE



VIEW LOOKING EAST INTO SITE



VIEW LOOKING SOUTH INTO SITE FROM EAST CORNER TOWARDS LAKE MONONA



VIEW LOOKING WEST INTO THE SITE FROM EAST CORNER ALONG NORTHERN PROPERTY BOUNDRY

PROJECT NUMBER: 213
DRAWN BY: AWCS
CHECKED BY: CT
ISSUE DATE: 03/06
ISSUED FOR: PDRGRSIP

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PARK EAST CONDOMINIUMS
3540 ATWOOD AVE
MADISON, WISCONSIN

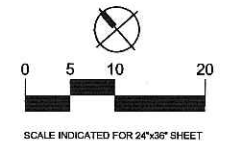
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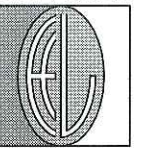
REVISION DATES:
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EXISTING SITE PHOTO INVENTORY

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LEGEND:

- FFE FINISH FLOOR ELEVATION
- TW TOP OF WALL
- BW BOTTOM OF WALL
- FS FINISH SURFACE
- FG FINISH GRADE
- HP HIGH POINT
- LP LOW POINT
- (8xx) EXISTING ELEVATION
- 8XX PROPOSED ELEVATION

NOTES:

- 1 - EXISTING SIDEWALK TO REMAIN, MATCH DRIVE AND WALKS TO THIS ELEVATION
- 2 - ALL EXISTING CURB CUTS AND DRIVE ENTRIES TO BE ABANDONED SHALL BE REPLACED WITH CURB AND GUTTER AND GRASS TERRACE. MATCH TERRACE GRADES WITH EXISTING
- 3 - MAINTAIN MIN. 2% SLOPE AWAY FROM BUILDING FOUNDATION

PROJECT NUMBER: 212
 DRAWN BY: AMCT
 CHECKED BY: CT
 ISSUE DATE: 01/16/16
 ISSUED FOR: FUDGDRIP

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XXX ATWOOD AVE.
 WISCONSIN

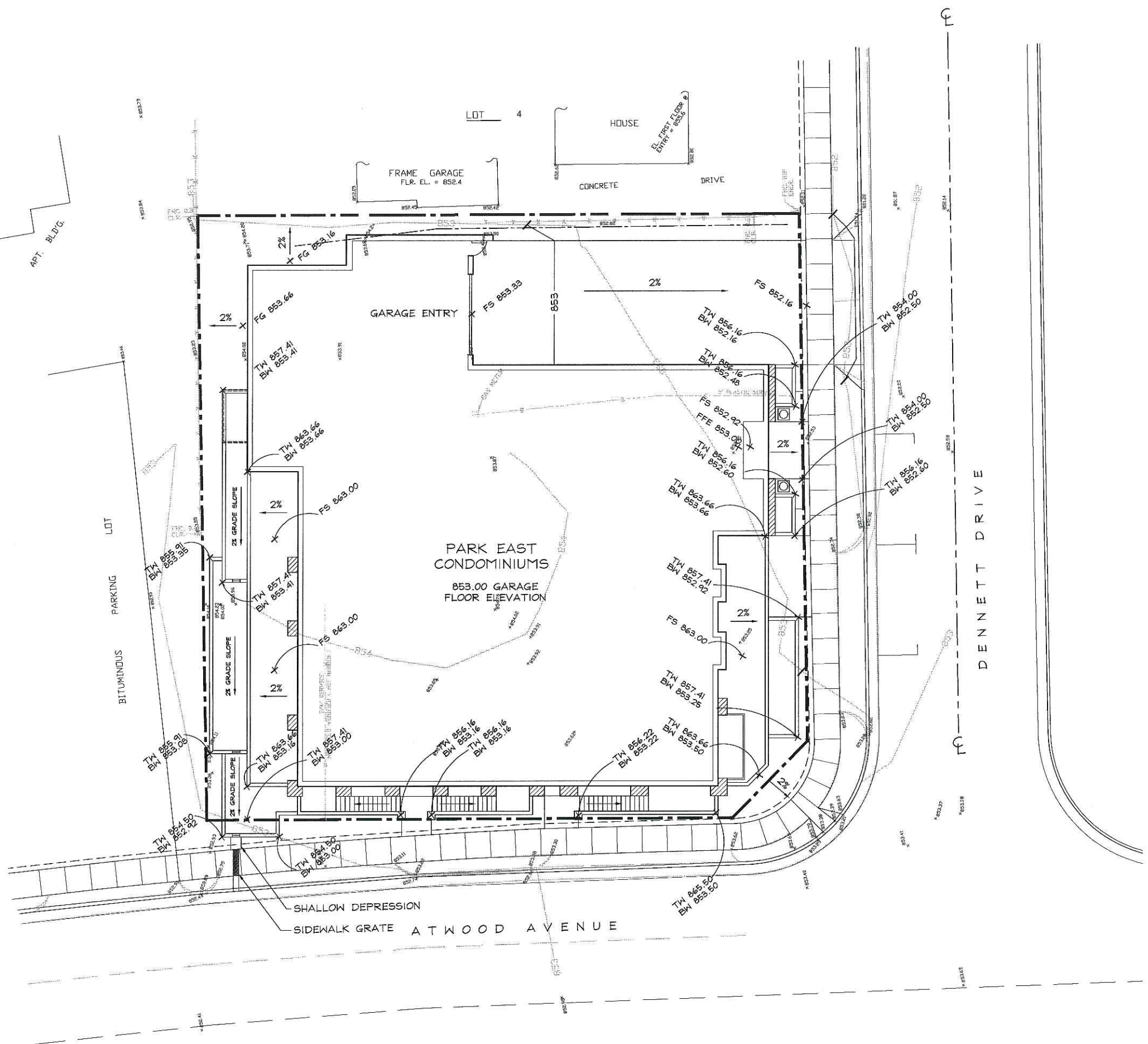
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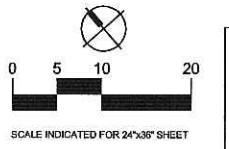
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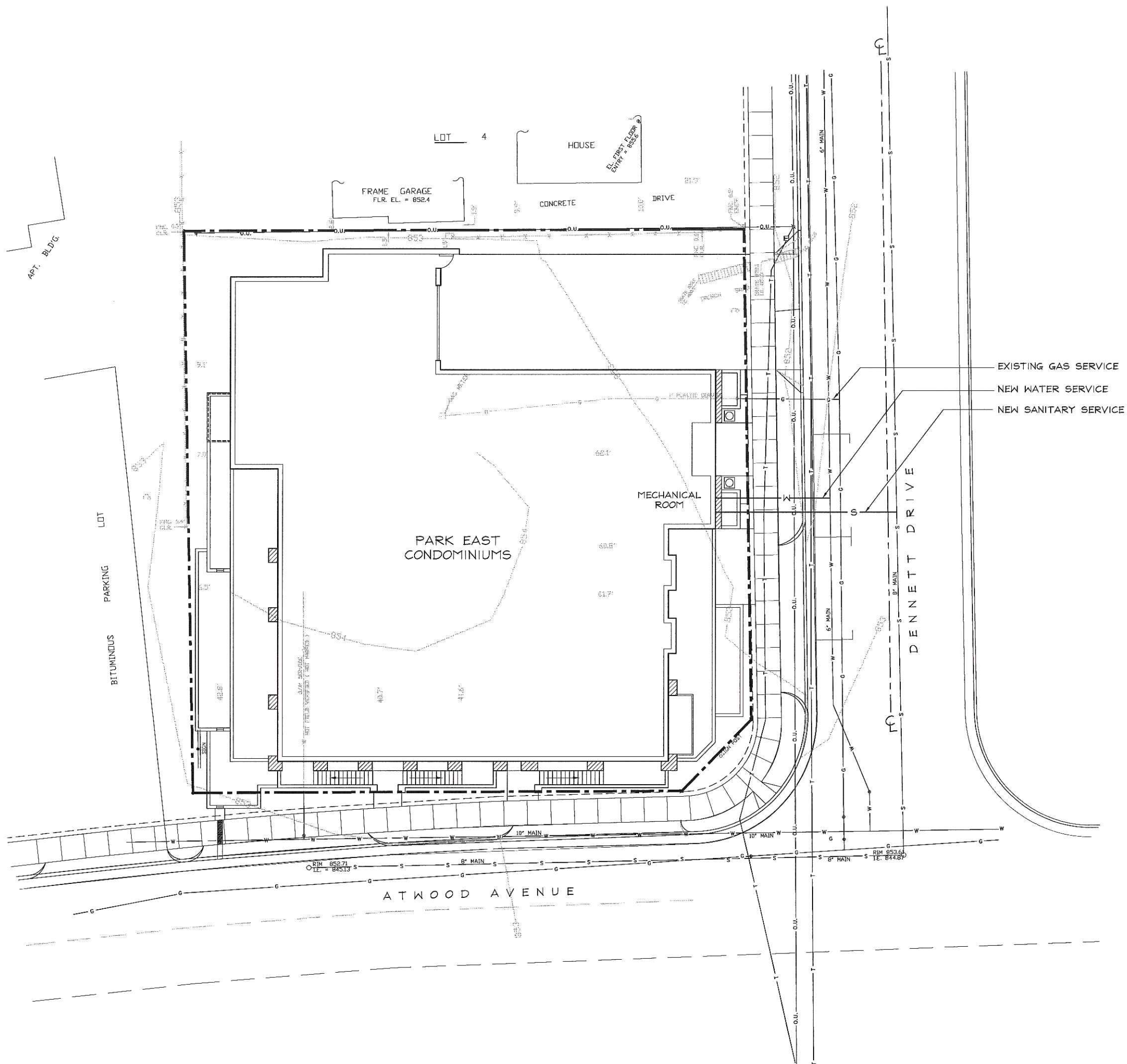
C-5



GRADING PLAN

NOT FOR CONSTRUCTION





NOTES:

1 - EXCEPT WHERE NOTED, ALL ON-SITE STORM SEWER PIPE SHALL BE AASHTO TYPE 'S' (N-12) POLYPROPYLENE, MANUFACTURED BY ADS.

2 - REFER TO DEMOLITION PLAN SHEET C-3 FOR ABANDONED UTILITY CALL OUTS

PROJECT NUMBER: 212
 DRAWN BY: AWCS
 CHECKED BY: CT
 ISSUE DATE: 01/15/16
 ISSUED FOR: PUDG015P

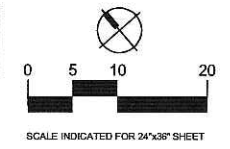
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PARK EAST CONDOMINIUMS
 3540 ATWOOD AVE.
 MADISON, WISCONSIN

LINVILLE ARCHITECTS, LLC
 408 E. WILSON ST. MADISON, WI 53703 608-255-0606
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UTILITY PLAN

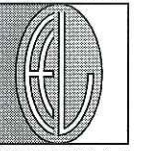
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 F 608.255.7750



REVISION DATES:
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C-6



NOTES:

SITE STATISTICS

TOTAL SITE AREA	14,500 SF
TOTAL IMPERVIOUS SURFACE (BUILDINGS, PATIOS, & WALKS)	9,130 SF
TOTAL PERVIOUS SURFACE (GREENSPACE & GREENROOF)	5,370 SF
IMPERVIOUS SURFACE RATIO	42%

PROJECT NUMBER: 113
 DRAWN BY: JAW/S
 CHECKED BY: CT
 ISSUE DATE: 04/06
 ISSUED FOR: PUD/DRSP

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3540 ATWOOD AVE.
 MADISON, WISCONSIN

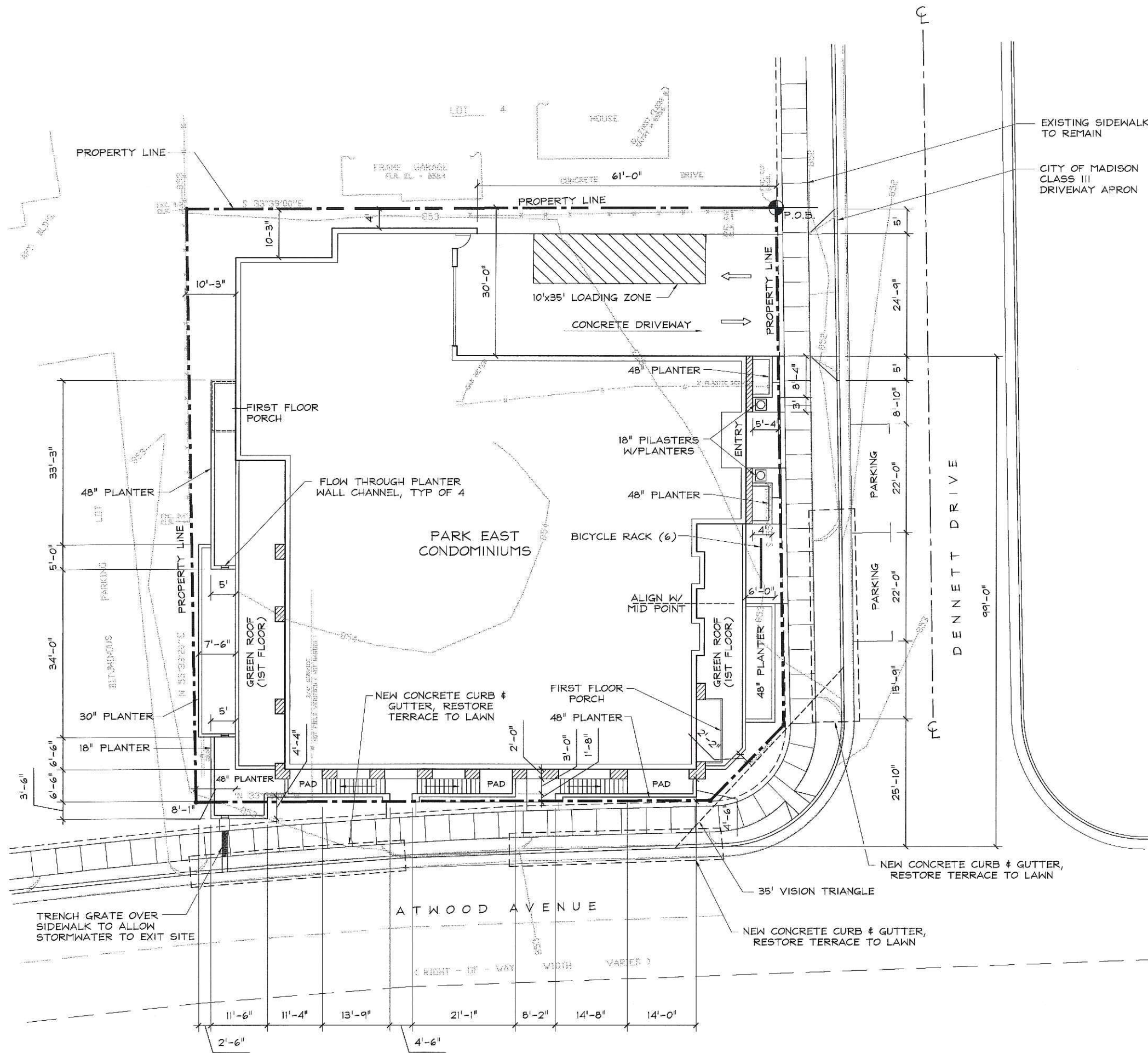
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REVISION DATES:



C-7

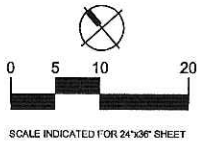


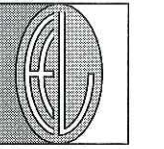
SITE LAYOUT PLAN

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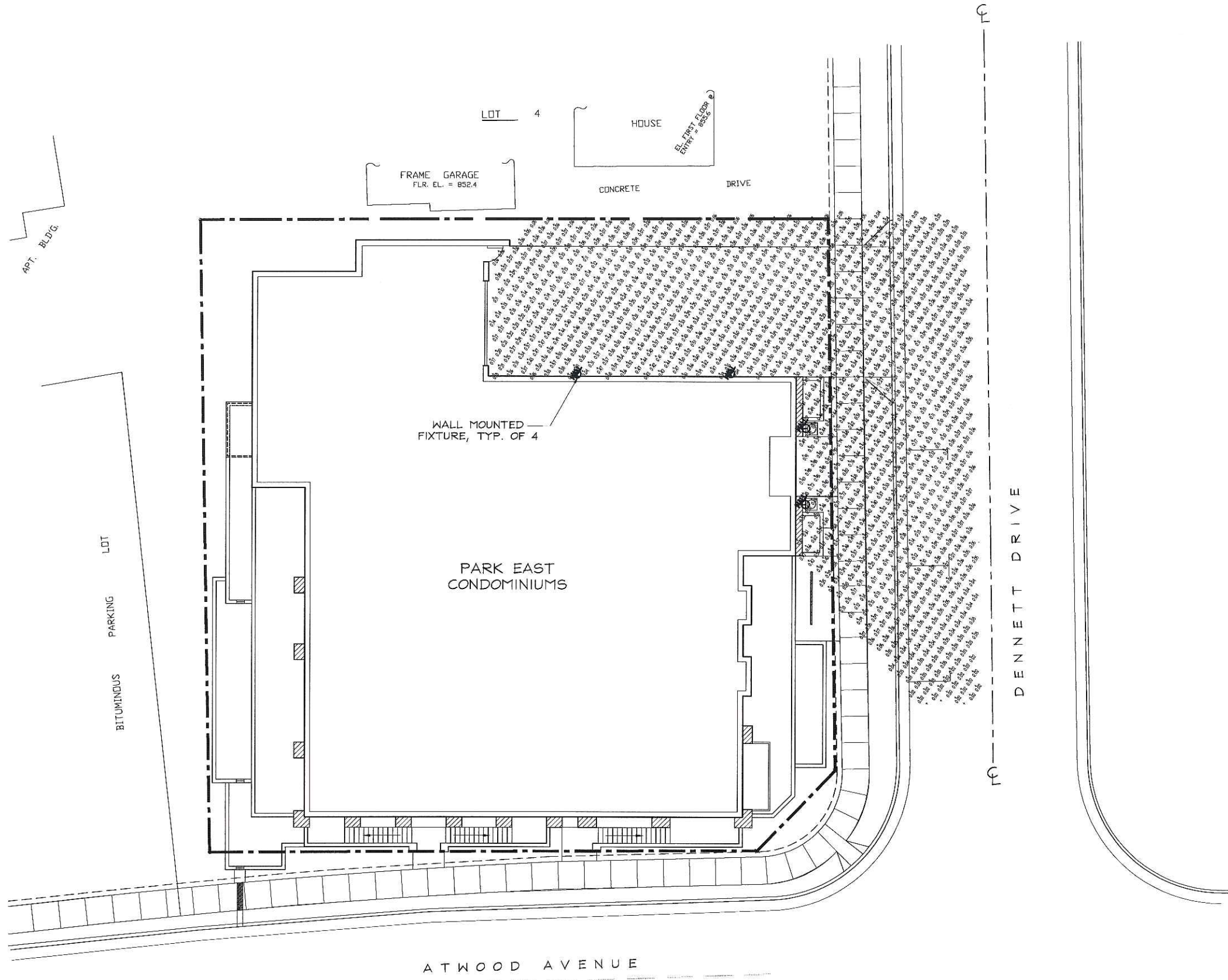
PROJECT NUMBER: 1113
DRAWN BY: AWES
CHECKED BY: CT
ISSUE DATE: 01/06
ISSUED FOR: FUDORSHIP

RESIDENTIAL
PARK EAST CONDOMINIUMS
 3540 ATWOOD AVE.
 MADISON, WISCONSIN

LINVILLE ARCHITECTS, LLC
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REVISION DATES:
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C-8



AREA NAME	DIMENSIONS	GRID / TYPE	# PTS	SPACGROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
Parking/Entry	91.40x128.50Ft	Grade / H-H	1293	2.00 <+>	0.20	0.98	0.01	69.96	14.12

TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	LLF	QTY
WALL	6	STERNBERG VINTA (1) 1/2" W/ 702 LB MH 70W	(1) M9BSJ70	5600	0.80	4

AREA NAME	I/O	DIMENSIONS	LUMS / <ASMS>	WATTS/SQ FT	QTY
Parking/Entry	OUT	91.40x128.50Ft	<WALL> (4)	0.02	1

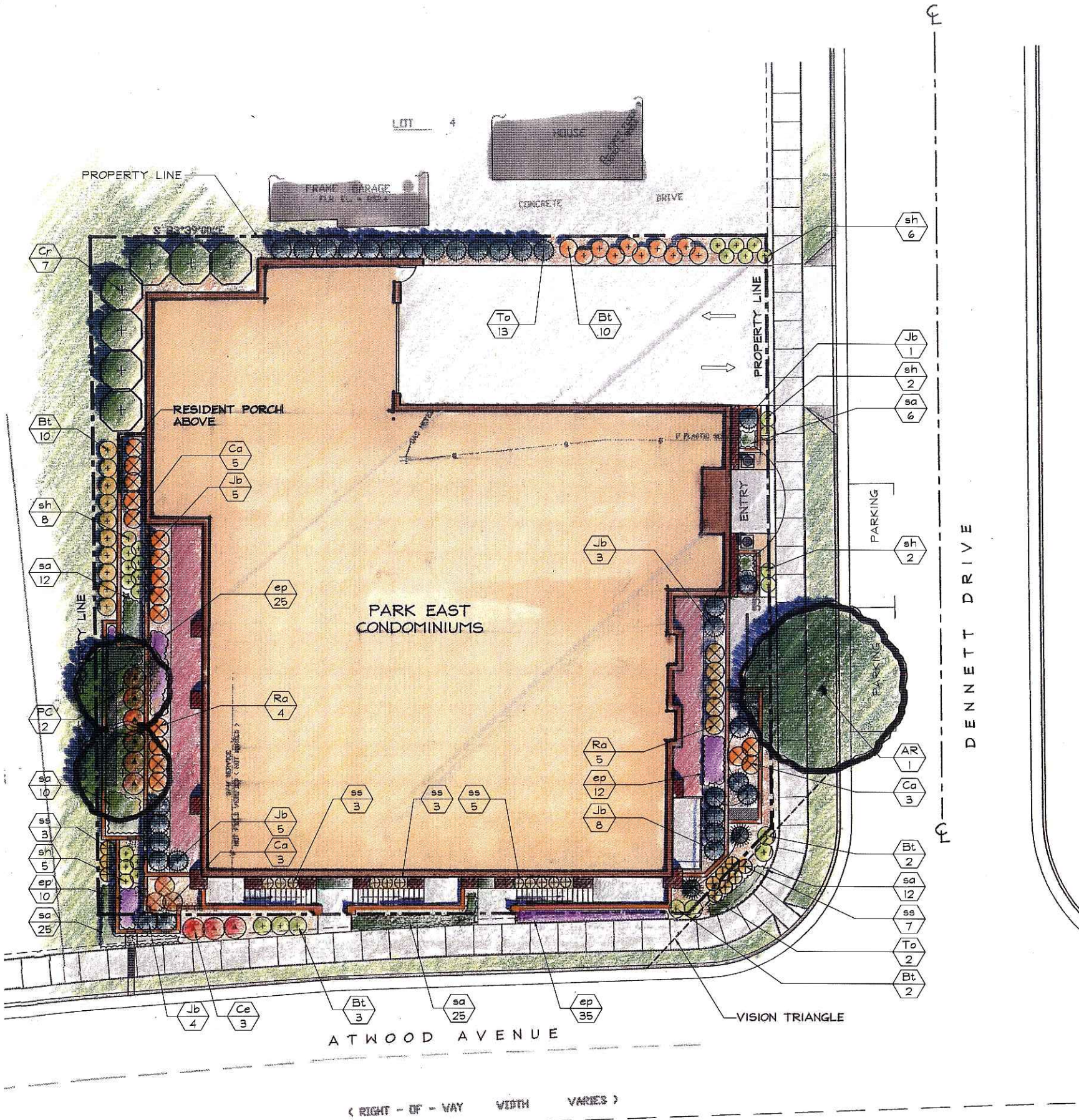
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PHOTOMETRIC PLAN

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 P 608.255.0800
 F 608.255.7750

SCALE INDICATED FOR 24"x36" SHEET



LANDSCAPE PLANT LEGEND						
Symbol	Botanical Name	Common Name	Size	Root	Quantity	Comments
SHADE TREES						
AR	Acer Rubrum	Red Maple	3" Cal.	B&B	1	Street Tree
PC	Pyrus Calleryana 'Chanticleer'	Chanticleer Callery Pear	2.5"	B&B	2	Columnar variety
DECIDUOUS SHRUBS						
Bt	Berberis thunbergii 'Rose Glow'	Rose Glow Barberry	3 Gal.	Cont.	27	Evergreen
Ca	Cotoneaster apiculatus	Cranberry Cotoneaster	3 Gal.	Cont.	11	Dense cascading
Ce	Ceanothus americana	New Jersey Tea	2 Gal.	Cont.	3	3'x3' Size
Cr	Cornus racemosa	Gray Dogwood	4' Ht.	Cont.	7	
Ra	Rhus aromatica	Gro-Low Sumac	2 Gal.	Cont.	22	Aromatic spreader
EVERGREEN SHRUBS						
Jb	Juniperus sabina 'Broadmoor'	Broadmoor Juniper	3 Gal.	Cont.	26	4'-0" O.C. spacing
To	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	4' Ht.	Cont.	15	3'-0" O.C. spacing
PERENNIALS						
ep	Echinacea purpurea	Purple Coneflower	4.5"	Cont.	82	Long bloom time
sa	Salvia nemorosa 'May Night'	May Night Meadow Sage	4.5"	Cont.	100	18" O.C. spacing
GROUNDCOVERS / GRASSES / VINES						
sh	Sporobolus heterolepis	Prairie Dropseed	1 Gal.	Cont.	23	18" spacing
ss	Schizachyrium scoparium	Little Bluestem	1 Gal.	Cont.	21	18" spacing

NOTES:

- 1 - SEE SHEET C-11 FOR ROOF DECK PLANTING PLAN
- 2 - SEE SHEET A-3 AND ARCHITECTURAL PLANS FOR PLANTER INFORMATION
- 3 - ALL PLANTING BEDS TO RECEIVE A MIXTURE OF HARDWOOD SHREDDED MULCH, MIN. 3" DEPTH OVER PRE-EMERGENT
- 5 - ALL TERRACES TO BE FINISH-GRADED AND SEEDING PER CITY OF MADISON REQUIREMENTS

LANDSCAPE PLAN & LEGEND

NOT FOR CONSTRUCTION

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P 608.255.0800
F 608.255.7750

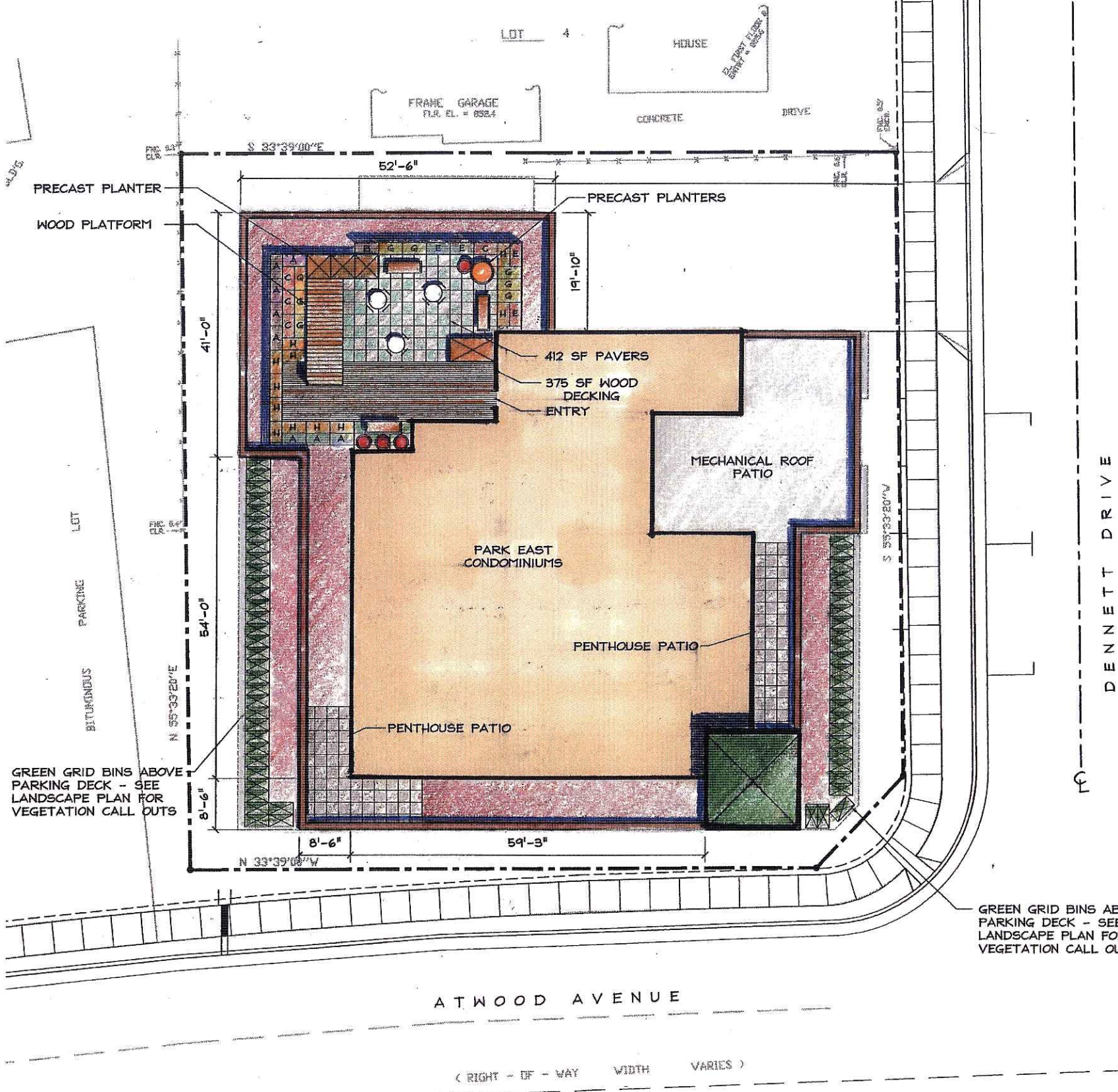
SCALE INDICATED FOR 24"x36" SHEET

PROJECT NUMBER: 1132
DRAWN BY: AWCS
CHECKED BY: CT
ISSUE DATE: 08/15/06
ISSUED FOR: PUD/GR/SP

RESIDENTIAL
PARK EAST CONDOMINIUMS
3540 ATWOOD AVE.
MADISON, WISCONSIN

LINVILLE ARCHITECTS, LLC
408 E. WILSON ST. MADISON, WI 53703 608-255-6666
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LANDSCAPE PLANT LEGEND							
Symbol	Botanical Name	Common Name	Size	Root	Quantity	Comments	
EVERGREEN SHRUBS							
A	Jp	Juniperus procumbens 'Nana'	Jap. Garden Juniper	3 Gal.	Cont.	52	4'-0" O.C. spacing
PERENNIALS / GRASSES							
B	am	Achillea 'Moonshine'	Yarrow	4.5"	Cont.	60	Grey foliage
C	as	Allium senescens 'Glaucum'	Ornamental Onion	4.5"	Cont.	156	Rosy flowers
D	fg	Festuca glauca 'Elijah Blue'	Ornamental Grass	1 Gal.	Cont.	78	Blue spike form
E	rp	Ritibida pinnata	Prairie Coneflower	4.5"	Cont.	32	Yellow flowers
F	sk	Sedum kamtschaticum	Stonecrop	4.5"	Cont.	24	Orange-yellow flower
G	sn	Salvia nemorosa 'May Night'	May Night Salvia	4.5"	Cont.	84	Deep purple flower
H	ss	Sedum spurium 'Dragon's Blood'	Stonecrop	4.5"	Cont.	54	Reddish foliage

LEGEND:

- 4" GRID MODULE (2'x4' PLANTING BIN)
- 8" GRID MODULE SEE LANDSCAPE PLAN FOR VEGETATION
- PLANTER TYPE A
- PLANTER TYPE B
- CAFE TABLE W/CHAIRS

(2'x4' PLANTING BINS AVAILABLE FROM GREEN GRID ROOF SYSTEM 312-424-3306)

- NOTES:**
- 1 - SEE SHEET C-10 FOR SITE LANDSCAPE PLAN
 - 2 - SEE DETAIL X/CX.X FOR GREEN GRID WOOD EDGE DETAIL
 - 3 - SEE DETAIL X/CX.X FOR GREEN GRID RAISED BINS DETAIL
 - 4 - 2'X2' PATIO PAVERS TO BE INSTALLED WITH "TERRA SYSTEM ONE" PEDESTAL SYSTEM, AVAILABLE FROM WAUSAU TILE, 800-388-8728
 - 5 - CONTRACTOR IS RESPONSIBLE FOR PEDESTAL SYSTEM COMPONENTS TO INSTALL PATIO PAVERS LEVEL ON PITCHED ROOF SURFACE. SEE DETAIL X/CX.X FOR REFERENCE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS
 - 6' CEDAR BENCHES AVAILABLE FROM: DUMOR SITE FURNISHINGS 800-598-4018 MODEL: BENCH 165, #165-60C

PROJECT NUMBER: 2122
 DRAWN BY: AWICS
 CHECKED BY: CT
 ISSUE DATE: 03/15/06
 ISSUED FOR: PUD/DR/SP

RESIDENTIAL
PARK EAST CONDOMINIUMS
 3540 ATWOOD AVE.
 MADISON, WISCONSIN

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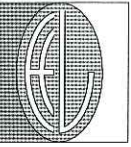
C-11

ROOF DECK PLAN

NOT FOR CONSTRUCTION

SAA
 SCHREIBER / ANDERSON
 ASSOCIATES, INC.
 P 608.255.0800
 F 608.255.7750

SCALE INDICATED FOR 24"x36" SHEET



PROJECT NUMBER: 1132
DRAWN BY: AWCS
CHECKED BY: CT
ISSUE DATE: 01/10/16
ISSUED FOR: PUD/GR/SP

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MADISON, WISCONSIN

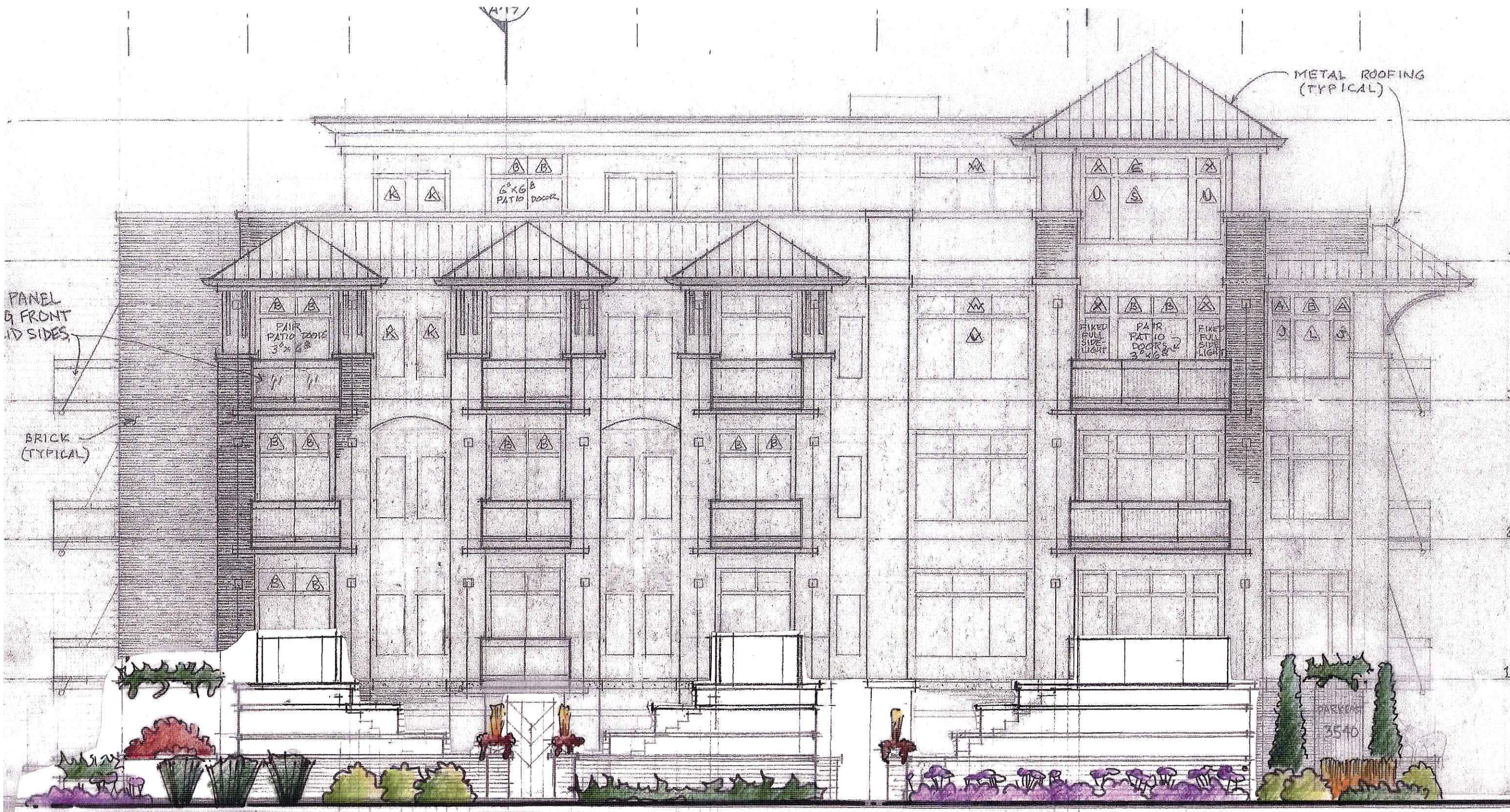
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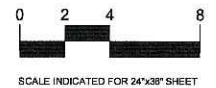
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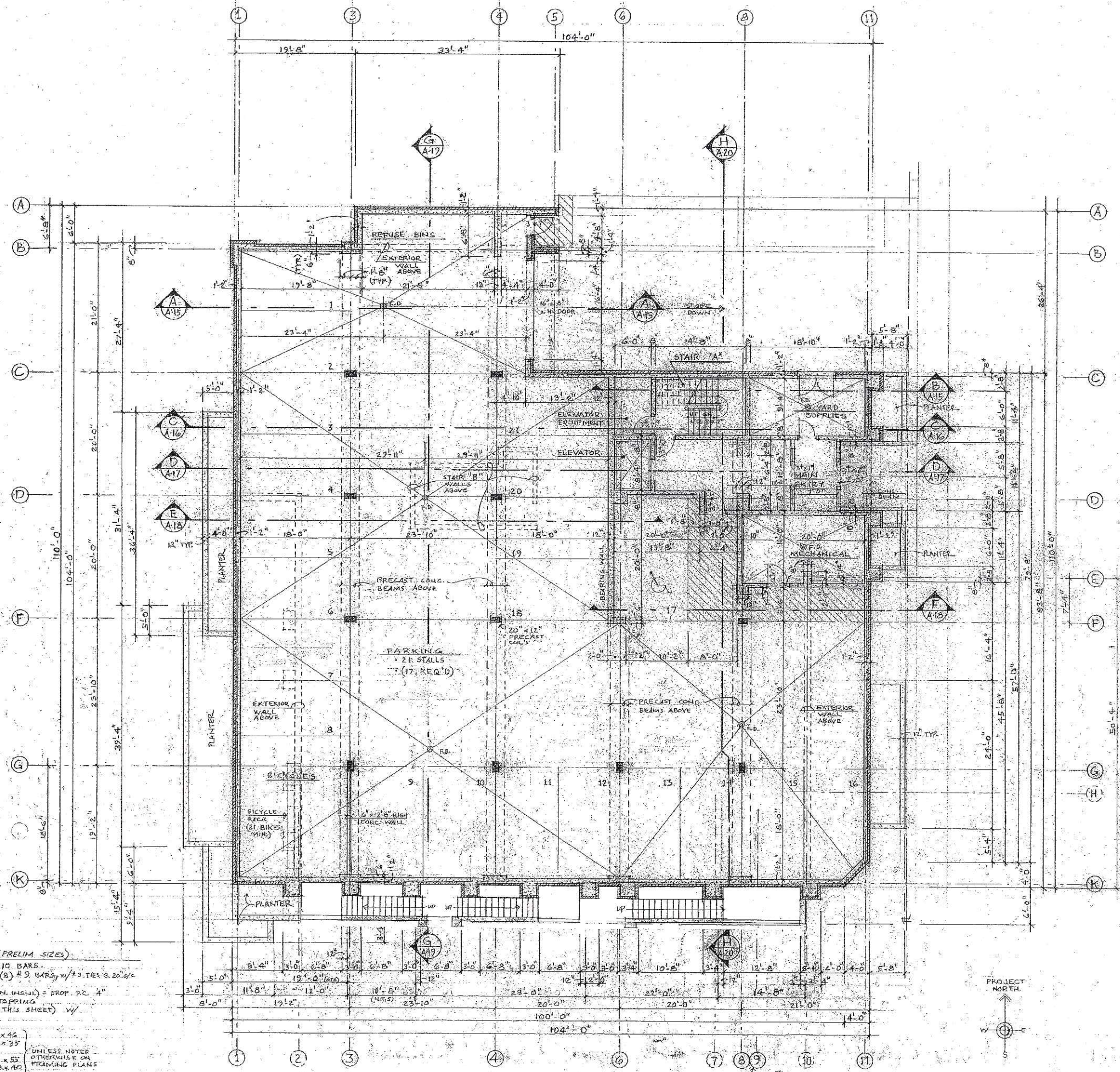
C-12



ATWOOD ELEVATION-
STAIRS

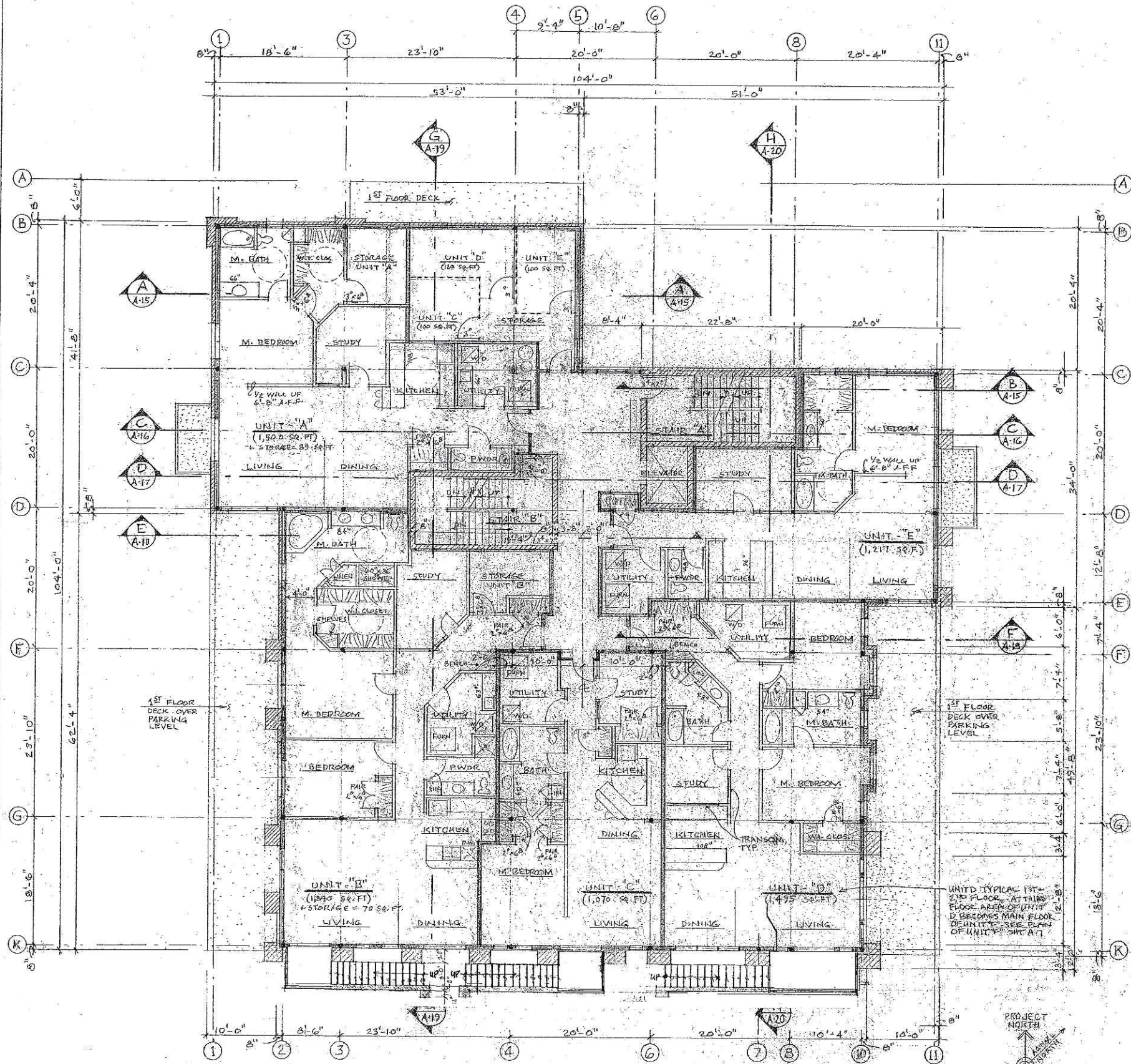
NOT FOR CONSTRUCTION





- STRUCTURAL NOTES: (PRELIM SIZES)**
1. PRECAST COL'S = 12" x 20" w/ (4) #10 BARS.
 2. PRECAST BEAMS = (SHOWN 40"x15" ON PLAN) = (8) #9 BARS, w/ #3 TIES @ 20" o/c.
 3. PRECAST PLANKS:
 - a. ROOF = 8" w/ NO TOPPING. (6" MIN. INSUL) = PROP. P.R. 4"
 - b. 1ST FLOOR = 8" w/ 2" COMPOSITE TOPPING
 - c. 2ND FLOOR = 8" & 12" (SEE PLAN, THIS SHEET) w/ 2" COMPOSITE TOPPING.
 4. STEEL BEAMS:
 - a. ROOF: INTERIOR @ 24" LONG = W18 x 46
 @ 20' OR LESS = W18 x 35
 - b. FLOOR: INTERIOR @ 24" LONG = W18 x 55
 @ 20' OR LESS = W18 x 40
 EXTERIOR = W14 x 26
 5. ALL STRUCTURAL CONG. TO BE 3,500 PSI.
 6. ALL REINFORCING BARS TO BE 60,000 PSI.
- UNLESS NOTED OTHERWISE ON DRAWING PLANS

PARKING LEVEL PLAN
 1/8" = 1'-0"



OCCUPANCY TYPE:
RESIDENTIAL ON-SITE PARKING

30390	SQ FT
9366	SQ FT

SQUARE FOOTAGES:

GROSS SQ FT FOR BUILDING:	39,756	SQ FT
PARKING/GRADE LEVEL:	9,366	SQ FT
FIRST FLOOR LEVEL:	8,625	SQ FT
SECOND FLOOR LEVEL:	8,625	SQ FT
THIRD FLOOR LEVEL:	8,625	SQ FT
4TH/PENTHOUSE LEVEL:	4,555	SQ FT

DWELLING UNIT INFORMATION

TOTAL UNITS:	11
TOTAL BEDROOMS:	40
NUM. OF UNITS PER FLOOR:	5 (1ST, 2ND & 3RD) 1 (4TH FL)

(Unit D on 3rd floor is part of a two-story unit w/ unit F on 4th floor)

	# OF BEDROOMS	# OF BATHS	SQUARE FOOTAGE
UNIT A:	1	1 1/2	1309 SQ FT
UNIT B:	2	1 1/2	1824 SQ FT
UNIT C:	1	1	1081 SQ FT
UNIT D:	2	2	1526 SQ FT
UNIT E:	1	1 1/2	1190 SQ FT
UNIT F:	2	2 1/2	2104 SQ FT
UNIT G:	3	3 1/2	2188 SQ FT

GENERAL NOTES:
1. TWO-SIDED GAS FIREPLACE AT EACH UNIT
2. TRANSOM AT POWDER RM./KITCHEN IN UNIT B, E & F.

DOORS (TYPICAL) - UNLESS NOTED ON PLAN

UNIT "ENTRY" — 3" x 6" S.C.
BED/BATH ROOM/STUDY — 2 1/2" x 6" S.C.
UTILITY — 3" x 6" S.C.

STAIR "A" & "B" — 3" x 7"

(SEE ELEVATIONS - SHEETS A-13 & A-14 FOR WINDOWS)

2ND FLOOR PLAN 1/8" = 1'-0" CONCEPT 5

(3RD FLOOR SIMILAR W/ UNIT "D" BEING THE 1ST FLOOR OF A 2-STORY UNIT EXTENDING UP TO 4TH FLOOR LEVEL)
(1ST FLOOR SIMILAR (2ND FLOOR IS SHOWN TO LOCATE ALL BALCONIES, TYP @ 2ND & 3RD FLOORS)

PROJECT NUMBER: 789
DRAWN BY: GHJ
CHECKED BY: JMK
DATE: 11/15/15
SCALE: 1/8" = 1'-0"

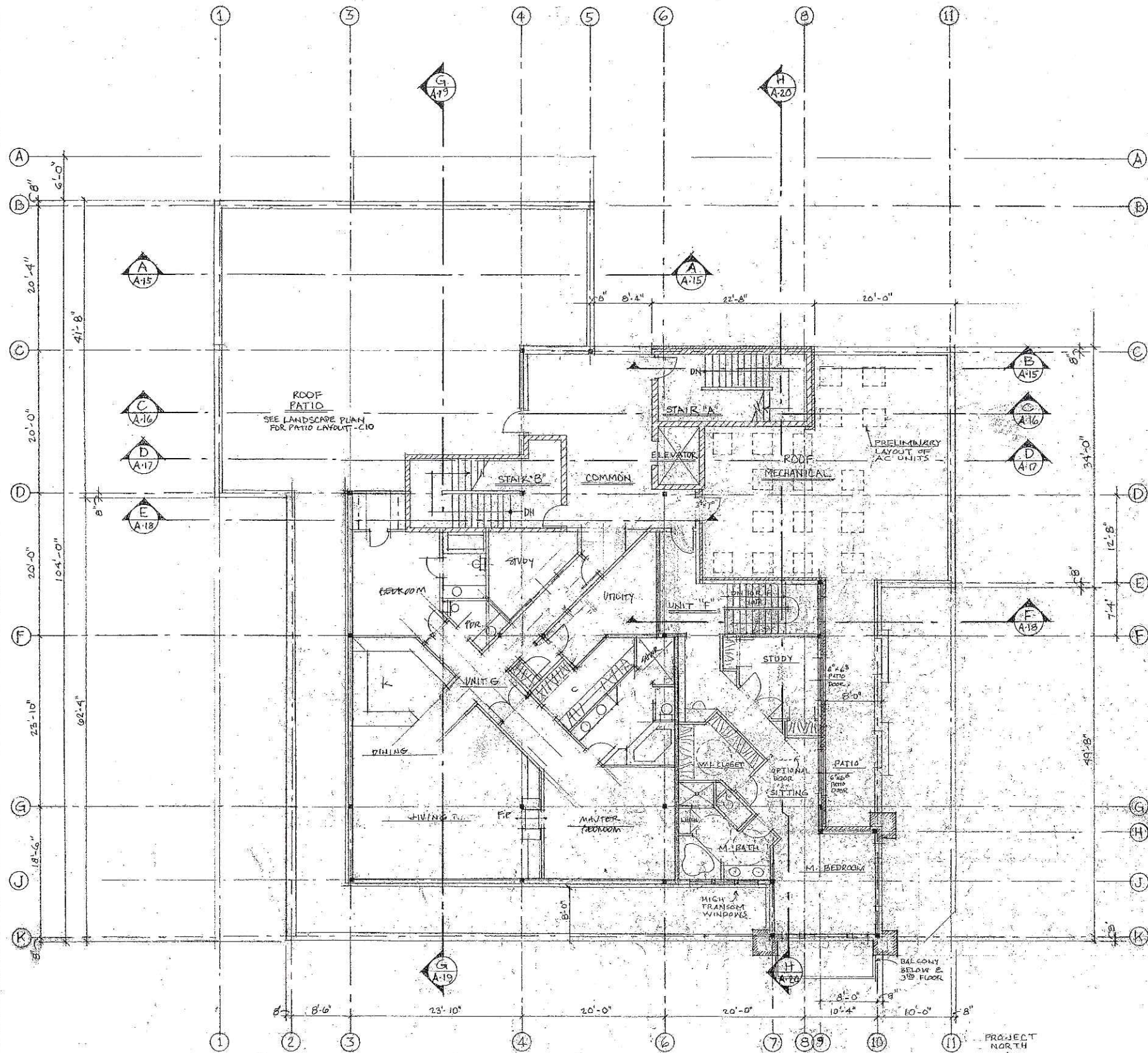
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MADISON, WISCONSIN 53718

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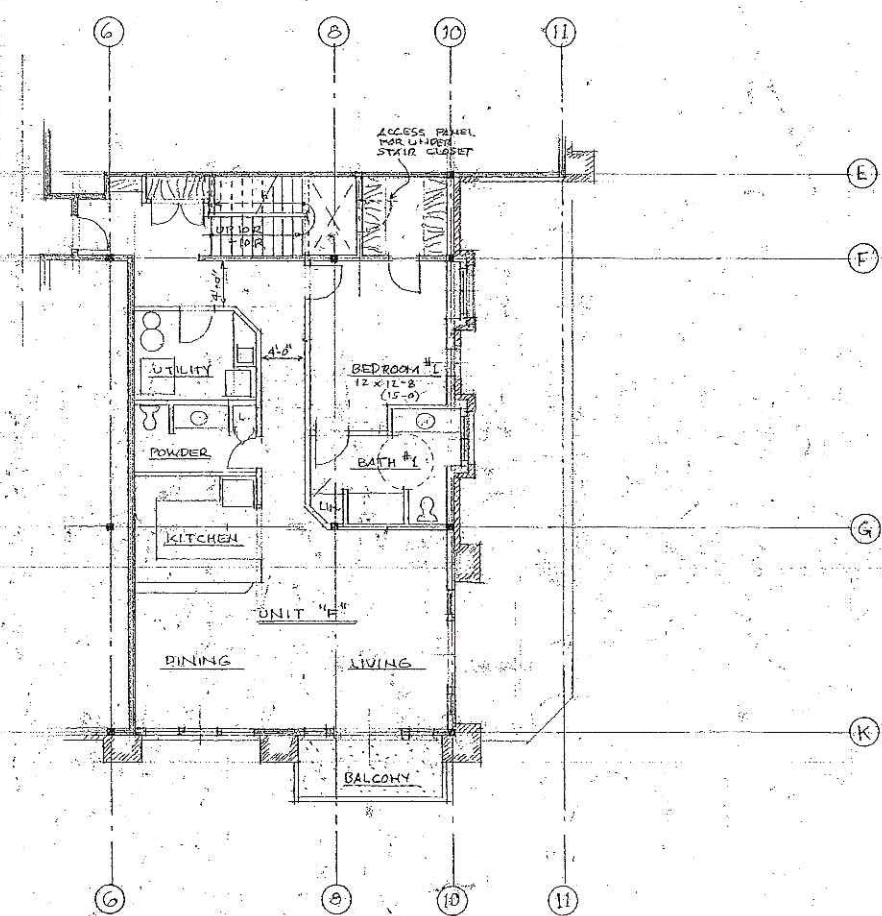
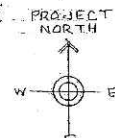
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A-5
of 4



4TH FLOOR PLAN - UPPER FLOOR OF UNIT F & UNIT G
 1/8" = 1'-0"



PARTIAL 3RD FLOOR PLAN - UNIT F - LOWER FLOOR
 THIS UNIT "F" PORTION ON 3RD FLOOR IS UNIT "D" ON 1ST & 2ND FLOOR. 1/8" = 1'-0"

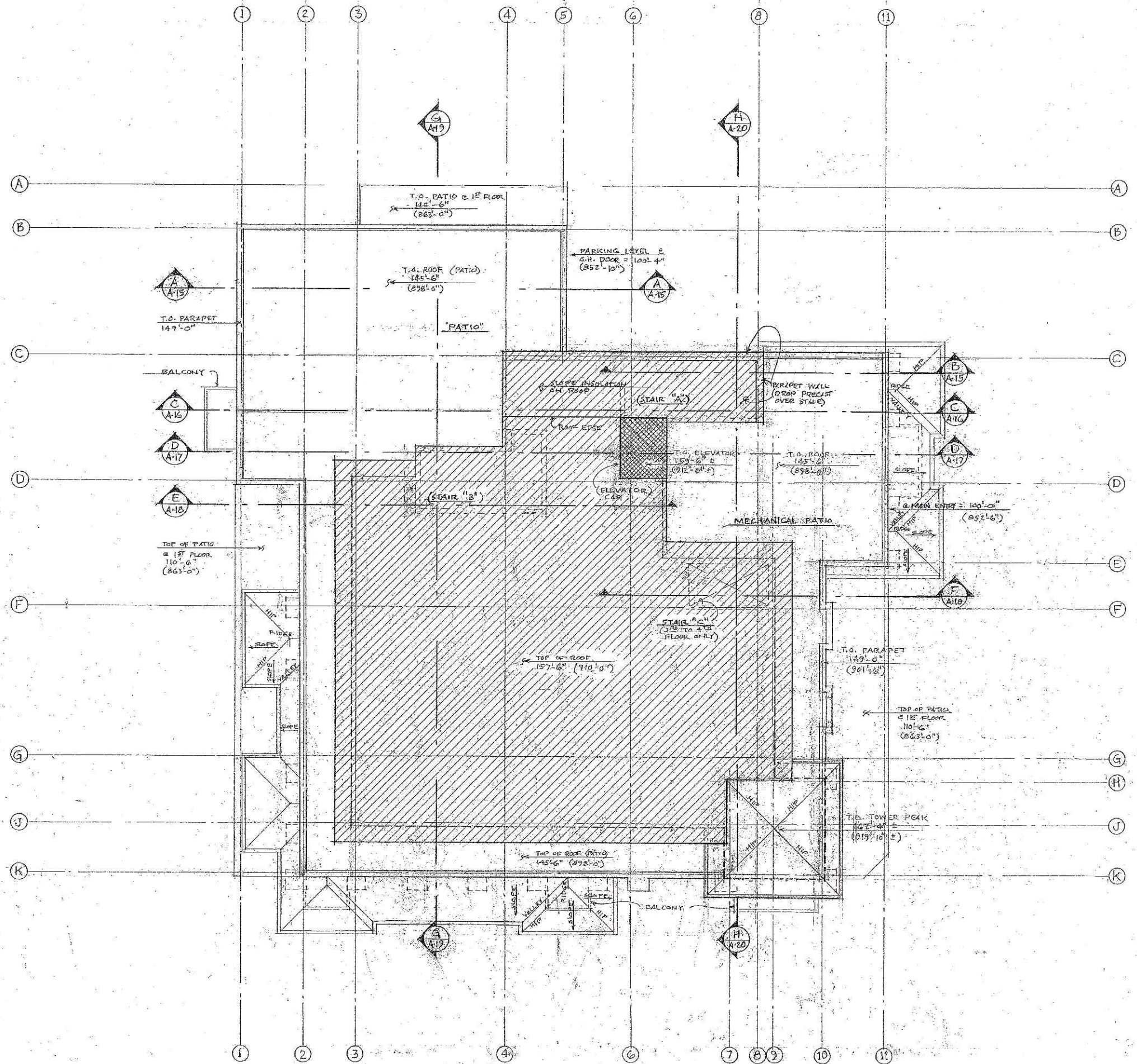


PROJECT NUMBER: 789
 DRAWN BY: TLH & GHK
 CHECKED BY: [Signature]
 DATE: [Date]
 ISSUED FOR: [Date]

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 MADISON, WISCONSIN

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ROOF PLAN • 1/8" = 1'-0"

PROJECT NUMBER: 789
 DRAWN BY: G.H.L.
 CHECKED BY:
 ISSUE DATE: 10/15/2009
 ISSUED FOR:

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PARK EAST CONDOMINIUMS
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 MADISON, WISCONSIN 5374

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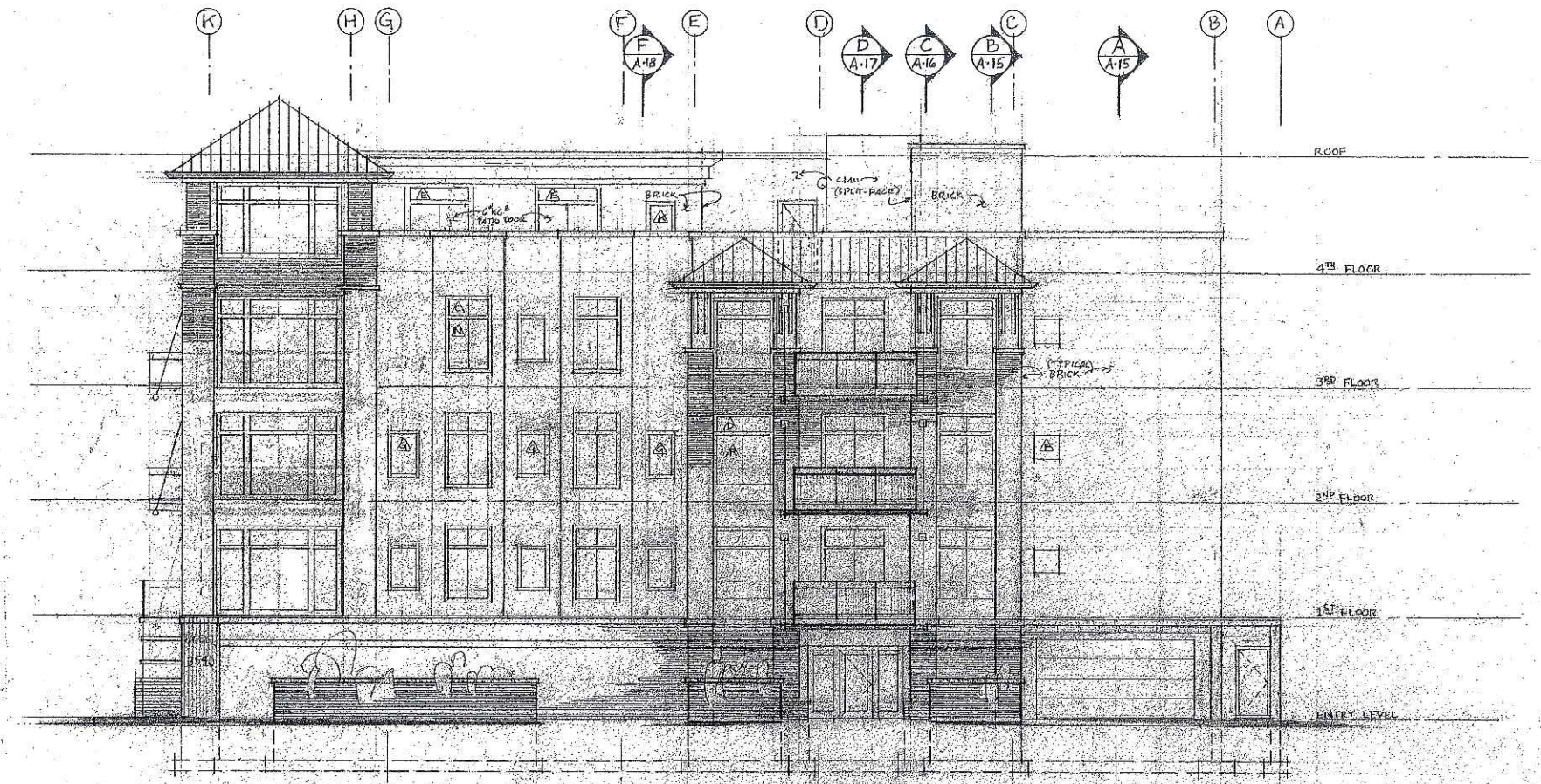
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PROJECT NUMBER: 784
 DRAWN BY: CHIN
 CHECKED BY: KATE DAVIS
 DATE: 15, 2020
 ISSUED FOR: [REDACTED]

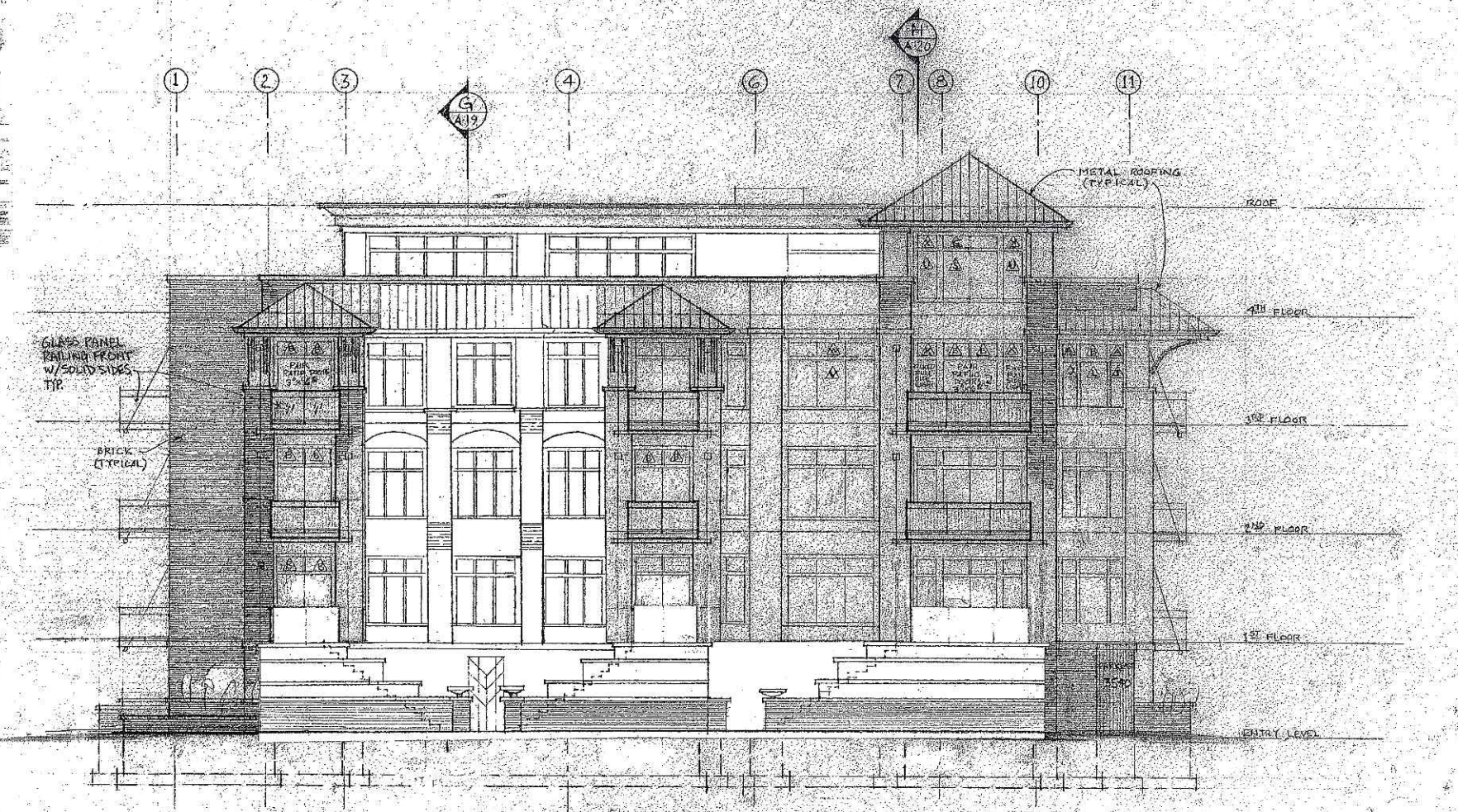
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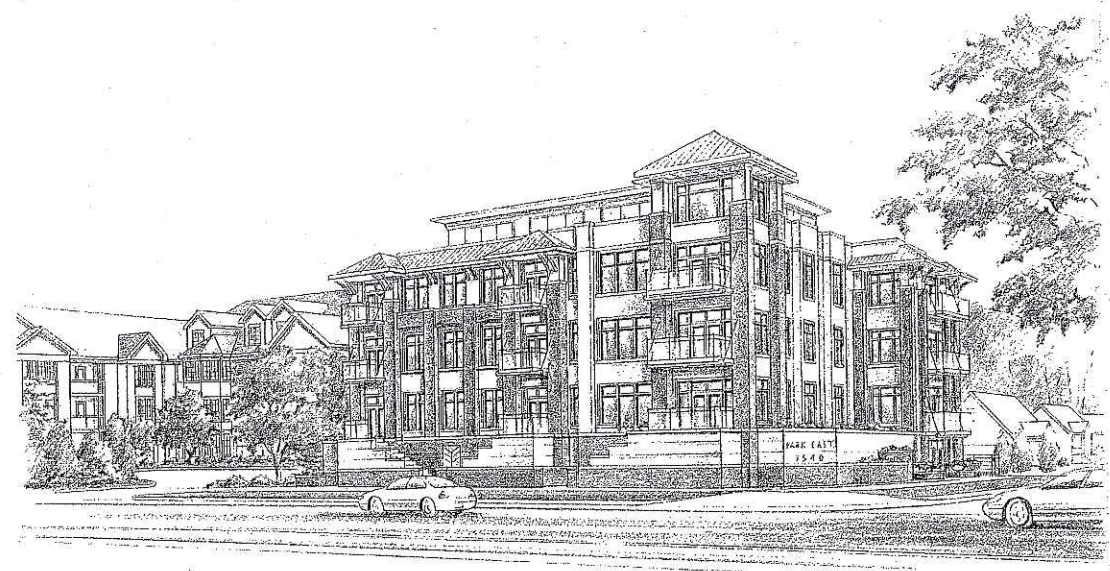
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PROJECT EAST (DENNETT STREET) ELEVATION
 1/8" = 1'-0"



PROJECT SOUTH (ATWOOD AVE) ELEVATION
 1/8" = 1'-0"

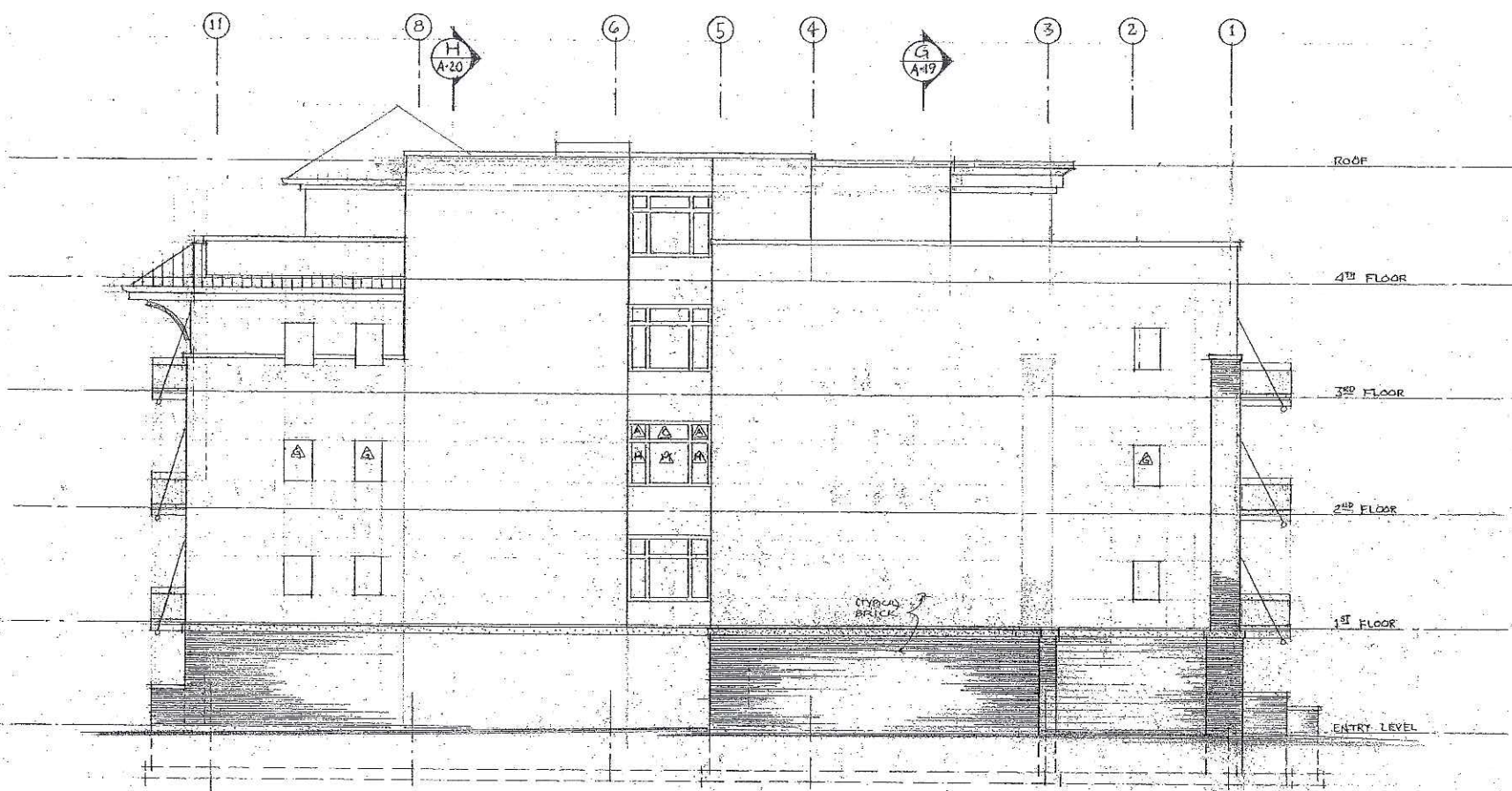


PERSPECTIVE

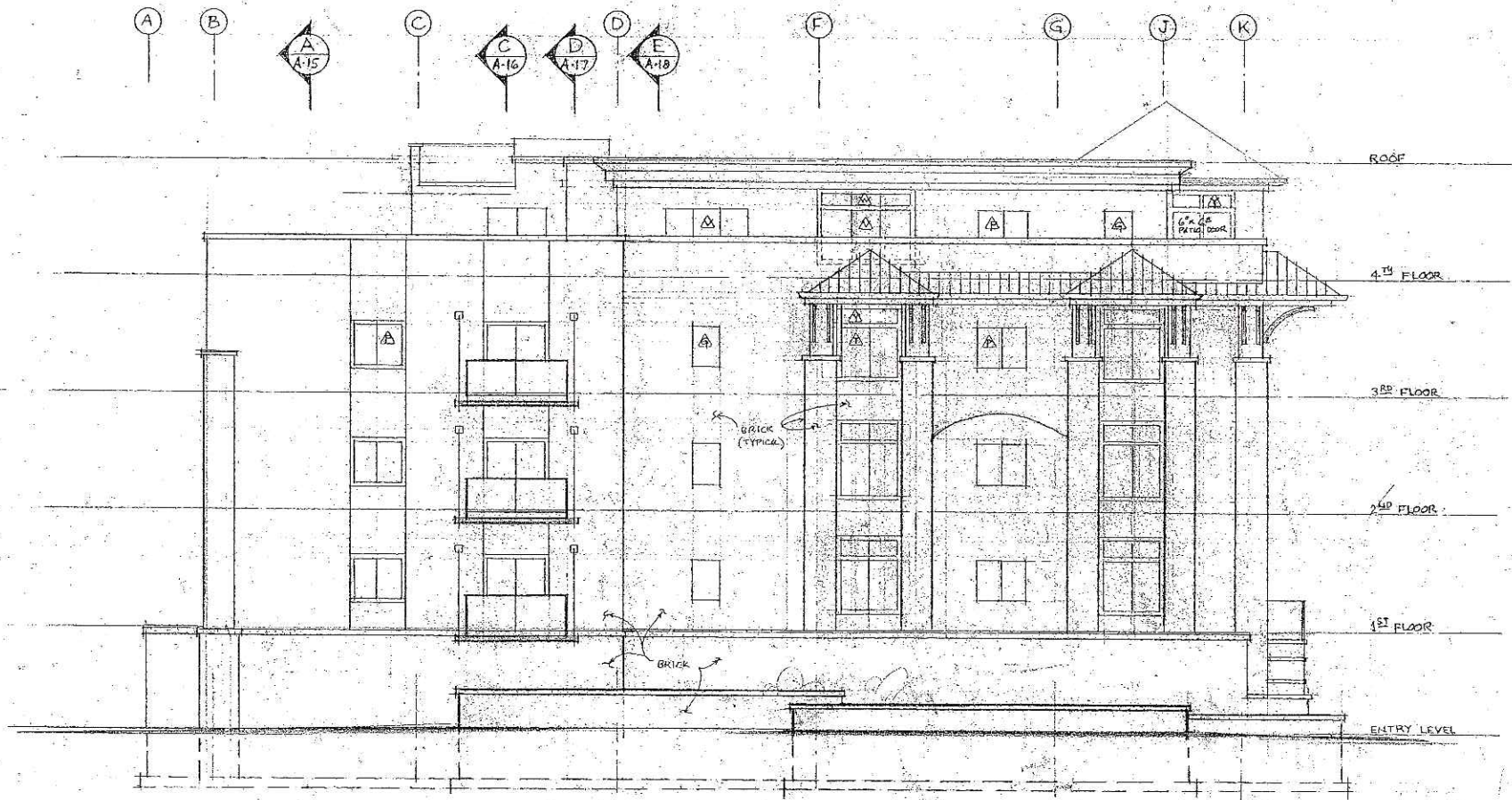
WINDOWS (ANDERSEN)

MARK	NUMBER
Δ	SPECIAL = 1'-5 1/2" x 1'-5 1/2"
A	AR31
B	AR41
C	AR251 = (NULL)
D	AR61
E	CW125
F	CW14
G	CR14
H	CR15
J	CW15
K	CXW15
L	P1040
M	C25
N	CW24
P	CW25
R	P0000
S	CXW15-2
T	C15
U	CXW15-3
V	AR21-8
W	AR21
X	AR61
Y	

NOTE: CHANGES ARE POSSIBLE (THIS IS FOR PRELIMINARY BIDDING ONLY)



PROJECT NORTH (NEIGHBORHOOD) ELEVATION



PROJECT WEST ELEVATION



PROJECT NUMBER: 1807
 DRAWN BY: GFK
 CHECKED BY: [blank]
 ISSUE DATE: 08/25/2014
 ISSUED FOR: [blank]

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