

# PROGRAM STATEMENT

Sign Off
Design
Development
Construction
Owner
Management

PROJECT NAME: CAPITOL WEST – PHASE I  
 PROJECT LOCATION: MADISON, WI  
 DESIGN PHASE: SCHEMATIC DESIGN/SIP

Prepared By: THOMAS MILLER  
 Construction PM: TBD  
 Development PM: NATALIE BOCK/THOMAS MILLER  
 Architectural PM: THOMAS MILLER (A&O)  
 Date: March 18, 2005  
 Revision Date:

BUILDING SUMMARY: NEW PARKING STRUCTURE

BUILDING TYPE: REINFORCED CONCRETE

BUILDING NAME: CAPITOL WEST PARKING RAMP  
 (141 WASHINGTON ROW)

PROJECT #: 03-457

CONSTRUCTION COST LIMIT:

1.	Code/Date	WECBC 2002
2.	Gross Building Area	60,950 GSF: 2 levels
3.	Gross Residential Area	0 GSF
4.	Gross Commercial Area	0 GSF
5.	Gross Parking Area	60,950 GSF
6.	Gross Storage Area	0 GSF
7.	Gross Demolition Area	TBD
8.	Miscellaneous (define)	N/A
9.	Gross Site Area	29,987
10.	Net Site Paving Area	TBD
11.	Roof Deck Area	15,516 – See landscape plans
	Leasable Commercial	0 GSF
	Interior Parking	147 stalls
	Surface Parking	0 stalls
	Total Parking	147 stalls
	Parking Required (1)	147 stalls as outlined in PUD

COMMERCIAL NET LEASABLE SQUARE FOOTAGE (see attached plan)		
Assumptions:	85% Efficiency	90% Efficiency
		80% Efficiency

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**DATE: MARCH 18, 2005**  
**LOCATION: MADISON, WI**  
**PROJECT #: 03-457**  
**REVISED:**

1. **GENERAL COMMENTS:** (*roof gardens, storage needs, trash rooms, CDBG-HUD requirements, DBE-residency requirements/prevaling wage rate (city): zoning (variance required?)*)

1. 147 Parking stalls of which 12 are tandem and 4 are ADA.
2. 2 levels.
3. Must support Capitol Court and 309 addition on structural deck.
4.

2. **SITWORK** (*lighting, paving, site utilities, floor plain, environmental concerns, landscaping, specialties*):

1. Demolition of existing Hospital and Annex III.
2. Landscaping to be determined as part of master landscape plan.
3. Grand stairs from Washington Row included in site improvements.
4. Access to Washington Row house parking through this ramp.
5. See landscape plan for Courtyard improvements.

3. **CONCRETE:** (*Foundations, slabs, precast, special treatment*):

1. Cementitious underlayment at floors and roof.
2. Structure must support 309 Addition and Capitol Court.

4. **MASONRY:** (*brick veneers, stone, tuck pointing, cleaning,, brick replacement*)

1. CMU walls at storage, stair and mechanical rooms.
2.
3.

5. **METALS:** (*structural, ornamental, miscellaneous*):

1. Reinforcing steel for concrete.
2.
3.
4.

6. **WOOD & PLASTIC:** (*framing, moldings, casework, specialties*):

1. Framework for concrete required.
2.
3.

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**REVISED:**

**7. THERMAL AND MOISTURE PROTECTION:** (*waterproofing, air infiltration, barriers, insulation, cladding*)

1. Waterproofing at roof deck as part of court design.
2. Portion of garage is below grade and requires waterproofing.
3.
4.

**8. DOORS AND WINDOWS:** (*New, replacement, restoration, weather-stripping, storms, screens, low-E glazing, hardware, storefronts, overhead doors, skylights, eligibility for rebate program*):

1. Painted steel doors
2. Low-E glazing.
3. Aluminum and glass overhead garage doors.
4.
5.

**9. FINISHES:** (*New, restored, standard, non-standard, painting of ceilings, ductwork, conduit, sprinkler, etc., exposed, or carpeted floors, brick walls, etc.*)

1. TBD
2.
3.

**10. SPECIALITES:** (*interior signage, exterior signage, bath accessories, awnings, mailboxes*):

1. Garage entry/security system required.
2.
3.

**11. EQUIPMENT:** (*appliances, fireplaces*):

1. Mailboxes required at each unit.
2. Fireplaces (gas).
3.
4.

**12. FURNISHINGS:** (*window coverings, furniture for model, character features/artwork*)

1. Window coverings throughout.
2. Model furniture to be leased if required.

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**REVISED:**

**13. SPECIAL CONSTRUCTION:** (*demolition, sandblasting, asbestos removal, lead paint abatement*)

- |  |
|--|
| 1. Demolition of existing buildings on site required – part of garage scope. |
| 2. Fire protection to NFPA 13 throughout.                                    |
| 3. Structure of garage to support residential construction above.            |

**14. CONVEYING SYSTEMS:** (*elevators, lifts, dumb waiters*):

- |          |
|----------|
| 1. None. |
| 2.       |
| 3.       |

**15. MECHANICAL:** (*plumbing, heating, air conditioning, standpipes, sprinklers, new/existing, eligibility for utility rebate program*):

- |                          |
|--------------------------|
| 1. Mechanical system TBD |
| 2. Fire protection.      |
| 3.                       |

**16. ELECTRICAL:** (*lighting, service size, new, existing, interior, exterior, eligibility for utility rebate program, utility allowances, ET on wire mold*):

- |   |
|---|
| 1. Garage separately metered.           |
| 2. Lighting throughout garage required. |
| 3.                                      |

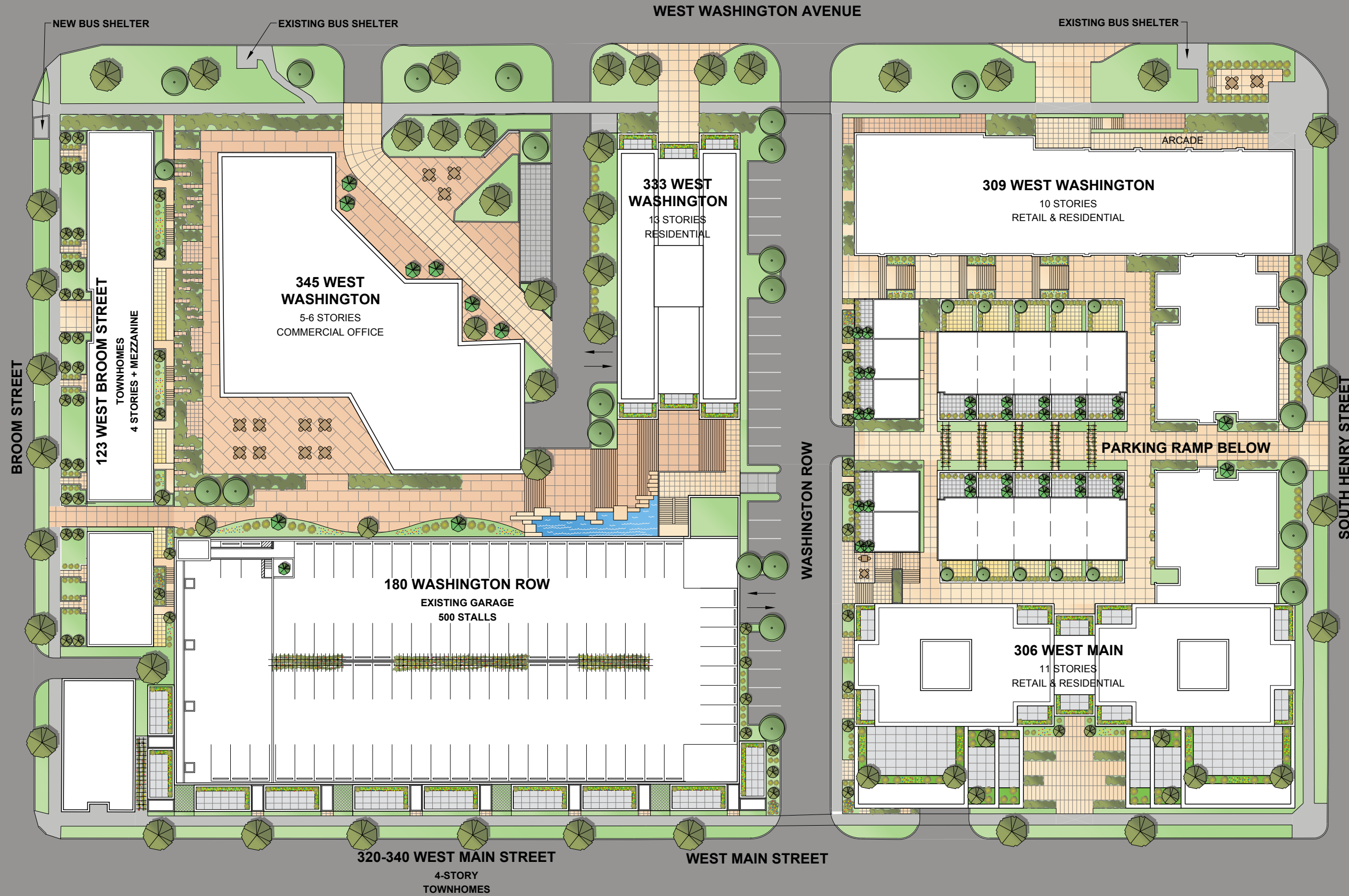
**17. CHARACTER FEATURES AND SPECIAL FINISHES:**

- |  |
|--|
| 1. Courtyard rood to include landscaping and occupiable space.             |
| 2. Transportation demand management plan.                                  |
| 3. Roof decks ( <i>not accessed via bedroom</i> ), terraces and balconies. |
| 4. Exterior finishes of “community” buildings to be similar to townhomes.  |

**CAPITOL WEST  
MADISON - BLOCK 51**

PHASE 1

NOTES:



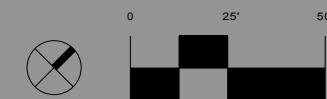
THE ALEXANDER COMPANY  
145 EAST BADGER ROAD  
MADISON, WISCONSIN 53713  
608-258-5580

ISSUE:  
PUD/SIP MARCH 2005

**CAPITOL WEST PARKING RAMP  
141 WASHINGTON ROW**

DRAWING TITLE:  
SITE PLAN

DWG:



**PKG-1**

**CAPITOL WEST  
MADISON - BLOCK 51**

PHASE 1

NOTES:

**PARKING RAMP BELOW  
2 LEVELS - 147 STALLS**  
ADDRESS: 141 WASHINGTON ROW

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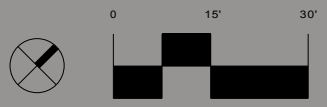
**CAPITOL WEST PARKING RAMP  
141 WASHINGTON ROW**

DRAWING TITLE:

ENLARGED SITE PLAN  
ELEVATION - 62.00

DWG:

**PKG-2**



**CAPITOL WEST  
MADISON - BLOCK 51**

PHASE 1

NOTES:

PARKING LEVEL 1	31,775
PARKING LEVEL 2	29,175
PARKING ROOF DECK	29,987
COURTYARD LANDSCP.	15,516

POSSIBLE  
LAP POOL  
THIS AREA

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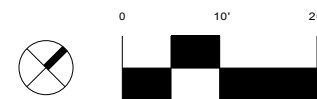
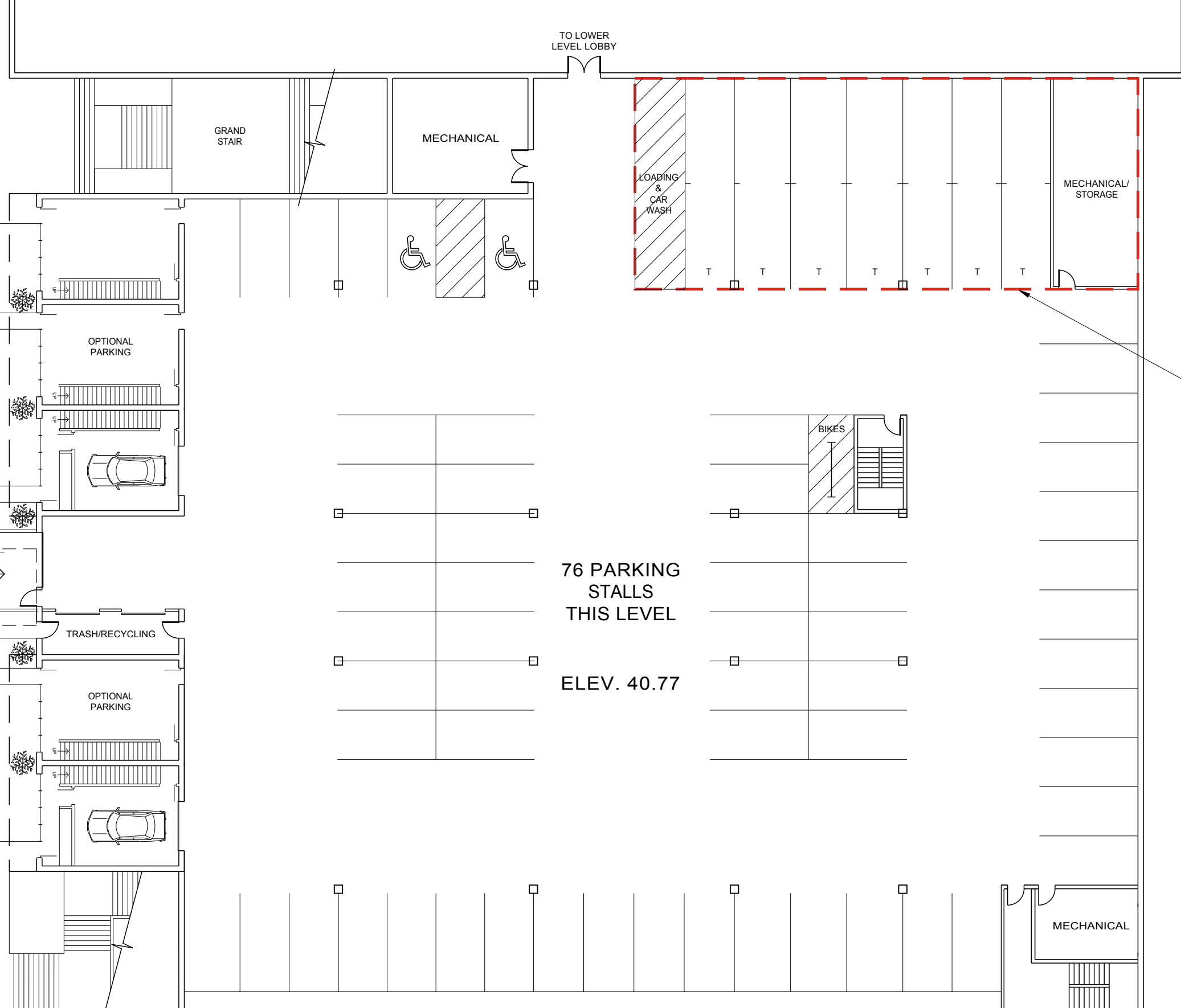
**CAPITOL WEST PARKING RAMP  
141 WASHINGTON ROW**

DRAWING TITLE:

PARKING PLAN - LOWER LEVEL  
ELEVATION - 40.77

DWG:

**PKG-3**



**CAPITOL WEST  
MADISON - BLOCK 51**

PHASE 1

NOTES:

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PARKING LEVEL 2	29,175
PARKING ROOF DECK	29,987
COURTYARD LANDSCP.	15,516

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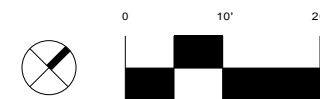
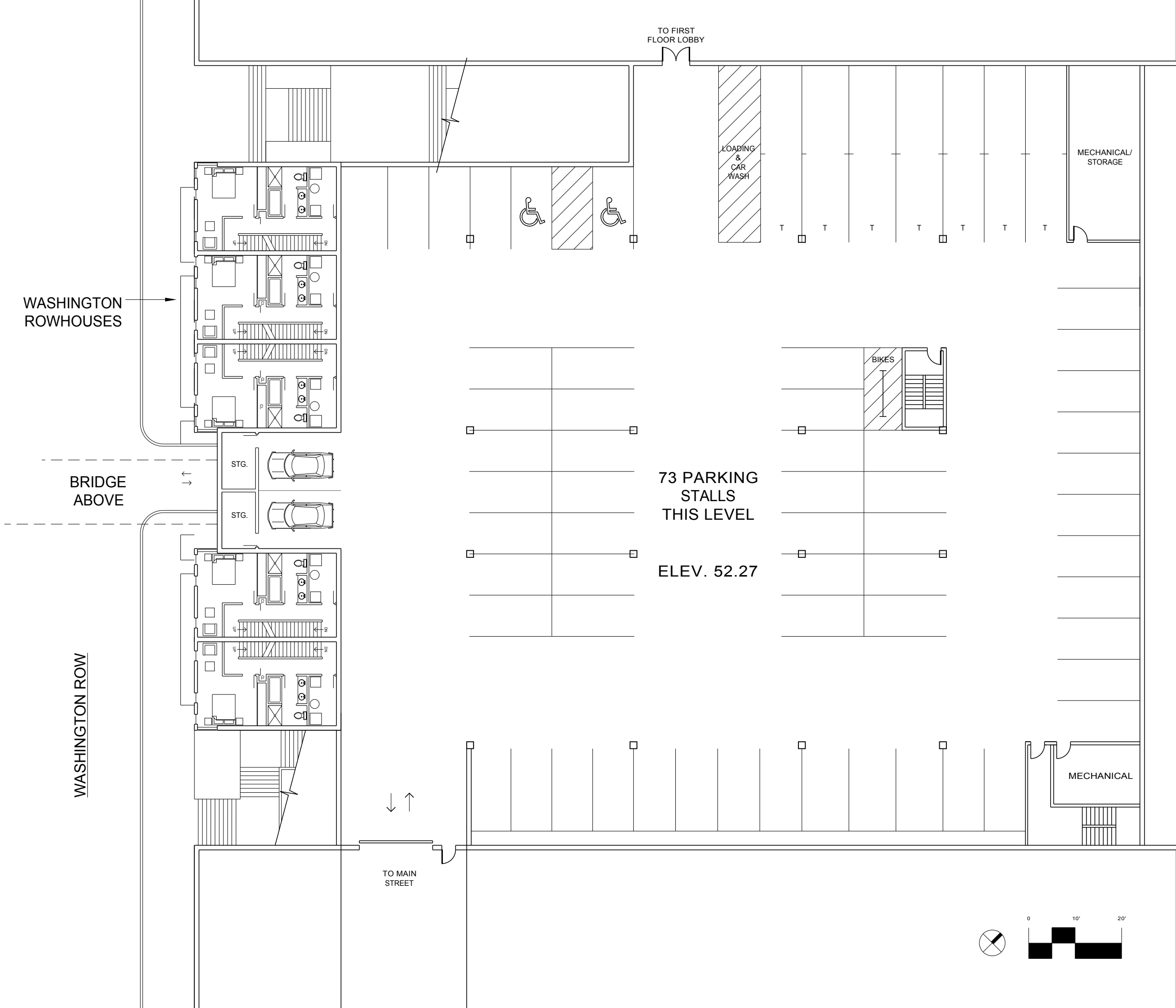
**CAPITOL WEST PARKING RAMP  
141 WASHINGTON ROW**

DRAWING TITLE:

PARKING PLAN - UPPER LEVEL  
ELEVATION - 52.27

DWG:

**PKG-4**





**CAPITOL WEST  
MADISON - BLOCK 51**



NOTES:

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**MASTER PLAN - PHASE 1**

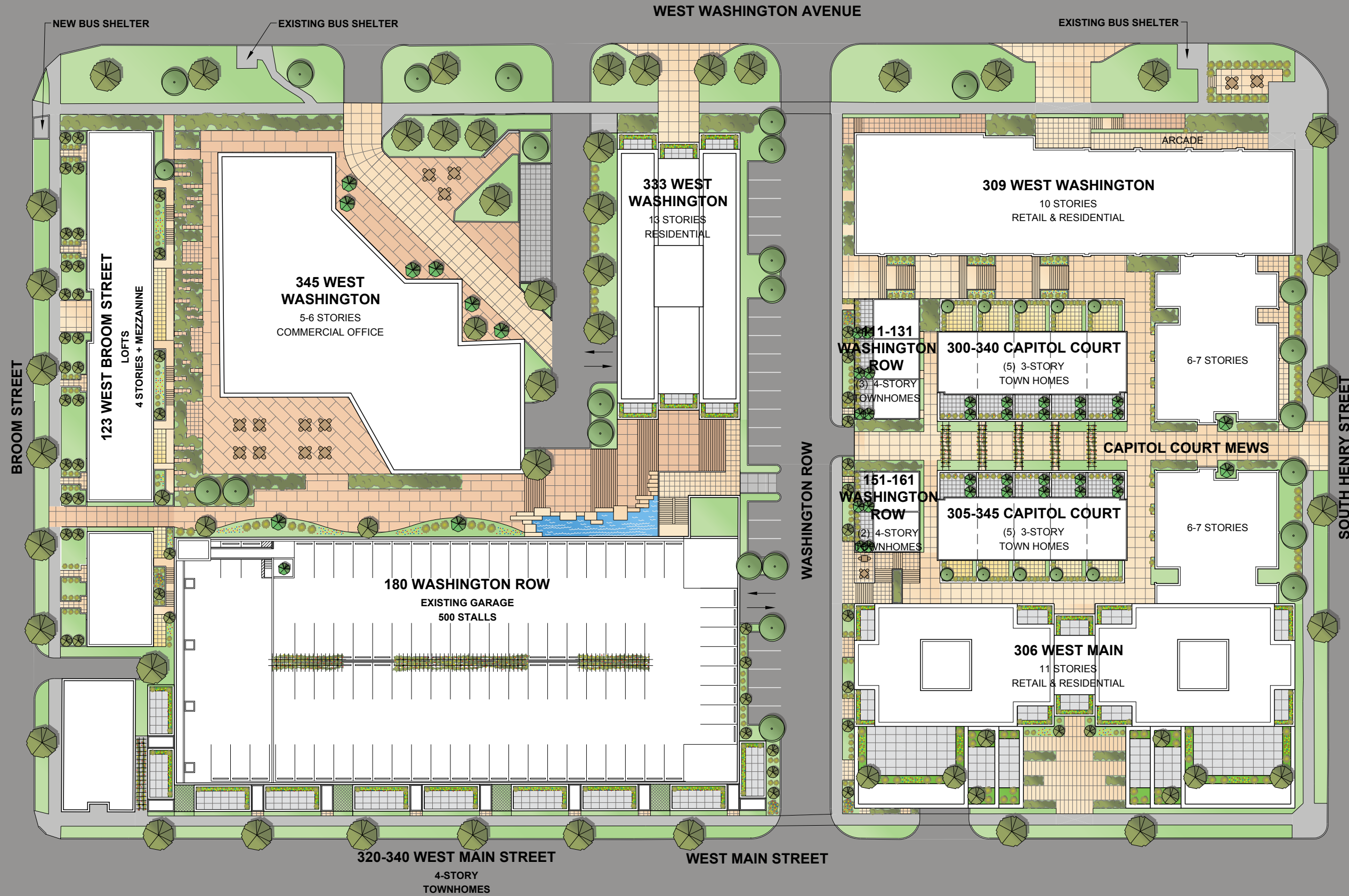
DRAWING TITLE:

MASTER PLAN - PHASE 1

DWG:

**PHASE 1**

**CAPITOL WEST  
MADISON - BLOCK 51**



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**MASTER PLAN**

DRAWING TITLE:

MASTER PLAN

DWG:

**SITE PLAN**

