

Russ Owens, AIA, CCCA, LEED BD&C; Architect; 413 Ravine St.; Janesville, WI. 53548; 608-219-1316; rowens@prarch.com

Date: November 20, 2013

Zoning Administrator

City of Madison

215 Martin Luther King Jr. Boulevard

Room LL-100

Madison, WI. 53701-2985

Re: Project Name: Site Improvements for 3009 University/3118 Harvey St. Properties

Madison, WI. ; Rocky Bluff Neighborhood

Copy: Duke Dykstra; Shorewood House, LLC

ZONING ADMINISTRATOR, This Letter of Intent is provided as support to the submittal documents for the Site Improvement project mentioned above. Each item on the City of Madison, "Land Use Application" is presented in the order as listed on page two of the referenced form.

The project is being developed per this project summary: Split lands from 3118 Harvey Street, attach split lands to 3009 University Avenue. Rezone rear portion of split land from 3118 Harvey Street to Commercial Corridor-Transitional (CC-T) to match zoning of 3009 University Avenue. Approve *Conditional Use* for emergency fire lane across residentially zoned property to serve mixed-use development (3009 University Avenue). Use of this fire lane will be limited, gated at University Ave., no access to 3009 University Ave. but for emergency fire lane requirement (current under-building access from University Avenue is not acceptable to Madison Fire Department).

More specifically, here are the necessary approvals:

- Lot split of property at 3118 Harvey Street: and east side and rear portion of the lot.
 - Add rear piece of land split off 3118 Harvey Street to 3009 University Avenue, rezone this piece to CC-T,
 - Add side piece of land split off 3118 Harvey Street to 3009 University Avenue, do not rezone this piece. Keep in TR-U1, property will be split-zoned.
- *Conditional Use* approval to construct "driveway" on side piece of land split off 3118 Harvey Street to serve as "fire lane" for 3009 University Avenue, a mixed-use property.
- *Conditional Use* approval for alterations to 3009 University Avenue, to build carports and generally change layout of parking facilities at rear of site. Construct 1 hour rated firewalls to separate the CC-t and RT-U1 properties and act as district boundary screening.

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- *Permitted Use* site changes to 3118 Harvey Street, to construct carports on this property along with 1 hour rated fire walls to act as separation between the CC-T and RT-U1 properties.

Project Team: The project is a single owner/designer based project.

- Owner: Duke Dykstra of Shorewood House, LLC
- Architect: Russ Owens, AIA, CCCA, LEED BD&C
- Civil Engineering: JSD Professional Services, Inc.

Existing Conditions: The 3009 University Ave. property is currently a 40,471 SF site with an existing 6 story mixed-use occupancy; The Madison Second Language School occupies the first floor and residential apartments occupy the second thru sixth floors.

The 3118 Harvey St. property is currently a 16,398 SF site with an existing two-story 5 unit apartment building.

Project Schedule: The general project construction schedule places the construction of the fire lane in the spring of 2014, once the frost is out of the ground. Construction of the carports and re-surfacing of the Shorewood House parking lot is scheduled to begin in early summer, 2014.

Proposed Uses: Uses of the two properties is not scheduled to change.

Hours of Operation: The hours of operation for both properties is not scheduled to change. Both buildings are accessible 24 hours/day with proper security credentials.

Building Square Footage (carports): The proposed 6 carports for the Shorewood House property have a total "under roof" square footage of 13,339 SF. They consist of 66 parking stalls (56 large parks, 7 small parks and 3 handicap) totaling 13,339sf; 56 bicycle parking stalls (48 covered) totally 941 sf.; and 5 covered moped stalls totaling 120sf.

The proposed carports for the 3118 Harvey St apartment building have a total "under roof" square footage of 1026sf.

Number of Dwelling Units: The number of dwelling units is not scheduled to change from 56 units at Shorewood House and 5 units at 3118 Harvey St.

Auto and Bike Parking Stalls: The proposed 6 carports for the Shorewood House property have a total "under roof" square footage of 13,339 SF. They consist of 66 parking stalls (56 large parks, 7 small parks and 3 handicap) totaling 13,339sf; 56 bicycle parking stalls (48 covered) totally 941 sf.; and 5 covered moped stalls totaling 120sf.

The proposed carports for the 3118 Harvey St apartment building have a total "under roof" square footage of 1026 sf.

Lot Coverage & Usable Open Space Calculations: The proposed lot size for 3009 University Ave 43,399 SF. The total, "under roof area" will be 24,312 SF leaving a total open area of 19,027 SF.

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The proposed lot size for 3118 Harvey St. will be 13,770 SF. The total, "under roof area" will be 2,853 SF leaving a total open area of 5,873 SF.

Value of Land: The anticipated construction costs are currently budgeted at \$450,000 for the fire lane, parking lot work and new carports. The 3118 Harvey St. property is currently assessed at \$454,100 and the 3009 University Ave. property is currently assessed at \$3,500,000. The total assessed value for both properties is \$3,954,100.

Number of Construction & Full-Time Jobs Created: No permanent full-time jobs will be created once construction is complete. The construction process should temporarily employ 8-10 workers per week for the 12 week construction window.

Public Subsidy Requested: There is no Public Subsidy requested for this project.

Best Regards,

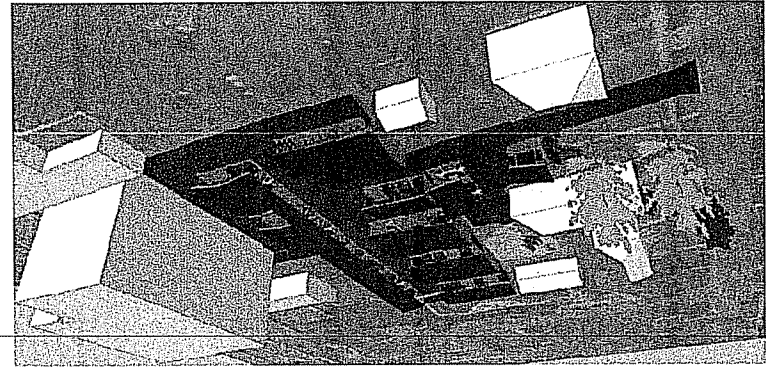
A handwritten signature in black ink, appearing to read "Russ Owens", written in a cursive style.

Russ Owens, AIA, CCCA, LEED BD&C

Architect

Enclosure

Project: Site Improvements to 3009 University Avenue & 3118 Harvey Street 3009 University Avenue & 3118 Harvey Street Madison, Wisconsin 53705 December 3, 2013 (City of Madison - Land Use Application)



Land Use Application

DRAWING INDEX

000	Title Sheet
Civil	
CO-1	3009 University Ave. & 3118 Harvey St. - Site Plan
LO-1	3009 University Ave. & 3118 Harvey St. - Landscape Plan
LO-2	3009 University Ave. & 3118 Harvey St. - Landscape Plan
CO-1A	3009 University Ave. - Demolition Plan
C-1.0A	3009 University Ave. - Site Plan
C-2.0A	3009 University Ave. - Grading & Erosion Control Plan
C-3.0A	3009 University Ave. - Utility Plan
L-1.0A	3009 University Ave. - Landscape Plan
L-2.0A	3009 University Ave. - Landscape Details & Specs
C-0.1B	3118 Harvey St. - Demolition Plan
C-1.0B	3118 Harvey St. - Site Plan
C-2.0B	3118 Harvey St. - Grading & Erosion Control Plan
C-3.0B	3118 Harvey St. - Utility Plan
C-4.0B	3118 Harvey St. - Landscape Plan
L-1.0B	3118 Harvey St. - Landscape Plan
L-2.0B	3118 Harvey St. - Landscape Details & Specs
Architectural	
A1.2	Architectural Site Details
A2	3009 University Ave. - Carport Floor Plan
A3	3118 Harvey St. - Carport Floor Plan
A4	Carport Exterior Elevations
A5	Carport Exterior Elevations
A6	Carport Sections & Details
A7	Carport Exterior Perspectives
Electrical (scope documents only)	
E1	Carport Electrical Plan
E2	Carport Electrical Details & Fixture Cut Sheets
E3	Electrical Scope Specifications

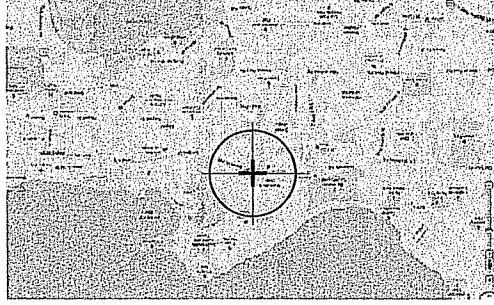
PROJECT INFORMATION

Applicable Codes and Zoning
 Wisconsin enrolled commercial building code 2012
 Storage occupancy, Group S-2

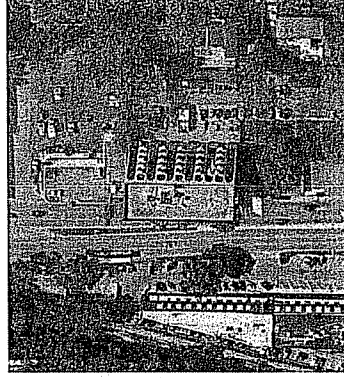
Zoning: City of Madison ordinances

Type of Construction

New Carport Structures (Exterior Only)
 Type of construction, unprotected, type 5b - Non-sprinklered



Location Map



OWNER:

SHOREWOOD HOUSE, LLP.
 3009 University Avenue
 Madison, WI 53705
 Contact: Duke Dykstra
 TEL 608-238-0501
 duke@cleanplace.com

ARCHITECT:

RUSS OWENS, AIA, CCA, LEEDAP
 413 Ravine Street
 Janesville, WI 53548
 TEL 608 219-1316
 rowensra@sbcglobal.net

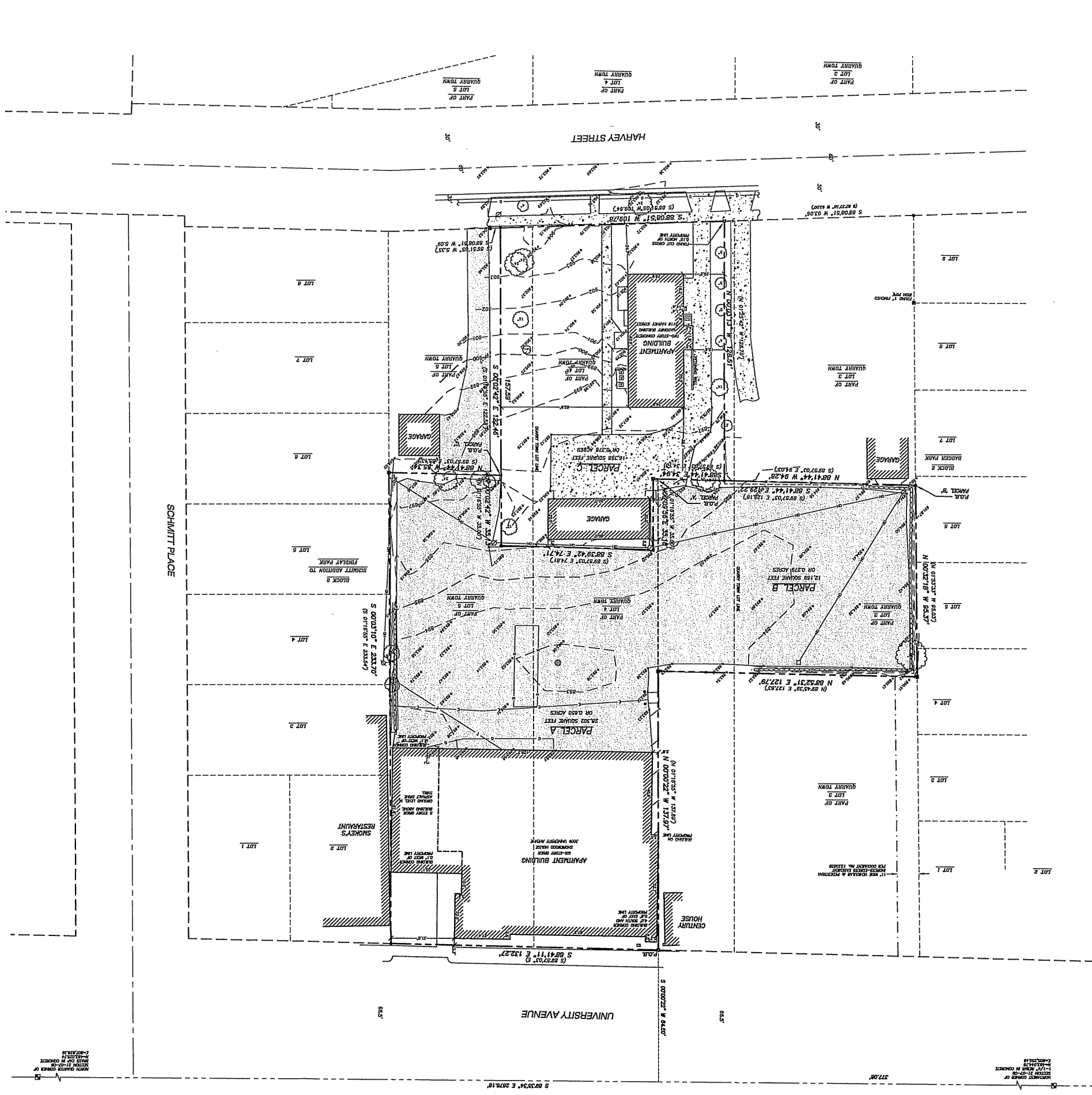
CIVIL ENGINEER:

JSD Professional Services, Inc.
 161 Horizon Drive, Suite 101
 Verona, WI 53593
 TEL 608 848-5060
 Bill Dunlop, P.E. - bill.dunlop@jsdinc.com

Asphalt Paving Consultant: Preeda Chaturabong

STRUCTURAL ENGINEER:

MP-Squared Structural Engineers, LLC
 583 D'Onofrio Drive, Suite 201
 Madison, WI 53719
 TEL 608 821-4770
 Melissa A. Peyton, P.E. - mpeyton@mpsqr.com



LEGEND

- CONCRETE CORNER
- IRON PIPE FOUND
- BENCH MARK
- BOLLARD
- ROUND CASTED IRON
- POINT POLE W/OUT
- LIGHT POLE
- AIR CONDITION UNIT
- TELEPHONE PESTAL
- DECORATIVE TREE
- BUSH
- PARCEL BOUNDARY
- SECTION LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- PLATTED LOT LINE
- EASEMENT LINE
- FENCE LINE
- STONE WALL
- ROOF OF PAVEMENT
- CONCRETE CURB & GUTTER
- SANITARY SEWER
- WATER LINE
- STORM SEWER
- NATURAL GAS
- OPENED ELECTRIC
- UNDERGROUND TELEPHONE
- BUILDING
- ROCK CONTOUR
- SPOT ELEVATION
- MINIMUM PAVEMENT
- CONCRETE PAVEMENT
- RECORDED LAYED OUT LINE
- () RECORDED INFORMATION

NOTES

- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON NOVEMBER 05, 2013.
- BOUNDARIES OF THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), DAKE COUNTY, THE NORTH LINE OF THE NORTHWEST QUARTER BEARS S 89°37'4" E.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83). ELEVATION IS A BRASS CAP IN CONCRETE MONUMENT MARKING THE NORTHWEST CORNER OF SECTION 21, TOWNSHIP 09E, RANGE 09E, ELEVATION = 1122.00' ±.
- CONTOUR INTERVAL IS ONE FOOT.
- SPOT ELEVATIONS SHOWN ALONG CURB AND GUTTER REFERENCE THE TOP OF CURB.
- SPERFACE UTILITIES AND FEATURES HAVE BEEN APPROXIMATED BY LOCATING SURVEYAL FEATURES AND MEASUREMENTS. LOCATING DIGGERS HAD FIELD MARKERS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS' CONTACT DIGGERS SHOULD BE CONTACTED FOR EXACT LOCATION OF UNDERGROUND UTILITIES.
- CONTRACT DIGGERS SHOULD BE CONTACTED FOR EXACT LOCATION OF UNDERGROUND UTILITIES.
- THE ACCURACY OF THIS SURVEY SHALL BE VERIFIED BEFORE BEING UTILIZED, AND PROFESSIONAL LIABILITY DOES NOT EXTEND TO THE ACCURACY OF THESE MEASUREMENTS.
- THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

LEGAL DESCRIPTION (AS FURNISHED)

PARCEL A
PART OF LOTS FOUR AND FIVE, QUARRY TOWN, IN THE CITY OF MADISON, DAKE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:
BEING 231 FEET NORTH AND 120 FEET EAST OF THE SOUTHWEST CORNER OF LOT 3, QUARRY TOWN, THENCE NORTH PARALLEL TO THE WEST LINE OF UNIVERSITY AVENUE 120 FEET TO THE CENTERLINE OF UNIVERSITY AVENUE, THENCE SOUTH PARALLEL TO SAID WEST LINE TO THE WEST LINE OF LOT 4, THENCE SOUTH PARALLEL TO SAID WEST LINE TO THE POINT OF BEGINNING, 120 FEET TO THE POINT OF BEGINNING.

PARCEL B
PART OF LOTS THREE AND FOUR, QUARRY TOWN, IN THE CITY OF MADISON, DAKE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:
BEING 231 FEET NORTH OF THE SOUTHWEST CORNER OF LOT 3, QUARRY TOWN, THENCE NORTH OF DEGREE 01' 44' 00" 231 FEET TO THE POINT OF BEGINNING, 88 FEET EAST, 88 FEET NORTH, 88 FEET WEST, THENCE NORTH 88 DEGREES 00' 00" 120 FEET TO THE POINT OF BEGINNING.

PARCEL C
PART OF LOTS THREE (3), FOUR (4) AND FIVE (5), QUARRY TOWN, IN THE CITY OF MADISON, DAKE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:
BEING 231 FEET NORTH AND 120 FEET EAST OF THE SOUTHWEST CORNER OF LOT 3, QUARRY TOWN, THENCE NORTH PARALLEL TO THE WEST LINE OF UNIVERSITY AVENUE 120 FEET TO THE CENTERLINE OF UNIVERSITY AVENUE, THENCE SOUTH PARALLEL TO SAID WEST LINE TO THE WEST LINE OF LOT 4, THENCE SOUTH PARALLEL TO SAID WEST LINE TO THE POINT OF BEGINNING, 120 FEET TO THE POINT OF BEGINNING.

SURVEYOR'S CERTIFICATE

I, JOHN WESLEY WISCONSIN REGISTERED LAND SURVEYOR NO. S-1974, HEREBY CERTIFY THAT THIS EXISTING CONTIGUOUS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

JOHN WESLEY WISCONSIN
REGISTERED LAND SURVEYOR
DATE _____

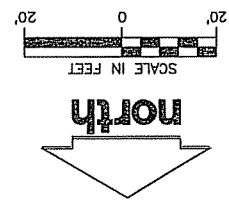
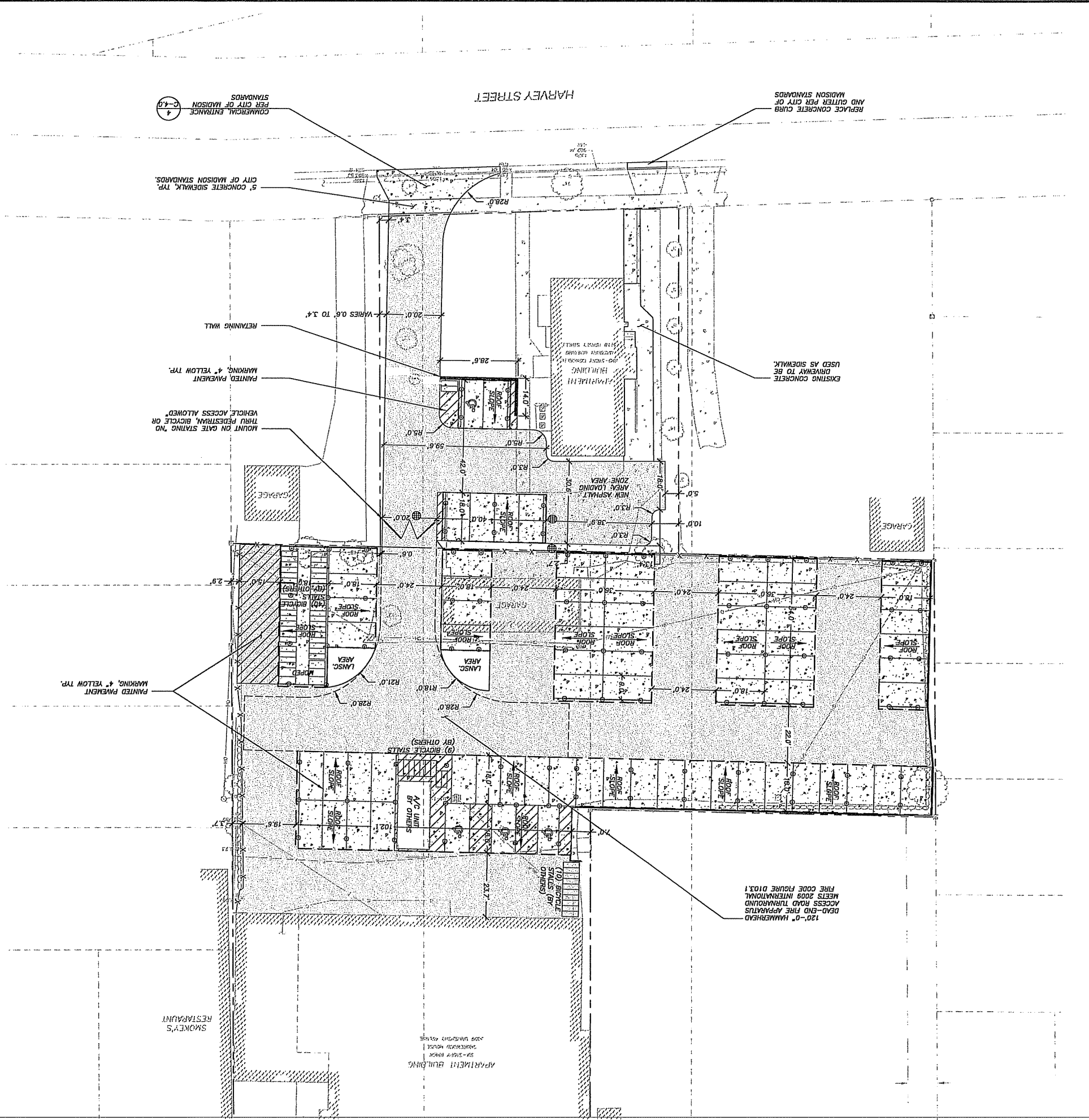
BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY
PART OF LOTS THREE (3), FOUR (4) AND FIVE (5), QUARRY TOWN, BEING PART OF THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 09 NORTH, RANGE 09 EAST, CITY OF MADISON, DAKE COUNTY, WISCONSIN

PROJECT NO. 10-4352
FILE NO. E-189
SURVEYED BY JSD
F.B. NO. PC-273/75
SHEET NO. 1

JSD Professional Services, Inc.
Engineers - Surveyors - Planners
141 UNIVERSITY AVENUE, SUITE 100
MADISON, WISCONSIN 53706
PHONE: (608)248-5000

DATE	BY	DESCRIPTION
11-09-2013	JK	DRAWN BY
11-09-2013	TJB	CHECKED BY
	HPL	APPROVED BY
		DATE

DATE _____



Parking Lot Plan Site Information Block

Site Address: 3118 Harvey Street
 Site acreage (total): 0.316

Number of building stories (above grade): 2
 Building height: xx
 Diller type of construction (new structures or additions): N/A
 Total square footage of building: 1,830

Use of property: Apartments
 Gross Square Feet of office: 0
 Gross Square Feet of retail: 0
 Number of employees in warehouse: 0
 Number of employees in production area: 0
 Capacity of restaurant/place of assembly: 0
 Number of bicycle stalls shown: 59
 Number of parking stalls: shown

Total	6
Accessible	1
Large car	5
Small car	0

Number of trees shown: xx

Parking Lot Plan Site Information Block

Site Address: 3009 University Avenue
 Site acreage (total): 0.989

Number of building stories (above grade): 9
 Building height: xx
 Diller type of construction (new structures or additions): N/A
 Total square footage of building: 11,000

Use of property: Apartments
 Gross Square Feet of office: 0
 Gross Square Feet of retail: 0
 Number of employees in warehouse: 0
 Number of employees in production area: 0
 Capacity of restaurant/place of assembly: 0
 Number of bicycle stalls shown: 8
 Number of parking stalls: shown

Total	67
Accessible	3
Large car	64
Small car	0

Number of trees shown: xx

- SITE PLAN NOTES**
- CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER
 - EXTERIOR CONCRETE SURFACES SHALL HAVE A LIGHT BROOK FINISH
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-28UV CONCRETE SEALANT
 - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY
 - 2' x 4' TRUNCATED DOME SECTIONS SHALL BE PLACED AT ALL ADA RAMPS
 - BIKE RACK TO MEET CITY OF MADISON STANDARDS

- GENERAL NOTES**
- REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND
 - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR
 - 3D SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION, NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK
- LEGEND (PROPOSED)**
- PROPERTY LINE
 - ROOF OUTLINE
 - PROPOSED FENCE LINE
 - EDGE OF PAVEMENT
 - RETAINING WALL/FIRE WALL
 - 1 HOUR RATED FIRE WALL
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED ASPHALT PAVEMENT

CO-1
SHEET NUMBER

OVERALL SITE PLAN

SHEET TITLE: OVERALL SITE PLAN
 SHEET NUMBER: CO-1

DESIGN: PGB 11/20/13
 DRAWN: PGB 11/20/13
 APPROVED: BB 11/20/13

PLAN MODIFICATIONS:
 DATE:

DESIGN: PGB 11/20/13
 DRAWN: PGB 11/20/13
 APPROVED: BB 11/20/13

SEAL SIGNATURES:
 10-4352

PROJECT LOCATION:
 3009 UNIVERSITY AVE
 PARKING LOT AND
 FIRE LANE
 CITY OF MADISON
 DANF COUNTY, WI

PROJECT NO.:
 10-4352

3009 UNIVERSITY AVE
 MADISON, WI 53705

SHOREWOOD HOUSE, LLP.
 SERVICES PROVIDED TO:
 www.jsdinc.com

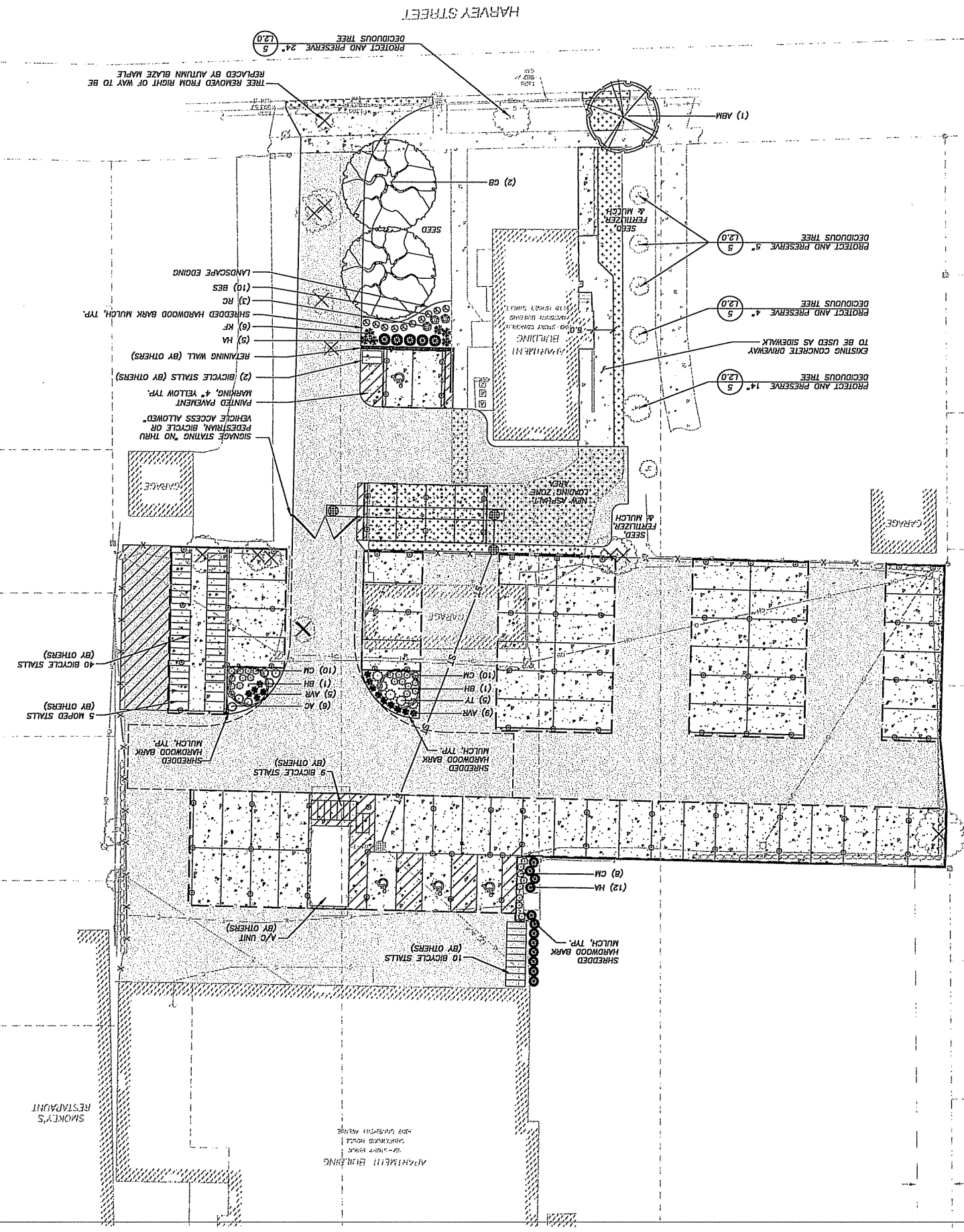
MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX

MADISON | MILWAUKEE
 KENOSHA | APPLETON

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- SURVEYING & MAPPING
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- PLANNING & DEVELOPMENT
- TRANSPORTATION ENGINEERING
- STRUCTURAL ENGINEERING
- LANDSCAPE ARCHITECTURE

"BUILDING RELATIONSHIPS WITH
 THROUGH TRUST, QUALITY AND EXPERIENCE"

Professional Services, Inc.



LANDSCAPE PLANT LIST - 3118 HARVEY STREET

SYN QTY, COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POINTS	TOTAL POINTS
EX 5	Existing Large Deciduous Trees	VARIABLES	78" TOTAL DBH	14	14
GB 1	Autumn Blaze Maple	2-1/2" Cal.	B&B	35	35
GB 2	Autumn Gold Ginkgo	2-1/2" Cal.	B&B	35	35
HA 5	Holmstrup Arborvitae	3-4" Min. Ht.	B&B	10	10
HA 5	Holmstrup Arborvitae	3-4" Min. Ht.	B&B	10	10
RC 3	Ruby Spice Cistrea	12-24" Min Ht.	# 3 Cont.	9	9
BES 10	Black-Eyed Susan	8-18" Min Ht.	# 1 Cont.	20	20
RF 6	Kent Feather Reed Grass	8-18" Min Ht.	# 1 Cont.	2	2
ORNA 10	ORNAMENTAL GRASSES				
PER 10	PERENNIALS				
ME 10	MEDIUM DECIDUOUS SHRUBS				
UP 10	UPRIGHT EVERGREEN SHRUBS				
VAR 14	VARIABLES	78" TOTAL DBH		14	14
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GB 1	Autumn Blaze Maple	2-1/2" Cal.	B&B	35	35
GB 2	Autumn Gold Ginkgo	2-1/2" Cal.	B&B	35	35
HA 5	Holmstrup Arborvitae	3-4" Min. Ht.	B&B	10	10
HA 5	Holmstrup Arborvitae	3-4" Min. Ht.	B&B	10	10
RC 3	Ruby Spice Cistrea	12-24" Min Ht.	# 3 Cont.	9	9
BES 10	Black-Eyed Susan	8-18" Min Ht.	# 1 Cont.	20	20
RF 6	Kent Feather Reed Grass	8-18" Min Ht.	# 1 Cont.	2	2
ORNA 10	ORNAMENTAL GRASSES				
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CITY OF MADISON LANDSCAPE WORKSHEET

Section 28.1-17 Madison General Ordinance

* Landscaping Plans for zoning this greater than ten thousand (10,000) square feet in size MUST be prepared by a registered landscape architect. **

Project Location: 3118 HARVEY STREET, MADISON, WI
 Name of Project: SHOREWOOD HOUSE, LLP
 Owner/Contact: MIKE SCHMELTZER@JSDINC.COM
 Contact Phone: (608) 848-5060

Project Location: 3009 UNIVERSITY AVENUE, MADISON, WI
 Name of Project: SHOREWOOD HOUSE, LLP
 Owner/Contact: MIKE SCHMELTZER@JSDINC.COM
 Contact Phone: (608) 848-5060

The following standards apply to all exterior construction and development activity, including the expansion of existing buildings, structures and parking lots, except the construction of detached single-family and two-family dwellings and accessory structures. The entire development must be brought up to compliance with this section unless all of the following conditions apply, in which case only the affected areas need to be brought up to compliance:
 (a) The area of site disturbance is less than ten percent (10%) of the entire development site during any ten (10)-year period.
 (b) Gross floor area is only increased by ten percent (10%) during any ten (10)-year period.
 (c) No demolition of a principal building is involved.
 (d) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.
 (e) Any displaced landscaping elements must be replaced on the site and shown on a revised landscaping plan.
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Landscaping Calculations and Distribution
 Required landscaped areas shall be calculated based upon the total developed area of the property. Developed area is defined as that area within a single contiguous boundary which is made up of structures, parking, driveways and deck/patio areas, including the area of any building footprint. Landscaping elements shall be distributed throughout the developed area as follows:
 (a) For all lots except those described in (b) and (c) below, five (5) landscape points shall be provided for each acre.
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 (c) For the Industrial - Limited (II), and Industrial - General (IG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.
 (d) For the Residential - Limited (LI) and Residential - General (LG) districts, one (1) point shall be provided per one hundred (100) square feet of developed area.

Landscaping points depending on the size of the lot and Zoning District.
 Landscaping points shall be calculated based on the size of the lot and Zoning District. There are three methods for calculating landscaped areas:
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Plant Type/Element	Minimum Size at Installation	Quantity	Notes
Overstory deciduous tree	2 1/2 inch caliper measured diameter at breast height (dbh)	35	Minimum size at installation 2 1/2 inch caliper measured diameter at breast height (dbh)
Mid overstory tree (i.e. pine, spruce)	5-6 feet tall	35	Minimum size at installation 5-6 feet tall
Ornamental tree	1 1/2 inch caliper	15	Minimum size at installation 1 1/2 inch caliper
(i.e. abutilon)	3-4 feet tall	10	Minimum size at installation 3-4 feet tall
Shrub, deciduous	#3 gallon container	3	Minimum size at installation #3 gallon container
Shrub, evergreen	#3 gallon container	4	Minimum size at installation #3 gallon container
Ornamental grasses	#1 gallon container	2	Minimum size at installation #1 gallon container
Ornamental perennials	4 per 10 inch fl.	29	Minimum size at installation 4 per 10 inch fl.
Wall	14 per 10 inch fl.	29	Minimum size at installation 14 per 10 inch fl.

Use the table to indicate the quantity and points for all existing and proposed landscape elements.

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Use the table to indicate the quantity and points for all existing and proposed landscape elements.

LANDSCAPE NOTES AND SPECIFICATIONS

1. GENERAL: ALL WORK IN THE R-0-M AND PUBLIC ELEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISPARITY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REMAINING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR SHALL STAKE THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND RESTORATION OF ALL PLANT MATERIALS AND SOIL CONDITIONS.

2. DELIVERY AND HANDLING: DO NOT DELIVER PLANTS TO THE SITE UNTIL THEY HAVE BEEN PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PLANT PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STAKING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WEED MAT. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PLANTS AND SOIL CONDITIONS.

3. GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTH AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING PLANTS THAT DO NOT SURVIVE THROUGH THE GUARANTEE PERIOD. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORATION PLANT REPLACEMENT SHALL BE NECESSARY FOLLOWING PLANT REPLACEMENT INCLUDING BUT NOT LIMITED TO BEDDING, EROSION, MULCH, ETC. REPAIR DAMAGE TO OTHER PLANTS OR PLANTING AREAS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRATEGIC GUARANTEE FOR ALL TREES.

4. MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH DENSELY FOLIATED WHEAT GRASS AND APPEARANCE IN FIELD. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND FREE FROM PHYSICAL DAMAGE OR OTHER DEFECTS. PLANTS SHALL BE PLANTED IN THE LOCATION OF THE MOST RECENT FAVORABLE HARVEST AND PLANTS SHALL BE PLANTED IN THE LOCATION OF THE MOST RECENT FAVORABLE HARVEST AND PLANTS SHALL BE PLANTED IN THE LOCATION OF THE MOST RECENT FAVORABLE HARVEST.

5. MATERIALS - SOIL: PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:
 1. PLANTING AREAS = 24" DEPTH
 2. TREE PITS = SEE DETAILS
 PLANTING SOIL TO BE A MINIMUM 50% PERCENT TOPSOIL, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRUITABLE LOAM FROM LOCAL SOURCE. FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.

6. MATERIALS - ALL PLANTING AREAS SHALL RECEIVE FULLY SHREDED, WEED FREE HARDWOOD MULCH (DYE-FREE) SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER ENTIRE PLANTING AREA, UNLESS OTHERWISE SPECIFIED ON PLANS. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OR WISCONSIN REQUIREMENTS.

7. MATERIALS - TREE RINGS: ALL TREES PLANTED IN SEEDING LANE AREAS TO BE INSTALLED WITH A MINIMUM 5' DIAMETER SHREDED HARDWOOD MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3" INCHES. ALL TREE RINGS SHALL BE INSTALLED WITH A 5' DEPTH SHOULDER CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRASSWEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPSOIL APPLIED TO FINISHED INSTALLATION OF TREE RING.

8. MATERIALS - WEED BARRIER FABRIC: ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPREGNATED BARRIERS WILL BE PERMITTED, EXCEPT BLACK VIOLENEK.

9. MATERIALS - EROSION: EROSION CONTROL SHALL BE 5" DEEP, POLYMERIZED EROSION CONTROL. OWNER SHALL APPROVE SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

10. SEED: ALL DISTURBED LANE AREAS SHALL BE SEED WITH EARTH CARE'S "BOULEVARD" OR EQUIVALENT PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO PLANTING, THE CONTRACTOR SHALL PRUNE ALL PLANNED PLANTS AND SOILED LANE AREAS FOR AT LEAST A PERIOD OF 30 DAYS, OR UNTIL FINAL ACCEPTANCE CONDITION.

11. MAINTENANCE: (CONTRACTOR) FOR ALL PLANTING, BUFFER AREAS AND SOILED LANE AREAS. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATE MAINTENANCE DURING THIS 30 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY LONG TERM PLANT MATERIALS AND LANE AREAS. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS AND SHEDDING OR REPLACEMENT OF DAMAGED BARK MULCH DURING THIS PERIOD.

12. MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONDITION.

13. MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONDITION.

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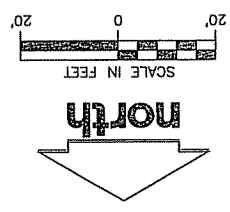
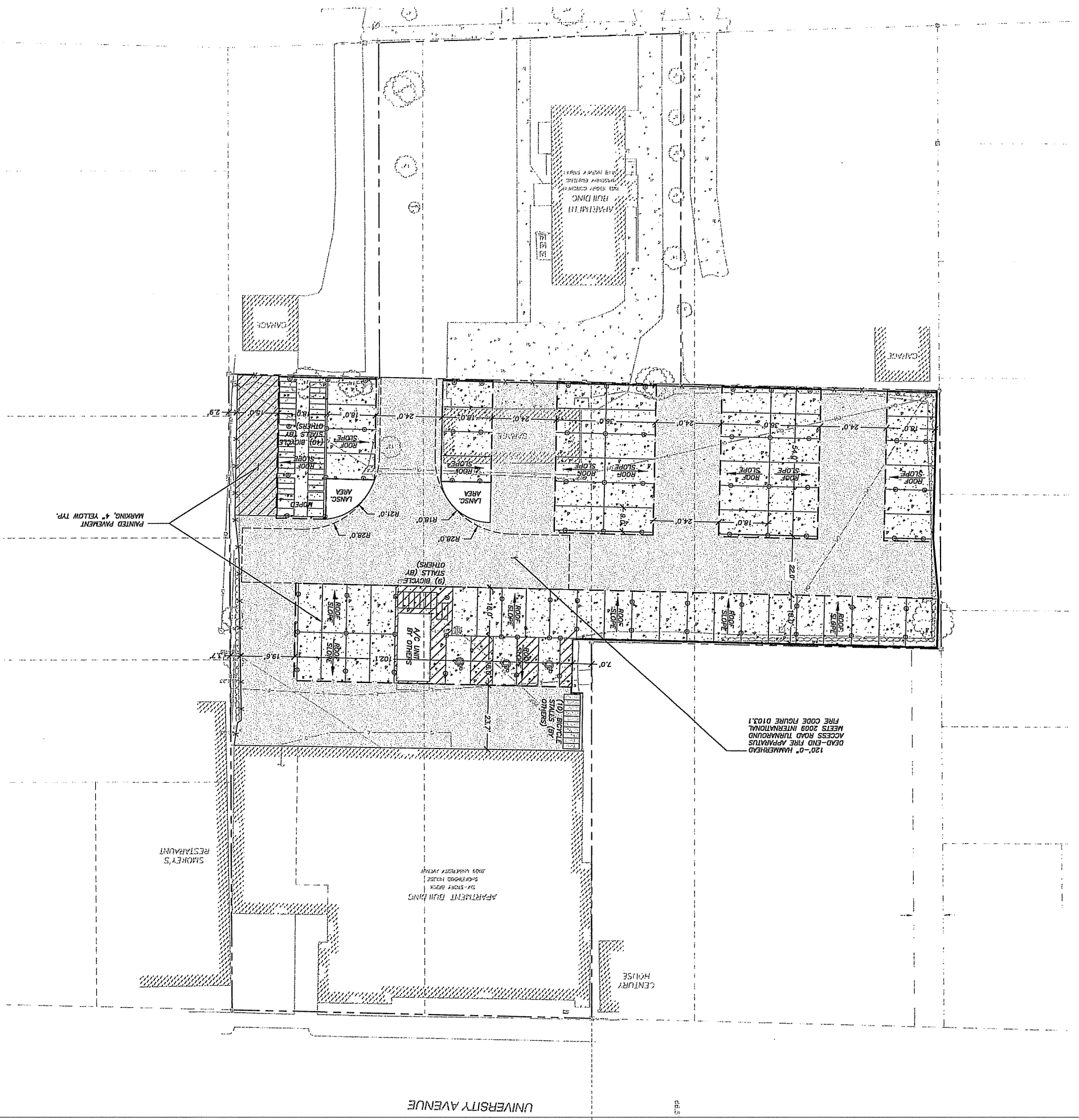
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 Engineers • Surveyors • Planners
 "BUILDING RELATIONSHIPS WITH COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

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 MADISON REGIONAL OFFICE
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 VERONA, WISCONSIN 53593
 608.848.5060 PHONE | 608.848.2255 FAX
 MADISON | MILWAUKEE
 KENOSHA | APPLETON
 www.jsdinc.com

SERVICES PROVIDED TO:
SHOREWOOD HOUSE, LLP.
 3009 UNIVERSITY AVE.
 MADISON, WI 53705

PROJECT LOCATION:
 CITY OF MADISON
 DANE COUNTY, WI
 JSD Project No.: 10-4352
 SEALS/SIGNATURE:

PROJECT:
 3009 UNIVERSITY AVE
 PARKING LOT

PLAN MODIFICATIONS:
 DATE: 11/20/13
 APPROVED: BD
 DRAWN: PGB
 DESIGN: PGB
 11/20/13

SHEET TITLE:
SITE PLAN
 SHEET NUMBER:
C-1.0A

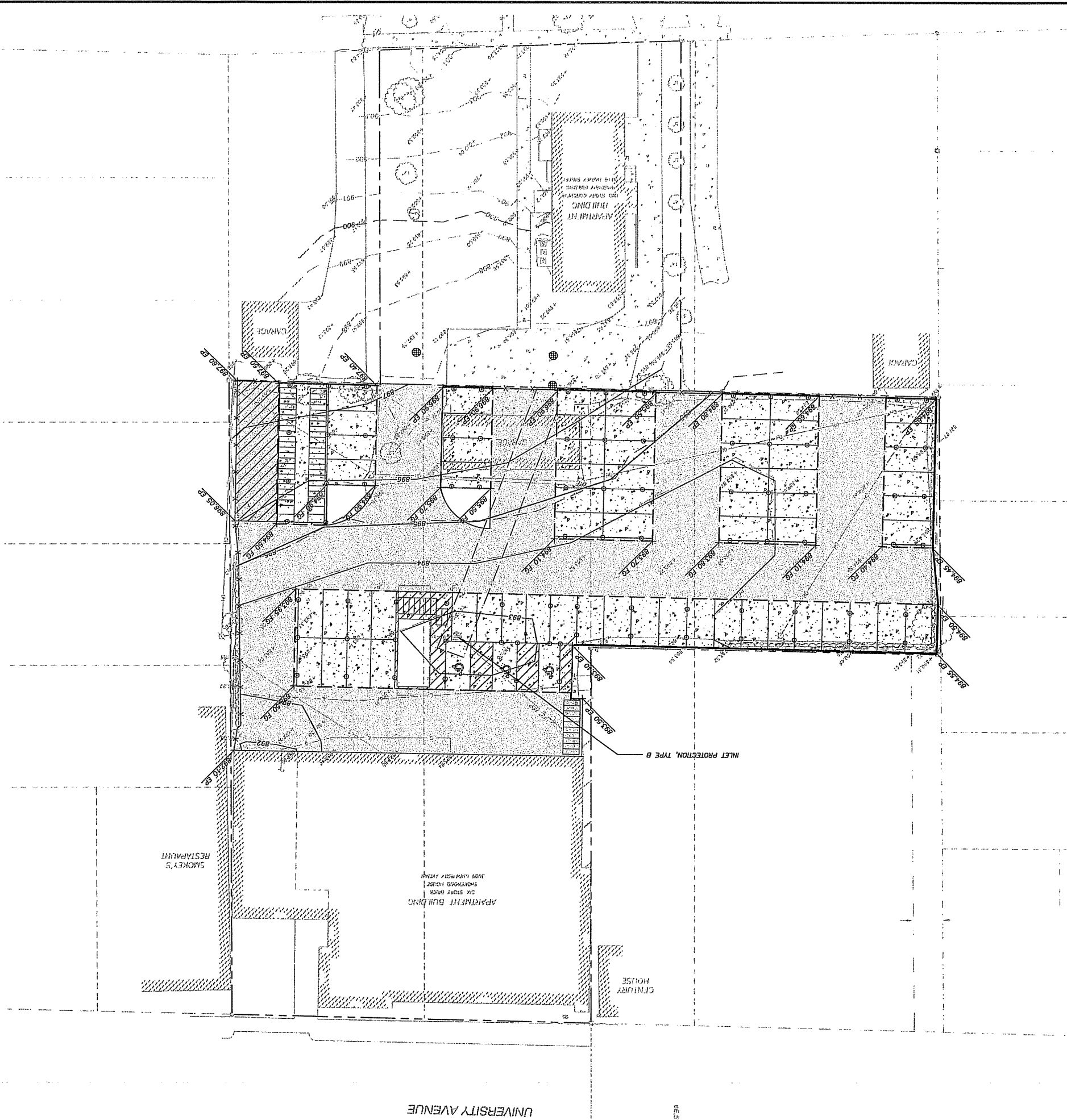
Parking Lot Plan Site Information Block

Site Address 3009 University Avenue
 Site acreage (total) 0.989
 Building height xx
 DUE Type of construction (new structures or additions) N/A
 Total square footage of building 11,000
 Use of property Apartments
 Gross Square Feet of office 0
 Number of employees in warehouse
 Number of employees in production area
 Capacity of restaurant/pieces of assembly
 Number of bicycle stalls shown 59
 Number of parking stalls shown

Small car	0
Large car	64
Accessible	3
Total	67

Number of trees shown xx

- LEGEND (PROPOSED)**
- PROPERTY LINE
 - ROOF OUTLINE
 - PROPOSED FENCE LINE
 - EDGE OF PAVEMENT
 - RETAINING WALL
 - 1 HOUR RATED FIRE WALL
 - PROPOSED ASPHALT PAVEMENT, 1.25" MIN. E.O.3; 1.5" 9.5 MM SURFACE; 1.75" 12.5 MM BINDER
- GENERAL NOTES**
- REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION, NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- SITE PLAN NOTES**
- CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER
 - EXTERIOR CONCRETE SURFACES SHALL HAVE A LIGHT BROOD FINISH.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
 - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - 2' x 4' TRUNCATED DOME SECTIONS SHALL BE PLACED AT ALL ADA RAMP.
 - BIKE RACK TO MEET CITY OF MADISON STANDARDS.



LEGEND (PROPOSED)

- PROPERTY LINE
- PROPOSED 1 FOOT CONTOUR
- PROPOSED 5 FOOT CONTOUR
- ROOF OUTLINE
- X-X- PROPOSED FENCE LINE
- EDGE OF PAVEMENT
- 1 HOUR RATED FIRE WALL
- RETAINING WALL
- SPOT ELEVATION
- EP - EDGE OF PAVEMENT
- FTE - FINISHED FLOOR ELEVATION
- SW - SIDEWALK
- FC - FINIAL GRADE
- RM - STRUCTURE RIM

K-69242-EP

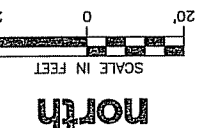
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 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wi.us/natural/streams/water/technicalstandards.htm>
 - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLANS. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WORK TECHNICAL STANDARDS.
 - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
 - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
 - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
 - INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DIRT BY THE CITY OF MADISON.
 - INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
 - INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WORK TECHNICAL STANDARDS.
 - EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DESIGNATE TRENCH WATER BASIN OR RETENTION TANK IN ACCORDANCE WITH TECHNICAL STANDARD NO. 1081 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
 - INSTALL TYPE B INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION.
 - APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMLATIC.
 - ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
 - ALL SLOPES EXCEEDING 5:1 (25%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS 1, TYPE B EROSION MATING OR APPLICATION OF A WOOD APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
 - CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WORK TECHNICAL STANDARD 1088.
 - CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.

- GRADING AND SEEDING NOTES**
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
 - ALL PROPOSED GRADERS ARE FINISHED GRADERS. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
 - CONTRACTOR SHALL WATER ALL NEWLY SEEDD AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
 - CONTRACTOR TO DEEP TILL ALL COMPACTED PAVED SURFACES PRIOR TO SEEDING AND MULCHING.

- PLAN MODIFICATIONS:**
- | | |
|--------------|----------|
| DESIGN: PGB | 11/20/13 |
| DRAWN: PGB | 11/20/13 |
| APPROVED: BD | 11/20/13 |
- DATE: 11/20/13

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.



GRADING & EROSION CONTROL PLAN

SHEET TITLE: GRADING & EROSION CONTROL PLAN

SHEET NUMBER: C-2.0A

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LANDSCAPE ARCHITECTURE
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• CIVIL ENGINEERING

SHOREWOOD HOUSE, LLP.

3009 UNIVERSITY AVE
MADISON, WI 53705

PROJECT LOCATION:
CITY OF MADISON,
DANE COUNTY, WI

10-4352

SEALS/SIGNATURE:

10-4352

3009 UNIVERSITY AVE
MADISON, WI 53705

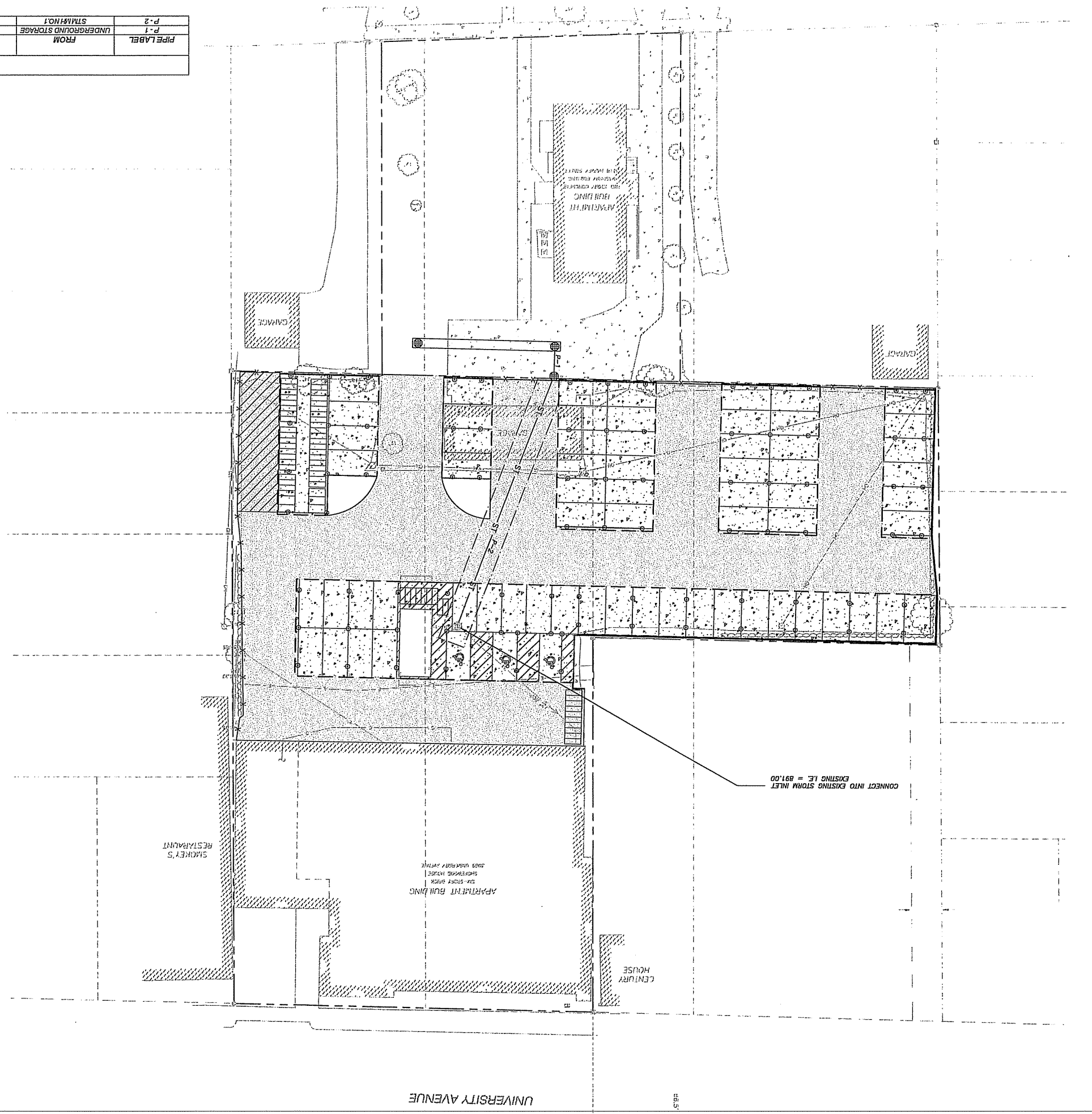
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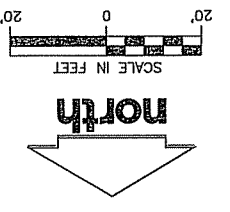
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BUILDING RELATIONS WITH
CONTRACTORS TO CLARIFY SATISFACTION
THROUGH TRUST, QUALITY AND EXPERIENCE



PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEVATION (FT)	ELEVATION (FT)	SLOPE (%)	PIPE SIZE & TYPE
P-1	UNDERGROUND STORAGE	STAMM NO.1	10	892.10	892.00	1.00%	8" PVC
P-2	STAMM NO.1	EXISTING INLET	98	891.98	891.00	1.00%	8" PVC

PROPOSED STORM SEWER PIPE SCHEDULE



- UTILITY NOTES**
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
 - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 - ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
 - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
 - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, HDSPS, AND WDMR.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING PLANS.
 - START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY IN INCLUDING BUT NOT LIMITED TO EXISTING SERVICE ABANDONMENT.
 - VERIFYING UTILTY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, PROGRESSIVE.
 - THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
 - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
 - ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS. PUBLIC IMPROVEMENTS ONLY SHOWN ON THIS PLAN FOR GRAPHIC PURPOSES. CONTRACTOR SHALL COORDINATE A PRECONSTRUCTION MEETING WITH CITY OF MADISON INSPECTOR A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES OR DOING OTHER WORK WITHIN THE PUBLIC RIGHT-OF-WAY. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-6.
 - WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE. REPORT DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
 - ALL PRIVATE SANITARY SEWER BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-6.
 - COORDINATE AND OBTAIN ALL PERMITS FOR EXISTING PRIVATE SERVICES TO BE ABANDONED WITH THE CITY OF MADISON.
 - DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDMR STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.

- GENERAL NOTES**
- REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
 - USD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISPARITY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION, NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- LEGEND (PROPOSED)**
- PROPERTY LINE
 - ROOF OUTLINE
 - EDGE OF PAVEMENT
 - 5' STORM SEWER EASEMENT
 - STORM SEWER
 - ROUND CATCH BASIN INLET

C-3.0A

SHEET NUMBER:

UTILITY PLAN

SHEET TITLE:

www.diggerahotline.com
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Milwaukee Area (414) 258-1181
Healing Impaired LTD (800) 542-2289

DIGGERS HOTLINE

DATE	PLAN MODIFICATIONS:
11/20/13	DESIGN: PGB
11/20/13	DRAWN: PGB
11/20/13	APPROVED: SB

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: PGB
DRAWN: PGB
APPROVED: SB
DATE: 11/20/13

SEALSIGNATURE: _____
USD PROJECT NO.: 10-4362
CITY OF MADISON
DANE COUNTY, WI

PROJECT LOCATION:
**3009 UNIVERSITY AVE
PARKING LOT**

PROJECT:
**3009 UNIVERSITY AVE
MADISON, WI 53705**

SHOREWOOD
HOUSE, LLP.
SERVICES PROVIDED TO:
www.jsdinc.com

MAISON MILWAUKEE
KENOSHA APPLETON
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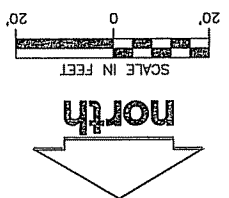
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GENERAL NOTES

1. REFER TO THE BOUNDARY, TOPOGRAPHIC, SITE PLAN, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.



LANDSCAPE PLANT LIST - 3009 UNIVERSITY AVE

SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	POINTS
EX	2	Existing Large Deciduous Trees				14
BH	2	Bowhall Maple	<i>ACER rubrum 'Bowhall'</i>	2-1/2" Cal.	B&B	35
HA	12	Holmstrup Arborvitae	<i>THUJA occidentalis 'Holmstrup'</i>	3-4" Min. HL.	B&B	120
TY	5	Taunton Yew	<i>TAXUS x media 'Taunton'</i>	12-24" Min HL.	# 3 Cont.	20
AC	6	Alpha Currant	<i>RIBES alpinum</i>	12-24" Min HL.	# 3 Cont.	18
AVR	14	Visions in White	<i>ASTILBE x chinensis 'Visions in White'</i>	8-18" Min HL.	# 1 Cont.	28
CM	28	Korean Feather Reed Grass	<i>CALAMAGROSIS brachylocha</i>	8-18" Min HL.	# 1 Cont.	56
LF	72	Cedar Picket Fence				29
TOTAL:						487

22x14=308
146 POINTS ALLOWED FOR (30% OF 487 = 146)
EXISTING TREE TOTAL 70
PLAN MODIFICATIONS:
DATE: 11/20/13
DESIGN: KLY
DRAWN: KLY
APPROVED: MMS
DATE: 11/20/13

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MADISON, WI 53705

PROJECT: **3009 UNIVERSITY AVE PARKING LOT AND FIRE LANE**
PROJECT LOCATION: **CITY OF MADISON DANE COUNTY, WI**
JSD PROJECT NO.: **10-4362**

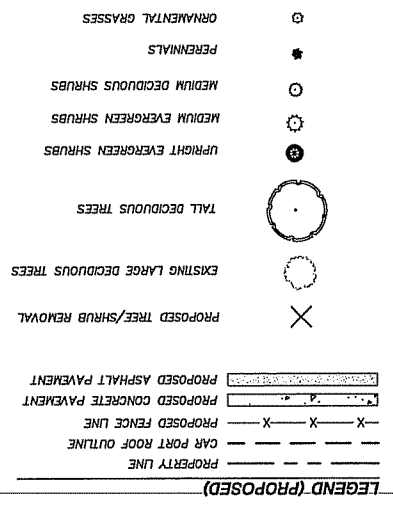
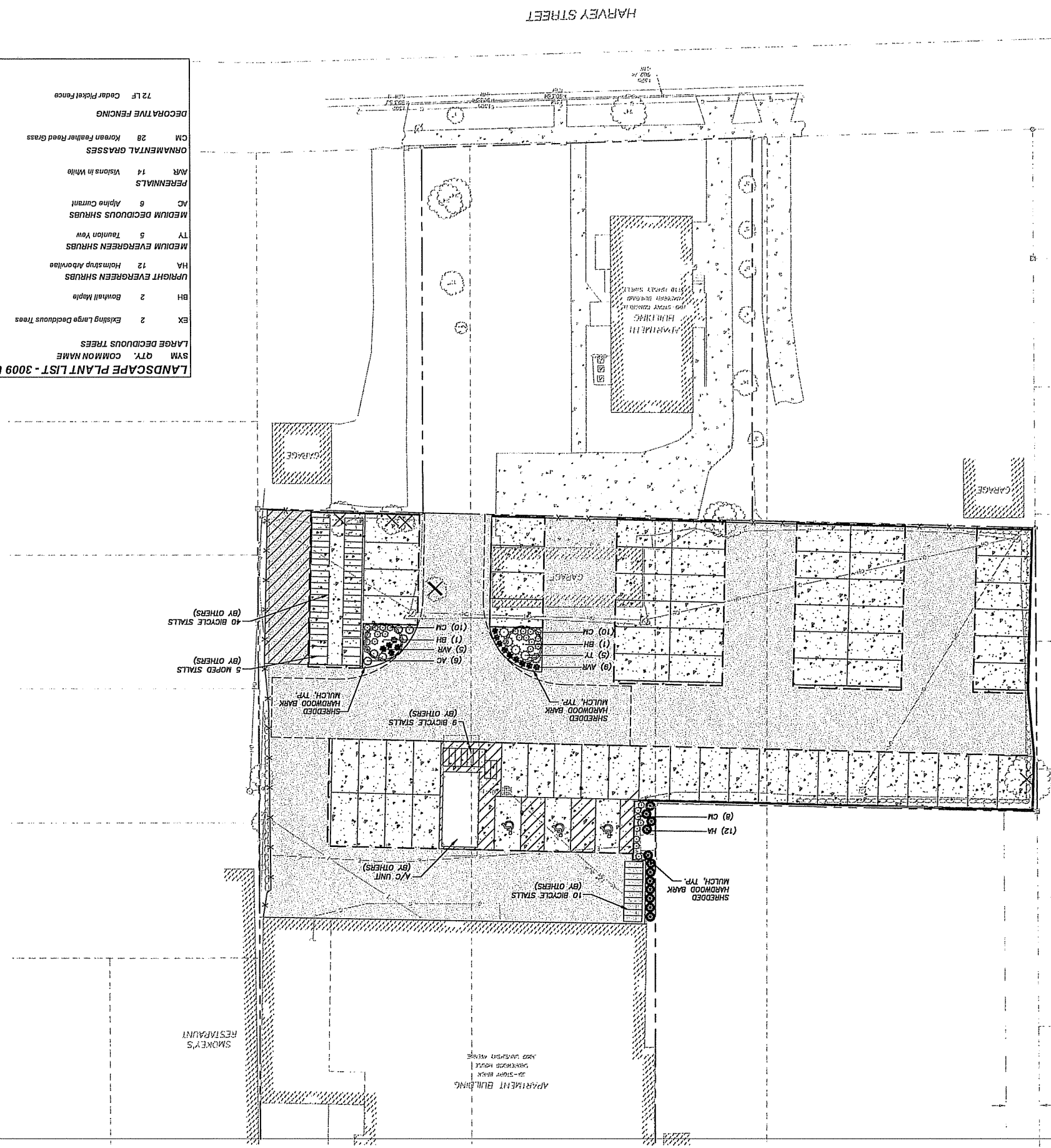
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LANDSCAPE PLAN
SHEET TITLE:
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Milwaukee Area (414) 258-1181
Hearing Impaired TDD (800) 542-2289

SHEET NUMBER: **L-1.0A**

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

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DATE: 11/20/13



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 3009 UNIVERSITY AVE.
 MADISON, WI 53705

PROJECT:
**3118 HARVEY STREET
 FIRE LANE**

PROJECT LOCATION:
 CITY OF MADISON, WI
 DANF COUNTY, WI
 JSD PROJECT NO.: 10-4352

SEALS/SIGNATURES:

DESIGN:	PGS	11/20/13
DRAWN:	PGS	11/20/13
APPROVED:	BD	11/20/13

PLAN MODIFICATIONS:

DATE:	
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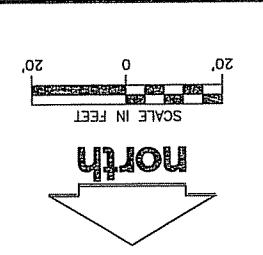
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SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
C-0.1B

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LEGEND (PROPOSED)

PROPERTY LINE

SAWCUT

CONCRETE/BASE REMOVAL

GENERAL NOTES

1. REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY BY JSD PROFESSIONAL SERVICES DATED 11-05-13 FOR EXISTING CONDITIONS NOTES AND LEGEND.

2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.

3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.

4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

DEMOLITION NOTES

1. THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY. RECOMMENDATIONS, "DIAGNOSTIC" LOCATION, AND GENERAL "STANDARD OF CARE", THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER PERSON'S RESPONSIBILITY TO REMOVE. THE CONTRACTOR/SURVEYOR'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ITEMS IDENTIFIED BY THE CONTRACTOR/SURVEYOR SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD, AND TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.

2. ALL PERMITS REQUIRED SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES.

3. CONTRACTOR SHALL KEEP ALL STREETS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.

4. REMOVE TREE PRUNING IN ALL LOCATIONS WHERE PROPOSED PAVEMENT AND/OR UTILITY INSTALLATION ENJOACH WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN. ALL TRENCHING WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN SHALL BE DONE RADICALLY AWAY FROM THE TRUNK IF ROOTS IN EXCESS OF 1" DIAMETER ARE EXPOSED. ROOTS MUST BE CUT BY REPUTABLE TREE PRUNING SERVICE PRIOR TO ANY TRANSVERSE TRENCHING.

5. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. COORDINATE RELOCATION AND/OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.

6. BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS. DISCONNECT ALL UTILITIES OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. NO PORTIONS OF THE BUILDING SHALL NOT BE BURIED ON SITE. ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.

7. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.

8. CONTRACTOR TO REMOVE EXISTING UTILITY PIPE BACK-FILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".

9. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS. DEMOLITION AND REMOVAL THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

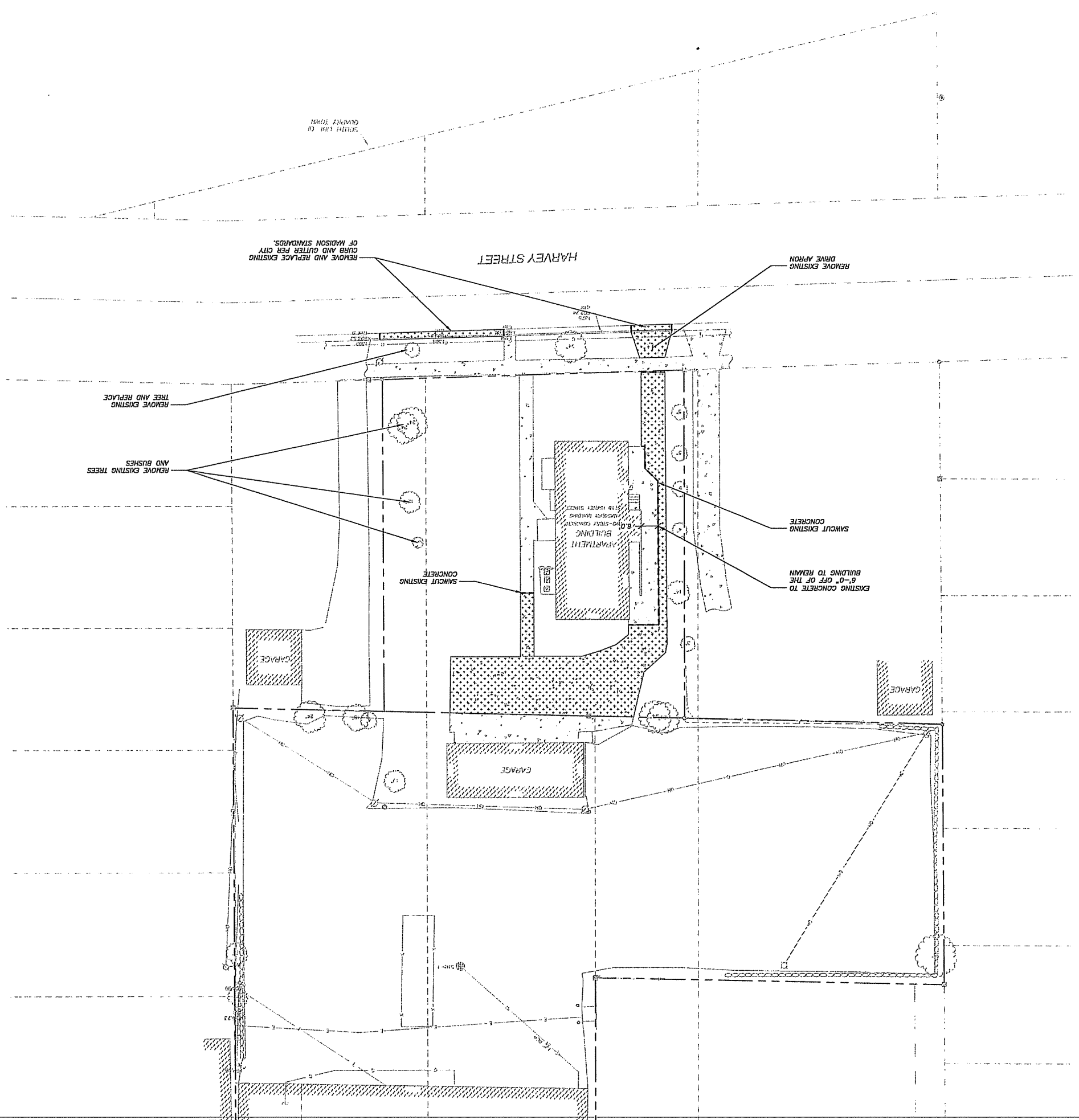
10. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS.

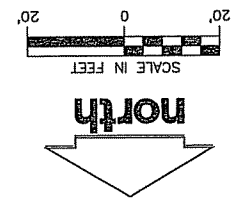
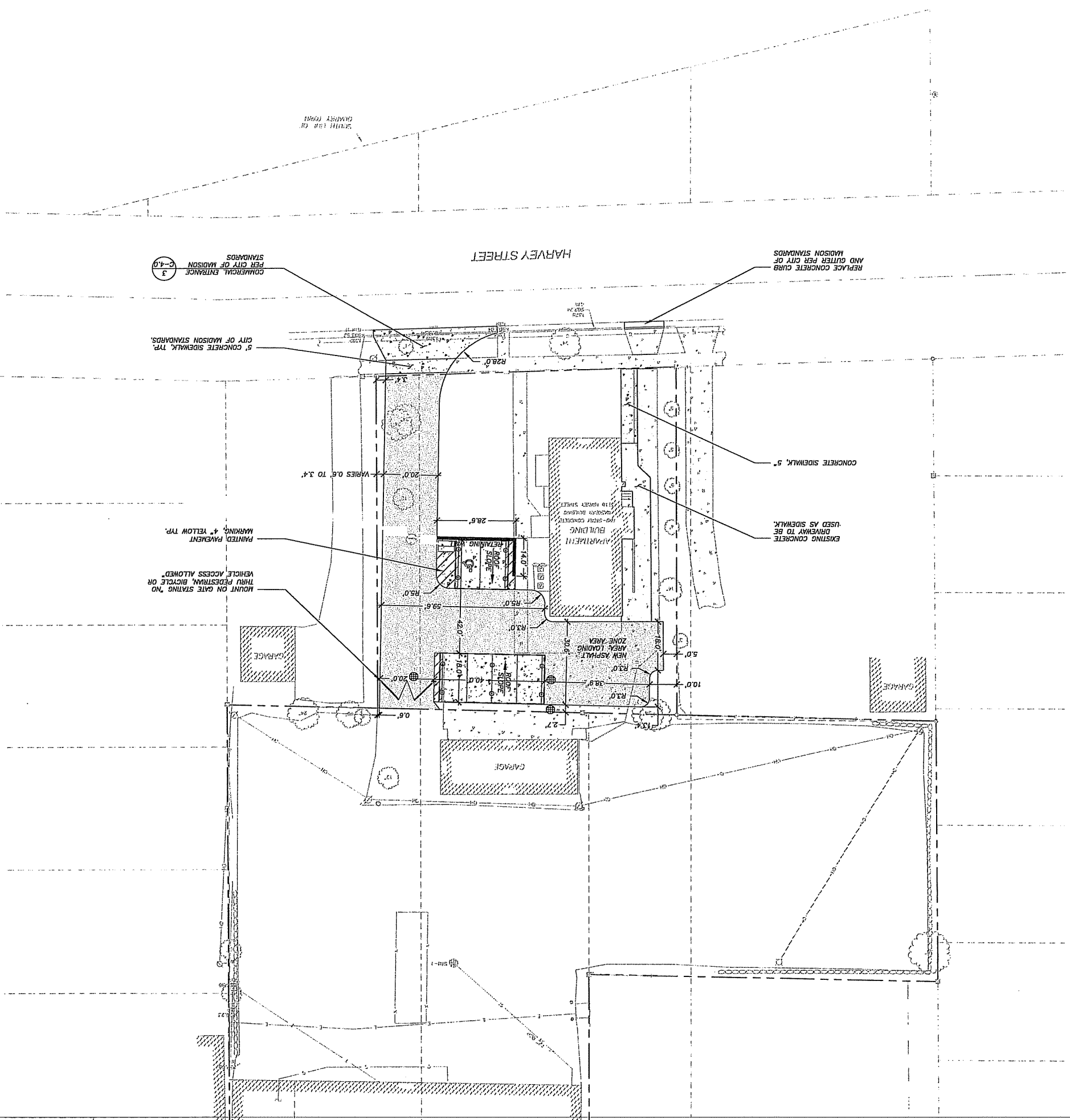
11. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 • EXAMINING ALL CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 • VERIFYING UTILITY ELEVATIONS AND NOTING ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 • NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 • NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
 9. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER OR OTHER UTILITIES WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
 10. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
 11. WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION.
 12. SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION.
 13. CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION. THIS SHOULD BE REMOVED PRIOR TO CONSTRUCTION. ALL INCLUDED WATER AND SEWER ABANDONMENT/RECONNECTION.
 CONTRACTOR SHALL SHUT THE CORPORATION VALVE AT THE MAIN AS PART OF THE BUILDING FOOTPRINT. THE CONTRACTOR SHALL SHUT THE CORPORATION VALVE AT THE MAIN AS PART OF THE ABANDONMENT/RECONNECTION.

INDEX OF SHEETS

C-0.1 - DEMOLITION PLAN
 C-1.0 - SITE PLAN
 C-2.0 - GRADING & EROSION CONTROL PLAN
 C-3.0 - UTILITY PLAN
 C-4.0 - DETAILS
 L-1.0 - LANDSCAPE PLAN
 L-2.0 - LANDSCAPE DETAILS AND SPECIFICATIONS

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR IN REGARDING EVERY EFFORT HAS BEEN MADE AND BE RESPONSIBLE FOR THE SAME.





Parking Lot Plan Site Information Block

Site Address: 3118 Harvey Street
 Site acreage (total): 0.318

Number of building stories (above grade): 2
 Building height: xx
 D.U.R. type of construction (new structures or additions): N/A
 Total square footage of building: 1,830
 Use of property: Apartments

Gross Square Feet of office: 0
 Number of employees in warehouse: 0
 Number of employees in production area: 0
 Capacity of restaurant/place of assembly: 0
 Number of bicycle stalls shown: 8 (inside building)
 Number of parking stalls shown: 0

Small car	0
Large car	5
Accessible	1
Total	6

Number of trees shown: xx

- LEGEND (PROPOSED)**
- PROPERTY LINE
 - ROOF OUTLINE
 - PROPOSED FENCE LINE
 - EDGE OF PAVEMENT
 - 8" FOM-DU-LAC DRYWALL STONE, DRY STACKED, RETAINING WALL
 - PROPOSED CONCRETE PAVEMENT, 5" NON REINFORCED
 - PROPOSED ASPHALT PAVEMENT, 3.25" MIN, E.O.3, 1.5" 9.5 MM SURFACE, 1.75", 12.5 MM BINDER
- GENERAL NOTES**
- REFER TO THE BOUNDARY, TOPOGRAPHIC, & UTILITY SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND PERFORMED BY A CITY LICENSED CONTRACTOR.
 - USE SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DENIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION, NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
 - DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- SITE PLAN NOTES**
- CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - EXTERIOR CONCRETE SURFACES SHALL HAVE A LIGHT BROOM FINISH.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
 - USE 4" WDC, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - 2' x 4' TRUNCATED DOME SECTIONS SHALL BE PLACED AT ALL ADA RAMPS.
 - BIKE RACK TO MEET CITY OF MADISON STANDARDS.

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PROJECT: 3118 HARVEY STREET FIRE LANE
 PROJECT LOCATION: CITY OF MADISON DANE COUNTY, WI
 JSD PROJECT NO.: 10-4352

SEAL/SIGNATURE: _____
 JSD PROJECT NO.: 10-4352

DESIGN: PGB 11/20/13
 DRAWN: PGB 11/20/13
 APPROVED: BD 11/20/13

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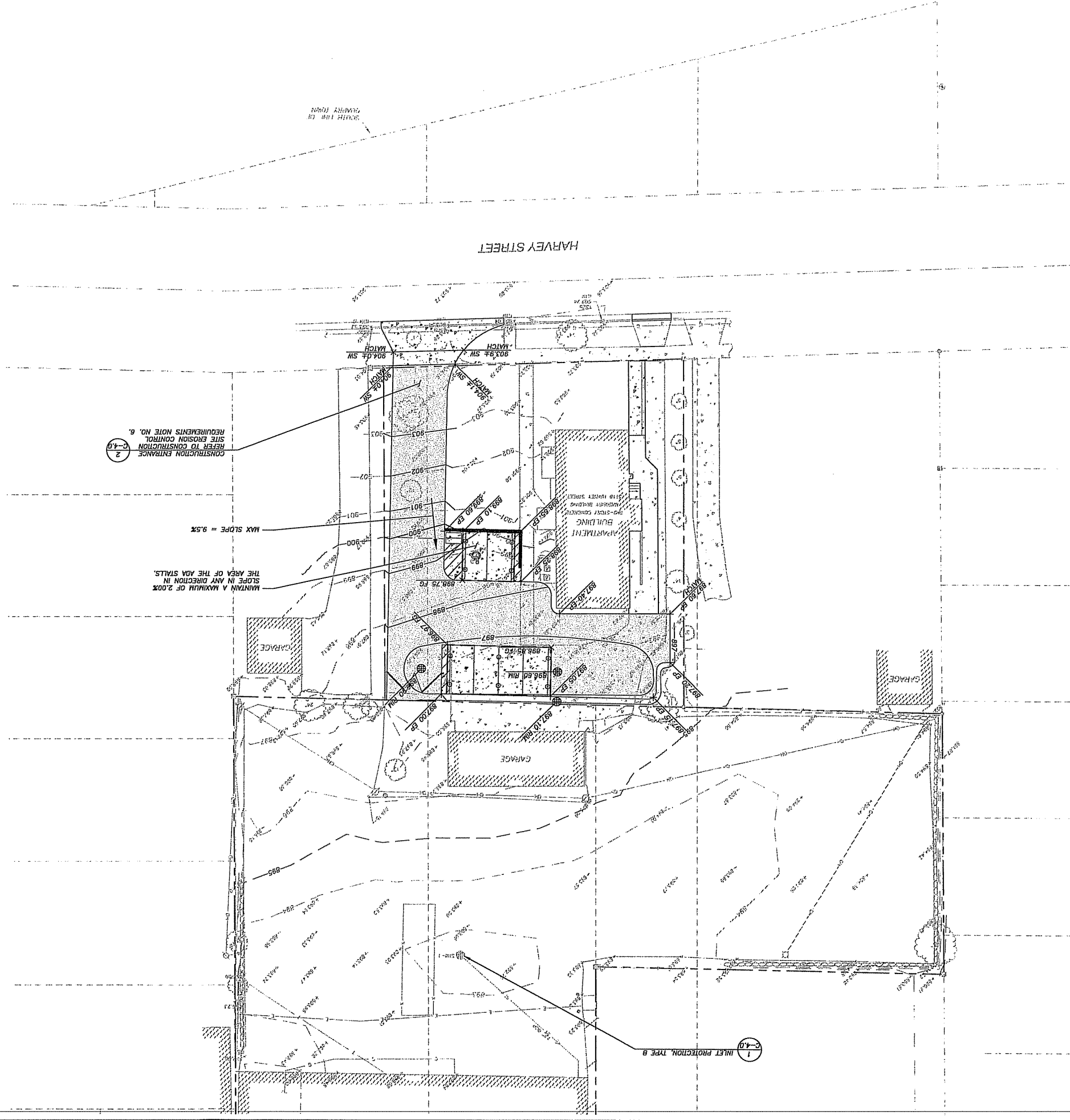
PLAN MODIFICATIONS: _____ DATE: _____

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SHEET TITLE: SITE PLAN

SHEET NUMBER: C-1.0B

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- GRADING AND SEEDING NOTES**
1. ALL DISTURBED AREAS SHALL BE SEEDED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
 2. ALL PROPOSED GRADES, CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
 3. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
 4. CONTRACTOR SHALL WATER ALL NEWLY SEEDS AREAS DURING THE SUMMER MONTHS WHEREVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
 5. CONTRACTOR TO DEEP TILL ALL COMPACTED PAVED SURFACES PRIOR TO SEEDING AND MULCHING.

- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND IMPLEMENTED IN ACCORDANCE WITH THE CURRENT DEPARTMENT OF NATURAL RESOURCES EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS WHICH ARE AVAILABLE AT: <http://www.dnr.state.wisconsin.gov/stormwater/technicalstandards>
 2. INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDMR TECHNICAL STANDARDS.
 3. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
 4. INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
 5. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
 6. INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 2" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DIRT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
 7. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES AND PROVIDE TEMPORARY SEEDING ON STOCKPILES WHICH ARE TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.
 8. INSTALL CHECK DAMS WITHIN DRAINAGE DITCHES AND IN FRONT OF SILT FENCING IN ANY LOW AREA ALL IN ACCORDANCE WITH WDMR TECHNICAL STANDARDS.
 9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):
 - A. PLACE EXCAVATED TRENCH MATERIAL ON THE SIDE OF THE TRENCH.
 - B. BACKFILL COMPLETE AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM OR DRAINAGE DITCH.
 10. INSTALL TYPE D INLET PROTECTION AROUND ALL STORM SEWER INLETS AND CATCH BASINS THAT MAY RECEIVE RUNOFF FROM AREAS UNDER CONSTRUCTION.
 11. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMLATIC.
 12. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEERS SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
 13. ALL SLOPES EXCEEDING 4:1 (25%) AND DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS 1, TYPE B EROSION MATTING OR APPLICATION OF A WOOL APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
 14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDMR TECHNICAL STANDARD 1068.
 15. CONTRACTOR TO PROVIDE SOLID LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.

- GENERAL NOTES**
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- LEGEND (PROPOSED)**
- PROPERTY LINE
 - PROPOSED 1 FOOT CONTOUR
 - PROPOSED 5 FOOT CONTOUR
 - PROPOSED 5 FOOT CONTOUR
 - ROOF OUTLINE
 - PROPOSED FENCE LINE
 - EDGE OF PAVEMENT
 - RETAINING WALL
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED ASPHALT PAVEMENT
 - SOFT ELEVATION
 - SP - EDGE OF PAVEMENT
 - FE - FINISHED FLOOR ELEVATION
 - SW - SIDEWALK
 - FG - FINAL GRADE
 - RM - STRUCTURE RIM

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 MADISON, WI 53705

CITY OF MADISON, WI
 JSD PROJECT NO.: 10-4352

318 HARVEY STREET
FIRE LANE
 PROJECT LOCATION:

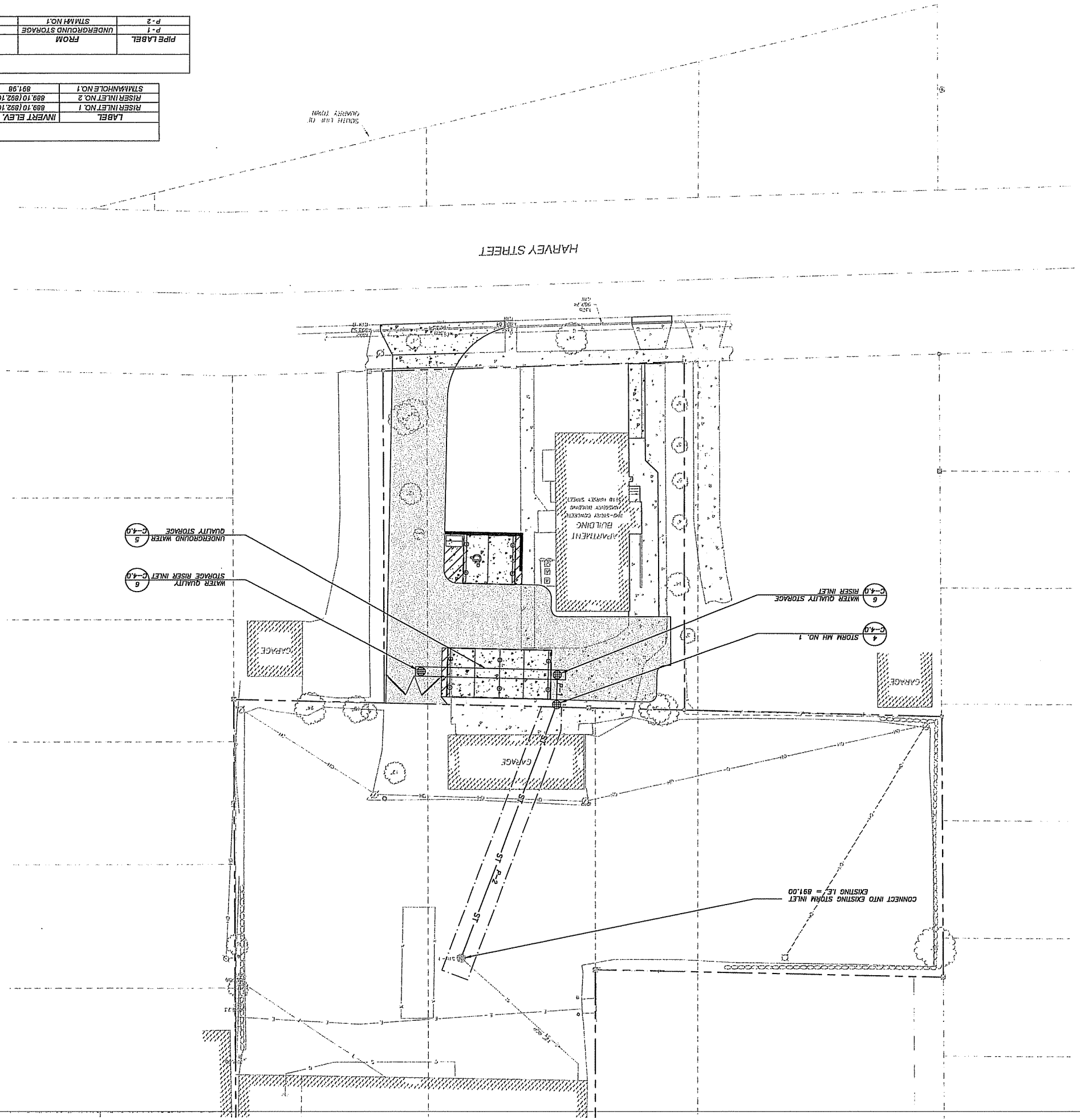
SEAL/SIGNATURE: _____
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 DATE: _____
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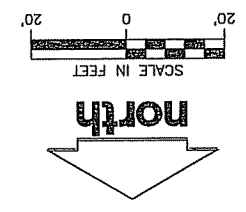
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PROPOSED STORM SEWER PIPE SCHEDULE									
PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEVATION (FT)	ELEVATION (FT)	SLOPE (%)	PIPE SIZE & TYPE	8" PVC	1.00%
P-2	UNDERGROUND STORAGE	ST-1	10	891.98	892.00	0.00%	8" PVC		
P-1	EXISTING INLET	ST-1	10	891.98	892.00	0.00%	8" PVC		

PROPOSED STORM SEWER STRUCTURES SCHEDULE									
LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	DEPTH (FT)	STRUCTURE DESCRIPTION	GRATE				
RISER INLET NO. 1	899.10 (892.10)	899.50	7.40 (4.40)	36" C/P RISER	R-2378, INLET FRAME TYPE C GRATE				
RISER INLET NO. 2	899.10 (892.10)	899.50	7.40 (4.40)	36" C/P RISER	R-2378, INLET FRAME TYPE C GRATE				
ST-1	891.98	892.10	5.12	24" DIA MANHOLE	R-1689, CLOSED, TYPE B GRATE				



- UTILTY NOTES**
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
 - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
 - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
 - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WSPS, AND WWR.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY IN INCLUDING BUT NOT LIMITED TO EXISTING SERVICE ABANDONMENT.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS TO AVOID COLLISIONS AND DAMAGE TO EXISTING UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED. IF REQUIRED, ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
 - THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
 - ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
 - ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARDS. PUBLIC IMPROVEMENTS ONLY SHOWN ON THIS PLAN FOR GRAPHIC PURPOSES. CONTRACTOR SHALL COORDINATE A PRECONSTRUCTION MEETING WITH CITY OF MADISON INSPECTOR A MINIMUM OF 48 HOURS BEFORE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30, TABLE 384.30-6. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR TO FIELD VERIFY LOCATION AND SIZE. REPORT DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
 - ALL PRIVATE SANITARY SEWER BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30, TABLE 384.30-6. COORDINATE AND OBTAIN ALL PERMITS FOR EXISTING PRIVATE SERVICES TO BE ABANDONED WITH THE CITY OF MADISON.
 - DEWATERING, IF APPLICABLE, SHALL BE CONDUCTED PER WDRN STORM WATER MANAGEMENT TECHNICAL STANDARD 1061.

LEGEND (PROPOSED)

- PROPERTY LINE
- ROOF OUTLINE
- EDGE OF PAVEMENT
- 5" STORM SEWER EASEMENT
- STORM SEWER
- ROUND CATCH BASIN INLET

C-3.0B

SHEET NUMBER

UTILITY PLAN

SHEET TITLE:

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11/20/13	APPROVED: BD

SEALS/NATURE:

JOB PROJECT NO.: 10-4352

PROJECT LOCATION: CITY OF MADISON, WI DANE COUNTY, WI

PROJECT: 318 HARVEY STREET FIRE LANE

3009 UNIVERSITY AVE. MADISON, WI 53705

SERVICES PROVIDED TO: SHOREWOOD HOUSE, LLP.

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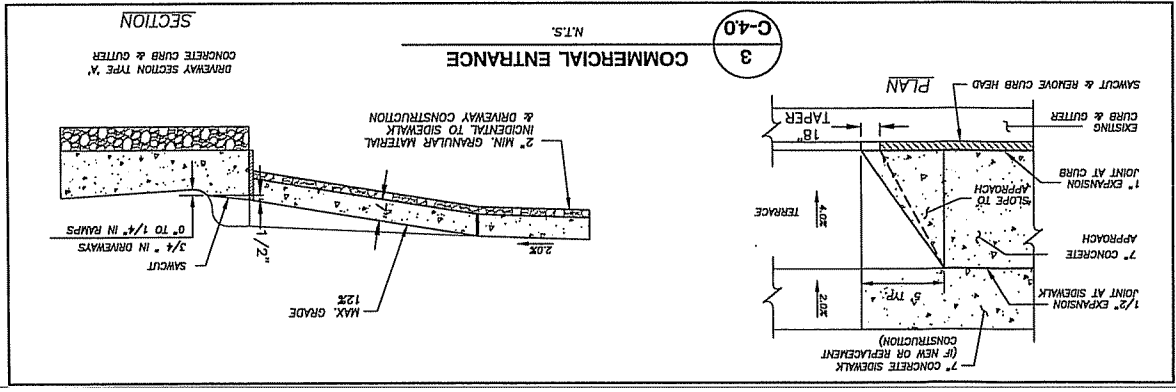
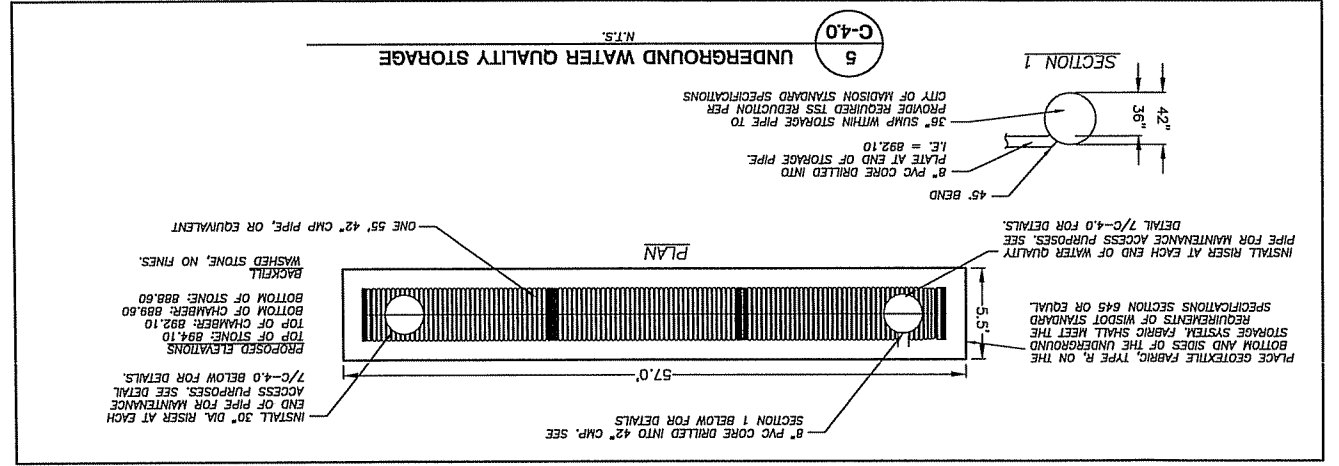
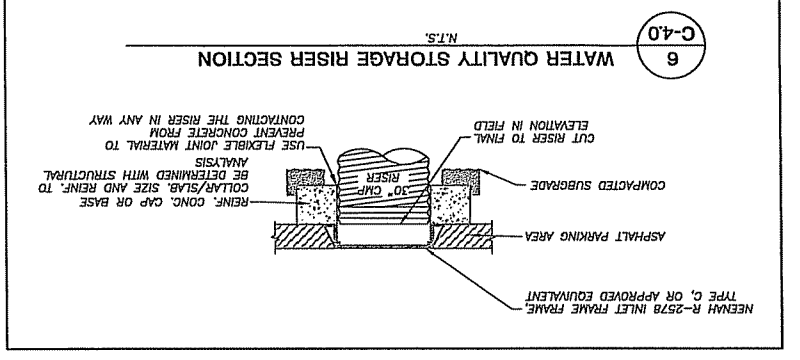
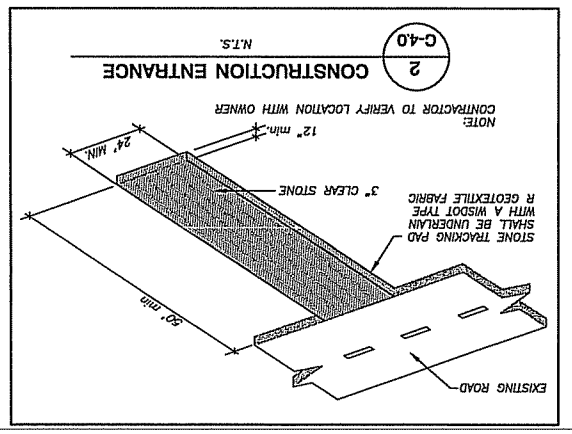
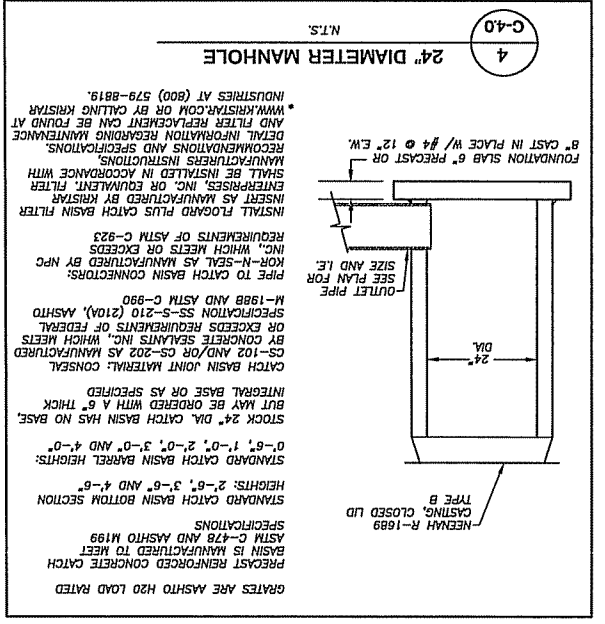
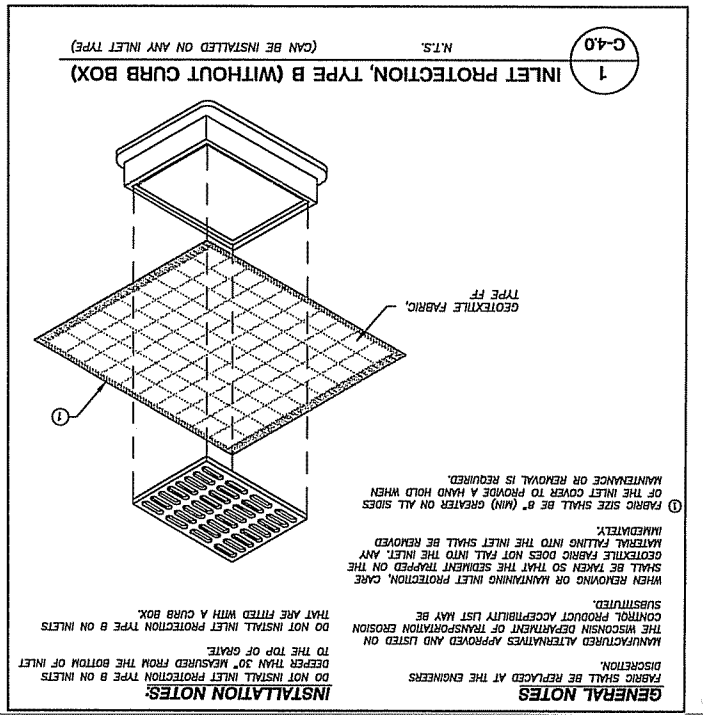
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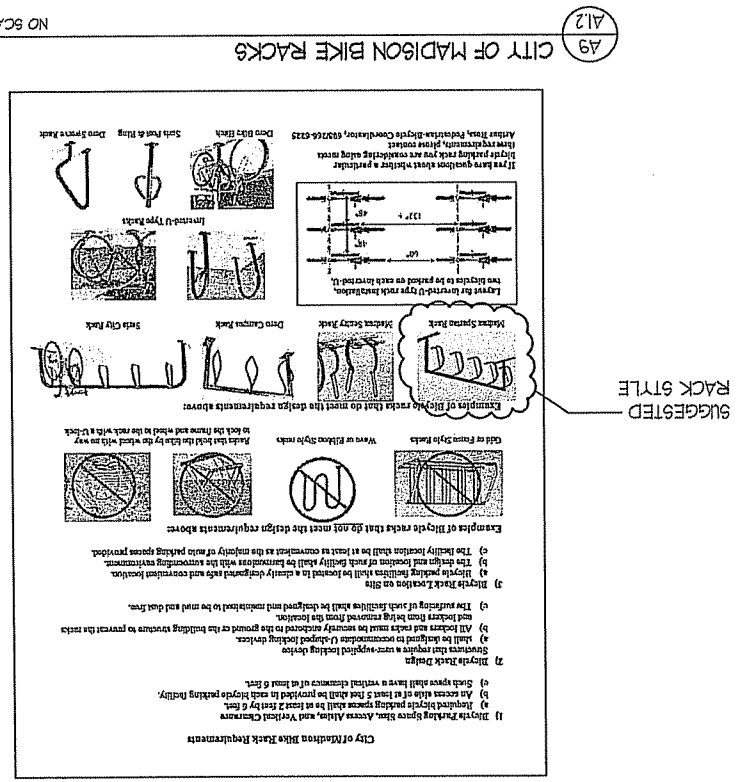
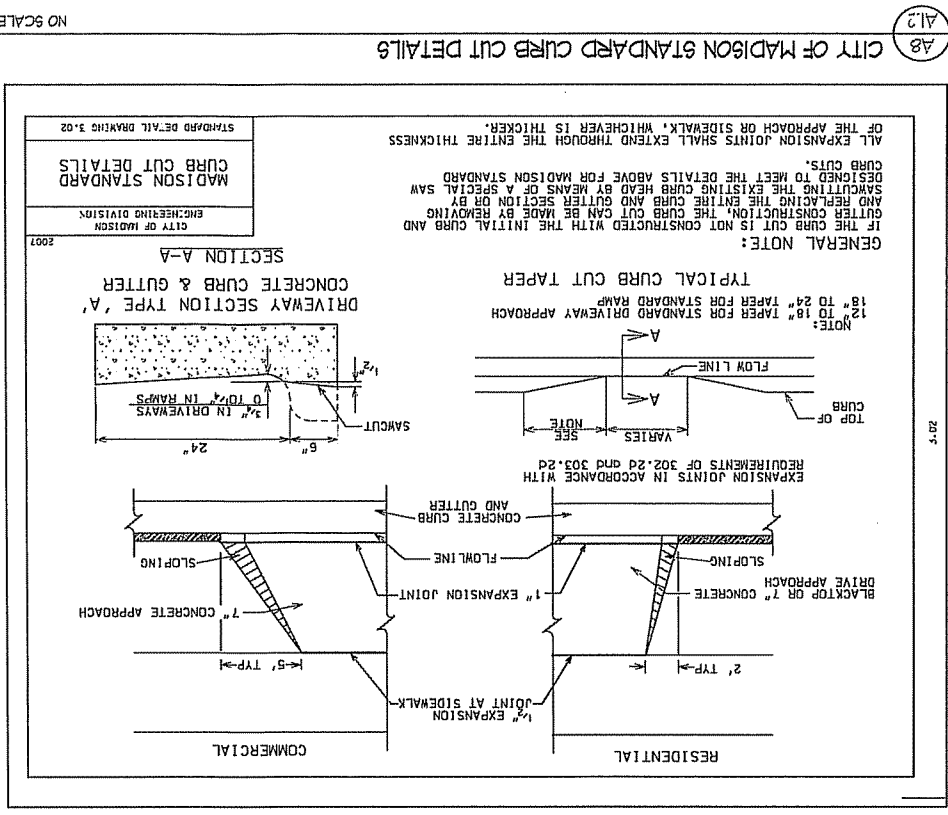
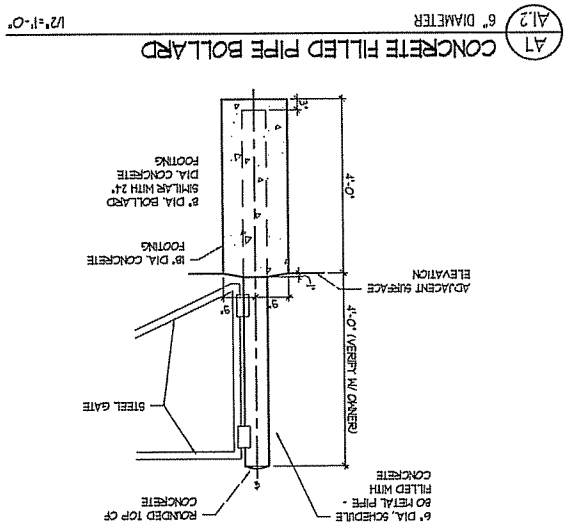
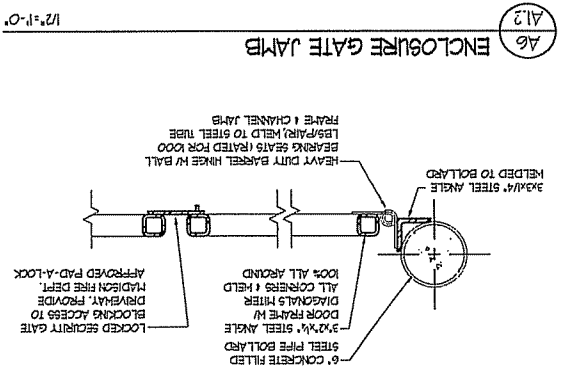
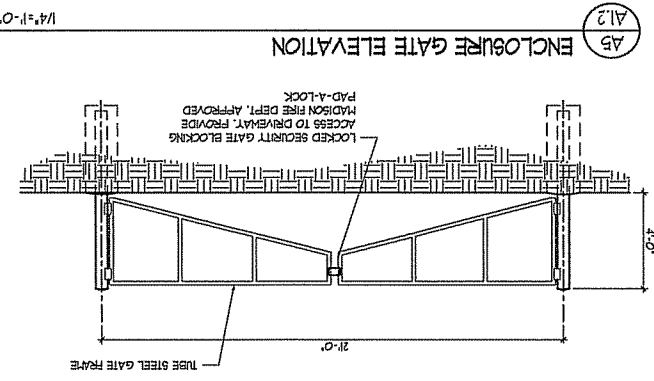
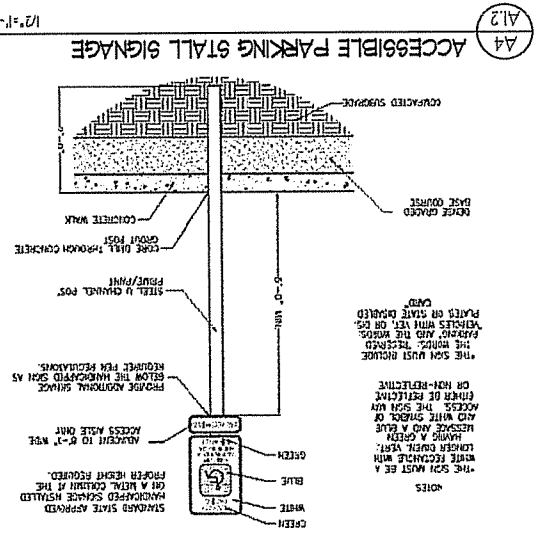
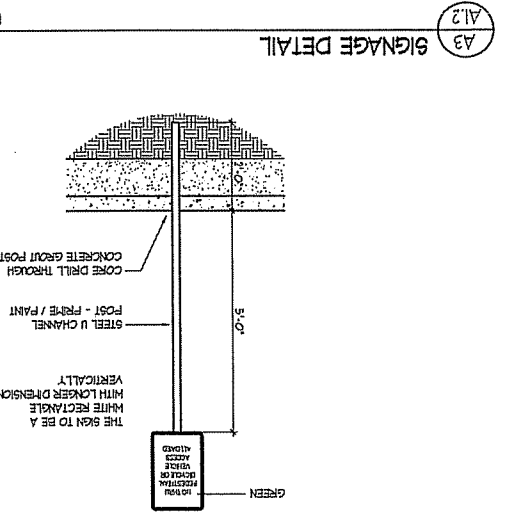
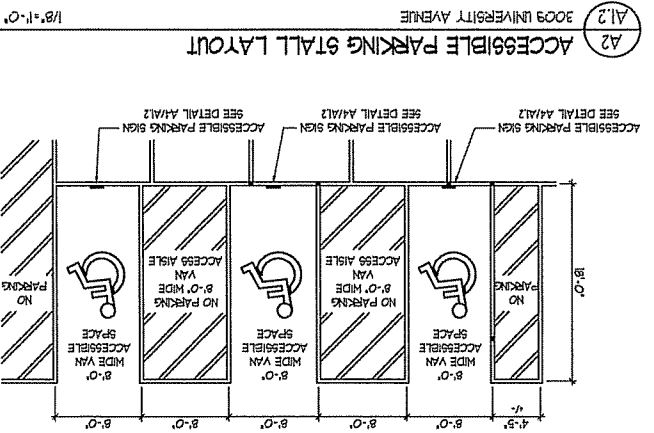
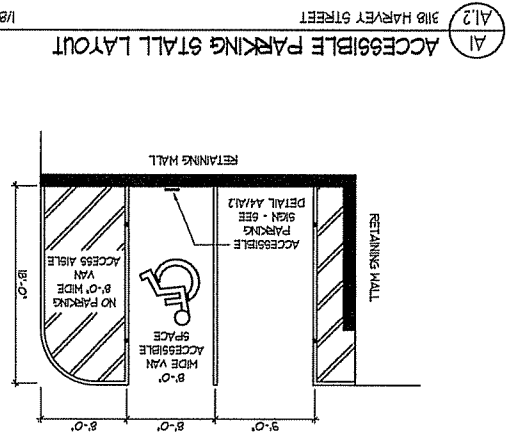


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 CITY OF MADISON
 DANE COUNTY, WI
 JSD PROJECT NO.: 10-4352
 SPECIALIST SIGNATURE: _____
 DATE: 11/20/13
 DESIGN: PGB
 DRAWN: PGB
 APPROVED: BD
 DATE: 11/20/13
 PLAN MODIFICATIONS: _____
 SHEET TITLE: DETAILS
 SHEET NUMBER: C-4.0B

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Date: 12/03/2013
Drawn by: AJR

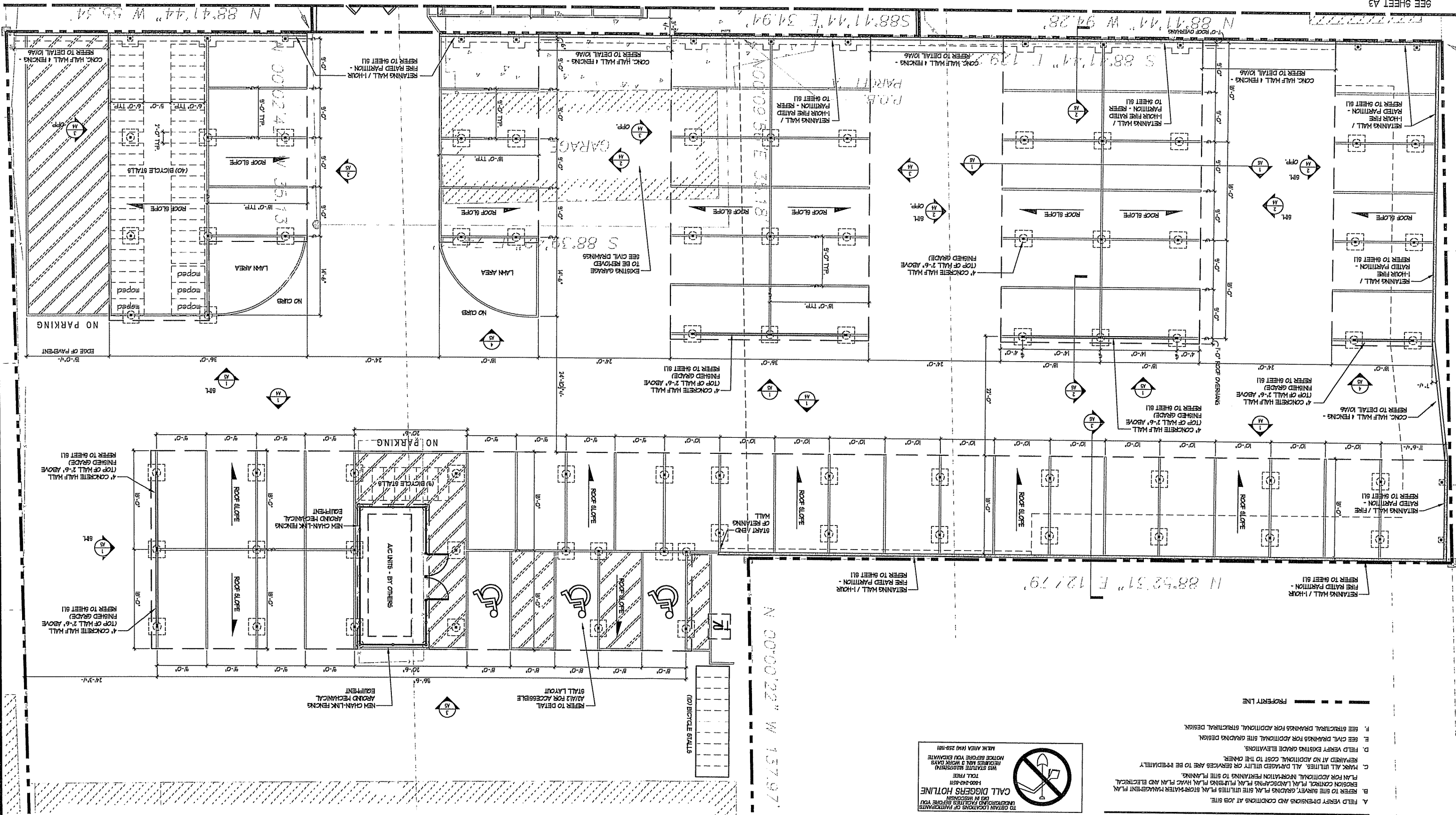
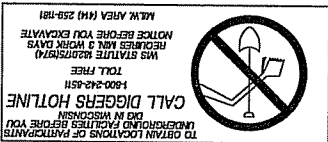
PROJECT:
Site Improvements for 3009 University Avenue /
3118 Harvey Street Properties
MADISON, WI 53705

OWNER:
SHOREWOOD HOUSE, LLP,
3009 University Avenue
Madison, WI 53705
Duke Dykstra
duke@cleanplace.com

ARCHITECT:
RUSS OWENS, AIA, CCCA, LEEDAP
413 RAVINE ST.
JANESVILLE, WI 53548
608-219-1316
rowensr@sglobal.net

GENERAL NOTES

- A. FIELD VERIFY DIMENSIONS AND CONDITIONS AT JOB SITE.
- B. REFER TO SITE SURVEY, GRADING PLAN, SITE UTILITIES PLAN, STORMWATER MANAGEMENT PLAN, EROSION CONTROL PLAN, LANDSCAPING PLAN, PLUMBING PLAN, HVAC PLAN AND ELECTRICAL PLAN FOR ADDITIONAL INFORMATION PERTAINING TO SITE PLANNING.
- C. MARK ALL UTILITIES. ALL DAMAGED UTILITY OR SERVICES ARE TO BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- D. FIELD VERIFY EXISTING GRADE ELEVATIONS.
- E. SEE CIVIL DRAWINGS FOR ADDITIONAL SITE GRADING DESIGN.
- F. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL DESIGN.



3009 UNIVERSITY AVE. - CARPORT FLOOR PLAN
SCALE: 1/8" = 1'-0"

<p>HOPED STALLS</p> <p># OF HOPED STALLS REQUIRED: N/A</p> <p># OF HOPED STALLS PROVIDED: (9 COVERED / 0 NOT COVERED)</p> <p>TOTAL AREA COVERED BY CAR PORTS: 105 SQ. FT.</p>	<p>BICYCLE STALLS</p> <p># OF BICYCLE STALLS REQUIRED: 40</p> <p># OF BICYCLE STALLS PROVIDED: (39 COVERED / 1 NOT COVERED)</p> <p>TOTAL AREA COVERED BY CAR PORTS: 556 SQ. FT.</p>	<p>PARKING STALLS</p> <p># OF PARKING STALLS REQUIRED: 1</p> <p># OF PARKING STALLS PROVIDED: (1 COVERED / 0 NOT COVERED)</p> <p>TOTAL AREA COVERED BY CAR PORTS: 1107 SQ. FT.</p>
--	--	---

Sheet No.: **A2**
Date: 12/03/2013
Drawn by: AIR

PROJECT:
Site Improvements for 3009 University Avenue / 3118 Harvey Street Properties
MADISON, WI 53705

OWNER:
SHOREWOOD HOUSE, LLP.
3009 University Avenue
Madison, WI 53705
Duke Dykstra
duke@cleanplaces.com

ARCHITECT:
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413 RAVINE ST.
JANESVILLE, WI 53548
608-219-1316
rowenstra@sbcglobal.net



TO OBTAIN LOCATIONS OF PARTICIPANTS
UNDERGROUND UTILITIES BEFORE YOU
DIG AN HOLES
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS STATE REGISTRATION
REQUIRES MAINTENANCE
HOLES BEFORE YOU EXCAVATE
MILW AREA (44) 259-181

- GENERAL NOTES**
- A. FIELD VERIFY DIMENSIONS AND CONDITIONS AT JOB SITE.
 - B. REFER TO SITE SURVEY, GRADING PLAN, SITE UTILITIES PLAN, STORMWATER MANAGEMENT PLAN, EROSION CONTROL PLAN, LANDSCAPING PLAN, FLOODING PLAN, HVAC PLAN AND ELECTRICAL PLAN FOR ADDITIONAL INFORMATION PERTAINING TO SITE PLANNING.
 - C. MARK ALL UTILITIES. ALL DAMAGED UTILITIES OR SERVICES ARE TO BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
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 - E. SEE CIVIL DRAWINGS FOR ADDITIONAL SITE GRADING DESIGN.
 - F. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL DESIGN.

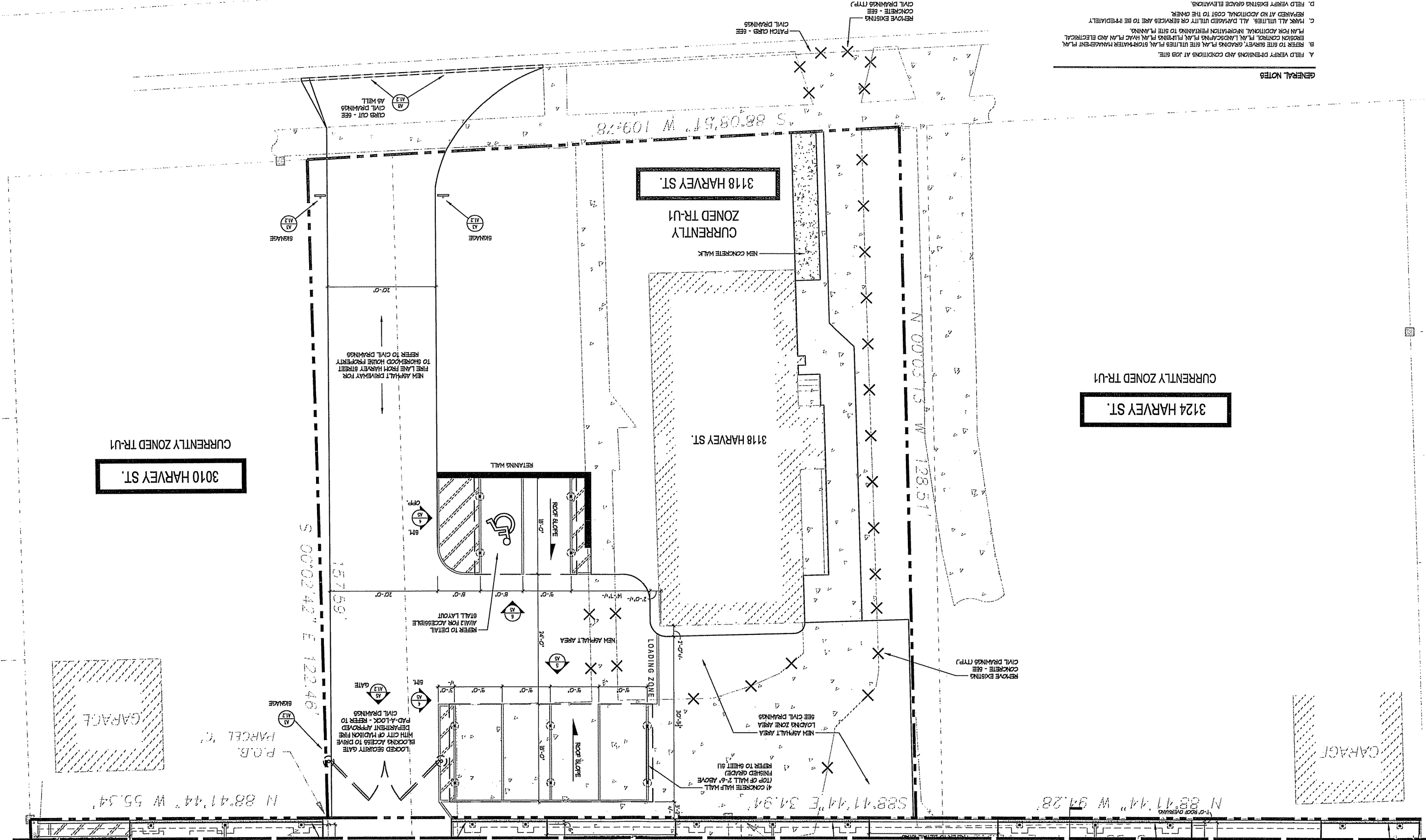
PROPERTY LINE

SCALE: 1/8" = 1'-0"
1
A3
3118 HARVEY STREET PARKING / FIRE LANE



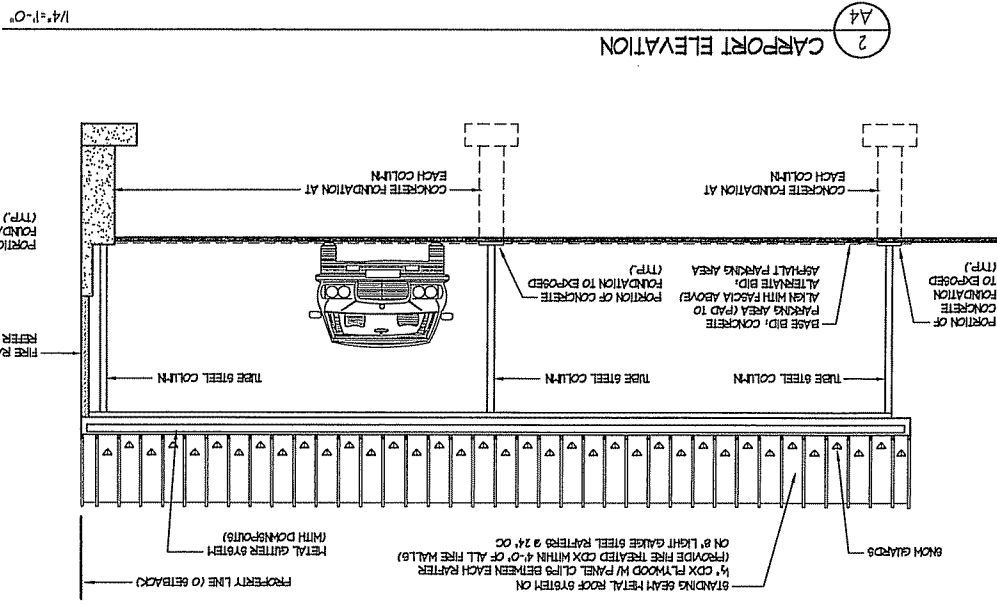
PARKING STALLS	# OF PARKING STALLS REQUIRED:	5 STALLS
BICYCLE STALLS	# OF BICYCLE STALLS PROVIDED:	5 STALLS
	# OF BICYCLE STALLS REQUIRED:	5 STALLS
	# OF PARKING STALLS PROVIDED:	5 STALLS (5 LARGES / 1 HANDICAP)
	# OF BICYCLE STALLS PROVIDED:	5 BICYCLE STALLS (ALL STALLS INSIDE BUILDING)
		US 62 FT.

3118 HARVEY STREET PARKING STAIRS

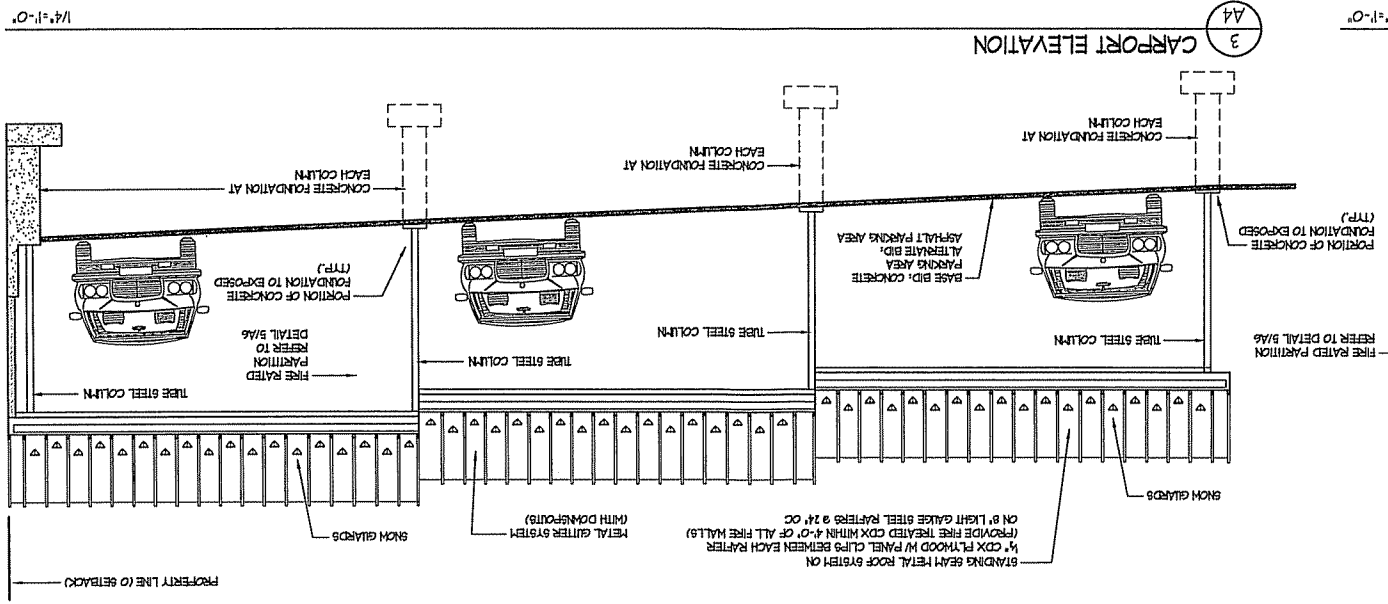


Sheet No.:	A3
Date:	12/03/2013
Drawn by:	AJR
Revisions:	
PROJECT:	Site Improvements for 3009 University Avenue / 3118 Harvey Street Properties MADISON, WI 53705
OWNER:	SHOREWOOD HOUSE, LLP, 3009 University Avenue Madison, WI 53705 Duke Dykstra duke@clearplace.com
ARCHITECT:	RUSS OWENS, AIA, CCCA, LEEDap 413 RAVINE ST. JANESVILLE, WI 53548 608-219-1316 rowensr@sboglobal.net

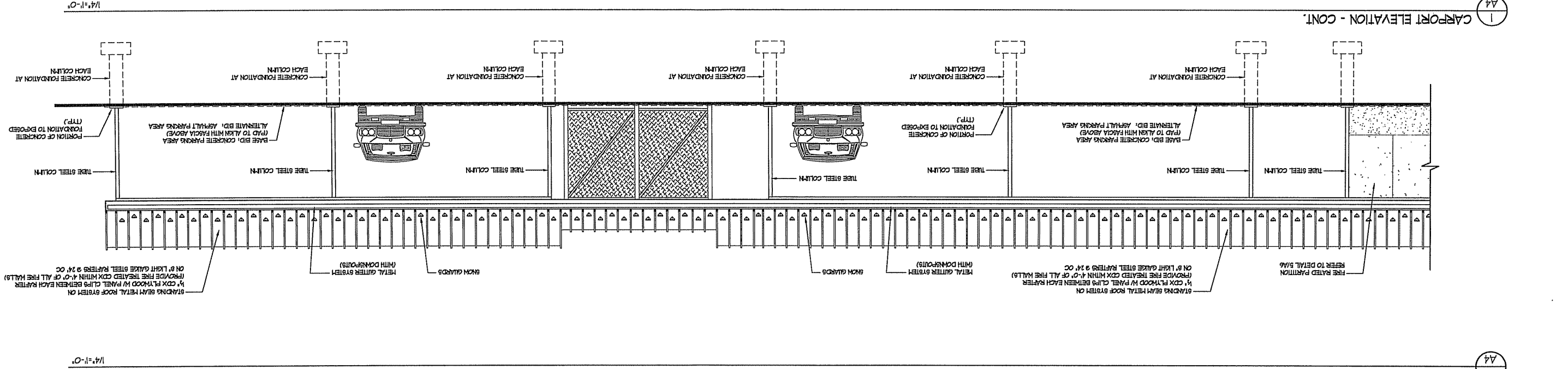
2 CARPORT ELEVATION



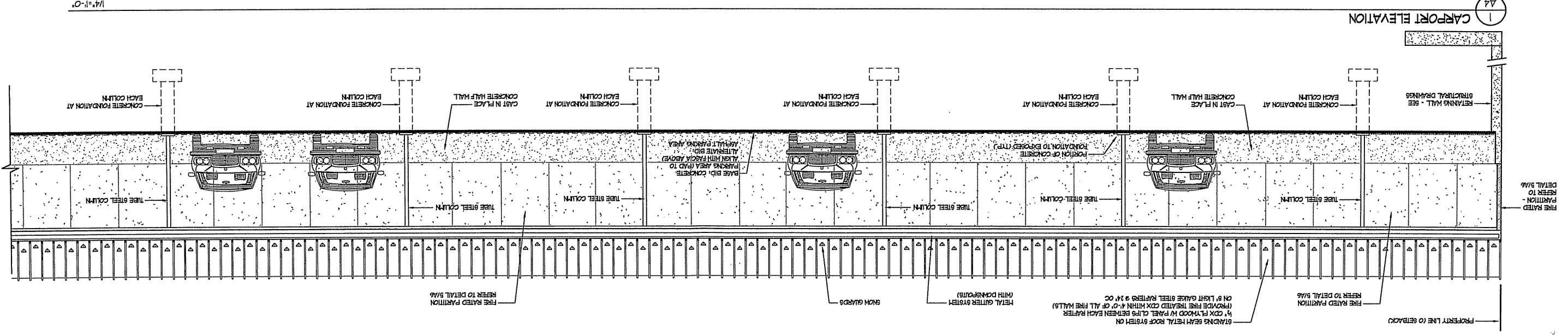
3 CARPORT ELEVATION



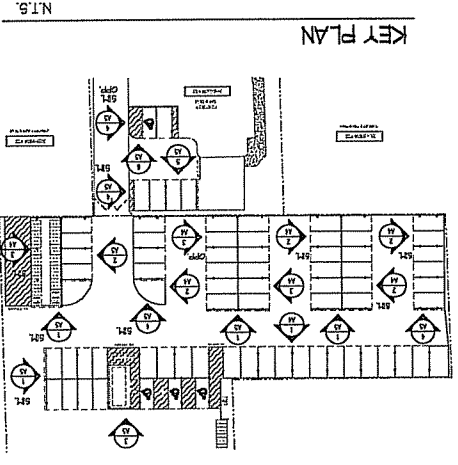
1 CARPORT ELEVATION - CONT.



1 CARPORT ELEVATION



KEY PLAN



A4

Sheet No.

12/03/2013

Date:

AJR

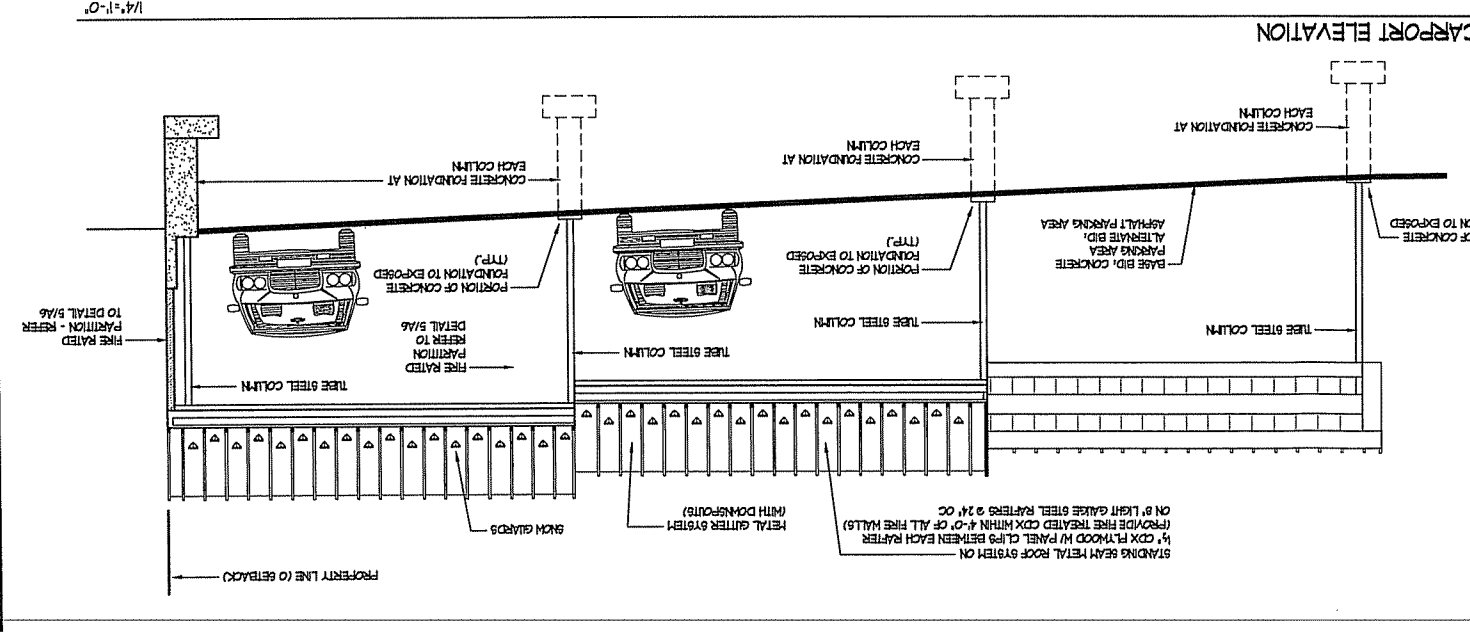
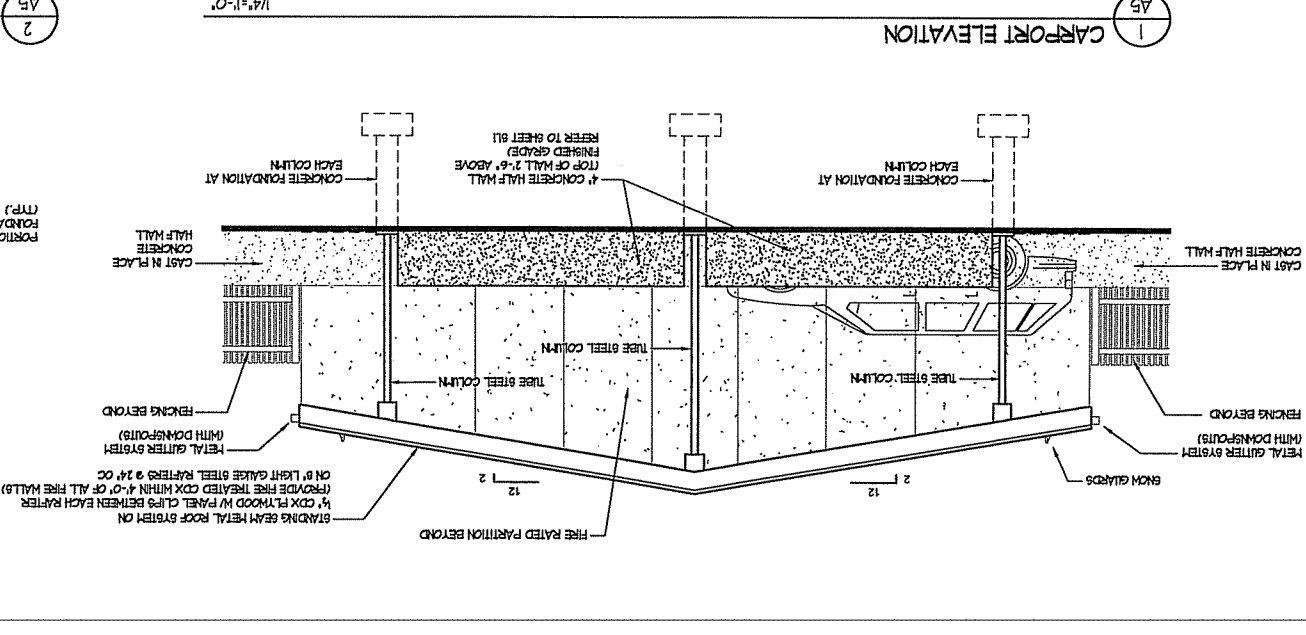
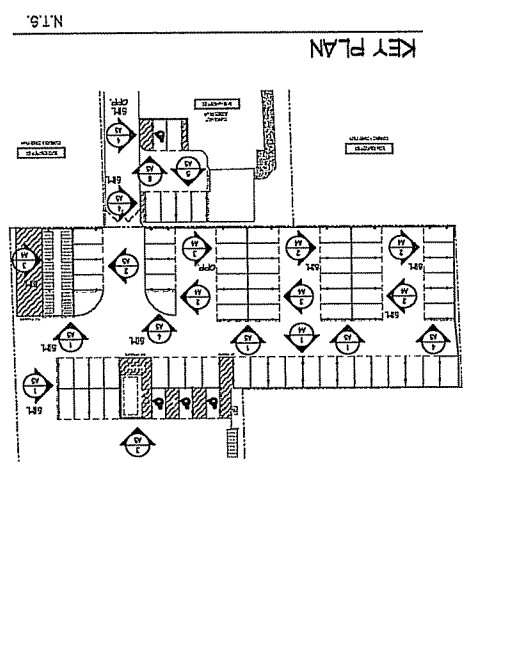
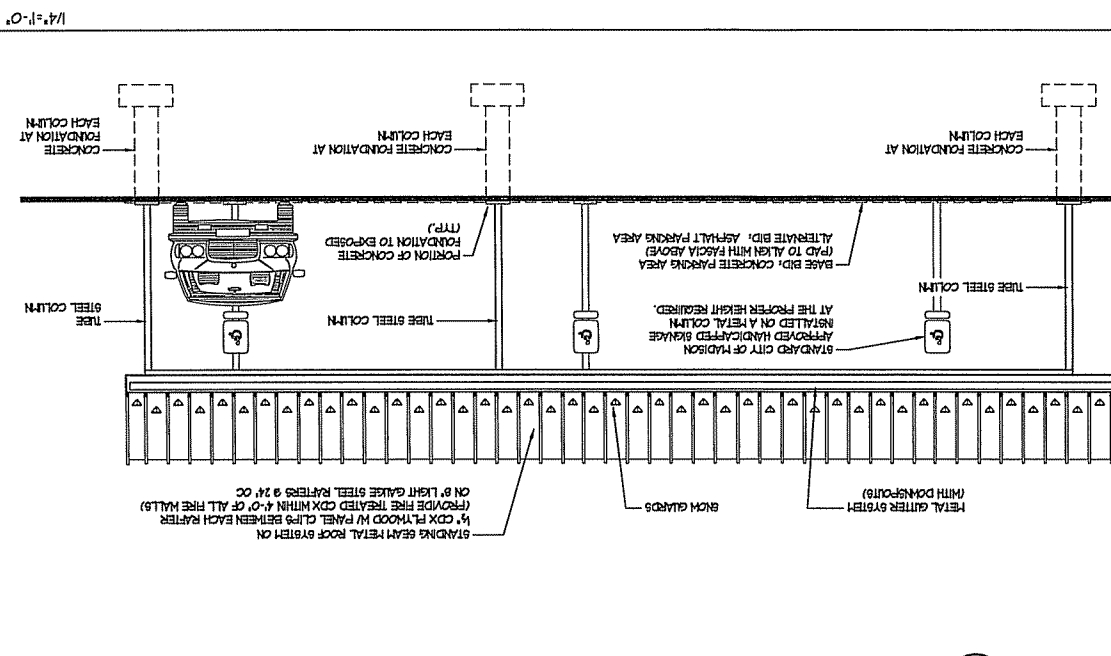
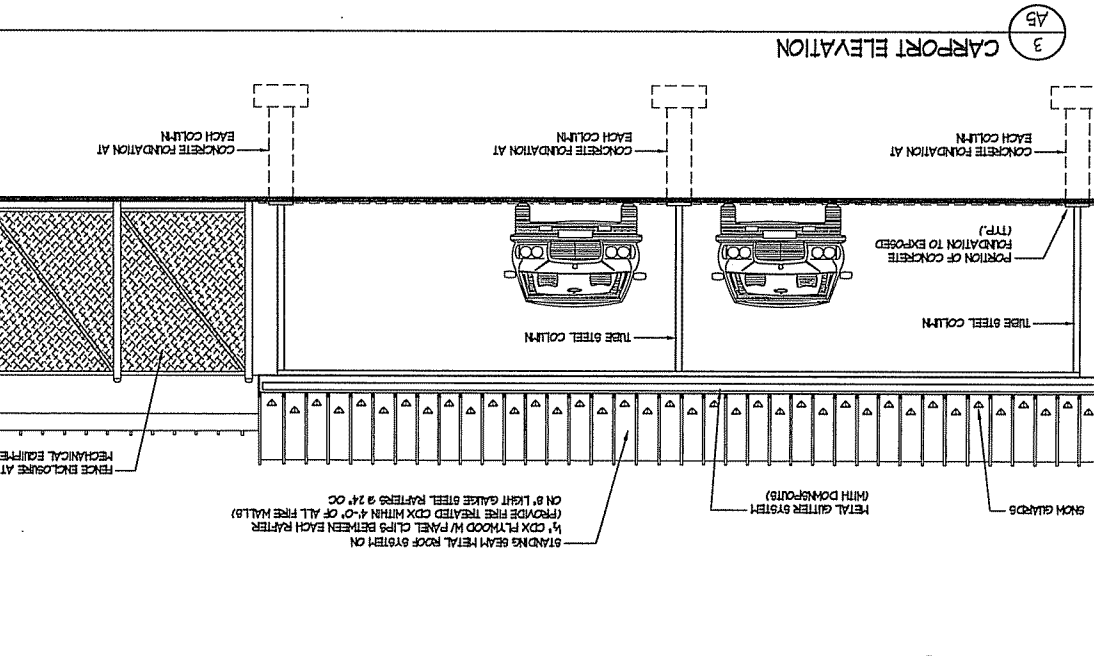
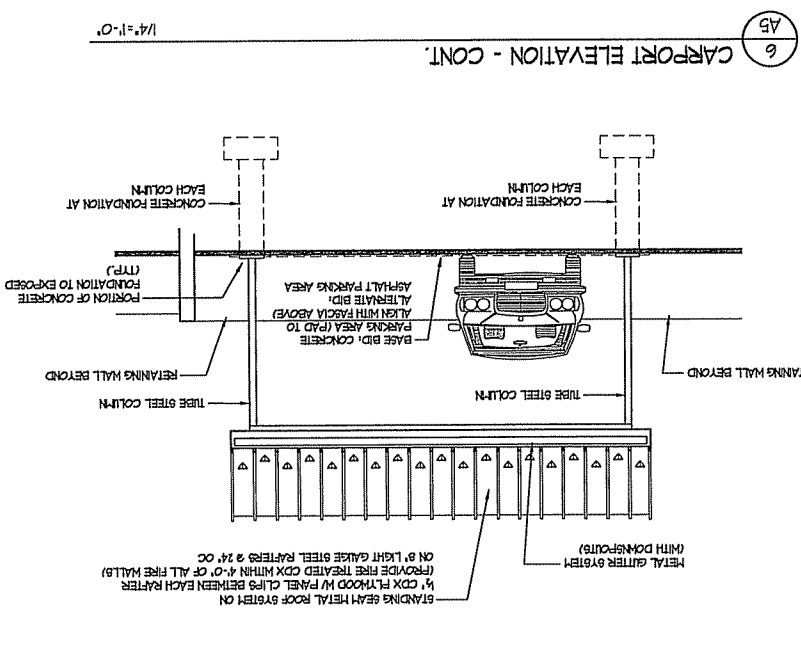
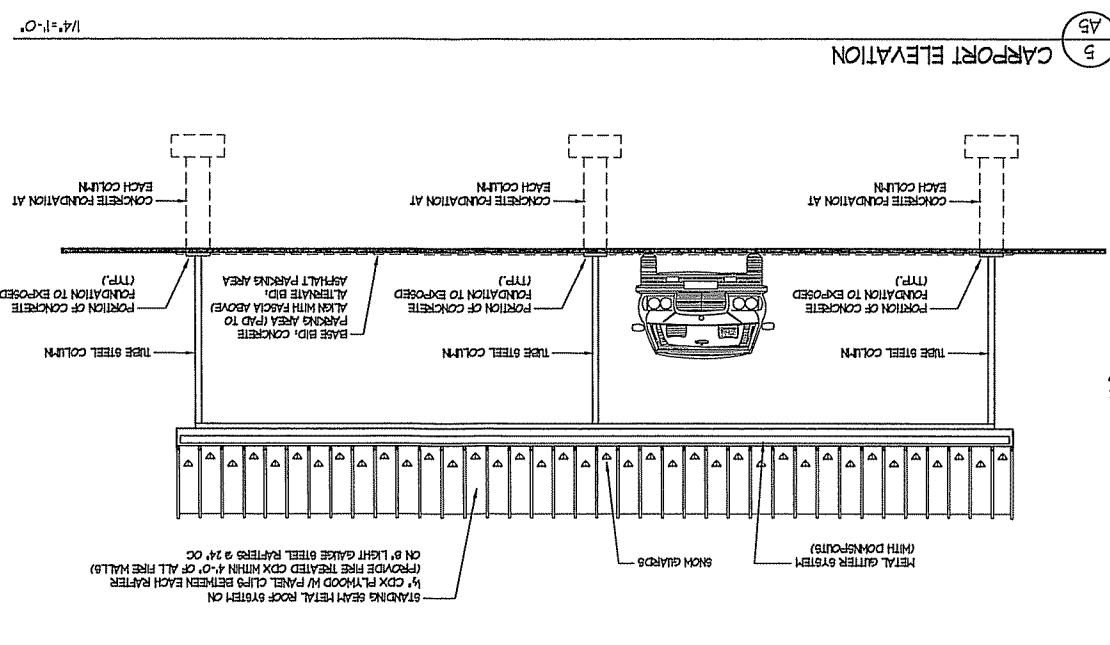
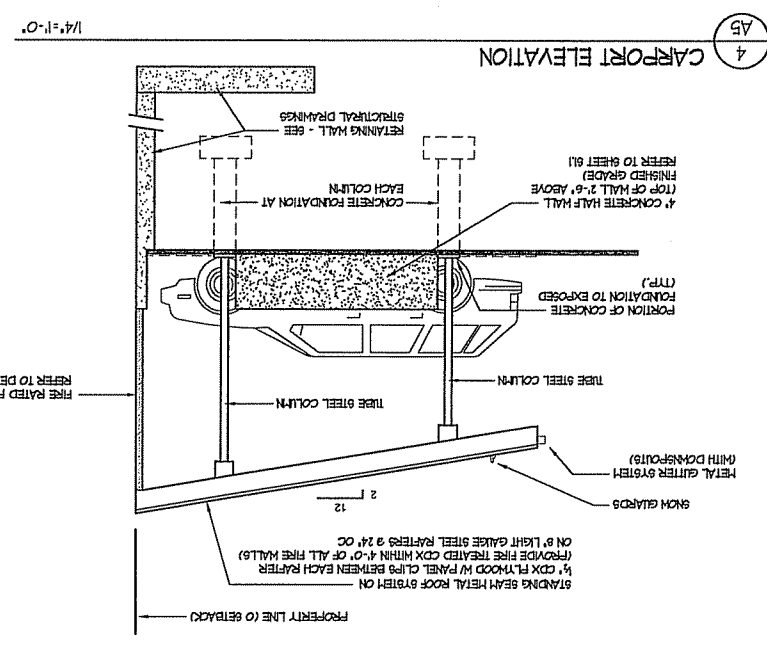
Drawn by:

Revisions:

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 3009 University Avenue
 Madison, WI 53705
 Duke Dykstra
 duke@clearpace.com

ARCHITECT:
 RUSS OWENS, AIA, CCCA, LEEDap
 413 RAVINE ST.
 JANESVILLE, WI 53548
 608-219-1316
 rowensra@btoglobel.net



AS
Sheet No.

12/03/2013
Date:

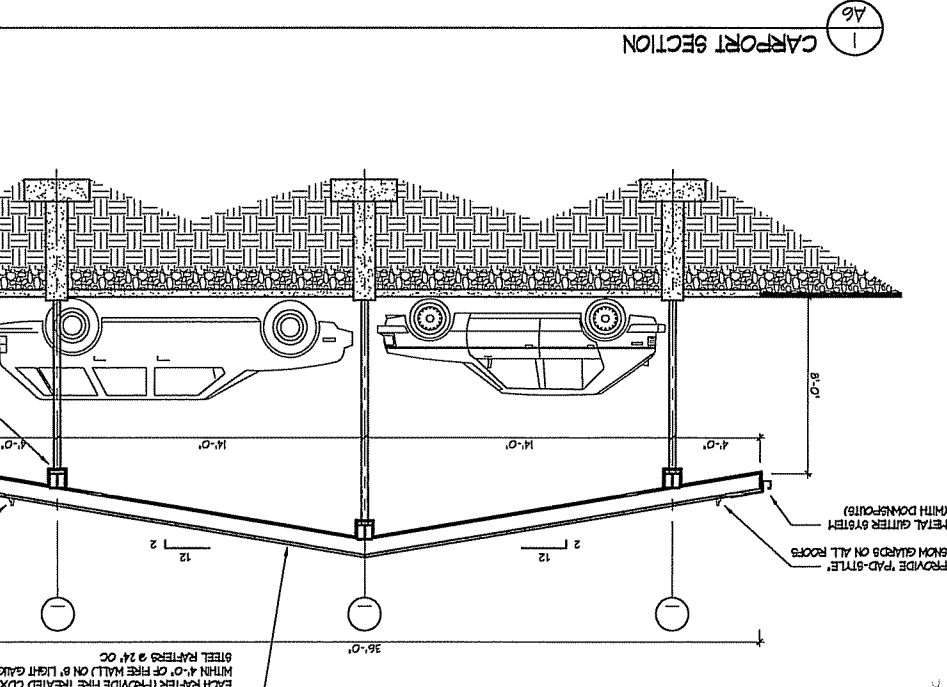
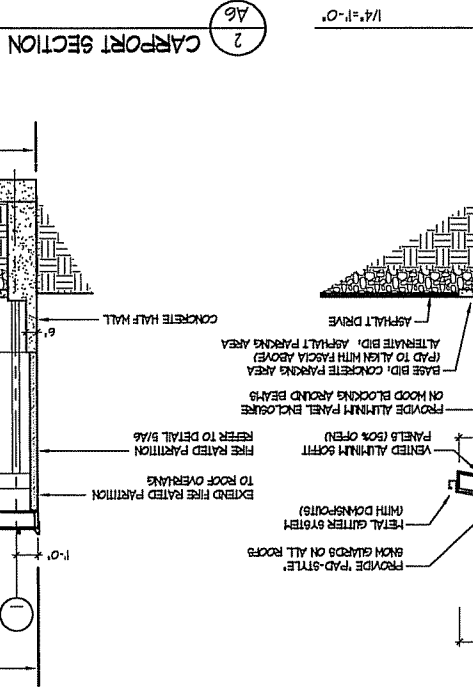
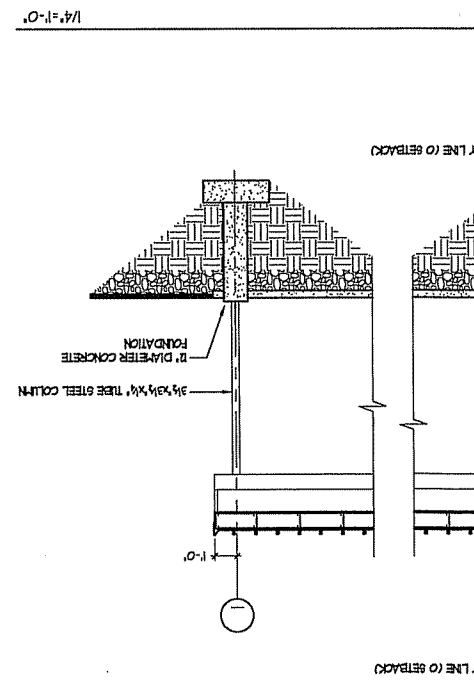
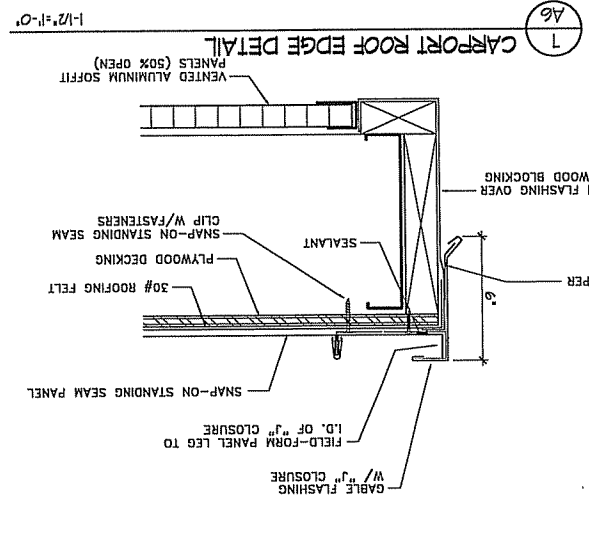
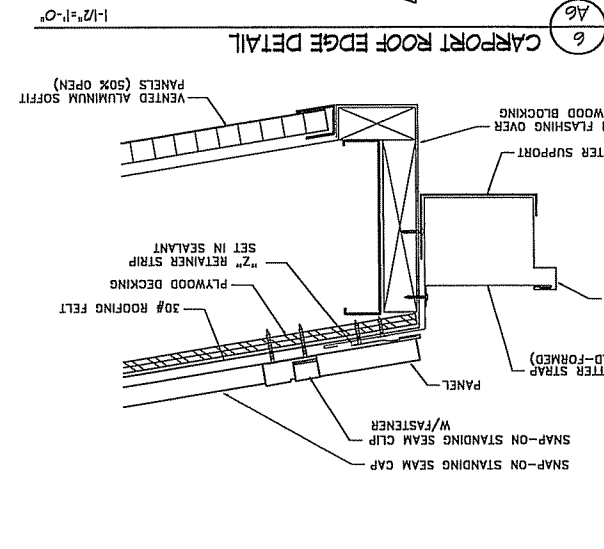
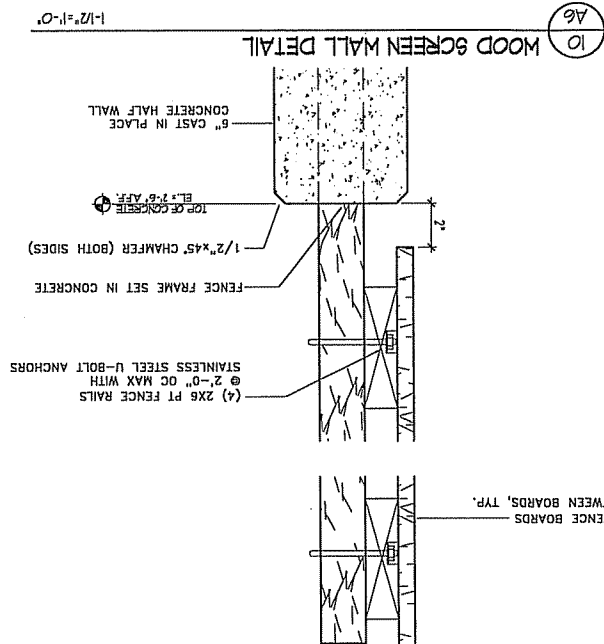
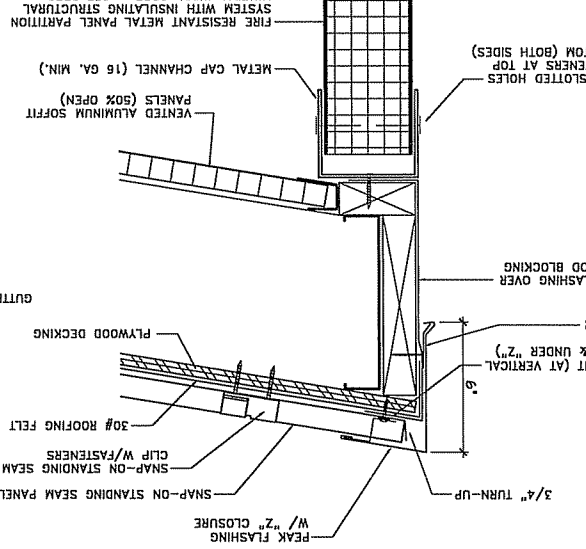
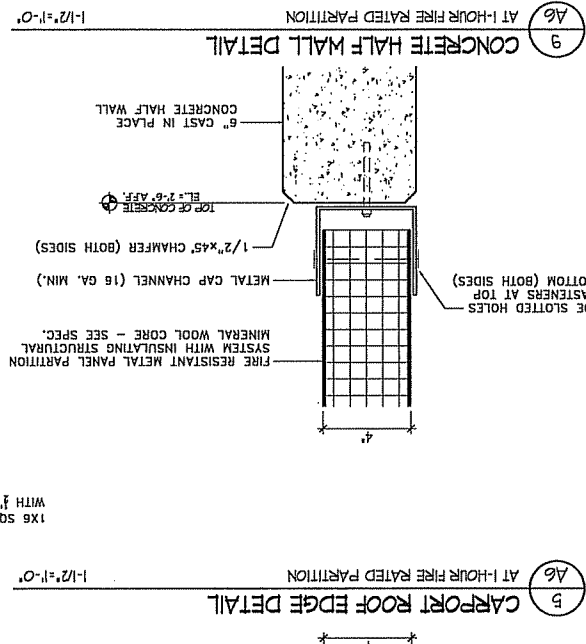
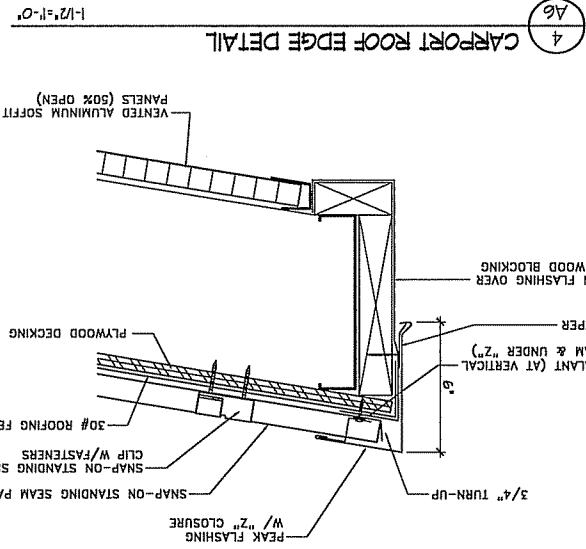
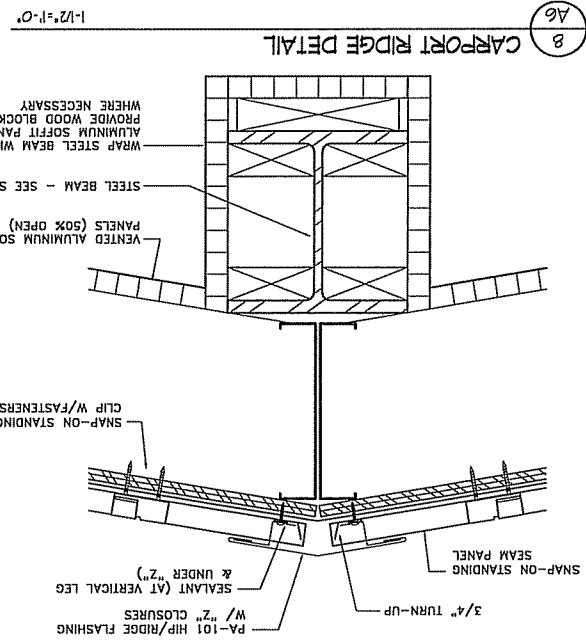
AIR
Drawn by:

Revisions:

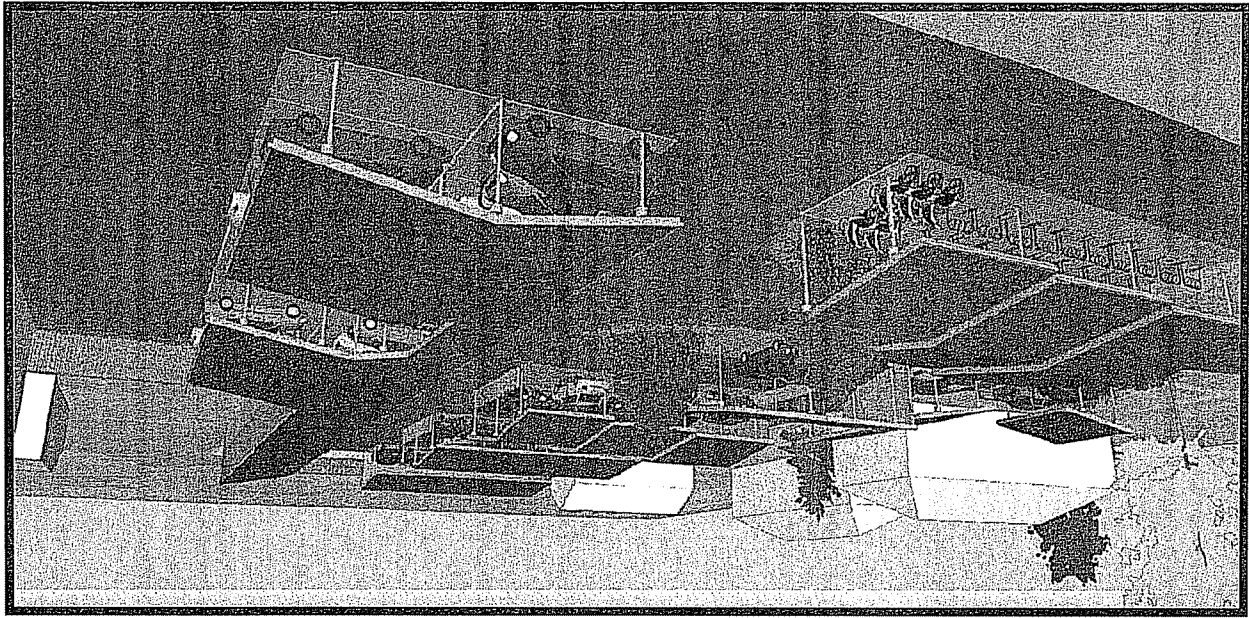
PROJECT:
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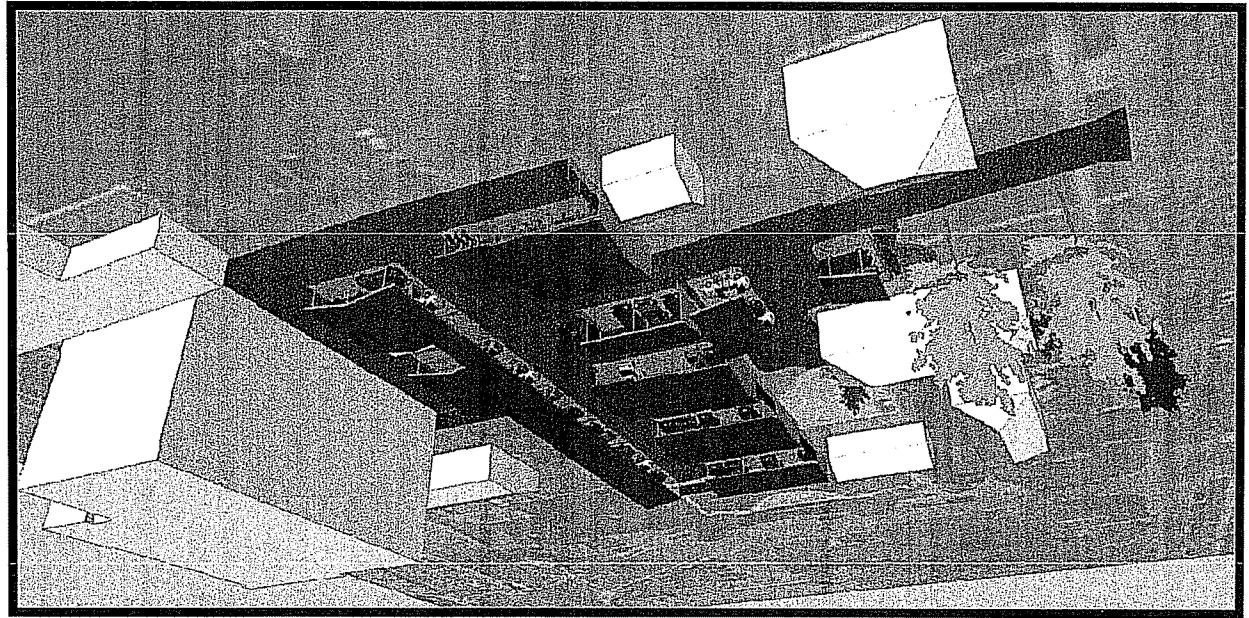
ARCHITECT:
RUSS OWENS, AIA, CCCA, LEEDAP
413 RAVINE ST.
JANESVILLE, WI 53548
608-219-1316
rowensra@shoglobal.net



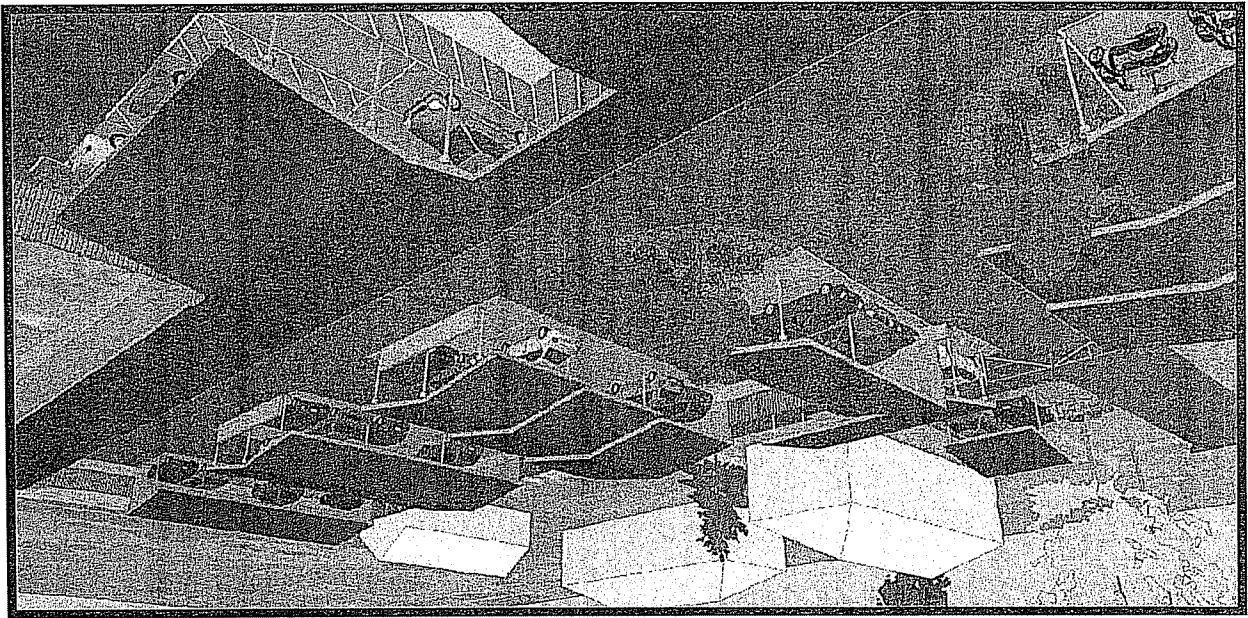
Sheet No. A6
 Date: 12/03/2013
 Drawn by: AJR
 Revisions:
 PROJECT: Site Improvements for 3009 University Avenue / 3118 Harvey Street Properties MADISON, WI 53705
 OWNER: SHOREWOOD HOUSE, LLP, 3009 University Avenue Madison, WI 53705 Duke Dykstra duke@cleanplace.com
 ARCHITECT: RUSS OWENS, AIA, CCCA, LEEDap 413 RAVINE ST. JAMESVILLE, WI 53548 608-219-1316 rovenstr@shoglobal.net



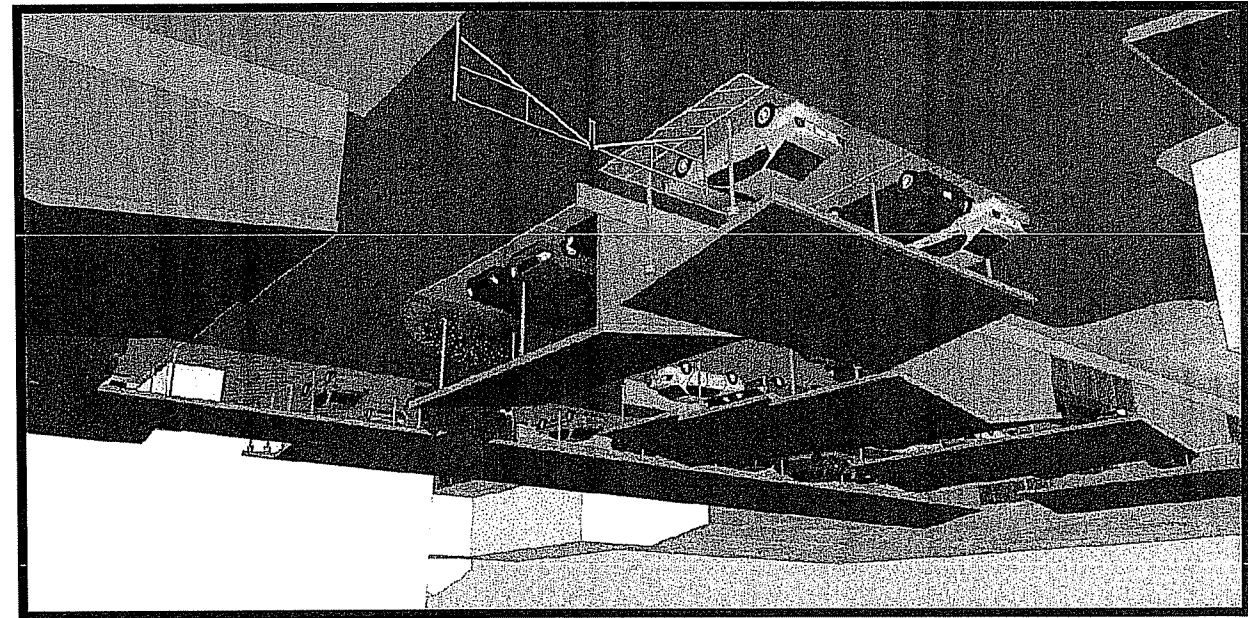
3 CARPORT PERSPECTIVE
NO SCALE



1 CARPORT PERSPECTIVE
NO SCALE



4 CARPORT PERSPECTIVE
NO SCALE



2 CARPORT PERSPECTIVE
NO SCALE

A7

Sheet No.:

12 / 03 / 2013

Date:

AJR

Drawn by:

Revisions:

PROJECT:
**Site Improvements for 3009 University Avenue /
 3118 Harvey Street Properties**
 MADISON, WI 53705

OWNER:
SHOREWOOD HOUSE, LLP.
 3009 University Avenue
 Madison, WI 53705
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 413 RAVINE ST.
 JANESVILLE, WI 53548
 608-219-1316
 rowenstra@sbcglobal.net

WIRING SCHEDULE
 SCOPE INFORMATION, FINAL DESIGN
 BY ELECTRICAL CONTRACTOR

ROUGH-IN MIN. 3/4" FOR POWER AND 1" FOR DATA INTO COLUMN AT EACH CHARGING STATION LOCATION.
 EACH SECURITY CAMERA AND VCS REQUIRE A HOME RUN CAT6 DATA POWER + #14AWG GROUND TO EACH LOCATION.
 EACH VCS REQUIRES TWO#6AWG RECEPTACLE WIRING TO BE 2 #10 AWG POWER + #10 GROUND. ALL CAT 6 DATA WIRING TO HOME RUN TO BASEMENT PATCH PANEL, APPROX. 30' INSIDE EXISTING APARTMENT BUILDING

SYMBOLS LIST:

GR1 3 DUPLEX RECEPTACLE - MOUNTED 48" AFF TO CENTER OF BOX UNLESS NOTED OTHERWISE

RECEPTACLE TYPE (WP) WEATHERPROOF (GR1) GROUND FAULT INTERRUPTING

CIRCUIT NUMBER

METER SOCKET

JUNCTION BOX-HUBBELL QUARTZITE RECESSED J-BOX WITH GASKETED HEAVY DUTY 4-BOLT COVER

CANOPY MOUNTED LIGHT FIXTURE

SEE SHEET E2 FOR LIGHT FIXTURE MANUFACTURER PHOTOMETRICS

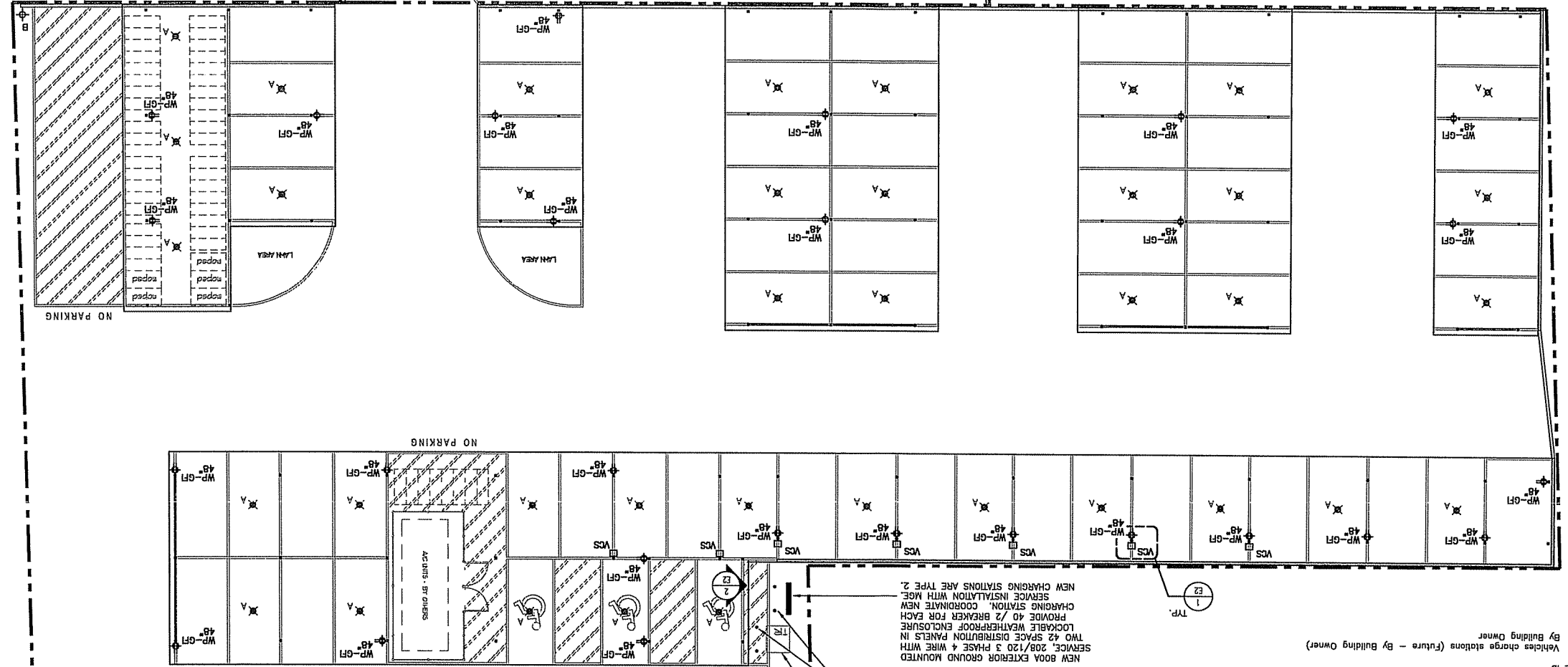
FIXTURE ID

VCS: Vehicles charge stations (Future - By Building Owner)

Security Camera: By Building Owner

NEW 800A EXTERIOR GROUND MOUNTED CHARGING STATION, COORDINATE NEW SERVICE INSTALLATION WITH MEE. PROVIDE 40' / 2 BREAKER FOR EACH TWO 42 SPACE DISTRIBUTION PANELS IN LOCKABLE WEATHERPROOF ENCLOSURE SERVICE, 208/120 3 PHASE 4 WIRE WITH PAD MOUNTED TRANSFORMER BY MCKE. PROVIDE NEW CONCRETE FILLED PIPED BOLLARDS PER MAKE REQUIREMENTS

NEW CHARGING STATIONS ARE TYPE 2.



CARPORT SCOPE ELECTRICAL PLAN

SCALE: 3/32" = 1'-0"

3/32" = 1'-0"

THE ARCHITECT PREPARED ELECTRICAL DESIGN SCOPE DOCUMENTS CONSISTING OF DRAWINGS AND SPECIFICATIONS THAT WILL OUTLINE THE GENERAL REQUIREMENTS FOR BIDDING. IT IS THE RESPONSIBILITY OF THE BIDDING CONTRACTOR TO TAKE RESPONSIBILITY OF THE FINAL DESIGN FOR NECESSARY APPROVALS AND CONSTRUCTION REQUIREMENTS.

SCOPE DOCUMENT ONLY

3010 HARVEY ST.
 CURRENTLY ZONED TR-U1

3118 HARVEY ST.
 CURRENTLY ZONED TR-U1

3124 HARVEY ST.
 CURRENTLY ZONED TR-U1

LIGHT FIXTURE SCHEDULE

Fixt No.	Description	Manufacturer	Model No.	Flt.	Lamp Only	Htg	Remarks
A	Canopy	Beta LED	RM3 EXG PS IM 02 C 12 3K	120	20 LED	S	Alternate 304 Fixture Protocol on-off
E	Site Light Pole	Cooper Lighting	LSRV - T2 - 302 - C - 3P	120-277V	21 LED Light-stalks		See sheet E2 for fixture

F = Fixture Mounted from Ceiling
 P = Fixture Mounted in Ceiling, Softly, or Canopy
 S = Surface Mounted on Ceiling, Softly, or Canopy
 V = Surface Mounted on Wall

Sheet No.: **E1**

Date: 12 / 03 / 2013

Drawn By: AJR

Revisions:

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