

Edgewood Concessions

Date: 06/01/2026
Project: Goodman Athletic Complex Facilities Improvements
OPN Project Number: 26615000
Subject: Conditional Use Permit Submission

The design narrative below was prepared by OPN Architects, Inc.

For additional information / clarification please contact the following:

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Goodman Athletic Complex Facilities Improvements



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SHEET INDEX

GENERAL DRAWINGS

SHEET NUMBER	SHEET NAME
G001	INDEX, SEALS, LOCATION MAP
G002	LIFE SAFETY AND CODE SUMMARY

CIVIL DRAWINGS

SHEET NUMBER	SHEET NAME
1 of 1	TOPOGRAPHIC AND UTILITY MAP
C100	NOTES & LEGEND
C300	OVERALL SITE PLAN
C301	DETAILED SITE PLAN
C400	GRADING & EROSION CONTROL PLAN
C600	UTILITY PLAN
C600	DETAILS
EXHIBIT	EMS ACCESS

ARCHITECTURAL DRAWINGS

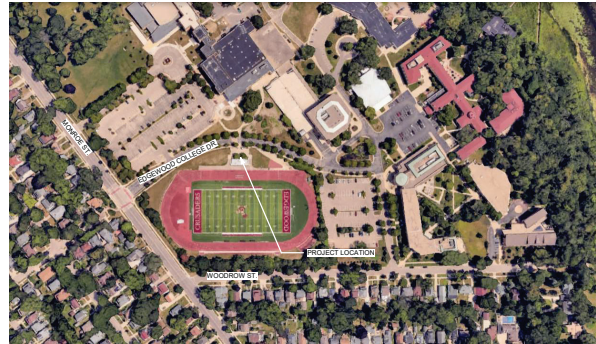
SHEET NUMBER	SHEET NAME
A000	GENERAL DRAWING INFORMATION
A001	WALL & HORIZONTAL ASSEMBLIES
A002	DOOR SCHEDULE AND FRAME ELEVATIONS
A010	DEMOLITION FLOOR PLANS
A101	FLOOR PLANS
A102	ROOF PLAN
A200	EXTERIOR ELEVATIONS
A201	COLORS EXTERIOR ELEVATIONS
A202	EXTERIOR MATERIALS
A300	BUILDING SECTIONS
A701	REFLECTED CEILING PLANS
A900	BUILDING AXONOMETRIC RENDERINGS
A901	EXTERIOR PERSPECTIVE RENDERINGS

STORAGE SHED

STORAGE SHED CONCEPTUAL RENDERINGS



PROJECT LOCATION MAP
FOR REFERENCE ONLY



PROJECT VICINITY MAP
FOR REFERENCE ONLY

All questions regarding these plans and specifications should be directed to:

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I hereby certify these plans and specifications were prepared by me or under my direct personal supervision and that I am a duly licensed professional architect under the laws of the state of Wisconsin.

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EDGEWOOD HIGH SCHOOL
2219 MONROE ST.
MADISON, WI 53711

EDGEWOOD HIGH SCHOOL OF THE SACRED HEART

Project

Goodman Athletic Complex
Facilities Improvements
2219 MONROE ST
MADISON, WI 53711

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Revisions

Revisions Description Date

Drawn By

20251000

Sheet Issue Date

CUP SUBMITTAL

05/05/20

Sheet Name

INDEX, SEALS, LOCATION MAP

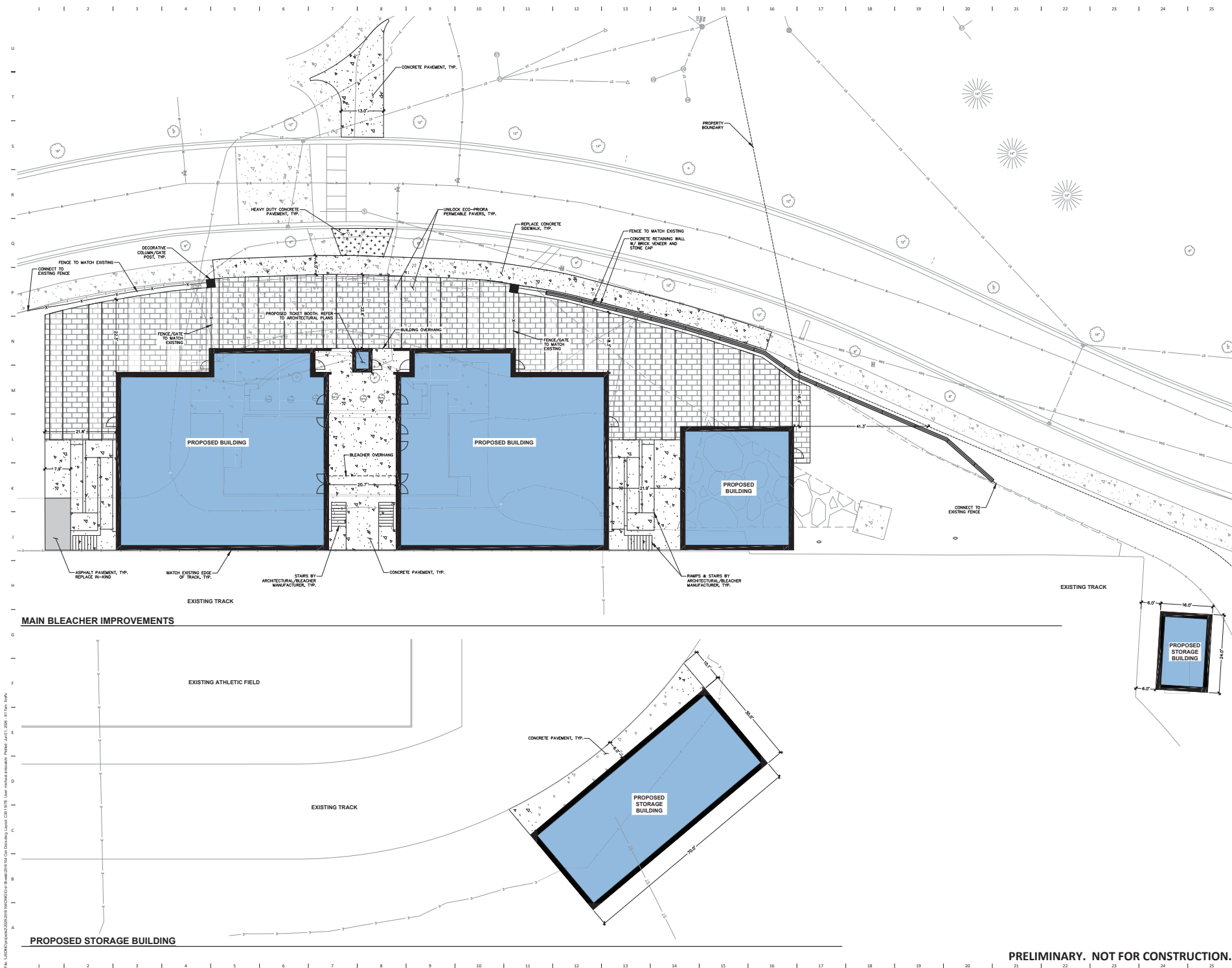
Sheet Number

G001

PRELIMINARY.. NOT FOR CONSTRUCTION.

SITE INFORMATION BLOCK	
SITE ADDRESS	2219 MONROE STREET
	UNIT 1, EDGEWOOD CONDOMINIUM PLANT
UNIT 1 ACREAGE	19.55 ACRES
TOTAL PROJECT AREA	28.25 SF
EXISTING VS. PROPOSED PROJECT AREA COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	13,407 SF
EXISTING PERVIOUS SURFACE AREA	14,918 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.47
PROPOSED IMPERVIOUS SURFACE AREA	22,355 SF
PROPOSED PERVIOUS SURFACE AREA	5,970 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.78

PRELIMINARY. NOT FOR CONSTRUCTION.



MAIN BLEACHER IMPROVEMENTS

PROPOSED STORAGE BUILDING

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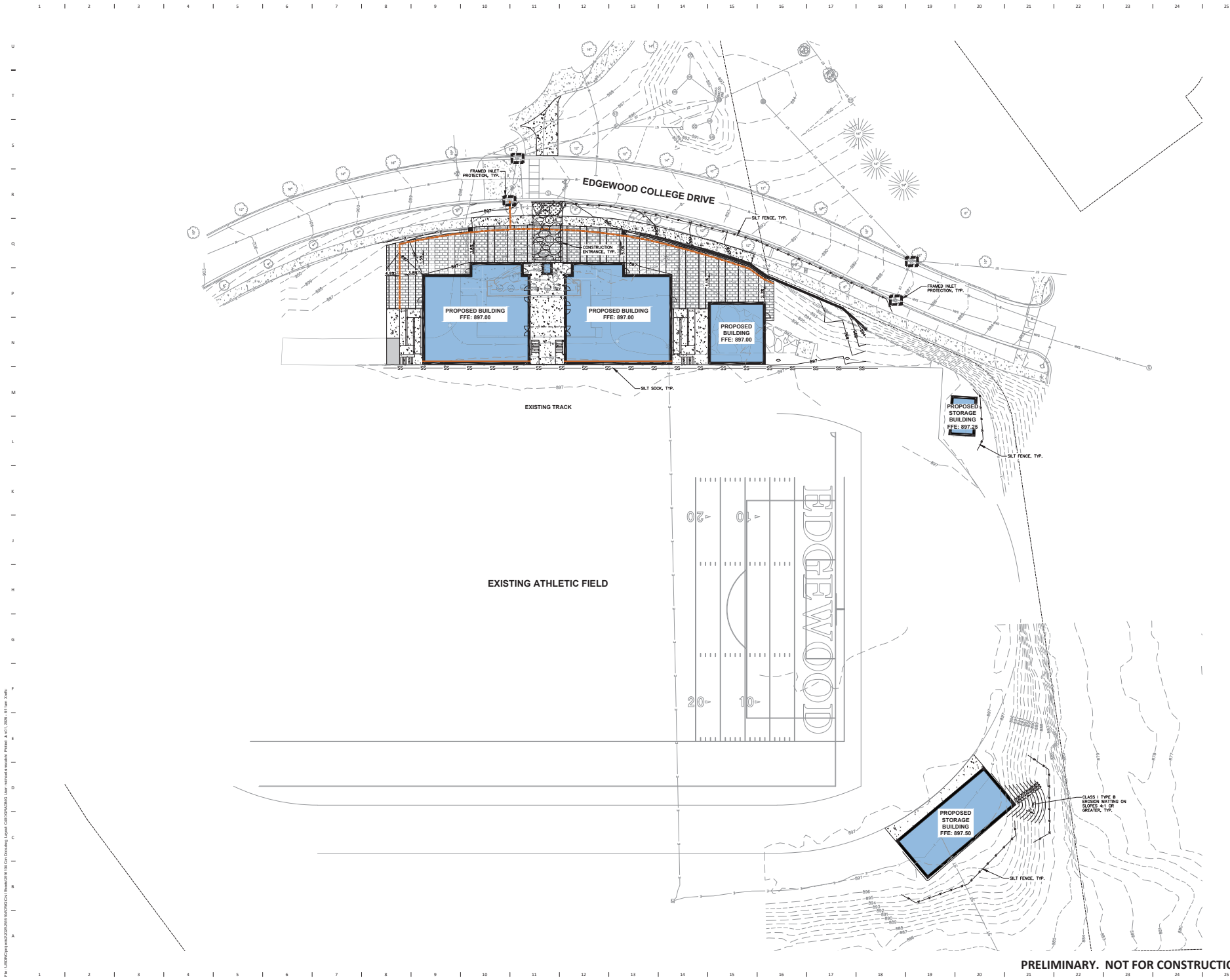
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Scale
1" = 20'

North

Scale in Feet
20' 0 20'

Scale

Scale

Scale

Scale

Scale

Scale

Scale

Scale

Scale

Scale

Scale

Scale

Scale

Scale

Scale

Scale

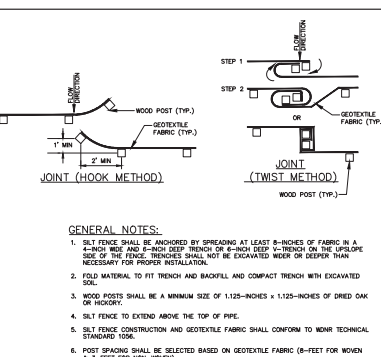
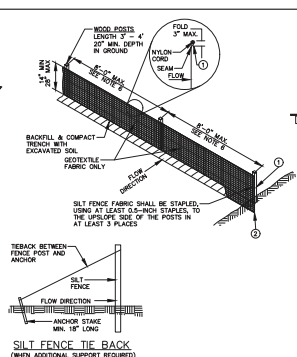
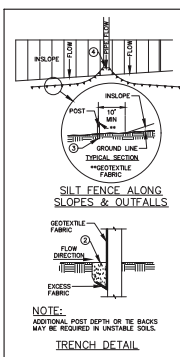
Scale

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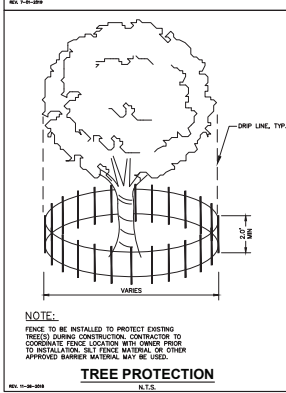




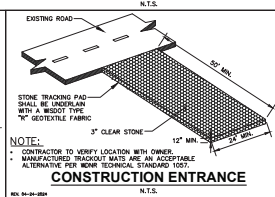
GENERAL NOTES:

1. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8-INCHES OF FABRIC IN A 4-INCH WIDE AND 8-INCH DEEP TRENCH OR 8-INCH DEEP V-TRENCH ON THE UPSLOPE. THE TRENCH SHALL NOT BE EXCAVATED WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
2. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1.25-INCHES X 1.25-INCHES OF DRIED OAK OR HICKORY.
4. SILT FENCE TO EXTEND ABOVE TOP OF PIPE.
5. SILT FENCE CONSTRUCTION AND GEOTEXTILE FABRIC SHALL CONFORM TO MNR TECHNICAL STANDARD 1056.
6. POST SPACING SHALL BE SELECTED BASED ON GEOTEXTILE FABRIC (8-FEET FOR WOVEN & 3-FEET FOR NON-WOVEN)

SILT FENCE

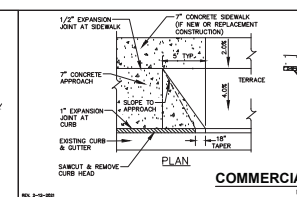


NOTE:
FENCE TO BE INSTALLED TO PROTECT EXISTING TREE(S) DURING CONSTRUCTION. CONTRACTOR TO COORDINATE FENCE LOCATION WITH OWNER PRIOR TO INSTALLATION. SILT FENCE MATERIAL OR OTHER APPROVED BARRIER MATERIAL MAY BE USED.

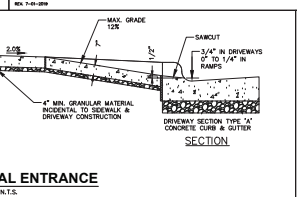


NOTE:

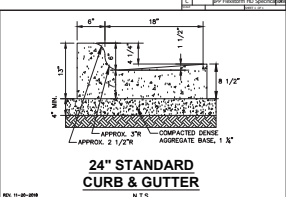
- CONTRACTOR TO VERIFY LOCATION WITH OWNER.
- MANUFACTURED TRACKOUT MATS ARE AN ACCEPTABLE ALTERNATIVE PER MNR TECHNICAL STANDARD 1057.



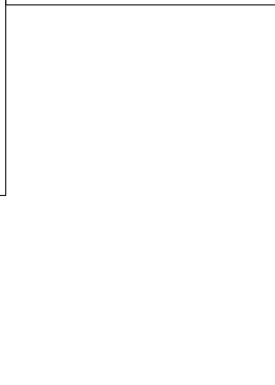
COMMERCIAL ENTRANCE



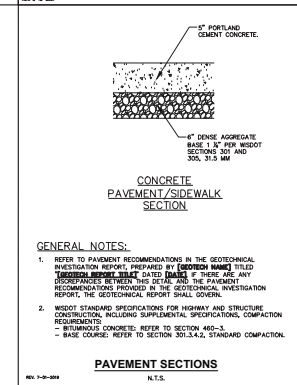
FRAMED INLET PROTECTION



24" STANDARD



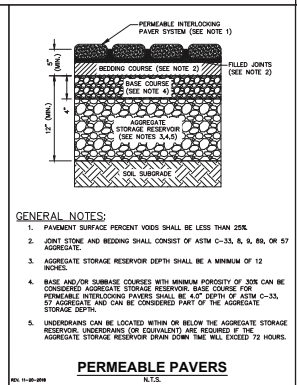
Page 10 of 10



GENERAL NOTES:

- GENERAL NOTES:**
1. REFER TO PAVEMENT RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT, PREPARED BY [GEOTECH NAME] TITLED "GEOTECHNICAL INVESTIGATION OF CHATED DRIVE" IF THERE ARE ANY DISCREPANCIES BETWEEN THIS DETAIL AND THE PAVEMENT RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL INVESTIGATION REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN.
 2. WSDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, COMPACTION REQUIREMENTS:
 - BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
 - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.

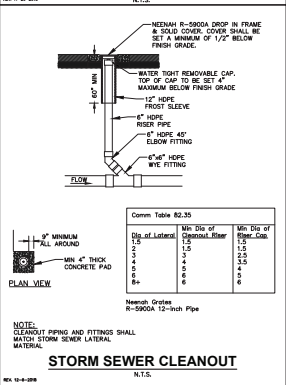
PAVEMENT SECTIONS



GENERAL NOTES:

1. PAYMENT SURFACE PERCENT VOIDS SHALL BE LESS THAN 25%.
2. JOINT STONE AND BEDDING SHALL CONSIST OF ASTM C-33, 8, 9, 89, OR 57 AGGREGATE.
3. AGGREGATE STORAGE RESERVOIR DEPTH SHALL BE A MINIMUM OF 12 INCHES.
4. BASE AND/OR SUBBASE COURSES WITH MINIMUM POROSITY OF 30% CAN BE CONSIDERED AGGREGATE STORAGE RESERVOIR. BASE COURSE FOR PERMEABLE INTERLOCKING PAVERS SHALL BE 4.0" DEPTH OF ASTM C-33, 57 AGGREGATE AND CAN BE CONSIDERED PART OF THE AGGREGATE STORAGE DEPTH.
5. UNDERDRAINS CAN BE LOCATED WITHIN OR BELOW THE AGGREGATE STORAGE RESERVOIR. UNDERDRAINS (OR EQUIVALENT) ARE REQUIRED IF THE AGGREGATE STORAGE RESERVOIR DRAIN DOWN TIME WILL EXCEED 72 HOURS.

PERMEABLE PAVERS



Comm Table 62.35

- PLAN VIEW**

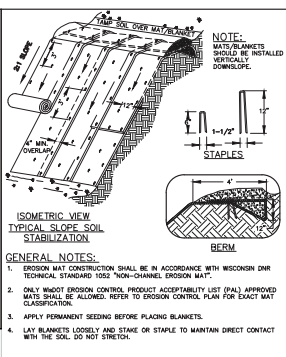
9" MINIMUM ALL AROUND
MIN 4" THICK CONCRETE PAD

Dia. of Lateral	Min Dia. of Cleanout Fitter	Min Dia. of Fitter Cap
1.5	1.5	1.5
2	1.5	1.5
3	3	2.5
4	4	3.5
5	5	4
6	6	5
8+	6	6

Neenah Gates
R-5900A 12-inch Pipe

NOTE:
CLEANOUT PIPING AND FITTINGS SHALL MATCH STORM SEWER LATERAL

STORM SEWER CLEANOUT
N.T.S.



ISOMETRIC VIEW
TYPICAL SLOPE SOIL STABILIZATION



GENERAL NOTES:

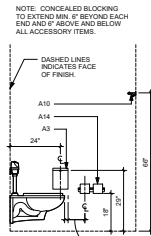
1. EROSION MAT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1052 "NON-CHANNEL EROSION MAT".
2. ONLY WADOT EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) APPROVED MATS ARE ALLOWED. REFER TO EROSION CONTROL PLAN FOR EXACT MAT CLASSIFICATION.
3. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
4. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

EROSION MATTING

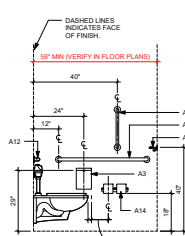
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DESIGNATION	DESCRIPTION	PROVIDED BY
A1	SOAP DISPENSER	TBD
A2	RECESSED SANITARY NAPKIN DISPOSAL	TBD
A3	SANITARY NAPKIN DISPOSAL	TBD
A4	SANITARY NAPKIN DISPENSER	TBD
A5	HAND SANITIZER	TBD
A6	TOWEL DISPENSER	TBD
A7	TOWEL/TRASH COMBO	TBD
A8	TRASH RECEPTACLE	TBD
A9	AIR FRESHENER	TBD
A10	COAT HOOK	TBD
A11	VERTICAL GRAB BAR	TBD
A12	REAR GRAB BAR	TBD
A13	SIDE GRAB BAR	TBD
A14	TOILET TISSUE DISPENSER	TBD
A15	SHELF	TBD
A16	SURFACE MOUNT TOILET SEAT COVER	TBD

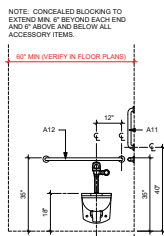
GENERAL INFORMATION - RESTROOM ACCESSORIES



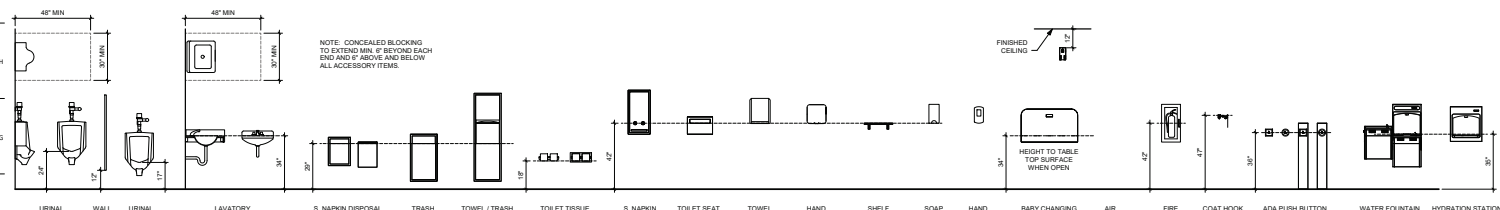
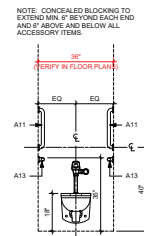
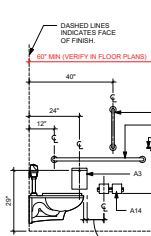
STANDARD TOILET ACCESSORIES MOUNTING LOCATIONS



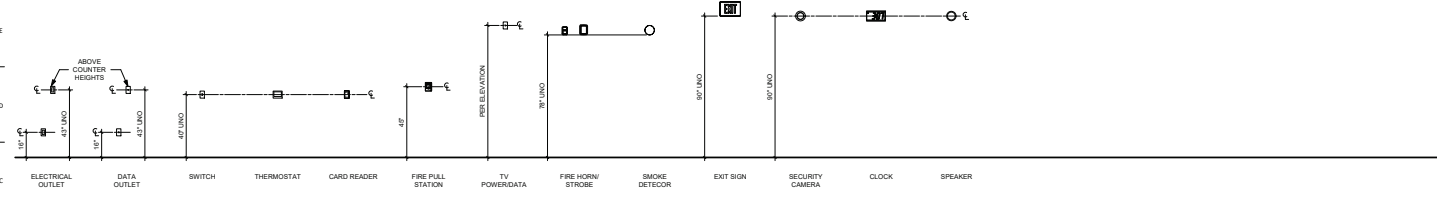
ACCESSIBLE TOILET ACCESSORIES MOUNTING LOCATIONS



AMBULATORY TOILET ACCESSORIES MOUNTING LOCATIONS



GENERAL INFORMATION - STANDARD MOUNTING HEIGHTS



20

21

STANDARD SYMBOLS

CABINET DESIGN

SERIES NUMBER

MODIFICATION

ADA COMPLIANT

30-34.25

inch

DIMENSION(S) W-H-D

MODIFICATION DESCRIPTION

SCRIBE IDENTIFIER

3

SCRIBE WIDTH

COUNTERTOP TYPE

(SEE ABO FOR SPECIFICATION(S))

ADA COMPLIANT

30-34.25

inch

DIMENSION(S) W-H-D

TOILE BASE MATERIAL AND CONNECTIONS SUBJECT TO CHANGES FROM FLOOR TO TOP OF COUNTERTOP

CASEWORK IDENTIFICATION

CURTAIN WALL/STOREFRONT IDENTIFIER

CURTAIN WALL/STOREFRONT TYPE

3

4

CURTAIN WALL/STOREFRONT IDENTIFICATION

ROOF/FLOOR IDENTIFICATION

WINDOW TYPE

W1

WINDOW IDENTIFICATION

WINDOW IDENTIFICATION

TAG REFERENCES CORRESPONDING VIEW

A1 / A1T2

MATCH LINE

ELEVATION NUMBER

DARKENED AREA DENOTES ELEVATION DRAWN

SHEET NUMBER

ELEVATION REFERENCE

DETAIL NUMBER

SM

SB

A1T1

SHEET NUMBER

PLAN DETAIL REFERENCE

DETAIL NUMBER

SIMPOT TAG

SB

A1T1

SHEET NUMBER

SECTION REFERENCE

NORTH DIRECTION REFERENCE

DRAWING NUMBER

DRAWING TITLE

1/8" = 1'-0"

DRAWING SCALE

VIEW TITLE

KEYNOTE REFERENCE NUMBER

ARROW POINTING TO REFERENCED OBJECT

30 00 A1T

KEYNOTE REFERENCE

GRID REFERENCE

STRUCTURAL GRID

DIMENSIONS

FACE OF FINISH TO FACE OF FINISH

15' - 0"

DENOTES ELEVATION HEIGHT

LEVEL

DENOTES OBJECT REFERENCE

ELEVATION TAG

REVISION REFERENCE NUMBER

DRAWING REVISION

22

23

STANDARD SYMBOLS

OFFICE

245

ROOM NAME

ROOM NUMBER

ROOM IDENTIFICATION

DOOR NUMBER

DOOR RATING

PARTITION

CEILING TYPE

CEILING HEIGHT

10' - 0" AFF

DOOR IDENTIFICATION

TYPE AD

CEILING TYPE

CEILING HEIGHT

10' - 0" AFF

CEILING IDENTIFICATION

PARTITION TYPE

RATING

MODIFICATION

SIZE

WALL IDENTIFICATION

ROOF/FLOOR TYPE

WINDOW TYPE

WINDOW IDENTIFICATION

WINDOW IDENTIFICATION

TAG REFERENCES CORRESPONDING VIEW

A1 / A1T2

MATCH LINE

ELEVATION NUMBER

DARKENED AREA DENOTES ELEVATION DRAWN

SHEET NUMBER

ELEVATION REFERENCE

DETAIL NUMBER

SM

SB

A1T1

SHEET NUMBER

PLAN DETAIL REFERENCE

DETAIL NUMBER

SIMPOT TAG

SB

A1T1

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SECTION REFERENCE

NORTH DIRECTION REFERENCE

DRAWING NUMBER

DRAWING TITLE

1/8" = 1'-0"

DRAWING SCALE

VIEW TITLE

KEYNOTE REFERENCE NUMBER

ARROW POINTING TO REFERENCED OBJECT

30 00 A1T

KEYNOTE REFERENCE

GRID REFERENCE

STRUCTURAL GRID

DIMENSIONS

FACE OF FINISH TO FACE OF FINISH

15' - 0"

DENOTES ELEVATION HEIGHT

LEVEL

DENOTES OBJECT REFERENCE

ELEVATION TAG

REVISION REFERENCE NUMBER

DRAWING REVISION

24

25

STANDARD ABBREVIATIONS

#

NUMBER

ACM

ALUMINUM COMPOSITE METAL

ACP

ACETYLICAL CELING PANEL

AFB

ARCH FINISH FLOOR

ACF

ACETYLICAL WALL PANEL

BLS

BUILDING AUTOMATION SYSTEM

BMS

BOTTOM OF MALL

BM

BENCHMARK

BSO

BOTTOM OF CURB

BS

BOTTOM OF STEEL

BRD

BOTTOM OF RAIL

BRP

BUMPER GUARD/BUMPER RAIL

BRO

BOTTOM OF ROOF

BS

BOTTOM OF STAIR

C

CHANNEL

C

CUBICLE COUNTER

CFJ

CORNER JOINT

CC

CONTRACTOR

CIP

CAST-IN-PLACE

CKJ

CONTROL JOINT

CFL

CORNER FLOORING

CLG

CLING

CLV

CENTER LINE

CMU

CONCRETE MASONRY UNIT

CON

CONCRETE

CONT

CONTINUOUS

CQ

CORNER

CRK

CORNER

CRK

CRACK

DEM

DEMOLITION

DF

DRINKING FOUNTAIN

D

DOWN

D

DOWNPOUT

EJ

ELECTRICAL CONTRACTOR

EFS

EXTERIOR INSULATION FINISH SYSTEM

EJ

ELECTRICAL JOINT

ELEC

ELECTRICAL

ELEV

ELEVATION

EPF

EFFORT FLOORING

EQ

EQUIPMENT

EQ

EQUAL

EWC

ELECTRIC WATER COOLER

EX

EXISTING

FAD

FLUID APPLIED FLOORING

FD

FLOOR DRAIN

FF

FACTORY FINISH

FF

FINISHING FLOOR ELEVATION

FPC

FACE OF CURB

FPC

FACE OF FLOOR

FGL

FACE OF GLAZING

FPP

FIBER REINFORCED PANEL

GA

GAUGE

GALV

GALVANIZED

GC

GENERAL CONTRACTOR

GHM

GALVANIZED HOLLOW METAL

GLASS

GLASS

GT

GUTTER

GWB

GYPSUM WALL BOARD

GY

GYPSUM

HORIZ

HORIZONTAL

HOLLOW

HOLLOW METAL

HJ

HORIZONTAL JOINT

HAC

HEATING/VENTILATING/COOLING

ID

IDENTIFICATION

LBLS

LBLS POUNDS

LVL

LVL VINYL LVT

MAX

MAXIMUM

MC

MECHANICAL

ME

MECHANICAL CONTRACTOR

MFR

MANUFACTURERS

MIL

MIL THICKNESS

MIL

MIL THICKNESS

MISO

MASONRY OPENING

NC

NOT IN CONTRACT

NTS

NOT TO SCALE

O

OVERALL

O

OVERALL

O

OUTSIDE DIAMETER

OFCI

OWNER FURNISHED CONTRACTOR

OFCI

OWNER FURNISHED OWNER

OH

OVERHEAD

OHD

OVERHEAD ROOF DRAIN

OTS

OPEN TO STRUCTURE

PCT

PORCELAIN CERAMIC TILE

PL

PLATE

PLM

PLASTIC LAMINATE

PPM

POLY VINYL CHLORIDE

PVC

POLY VINYL CHLORIDE

Q

QUARTZ

RAD

RADIUS

RAF

RESILIENT ATHLETIC FLOORING

RB

RESILIENT BASE

RD

ROOF DRAIN

REV

REVISION

REV

REVISION

ROW

RIGHT-OF-WAY

RSF

RESILIENT SHEET FLOORING

RTS

RESILIENT TIE FLOORING

RUB

RUBBER

SB

SQUARE

SCB

SQUARE CONCRETE

SF

SQUARE FEET

SS

SOLID SURFACE

STP

STONE

STL

STAINLESS STEEL

SUP

SUPPLY

TAG

TONGUE AND GROOVE

TARG

TARGET

TOC

TOP OF CURB

TOC

TOP OF CURB

TOR

TOP OF RAIL

TOR

TOP OF RAIL TOP OF STEEL

TP

TYPICAL PARTITION

TPF

TACKLE PAPER FABRIC

TRZ

TERRAZZO

TOP

TOP OF PARTS

TYP

TYPICAL

UNO

UNLESS NOTED OTHERWISE

V

VERTICAL

WB

WALL

WB

WALL BASE

WB

WALL COVERING

W

WITH

W

WITHOUT

WOOD

WOOD

WGL

WALL GUARD HANDRAIL

WGL

WALL GUARD HANDRAIL

WP

WALL PROTECTION

WTF

WINDOW TREATMENT

WWF

WELDED WIRE FABRIC

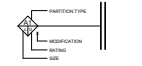
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GENERAL NOTES

- REFER TO FLOOR PLANS FOR PARTITION TYPE LOCATIONS.
- STEEL FRAME PARTITIONS ARE BASED ON DESIGN INFORMATION INCLUDED IN PRODUCT TECHNICAL INFORMATION OF THE STEEL STUD MANUFACTURERS ASSOCIATION (SSMA) PUBLICATION DATED 2000 AND THE FOLLOWING PERFORMANCE CRITERIA:
 - LIMITING HEIGHT CRITERIA:
 - DEFLECTION OF LOAD AT ALL WALLS TO RECEIVE TILE
 - DEFLECTION OF LOAD AT ALL OTHER WALLS AT 4 LBS. PER SQ. FT.
 - THICKNESS - STEEL COMPONENTS:

SIZE	DESIGN THICKNESS
12	0.0588
14	0.0588
16	0.0588
18	0.0651
 - MINIMUM GAUGE: IF LIMITING HEIGHT AS SCHEDULED IN PARTITION DETAILS EXCEEDS PRODUCT CONDITIONS OR IF THE SELECTED STEEL STUD MANUFACTURER'S THICKNESS OF STEEL COMPONENTS VARIES FROM THE BASE OF DESIGN AS SET FORTH ABOVE, PROVIDE MANUFACTURER'S STANDARD THICKNESS/GAUGE THAT MEETS OR EXCEEDS LIMITING HEIGHT PERFORMANCE CRITERIA FOR STUD DEPTH AND SPACING INDICATED.
 - WOOD BLOWING CONCEALED BY 5/8" TYPE "X" GYPSUM BOARD DOES NOT NEED TO BE FIRE TREATED.
 - IF INTERIOR GYPSUM BOARD TO BE ABUSE RESISTANT BOARD TO 6'-0" A.F.T.

PARTITION TYPE AND SYMBOL LEGEND



PARTITION TYPE	
SYSTEM	
A	STEEL FRAMED
B	SHAFT WALL
C	FURRED
D	MASONRY
E	SPECIAL FINISHES
F	TEMPORARY PARTITION

SIZE	
STEEL STUD	
a	1 5/8"
b	2 1/2"
c	3 5/8"
d	6"
e	7 1/4"

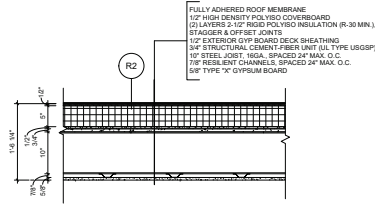
SHAFT WALL STUD	
f	2 1/2"
g	4"
h	6"

STEEL FURRING	
i	7/8" Hat Channel
j	1 1/2"
k	1 1/2" Z
l	2"
m	2" Z

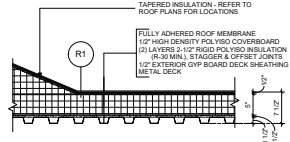
CONCRETE MASONRY UNIT	
n	8"
o	8"
p	8"
q	10"
r	12"

LIGHT GAUGE STRUCTURAL STEEL (SEE STRUCTURAL)	
s	4"
t	6"
u	12"

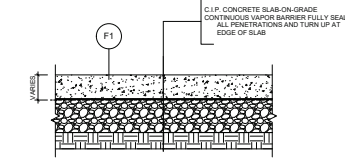
RATING	
0	NON-RATED
1	SMOKE
2	1 HOUR
3	2 HOUR
4	4 HOUR



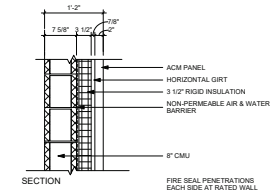
R2 MEMBRANE ROOF SYSTEM
1 HOUR RATED - UL P562



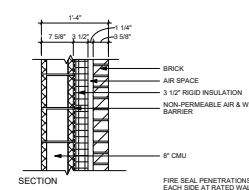
R1 MEMBRANE ROOF SYSTEM
NON-RATED



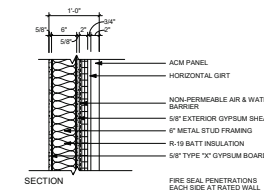
F1 CONCRETE SLAB ON GRADE



X2.1 ACM METAL PANEL CLADDING (ALTERNATE)
NON-RATED / 2 HOUR RATED / NON-LOAD BEARING

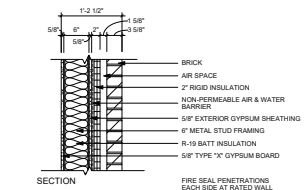


X1.1 FACE BRICK CLADDING (ALTERNATE)
NON-RATED / 2 HOUR RATED / NON-LOAD BEARING

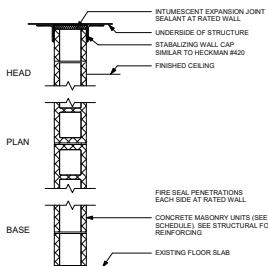


X2 ACM METAL PANEL CLADDING
NON-RATED / 1 HOUR RATED / NON-LOAD BEARING

MODIFIER: CORRUGATED METAL PANEL IN LIEU OF ACM PANEL

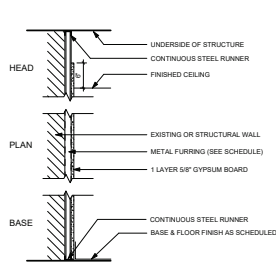


X1 FACE BRICK CLADDING
NON-RATED / 1 HOUR RATED / NON-LOAD BEARING



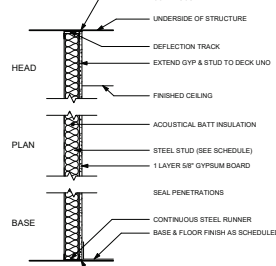
D1 CONCRETE MASONRY
NON RATED / 2 HOUR RATED / NON-LOAD BEARING

WIDTH	BLOCK SIZE	UL DESIGN NUMBER
3 5/8"	3 5/8"	N/A
5 5/8"	5 5/8"	N/A
7 5/8"	7 5/8"	N/A
9 5/8"	9 5/8"	U905
11 5/8"	11 5/8"	U905



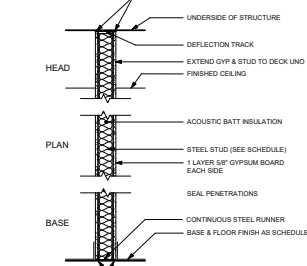
C1 FURRED PARTITION
NON RATED / NON-LOAD BEARING

WIDTH	STUD SIZE	UL DESIGN NUMBER
1 1/2"	7/8"	N/A
1 5/8"	1"	N/A
2 1/8"	1 1/2"	N/A
2 5/8"	2"	N/A
3 5/8"	3"	N/A



A2 STEEL FRAMED PARTITION
NON RATED / NON-LOAD BEARING

WIDTH	STUD SIZE	UL DESIGN NUMBER
2 1/4"	1 5/8"	N/A
4 1/4"	3 5/8"	N/A
6 5/8"	6"	N/A



A1 STEEL FRAMED PARTITION
1 HOUR RATED / NON-LOAD BEARING

WIDTH	STUD SIZE	UL DESIGN NUMBER
4 7/8"	3 5/8"	N/A
7 1/4"	6"	N/A

DOOR HARDWARE SET 1.0

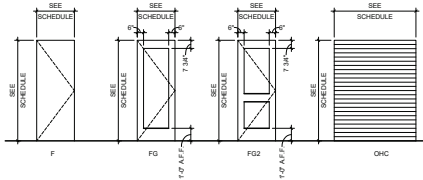
ITEM:	MODEL:	FINISH:	MANUFACTURER:
HINGE(HW, # AS REQUIRED)	TA43786 4-1/2" X 4-1/2"	US3B2	MM
1 FLUSH BOLT	2845	US3B2	RD
1 BURST PROOF STRIKE	376	US3B2	RD
1 MORTISE LOCK	CREN 885FL LC	630	YA
1 CYLINDER (MORTISE)	SEE NOTE 2	US3B2	YA
1 SURFACE OVERHEAD STOP	8-3/8	8F	
1 DOOR CLOSER	CPS7500	889	ND
2 DROP PLATE	7788	689	ND
2 KICK PLATE	K1550 10" X 27" LDW 4BE CSK	689	ND
1 GASKETING	5860	US3D2	RD

NOTES: 1. INSTALL CLOSER ON ACTIVE LEAF.
2. VERIFY CORE PROVIDER WITH OWNER.

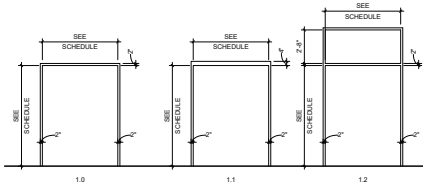
DOOR HARDWARE MANUFACTURER BASIS OF DESIGN:

- Hinges: McKinney (MM)
- Flush Bolt: Rockwood (RC)
- Mortise Locks: Yale (YA) 8800 Series, PB Design
- Cylinders: Yale (YA) 1 pin interchangeable cores
- Cylinder Cores: See Note 2
- Closers: Norton (NC) 7500 Series
- Drop Plates: Norton (NC)
- Protection Plates: Rockwood (RC)
- Gasketing: Pemco (PE)

LEGEND - HARDWARE SETS



DOOR PANEL TYPES



DOOR FRAME ELEVATIONS

GENERAL NOTES

- SEE FRAME PLANS AND INTERIOR ELEVATIONS FOR DIMENSIONAL SIZES WITH MATERIALS OF FRAMES.
- PREPARE DOOR AND FRAME FOR PAINT - BOND COATS AND SAND SCRATCHES SMOOTH.
- PAINT FOLLOW METAL DOORS AND FRAMES EPT-1.



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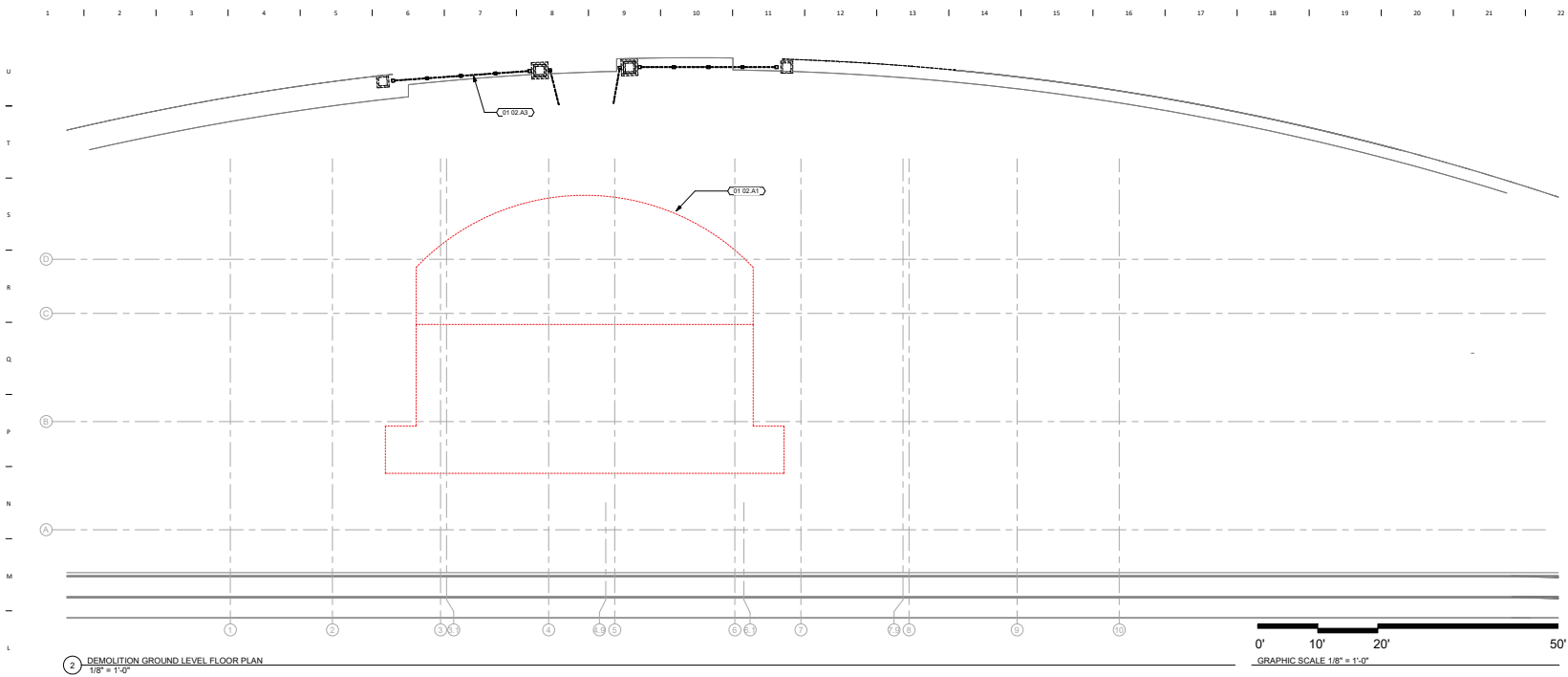


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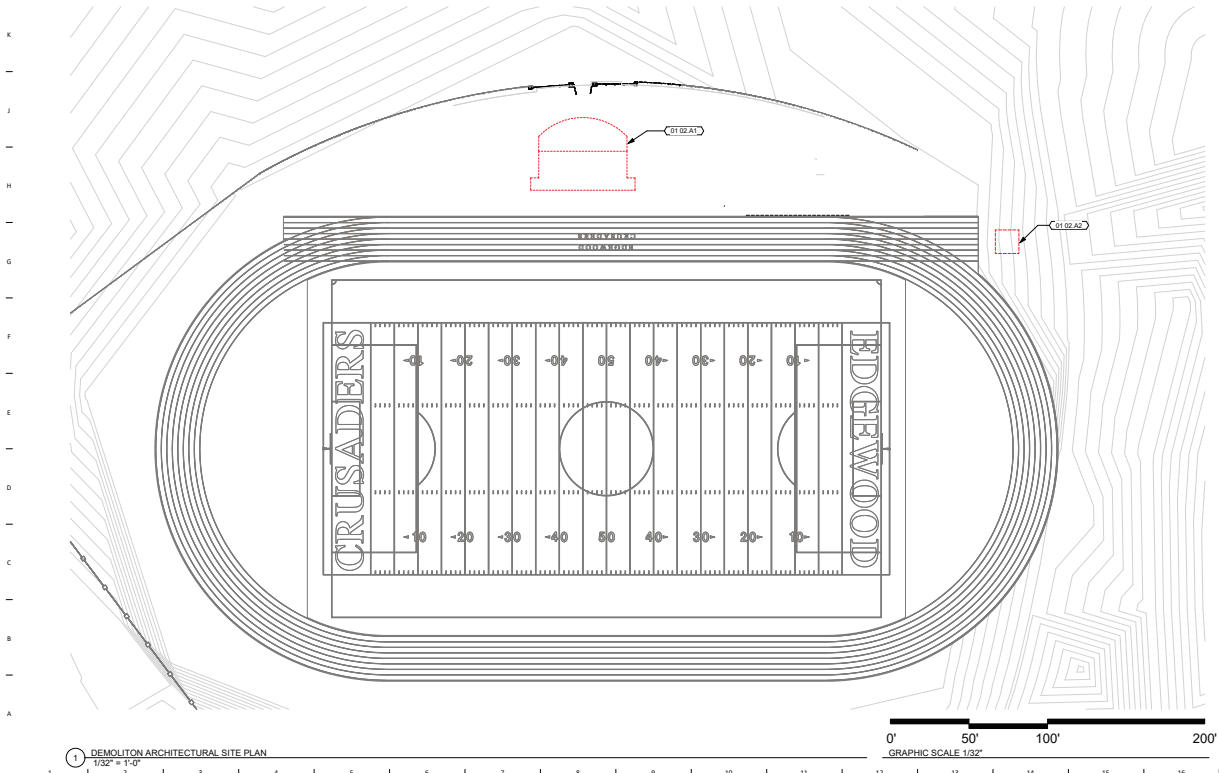
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2 DEMOLITION GROUND LEVEL FLOOR PLAN
1/8" = 1'-0"



1 DEMOLITION ARCHITECTURAL SITE PLAN
1/32" = 1'-0"

GENERAL NOTES

1. IDENTIFICATION AND/OR ABATEMENT OF HAZARDOUS MATERIALS IS NOT PART OF THIS SCOPE OF WORK. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY.
2. REMOVE LOOSE PAINT AND MISCELLANEOUS HANGING OBJECTS FROM WALLS AND CEILING AT ALL AREAS TO RECEIVE NEW FINISHES.
3. OPENING IN THE EXISTING STRUCTURE SMALLER THAN 12" IN ANY DIRECTION ARE NOT IDENTIFIED ON THESE DRAWINGS. SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING OPENINGS SMALLER THAN 12" AS REQUIRED FOR INSTALLATION OF THEIR WORK.
4. OPENINGS IN THE EXISTING STRUCTURE SHALL NOT BE MADE WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
5. PATCH AND REPAIR ALL EXISTING FLOOR SLAB AND WALL SURFACES DAMAGED FROM DEMOLITION OR PRIOR USE.
6. PATCH ALL AREAS OF ELECTRICAL AND MECHANICAL DEMOLITION THAT WILL NOT BE REUSED.
7. CONTRACTOR TO FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, NOTIFY THE ARCHITECT BEFORE PROCEEDING.
8. DO NOT REMOVE ANY ITEMS WHICH JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE BUILDING. IF HIDDEN ELEMENTS OR DETERIORATED ELEMENTS ARE ENCOUNTERED, NOTIFY THE ARCHITECT IMMEDIATELY.
9. WEATHER TIGHT DURING ALL DEMOLITION ACTIVITIES.
10. REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL DEMOLITION OF OTHER DISCIPLINES.
11. PROTECT ALL ADJACENT AREAS AND ITEMS TO REMAIN DURING DEMOLITION/CONSTRUCTION. REPAIR/REPLACE ALL ITEMS DAMAGED DURING CONSTRUCTION.
12. EXISTING BUILDING CONDITIONS SHOWN ON THESE DRAWINGS ARE DERIVED FROM DRAWINGS OF THE ORIGINAL BUILDING AND FROM LIMITED FIELD OBSERVATION.
13. INDICATED EXISTING BUILDING CONDITIONS ARE ASSUMED TO BE REPRESENTATIVE OF THE ACTUAL CONSTRUCTION OF THE BUILDING. LEGAL CONDITIONS MAY VARY.
14. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ADDITIONAL MEANS OF EGRESS AS NEEDED AS A RESULT OF CONSTRUCTION SEQUENCING AND/OR REGULATORY REQUIREMENTS.

KEYNOTE LEGEND

- | | |
|----------|---|
| 01 02 A1 | DEMOLITION OF EXISTING BLEACHERS, PLANTERS, RAMP, STAIRS, AND ALL ASSOCIATED ELEMENTS COMPLETE. |
| 01 02 A2 | DEMOLITION OF EXISTING STORAGE SHED COMPLETE. |
| 01 02 A3 | DEMOLITION OF EXISTING GATE AND FENCING AS REQUIRED FOR NEW STADIUM ENTRANCE. |



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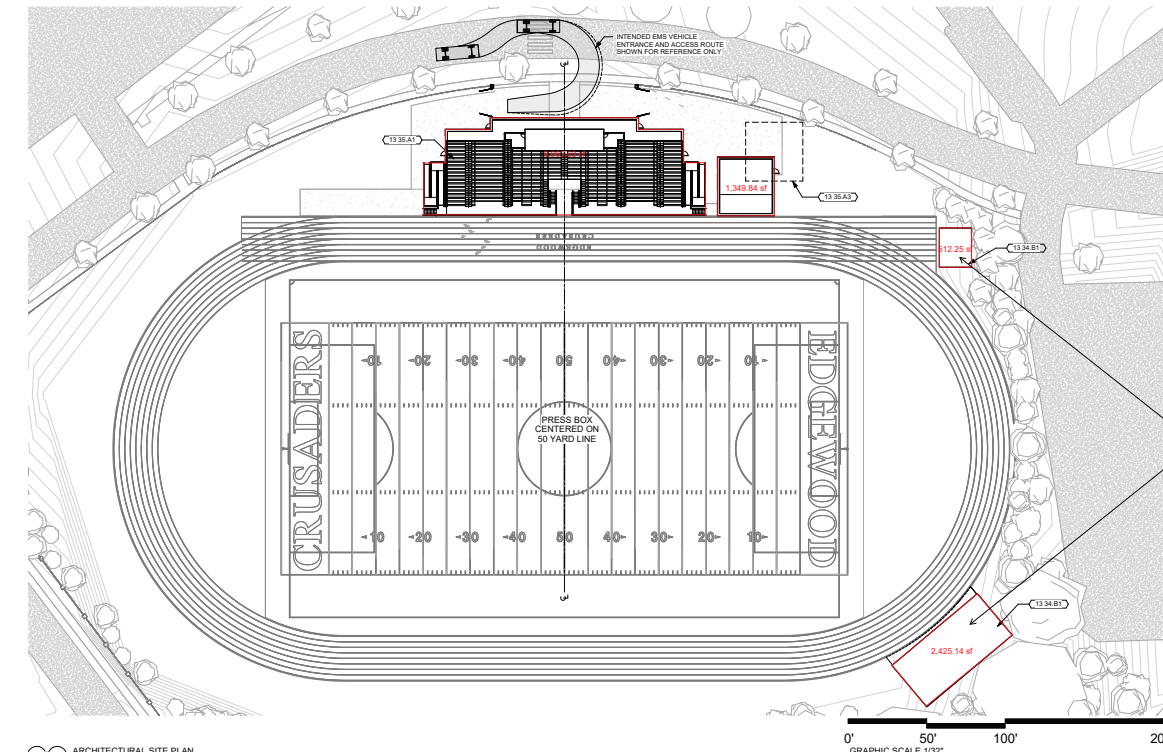
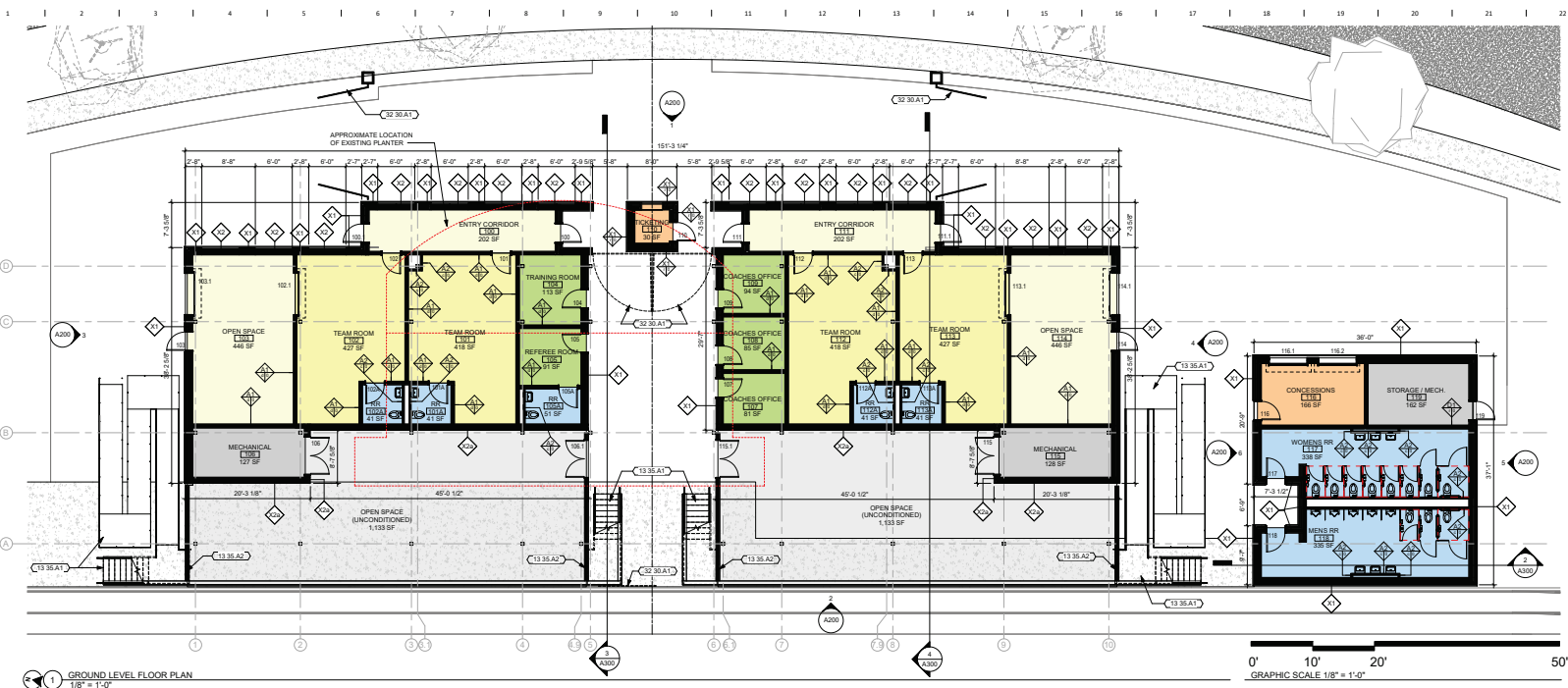
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- GENERAL NOTES**
1. DIMENSIONS ARE MEASURED FACE-TO-FACE TO FACE OF FINISH OR ROUGH MASONRY OPENING UNLESS NOTED OTHERWISE. TYPICAL FOR ALL DRAWINGS.
 2. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS - TYPICAL FOR ALL DRAWINGS.
 3. IN THE EVENT OF A DISCREPANCY BETWEEN ARCHITECTURAL AND CONSULTANT DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY PRIOR TO COMMENCING WORK - TYPICAL FOR ALL DRAWINGS.
 4. ALL PENETRATIONS IN FIRE RATED FLOORS AND WALLS MUST BE SEALED WITH APPROPRIATE FIRESTOPPING SYSTEM.
 5. PATCH AND REPAIR EXISTING FLOOR SLABS AND WALL SURFACES DAMAGED FROM DEMOLITION.

- KEYNOTE LEGEND**
- 13 34 B1 NEW STORAGE FACILITY BY PERI MANUFACTURER
 - 13 35 A1 BLEACHERS AND ALL ASSOCIATED COMPONENTS INCLUDING SUPPORTING STRUCTURE, SEATING, STAIRS, WALKWAYS, HANDRAILS, GUARDRAILS, WALLS, DOORS AND OTHER RELATED ELEMENTS, BY OTHERS SHOWN FOR REFERENCE ONLY
 - 13 35 A2 WALL ASSEMBLY TO MATCH FRONT FRONT OF BLEACHER STRUCTURE, PRE-FINISHED METAL PANELS
 - 13 35 A3 DASHED LINE INDICATES POTENTIAL RELOCATION OF RESTROOM AND CONCESSIONS CORE
 - 32 30 A1 NEW ENTRANCE GATES TO MATCH EXISTING

General Lighting note: No exterior lighting will be provided beyond what is required by Code.

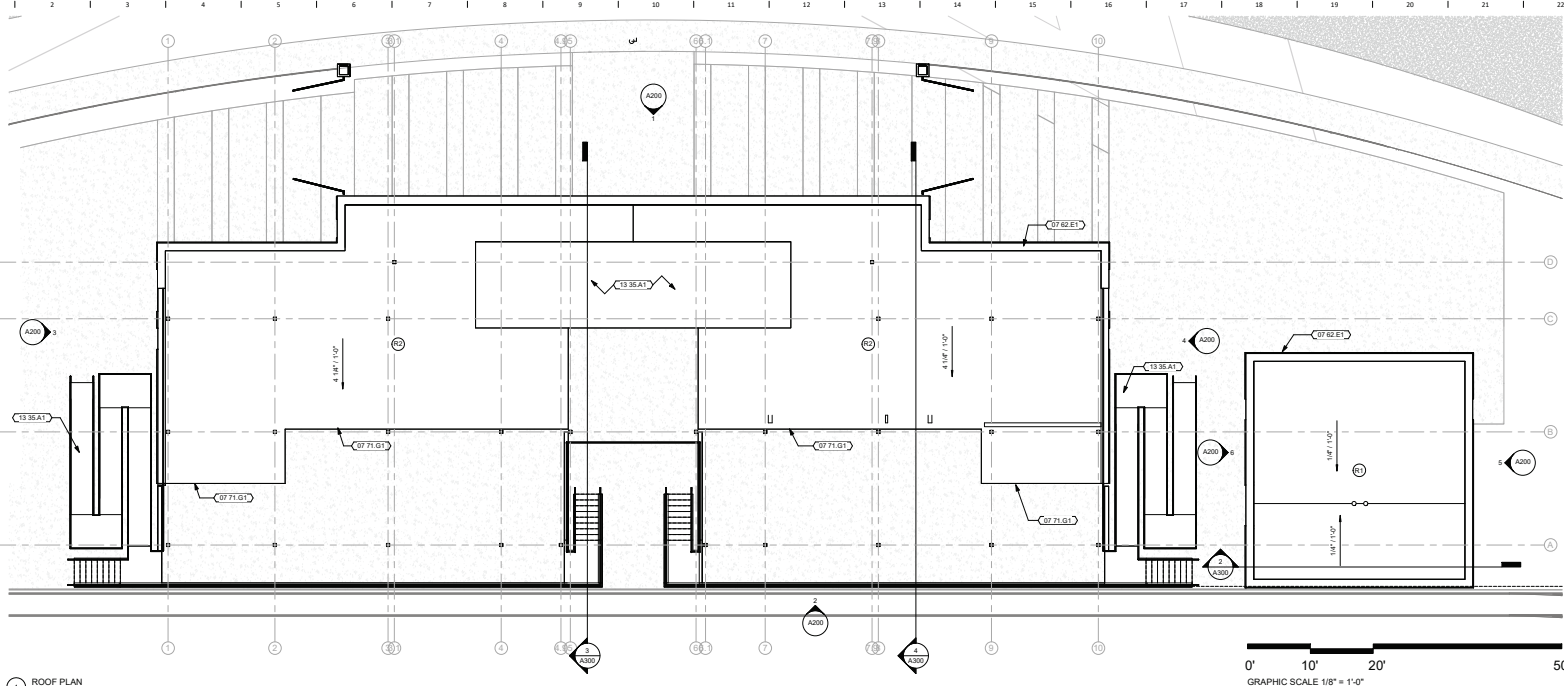
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1 ROOF PLAN
1/8" = 1'-0"

- GENERAL NOTES
1. NOT ALL ROOF PENETRATIONS ARE SHOWN. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS. PROVIDE BOOTS, FLASHING AND OTHER ACCESSORIES REQUIRED TO PROVIDE A COMPLETE, WATER-TIGHT, IMPROVED SYSTEM PER TO INDIVIDUAL DISCIPLINES.
 2. COORDINATE SLOPE STRUCTURE AND TAPERED INSULATION WITH STRUCTURAL DRAWINGS.
 3. SLOPE ALL TAPERED INSULATION AT 1/4" - 1'-0" UNLESS NOTED OTHERWISE.
 4. SLOPE ALL CRACKS AT 1/2" - 1'-0" PERPENDICULAR TO VALLEY LINES UNLESS NOTED OTHERWISE.
 5. PROTECT SECTIONS OF THE ROOF THAT HAVE ALREADY BEEN INSTALLED FROM DAMAGE. DO NOT USE THE ROOF FOR A STAGING AREA UNLESS ASSOCIATE FACTORY INITIALLY APPROVED PROTECTION MEASURES ARE USED TO PROTECT THE ROOF.
 6. COORDINATE LOCATION OF MECHANICAL EQUIPMENT WITH MECHANICAL DRAWINGS.
 7. ALL OVERFLOW DRAINS TO BE 2" ABOVE MAIN ROOF DRAIN INTAKE ELEVATION.
 8. ALL WALLS WITH SOUND ATTENUATION BLANKETS ARE TO HAVE ACoustical REILANT AT TOP AND BOTTOM AND AT ALL WALL PENETRATIONS.

KEYNOTE LEGEND

- 07 62 E1 PREFINISHED METAL COPING
07 71 G1 PREFINISHED GUTTER & DOWNSPOUT SYSTEM
13 35 A1 BLEACHERS AND ALL ASSOCIATED COMPONENTS INCLUDING SUPPORTING STRUCTURE, SEATING, STAIRS, RAMP, HANDRAILS, GUARDRAILS, WALLS, DOORS, AND OTHER RELATED ELEMENTS BY OTHERS. SHOWN FOR REFERENCE ONLY.



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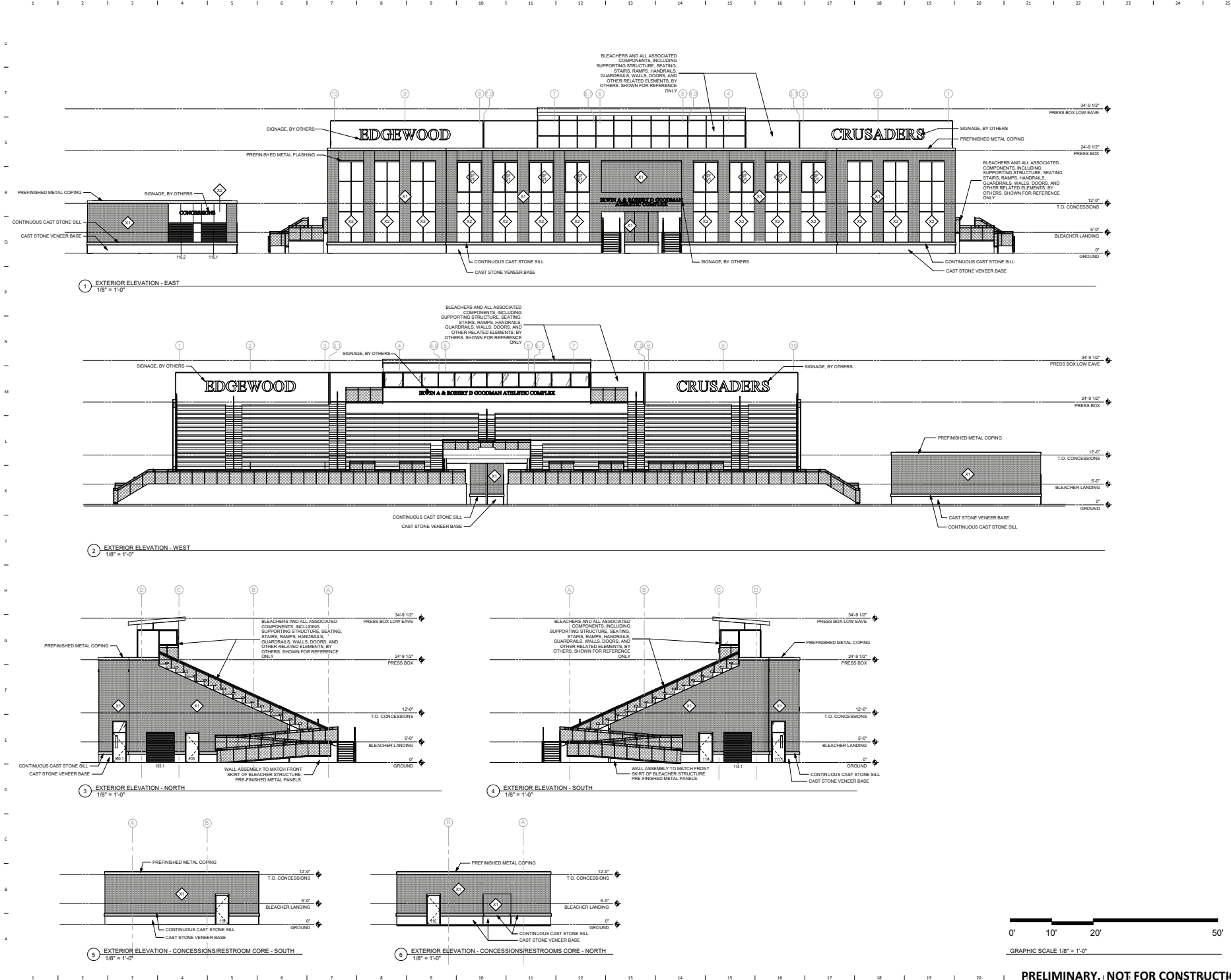
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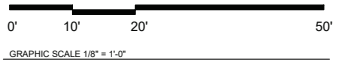
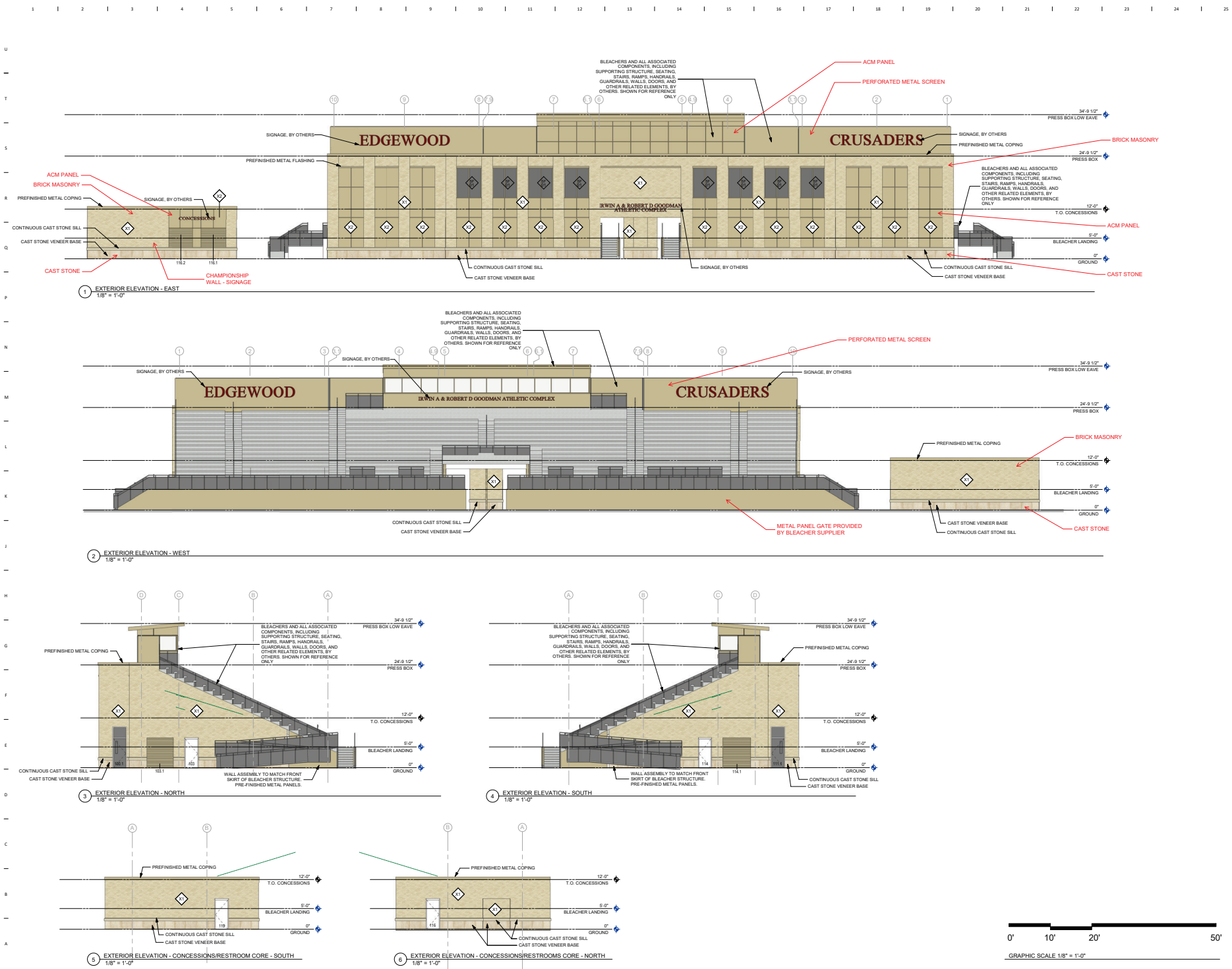


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EDGEWOOD HIGH SCHOOL
OF THE SACRED HEART

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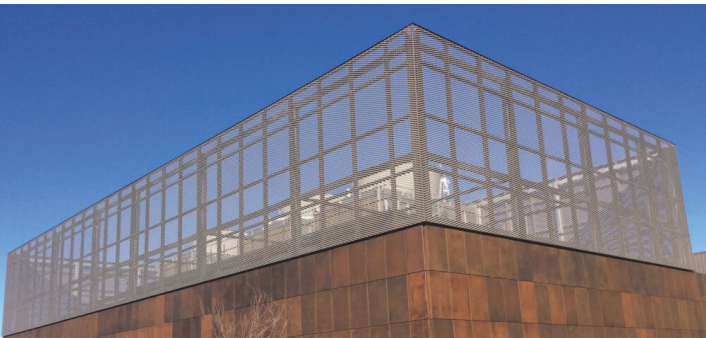
BRICK MASONRY: Glen Gery S 32 Tawney Beige



ACM Panel and coping



Cast Stone



PERFORATED METAL SCREEN



UNILOCK PAVER SYSTEM

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05/15/2026

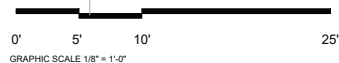
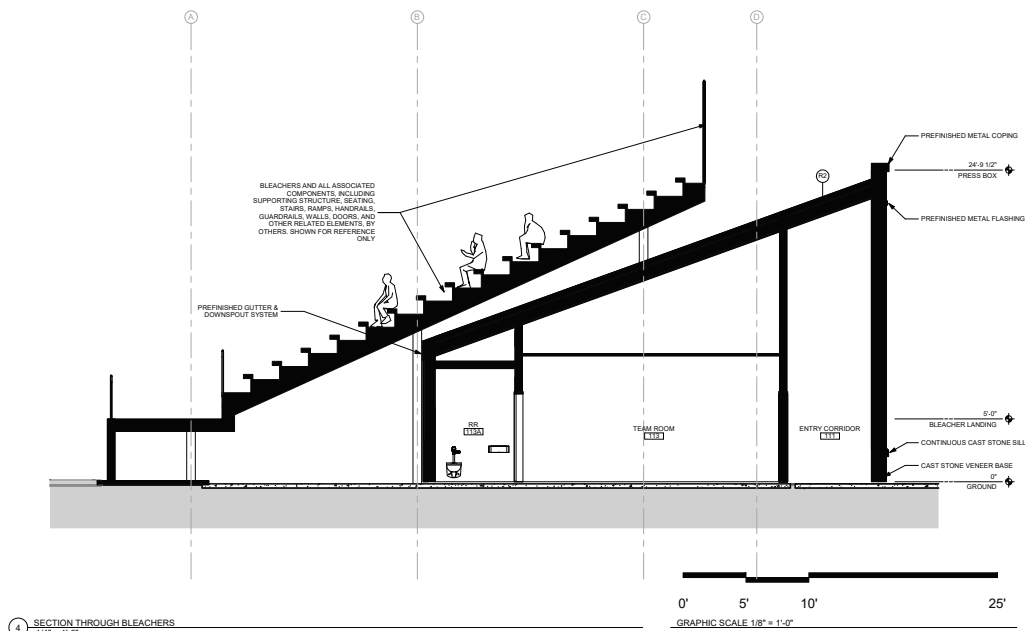
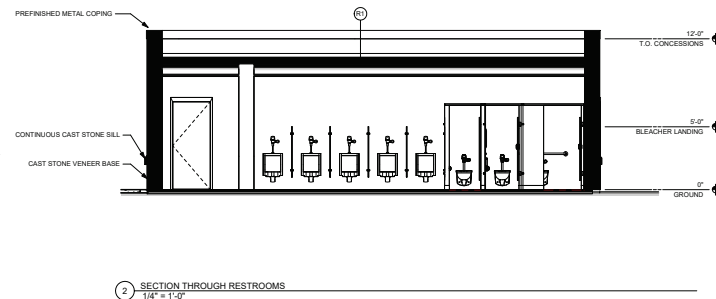
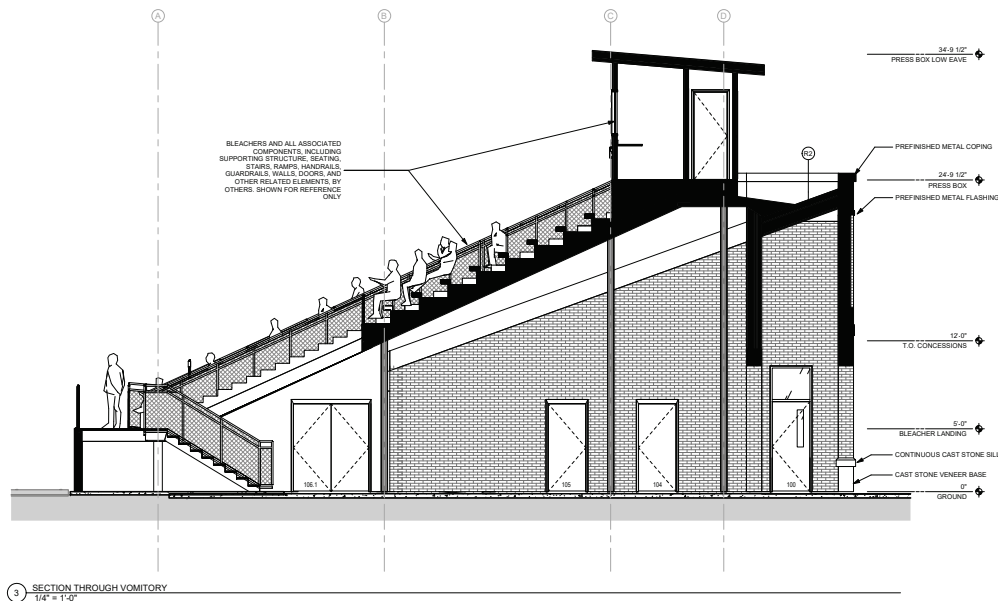
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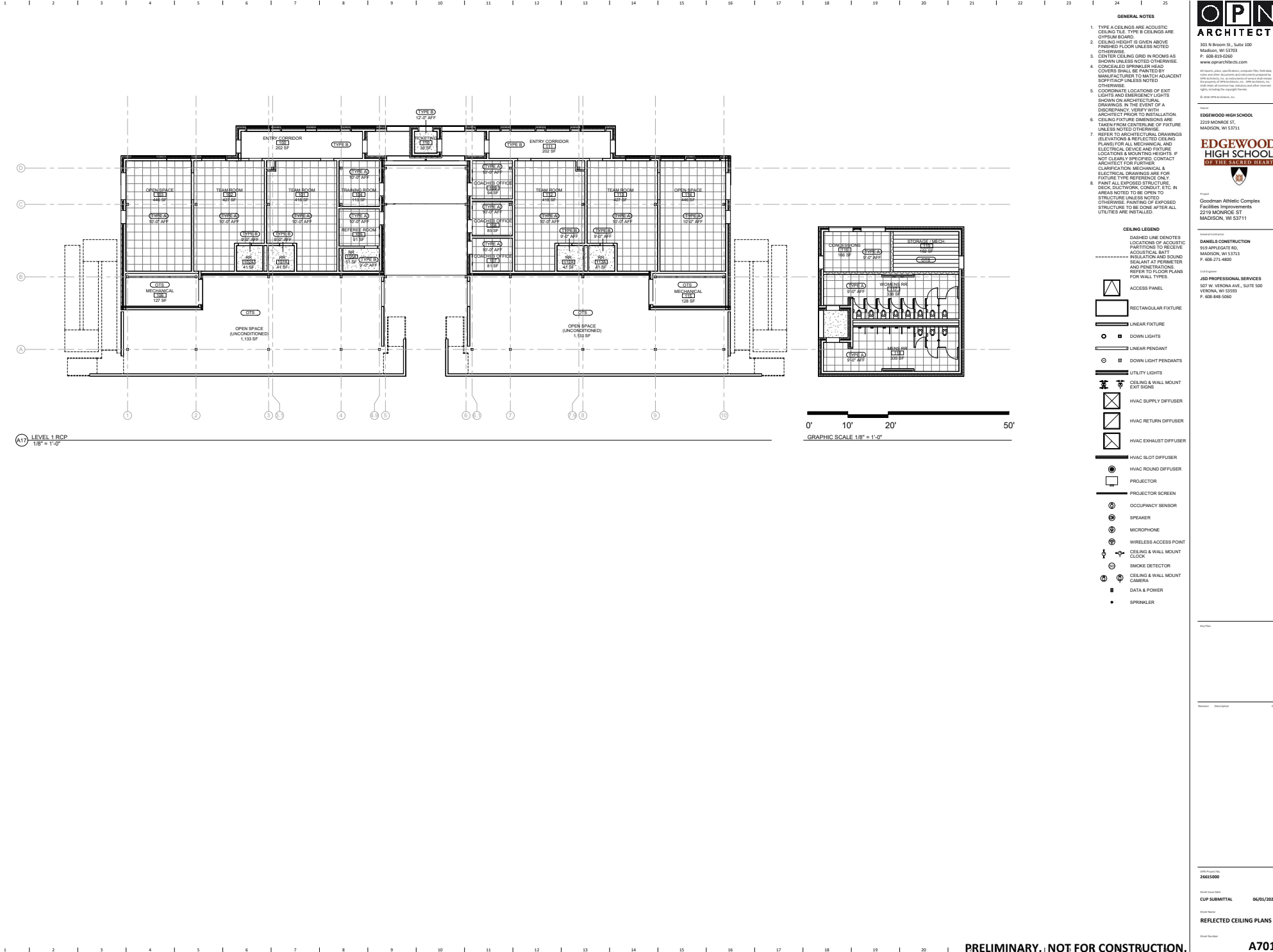
EXTERIOR MATERIALS

Sheet Number

PRELIMINARY.. NOT FOR CONSTRUCTION.

A202





- GENERAL NOTES**
1. TYPE A CEILING ARE ACoustIC CEILING TILE. TYPE B CEILING ARE GYPsUM BOARD.
 2. CEILING HEIGHT IS GIVEN ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
 3. CENTER CEILING GRID IN ROOMS AS SHOWN UNLESS NOTED OTHERWISE.
 4. CONCEALED SPRINKLER HEAD COVERS SHALL BE PAINTED BY MANUFACTURER TO MATCH ADJACENT SOFFIT/ACP UNLESS NOTED OTHERWISE.
 5. COORDINATE LOCATIONS OF EXIT LIGHTS AND EMERGENCY LIGHTS SHOWN ON ARCHITECTURAL DRAWINGS. IN THE EVENT OF A DISCREPANCY, VERIFY WITH ARCHITECT PRIOR TO INSTALLATION.
 6. CEILING FUTURE DIMENSIONS ARE TAKEN FROM CENTERLINE OF FUTURE UNLESS NOTED OTHERWISE.
 7. REFER TO ARCHITECTURAL DRAWINGS (ELEVATIONS & REFLECTED CEILING PLANS) FOR ALL MECHANICAL AND ELECTRICAL DEVICE LOCATIONS & MOUNTING HEIGHTS. IF NOT CLEARLY SPECIFIED, CONTACT ARCHITECT FOR FURTHER CLARIFICATION. MECHANICAL & ELECTRICAL DRAWINGS ARE FOR FUTURE TYPE REFERENCE ONLY.
 8. PAINT ALL EXPOSED STRUCTURE, DECK, DUCTWORK, CONDUIT, ETC. IN AREAS NOTED TO BE OPEN TO STRUCTURE UNLESS NOTED OTHERWISE. PAINTING OF EXPOSED STRUCTURE TO BE DONE AFTER ALL UTILITIES ARE INSTALLED.

- CEILING LEGEND**
- DASHED LINE DENOTES LOCATIONS OF ACoustIC PARTITIONS TO RECEIVE ACoustIC BATT INSULATION AND SOUND BARRIER AT PERIMETER AND PENETRATIONS. REFER TO FLOOR PLANS FOR WALL TYPES.
 - ACCESS PANEL
 - RECTANGULAR FIXTURE
 - LINEAR FIXTURE
 - DOWN LIGHTS
 - LINEAR PENDANT
 - DOWN LIGHT PENDANTS
 - UTILITY LIGHTS
 - CEILING & WALL MOUNT EXIT SIGNS
 - HVAC SUPPLY DIFFUSER
 - HVAC RETURN DIFFUSER
 - HVAC EXHAUST DIFFUSER
 - HVAC SLOT DIFFUSER
 - HVAC ROUND DIFFUSER
 - PROJECTOR
 - PROJECTOR SCREEN
 - OCCUPANCY SENSOR
 - SPEAKER
 - MICROPHONE
 - WIRELESS ACCESS POINT
 - CEILING & WALL MOUNT CLOCK
 - SMOKE DETECTOR
 - CEILING & WALL MOUNT CAMERA
 - DATA & POWER
 - SPRINKLER

OPN
ARCHITECTS

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EDGEWOOD HIGH SCHOOL
2219 MONROE ST.
MADISON, WI 53711

EDGEWOOD HIGH SCHOOL
OF THE SACRED HEART

Project
Goodman Athletic Complex
Facilities Improvements
2219 MONROE ST
MADISON, WI 53711

Architect
DANIELS CONSTRUCTION
959 APRAGUE RD.
MADISON, WI 53713
P. 608-271-4800

Prepared by
JSD PROFESSIONAL SERVICES
107 W. VERONA AVE., SUITE 100
VERONA, WI 53593
P. 608-848-5060

OPN Project No.
20615080

Sheet Issue Date
CUP SUBMITTAL 06/01/2026

Sheet Name
REFLECTED CEILING PLANS

Sheet Number



4 50 YARD LINE PERSPECTIVE



2 MONROE DRIVEBY PERSPECTIVE



3 ENTRY PERSPECTIVE



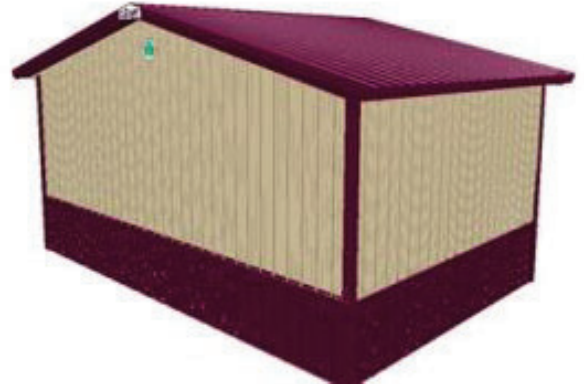
1 CONCESSIONS PERSPECTIVE

Goodman Complex Storage Facilities

1. Small Storage Facility- End of Track

a. 24' 0" x 16' 0" x 11' 4"

i. Roof Peak-14'4"



2. Large Storage Facility-Next to Scoreboard

a. 30' 0" x 72' 0" x 13' 4"

i. Roof Peak- 17' 1"





TRAVIS LEESER
Phone Number: (608) 845-9700
Email: TLeeser@clearybuilding.com

4/28/2026
EDGEWOOD HIGH SCHOOL, JESSE NORRIS
Doc ID: 5129820260428085221

Cleary Buildings Project Estimate

Client Proposal - Erected

Project Name: EDGEWOOD HIGH SCHOOL, JESSE NORRIS
Site Address: 22119 MONROE STREET MADISON, WISCONSIN 53711
Email: jesse.norris@edgewoodhs.org
Cell Phone: (419) 204-2098





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Phone Number: (608) 845-9700
Email: TLeeser@clearybuilding.com

4/28/2026
EDGEWOOD HIGH SCHOOL, JESSE NORRIS
Doc ID: 5129820260428085221

Commercial 30' 0"x72' 0"x13' 4" with 12' 0" truss clearance from 100'-0" mark. (9 Bays at 8' o.c.)

Details:

Truss (Standard Lower Chord) with 3/12 roof pitch.
Default Ceiling Design: Not Designed to Support a Ceiling
Purlin Blocking: Both Endwalls are purlin blocked
Type Foundation: On Concrete Slab (DrySet Brackets)
Concrete Floor: Yes - Supplied by Purchaser
Roofline Wind Bracing
30 psf Ground Snow Load with 2"x4" Continuous 2' 0" inch on center purlins.

Exterior Finishes:

Roof/Siding: Premium Steel Panel
Premium Steel Panel - Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.

Wainscot: Premium Steel Panel

Accessories:

74' 0" of Standard Ridge Cap. Marco LP2 Weather-Tite Ridge Vent "Low Profile" (Add ventilation to ridge).
Side Wall Overhang: 12" Aluminum soffit (Sidewall) with vented soffit on S1 & S2
Bird Screening for the interior to prevent birds from nesting in overhang.
End Wall Overhang: 12" Aluminum soffit (Endwall) with vented soffit on E1 & E2
Cleary Snow Bar Trim SB-1 - New Construction - 72' 0" LF

(2) - Overhead frame out. Size: 16' 0" Width x 10' 0" Height (Door not included unless shown in Additional Building Components or Clopay Building Products)
(2) Walk Door - Standard, Steel Jamb 3 1/2" 3'-0"x6'-8" with 2x6 frame

Additional Building Components

Gutter
74' of 5" gutter with 2 downs

Clopay Building Products

Door Model: T50 SHORT 25 Gauge Raised Panel Uninsulated
T50 - 25 Gauge Raised Panel Uninsulated
2" Thick 25 gauge traditional raised panel design, Non-insulated, tongue-and-groove joint design.
Door Color: Standard White
Door Size: 16' 0"x10' 0"
Wind Design: W1
Windows: Plain Short
Operator: None
Track: Standard (15" headroom required)



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Track Size: 2"

Door Model: T50 SHORT 25 Gauge Raised Panel Uninsulated

T50 - 25 Gauge Raised Panel Uninsulated

2" Thick 25 gauge traditional raised panel design, Non-insulated, tongue-and-groove joint design.

Door Color: Standard White

Door Size: 16' 0"x10' 0"

Wind Design: W1

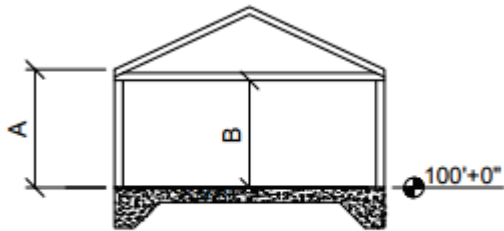
Windows: Plain Short

Operator: None

Track: Standard (15" headroom required)

Track Size: 2"

**Interior Clearances and Exterior Heights:
Building 1**



Standard Lower Chord Truss (SLC)

Interior Clearances:

"B"=Clearance from finished floor to bottom of truss: **12' 0"**
(Trusses not designed to support a ceiling)

Exterior Heights:

"A" = Actual Eave Height: **13' 4"**
Roof Peak Height: **17' 1"**
Roof Pitch: **3/12**



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4/28/2026
EDGEWOOD HIGH SCHOOL, JESSE NORRIS
Doc ID: 5129820260428085221

Responsibilities

Temporary Services:

- Purchaser will provide electric power during construction.
- Seller will provide sanitary facilities.
- Seller to pile scrap for Purchaser use or disposal.

Permit

Purchaser shall timely obtain at Purchaser's cost all necessary and required permits and licenses for the construction contemplated by this Agreement.

Site

If Seller is unable to proceed with normal digging procedures (concrete, rocks, etc.), then the extra expense resulting from such condition(s) will be the obligation of the Purchaser and shall be paid to Seller upon request.

Access must be provided for unloading materials to the building material placement area which must be within 75 feet of the building pad – If greater than 75 feet, additional charges will be applied

Total Building Proposal Investment: \$59,007

- Includes material, labor, tax, delivery, warranties and builder's risk insurance.
- Please note this price is subject to change without notice.

Dumpster Option - NOT included in the project investment price above

Seller to place scrap in the dumpster and remove from site (Price subject to change based upon delivery and travel charges for the dumpster) \$400

Note: If Dumpster Option is not selected, Seller will pile scraps and packaging near building for Purchaser use or disposal.

1. Cleary Trained Crews
2. Workers Compensation and Builders Risk Insurance
3. Only National Builder debt free since 1985.
4. SteelWood University® - through our best-in-class in-house curriculum, we invest in our employees' education to have the premier team to provide you the best solution and the best service.
5. 99.0% Client Satisfaction
6. Fully staffed for concept, engineering and construction with just one point of contact for you.
7. Dedicated to your design with personal service specialized by our unique Shamrock Service Guarantee.
8. Best warranties in the industry with the financial strength to stand behind them.

Payment Terms



TRAVIS LEESER
Phone Number: (608) 845-9700
Email: TLeeser@clearybuilding.com

4/28/2026
EDGEWOOD HIGH SCHOOL, JESSE NORRIS
Doc ID: 5129820260428085221

Payment Terms

Amount	Type	Percent	Description
\$11,801	Down Payment	20%	Upon the signing of the contract with CLEARY BUILDING CORP.
\$23,603	Delivery Payment	40%	Payment due upon first load of building materials. In the event that multiple loads of materials are required, due to the size of the building, the remaining materials will be shipped to the site as needed while the building is under construction
\$17,702	Truss Payment	30%	When all trusses are installed on the building. In the event that there is more than one building on a contract, the truss in place payment is due upon installing the trusses in one of the buildings.
\$5,901	Final Payment	10%	Paid upon Completion and such payment to be delivered to the crew foreman of CLEARY BUILDING CORP.
\$59,007	Total Amount	100%	

TERMS OF PAYMENT: (1) If Contract Amount is \$50,000.00 or less, the terms of payment shall be as provided in the payment terms section above. (2) If Contract Amount is over \$50,000.00, the terms of payment shall be pursuant to the Bank Reference Form which is made a part of this Contract.

If the Purchaser fails to make a payment when due, Purchaser agrees to pay Cleary, upon demand, a delinquency charge equal to the lesser of three-quarter percent (.75%), or the highest rate allowed by law, of the delinquent amount per fifteen (15) days, from the date the delinquent amount is due, until the date it is paid.

Purchaser agrees not to send Seller payments marked "paid in full", "without recourse", or similar language. If Purchaser sends such a payment, Seller may accept it without losing any of Seller's rights under this Contract, and Purchaser will remain obligated to pay any further amount owed to Seller.

License numbers by state: VA #2705 123094A, MI #2102150963, MN #BC076522, IL #104.002640, AZ # ROC212050 Limit \$250,000, NM #86107 Limit \$1,000,000, NV #0042464 Limit \$4,000,000, OR # CCB 115247, WA # CLEARBC044NE, PA120833, WV # WV034562

This contract has not been reviewed for energy code compliance. Conformance to the International Energy Conservation Code (IECC) may necessitate additional costs not included in this contract.

This proposal and similar work hereunder are predicated on non-union (non-prevailing wage) labor. If union (prevailing wage) is required, the additional costs will be covered by the purchaser.

Building Proposal Investment is based upon paying with cash or check. If credit card payment is requested (MasterCard, Visa, Discover, or American Express), the purchaser waives the 3% cash or check discount that would be applied to the contract amount.

IMPORTANT: LIEN NOTICE

ATCP 110.025 Lien waivers. (1) A seller shall provide notice to buyer that buyer may request written lien waivers from all contractors, subcontractors, and material suppliers at, or prior to, the time any payment is made on the home improvement contract. Notice shall be provided before the buyer and seller enter into a home improvement contract. The notice shall meet the following requirements:



TRAVIS LEESER
Phone Number: (608) 845-9700
Email: TLeeser@clearybuilding.com

4/28/2026
EDGEWOOD HIGH SCHOOL, JESSE NORRIS
Doc ID: 5129820260428085221

(a) The notice shall be in writing and consist of the following, verbatim statement:

Notice of Consumer's Right to Receive Lien Waivers

If a consumer requests lien waivers, a seller of home improvement services must provide lien waivers from all contractors, subcontractors, and material suppliers. This Wisconsin law protects consumers from having liens filed against their property. Lien waivers prevent the filing of a lien on your home in the event that a contractor does not pay suppliers or subcontractors. For more information about home improvement law, contact the Wisconsin Consumer Protection Bureau at 1-800-422-7128 or www.datcp.wi.gov.

(b) The notice shall be provided as a separate document, written in a clear and conspicuous font, in a format that the buyer can retain.

ATCP 110.05 Home improvement contract requirements.

Expected start date of the project to be within 60 days of the Tentative Erection date listed on this contract.

Expected completion date to be within 200 days of the start date.

Seller shall not be in default of this contract or be liable to Purchaser for any damages that Purchaser may incur as a result of delay(s) in Seller's performance of this contract which delay(s) are occasioned by strikes, riots, insurrection, acts of God, unavailability or late delivery of materials or other delays beyond Seller's control or any other cause which Seller could not have reasonably foreseen or avoided. Any delays or changes in this timeline to be documented with a change order.



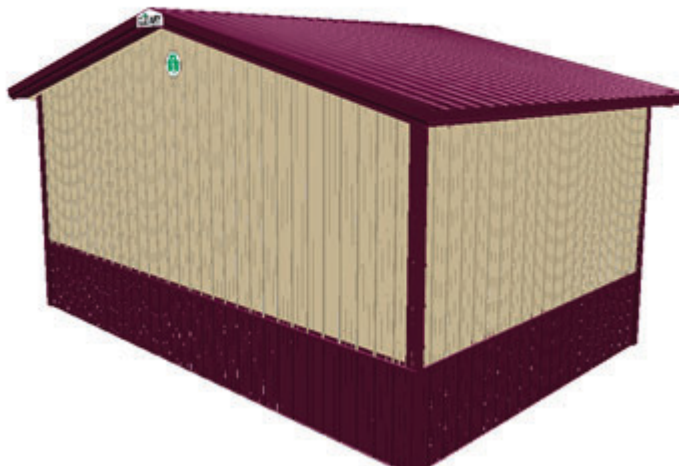
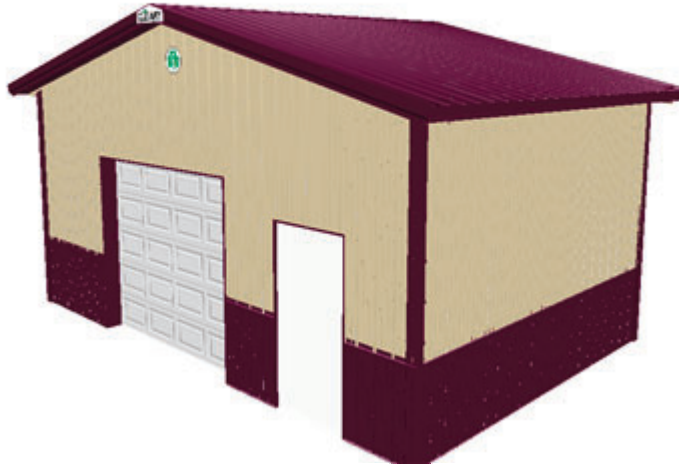
TRAVIS LEESER
Phone Number: (608) 845-9700
Email: TLeeser@clearybuilding.com

4/28/2026
EDGEWOOD HIGH SCHOOL, JESSE NORRIS
Doc ID: 5129820260428084940

Cleary Buildings Project Estimate

Client Proposal - Erected

Project Name: EDGEWOOD HIGH SCHOOL, JESSE NORRIS
Site Address: 22119 MONROE STREET MADISON, WISCONSIN 53711
Email: jesse.norris@edgewoodhs.org
Cell Phone: (419) 204-2098





TRAVIS LEESER
Phone Number: (608) 845-9700
Email: TLeeser@clearybuilding.com

4/28/2026
EDGEWOOD HIGH SCHOOL, JESSE NORRIS
Doc ID: 5129820260428084940

Commercial 24' 0"x16' 0"x11' 4" with 10' 0" truss clearance from 100'-0" mark. (2 Bays at 8' o.c.)

Details:

Truss (Standard Lower Chord) with 3/12 roof pitch.
Default Ceiling Design: Not Designed to Support a Ceiling
Purlin Blocking: Both Endwalls are purlin blocked
Type Foundation: On Concrete Slab (DrySet Brackets)
Concrete Floor: Yes - Supplied by Purchaser
Roofline Wind Bracing
30 psf Ground Snow Load with 2"x4" Continuous 2' 0" inch on center purlins.

Exterior Finishes:

Roof/Siding: Premium Steel Panel
Roof Condensation Control: 2" condensation blanket white vinyl faced
Premium Steel Panel - Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.

Wainscot: Premium Steel Panel

Accessories:

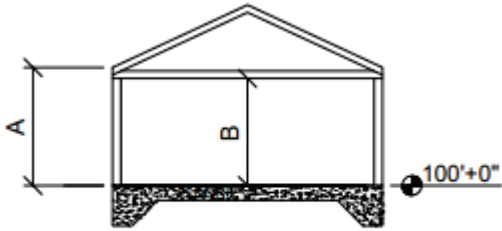
18' 0" of Standard Ridge Cap. Marco LP2 Weather-Tite Ridge Vent "Low Profile" (Add ventilation to ridge).
Side Wall Overhang: 12" Aluminum soffit (Sidewall) with vented soffit on S1 & S2
Bird Screening for the interior to prevent birds from nesting in overhang.
End Wall Overhang: 12" Aluminum soffit (Endwall) with vented soffit on E1 & E2

(1) - Overhead frame out. Size: 9' 0" Width x 8' 0" Height (Door not included unless shown in Additional Building Components or Clopay Building Products)
(1) Walk Door - Standard, Steel Jamb 3 1/2" 3'-0"x6'-8" with 2x6 frame

Clopay Building Products

Door Model: T50 SHORT 25 Gauge Raised Panel Uninsulated
T50 - 25 Gauge Raised Panel Uninsulated
2" Thick 25 gauge traditional raised panel design, Non-insulated, tongue-and-groove joint design.
Door Color: Standard White
Door Size: 9' 0"x8' 0"
Wind Design: W1
Windows: Plain Short
Operator: None
Track: Standard (15" headroom required)
Track Size: 2"

**Interior Clearances and Exterior Heights:
Building 1**



Standard Lower Chord Truss (SLC)

Interior Clearances:

"B" = Clearance from finished floor to bottom of truss: **10' 0"**
(Trusses not designed to support a ceiling)

Exterior Heights:

"A" = Actual Eave Height: **11' 4"**
Roof Peak Height: **14' 4"**
Roof Pitch: **3/12**

Responsibilities

Temporary Services:

- Seller will provide electric power during construction.
- Seller will provide sanitary facilities.
- Seller to place scrap in dumpster and have dumpster removed from the site.

Permit

Purchaser shall timely obtain at Purchaser's cost all necessary and required permits and licenses for the construction contemplated by this Agreement.

Site

If Seller is unable to proceed with normal digging procedures (concrete, rocks, etc.), then the extra expense resulting from such condition(s) will be the obligation of the Purchaser and shall be paid to Seller upon request.

Access must be provided for unloading materials to the building material placement area which must be within 75 feet of the building pad – If greater than 75 feet, additional charges will be applied

Total Building Proposal Investment: \$21,924

- Includes material, labor, tax, delivery, warranties and builder's risk insurance.
- Please note this price is subject to change without notice.

1. Cleary Trained Crews
2. Workers Compensation and Builders Risk Insurance
3. Only National Builder debt free since 1985.
4. SteelWood University® - through our best-in-class in-house curriculum, we invest in our employees' education to have the premier team to provide you the best solution and the best service.
5. 99.0% Client Satisfaction
6. Fully staffed for concept, engineering and construction with just one point of contact for you.
7. Dedicated to your design with personal service specialized by our unique Shamrock Service Guarantee.
8. Best warranties in the industry with the financial strength to stand behind them.



TRAVIS LEESER
Phone Number: (608) 845-9700
Email: TLeeser@clearybuilding.com

4/28/2026
EDGEWOOD HIGH SCHOOL, JESSE NORRIS
Doc ID: 5129820260428084940

Payment Terms

Payment Terms

Amount	Type	Percent	Description
\$4,385	Down Payment	20%	Upon the signing of the contract with CLEARY BUILDING CORP.
\$10,962	Delivery Payment	50%	Payment due upon first load of building materials. In the event that multiple loads of materials are required, due to the size of the building, the remaining materials will be shipped to the site as needed while the building is under construction
\$6,577	Final Payment	30%	Paid upon Completion and such payment to be delivered to the crew foreman of CLEARY BUILDING CORP.
\$21,924	Total Amount	100%	

TERMS OF PAYMENT: (1) If Contract Amount is \$50,000.00 or less, the terms of payment shall be as provided in the payment terms section above. (2) If Contract Amount is over \$50,000.00, the terms of payment shall be pursuant to the Bank Reference Form which is made a part of this Contract.

If the Purchaser fails to make a payment when due, Purchaser agrees to pay Cleary, upon demand, a delinquency charge equal to the lesser of three-quarter percent (.75%), or the highest rate allowed by law, of the delinquent amount per fifteen (15) days, from the date the delinquent amount is due, until the date it is paid.

Purchaser agrees not to send Seller payments marked "paid in full", "without recourse", or similar language. If Purchaser sends such a payment, Seller may accept it without losing any of Seller's rights under this Contract, and Purchaser will remain obligated to pay any further amount owed to Seller.

License numbers by state: VA #2705 123094A, MI #2102150963, MN #BC076522, IL #104.002640, AZ # ROC212050 Limit \$250,000, NM #86107 Limit \$1,000,000, NV #0042464 Limit \$4,000,000, OR # CCB 115247, WA # CLEARBC044NE, PA120833, WV # WV034562

This contract has not been reviewed for energy code compliance. Conformance to the International Energy Conservation Code (IECC) may necessitate additional costs not included in this contract.

This proposal and similar work hereunder are predicated on non-union (non-prevailing wage) labor. If union (prevailing wage) is required, the additional costs will be covered by the purchaser.

Building Proposal Investment is based upon paying with cash or check. If credit card payment is requested (MasterCard, Visa, Discover, or American Express), the purchaser waives the 3% cash or check discount that would be applied to the contract amount.

IMPORTANT: LIEN NOTICE

ATCP 110.025 Lien waivers. (1) A seller shall provide notice to buyer that buyer may request written lien waivers from all contractors, subcontractors, and material suppliers at, or prior to, the time any payment is made on the home improvement contract. Notice shall be provided before the buyer and seller enter into a home improvement contract. The notice shall meet the following requirements:

(a) The notice shall be in writing and consist of the following, verbatim statement:



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4/28/2026
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Notice of Consumer's Right to Receive Lien Waivers

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(b) The notice shall be provided as a separate document, written in a clear and conspicuous font, in a format that the buyer can retain.

ATCP 110.05 Home improvement contract requirements.

Expected start date of the project to be within 60 days of the Tentative Erection date listed on this contract.

Expected completion date to be within 200 days of the start date.

Seller shall not be in default of this contract or be liable to Purchaser for any damages that Purchaser may incur as a result of delay(s) in Seller's performance of this contract which delay(s) are occasioned by strikes, riots, insurrection, acts of God, unavailability or late delivery of materials or other delays beyond Seller's control or any other cause which Seller could not have reasonably foreseen or avoided. Any delays or changes in this timeline to be documented with a change order.



Ownership Team

Edgewood High School Core Team

Kevin Rea, President

Jerry Zander, Principal

Tim Patton, Director of Facilities and Safety

Ben Voss, Athletic Director

Project Team

OPN Architects

Brett Rottinghaus Principal-in-Charge / Project Manager

Evan Corkery Architectural Designer

JSD Professional Services

Kevin Yeska Landscape Architect

Michael Siniscalchi Landscape Designer

Courtney Cox Civil Engineer



Table of Contents

Architectural Narrative

Introduction and Overview	4
Applicable Building Codes	4
Project Goals	4
Exterior Wall Assemblies	5
Exterior Openings Assemblies	8
Exterior Elements	9
Interior Elements	10
Alternates List	11

Architectural Schematic Design Drawing Set

Preliminary Site Plan

Appendix – Bleacher Drawings, Product Cut Sheets

Introduction and Overview

The intent of this narrative is to provide a general description of the exterior and interior assemblies and systems for the new construction of the Edgewood Concessions located in Madison, Wisconsin. The information presented represents the schematic design for the overall project upon which to base further analysis and pricing.

Applicable Building Codes

- City of Madison Code of Ordinances
- Wisconsin Commercial Building Core: SPS Chapters 361 to 366, incorporating:
- 2021 International Building Code
- 2021 International Energy Conservation Code
- 2021 ICC A117.a (2017): Standard for Accessibility and Usable Buildings and Facilities
- Electrical Code – National Electrical Code NFPA 70 2017 Edition, with Wisconsin Amendments SPS 316
- Mechanical Code – 2021 International Mechanical Code with Wisconsin Amendments SPS 364.
- Fire Code – NFPA 13 2016 Edition
- Plumbing Code – Wisconsin State Plumbing Code SPS 381-388.

Project Goals:

Enhance student, parent, and visitor experience. Support athletics teams with appropriate locker room, restroom, and storage facilities.

Architectural Narrative

Exterior Wall Assemblies

Energy Code Envelope Assembly Requirements

- Roof: R-30ci or U-0.032
- Mass Walls (CMU), Above Grade: R-11.4ci or U-0.090
- Metal Framed, Above Grade: R-13 + R-10ci or U-0.055
- Slab-On-Grade Floors, Unheated: R-15 for 24" below or F-0.52
- Slab-On-Grade Floors, Heated: R-15 for 24" below + R-5 Full Slab or F-0.62
- Opaque Doors, Swinging: U:0.37
- Opaque Doors, Non-Swinging: U:0.31

Floor System

- Slab-On-Grade: Cast-in-place concrete
- Vapor Retarder: 15 mil, multi-layer, reinforced polyethylene, class A vapor retarder
- Vertical Insulation: 3" rigid insulation, extend minimum 4'-0" down inside face of foundation wall
- Horizontal Insulation: 3" rigid insulation, extend minimum 4'-0" horizontally from slab edge and 1" rigid insulation beneath entire heated slab
- Subbase: Anticipated to be 6" compacted granular fill, final TBD

Roof Assembly (R1) – Membrane Roofing on Metal Deck

- Assembly Requirements
 - Required: R-30ci, U-0.032 code minimum
 - Provided: Assembly calculated at R-37.483, U-0.027
- Roof Membrane: EPDM or TPO, 60 mil, reinforced, fully adhered roof membrane, 20-year warranty
- Cover Board: 1/2" high density polyisocoverboard
- Insulation: (2) layers of 2.5" rigid polyiso insulation (R-30 Min.)
 - Tapered Insulation: Provide factory-tapered boards to slope 1/4" per 12" inches
- Vapor Retarder: (1) layer, 6 mil, fully adhered, taped joints
- Exterior Sheathing: 1/2" exterior gypsum board sheathing
- Roof Deck: Metal deck, structure TBD

Roof Assembly (R2) – 1 Hour Rated Membrane Roof System

- 1 Hour Rated – UL P562
- Roof Membrane: EPDM or TPO, 60 mil, reinforced, fully adhered roof membrane, 20-year warranty
- Cover Board: 1/2" high density polyisocoverboard
- Insulation: (2) layers of 2.5" rigid polyiso insulation (R-30 Min.)
 - Tapered Insulation: Provide factory-tapered boards to slope 1/4" per 12" inches
- Vapor Retarder: (1) layer, 6 mil, fully adhered, taped joints
- Exterior Sheathing: 1/2" exterior gypsum board sheathing

- 3/4" Structural Cement-Fiber Unit (UL TYPE USGSP)
- 10" Steel Joist, 16 GA., Spaced 24" Max, O.C.
- 7/8" Resilient Channels, Spaced 24" Max. O.C.
- 5/8" Type "X" Gypsum Board

Wall Assembly (X1) – Brick Masonry Veneer on Metal Stud

- 0 and 1 hour fire rated
- Brick Masonry Veneer:
 - o Basis-of-Design: Glen Gery S 32 Tawney Beige Smooth – Modular or Bowerston 85/15 wire cut - Modular. Intent is to match as close as possible to the Brick Veneer of the new Performing Arts Center of Edgewood High School.
 - o Masonry-Veneer Anchors: Screw-attached thermally broken masonry-veneer anchors
 - o Grout Color: TBD
- Weather Resistant Barrier (WRB) and Sealant: Non-permeable air and water barrier coating (Water Barrier Membrane): Liquid applied, resilient, UV-resistant coating and associated joint treatment.
- Exterior Continuous Insulation:
 - o Basis-of-Design: Rigid Polyiso Insulation
 - o Thickness: 2"
- Backup Wall: 6" Metal Stud with R-19 Batt Insulation
- Interior Finish: Abuse Resistant Type "X" Gypsum Board

Wall Assembly (X2) –ACM Panel on Metal Stud

- 0 and 1 hour fire rated
- ACM Panel:
 - o Panel to match as close as possible to the ACM panels of the new Performing Arts Center of Edgewood High School.
 - Weather Resistant Barrier (WRB) and Sealant: Non-permeable air and water barrier coating (Water Barrier Membrane): Liquid applied, resilient, UV-resistant coating and associated joint treatment.
- Exterior Continuous Insulation:
 - o Basis-of-Design: Rigid Polyiso Insulation
 - o Thickness: 2"
- Backup Wall: 6" Metal Stud with R-19 Batt Insulation
- Interior Finish: Abuse Resistant Type "X" Gypsum Board

Wall Assembly (X1.1) – Brick Masonry Veneer on Concrete Masonry Unit (CMU) **(ALTERNATE)**

- 0 and 2 Hour Rated
- Brick Masonry Veneer:
 - o Basis-of-Design: Glen Gery S 32 Tawney Beige Smooth – Modular or Bowerston 85/15 wire cut - Modular. Intent is to match as close as possible to the Brick Veneer of the new Performing Arts Center of Edgewood High School.
 - o Masonry-Veneer Anchors: Screw-attached thermally broken masonry-veneer anchors

- o Grout Color: TBD

- Weather Resistant Barrier (WRB) and Sealant: Non-permeable air and water barrier coating (Water Barrier Membrane): Liquid applied, resilient, UV-resistant coating and associated joint treatment.
- Exterior Continuous Insulation:
 - o Basis-of-Design: Rigid Polyiso Insulation
 - o Thickness: 2"
- Backup Wall: 7 5/8" concrete masonry unit

Wall Assembly (X2.1) – ACM Panel on Concrete Masonry Unit (CMU) – **(ALTERNATE)**

- 0 and 2 Hour Rated
- ACM Panel:
 - o Panel to match as close as possible to the ACM panels of the new Performing Arts Center of Edgewood High School.
 - Weather Resistant Barrier (WRB) and Sealant: Non-permeable air and water barrier coating (Water Barrier Membrane): Liquid applied, resilient, UV-resistant coating and associated joint treatment.
- Exterior Continuous Insulation:
 - o Basis-of-Design: Rigid Polyiso Insulation
 - o Thickness: 2"
- Backup Wall: 7 5/8" concrete masonry unit

Exterior Opening Assemblies

Exterior Storefront Glazing Wall Type SF-1:

BOD:Trifab VersaGlaze 451UT; Kawneer North America

- Mullion Size: 2" face width x 4 1/2"
- Color: Color to match ACM panel. Intent is to match as close as possible to the ACM panels of the new Performing Arts Center of Edgewood High School.
- Glazing: Insulated glazing units
 - o Glazing: 1" thick, clear, argon filled insulated glazing, tempered where required
 - o Low-E Coating: Basis-of-Design Solarban 70 on #2 surface
 - o Glazing U-Value: 0.28, SHGC: 0.27, VLT: 64

Service Doors:

- Insulated, painted, galvanized hollow metal doors and frames
- Color to match adjacent construction

Exterior Elements

- Cast Stone Banding, Sills, Base
 - o Basis-of-Design: TBD
 - o Cast Stone: architectural concrete product manufactured to simulate appearance of natural stone.
 - o Shapes: Provide shapes needed to produce complete installation including corner returns.
 - o Trims: Provide units molded for configurations or conditions indicated.
 - o Reinforcement: Provide reinforcement as required to withstand handling and structural stresses.

Refer to the Schematic Design drawing set and Civil narrative for additional information and descriptions of site features.

To this point, Structural, Mechanical, Electrical, and Plumbing consultants have not yet been engaged. Their services will be engaged upon owner direction and approval.

Supplemental Materials attached are regarding the bleacher structure and all its related elements, as well as the product data sheets for the new storage shed units. These are for reference only.

Interior Elements

Typical Room Finishes/Accessories:

- Restrooms
 - Floor: Polished Concrete
 - Walls: Abuse Resistant Gypsum Board
 - Ceiling: 24" x 24" ACT / or Gypsum Board
- Team Rooms
 - Floor: Polished Concrete
 - Walls: Abuse Resistant Gypsum Board
 - Ceiling: 24" x 24" ACT
- Offices
 - Floor: Carpet
 - Walls: Abuse Resistant Gypsum Board
 - Ceiling: 24" x 24" ACT
- Concessions
 - Floor: Polished Concrete
 - Walls: Abuse Resistant Gypsum Board
 - Ceiling: 24" x 24" ACT
- Training Room
 - Floor: Polished Concrete
 - Walls: Abuse Resistant Gypsum Board
 - Ceiling: 24" x 24" ACT

Alternates List

Alternate 1: X1 & X2 Exterior Wall Types

- Base Bid: Walls marked X1 and X2 shall remain as indicated on Sheet A001 - WALL & HORIZONTAL ASSEMBLIES
- Alternate 1: Change all X1 walls to be X1.1, and X2 walls to be X2.1