



**SITE DATA TABLE**

TOTAL LOT AREA = 21,865 SF (0.502 AC)

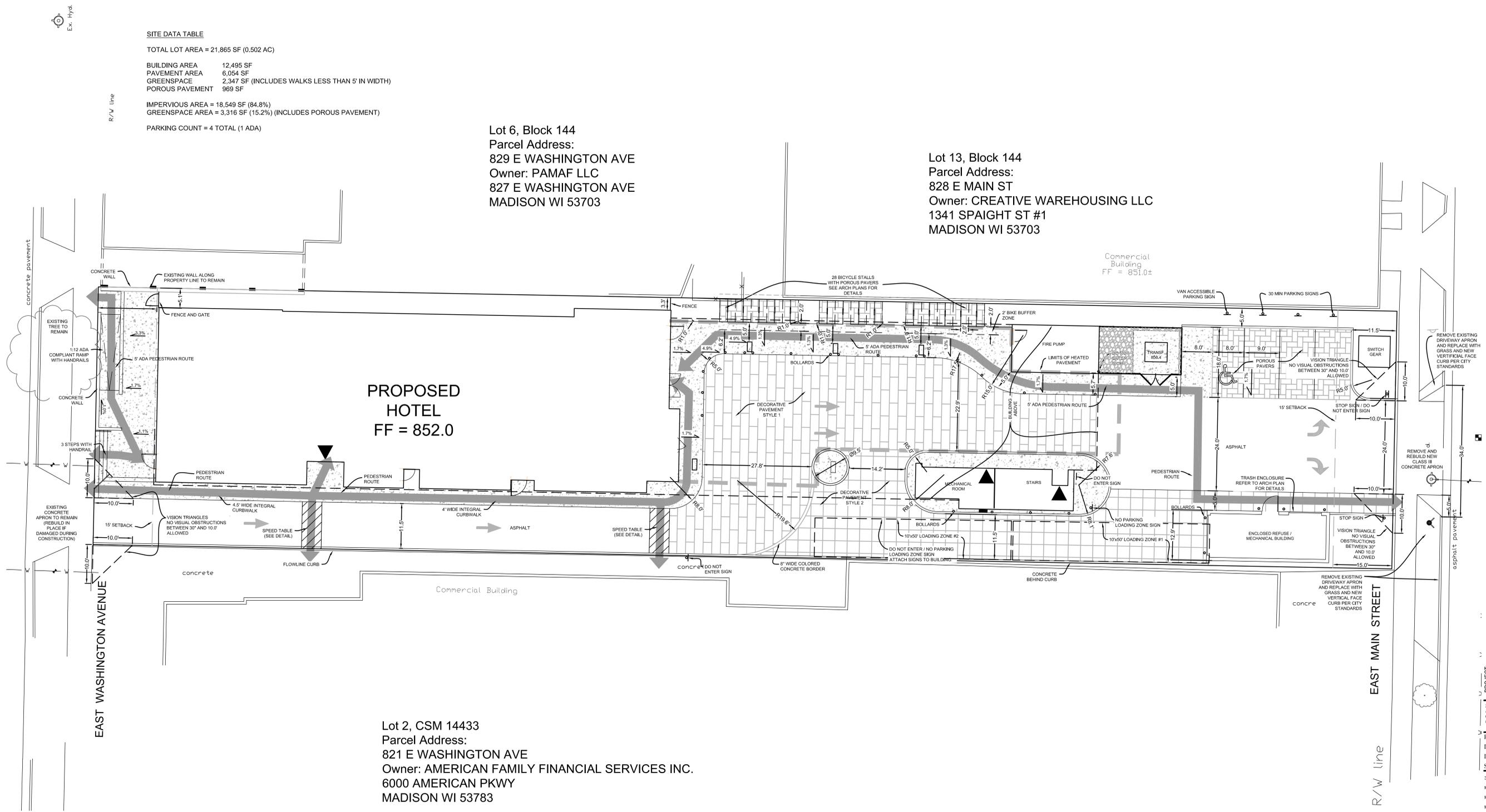
BUILDING AREA	12,495 SF
PAVEMENT AREA	6,054 SF
GREENSPACE	2,347 SF (INCLUDES WALKS LESS THAN 5' IN WIDTH)
POROUS PAVEMENT	969 SF

IMPERVIOUS AREA = 18,549 SF (84.8%)  
 GREENSPACE AREA = 3,316 SF (15.2%) (INCLUDES POROUS PAVEMENT)

PARKING COUNT = 4 TOTAL (1 ADA)

Lot 6, Block 144  
 Parcel Address:  
 829 E WASHINGTON AVE  
 Owner: PAMAF LLC  
 827 E WASHINGTON AVE  
 MADISON WI 53703

Lot 13, Block 144  
 Parcel Address:  
 828 E MAIN ST  
 Owner: CREATIVE WAREHOUSING LLC  
 1341 SPAIGHT ST #1  
 MADISON WI 53703

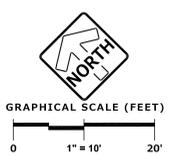


**PROPOSED HOTEL**  
 FF = 852.0

Lot 2, CSM 14433  
 Parcel Address:  
 821 E WASHINGTON AVE  
 Owner: AMERICAN FAMILY FINANCIAL SERVICES INC.  
 6000 AMERICAN PKWY  
 MADISON WI 53783

THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE CITY OF MADISON AND IS SUBJECT TO CHANGE AT ANY TIME PER THE RECOMMENDATION/PLAN OF TRAFFIC ENGINEERING AND CITY ENGINEERING DEPARTMENTS.

ALL WORK WITHIN THE CITY RIGHT-OF-WAY AND ALL PUBLIC IMPROVEMENTS TO SERVE THE PROJECT SHALL BE COMPLETED PER THE CITY OF MADISON ISSUED PLANS (CONTRACT 8980, PROJECT 13275)



**PROJECT:** MOXY HOTEL  
 822 E WASHINGTON AVENUE  
 MADISON, WI 53703

**CLIENT:** NORTH CENTRAL GROUP  
 1800 ASPEN COMMONS, SUITE 200  
 MIDDLETON, WI 53562

2021 GBA.  
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**PROJECT:** 201926  
**DRAWN BY:** AEK  
**DATE:**  
**SCALE:** 1" = 10'

30% SET 10/12/2020  
 M 60% SET 04/09/2021  
 M 90% SET 06/14/2021  
 M 100% SET 06/15/2022



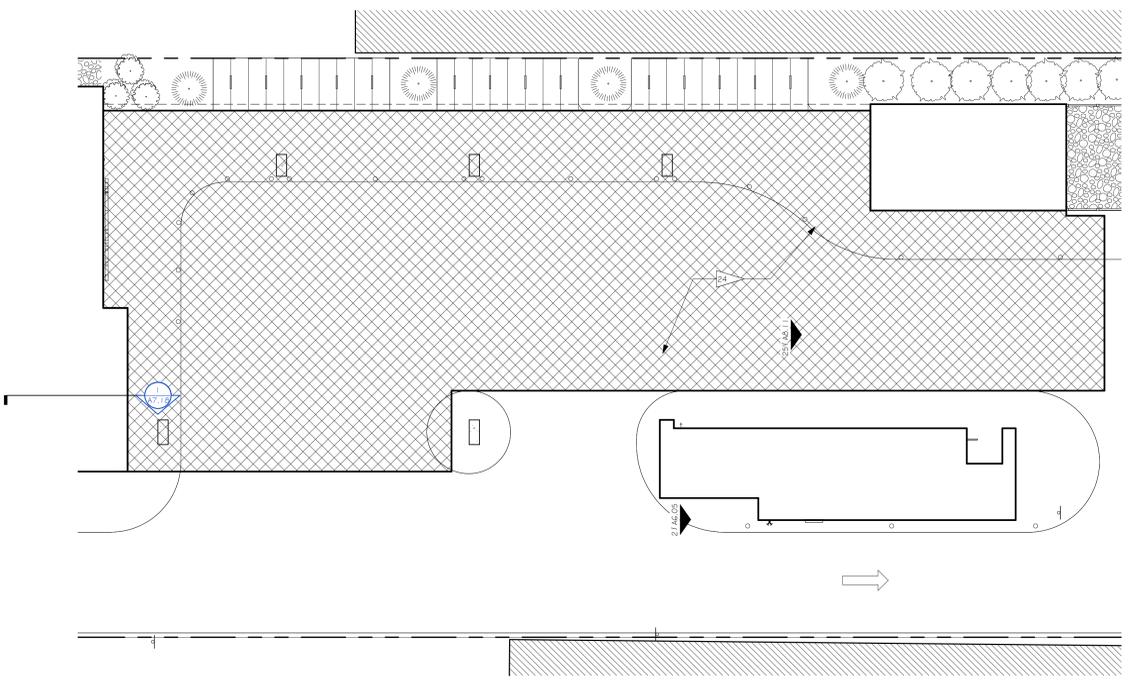
Date: 03/23/2022

**SITE PLAN KEY NOTES**

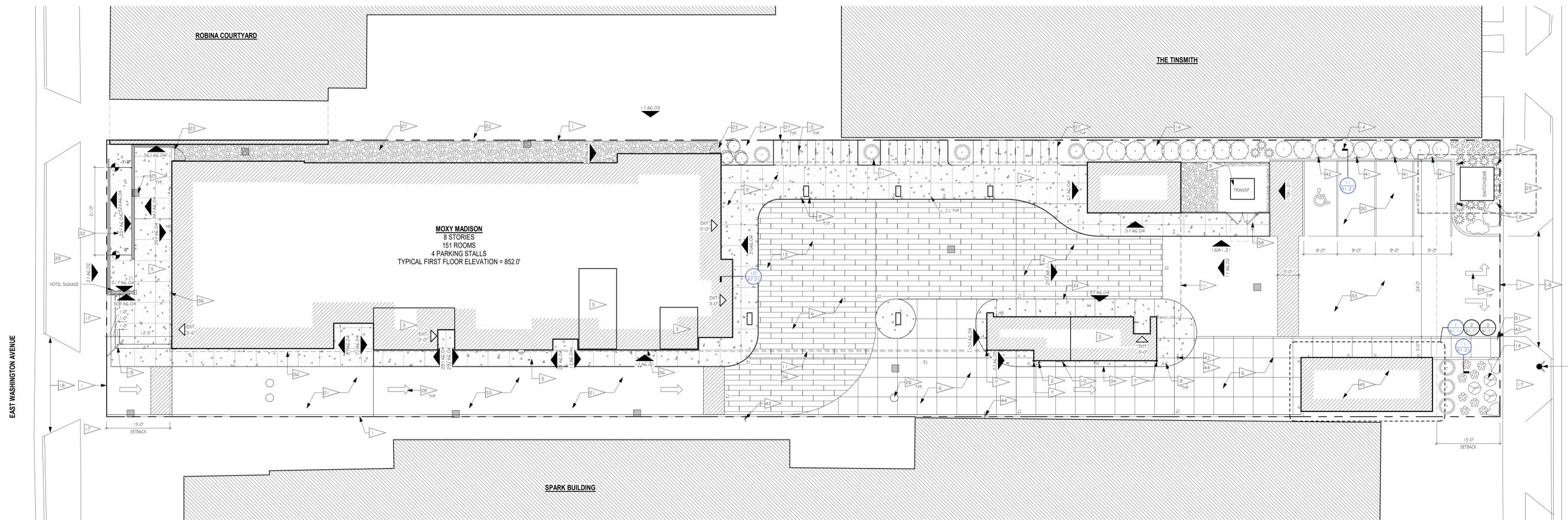
1. PROPERTY LINE. REFER TO CIVIL DRAWINGS.
2. WALL MOUNTED FIRE DEPARTMENT CONNECTION (FDC).
3. INTERNAL VERTICAL CIRCULATION.
4. FIRE HYDRANT. REFER TO CIVIL DRAWINGS FOR LOCATION.
5. STANDARD "ORN" COLORED CONCRETE S.O.G. WITH MEDIUM BROOM FINISH & TOOL JOINTING PATTERN. REFER TO SPECIFICATION SECTION 32 13 13.
6. INTEGRAL COLORED CONCRETE S.O.G. WITH MEDIUM BROOM FINISH & TOOLED JOINTING PATTERN. REFER TO SPECIFICATION SECTION 32 13 13.
7. BENT STEEL PLATE / CORNER GUARD. REFER TO DETAILS ON A1.21.
8. CONCRETE FILLED BOLLARD. REFER TO DETAIL 5/A1.21.
9. ELECTRICAL TRANSFORMER AND PAD BY MG&E. REFER TO CIVIL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
10. GAS METER LOCATION. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
11. LINE OF CANOPY / ROOF / BUILDING EXTENTS.
12. PAINTED PARKING STRIPING. REFER TO PLAN FOR DIMENSIONAL INFORMATION AND ACCESSIBLE PARKING SYMBOL.
13. HOTEL DROP-OFF ZONE.
14. PLANTING AREA. REFER TO LANDSCAPE DRAWINGS FOR SPECIES & CALIPER INFORMATION.
15. BARRIS POST & RING BICYCLE RACK. REFER TO DETAIL 4 / A1.21.
16. NEW CONCRETE SIDEWALK (BROOM FINISH TO MATCH ORIENTATION OF EXISTING / ADJACENT SIDEWALK). CONFORM TO CITY OF MADISON STANDARDS. REFER TO CIVIL DRAWINGS.
17. EXISTING CONCRETE SIDEWALK AND GUTTER. CONTRACTOR SHALL REPLACE / REPAIR ALL DAMAGE CAUSED BY CONSTRUCTION PREPARATION AND ACTIVITIES.
18. CURB CUT. REFER TO CIVIL DRAWINGS & COMPLY WITH CITY OF MADISON REQUIREMENTS.
19. EXTERIOR CONCRETE STAR WITH ALUMINUM PIPE HANDRAIL / WITH INTEGRAL DOWNLIGHT. REFER TO DETAILS 23 THRU 29 ON A1.22 AND SPECIFICATION SECTION XX XX XX.
20. REFER TO ELECTRICAL DRAWINGS FOR BUILDING LIGHT FIXTURE REQUIREMENTS.
21. STORM WATER CHAMBERS BELOW S.O.G. REFER TO CIVIL DRAWINGS FOR DETAILS.
22. NEW GABIAN WALL ON ADJACENT PROPERTY.
23. SITE FENCE & GATE LOCATION. REFERENCE DETAILS 19 & 20/A1.21.
24. RADIANT HEATING WITHIN S.O.G. PAVING. REFER TO DETAIL 19/A1.21. REFERENCE MECHANICAL DRAWINGS FOR REQUIREMENTS. MINIMUM R-19 INSULATION REQUIRED BELOW PAVING SURFACE PER ENERGY CODE.
25. PATIO AREA DRAIN - PITCH S.O.G. TOWARDS DRAIN AS REQUIRED (SLOPE TO BE NO GREATER THAN 1/2% IN ANY DIRECTION).
26. MANHOLE COVER. REFER TO CIVIL DRAWINGS.
27. STONE MULCH BED. REFER TO LANDSCAPE DRAWINGS.
28. PAINTED PAVEMENT MARKING.
29. CONCRETE CURB & GUTTER. DESIGN AND FINISH TO CONFORM TO CITY OF MADISON DESIGN STANDARDS. THE INTO EXISTING PROFILE AND FLOW LINE OF CURB AND GUTTER TO REMAIN BOTH UP AND DOWN STREAM FROM THE CONSTRUCTION SITE.
30. PERMEABLE PAVERS AND SUB-BASE. REFER TO CIVIL DRAWINGS.
31. STOP SIGN. TO BE PROVIDED BY G.C. REFER TO CIVIL DRAWINGS FOR SITE / TRAFFIC SIGNAGE REQUIREMENTS.
32. CAST IN PLACE RAMP AND RETAINING WALL WITH STEEL PLATE WITH DOWNLIGHT BELOW RAILINGS. REFER TO STRUCTURAL DRAWINGS FOR WALL AND DETAILS ON A1.21 FOR DECORATIVE RAILINGS AND SPECIFICATION SECTION.
33. ASPHALT PAVING. REFER TO CIVIL DRAWINGS.
34. 6" CAST IN PLACE CURB WITHOUT GUTTER. REFER TO CIVIL DRAWINGS.
35. UNDERGROUND GREASE INTERCEPTOR. REFER TO CIVIL AND PLUMBING DRAWINGS.
36. METAL BROW STRUCTURE ABOVE SHOWN DASHED.
37. CONCRETE CURB AT LANDSCAPING BEDS. REFER TO SITE DETAILS.
38. 6X6 GUTTER AND 4X6 DOWNSPOUT TO LOWER ROOF TO CONCRETE SPLASH-BLOCK ON ROOF OR GRADE BELOW.
39. TRANSFORMER SCREENING FENCE & OPERABLE ACCESS GATE. REFER TO DETAILS 16 & 17/A1.21 FOR ADDITIONAL INFORMATION.
40. NOT USED.
41. "30 MINIMUM PARKING" SIGN. TO BE PROVIDED BY G.C. REFER TO CIVIL DRAWINGS FOR SITE / TRAFFIC SIGNAGE REQUIREMENTS.
42. V.M. ACCESSIBLE PARKING SIGNAGE POST. REFER TO DETAILS ON CIVIL DRAWINGS.
43. "DO NOT ENTER" SIGN TO BE PROVIDED BY G.C. REFER TO CIVIL DRAWINGS FOR SITE / TRAFFIC SIGNAGE REQUIREMENTS.
44. "NO PARKING / LOADING ZONE SIGN TO BE PROVIDED BY G.C. REFER TO CIVIL DRAWINGS FOR SITE / TRAFFIC SIGNAGE REQUIREMENTS.
45. TRASH AND GENERATOR ENCLOSURE. REFER TO ENLARGED PLANS FOR ADDITIONAL INFORMATION.
46. PROVIDE (1) CONTINUOUS 2 X 10 AROUND PERIMETER FOR WALL PROTECTION. VERIFY HEIGHT WITH OWNER.
47. LADDER. REFER TO SPECIFICATIONS AND DETAIL 1 / A1.52 FOR SIMILAR REQUIREMENTS.
48. SECTIONAL DOOR. REFER TO SPECIFICATION SECTION 08 36 00, AND SHEET A8.01.
49. HOLLOW METAL DOOR & FRAME. REFER TO SPECIFICATION SECTION 08 11 13 AND SHEET A8.01.
50. ROOF BELOW. REFER TO REFUSE ENCLOSURE ROOF PLAN.
51. MECHANICAL LOUVERS. REFER TO MECHANICAL DRAWINGS/GENERATOR SPECIFICATIONS.
52. GENERATOR. REFER TO ELECTRICAL & CIVIL DRAWINGS.
53. 42" TALL 1 1/2" DIAMETER STEEL PIPE GUARDRAIL W/ SWING GATE ADJACENT TO LADDER.
54. CONTRACTOR TO COORDINATE GENERATOR EXHAUST W/ SHOP DRAWINGS / MANUFACTURER REQUIREMENTS.
55. 36" x 36" 2-HOUR RATED HATCH DOOR. PROVIDE MODEL BILCO FR4 (OR EQUAL).

**GENERAL SITE PLAN NOTES**

- A. ALL CONTRACTORS & SUB-CONTRACTORS SHALL VISIT THE SITE PRIOR TO BIDDING AND DETERMINING ACTUAL SITE CONDITIONS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR SCORE THAT SHOULD HAVE BEEN ANTICIPATED.
- B. REFER TO CIVIL SHEETS FOR SCOPE OF WORK WITHIN THE DESIGNATED LOT THAT IS TO BE PROVIDED BY THE SITE WORK CONTRACTOR. WHERE THERE IS A DISCREPANCY AND/OR THERE ARE CONFLICTS OR OMISSIONS IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY AND REFRAIN FROM STARTING OR COMPLETING SUCH WORK UNTIL CLARIFICATION HAS BEEN ISSUED IN WRITING FROM THE AE.
- C. UNLESS NOTED OR SHOWN OTHERWISE, DIMENSIONS ON SITE PLAN ARE TO FACE-OF CURB TO BUILDING SHEATHING AND / OR GRID LINES. DIMENSIONS SHOWN ON ARCHITECTURAL SITE PLAN ARE FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR LAYOUT AND DIMENSIONAL CONTROL PLAN.
- D. REFER TO CIVIL SHEETS INCLUDED IN THIS DOCUMENT SET FOR ALL WORK TO BE INCLUDED WITHIN SCOPE. WHERE CIVIL OR SITE MEP DRAWINGS REFERENCE "BY BUILDING CONTRACTOR" SHALL DESIGNATE WORK TO BE INCLUDED AS PART OF THIS CONTRACT FOR PROJECT SITE AND SHALL BE INCLUDED IN THIS CONTRACT.
- E. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL APPLICABLE PUBLIC RIGHT-OF-WAY IMPROVEMENTS.
- F. REFER TO CIVIL DRAWINGS FOR GRADING AND UTILITY INFORMATION.
- G. CONTRACTOR SHALL VERIFY ALL LOCATIONS OF EXISTING UTILITIES. CARE SHOULD BE TAKEN TO AVOID DAMAGE TO OR DISTURBANCE OF EXISTING-TO-REMAIN UTILITIES.
- H. REFER TO CIVIL DRAWINGS FOR FINISH FLOOR ELEVATIONS.
- I. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AT 1/4" PER FOOT. MINIMUM. DO NOT EXCEED MAXIMUM SLOPE OR CROSS-SLOPE REQUIREMENTS WHERE GRADE IS PART OF AN ACCESSIBLE ROUTE.
- J. ALL WORK SHALL CONFORM TO THE CITY OF MADISON, WI OR STATE OF WISCONSIN STANDARDS, CODES AND GUIDELINES. WHICHEVER IS MORE STRINGENT.
- K. ALL WORK SHOWN AT OUTSIDE PERIMETER OF BUILDING TO CURB SHALL FOLLOW THE CITY OF MADISON, WI OR STATE OF WISCONSIN STANDARDS AND GUIDELINES.
- L. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION BETWEEN CIVIL AND LANDSCAPE AND EXTENSION / CONNECTION TO WORK PROVIDED UNDER THIS CONTRACT.
- M. ANY DAMAGE OR DISRUPTION TO AREAS (OR BUILDINGS / STRUCTURES) ADJACENT TO OR OUTSIDE THE "LIMITS OF CONSTRUCTION" SUCH AS SIDEWALKS, STREET CURBS, PAVEMENT, UNDERGROUND OR ABOVE GROUND UTILITY STRUCTURES, ETC. SHALL BE REPAIRED TO "AS NEW" CONDITIONS IN ACCORDANCE WITH THE CITY OF MADISON, WI STANDARDS, AND PERFORMED BY A CITY LICENSED CONTRACTOR.
- N. ALL DAMAGE TO STREET PAVEMENT ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON, WI PAVEMENT PATCHING CRITERIA.
- O. REFER TO CIVIL SHEETS AND ARCHITECTURAL SHEETS A0.01 AND A0.02 FOR SITE PAVING DETAILS INCLUDING BUT NOT LIMITED TO CONCRETE CURBS, SIDEWALK JOINTS, PAVING SECTIONS, BARRIER-FREE RAMPS, HANDICAP STRIPING & SIGN DETAILS, AND WHEEL STOPS.
- P. REFER TO ENLARGED ARCHITECTURAL PLAN SHEETS 10A.1.11 & 10A.1.12 FOR ADDITIONAL INFORMATION ON EXTERIOR PATIOS.
- Q. ALL CONTRACTORS SHALL COORDINATE WITH DRY AND WET UTILITY COMPANIES TO DETERMINE EXTENT OF WORK REQUIRED. ANY EXISTING IMPROVEMENTS THAT ARE AFFECTED DURING THE COURSE OF UTILITY WORK, INCLUDING BUT NOT LIMITED TO LANDSCAPING, STREETS, SIDEWALKS, ETC. SHALL BE RETURNED TO EXISTING OR BETTER CONDITION.
- R. SITE PLUMBING / UTILITY CONTRACTOR SHALL VERIFY AND MARK THE LOCATION OF EXISTING SANITARY & SEWER LINE WITHIN THE PROPERTY PRIOR TO CONSTRUCTION. NOTIFY THE ARCHITECT / CIVIL ENGINEER IMMEDIATELY OF ANY DISCREPANCY IF THEY IMPACT THE CONSTRUCTION OF THE PROJECT.
- S. THE SITE SHALL BE FENCED OFF AND THE EXTENT OF THIS AREA SHALL BE COORDINATED WITH OWNER.
- T. THE ARCHITECT / CIVIL ENGINEER SHALL OBTAIN BUILDING PERMIT. ALL ADDITIONAL PERMITS AND TRADE PERMITS & INSPECTIONS AND FEES (SUCH AS FIRE SPRINKLER, ELECTRICAL, PLUMBING, TAP FEES, STREET OR LANE CLOSURES) SHALL BE THE RESPONSIBILITY OF THE SUB-CONTRACTORS.
- U. COORDINATE TRAFFIC CONTROL AND LANE CLOSURES WITH AUTHORITIES HAVING JURISDICTION (M.U.) / OWNER.
- V. ALL SITE DEMOLITION AND REMOVAL SHALL COMPLY WITH ALL APPLICABLE REGULATIONS AND REQUIREMENTS FOR DISPOSAL.
- W. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN CURB AND SIDEWALK AND EXTEND AT LEAST 5'-0" FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5'-0" OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5'-0" OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT WISCONSIN FORESTRY PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY OF MADISON, WI FORESTRY.
- X. REPLACE ALL SIDEWALK CURB AND GUTTER ABUTTING THE PROPERTY THAT IS DAMAGED BY THE CONSTRUCTION OR ANY SIDEWALK CURB AND GUTTER WHICH BY THE DETERMINATION OF THE CITY ENGINEER, NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO THE BEGINNING OF CONSTRUCTION.
- Y. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
- Z. ANY DAMAGE ON ADJACENT PROPERTIES SHALL BE REPAIRED BY THE GENERAL CONTRACTOR AT NO EXPENSE TO THE OWNER.
- AA. REFER TO CIVIL DRAWINGS FOR PROPERTY LINES AND EASEMENTS.
- BB. SIDEWALK WORK COMPLETED AT THE RIGHT-OF-WAY SHALL MATCH ADJACENT SIDEWALK AND HAVE EXPOSED AGGREGATE IN ACCORDANCE WITH SPECIFICATIONS PROVIDED BY THE CITY. THE STONE USED AS EXPOSED AGGREGATE SHALL BE APPROVED BY THE CITY. REFER TO CIVIL DRAWINGS.
- CC. ALL STREET TREE PLANTING LOCATIONS AND TREE SPECIES WITHIN THE RIGHT-OF-WAY SHALL BE REVIEWED BY AND PERMITTED BY THE CITY ENGINEER OR FORESTRY DEPARTMENT.
- DD. CONTRACTOR IS REQUIRED TO INSTALL STREET / TRAFFIC SIGNS PER THE CITY OF MADISON, WI REQUIREMENTS. REFER TO CIVIL DRAWINGS.
- EE. REFER TO CIVIL/PLUMBING AND LANDSCAPING DRAWINGS FOR REQUIRED PLANTER IRRIGATION.



**2 SLAB-ON-GRADE SNOW MELT EXTENTS PLAN**  
1/8" = 1'-0"



**1 ARCHITECTURAL SITE PLAN**  
1" = 10'-0"

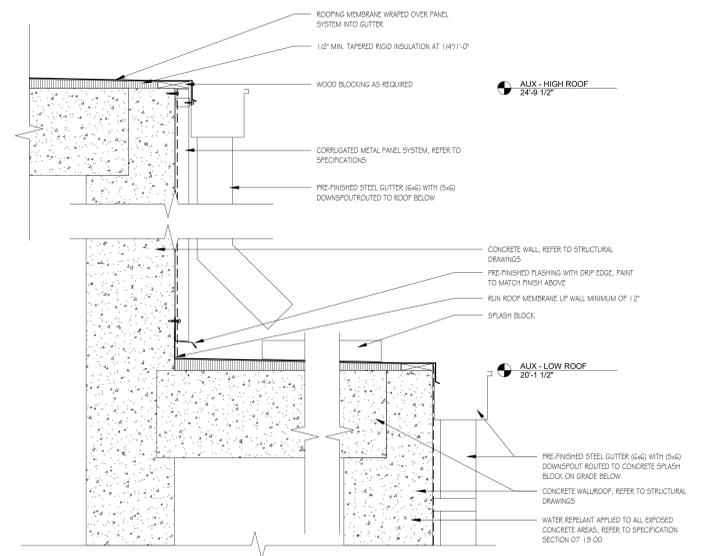


**PROJECT:** MOXY HOTEL  
823 EAST WASHINGTON AVENUE  
MADISON, WISCONSIN 53703  
**CLIENT:** MM EAST WASHINGTON, LLC.  
1600 ASPEN COMMONS, SUITE 200  
MIDDLETON, WISCONSIN 53562

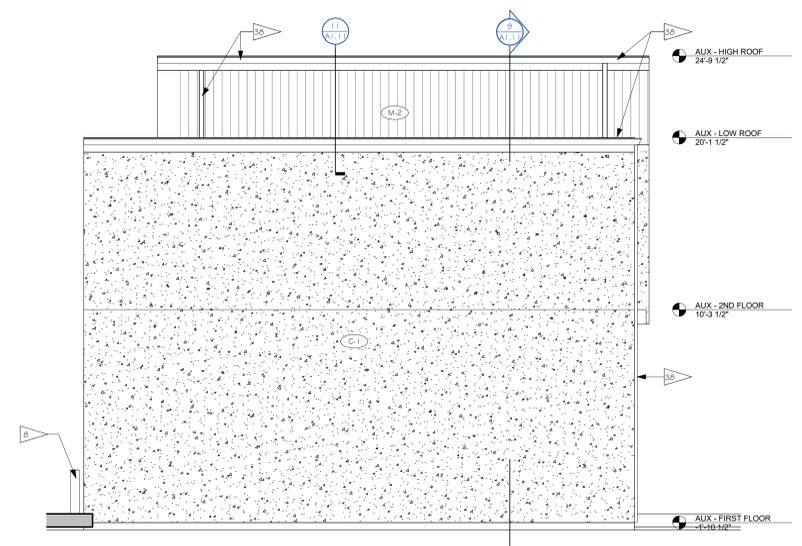
**PROJECT:** 201926  
**DRAWN BY:** Author  
**DATE:** 04/09/2021  
**SCALE:** AS NOTED

30% SET 10/12/2020  
MI 60% SET 04/09/2021  
MI 90% SET 06/14/2021  
MI 100% SET 06/15/2022

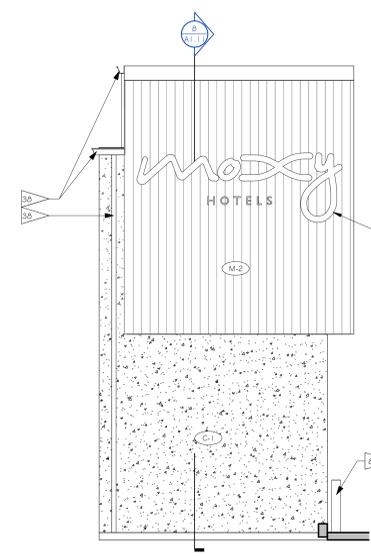
**NOTE:**  
1. REFER TO SHEETS A1.01 FOR GENERAL SITE PLAN NOTES, AND SITE PLAN KEY NOTES.



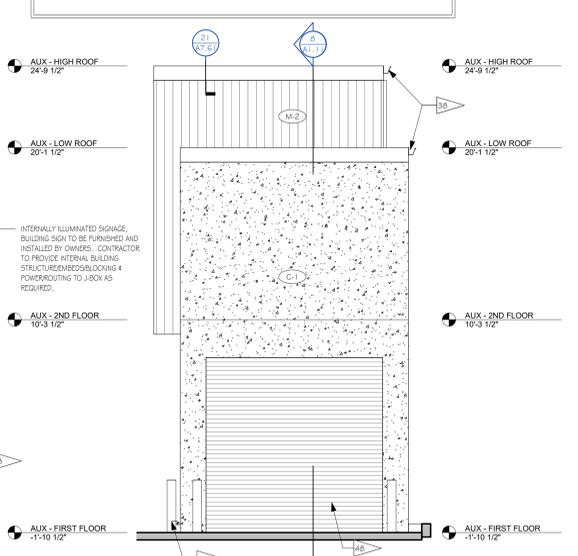
**11 DETAIL - REFUSE ENCLOSURE LOW/HIGH ROOF**  
1/4" = 1'-0"



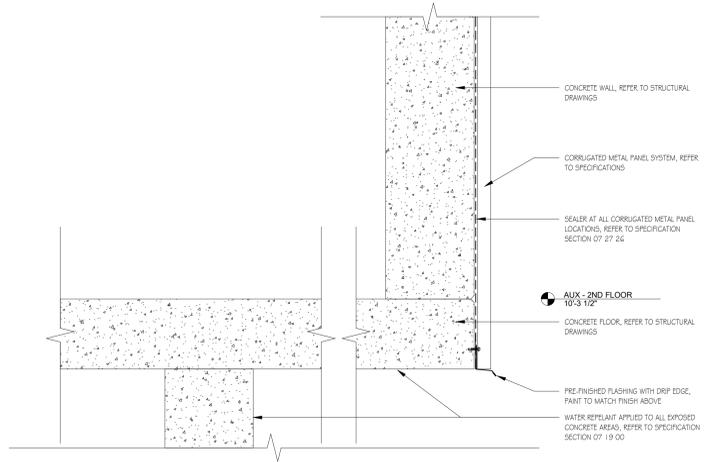
**7 REFUSE ENCLOSURE SOUTH ELEVATION**  
1/4" = 1'-0"



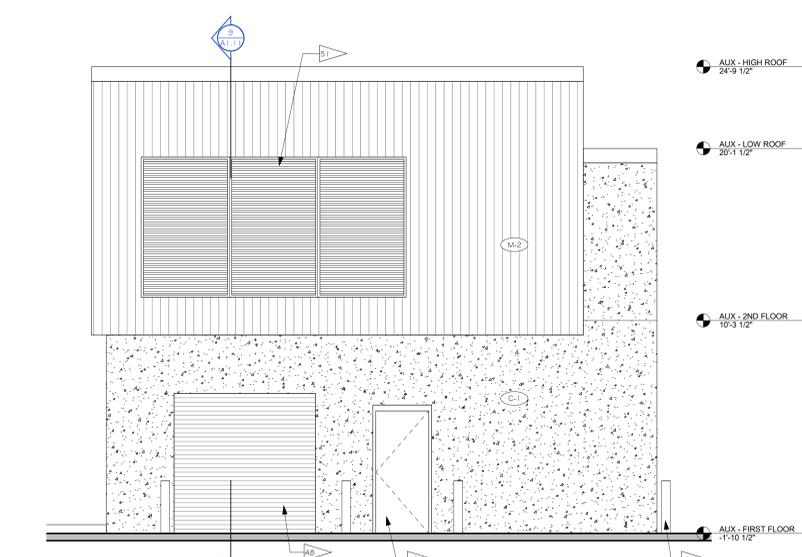
**5 REFUSE ENCLOSURE EAST ELEVATION**  
1/4" = 1'-0"



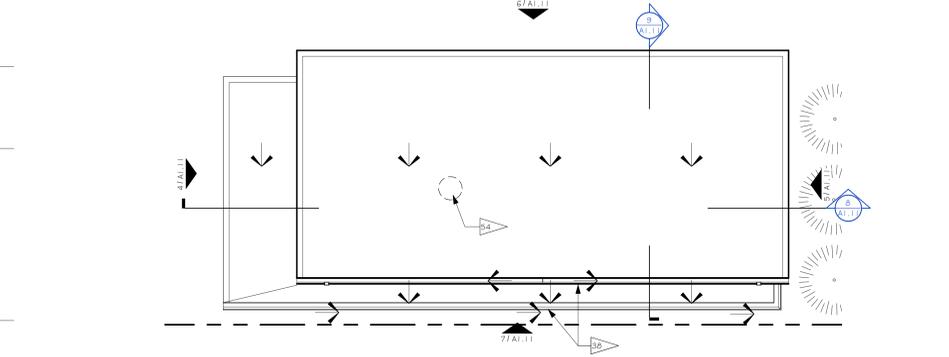
**4 REFUSE ENCLOSURE WEST ELEVATION**  
1/4" = 1'-0"



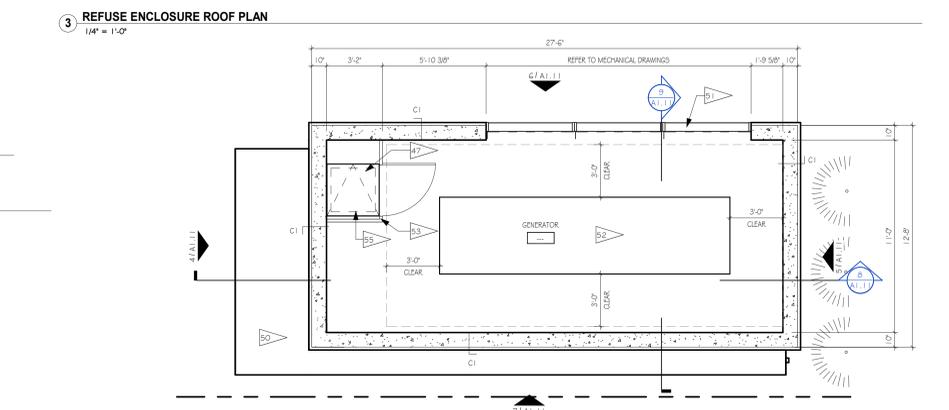
**10 DETAIL - CORRUGATED METAL AT 2ND FLOOR**  
1/4" = 1'-0"



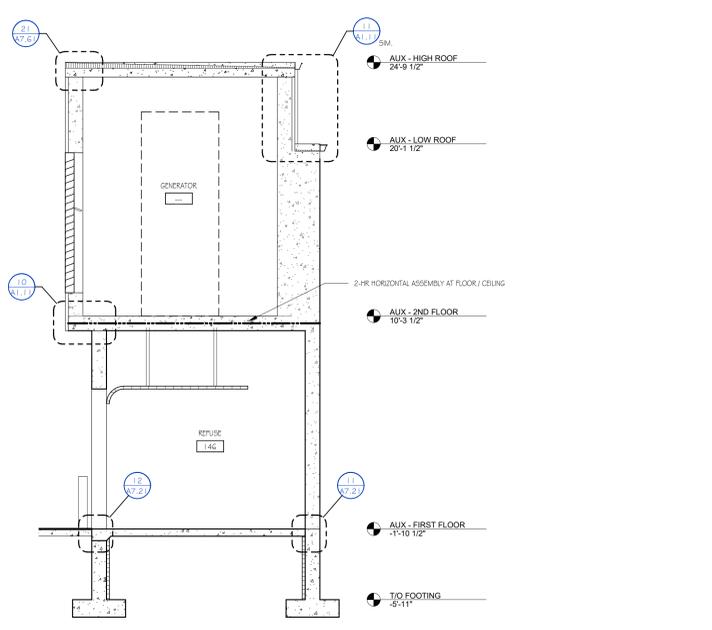
**6 REFUSE ENCLOSURE NORTH ELEVATION**  
1/4" = 1'-0"



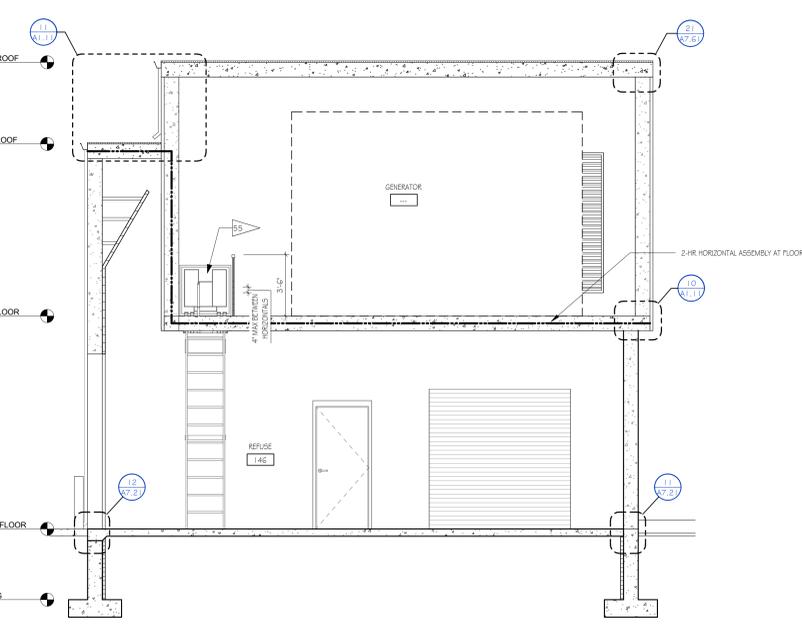
**3 REFUSE ENCLOSURE ROOF PLAN**  
1/4" = 1'-0"



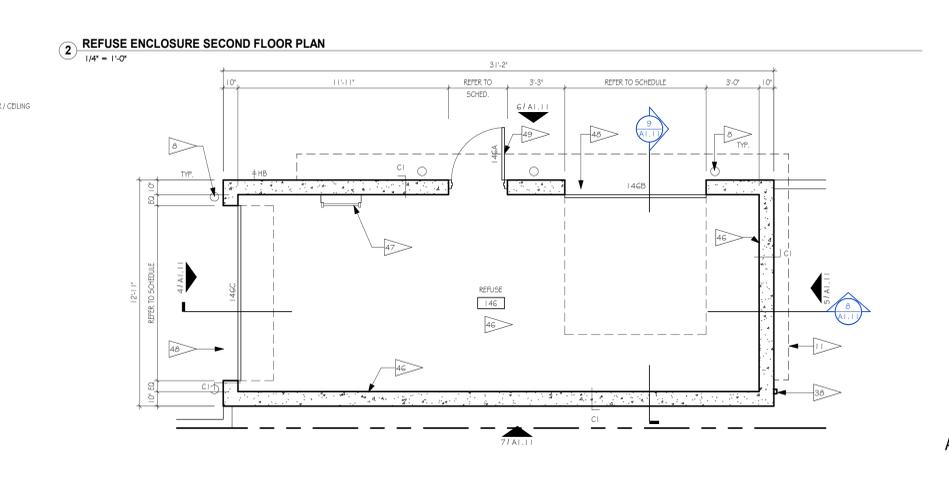
**1 REFUSE ENCLOSURE FIRST FLOOR PLAN**  
1/4" = 1'-0"



**9 SECTION - REFUSE ENCLOSURE B**  
1/4" = 1'-0"



**8 SECTION - REFUSE ENCLOSURE A**  
1/4" = 1'-0"



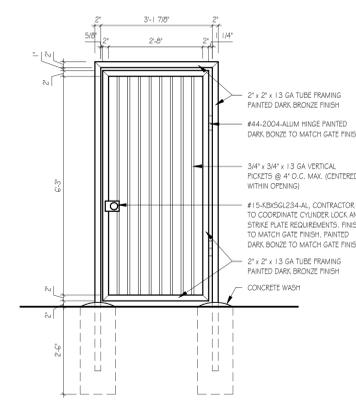
**2 REFUSE ENCLOSURE SECOND FLOOR PLAN**  
1/4" = 1'-0"

PROJECT: **MOXY HOTEL**  
825 EAST WASHINGTON AVENUE  
MADISON, WISCONSIN 53703  
CLIENT: **MM EAST WASHINGTON, LLC.**  
1600 ASPEN COMMONS, SUITE 200  
MIDDLETON, WISCONSIN 53562

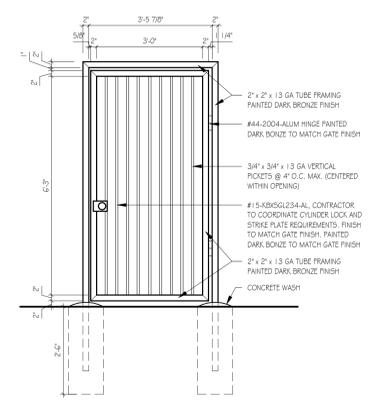
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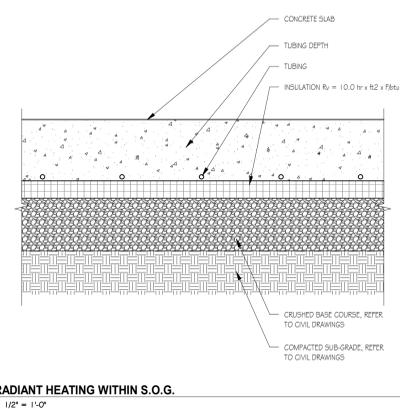
ENLARGED  
ARCHITECTURAL SITE  
PLAN



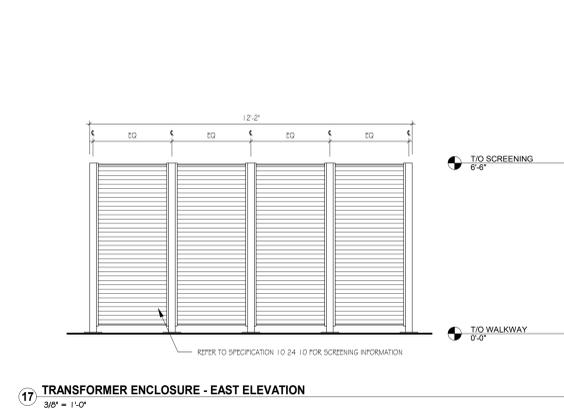
**20 ELEVATION - ALUMINUM GATE - WEST**  
1/2" = 1'-0"



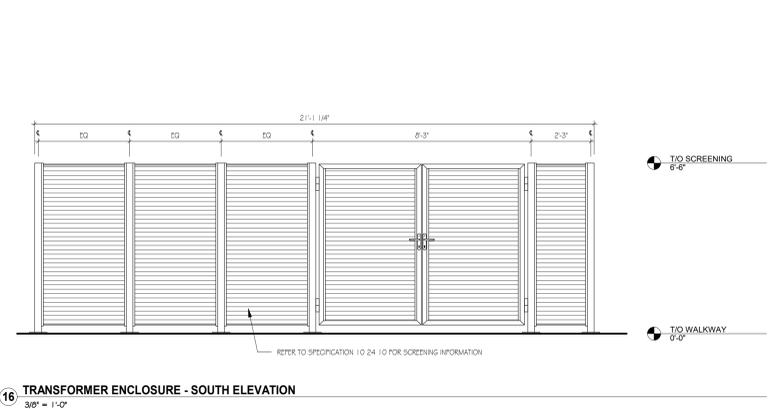
**19 ELEVATION - ALUMINUM GATE - EAST**  
1/2" = 1'-0"



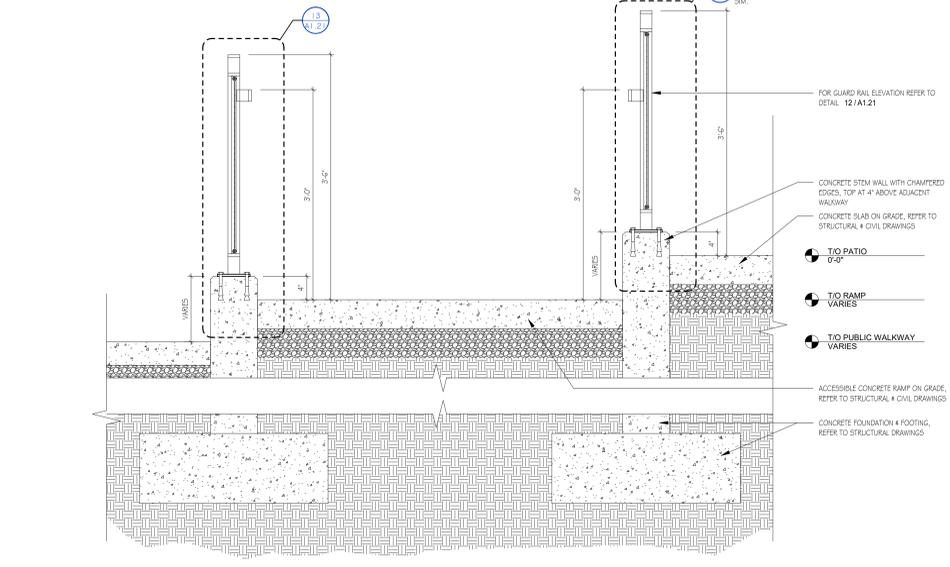
**18 RADIANT HEATING WITHIN S.O.G.**  
1 1/2" = 1'-0"



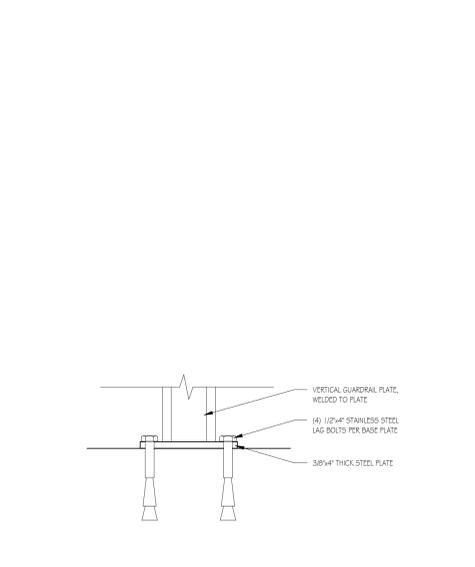
**17 TRANSFORMER ENCLOSURE - EAST ELEVATION**  
3/8" = 1'-0"



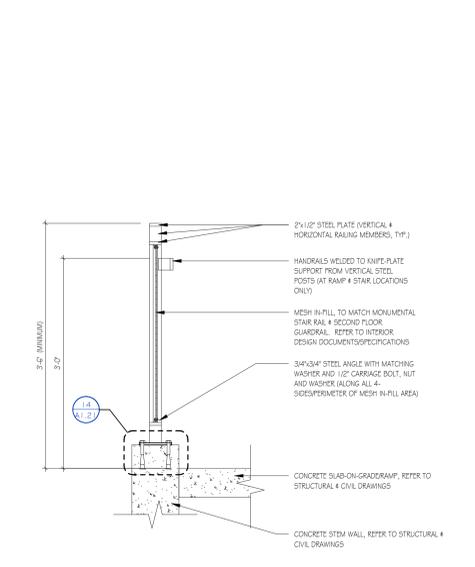
**16 TRANSFORMER ENCLOSURE - SOUTH ELEVATION**  
3/8" = 1'-0"



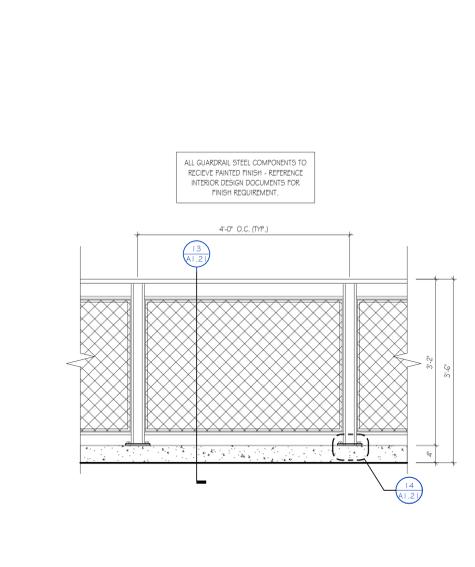
**15 A120 - SECTION THROUGH PATIO & RAMP**  
1" = 1'-0"



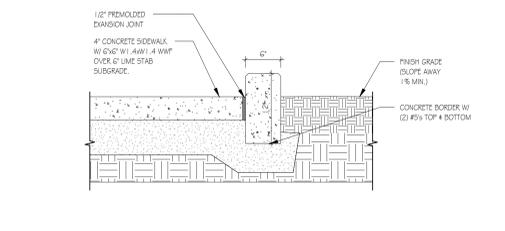
**14 EXTERIOR GUARD RAIL - FLOOR MOUNTED POST/PLATE CONNECTION DETAIL**  
3" = 1'-0"



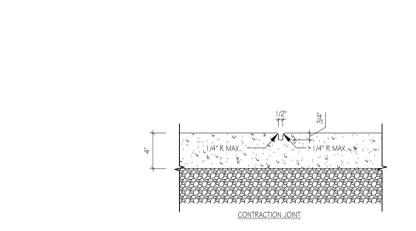
**13 EXTERIOR GUARD RAIL - FLOOR MOUNTED SECTION**  
1" = 1'-0"



**12 EXTERIOR GUARD RAIL - FLOOR MOUNTED ELEVATION**  
3/4" = 1'-0"



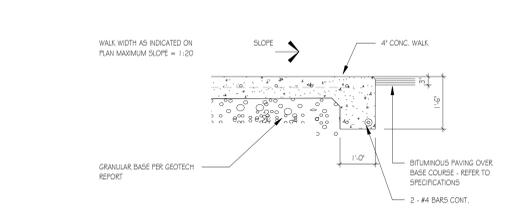
**11 LANDSCAPE BED DETAIL**  
1" = 1'-0"



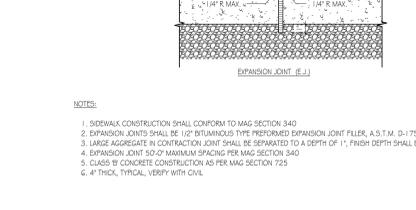
**9 CONCRETE SIDEWALK TYPICAL JOINT DETAILS**  
1 1/2" = 1'-0"



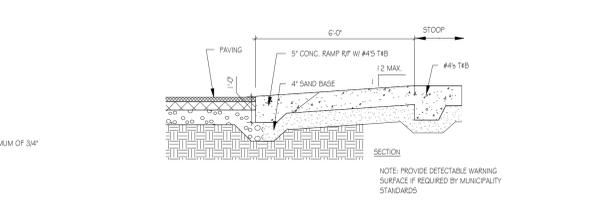
**8 CONCRETE SIDEWALK CURB RAMP**  
3/8" = 1'-0"



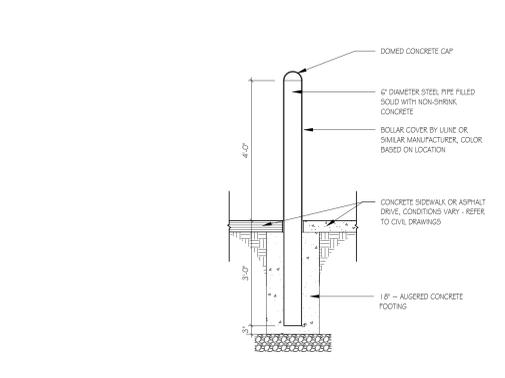
**10 CONCRETE THICKENED EDGE @ DROP OFF DETAIL**  
1/2" = 1'-0"



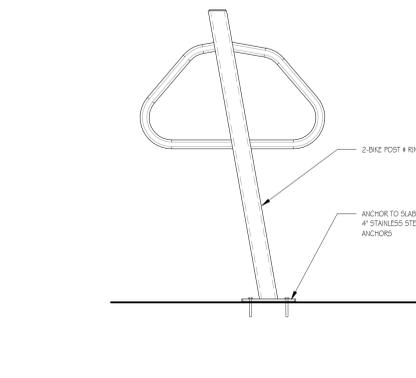
**7 CONCRETE CURB & GUTTER DETAIL**  
1/2" = 1'-0"



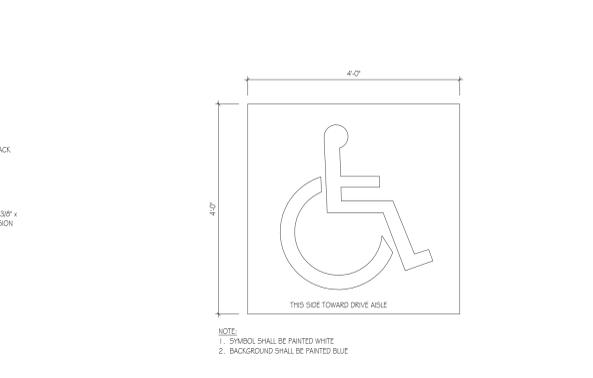
**6 CONCRETE CAST IN PLACE CURB WITHOUT GUTTER**  
1/2" = 1'-0"



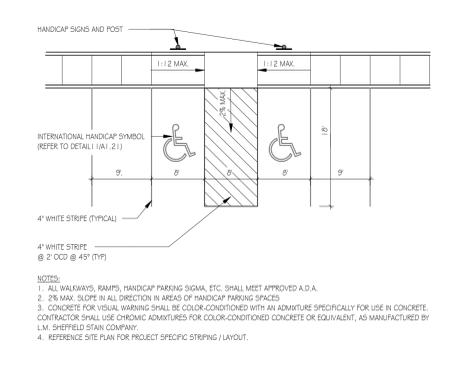
**5 BOLLARD (CAST IN PLACE)**  
1/2" = 1'-0"



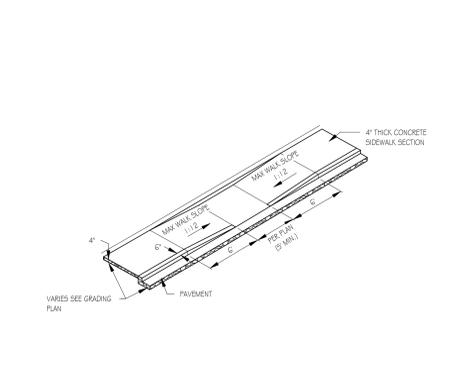
**4 BIKE RACK DETAIL W/ CAST IN PLACE BASE**  
1" = 1'-0"



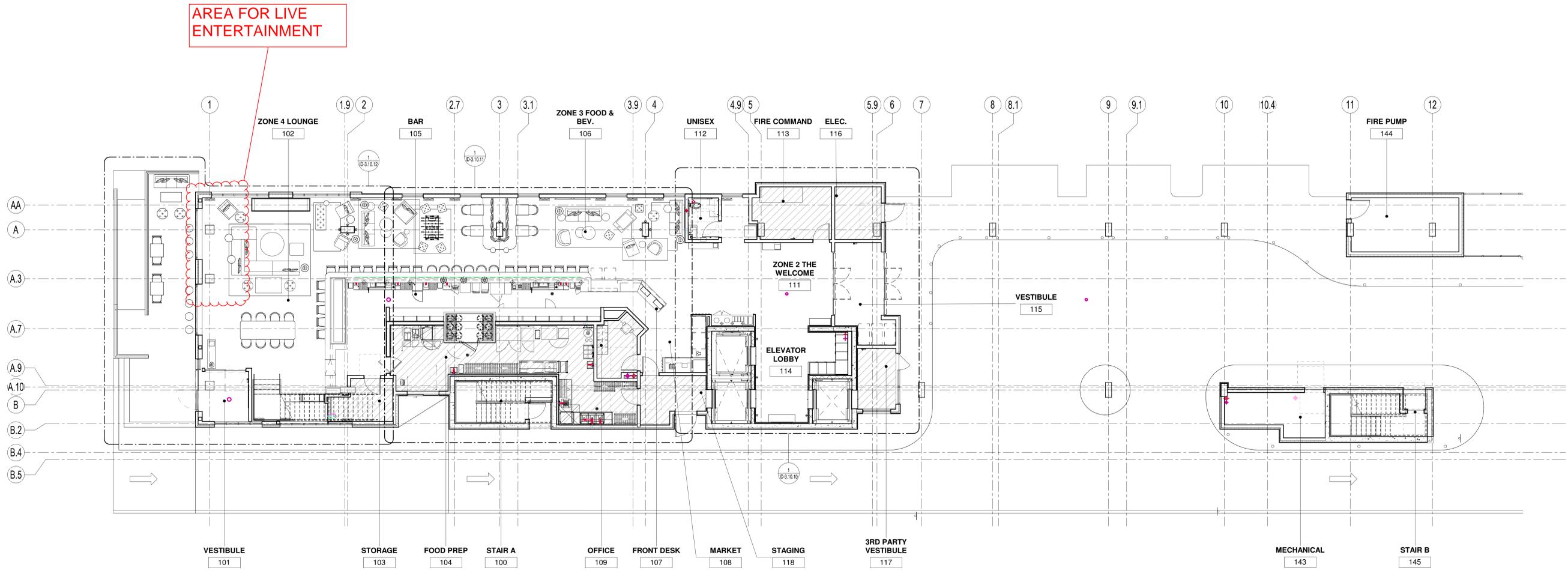
**3 ACCESSIBLE PARKING STALL SYMBOL**  
3/4" = 1'-0"



**2 ACCESSIBLE PARKING STALL STRIPING DETAIL**  
1/4" = 1'-0"



**1 ACCESSIBLE BARRIER FREE RAMP**  
1/4" = 1'-0"



AREA FOR LIVE ENTERTAINMENT

