



City of Madison

Conditional Use and Demolition

Location
6910 Odana Road

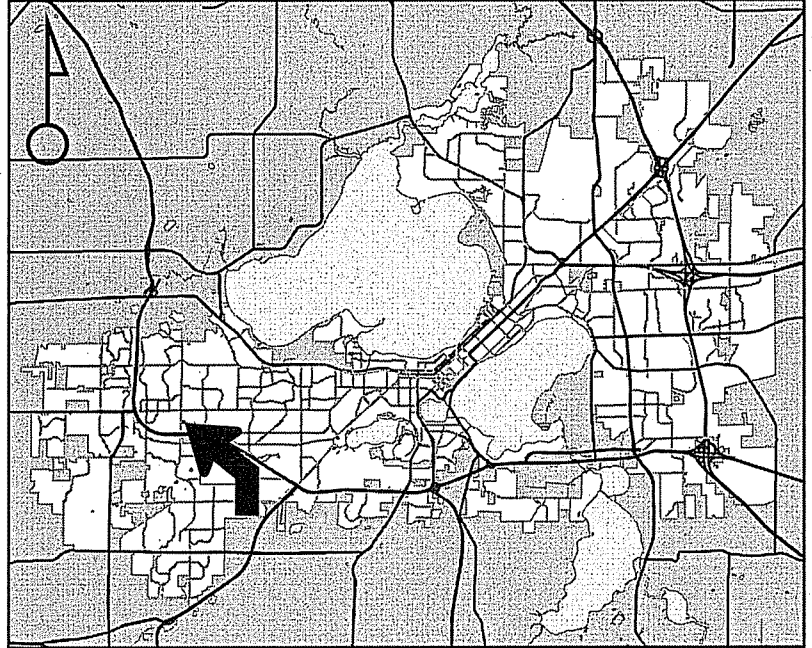
Project Name
McDonald's

Applicant
Carter Mann – McDonald's USA, LLC /
Joel Jackson – Bishop Engineering

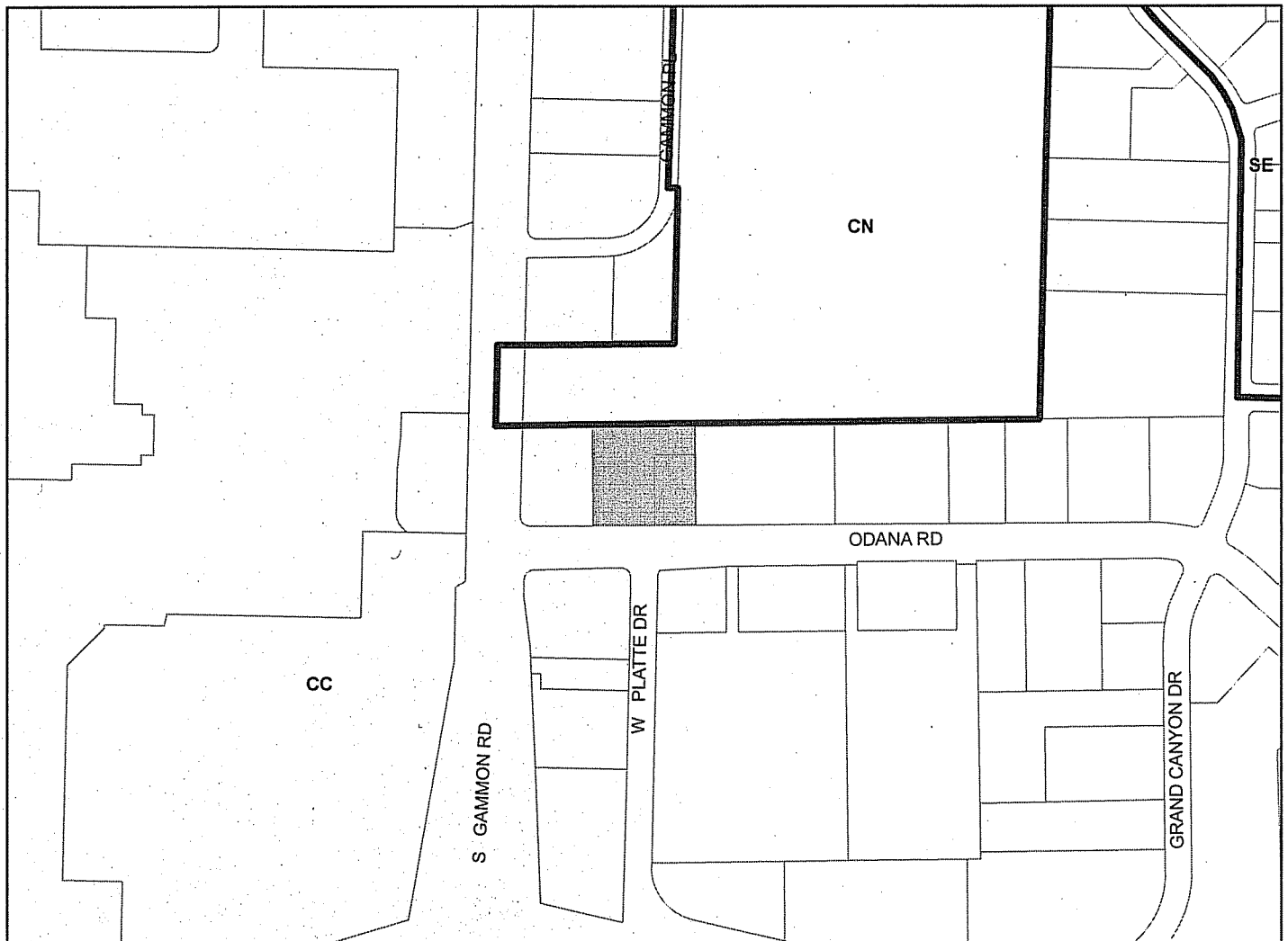
Existing Use
Restaurant

Proposed Use
Demolish and reconstruct
restaurantw/ vehicle access
sales and service window

Public Hearing Date
Plan Commission
03 April 2017

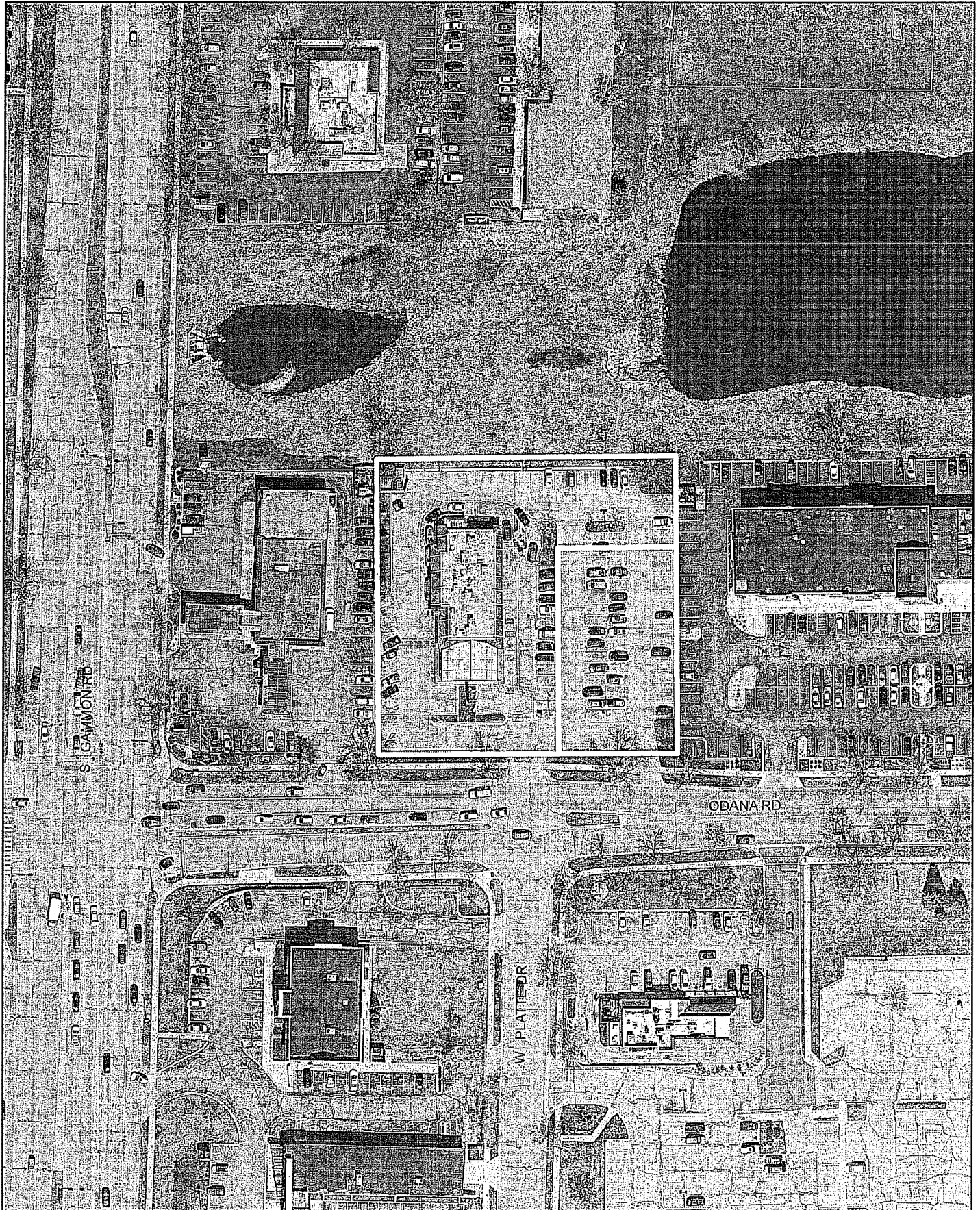


For Questions Contact: Jessica Vaughn at: 267-8733 or jvaughn@cityofmadison.com or City Planning at 266-4635



Scale : 1" = 400'

City of Madison, Planning Division : PPE : Date : 27 March 2017





LAND USE APPLICATION

CITY OF MADISON

126 S. Hmlton St
PO Box 2985; Madison, Wisconsin 53701-2985
Phone: 608.266.4635 | Facsimile: 608.267.8739

- All Land Use Applications should be filed with the Zoning Administrator at the above address.
- The following information is required for all applications for Plan Commission review except subdivisions or land divisions, which should be filed using the Subdivision Application.
- This form may also be completed online at:
www.cityofmadison.com/developmentcenter/landdevelopment

FOR OFFICE USE ONLY:

Amt. Paid \$600 Receipt No. 026174-0004
 Date Received 2/8/17
 Received By [Signature]
 Parcel No. 0708-252-0102-6
 Aldermanic District 19 - Clear
 Zoning District CC
 Special Requirements Bx. U
 Review Required By:
 Urban Design Commission Plan Commission
 Common Council Other: _____

Form Effective: February 21, 2013

1. **Project Address:** 6910 Odana Rd
Project Title (if any): McDonald's - Madison, WI - Odana Rd

2. **This is an application for (Check all that apply to your Land Use Application):**

- Zoning Map Amendment from _____ to _____
- Major Amendment to Approved PD-GDP Zoning Major Amendment to Approved PD-SIP Zoning
- Review of Alteration to Planned Development (By Plan Commission)
- Conditional Use, or Major Alteration to an Approved Conditional Use
- Demolition Permit
- Other Requests: _____

3. **Applicant, Agent & Property Owner Information:**

Applicant Name: Carter Mann **Company:** McDonald's USA, LLC
Street Address: 1650 W 82nd St Suite #900 **City/State:** Bloomington, MN **Zip:** 55431
Telephone: (952) 300-5504 **Fax:** () N/A **Email:** carter.mann@us.mcd.com

Project Contact Person: Joel Jackson **Company:** Bishop Engineering
Street Address: 3501 104th St **City/State:** Urbandale, IA **Zip:** 50322
Telephone: (515) 276-0467 **Fax:** () N/A **Email:** jjackson@bishopengr.com

Property Owner (if not applicant): McDonald's Corp c/o Carrie Bennett-Barndt
Street Address: 9701 Brader Way Suite 201 **City/State:** Middleton, WI **Zip:** 53562

4. **Project Information:**

Provide a brief description of the project and all proposed uses of the site: Demolish existing store and re-build new McDonald's restaurant with a playplace.

Development Schedule: Commencement Spring 2017 Completion Summer 2017

5. Required Submittal Information

All Land Use applications are required to include the following:

Project Plans including:*

- Site Plans (fully dimensioned plans depicting project details including all lot lines and property setbacks to buildings; demolished/proposed/altered buildings; parking stalls, driveways, sidewalks, location of existing/proposed signage; HVAC/Utility location and screening details; useable open space; and other physical improvements on a property)
- Grading and Utility Plans (existing and proposed)
- Landscape Plan (including planting schedule depicting species name and planting size)
- Building Elevation Drawings (fully dimensioned drawings for all building sides, labeling primary exterior materials)
- Floor Plans (fully dimensioned plans including interior wall and room location)

Provide collated project plan sets as follows:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of 1 inch = 20 feet (folded or rolled and stapled)
- **Twenty Five (25) copies** of the plan set reduced to fit onto 11 X 17-inch paper (folded and stapled)
- **One (1) copy** of the plan set reduced to fit onto 8 ½ X 11-inch paper

* For projects requiring review by the **Urban Design Commission**, provide **Fourteen (14) additional 11x17 copies** of the plan set. In addition to the above information, all plan sets should also include: 1) Colored elevation drawings with shadow lines and a list of exterior building materials/colors; 2) Existing/proposed lighting with photometric plan & fixture cutsheet; and 3) Contextual site plan information including photographs and layout of adjacent buildings and structures. The applicant shall bring samples of exterior building materials and color scheme to the Urban Design Commission meeting.

Letter of Intent: Provide one (1) Copy per Plan Set describing this application in detail including, but not limited to:

- | | | |
|---|---|--|
| • Project Team | • Building Square Footage | • Value of Land |
| • Existing Conditions | • Number of Dwelling Units | • Estimated Project Cost |
| • Project Schedule | • Auto and Bike Parking Stalls | • Number of Construction & Full-Time Equivalent Jobs Created |
| • Proposed Uses (and ft ² of each) | • Lot Coverage & Usable Open Space Calculations | • Public Subsidy Requested |
| • Hours of Operation | | |

Filing Fee: Refer to the Land Use Application Instructions & Fee Schedule. Make checks payable to: *City Treasurer*.

Electronic Submittal: All applicants are required to submit copies of all items submitted in hard copy with their application as Adobe Acrobat PDF files on a non-returnable CD to be included with their application materials, or by e-mail to pcapplications@cityofmadison.com.

Additional Information may be required, depending on application. Refer to the Supplemental Submittal Requirements.

6. Applicant Declarations

Pre-application Notification: The Zoning Code requires that the applicant notify the district alder and any nearby neighborhood and business associations in writing no later than 30 days prior to FILING this request. List the alderperson, neighborhood association(s), and business association(s) AND the dates you sent the notices:
Alder Clear on 12/21/2016

→ If a waiver has been granted to this requirement, please attach any correspondence to this effect to this form.

Pre-application Meeting with Staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning and Planning Division staff; note staff persons and date.

Planning Staff: Jessica Vaughn Date: 9/29/2016 Zoning Staff: Jenny Kirchgatter Date: 9/29/2016

The applicant attests that this form is accurately completed and all required materials are submitted:

Name of Applicant Carter Mann Relationship to Property: McDonald's Construction Manager

Authorizing Signature of Property Owner Carter Mann Date 01/26/17

January 26th, 2017

City of Madison, Wisconsin Permit Counter
Attn: Jenny Kirchgatter
Assistant Zoning Administrator
215 Martin Luther King, Jr. Blvd Ste. LL-100
Madison, WI 53703



Re: Letter of Intent for McDonald's: 6910 Odana Road

Dear Ms. Kirchgatter,

McDonald's Corporation is proposing improvements for the McDonald's restaurant located at 6910 Odana Road. The improvements will include removing the existing McDonald's building, parking lot and parking lot lighting. A new building, parking lot and parking lot lighting will be constructed in place of the existing store. The existing pole sign will remain and won't be affected as part of the project.

As part of this renovation, the function of the site will not change. The hours at this location will also stay the same with the lobby and drive-thru being open 5:00am-12:00am and the drive-thru open until 1am on Friday and Saturday nights.

The new site and building will be brought up to code with all City of Madison rules and regulations. In discussions with the city, the existing pole sign will remain and grandfathered in.

The only code we are asking for a variance on is the parking lot vehicle capacity. City code allows a maximum of 40% of the lobby seating capacity which would be only 40 stalls allowed. Below is a summary of a 2 week parking study that was conducted in November of 2016.

November 2016 – 2 week long parking Study

	<u>Average Cars in Lot</u>	<u>Range of Cars in Lot</u>
7am:	24	7-36
8am:	35.6	16-49
10am:	38.9	32-59
12pm:	50.5	32-81
5pm:	18	10-32
6pm:	19.9	13-28

Additional variable shall be noted too in analyzing the parking study:

- November is not one of the busiest months for this store.
- Over the large lunch shift, 26 employees work at the store, almost all of them drive to the store.
- The existing store has 83 parking stalls
- The operator is expecting a sales bump in excess of 10% after reconstruction based off similar stores that have been re-built in the region.

The new parking lot is being proposed at 64 parking stalls, which exceeds the amount the city allows but still we are at 19 stalls less than the existing store has. Based off the parking study above and additional information provided, all 64 parking stalls are going to be 100% full on many days over lunchtime. This will impact business and site circulation as people will not have spaces to park at peak times. We ask

that as part of the approval process, the City of Madison grants a variance as it relates to the maximum number of parking stalls allowed on this project.

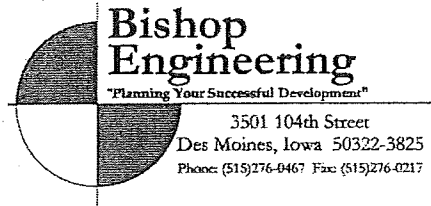
Sincerely,

Joel Jackson

Joel Jackson, PE

March 24th, 2017

City of Madison, Wisconsin Permit Counter
Attn: Jenny Kirchgatter
Assistant Zoning Administrator
215 Martin Luther King, Jr. Blvd Ste. LL-100
Madison, WI 53703



Re: Parking Study for McDonald's: 6910 Odana Road

Dear Ms. Kirchgatter,

McDonald's Corporation is proposing improvements for the McDonald's restaurant located at 6910 Odana Road. The improvements include removing the existing store and parking lot and building a new McDonald's restaurant and parking lot on the existing site.

As part of the rebuilding process, we analyzed the parking lot to help determine the number of parking stalls necessary for successful operation of the McDonald's restaurant.

Existing Condition:

The following list of conditions are applicable to the existing store and relate to the parking study:

- The existing restaurant is 6,205 SF and has a lobby seating capacity of 115 seats.
- The existing store has 83 parking stalls, of which only 2 are signed ADA accessible stalls.

Proposed Condition:

The following list of conditions are applicable to the proposed store and relate to the parking study:

- The proposed restaurant is 5,930 SF and has a lobby seating capacity of 98 seats.
- The proposed store is proposed to have 64 parking stalls, of which 3 will be ADA accessible stalls.

City Code:

City of Madison code allows for a maximum number of parking stalls that is equivalent to 40% of the lobby seating capacity. The lobby capacity of 98 seats equates to 40 parking stalls allowed.

As stated above, the proposed condition that McDonald's site plan shows is 64 parking stalls, which exceeds the maximum allowed stalls by 24. Even though we are reducing the number of stalls on the lot by 19 stalls, we are exceeding the maximum stalls allowed per code so we are asking for the City of Madison to grant us a variance for the additional stalls as it relates to city code.

Justification:

City codes states several items that need to be addressed in order to qualify for a variance. These items include the following:

- Documentation regarding the actual parking demand for the proposed use.
- The impact of the proposed use on the parking and roadway facilities in the surrounding area.
- Whether the proposed use is located near a parking area that is available to the customers, occupants, employees and guests of the proposed use.

- The availability of alternative forms of transportation and actions being taken by the applicant to enhance or promote those alternatives.
- Structured parking, rain gardens or other bioretention facilities, additional landscaping, pervious pavement, or other mitigation measures may be required as conditions for an exception.
- Whether the proposed use is new or is an alteration, addition or expansion of an existing use.

Parking Count Study:

In working to justify the need for parking above the city code, we are fortunate to be in a unique situation where we have an existing restaurant site that will function nearly identical to the new restaurant after construction.

Since we are able to do a real world, case study on the existing restaurant, we counted the number of cars seen parking in the lot at different times of the day. We chose times based off different meal times and also picked a few times in between meal times to demonstrate the difference throughout the day.

Below is a table summarizing the actual data collected by the store manager in the fall of 2016 reflecting the exact number of cars in the parking lot at the particular time shown:

TABLE 1:

DATE	NUMBER OF CARS IN THE PARKING LOT AT SPECIFIC TIMES					
	7AM	8AM	10AM	12PM	5PM	6PM
NOV 18TH			56	62	15	16
NOV 19TH	25	39	30	42	21	19
NOV 20TH	34	41	37	48	18	13
NOV 21ST	29	35	43	81		22
NOV 22ND	22	18	32	48	13	20
NOV 23RD	20	36	37	47	14	16
NOV 24TH	33	43	42	48	32	20
NOV 25TH	12	16	39	36	20	19
NOV 26TH	7	25	38	32	11	16
NOV 27TH	26	36	32	47	10	22
NOV 28TH	23	39	34	34	15	
NOV 29TH	28	49	32	57	17	25
NOV 30TH	36	45	32	53		
DEC 1ST	18	37	41	59	25	23
DEC 2ND	24	39	59	64	23	28

Below is a summary table of the raw data seen on the previous page:

TABLE 2:

	Average Cars in Lot	Range of Cars in Lot
7am:	24	7-36
8am:	35.6	16-49
10am:	38.9	32-59
12pm:	50.5	32-81
5pm:	18	10-32
6pm:	19.9	13-28

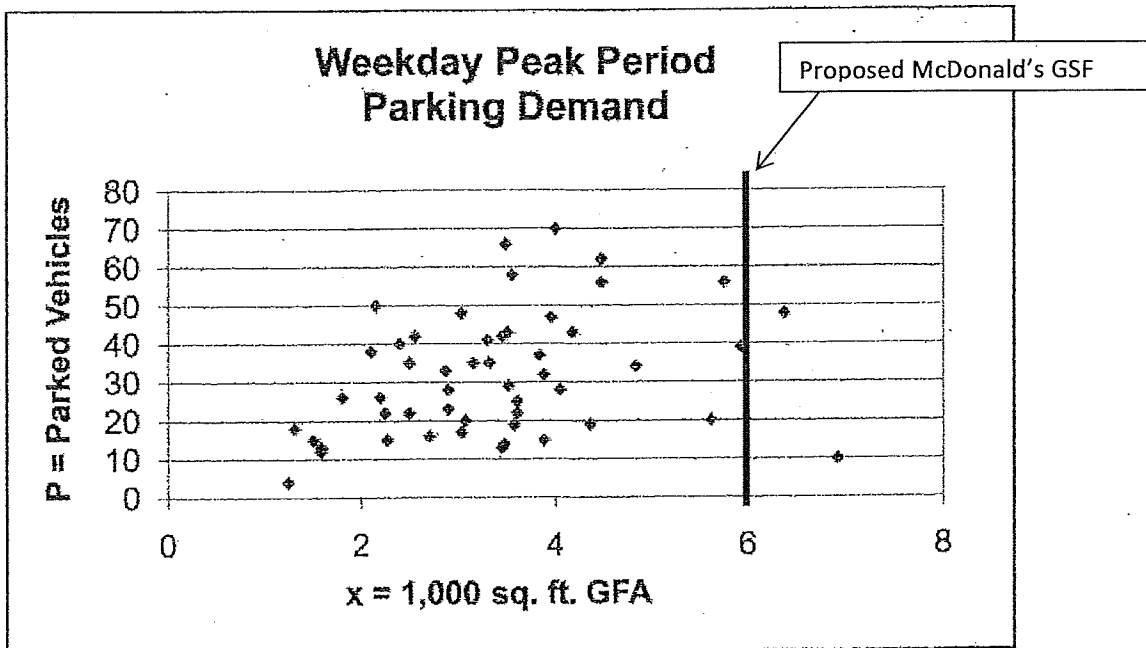
Analyzing the data above, almost every day has a parking demand that exceeds city code, and at some times, the demand even exceeds the proposed number of parking stalls, which is 64 stalls.

Parking Demand by the ITE Book:

As a comparison to the actual measured data above, we looked at what the Institute of Transportation Engineers (ITE) states for parking demand on a fast food restaurant with a drive-thru of this size and function. Using ITE Parking Generation, 4th Edition, it states the following:

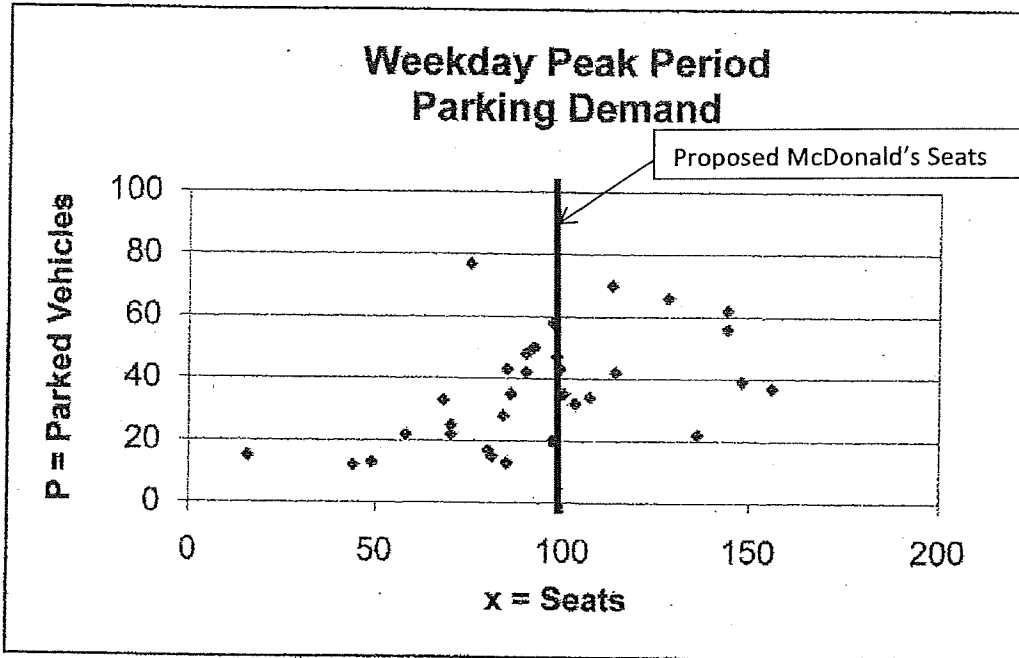
For a Fast food restaurant with a drive-thru, they studied 51 locations. The average week day peak period demand is shown in the tables below as a function of both Seating Capacity and Gross Square Footage.

TABLE 3: ITE Weekday Parking Demand as a function of Gross SF



◆ Actual Data Points

TABLE 4: ITE Weekday Parking Demand as a function of Restaurant Seating Capacity



◆ Actual Data Points

By analyzing the tables above, restaurants with 80 seats or more seem to have similar parking demand, ranging from 15 cars to upwards of 75 cars. Restaurants above 3,500 GSF also seem to generate similar vehicle demand of 10-70 cars.

Summary of ITE data: Our proposed restaurant of 98 seats and 5,930 GSF falls in the middle of the pack as far as seating capacity and on the far upper end as far as GSF.

Assuming the study analyzed several different brands of fast food restaurants and applying what is known about McDonald's itself, the following conclusion can be drawn:

The existing McDonald's on Odana Road, is a very high volume restaurant for McDonald's standards. Applying this piece of information coupled with the data above, the upper echelon of parking demand would be expected. Based off the charts above, this upper echelon exceeds 60 cars in the lot, which corresponds well to our in-field car counts taken on the site in November of 2016. This also corresponds well to the 64 proposed parking stalls that are part of our site plan.

Alternative Modes of Transportation:

Alternative forms of transportation from traditional driving help to reduce the parking demand would include but not limited to bicycles, city bus transportation, Uber, Taxis, and being dropped off or picked up by a friend/relative.

While the Uber, Taxi and being dropped off methods help to reduce parking demand these methods increase the traffic demand on city streets by potentially doubling the number of lane miles driven for a

single employee to work their shift or by a single customer visiting the restaurant. Because of this, these forms are not actively encouraged by the McDonald's store Operator.

The operator does support both customers and employees to bike to the store. In doing so, 3 bike racks supporting 6 separate bike parking stalls are being added in front of the store to encourage people to bike. It should be noted though this store is not located downtown or in the dense campus or central business district area of Madison and in the winter, it is anticipated that limited numbers of people will bike to this location.

The last Alternative form of Transportation is the city bus. There are multiple city bus stops located very close to this location.

In 2014-2016 the operator encouraged employees to take the bus by offering the Madison Metro Commute Card to all the employees at all the operator's stores. This card allows employees unlimited use of the Metro Bus service at a discounted price. The operator further subsidized the cost so that each ride only cost the employee \$1 and were able to use the card for both work and personal use. Unfortunately, there was a lack of employees using the program and it was discontinued in the spring of 2016. It was derived the lack of demand was partially due to the employee shifts that McDonald's operates. The two largest shifts are from 5am-1pm and 4pm to midnight. At 5am and midnight, there are limited opportunities to take the bus.

Even though there were only 2 employees taking advantage of the bus program across all the stores, the operator would be willing to restart the program to encourage employees to take the bus.

Additional variables shall be noted too in analyzing the parking study:

-The parking counts were done in November of 2016 and historically, November is not the busiest month for this store. July, August, September, October and December are all busier months with sales averaging between 3% and 18% larger, depending on the month. This would have a direct translation to parking demand and would be increased accordingly.

-Over the large lunch shift, 26 employees work at the store, almost all of them drive to the store.

-The operator is expecting a sales bump in excess of 10% after reconstruction based off similar stores that have been re-built in the region. This will drive further parking demand.

-Right now there are 115 seats in the store and once reconstructed, there will be only 98 seats. As the McDonald's lobby operates today, there are significant numbers of unoccupied seats in the lobby and the lobby is being right-sized for the percentage of business that uses the lobby today and what is anticipated in the future. Even though this may seem like less parking would be necessary, the parking study as outlined above shows there is significant demand for the parking lot, far exceeding the 40 stalls allowed per code. Once the store is rebuilt and coupled with the anticipated sales bump, it is even more compelling that parking demand will exceed what is happening today that Table 1 outlines above.

Addressing the specific City of Madison required justifications:

- Documentation regarding the actual parking demand for the proposed use.
 - The parking demand shown above in both actual parking counts today and by using the ITE Parking Generation Manual support the proposed 64 stall parking lot.
- The impact of the proposed use on the parking and roadway facilities in the surrounding area.
 - The existing drive-way locations are going to be utilized so we don't anticipate any impacts from what is occurring today vs the future at this store.

- Whether the proposed use is located near a parking area that is available to the customers, occupants, employees and guests of the proposed use.
 - The parking lot is located on property, immediately adjacent to the proposed store, close to customers and employees.
- The availability of alternative forms of transportation and actions being taken by the applicant to enhance or promote those alternatives.
 - Bicycle parking is being provided and the operator has pledged to reinstate the bus pass program that was previously offered.
- Structured parking, rain gardens or other bio-retention facilities, additional landscaping, pervious pavement, or other mitigation measures may be required as conditions for an exception.
 - Bio-retention is being added as part of the improvements to improve water quality from the parking lot as required by City of Madison code. The bio-retention will remove 60% of the total suspended solids (TSS) leaving the parking lot before the parking lot drains north, into the city storm water retention lagoon. Landscaping is also being provided as part of the improvements. We are keeping as many of the existing trees as possible but additional landscaping as well. All the existing street trees will be protected from construction.
- Whether the proposed use is new or is an alteration, addition or expansion of an existing use.
 - The proposed use is identical to the existing use, both conditions have a double entrance drive thru, both conditions have a play place indoor playground and both conditions have a customer lobby.

Summary:

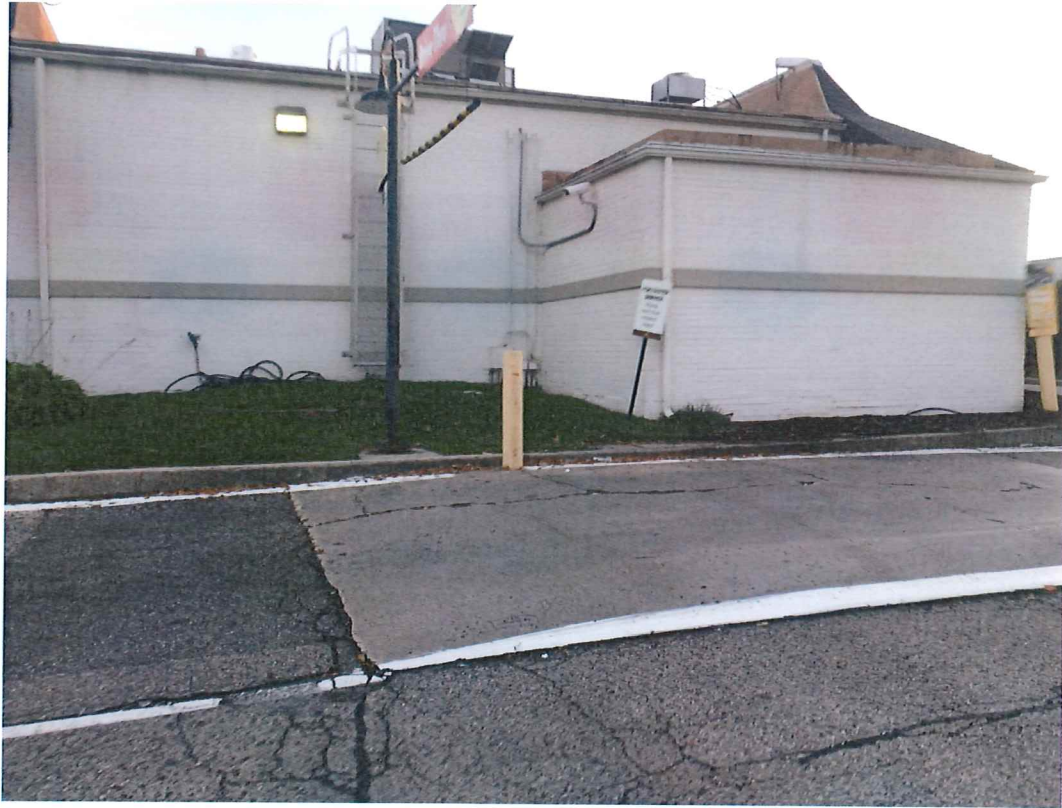
The new parking lot is being proposed at 64 parking stalls, which exceeds the amount the city allows but still we are at 19 stalls less than the existing store has. Based off all the information above all 64 parking stalls are going to be 100% full on many days over lunchtime. This will impact business and site circulation as people will not have spaces to park at peak times. We feel that with all the supporting data and facts above, we meet the criteria the City of Madison has outlined to be eligible for a parking variance.

Sincerely,

Joel Jackson

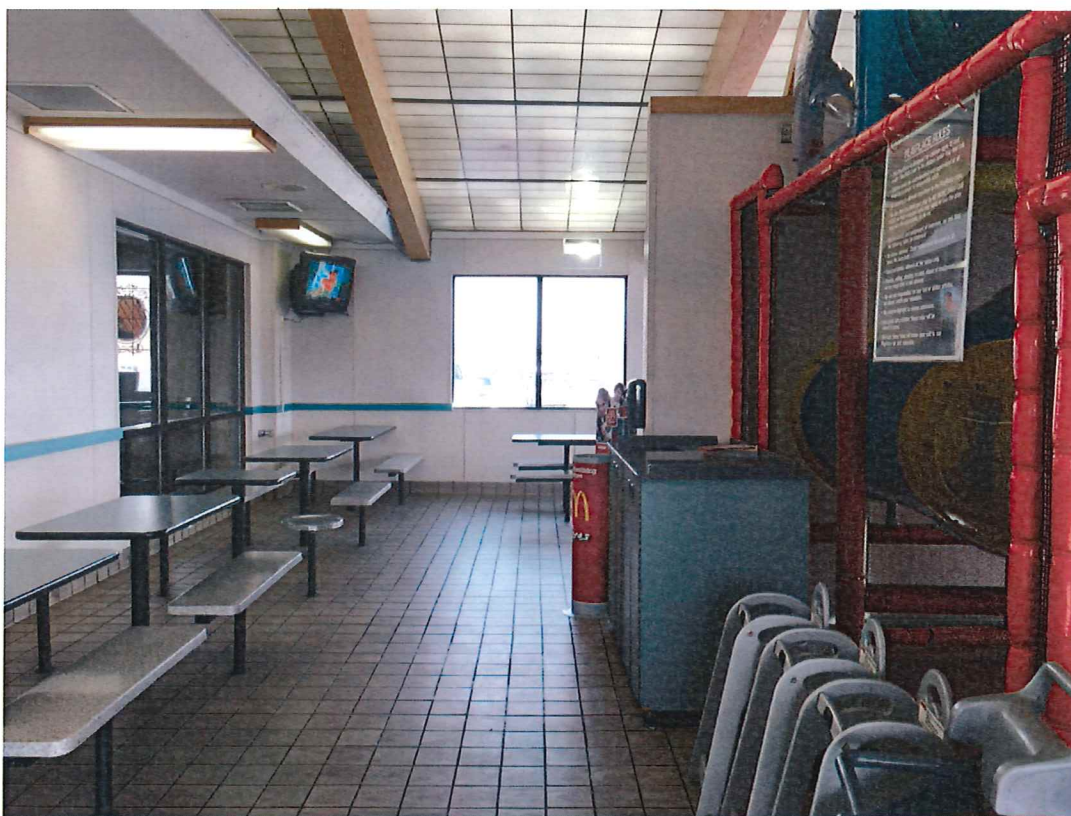
Joel Jackson, PE







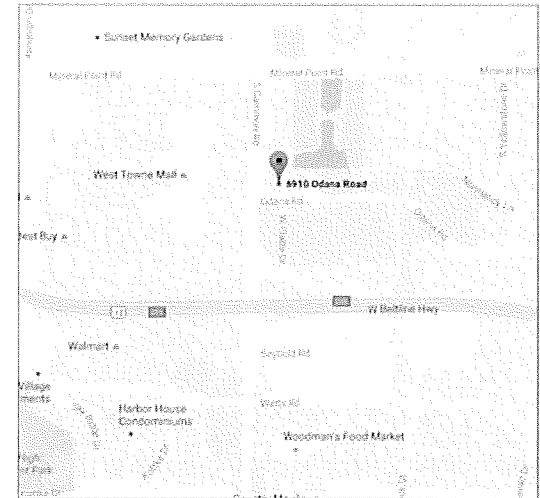
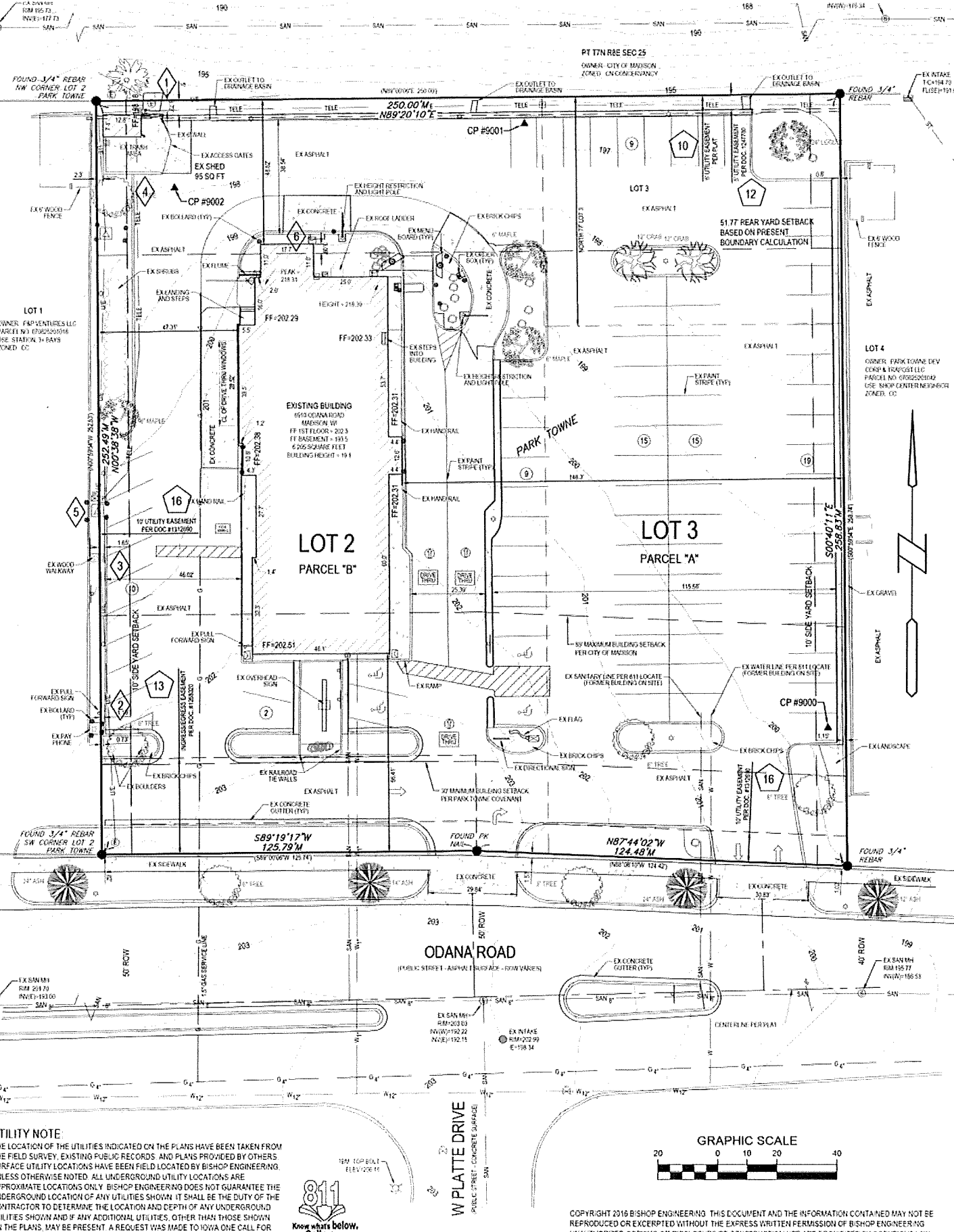








McDONALD'S - ODANA ROAD, MADISON, WI SITE SURVEY ALTA/NSPS LAND TITLE



VICINITY MAP
SCALE: NOT TO SCALE

PROPERTY DESCRIPTION:
 PER TITLE COMMITMENT #CO-5325
 PARCEL A:
 LOT 3, EXCEPT THE NORTH 77 FEET THEREOF, PARK TOWNE, IN THE CITY OF MADISON, COUNTY OF DANE, STATE OF WISCONSIN. TAX KEY NO. 0708-252-0103.
 ADDRESS: 6906 ODANA ROAD

PARCEL B:
 LOT 2, AND THE NORTH 77 FEET OF LOT 3, PARK TOWNE, IN THE CITY OF MADISON, COUNTY OF DANE, STATE OF WISCONSIN. TAX KEY NO. 0708-252-0102-6.
 ADDRESS: 6910 ODANA ROAD

BEING THE SAME AS ALL OF LOTS 2 AND 3, PARK TOWNE, BEING A PART OF THE NORTHEAST QUARTER AND THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 7 NORTH, RANGE 8 EAST, IN THE CITY OF MADISON, DANE COUNTY, WISCONSIN AND BEING ON FILE AND OF RECORD IN THE PLAT RECORDS VOLUME 35, PAGE 40-41, IN SAID DANE COUNTY, WISCONSIN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A REBAR FOUND AT THE SOUTHWEST CORNER OF SAID LOT 2, BEING IN THE NORTHERLY RIGHT OF WAY LINE OF ODANA ROAD, THENCE ALONG THE WEST LINE OF SAID LOT 2, NORTH 00 DEGREES 38 MINUTES 38 SECONDS WEST, A DISTANCE OF 252.49 FEET TO A REBAR FOUND AT THE NORTHWEST CORNER OF SAID LOT 2 AND 3, NORTH 89 DEGREES 20 MINUTES 10 SECONDS EAST, A DISTANCE OF 250.00 FEET TO A REBAR FOUND AT THE NORTHEAST CORNER OF SAID LOT 3, THENCE ALONG THE EAST LINE OF SAID LOT 3, SOUTH 00 DEGREES 40 MINUTES 11 SECONDS EAST, A DISTANCE OF 258.83 FEET TO A REBAR FOUND AT THE SOUTHEAST CORNER OF SAID LOT 3, BEING ALSO IN SAID NORTHERLY RIGHT OF WAY LINE, THENCE ALONG THE SOUTH LINES OF SAID LOT 3 AND LOT 2, BEING ALSO SAID NORTHERLY RIGHT OF WAY LINE, THE FOLLOWING 2 COURSES:

1. NORTH 87 DEGREES 44 MINUTES 02 SECONDS WEST, A DISTANCE OF 124.84 FEET TO A P.K. NAIL FOUND;
2. NORTH 89 DEGREES 19 MINUTES 17 SECONDS WEST, A DISTANCE OF 125.79 FEET TO THE POINT OF BEGINNING

SITE AREA: 63,258 SQ. FT., 1.458 ACRES

ADDRESS: 6910 ODANA ROAD AND 6906 ODANA ROAD, MADISON, WISCONSIN 53719

OWNER: MCDONALD'S CORP.
 C/O CARRIE BENNETT-BARNDT
 9701 BRADER WAY
 SUITE 201
 MIDDLETON, WI 53552

PREPARED FOR: JESSICA KRANZ
 1650 W. 82ND STREET #9000
 BLOOMINGTON, MN 55431

ZONING: INFORMATION OBTAINED FROM CITY OF MADISON WEBSITE (508)256-4551
 ZONING: CO-COMMERCIAL CENTER DISTRICT

SETBACKS:
 FRONT - NEW BUILDINGS SEE SEC 33.24(4)(b), MGO - 85' MAXIMUM
 FRONT PER PARK TOWN COVENANTS, 30' MINIMUM
 SIDE - 5' - ONE STORY, NOT ADJACENT TO RESIDENTIAL SIDE PER PARK TOWN COVENANTS, 10' MINIMUM
 REAR - 20% OF LOT DEPTH (DEPTH=258.83, SETBACK=51.77)
 OBTAIN FROM THE CITY, A ZONING LETTER FOR AN INTERPRETATION OF THE ABOVE SETBACK INFORMATION

SITE CONTROL:
 BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS DATUM = NAD 83, WI COUNTY COORDS, DANE ZONE BENCHMARK DATUM = MADISON DATUM

POINT #9000
 NORTHING = 476335.00
 EASTING = 789226.28
 ELEVATION = 199.95
 DESCRIPTION: CP MAG, SOUTHEAST CORNER OF PARKING LOT ON LOT 2

POINT #801
 NORTHING = 476537.44
 EASTING = 789233.92
 ELEVATION = 198.60
 DESCRIPTION: CP MAG, LOCATED 106 FEET WEST OF EAST PROPERTY LINE, AND 9 FEET SOUTH OF NORTH PROPERTY LINE

POINT #9002
 NORTHING = 476515.57
 EASTING = 789709.30
 ELEVATION = 197.48
 DESCRIPTION: CP MAG, SOUTHEAST OF TRASH AREA

ENCROACHMENT NOTES:

1. CONCRETE SURROUND OF ELECTRIC MANHOLE ENCR OACHES 2.5' ONTO PROPERTY NORTH OF SUBJECT PROPERTY.
2. CONCRETE PAD FOR PUBLIC PHONE ENCR OACHES 1.0' ON SUBJECT PROPERTY.
3. WOODEN WALKWAY ENCR OACHES 1.7' ON SUBJECT PROPERTY.
4. TELEPHONE LINE MARKED BY ONE CALL FALLS 3.5' OUTSIDE UTILITY EASEMENT (NEAR TRASH AREA).
5. LARGE TRANSFORMER POSSIBLY ENCR OACHES 2.8' ON PROPERTY TO WEST OF SUBJECT SITE.
6. REAR OF BUILDING ENCR OACHES 3.09' INTO REAR SETBACK.

NOTES:

1. ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM DANE COUNTY ASSESSORS WEB PAGE
2. PARENTHESIS () DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES

PARKING:
 78 STANDARD PARKING SPACES
 4 HANDICAP PARKING SPACES
 83 TOTAL PARKING PLACES

FLOOD HAZARD CERTIFICATION:
 ACCORDING TO THE FIRM FLOOD INSURANCE RATE MAP (FIRM) ISSUED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP #50205C039550, WITH AN EFFECTIVE DATE OF 1/2/2009, THIS SITE IS LOCATED IN A ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. THIS CERTIFICATION IS BASED ON THE LATEST KNOWN MAP FOR THIS PARCEL.

SURVEYOR'S NOTES:

1. AT THE TIME OF THE SURVEY NO EVIDENCE WAS OBSERVED OF RECENT EARTH MOVING WORK.
2. NO EVIDENCE WAS OBSERVED OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
3. THE US FISH AND WILDLIFE WETLANDS MAP DOES NOT SHOW ANY WETLANDS DESIGNATED FOR THIS SITE. BISHOP ENGINEERING DID NOT PERFORM WETLAND STUDY OR WETLAND MITIGATION.
4. LOT 2 AND LOT 3 ARE CONTIGUOUS AND NO GAPS OR GORES EXIST BETWEEN THE PARCELS.
5. THIS SURVEY COMPLIES WITH MCDONALD'S SURVEY ORDER FORM AND MINIMUM REQUIREMENTS.

ALTA CERTIFICATION:
 TO MCDONALD'S REAL ESTATE COMPANY, A DELAWARE CORPORATION (AS TO PARCEL A) AND FRANCHISE REALTY INTERSTATE CORP. A K/A FRANCHISE REALTY INTERSTATE CORPORATION, AN ILLINOIS CORPORATION (AS TO PARCEL B), MCDONALD'S CORPORATION, MCDONALD'S US, LLC, CHICAGO TITLE INSURANCE COMPANY, A NEBRASKA CORPORATION.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10(a), 10(b), 11, 13, 14, 16, 17, 18, 19, AND 21 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 10-16-2016.

DATED: 11-7-16
 BY: PETER M. WAGNER
 REGISTERED PROFESSIONAL SURVEYOR
 3501 10th Street, Des Moines, Iowa 50322
 pwwagner@bishopeng.com (515) 276-0457
 bishopeng.com

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS CONDUCTED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF WISCONSIN. FIELDWORK COMPLETED ON: 10/16/2016

SIGNED: *Peter M. Wagner* DATE: 11-7-16

PETER M. WAGNER
 REGISTERED PROFESSIONAL SURVEYOR
 WISCONSIN REGISTRATION 3059-8

LEGEND:

— SAN —	SANITARY SEWER
— ST —	STORM SEWER
— W —	WATER LINE
— G —	GAS LINE
— U —	UNDERGROUND ELECTRIC
— OE —	OVERHEAD ELECTRIC
— TELE —	TELEPHONE LINE
— F —	FIBER OPTIC
— CATV —	CABLE TV
⊗	STORM MANHOLE
⊕	CURB INTAKE
⊙	SURFACE INTAKE
⊖	FLARED END SECTION
⊗	SANITARY MANHOLE
⊘	CLEANOUT
⊙	FIRE HYDRANT
⊗	SPRINKLER
⊙	IRRIGATION CONTROL VALVE
⊙	WATER MANHOLE
⊙	WELL
⊙	WATER VALVE
⊙	WATER SHUT OFF
⊙	YARD HYDRANT
⊙	ELECTRIC MANHOLE
⊙	ELECTRIC METER
⊙	ELECTRIC RISER
⊙	ELECTRIC VAULT
⊙	POWER POLE
⊙	TRANSFORMER POLE
⊙	LIGHT POLE
⊙	ELECTRIC JUNCTION BOX
⊙	ELECTRIC PANEL
⊙	TRANSFORMER
⊙	GROUND LIGHT
⊙	GUY WIRE
⊙	ELECTRIC HANDHOLE
⊙	GAS METER
⊙	GAS VALVE
⊙	AIR CONDITIONING UNIT
⊙	TELEPHONE RISER
⊙	TELEPHONE VAULT
⊙	TELEPHONE MANHOLE
⊙	TRAFFIC SIGNAL MANHOLE
⊙	FIBER OPTIC RISER
⊙	FIBER OPTIC FAULT
⊙	CABLE TV RISER
⊙	SIGN
⊙	DOWNSPOUT
⊙	DENOTES NUMBER OF PARKING STALLS
⊙	PROPERTY CORNER - FOUND AS NOTED
⊙	PROPERTY CORNER - PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID # 3069-B OR AS NOTED
⊙	SECTION CORNER - FOUND AS NOTED
⊙	SITE CONTROL POINT - MONUMENT AS NOTED
()	RECORDED BEARING AND DISTANCE
⊙	CONCRETE PAVEMENT
⊙	ASPHALT PAVEMENT
⊙	BRICK CHIPS

ABBREVIATIONS:

AC	ACRES
ASPH	ASPHALT
BOOK	BOOK
CONC	CONCRETE
DEED	DEEDED DISTANCE
EX	EXISTING
ENCL	ENCLOSURE
FF	FINISHED FLOOR
FL	FLOW LINE
FRAC	FRACTIONAL
M	MEASURED DISTANCE
MANHOLE	MANHOLE
CPC	ORANGE PLASTIC CAP
P	PLATTED DISTANCE
PG	PAGE
TEM	TEMPORARY BENCHMARK
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
PRA	PREVIOUSLY RECORDED AS
PUE	PUBLIC UTILITY EASEMENT
ROW	RIGHT OF WAY
RPC	RED PLASTIC CAP
SF	SQUARE FEET
SAN	SANITARY
TYP	TYPICAL
YPC	YELLOW PLASTIC CAP
N	NORTH
S	SOUTH
E	EAST
W	WEST

Bishop Engineering
 Planning Your Successful Development
 3501 10th Street
 Des Moines, Iowa 50322-3425
 Phone: (515) 276-0457 Fax: (515) 276-0457
 Established 1999
 Civil Engineering & Land Surveying

M. McDonald's USA, LLC
 2016 MCDONALD'S USA, LLC
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MADISON, WI (ODANA ROAD)
ALTANSPS LAND TITLE

DATE ISSUED: 11-7-16
 DATE REVISION: 11-7-16

1 OF 1
 160003

RECYCLING PLAN NOTES:

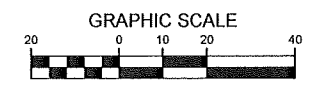
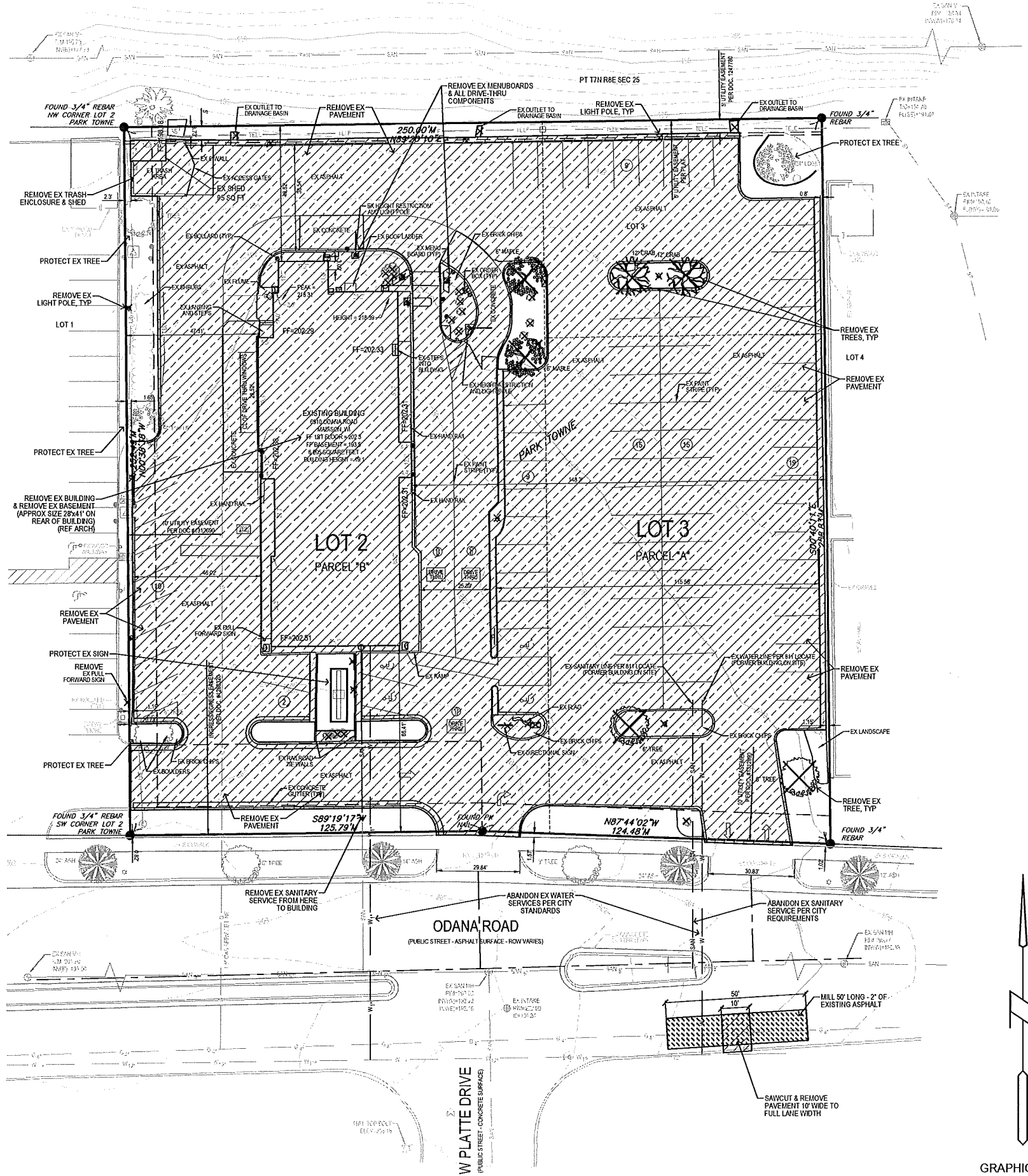
- CONTRACTOR SHALL SUBMIT A REUSE AND RECYCLING PLAN TO THE CITY OF MADISON, BRYAN JOHNSON - RECYCLING COORDINATOR. DEMOLITION PERMIT WILL NOT BE ISSUED WITHOUT APPROVAL OF A RECYCLING PLAN.
- CONTRACTOR SHALL SUBMIT DOCUMENTS TO THE CITY SHOWING COMPLIANCE WITH THE REUSE AND RECYCLING PLAN WITHIN SIXTY (60) DAYS OF COMPLETION OF DEMOLITION.

DEMO NOTES:

- ALL PAVEMENT THAT IS CALLED OUT FOR REMOVAL SHALL BE SAWCUT & REMOVED TO FULL DEPTH OF SLAB.
- PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.

TREE PROTECTION NOTES:

- EXISTING STREET TREES SHALL BE PROTECTED IN PLACE.
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO ANY EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - [HTTP://WWW.CITYOFMADISON.COM/BUSINESS/PWD/DOCUMENTS/STDSPCS2013PART1.PDF](http://www.cityofmadison.com/business/pwd/documents/stdspecs2013part1.pdf). ANY TREE REMOVALS THAT ARE REQUIRED FOR CONSTRUCTION AFTER THE DEVELOPMENT PLAN IS APPROVED WILL REQUIRE AT LEAST A 72 HOUR WAIT PERIOD BEFORE A TREE REMOVAL PERMIT CAN BE ISSUED BY FORESTRY. TO NOTIFY THE ALDER OF THE CHANGE IN THE TREE PLAN.



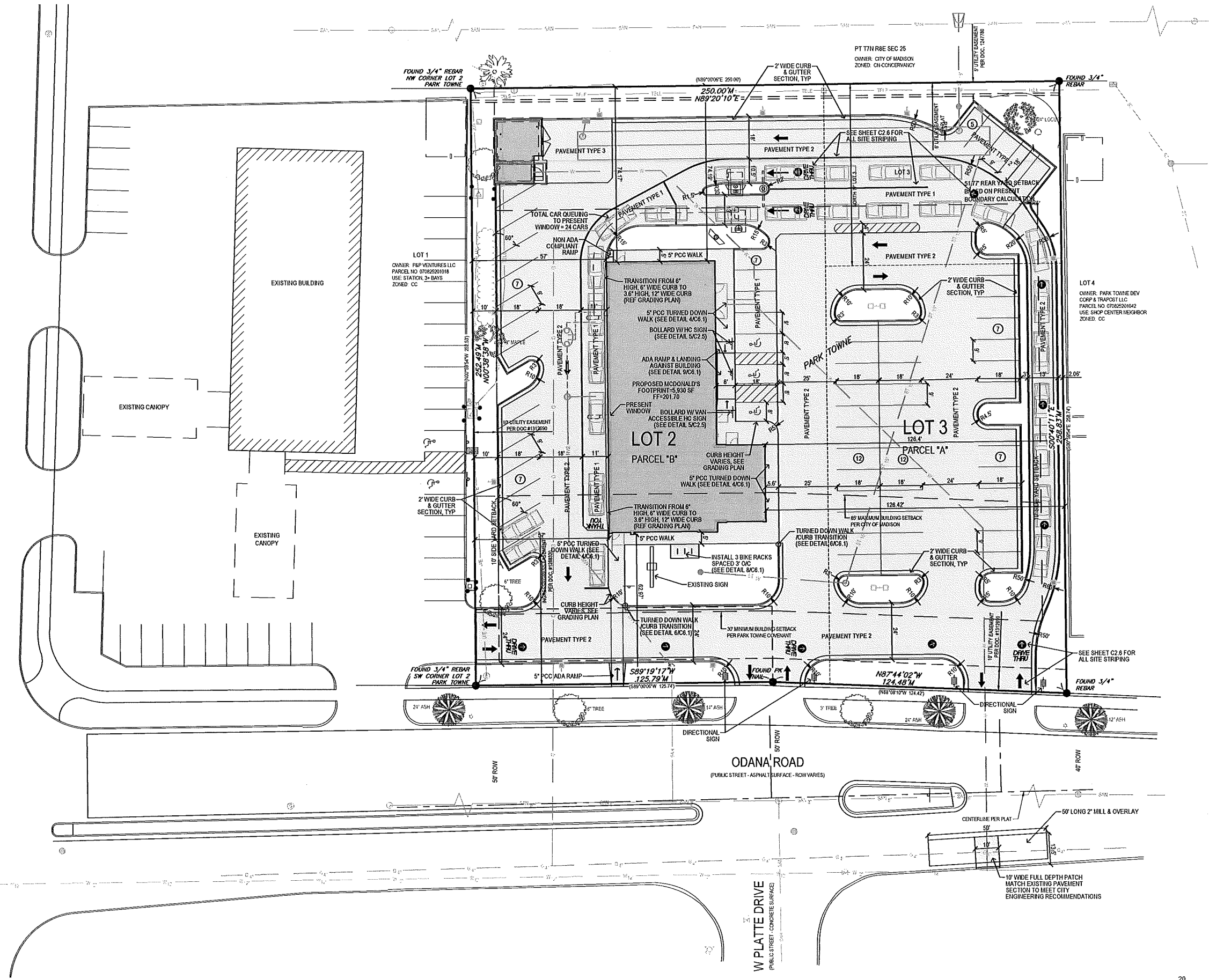
DATE	DESCRIPTION
1/27/17	1ST CITY SUBMITTAL
REV	DATE
1	1/27/17
Prepared by: Bishop Engineering "Training Your Successful Development" 3501 104th Street Madison, WI 53718 Phone: 608.278.6807 Fax: 608.278.6217 Civil Engineering & Land Surveying Established 1959	
PREPARED FOR: M. McDonald's USA, LLC	THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MCDONALD'S USA, LLC AND SHALL NOT BE COPIED OR REPRODUCED WITHOUT THE AUTHORIZED WRITTEN CONSENT OF MCDONALD'S USA, LLC. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECTS OR AT A LATER DATE. USE OF THESE DRAWINGS FOR ANY OTHER PROJECTS OR AT A LATER DATE WITHOUT THE WRITTEN CONSENT OF MCDONALD'S USA, LLC IS STRICTLY PROHIBITED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THIS PROJECT.
DRAWN BY: JMR	CHECKED BY: JJE
DATE: 1/27/17	DATE ISSUED: 1/27/17
TITLE: MADISON, WI (ODANA ROAD) SITE PLAN DEMO PLAN	
SHEET NO. C1.1 SHEET TOTAL 160005	
SITE ADDRESS: 6910 ODANA ROAD, MADISON, WI 53719	

PRELIMINARY - NOT FOR CONSTRUCTION

1/27/2017 7:56:55 AM MILAND PROJECT S 2016160005 MADISON, WI - ODANA, RD.DWG(C2) LAYOUT.DWG

GENERAL NOTES:
 1. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.

S GAMMON ROAD
 (PUBLIC STREET - CONCRETE SURFACE)



PREPARED FOR: M. McDonald's USA, LLC <small>2017 McDonald's USA, LLC</small> <small>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by McDonald's USA, LLC and shall not be used for any other project. Use of these drawings for reference or example on another project requires the services of a properly licensed architect, engineer, or professional in the correct discipline for the project. Project is not authorized.</small>	
OWNER: MCDONALD'S USA, LLC PROJECT: MCDONALD'S RESTAURANT ADDRESS: 6910 ODANA ROAD, MADISON, WI 53719	DATE: 1/27/17 REV: 1 DESCRIPTION: 1ST CITY SUBMITTAL
PREPARED BY: M. McDonald's USA, LLC DATE: 1/27/17 REVIEWED BY: J.E.J. DATE ISSUED: 1/27/17	DATE: 1/27/17 REV: 1 DESCRIPTION: 1ST CITY SUBMITTAL
TITLE: MADISON, WI (ODANA ROAD) SITE PLAN LAYOUT PLAN SHEET NO.: C2.1 <small>REV # 160005</small>	DATE: 1/27/17 REV: 1 DESCRIPTION: 1ST CITY SUBMITTAL

PRELIMINARY- NOT FOR CONSTRUCTION

1/27/2017 7:58:57 AM MILAND PROJECTS 2016160005 MADISON, WI - ODANA, RD/DWG/C2 LAYOUT DWG

COD CONSTRUCTION NOTES:

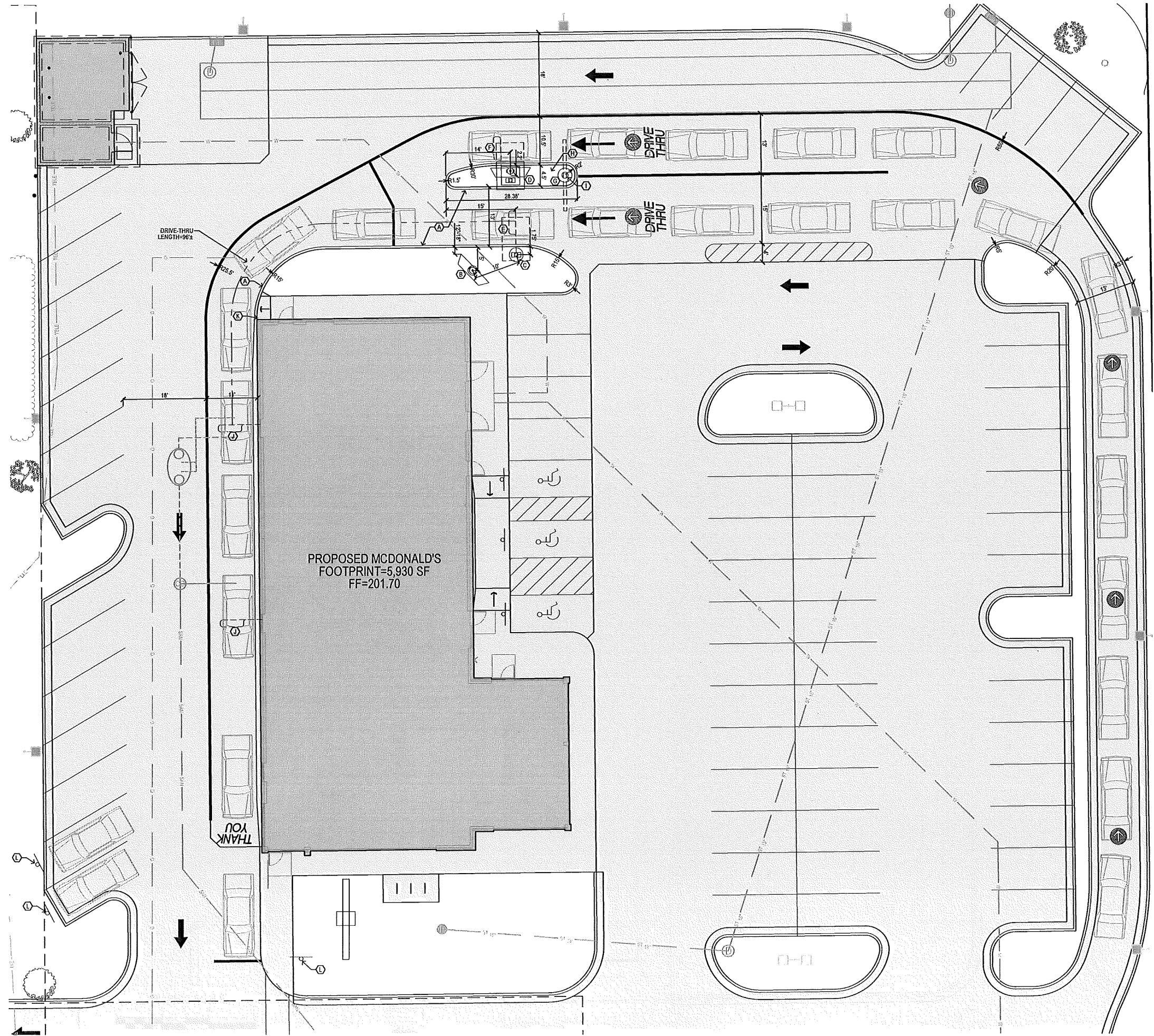
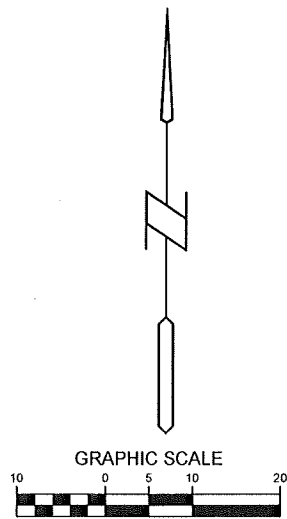
- A NEW CONCRETE CURB AND GUTTER SEE SHEET C2.1. MATCH AND BLEND NEW CURB AND GUTTER INTO EXISTING WHERE OCCURS.
- B INSTALL NEW MENU BOARD. SEE SHEET C2.3 FOR FOUNDATION DETAIL, SHEET C2.5 FOR SCHEMATIC DETAIL AND SEE MANUFACTURER FOR INSTALLATION INSTRUCTIONS.
- C PRIMARY LANE HIGH IMPACT COD AND CANOPY. LOCATE 96"± FROM κ OF COD TO κ OF CASH WINDOW MEASURED ALONG κ OF TRAVEL PATH. SEE SHEET C2.3 FOR FOUNDATION DETAIL, SHEET C2.5 FOR SCHEMATIC DETAIL AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.
- D SECONDARY LANE INTEGRATED HIGH IMPACT COD, CANOPY & MENU BOARD. LOCATE 14'-0" FROM NOSE OF CONCRETE ISLAND. SEE SHEET C2.3 FOR FOUNDATION DETAIL AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.
- E INSTALL PRIMARY LANE DETECTOR LOOP. SEE SHEET DT1.0 FOR DETAILS.
- F INSTALL SECONDARY LANE DETECTOR LOOP 2'-0" FORWARD OF κ OF COD. FLIP LOOP FORWARD. SEE SHEET DT1.0 FOR DETAILS.
- G DOUBLE ARM GATEWAY SIGN. CENTER OF THE FOOTING OF THE GATEWAY SIGN SHALL BE 12" TO 18" FROM THE BACK OF CURB. SEE SHEET C2.3 FOR FOUNDATION DETAIL, SHEET C2.5 FOR SCHEMATIC DETAIL AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.
- H LANDSCAPED AREA.
- I ANY LANE ANY TIME SIGN. ATTACH SIGN TO GATEWAY δ FROM BOTTOM OF POST. SEE SHEET C2.5 FOR SCHEMATIC DETAIL AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.
- J INSTALL DETECTOR LOOPS AT CASH AND PRESENT WINDOWS, SEE SHEET DT1.0.
- K INSTALL BOLLARD AT THE CORNER OF THE BUILDING ON THE DRIVE THRU SIDE. BOLLARD SHALL BE FLUSH AGAINST THE BUILDING AND THE FACE OF THE BOLLARD SHALL BE TIGHT AGAINST THE BACK OF CURB. SEE DETAIL 4 SHEET C2.5.
- L INSTALL PULL FORWARD SIGN & BOLLARD. SEE DETAIL 3 SHEET C2.5.

GENERAL NOTES:

1. SIGNAGE & DRIVE-THRU ELEMENTS:
COD, DRIVE-THRU Pylon CLEARANCE POLE, BOLLARD SIGN, AND FREESTANDING MERCHANDIZER SHALL BE CONSISTENT WITH THE 2013 STANDARD BUILDING DESIGN DRIVE-THRU ELEMENTS. OTHER DESIGNS MAY NOT BE USED.
2. GENERAL CONTRACTOR SHALL COORDINATE WITH CIVIL PLANS, MCDONALD'S PROJECT MANAGER, AND SIGNAGE SUPPLIER TO DETERMINE THE EXACT LOCATION, ORIENTATION, MOUNTING HEIGHTS, AND NUMBER OF SIGNS AND OTHER DRIVE-THRU ELEMENTS TO BE INSTALLED AT THIS SITE. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES.
3. CONTACT MCDONALD'S PROJECT MANAGER FOR SIGNAGE & DRIVE-THRU ELEMENT FOOTING AND WIRING REQUIREMENTS. SIGNAGE MANUFACTURER TO PROVIDE FOOTING ANCHORS & TEMPLATES TO G.C. PRIOR TO FOUNDATION POURING.
4. SEE SHEET C2.5 AND ELECTRICAL SHEETS FOR DRIVE-THRU WIRING INFORMATION.
5. GENERAL CONTRACTOR TO COORDINATE THE RESPONSIBILITIES OF THE ELECTRICAL CONTRACTOR AND THE SIGN SUPPLIER.
6. GENERAL CONTRACTOR TO INSTALL PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP.
7. GENERAL CONTRACTOR SHALL VERIFY CONDUIT SIZES REQUIRED BY VEHICLE LOOP DETECTOR SUPPLIER.

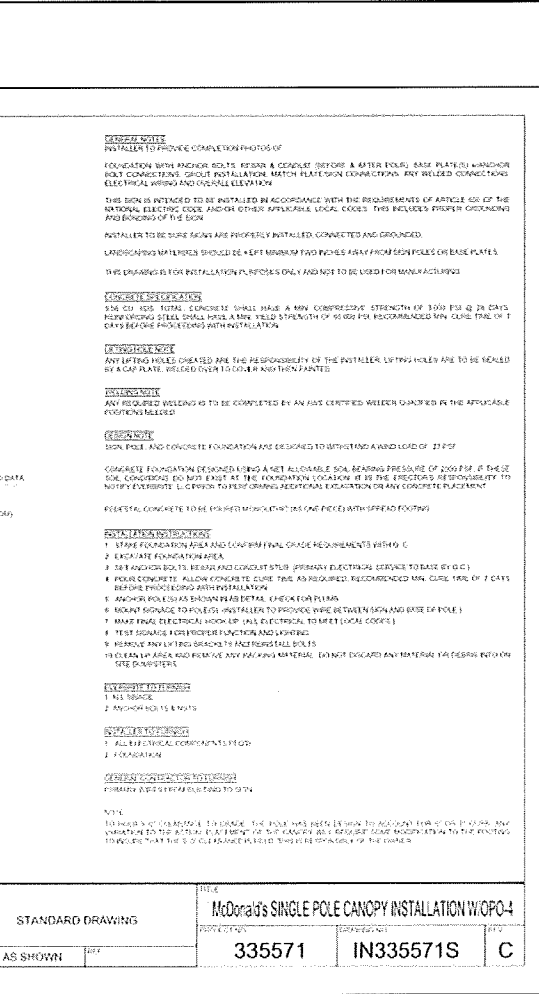
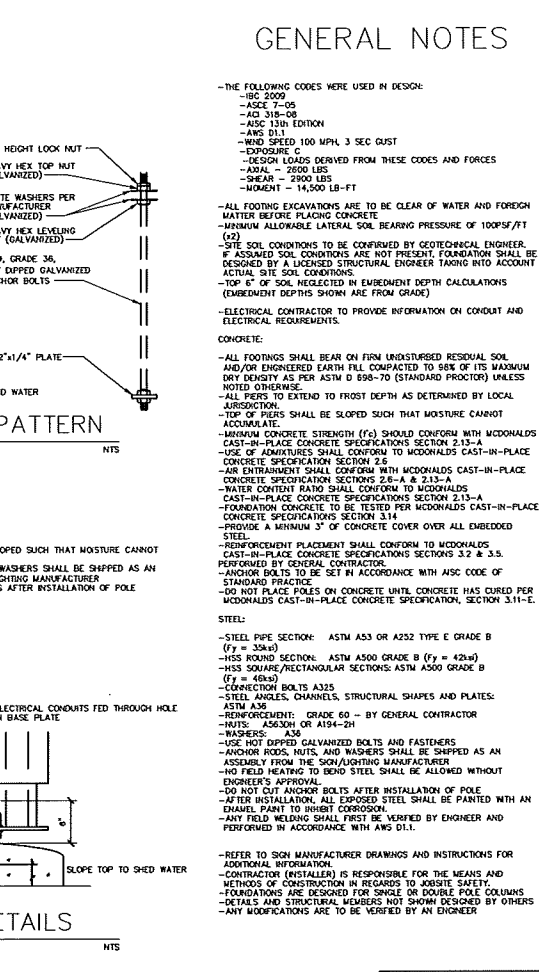
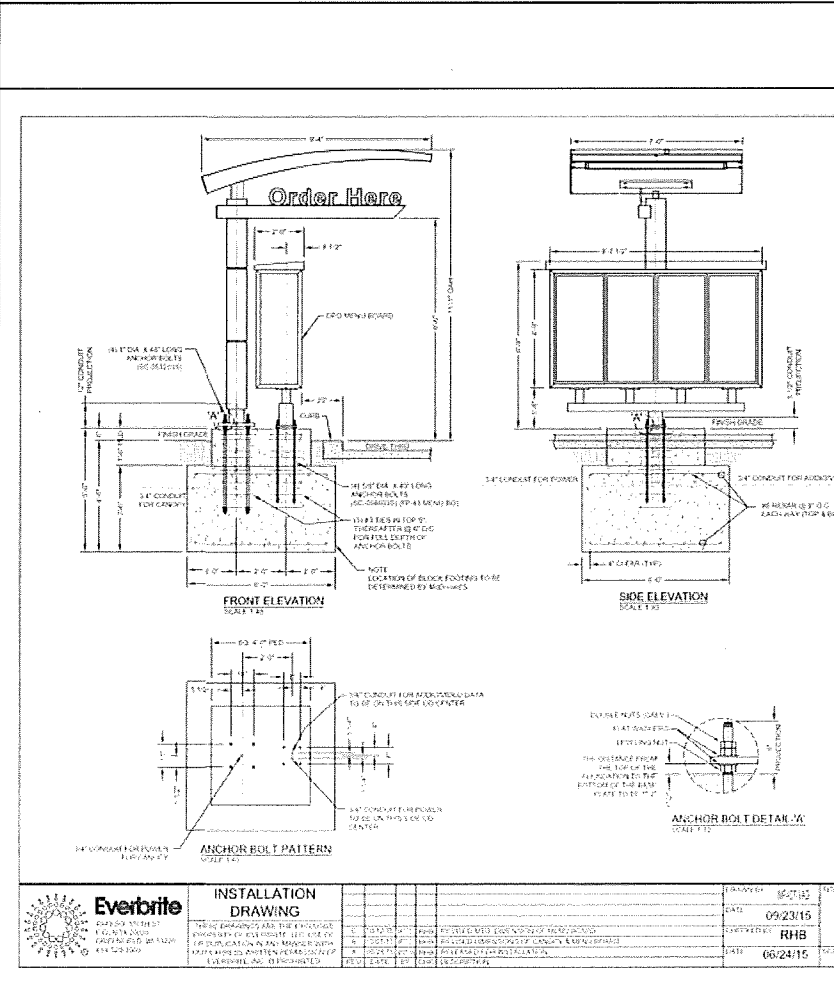
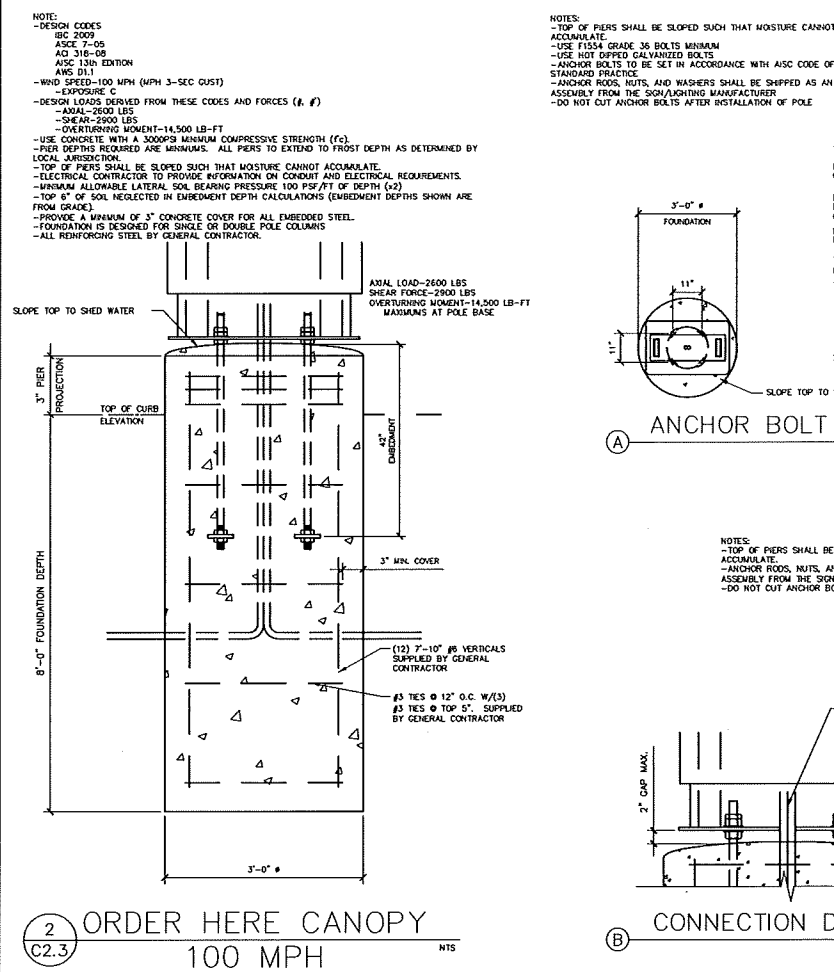
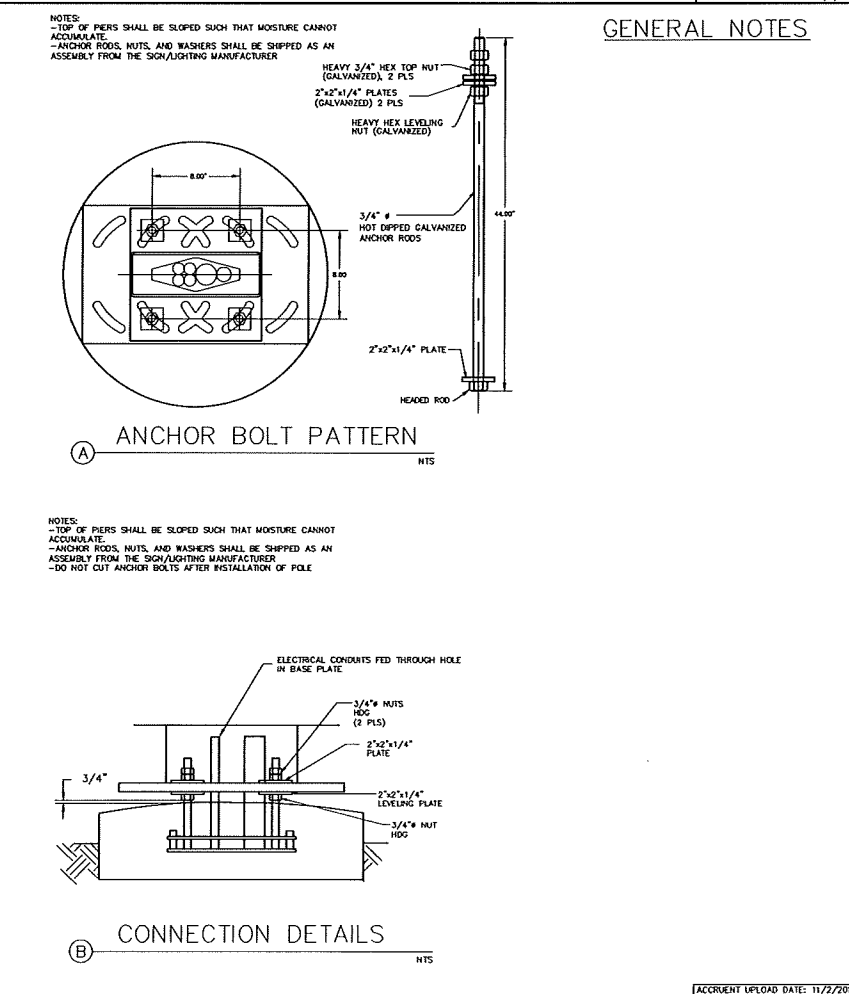
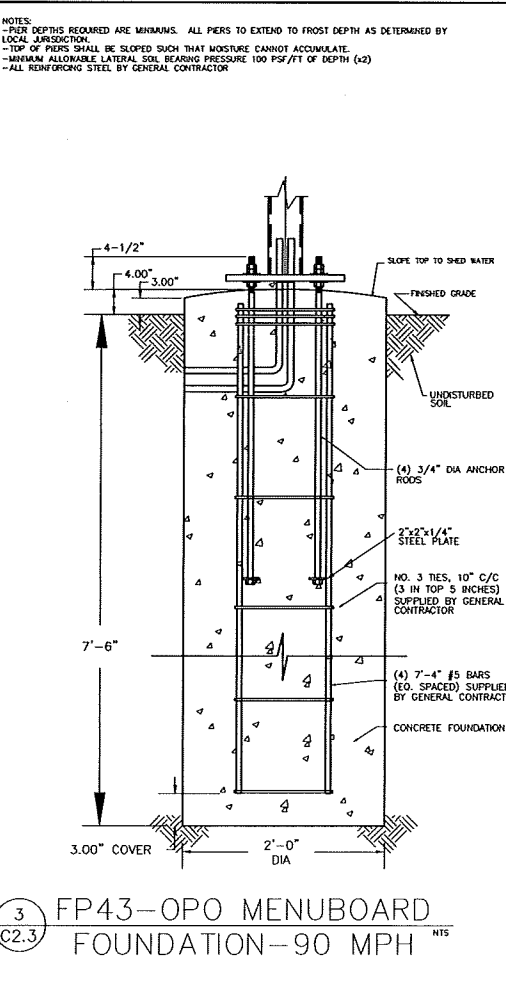
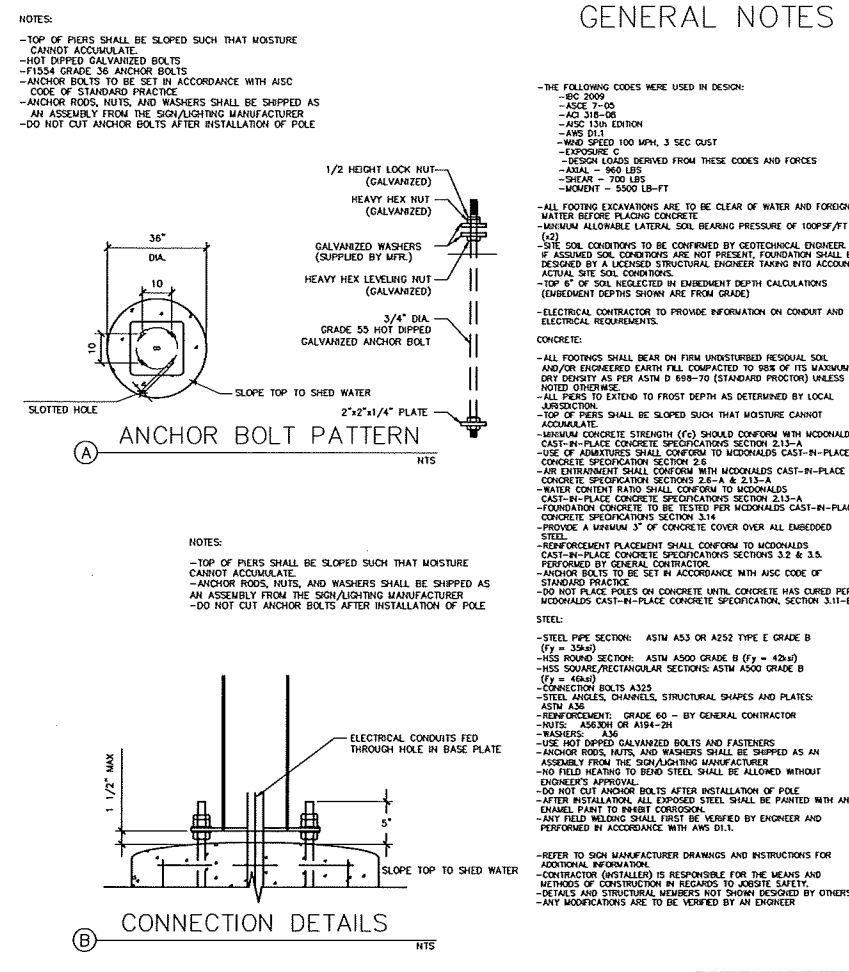
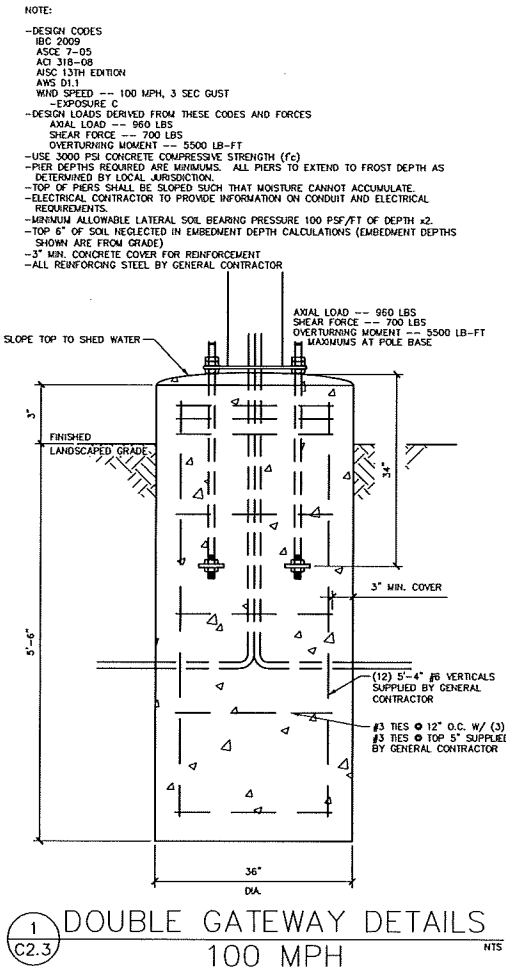
COD LAYOUT NOTES:

1. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS NOTED OTHERWISE ON PLAN.
2. FIELD VERIFY AND CONFIRM EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY MCDONALD'S PROJECT MANAGER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.
3. SEE SHEET C2.1 FOR ALL SITE DIMENSIONS.
4. SEE SHEET C2.6 FOR STRIPING.



SHEET NO. C2.2 # 160005	TITLE MADISON, WI (ODANA ROAD) SITE PLAN	DATE ISSUED 1/27/17	DATE ISSUED 1/27/17
		REVIEWED BY JEL	REVIEWED BY JEL
DESCRIPTION COD LAYOUT PLAN		DATE 1/27/17	DESCRIPTION 1ST CITY SUBMITTAL
SITE ADDRESS 480093 4910 ODANA ROAD, MADISON, WI 53719		DATE	DESCRIPTION
PREPARED FOR M. McDonald's USA, LLC		DATE	DESCRIPTION
<p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the approval of the engineer of record. The engineer of record or the contract documents for reference on another project is not authorized.</p>		DATE	DESCRIPTION
<p>PREPARED BY Bishop Engineering "Planning Your Successful Development" 3501 104th Street Des Moines, Iowa 50322-3825 Phone: 515-281-7400 Fax: 515-281-7417 Civil Engineering & Land Surveying Established 1959</p>		DATE	DESCRIPTION

PRELIMINARY - NOT FOR CONSTRUCTION



DATE	DESCRIPTION	BY
1/27/17	1ST CITY SUBMITTAL	J.E.J.
REV	DATE	
1	1/27/17	

Bishop Engineering
 "Planning Your Successful Development"
 3501 104th Street
 Des Moines, Iowa 50325-3628
 Phone: 515-281-6600 Fax: 515-281-6601
 Civil Engineering & Land Surveying Established 1959

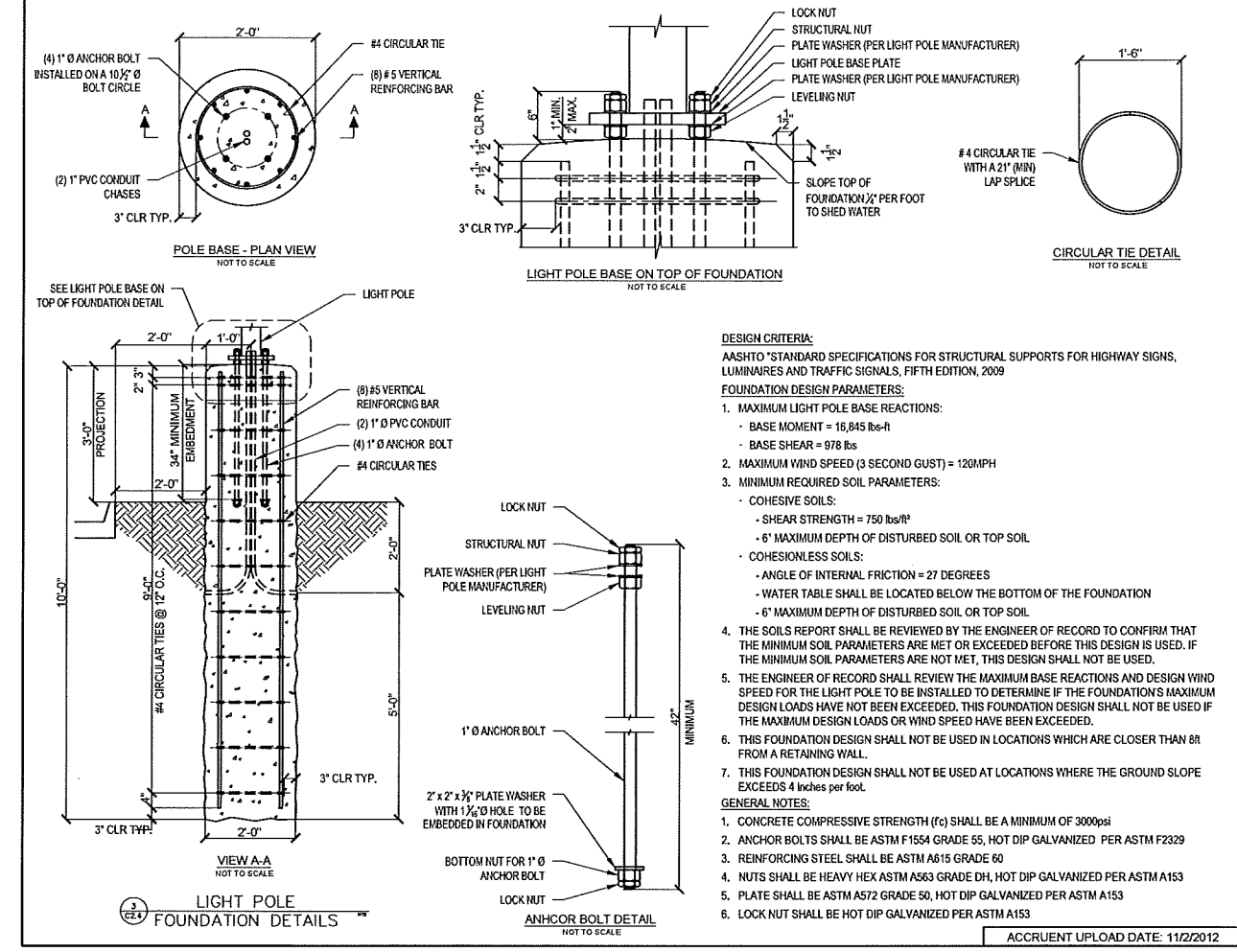
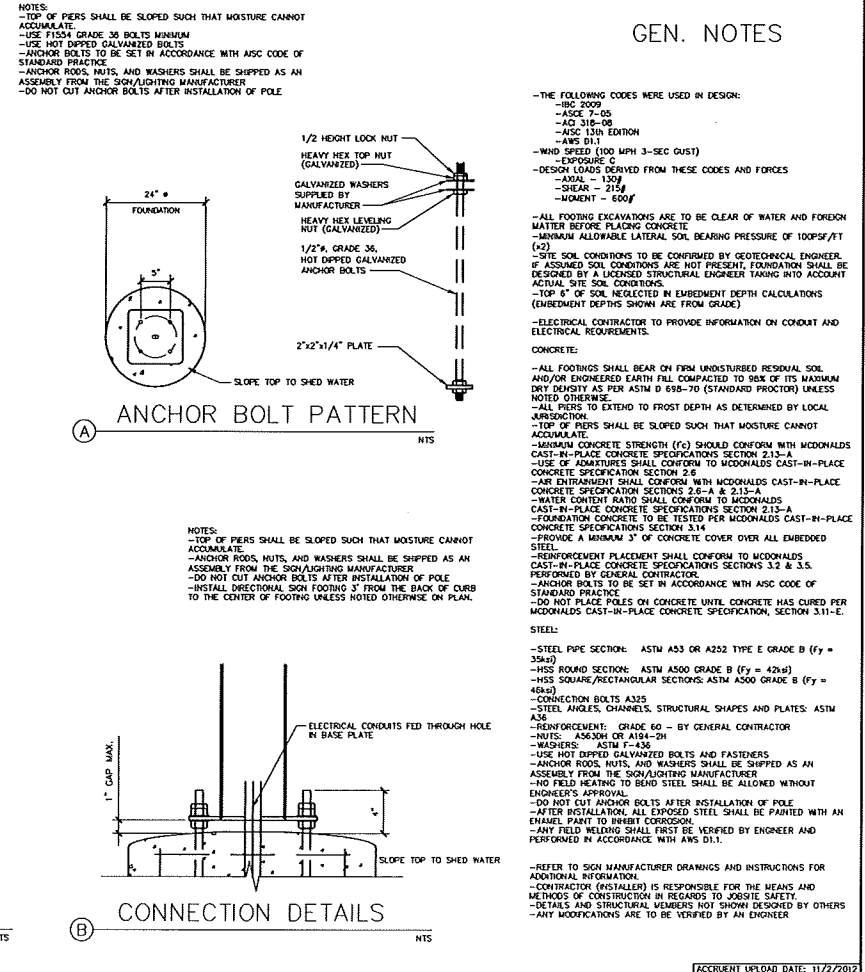
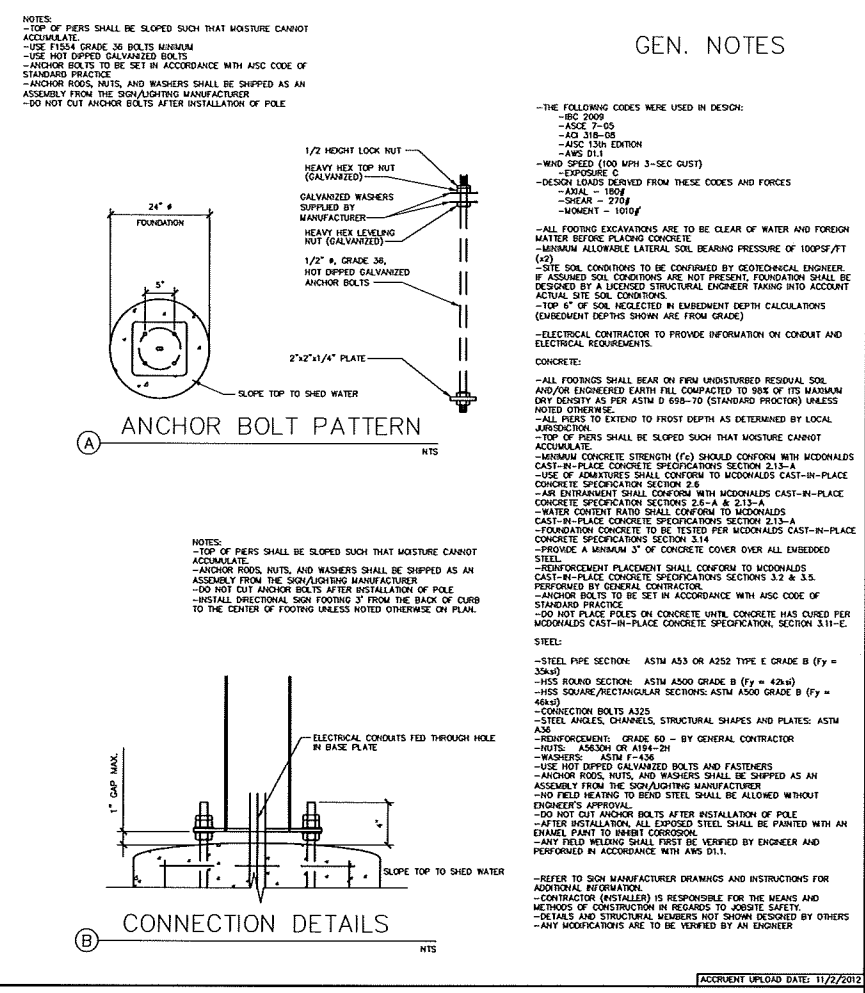
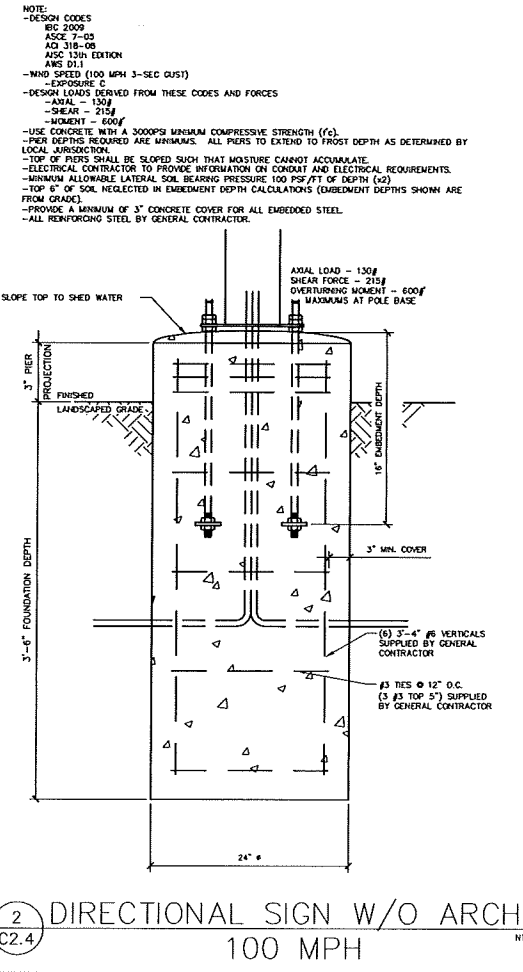
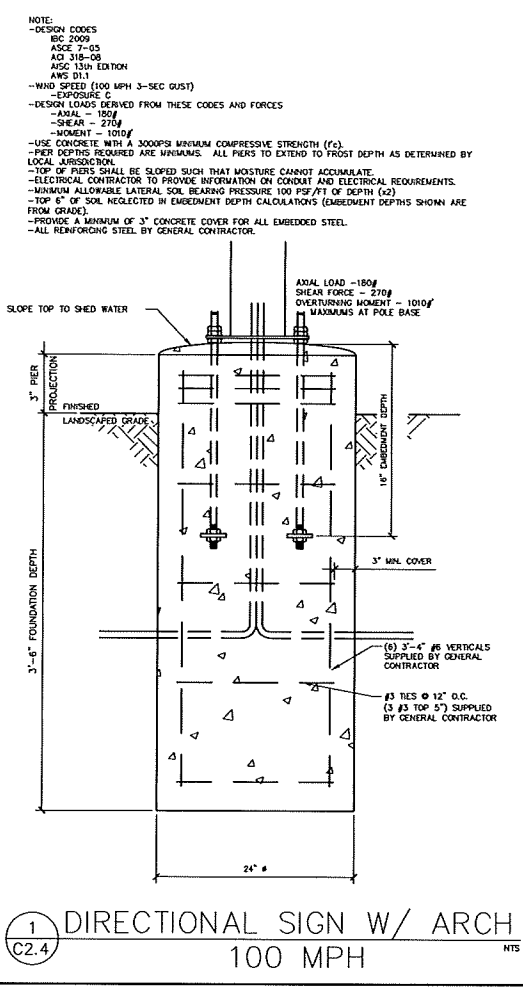
M. McDonald's USA, LLC
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MADISON, WI (ODANA ROAD)
DRIVE-THRU DETAILS

SHEET NO. **C2.3**
 TITLE **McDonald's SINGLE POLE CANOPY INSTALLATION W/OPO-4**
 PROJECT NO. **335571**
 DRAWING NO. **IN335571S**
 DATE **06/24/15**
 SCALE **AS SHOWN**
 SHEET NO. **C**

PRELIMINARY - NOT FOR CONSTRUCTION

1/27/2017 8:03:03 AM MILWAUKEE PROJECTS 2016160005 MADISON, WI - ODANA, RD/DWG/02 LAYOUT.DWG



SHEET NO. C2.4		DATE: 1/27/17		REV: 1		DATE: 1/27/17		BY: JEL	
DRAWN BY: JMR		STD ISSUE DATE: 1/27/17		REVIEWED BY: JEL		DATE ISSUED: 1/27/17		DESCRIPTION: 1ST CITY SUBMITTAL	
TITL: MADISON, WI (ODANA ROAD) SITE PLAN		PROJECT NO: 160005		SHEET NO: C2.4		DATE: 1/27/17		BY: JEL	
DESCRIPTION: DRIVE-THRU DETAILS		SHEET NO: C2.4		DATE: 1/27/17		BY: JEL		DESCRIPTION: 1ST CITY SUBMITTAL	
SHEET NO: C2.4		DATE: 1/27/17		BY: JEL		DESCRIPTION: 1ST CITY SUBMITTAL		BY: JEL	

Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50323-2803
Phone: 515-266-4646 Fax: 515-266-8017

Civil Engineering & Land Surveying Established 1989

PREPARED FOR: **M. McDonald's USA, LLC**

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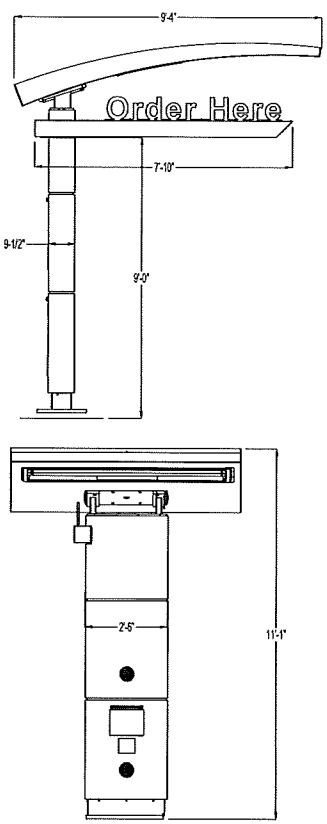
DATE: 1/27/17

BY: JEL

DESCRIPTION: 1ST CITY SUBMITTAL

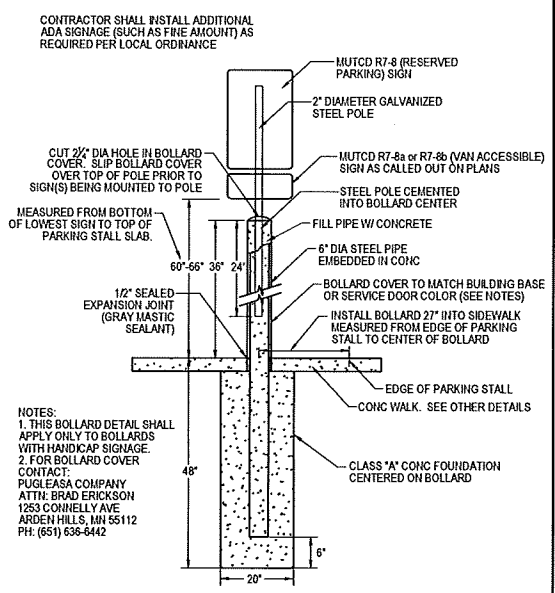
PRELIMINARY - NOT FOR CONSTRUCTION

1/27/2017 8:00:06 AM M:\LAND PROJECTS\2016160005 MADISON, WI - ODANA, RD\DWG\C2 LAYOUT.DWG



1
C2.5
COD SCHEMATIC DETAIL
NOT TO SCALE

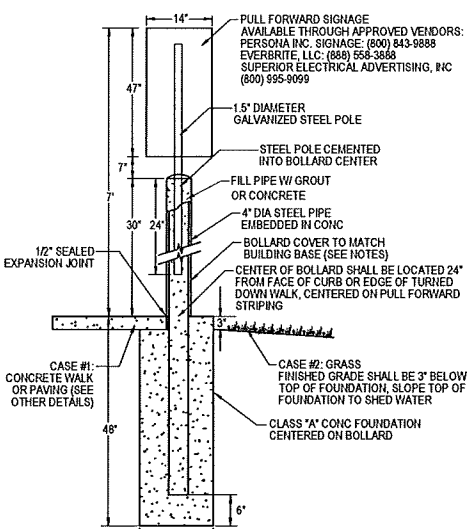
NOTE: THIS DRAWING IS SHOWN FOR SCHEMATIC PURPOSES ONLY. SEE MANUFACTURER FOR INSTALLATION INSTRUCTIONS



2
C2.5
HANDICAP PARKING SIGN & BOLLARD DETAIL
NOT TO SCALE

CONTRACTOR SHALL INSTALL ADDITIONAL ADA SIGNAGE (SUCH AS FINE AMOUNT) AS REQUIRED PER LOCAL ORDINANCE

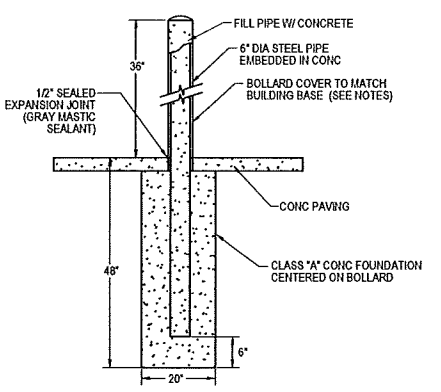
NOTES:
1. THIS BOLLARD DETAIL SHALL APPLY ONLY TO BOLLARDS WITH HANDICAP SIGNAGE.
2. FOR BOLLARD COVER CONTACT: PUGLEASA COMPANY ATTN: BRAD ERICKSON 1253 CONNELLY AVE. ARDEN HILLS, MN 55112 PH: (651) 636-6442



3
C2.5
PULL FORWARD SIGN & BOLLARD DETAIL
NOT TO SCALE

NOTES:
1. THIS BOLLARD DETAIL SHALL APPLY ONLY TO BOLLARDS WITH PULL FORWARD SIGNAGE.
2. FOR BOLLARD COVER CONTACT: PUGLEASA COMPANY ATTN: BRAD ERICKSON 1253 CONNELLY AVE. ARDEN HILLS, MN 55112 PH: (651) 636-6442

NOTES:
1. THIS BOLLARD DETAIL SHALL APPLY TO BOLLARD AT REAR CORNER OF BUILDING ADJACENT TO DRIVE-THRU AND EXTERIOR TRASH ENCLOSURE BOLLARDS.
2. FOR BOLLARD COVER CONTACT: PUGLEASA COMPANY ATTN: BRAD ERICKSON 1253 CONNELLY AVE. ARDEN HILLS, MN 55112 PH: (651) 636-6442

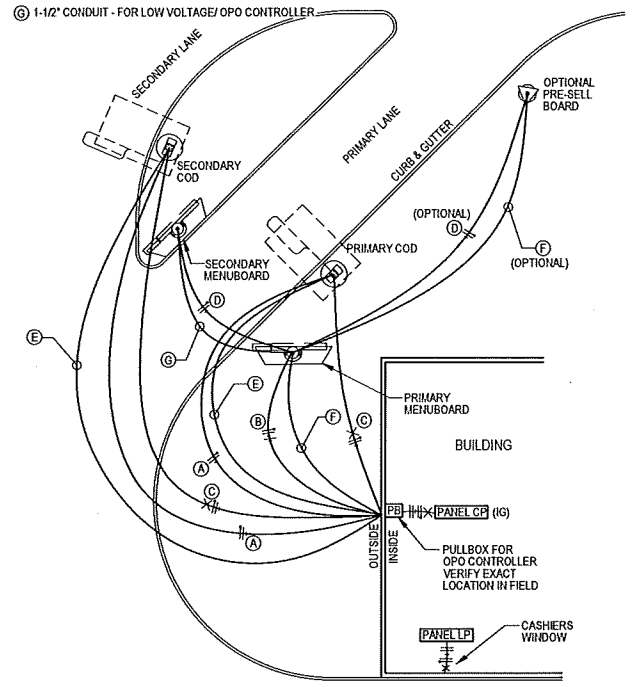


4
C2.5
BOLLARD DETAIL
NOT TO SCALE

NOTES:
1. THIS BOLLARD DETAIL SHALL APPLY TO BOLLARD AT REAR CORNER OF BUILDING ADJACENT TO DRIVE-THRU AND EXTERIOR TRASH ENCLOSURE BOLLARDS.
2. FOR BOLLARD COVER CONTACT: PUGLEASA COMPANY ATTN: BRAD ERICKSON 1253 CONNELLY AVE. ARDEN HILLS, MN 55112 PH: (651) 636-6442

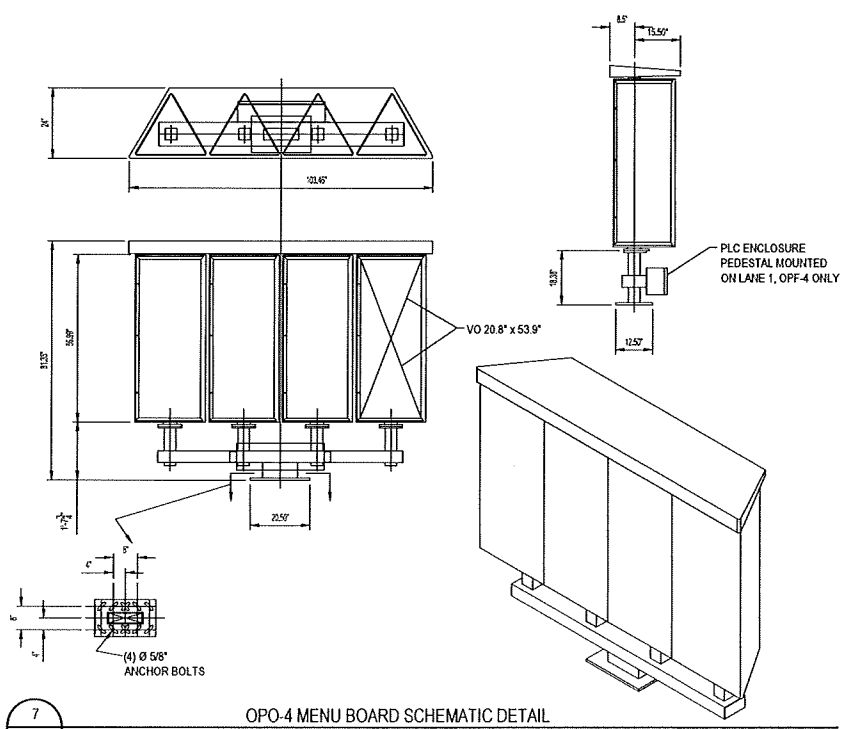
- KEY NOTES:
- (A) 2#12 & 1#12 GND., 3/4" CONDUIT TO LP-1 FOR COD CANOPY LIGHTING
 - (B) 4#12 & 1#12 GND., 3/4" CONDUIT TO LP-1 FOR PRIMARY OPO MENUBOARD LIGHTING AND PLC
 - (C) 2#12 & 1#12 GND & 1#12 ISOLATED GND., 3/4" CONDUIT TO CP FOR ISOLATED GROUND POWER TO COD'S. EACH COD SHALL BE ON ITS OWN DEDICATED CIRCUIT.
 - (D) 2#12 & 1#12 GND., 3/4" CONDUIT TO LP-1 FOR SECONDARY OPO MENUBOARD AND PRESSELL BOARD LIGHTING.
 - (E) 2) 1-1/2" CONDUIT ONE FOR COD CABLING ONE FOR LOOP DETECTOR
 - (F) 1" CONDUIT - FOR LOW VOLTAGE/OPO CONTROLLER
 - (G) 1-1/2" CONDUIT - FOR LOW VOLTAGE/OPO CONTROLLER

- GENERAL NOTES:
1. VERIFY EXACT CIRCUITS AND QUANTITIES OF CIRCUITS WITH PANEL SCHEDULES ON DRAWING E4.2 AND MANUFACTURER'S INSTALLATION INSTRUCTIONS
 2. PER MANUFACTURER'S INSTALLATION INSTRUCTIONS SEPARATE DEDICATED NEUTRALS ARE REQUIRED TO MENUBOARD AND PRESSELL BOARD FOR EACH CIRCUIT (PLC AND LIGHTING)
 3. IF ANY BENDS ARE REQUIRED, SWEEPS MUST BE PROVIDED IN CONDUITS.



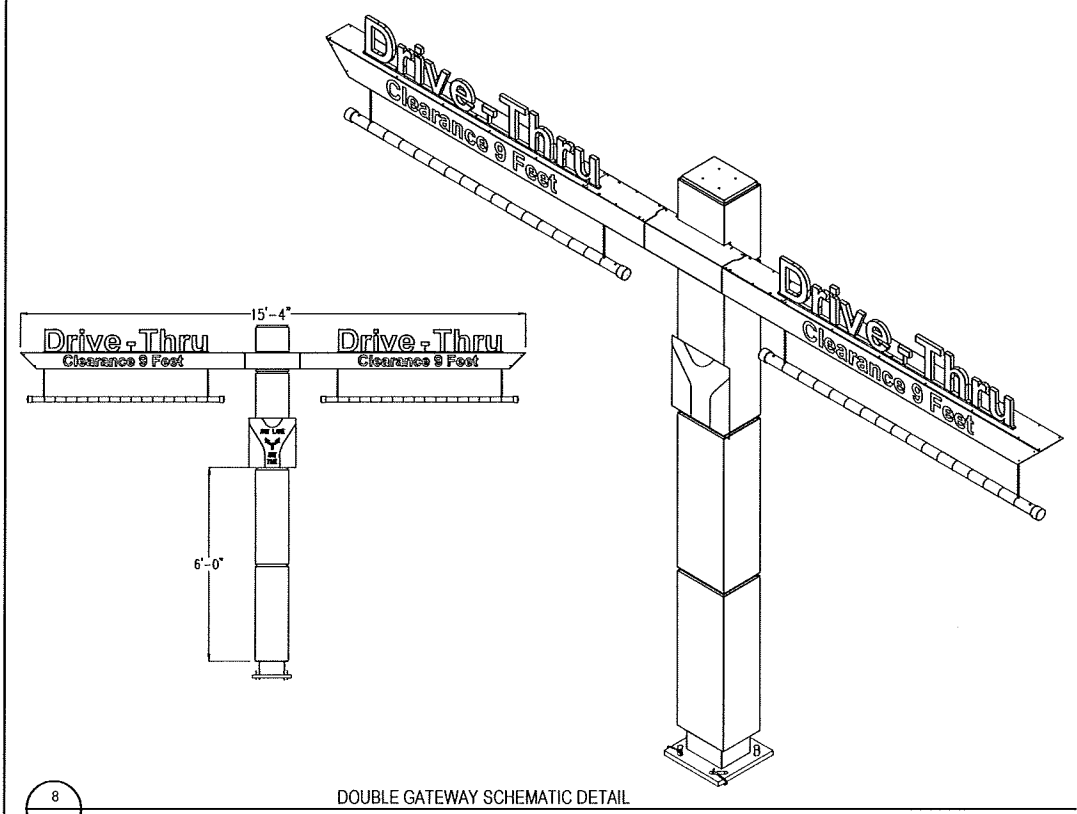
5
C2.5
DRIVE-THRU WIRING DETAIL
NOT TO SCALE

SKETCH CREATED FROM ELECTRICAL OPO UPDATE (E-OPO) DATED SEPT. 2017. MODIFIED PER REGIONAL INPUT AUG. 2014.



7
C2.5
OPO-4 MENU BOARD SCHEMATIC DETAIL
NOT TO SCALE

NOTE: THIS DRAWING IS SHOWN FOR SCHEMATIC PURPOSES ONLY. SEE MANUFACTURER FOR INSTALLATION INSTRUCTIONS



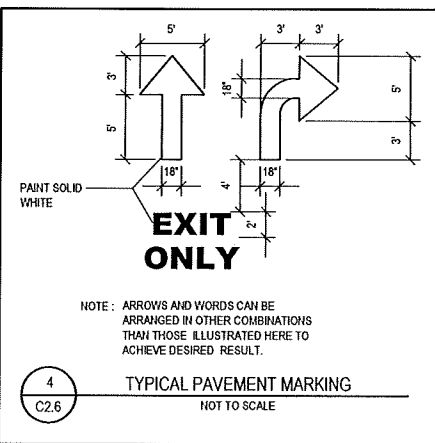
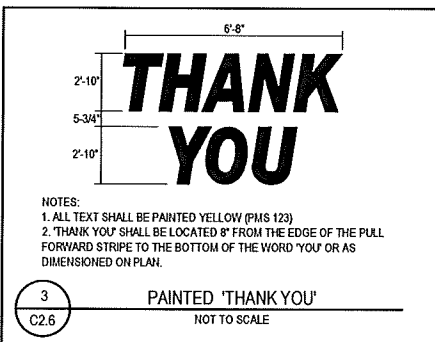
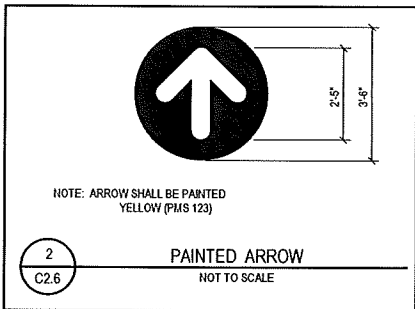
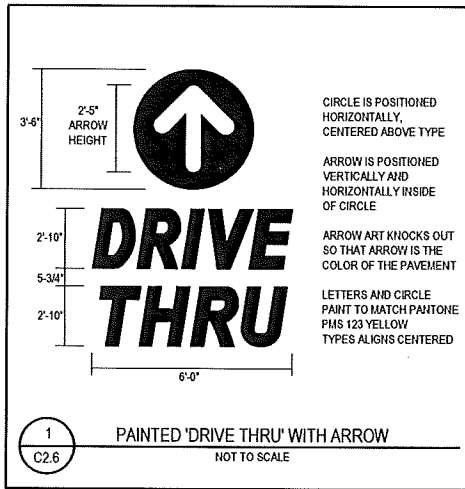
8
C2.5
DOUBLE GATEWAY SCHEMATIC DETAIL
NOT TO SCALE

NOTE: THIS DRAWING IS SHOWN FOR SCHEMATIC PURPOSES ONLY. SEE MANUFACTURER FOR INSTALLATION INSTRUCTIONS

DATE	1/27/17	REV	1	DESCRIPTION	1ST CITY SUBMITTAL						
BY					J.E.J.						
<p>PREPARED FOR: M. McDonald's USA, LLC 2017 McDonald USA, LLC "Training Your Successful Development" 3501 104th Street Des Moines, Iowa 50322-5827 Phone: (515) 266-1487 Fax: (515) 276-0277 Civil Engineering & Land Surveying Established 1959</p>											
<p>REVISIONS:</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>						NO.	DATE	DESCRIPTION			
NO.	DATE	DESCRIPTION									
<p>PREPARED BY: M. McDonald's USA, LLC These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by McDonald's USA, LLC and shall be used only for the project and site identified on these drawings. No other use, in whole or in part, is permitted. The use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.</p>											
<p>DRAWN BY: JMR STD ISSUE DATE: 1/27/17 REVISIONS BY: J.E.J. DATE ISSUED: 1/27/17</p>											
<p>TITLE: MADISON, WI (ODANA ROAD) SITE PLAN DESCRIPTION: DRIVE-THRU DETAILS</p>											
<p>SHEET NO.: C2.5 SHEET ADDRESS: 6910 ODANA ROAD, MADISON, WI 53719 SHEET NO.: 480093</p>											

PRELIMINARY - NOT FOR CONSTRUCTION

1/27/2017 8:00:38 AM MILWAUKEE PROJECTS 2016160005 MADISON, WI - ODANA, RIDDINGC2 LAYOUT.DWG

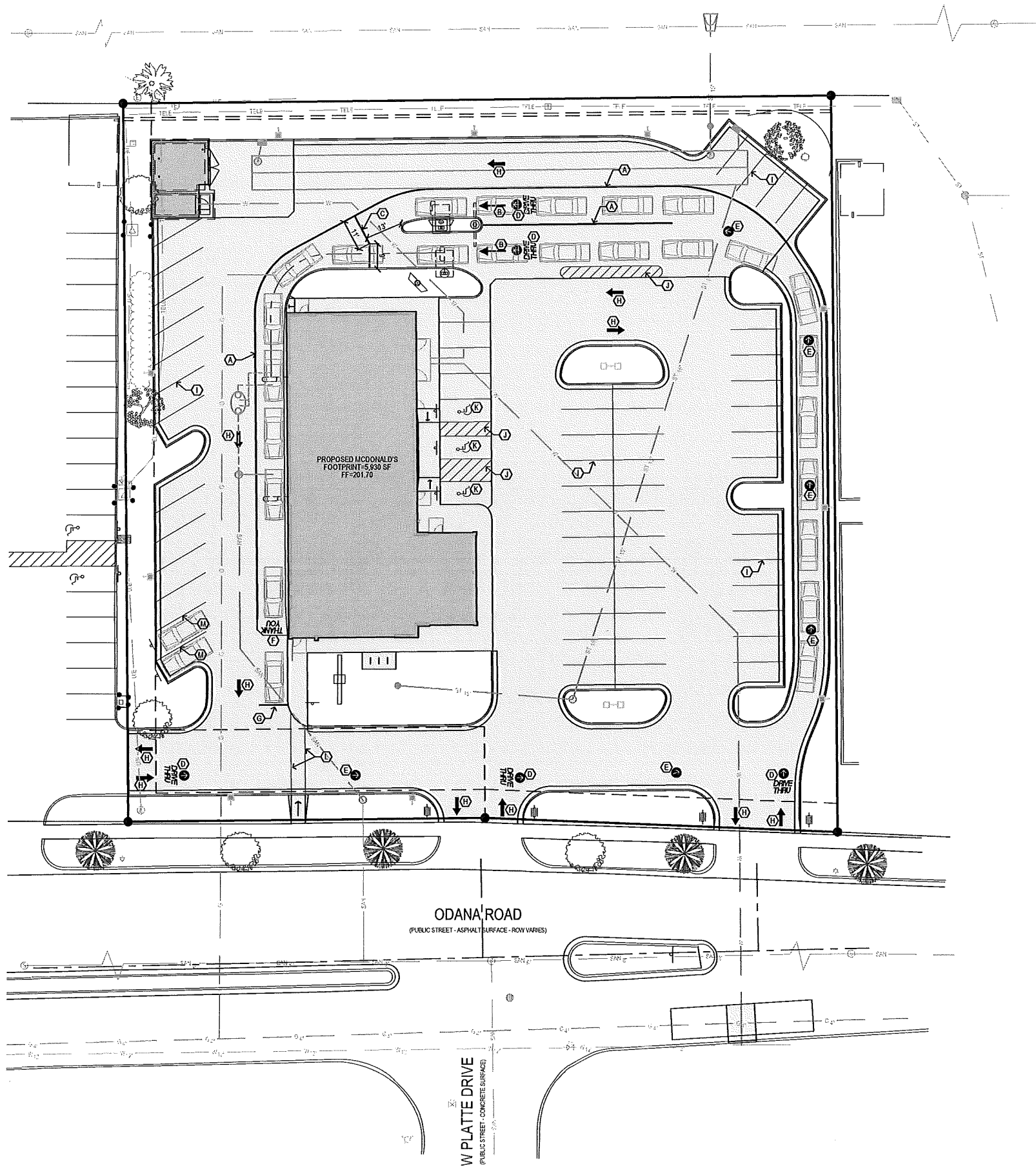
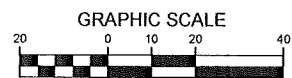


STRIPING NOTES:

- (A) 6" WIDE PAINTED STRIPE, PMS 123, YELLOW.
- (B) 1'-0" WIDE PAINTED DIRECTIONAL ARROW, PMS 123 YELLOW. SEE GENERAL NOTE 4.
- (C) 8" WIDE PAINTED MERGE POINT, PMS 123 YELLOW. SEE GENERAL NOTE 4.
- (D) PAINTED DRIVE THRU GRAPHIC. SEE DETAIL 1. SEE GENERAL NOTE 4.
- (E) PAINTED DRIVE THRU GRAPHIC. SEE DETAIL 2. SEE GENERAL NOTE 4.
- (F) PAINTED DRIVE THRU GRAPHIC. SEE DETAIL 3. SEE GENERAL NOTE 4.
- (G) 8" WIDE, 10' LONG PAINTED PULL FORWARD STRIPE, PMS 123 YELLOW.
- (H) PAINTED SITE CIRCULATION ARROW. SEE DETAIL 4. SEE GENERAL NOTE 4.
- (I) 4" WIDE CUSTOMER PARKING STRIPING, WHITE.
- (J) PAINTED ISLAND, TYP. WHITE.
- (K) PAINTED HANDICAP SYMBOL, TYP. WHITE.
- (L) 6" WIDE PAINTED CROSSWALK STRIPING, WHITE.
- (M) 4" WIDE PULL FORWARD STRIPING, PMS YELLOW 123.

GENERAL NOTES:

1. FIELD VERIFY AND CONFIRM EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY MCDONALD'S PROJECT MANAGER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.
2. SEE SHEET C2.1 FOR ALL RADIUS DIMENSIONS.
3. SEE SHEET C2.2 FOR CDD CONSTRUCTION.
4. ALL PAVEMENT STENCILS MUST BE PURCHASED FROM THE FOLLOWING AUTHORIZED PROVIDER:
PAVEMENT STENCIL COMPANY
P.O. BOX 18034
ROANOKE, VA 24014
PH 800-250-5547 FAX 540-427-1326
PAVEMENTSTENCIL.NET



SHEET NO.	C2.6	SITE ADDRESS	6910 ODANA ROAD, MADISON, WI 53719
	480093		
TITLE	MADISON, WI (ODANA ROAD)	SITE PLAN	
DESCRIPTION	STRIPING PLAN		
DATE ISSUED	1/27/17	DATE ISSUED	1/27/17
REVIEWED BY	JEU	REVIEWED BY	JEU
DATE	1/27/17	DATE	1/27/17
PREPARED FOR	M. McDonald's USA, LLC		
PREPARED BY	Bishop Engineering		
<p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.</p>			
<p>3017 MCDONALD'S USA, LLC 3017 104th Street Des Moines, Iowa 50325-3825 Phone: 612-284-6448 Fax: 612-284-6427 Civil Engineering & Land Surveying Established 1999</p>			
REV	1	DATE	1/27/17
DESCRIPTION	1ST CITY SUBMITTAL		
BY	JEU		

PRELIMINARY - NOT FOR CONSTRUCTION

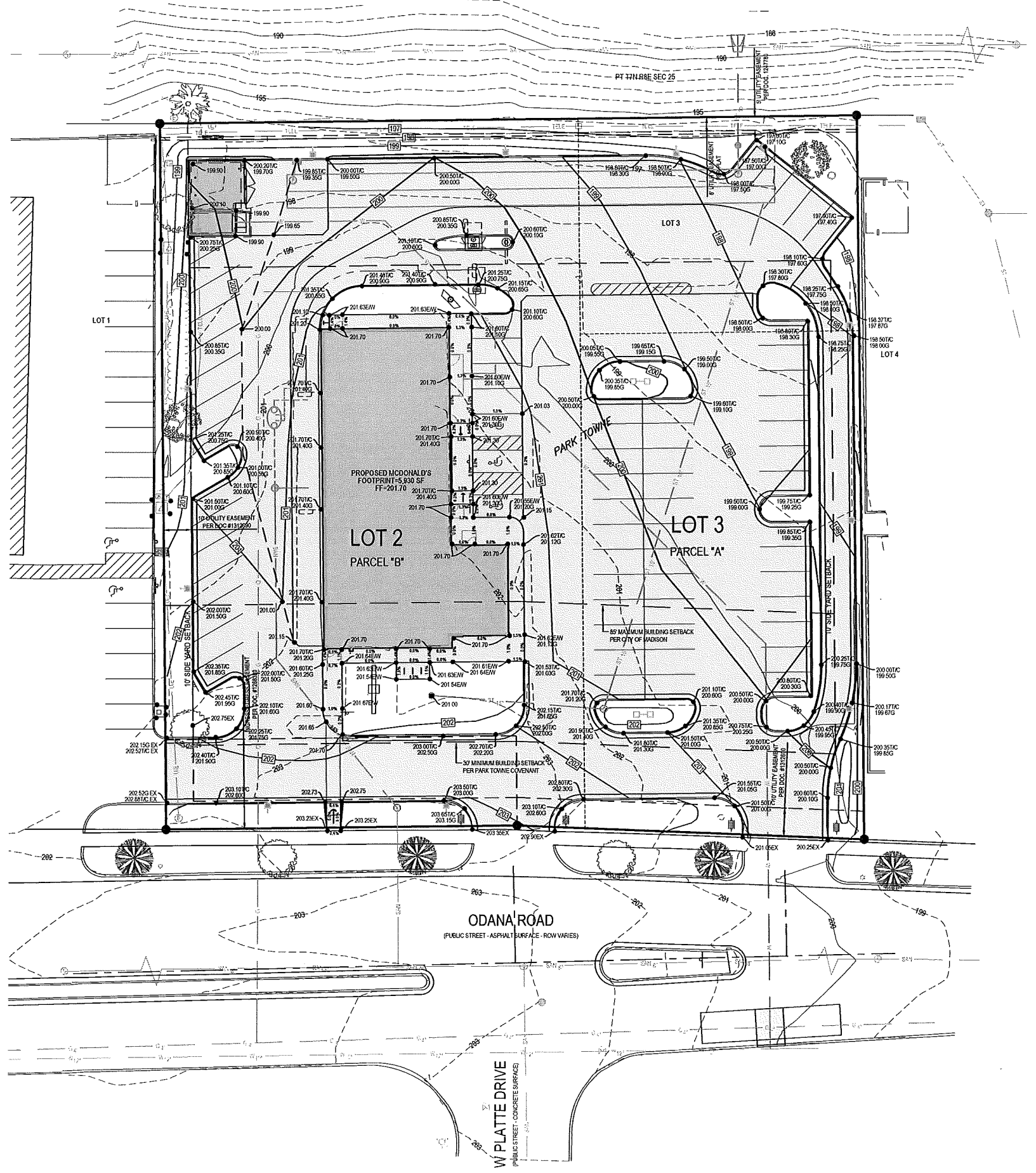
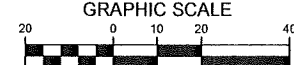
TOPSOIL NOTES:

1. STRIP AND STOCKPILE THE TOP 6" OF SOIL ON ALL DISTURBED AREAS.
2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 6" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL, AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6".
3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS, REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

GRADING LEGEND:

- EXISTING CONTOUR 150
- PROPOSED CONTOUR 150
- FINISHED GROUND ELEVATION 150.50
- TOP OF CURB ELEVATION 150.50TC
- GUTTER ELEVATION 150.50G
- TOP OF WALL ELEVATION 150.50TW
- BOTTOM OF WALL ELEVATION 150.50BW
- EDGE OF WALK ELEVATION 150.50EW
- TOP OF STAIR ELEVATION 150.50TS
- BOTTOM OF STAIR ELEVATION 150.50BS

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.



<p>DATE: 1/27/17</p> <p>BY: J.E.</p>	<p>REV: 1</p> <p>DATE: 1/27/17</p>	<p style="text-align: center;">Bishop Engineering "Planning Your Successful Development" 3501 104th Street Des Moines, Iowa 50322-9827 Phone: (515) 266-4466 Fax: (515) 266-0277 Civil Engineering & Land Surveying Established 1959</p>
<p>PREPARED FOR: M. McDonald's USA, LLC</p> <p>PREPARED BY: 2017 McDonald's USA, LLC</p> <p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by McDonald's USA, LLC and shall not be used for any other project. Use of these drawings for reference or example on another project requires the written consent of Bishop Engineering. No engineer or employee of the contract documents for use on another project is not authorized.</p>		
<p>SHEET NO. C3.1</p> <p>EE # 160005</p>	<p>TITLE: MADISON, WI (ODANA ROAD) SITE PLAN</p> <p>DESCRIPTION: GRADING PLAN</p>	<p>DRAWN BY: JMR</p> <p>SITING DATE: 1/27/17</p> <p>REVIEWED BY: J.E.</p> <p>DATE SIGNED: 1/27/17</p>
<p>FILE: MADISON, WI (ODANA ROAD)</p> <p>PROJECT NO. 6910 ODANA ROAD, MADISON, WI 53719</p>		

PRELIMINARY - NOT FOR CONSTRUCTION

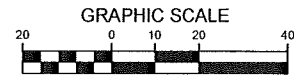
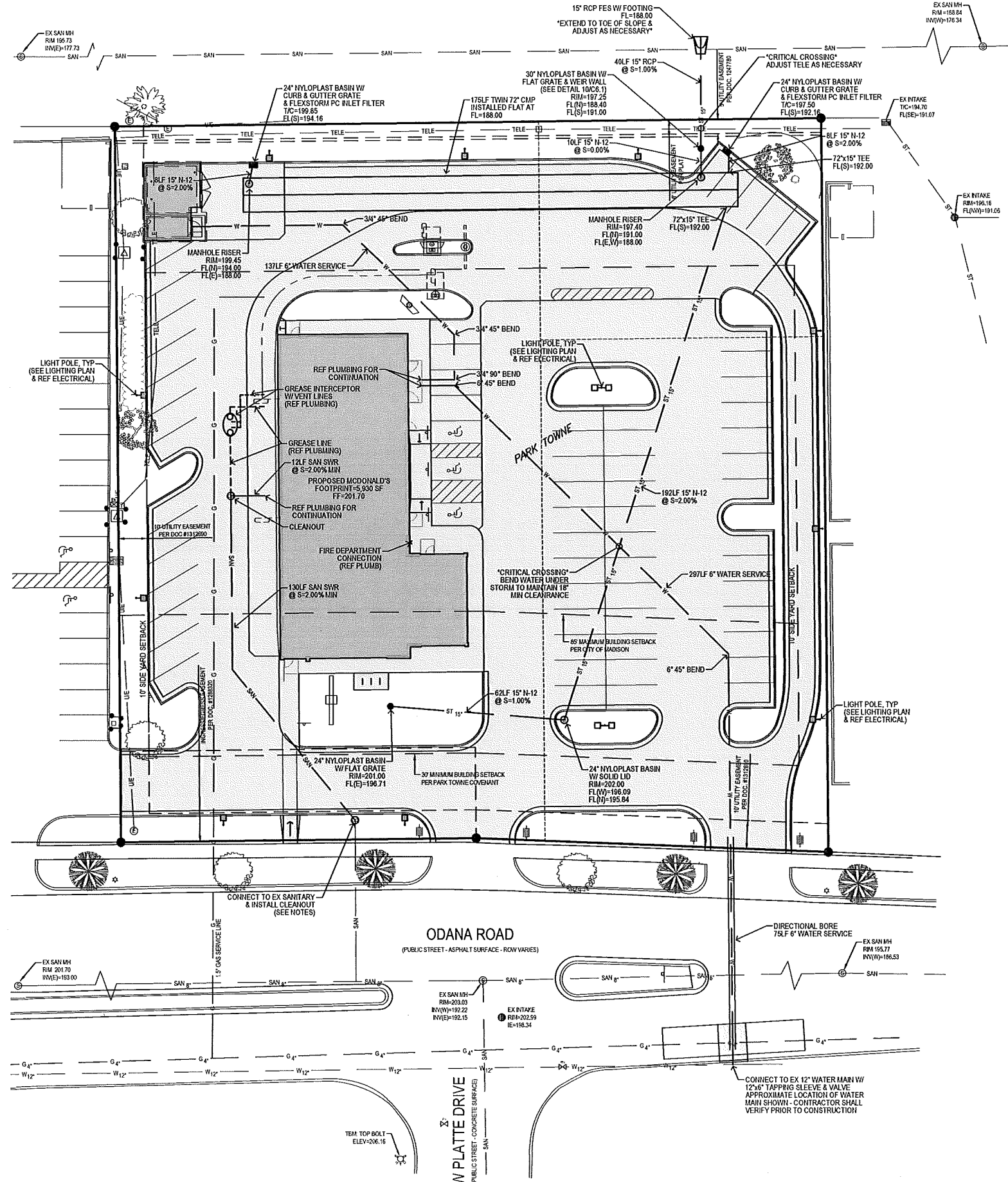
1/27/2017 8:00:46 AM MILWAUKEE PROJECTS 2016160005 MADISON, WI - ODANA, FDDWVSCG1 UTILITY DWG

UTILITY NOTES:

1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
2. ALL WATER LINES SHALL HAVE A MINIMUM OF 7" OF COVER UNLESS NOTED OTHERWISE.
3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
7. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
8. GREASE INTERCEPTOR IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. REFER TO PLUMBING PLANS FOR DETAILED DRAWINGS AND SPECIFICATIONS. PLUMBING PLANS SHALL TIE INTO SANITARY SERVICE AT LOCATION AND ELEVATION SHOWN ON PLAN.
9. GREASE INTERCEPTOR SHALL BE LOCATED OUTSIDE OF DRIVE THRU LANE AND HANDICAP PARKING. GREASE INTERCEPTOR RIM ELEVATIONS SHALL BE FLUSH WITH PAVEMENT GRADE.
10. GREASE INTERCEPTOR VENT LINES ARE SHOWN FOR REFERENCE ONLY. REFER TO PLUMBING PLANS FOR DETAILED PLANS AND SPECIFICATIONS.

EXISTING SANITARY CONNECTION NOTES:

1. APPROXIMATE LOCATION OF EXISTING SANITARY SERVICE IS SHOWN. CONTRACTOR SHALL VERIFY EXACT LOCATION AND ELEVATION OF EXISTING SANITARY SERVICE PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL INSTALL A CLEANOUT AT THE CONNECTION LOCATION. CLEANOUT RIM SHALL BE FLUSH WITH PROPOSED GROUND.
3. CONTRACTOR SHALL VERIFY THAT A MINIMUM SLOPE OF 2% CAN BE MAINTAINED FROM THE CONNECTION POINT TO THE PROPOSED BUILDING.
4. IF CONNECTION POINT IS TOO HIGH, ADDITIONAL REMOVAL OF EXISTING SANITARY SERVICE MAY BE REQUIRED AND SHALL BE INCIDENTAL TO CONSTRUCTION.
5. IF 2% MINIMUM SLOPE CANNOT BE MAINTAINED, BISHOP ENGINEERING MUST BE CONTACTED (JOEL JACKSON 515-276-0467) PRIOR TO ANY ADDITIONAL SANITARY SERVICE WORK.



SHEET NO.	MADISON, WI (ODANA ROAD)		DATE	BY
	SITE PLAN			
TITLE	MADISON, WI (ODANA ROAD)		REV	DESCRIPTION
	UTILITY PLAN			
PREPARED FOR:	M. McDonald's USA, LLC		DATE	DESCRIPTION
DRAWN BY:	JMR	SID ISSUE DATE:	1/27/17	
REVIEWED BY:	J.E.	DATE ISSUED:	1/27/17	
SITE ID:	480093	SITE ADDRESS:	6910 ODANA ROAD, MADISON, WI 53719	
SHEET NO.	C4.1			
	RE# 160005			

Bishop Engineering
 "Planning Your Successful Development"
 3501 104th Street
 Des Moines, Iowa 50322-3625
 Phone: 515-282-4646 Fax: 515-282-4647
 Civil Engineering & Land Surveying Established 1999

PREPARED FOR:
M. McDonald's USA, LLC
 These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by McDonald's USA, LLC and shall govern in the event of any conflict. These drawings are for reference only and are not to be used for any other project. Use of these drawings for any other project requires the written consent of McDonald's USA, LLC. The contract documents for the project are the contract documents for use on another project is not authorized.

PRELIMINARY - NOT FOR CONSTRUCTION

LIGHTING PLAN NOTE:

1. LIGHTING PLAN WAS PREPARED BY SECURITY LIGHTING SYSTEMS. FOR QUESTIONS CONTACT MARK WERTH (1-800-544-4848 x168) MWERTH@SECURITYLIGHTING.COM

NOTES:

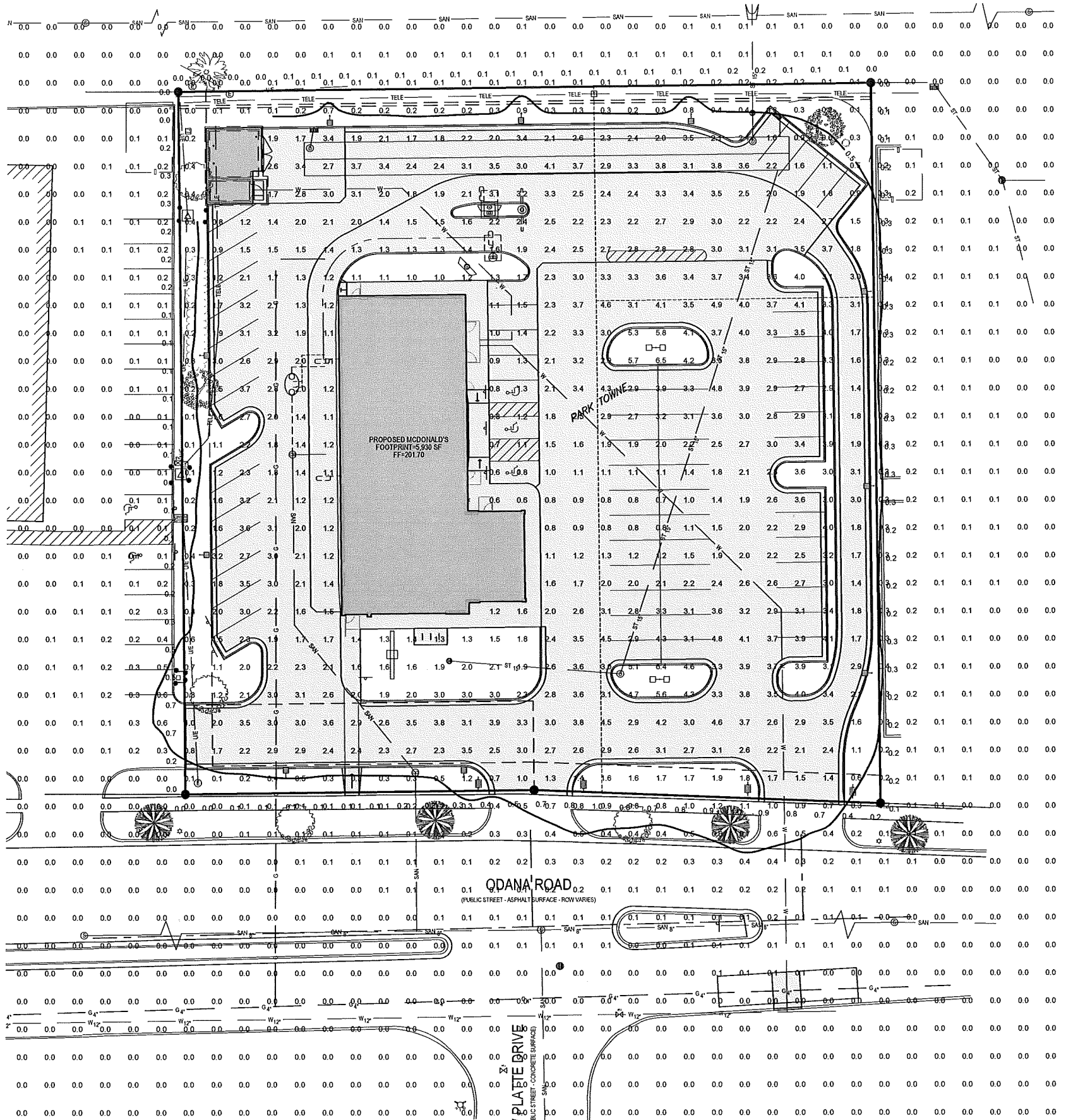
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
2. THE CONTRIBUTION OF THE SOFFIT / BUILDING LIGHTING IS NOT REFLECTED ON THE DRAWING UNLESS SOFFIT / BUILDING LIGHTING IS SPECIFIED IN THE FIXTURE SCHEDULE BELOW.
3. DISTANCE BETWEEN READINGS 10'
4. FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.

PAVED SURFACE READINGS

Average 2.4
 Maximum 4.9
 Minimum 0.6
 Avg.Min 4.01
 Max.Min 8.17

PROPERTY LINE READINGS

Average 0.2
 Maximum 1.0
 Minimum 0.0
 Avg.Min N/A
 Max.Min N/A



* PROJECT WIND LOAD CRITERIA BASED ON:
 ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)
 50 YEAR MEAN RECURRENCE INTERVAL

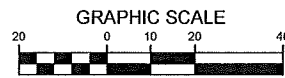
THIS DRAWING MEETS OR EXCEEDS MCDONALD'S CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.

THIS LAYOUT MAY NOT MEET STATE OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE TITLE 24 COMPLIANT OR MEET OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TELESCOPE, IN LAMP, AND OTHER FACTORS, FIELD CONDITIONS.



2100 Gulf Road, Suite 204, Rolling Meadows, IL 60008
 1-800-544-4848



** - SPECIFY COLOR

FIXTURE TYPE:	SYMBOL	FIXTURE QUANTITY	CONFIG	QUANTITY	TERMINAL TOP FITTERS	QUANTITY	EPA	MOUNTING HEIGHT	LLF	POLE TYPE:	QUANTITY	WIND LOAD	ALLOWED EPA
VP-S-60NB-136-Sk-T4-UNV-RA**	+	4	DBL180	2	TTFVIPER	2	2.00	21'	0.87	SSP-4118-GL-**-TT (4')	2	90mph	7.2
VP-S-60NB-136-Sk-T4-UNV-RA**-BLC	+	10	SGL	10	TTFVIPER	10	1.00	21'	0.87	SSP-4118-GL-**-TT (4')	10	90mph	7.2

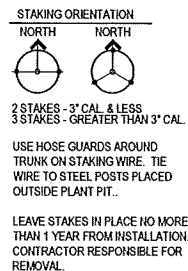
PREPARED FOR: **M. McDonald's USA, LLC**
 PREPARED BY: **Bishop Engineering**
 3501 104th Street
 Des Moines, Iowa 50325-2927
 Phone: 515-281-7800 Fax: 515-281-7807
 Civil Engineering & Land Surveying Established 1999

DATE: 1/27/17
 REV: 1
 DESCRIPTION: 1ST CITY SUBMITTAL

PROJECT: 2017 MCDONALD'S USA, LLC
 TITLE: MADISON, WI (ODANA ROAD) SITE PLAN
 SHEET NO: C4.2
 SHEET TOTAL: 160005

LANDSCAPE NOTES:

- ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.
- SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
- STAKE SOD ON ALL SLOPES 3 : 1 OR GREATER.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- STAKE AND WRAP ALL DECIDUOUS TREES IMMEDIATELY AFTER PLANTING. STAKE ALL TREES ACCORDING TO THE STAKING DETAILS. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD.

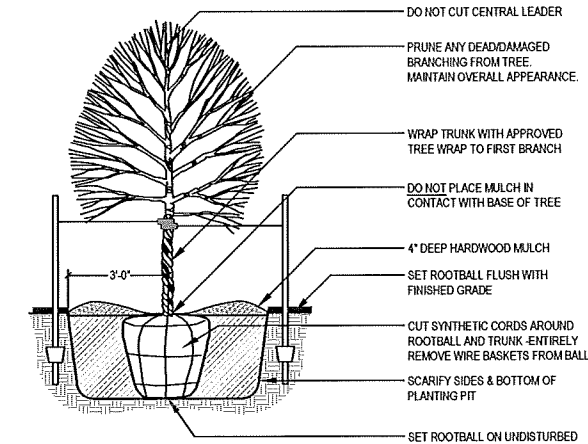
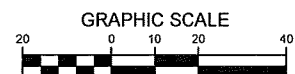
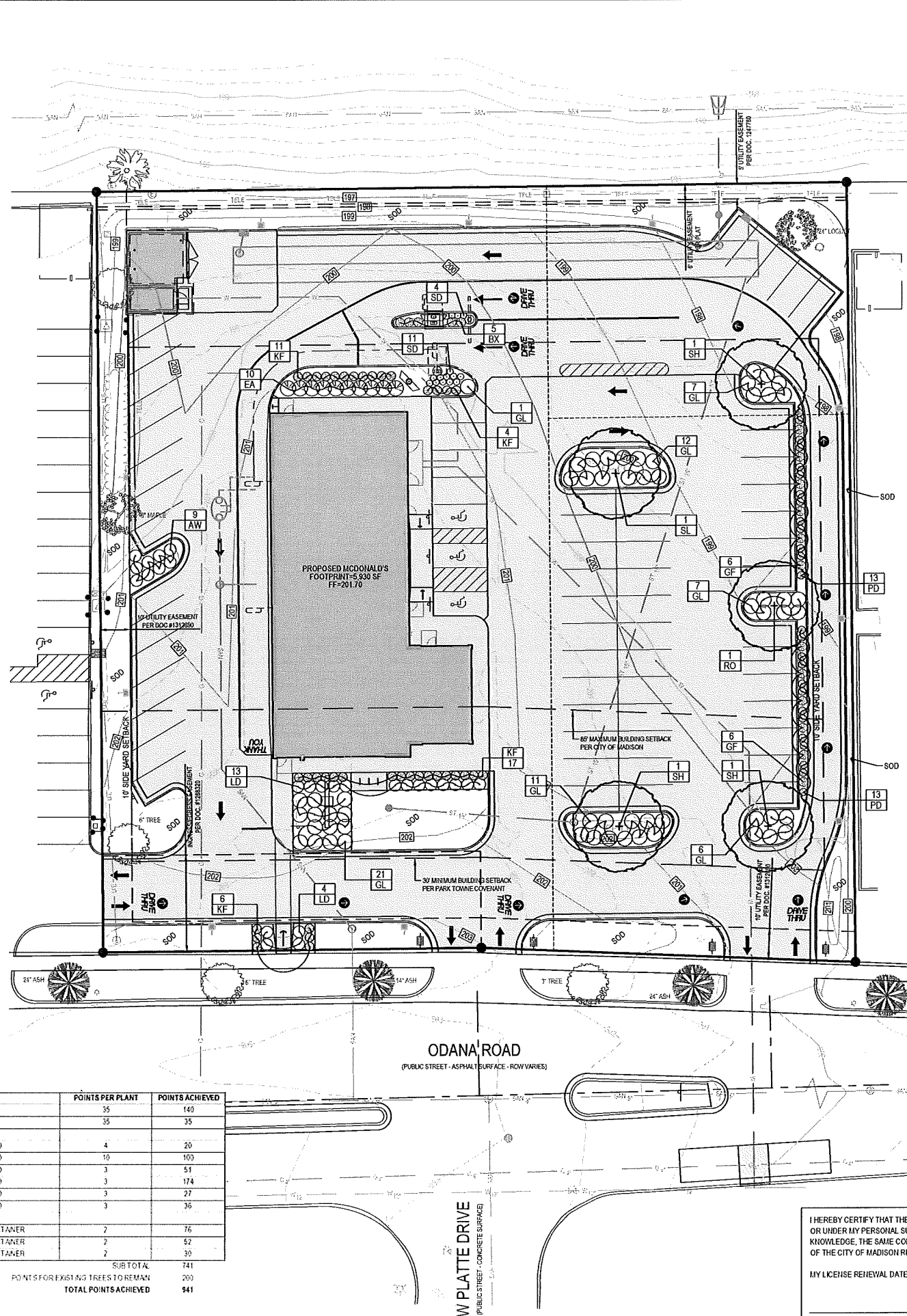


PARKING LOT LANDSCAPE SPACE CALCULATION

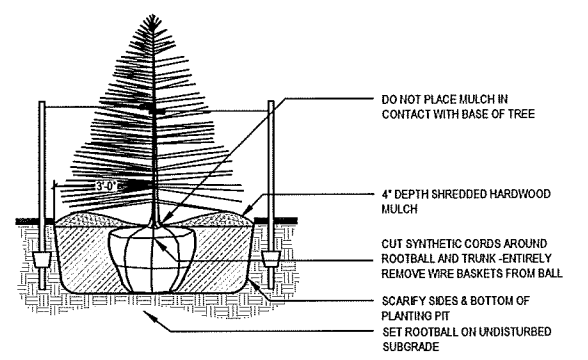
TOTAL GROSS AREA: 24,261 SF
TOTAL LANDSCAPE SPACE: 2,070 SF
PERCENT LANDSCAPE SPACE: 8.5%

PLANTING SCHEDULE

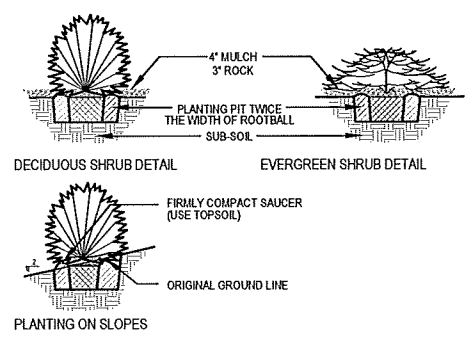
CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES	POINTS PER PLANT	POINTS ACHIEVED
SH	4	SKYLINE HONEYLOCUST	GLEDTISIA TRIACANTHON INERMIS 'SKYLINE'	2 5/8" CAL	B&B	MATCHED SPECIMENS	35	140
RO	1	RED OAK	QUERCUS RUBRA	2 5/8" CAL	B&B	MATCHED SPECIMENS	35	35
BK	5	GREEN MOUND BOXWOOD	BUXUS X 'GREEN MOUND'	24"	B&B	FULL FORM - MATCHED	4	20
EA	10	EMERALD ARBORVITAE	THUJA OCCIDENTALIS 'SMARAGD'	4"	B&B	FULL FORM - MATCHED	10	100
LD	17	LITTLE LEAF NINEBARK	PHYSCOCARPUS OPULIFOLIUS 'LITTLE LEAF'	#3	CONT	FULL FORM - MATCHED	3	51
GL	58	GROWLOW SLAMAC	RHUS AROMATICA 'GROWLOW'	#5	CONT	FULL FORM - MATCHED	3	174
AW	9	ANTHONY WATERER SPIREA	SPIRAEA RUMALDA 'ANTHONY WATERER'	#5	CONT	FULL FORM - MATCHED	3	27
GF	12	GOLD FLAME SPIREA	SPIRAEA RUMALDA 'GOLDFLAME'	#5	CONT	FULL FORM - MATCHED	3	36
KF	38	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	#1	CONT	FULLY ROOTED IN CONTAINER	2	76
PD	26	FRANKE DROPPED	SPARGANGLUS HERCULESIS	#1	CONT	FULLY ROOTED IN CONTAINER	2	52
SD	19	STELLADORO DORLY	HEMEROCALLIS X STELLA DORO'	#1	CONT	FULLY ROOTED IN CONTAINER	2	38
SUB TOTAL							741	
POINTS FOR EXISTING TREES TO REMAIN							209	
TOTAL POINTS ACHIEVED							941	



DECIDUOUS TREE PLANTING (TYP.)
SCALE: NOT TO SCALE



EVERGREEN TREE PLANTING (B&B)
SCALE: NOT TO SCALE



SHRUB PLANTING (TYP.)
SCALE: NOT TO SCALE

I HEREBY CERTIFY THAT THE PORTION OF THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY PERSONAL SUPERVISION, AND THAT TO THE BEST OF MY KNOWLEDGE, THE SAME COMPLY WITH ALL RULES, REGULATIONS AND ORDINANCES OF THE CITY OF MADISON RELATING TO STRUCTURES AND BUILDINGS.

MY LICENSE RENEWAL DATE IS: JULY 31, 2018

WI REG#LA: _____ DATE: _____

PAGES OR SHEET COVERED BY THIS SEAL: C5.1

PREPARED FOR: **M. McDonald's USA, LLC**
2017 McDonald's USA, LLC

PREPARED BY: **Bishop Engineering**
"Planning Your Successful Development"
3501 104th Street
Des Moines, IA 50325
Phone: 515.281.4077 Fax: 515.281.0207
Civil Engineering & Land Surveying Established 1959

TITLE: **MADISON, WI (ODANA ROAD) SITE PLAN**

DATE: 1/27/17

REVIEWED BY: J.E.J.

DATE ISSUED: 1/27/17

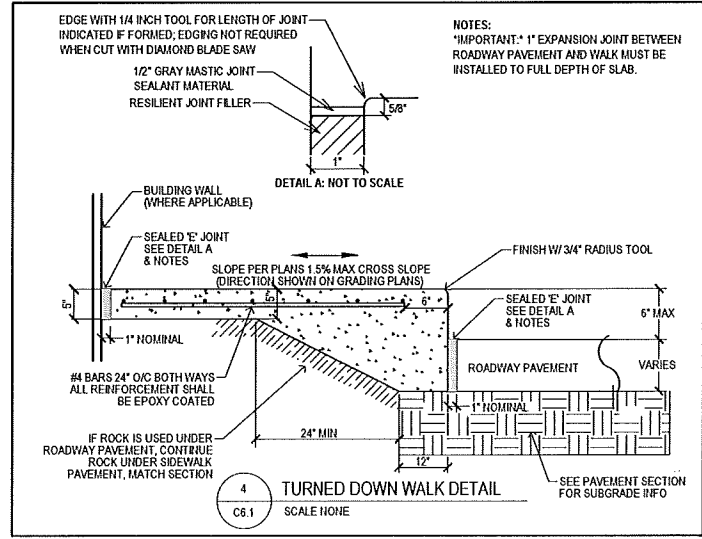
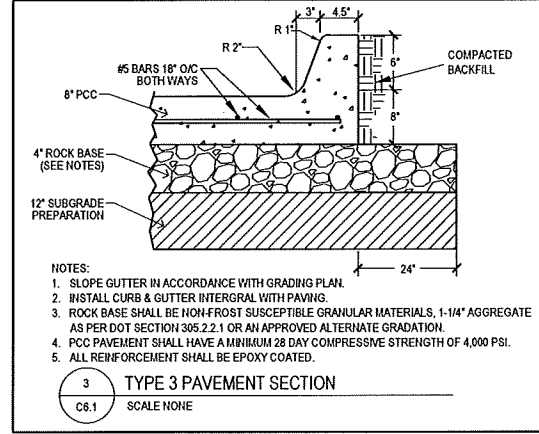
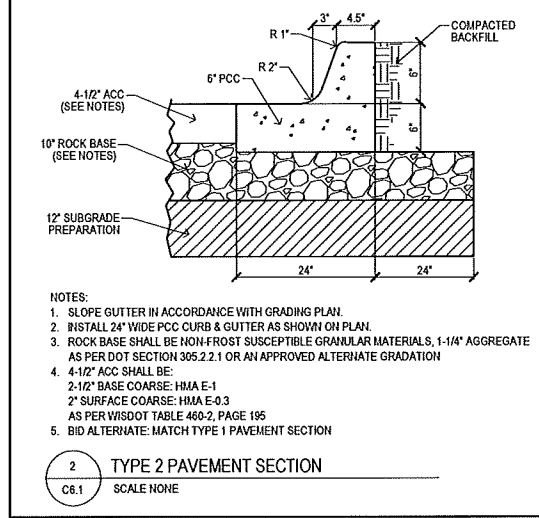
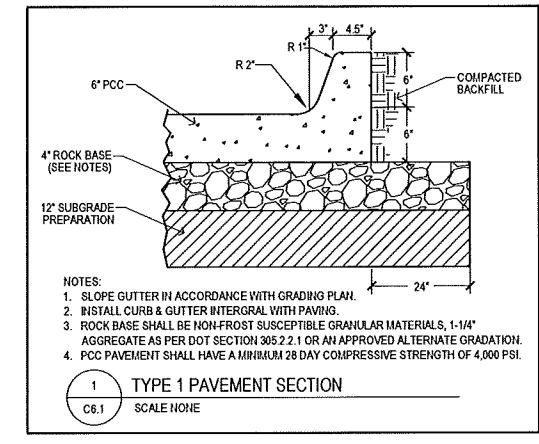
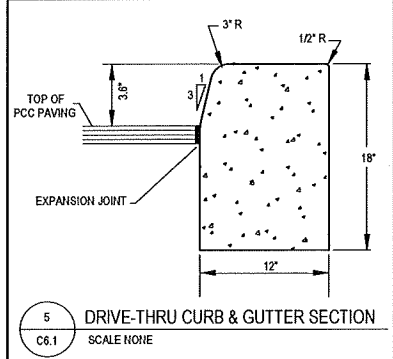
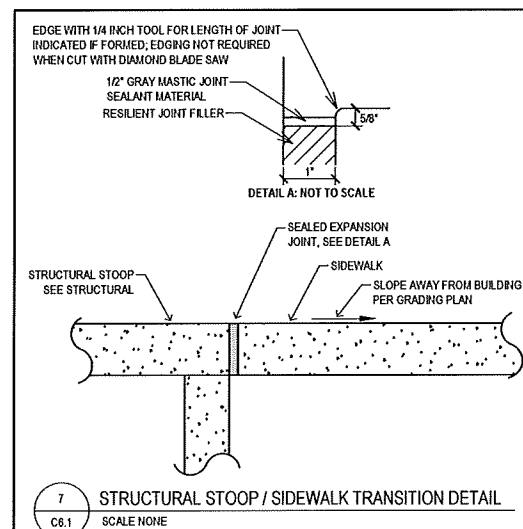
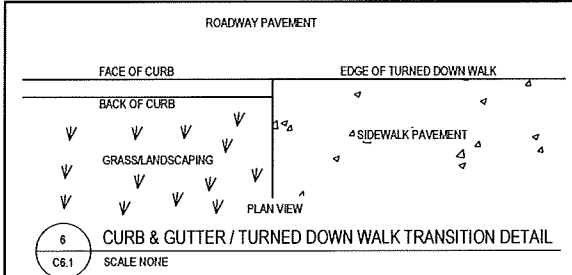
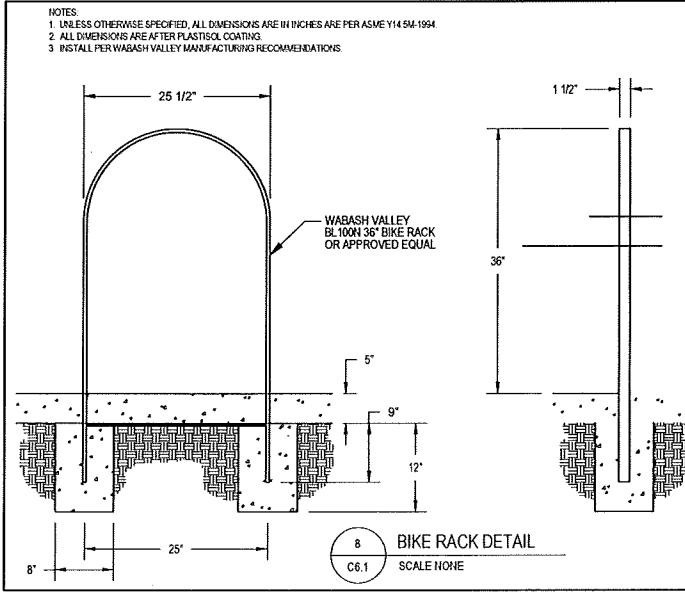
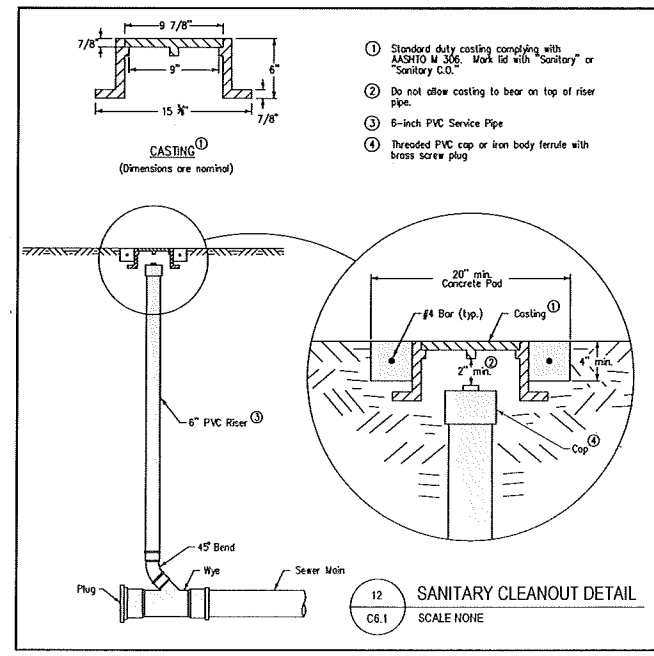
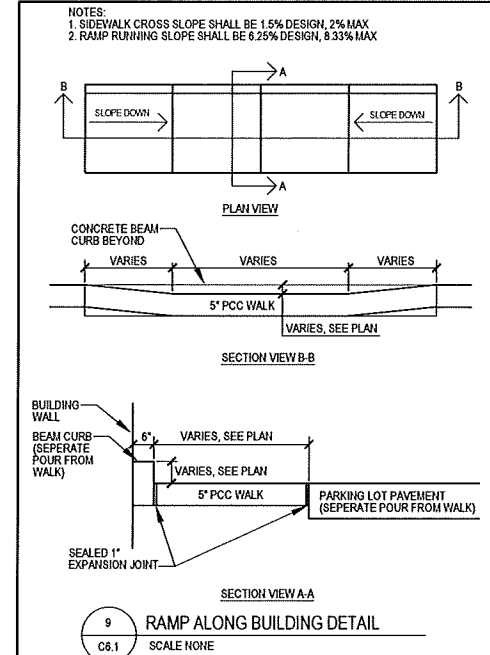
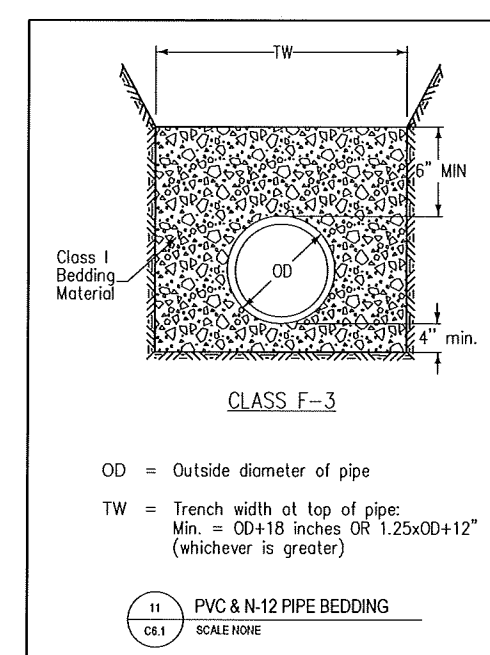
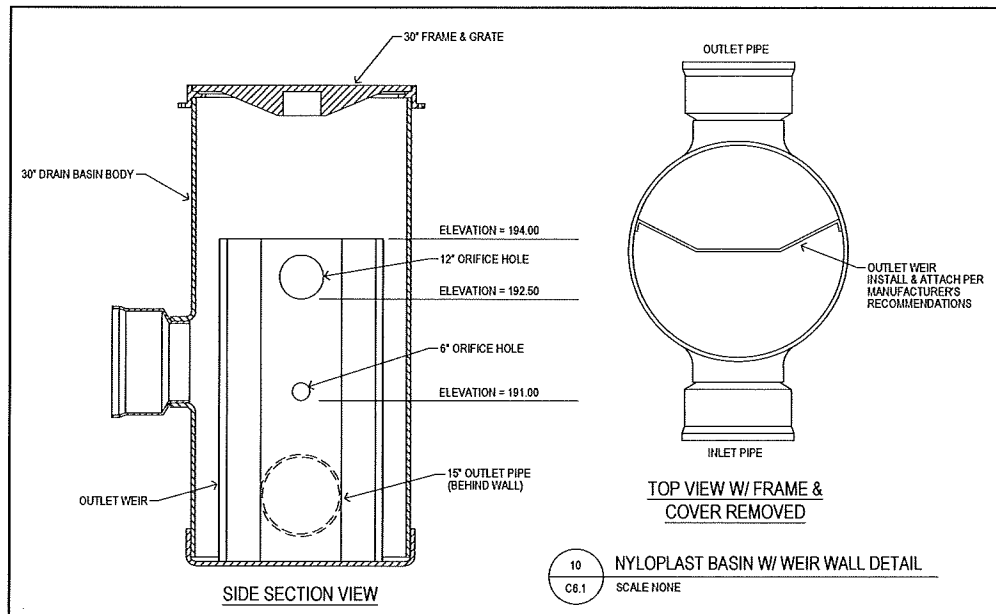
DESCRIPTION: **LANDSCAPE PLAN**

SHEET NO: **C5.1**
160005

DATE: 1/27/17

BY: J.E.J.

MILWAUKEE PROJECTS 2016160035 MADISON, WI - ODANA, ROADWORKS DETAILS.DWG 1/27/17 8:01:19 AM



PREPARED BY	Bishop Engineering	DATE	1/27/17
REVIEWED BY	J.E.	REV	1
DATE ISSUED	1/27/17	DESCRIPTION	1ST CITY SUBMITTAL
M. McDonald's USA, LLC 2017 MCDONALD'S USA, LLC 3501 104th Street Des Moines, Iowa 50323-3623 Phone: 515-281-4646 Fax: 515-281-4647 Civil Engineering & Land Surveying Established 1999		THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MCDONALD'S USA, LLC AND SHALL NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN AUTHORIZATION. THE CONTRACT DOCUMENTS WERE PREPARED BY MCDONALD'S USA, LLC AND SHALL BE USED ONLY FOR THE PROJECT AND SITE OR AT A LATER DATE. USE OF THESE DRAWINGS FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE USER TO OBTAIN WRITTEN PERMISSION FROM MCDONALD'S USA, LLC. THE CONTRACT DOCUMENTS FOR USE ON ANOTHER PROJECT IS NOT AUTHORIZED.	
TITLE	MADISON, WI (ODANA ROAD)	SHEET NO.	C6.1
DESCRIPTION	SITE PLAN DETAILS SHEET	SHEET ADDRESS	6910 ODANA ROAD, MADISON, WI 53719
DATE	1/27/17	SHEET NO.	480093
SCALE	SCALE NONE	DATE	1/27/17

PRELIMINARY - NOT FOR CONSTRUCTION

STORM WATER POLLUTION PREVENTION PLAN

PROPERTY DESCRIPTION:
 PER TITLE COMMITMENT #CO-5325
 PARCEL A:
 LOT 3, EXCEPT THE NORTH 77 FEET THEREOF, PARK TOWNE, IN THE CITY OF MADISON, COUNTY OF DANE, STATE OF WISCONSIN. TAX KEY NO. 0708-252-0103-4
 ADDRESS: 6906 ODANA ROAD

PARCEL B:
 LOT 2, AND THE NORTH 77 FEET OF LOT 3, PARK TOWNE, IN THE CITY OF MADISON, COUNTY OF DANE, STATE OF WISCONSIN. TAX KEY NO. 0708-252-0102-6
 ADDRESS: 6910 ODANA ROAD

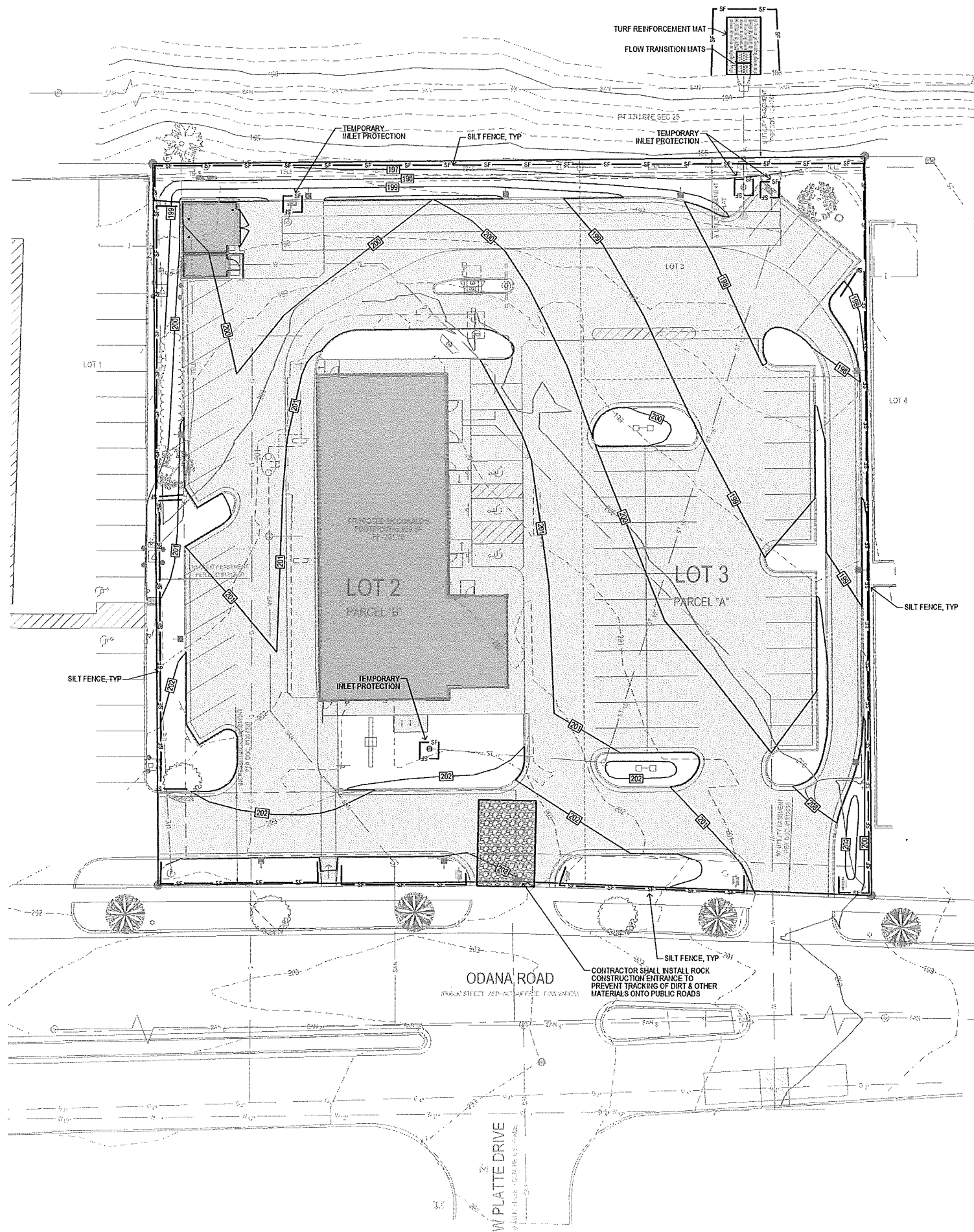
SITE AREA: 63,258 SQ FT, 1.458 ACRES

ADDRESS:
 6910 ODANA ROAD AND 6906 ODANA ROAD
 MADISON, WISCONSIN 53719

OWNER:
 MC DONALD'S CORP
 C/O CARRIE BENNETT-BARNDT
 9701 BRADER WAY
 SUITE 201
 MIDDLETON, WI 53562

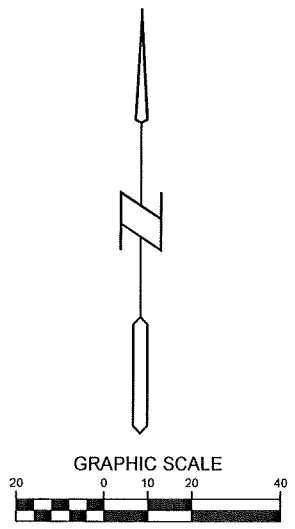
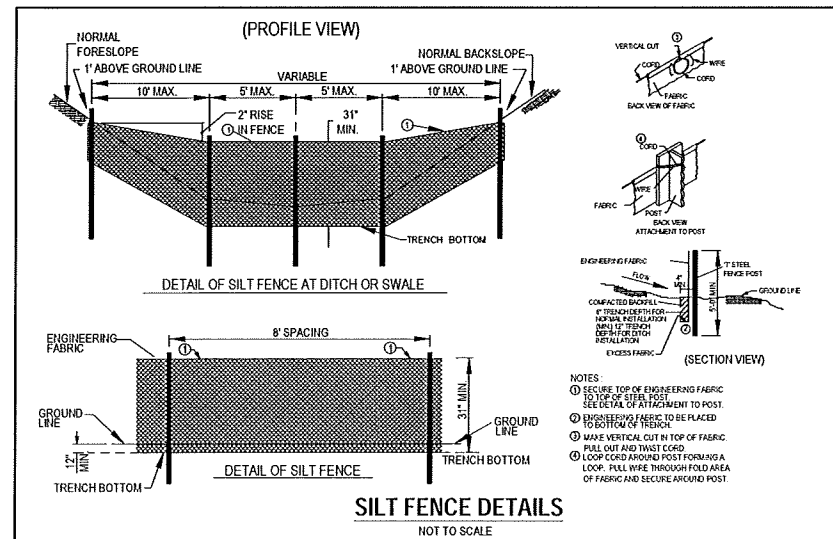
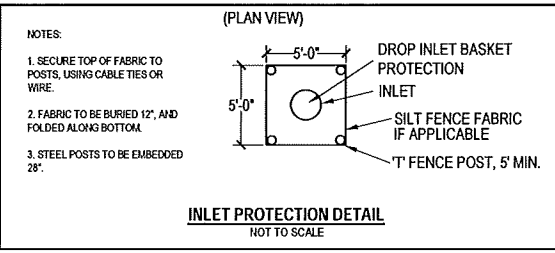
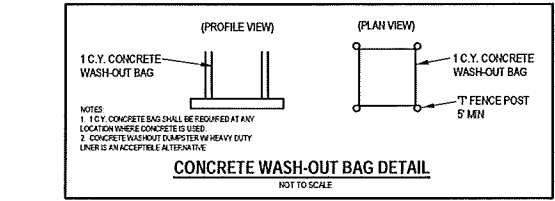
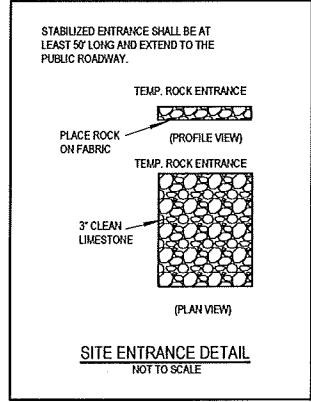
PREPARED FOR:
 MCDONALD'S USA, LLC
 ATTN: VICKY STADTHER
 1650 W 82ND ST, SUITE 900
 BLOOMINGTON, MN 55431
 PH: (952) 884-4355

BENCHMARK:
 TBM: HYDRANT - TOP BOLT
 NORTHING = 476180.71
 EASTING = 789781.50
 ELEVATION = 206.16
 DESCRIPTION: HYDRANT ON SOUTHEAST CORNER OF INTERSECTION OF ODANA ROAD AND W PLATTE DRIVE MADISON DATUM



- EROSION CONTROL NOTES:**
- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
 - SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES PERMIT NO. WI-5067831-4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT.
 - INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
 - INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
 - INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
 - OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING THE TRACKING OF DIRT AND OTHER MATERIALS FROM THE PROJECT SITE ONTO ANY PUBLIC STREETS DURING CONSTRUCTION. CONTRACTOR SHALL CLEAN ANY DIRT OR OTHER MATERIALS TRACKED ONTO PUBLIC STREETS AT THE END OF EACH DAY.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS ARE MET.
 - LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
 - MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENTS. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
 - RESTORE DISTURBED OPEN AREA WITH TEMPORARY SEED OR SOG WITHIN 72 HOURS OF COMPLETING GRADING IN EACH AREA.
 - SCRAP ADJACENT STREETS CLEAN DAILY AND SWEEP CLEAN WEEKLY.
 - BUILDING AND WASTE MATERIAL SHALL BE PROPERLY HANDLED TO PREVENT RUNOFF OF MATERIAL PER DNR REGULATIONS.
 - WASH WATER FROM VEHICLE AND WHEEL WASHING SHALL BE TREATED PRIOR TO RUNOFF PER DNR REQUIREMENTS.
 - CONTRACTOR SHALL DEVELOP SPILL PREVENTION AND RESPONSE PROCEDURES IN ACCORDANCE WITH DNR REQUIREMENTS.
 - INSPECTIONS MUST BE PERFORMED WEEKLY AND WITHIN 24 HOURS AFTER A RAIN EVENT OF 0.5 INCHES OR GREATER. WEEKLY REPORTS OF ALL INSPECTIONS MUST BE MAINTAINED THROUGHOUT THE PERIOD OF GENERAL PERMIT COVERAGE.

- EROSION CONTROL REMOVAL NOTES:**
- AFTER FINAL STABILIZATION HAS OCCURED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.



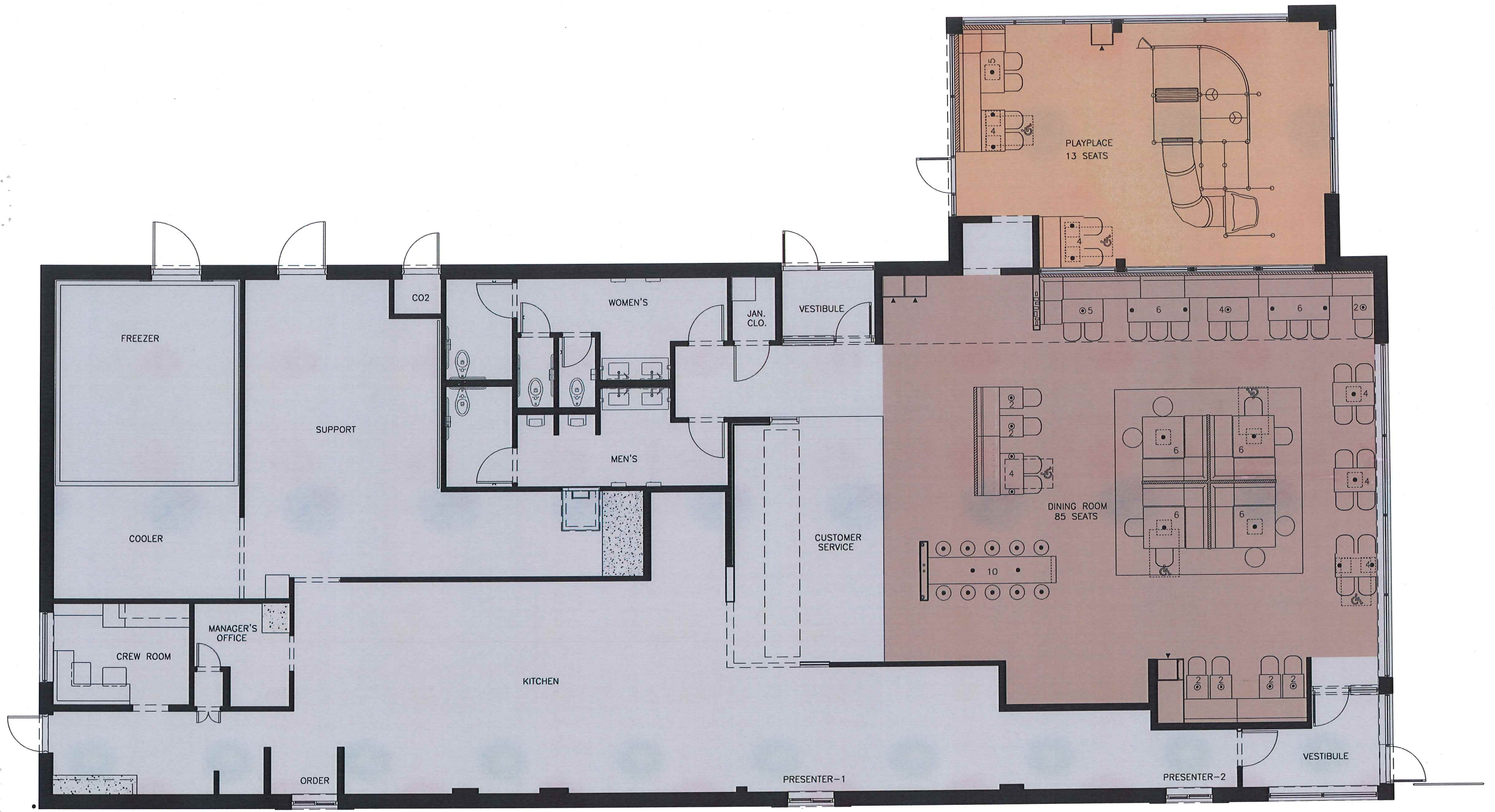
DATE	DESCRIPTION	BY
1/27/17	1ST CITY SUBMITTAL	JEU
REV	DATE	
1	1/27/17	

PREPARED BY: **M. McDonald's USA, LLC**
 2017 McDonald's USA, LLC
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PREPARED FOR: **M. McDonald's USA, LLC**
 3501 104th Street
 Des Moines, Iowa 50323-3803
 Phone: 515.281.4444 Fax: 515.281.4447
 Civil Engineering & Land Surveying Established 1989

DRAWN BY: JMR
 SITE ADDRESS: 6910 ODANA ROAD, MADISON, WI 53719
 SITE NO: 480093
 SITE ID: C7.1
 SHEET NO: 160005

TITLE: **MADISON, WI (ODANA ROAD) SITE PLAN SWPPP**



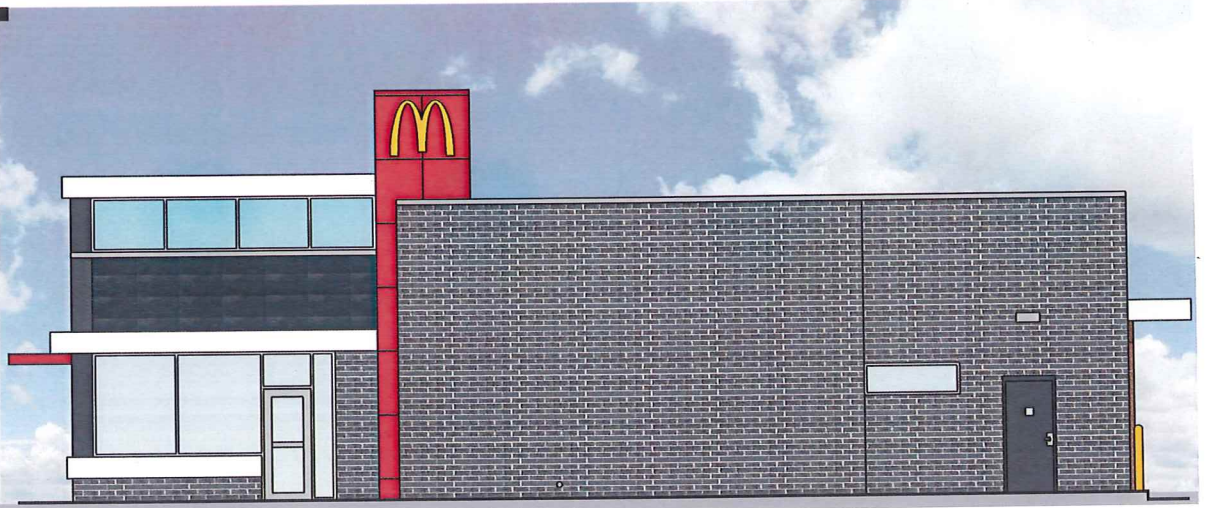
85+13=98 SEATS

Floor Plan



Materials Legend

- Brick (Main Building)
Color - Black Diamond Velour by Belden Brick
- Tile (Accent)
Color - Whatever is replacing Plaza Nova
- Wood (Arcades)
E-wood Oak by Eurowest
- Brand Wall/Underscore (Metal)
Ron Red Alpolic Composite Panel
- Glazing (Windows & Storefront)
1" Insulated Clear Glass
- Aluminum Frames (Prefinished)/Metal (Coping)
Cityscape
- Breakmetal (Painted)
Color - BM-1631 - Midnight Oil by Benjamin Moore



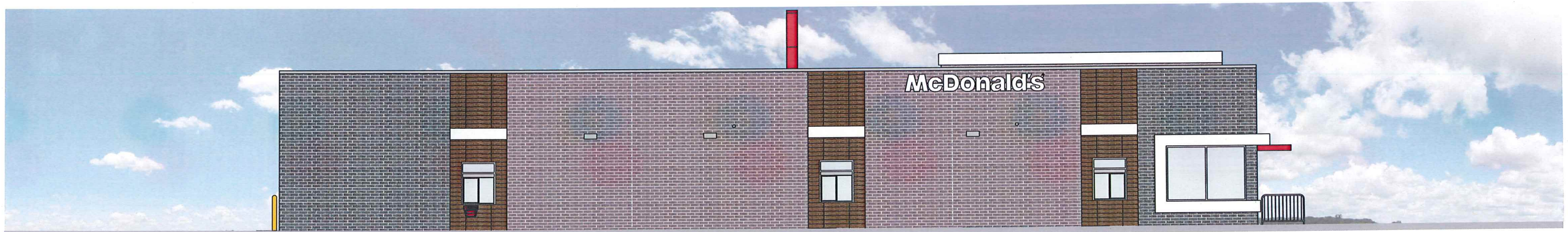
Rear Elevation

FACADE AREA CALCULATION:
 GLAZING 207+148+104+69=528 SF
 BRICK=192 SF
 TILE=356 SF
 WOOD=33 SF
 METAL=164 SF
 TOTAL 528+192+356+33+164=1273 SF
 528/1273=41.47
 PERCENTAGE IS: 41.4%

DOOR AND WINDOW OPENING LENGTH ALONG FACADE:
 $7'-9 \frac{3}{4}" + 28'-2" + 16'-0" = 51'-11 \frac{3}{4}"$
PERCENTAGE OF DOOR AND WINDOW OPENING FROM WHOLE LENGTH OF FACADE:
 $51'-11 \frac{3}{4}" + 67'-4" = 0.77$
PERCENTAGE IS: 77%



Non-Drive-Thru Side Elevation



Drive-Thru Side Elevation

Proposed McDonald's Restaurant
 Color Elevation Study
 048-0093 Madison, WI