

CITY OF MADISON

Proposed Conditional Use

Location: 1894 East Washington Avenue

Project Name: PrairieFire BioFuels Cooperative

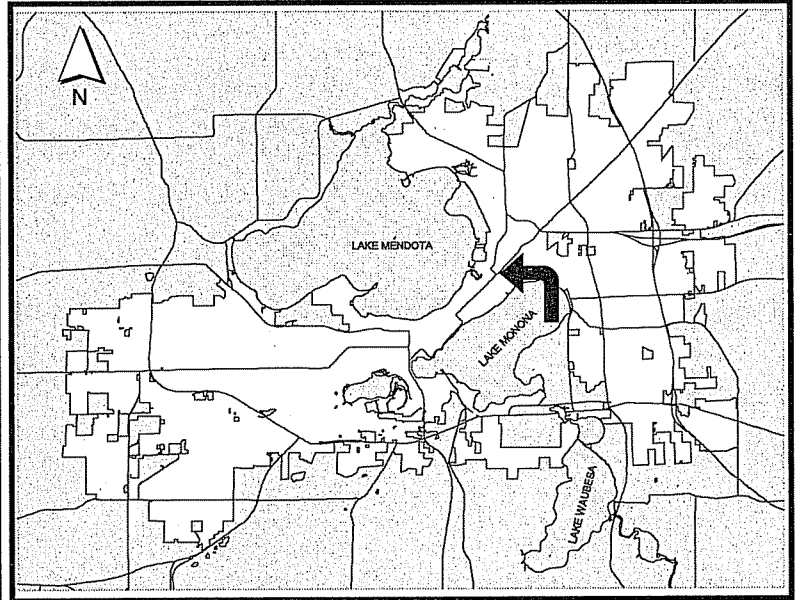
Applicant: McGrath Associates/Amelia Royko-
PrairieFire BioFuels Cooperative

Existing Use: Vacant Auto Repair Facility

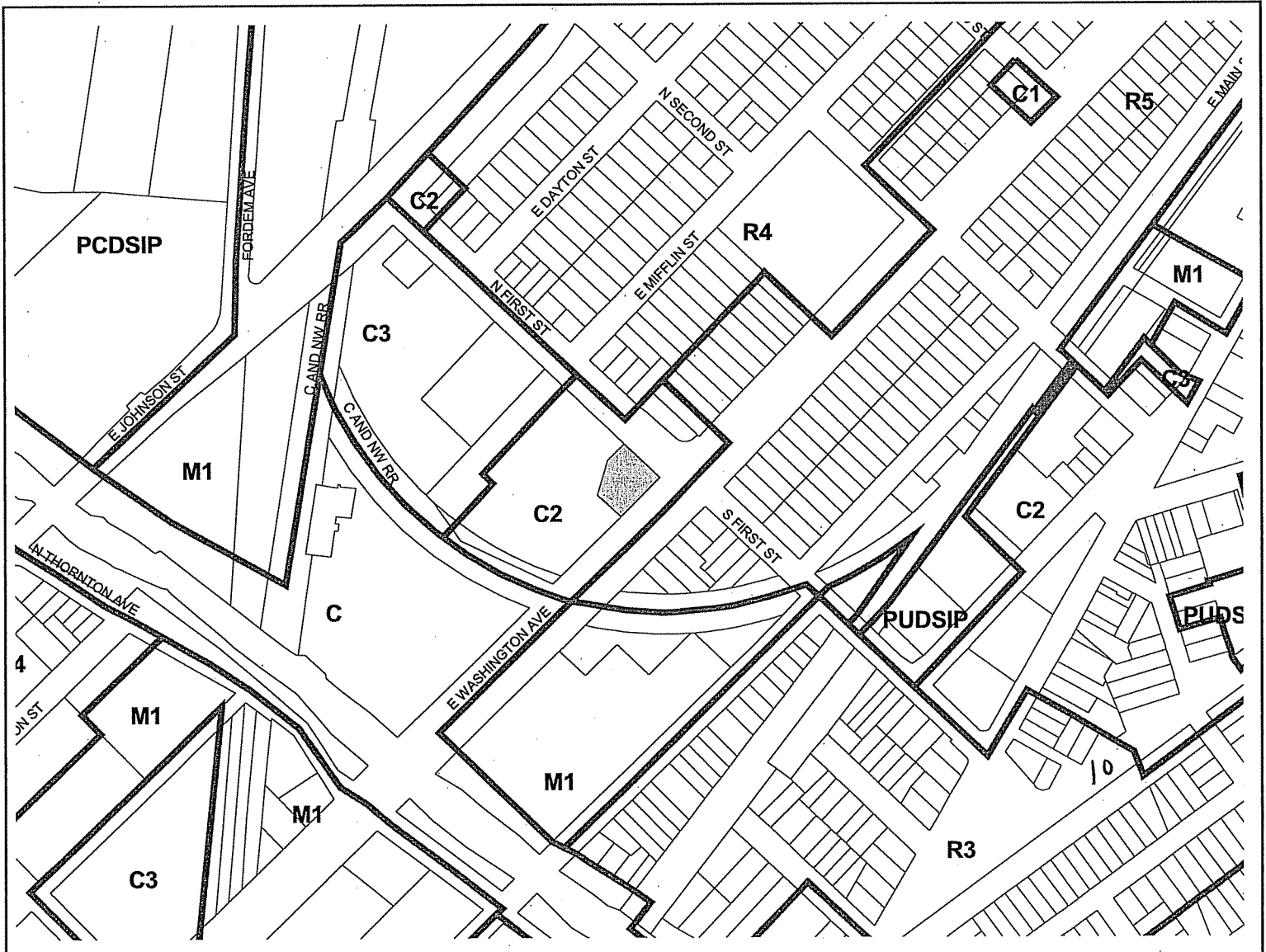
Proposed Use: Convert Auto Repair Facility
to Motor Vehicle Fuel Sales

Public Hearing Date:

Plan Commission 05 June 2006



For Questions contact: Tim Parks at: 261-9632 or tparks@cityofmadison.com or City Planning at 266-4635

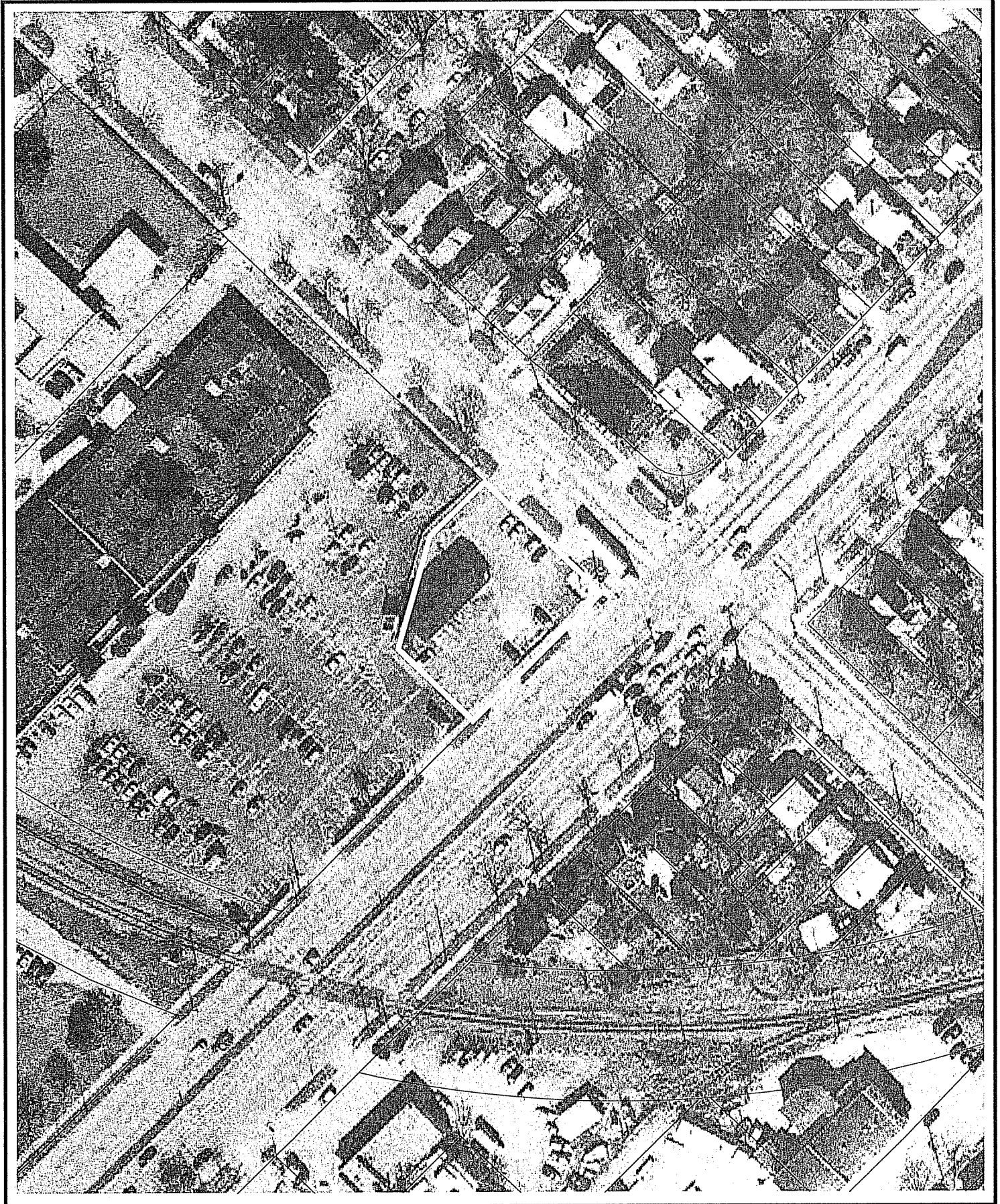


1894 East Washington Avenue

100 0 100 Feet



Date of Aerial Photography - April 2000



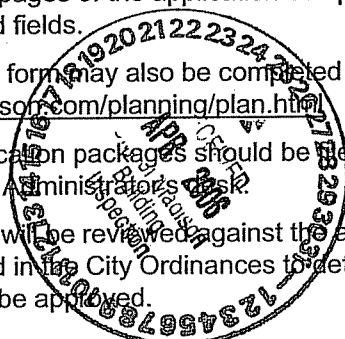
10

LAND USE APPLICATION

Madison Plan Commission

215 Martin Luther King Jr. Blvd; Room LL-100
 PO Box 2985; Madison, Wisconsin 53701-2985
 Phone: 608.266.4635 | Facsimile: 608.267.8739

- The following information is required for all applications for Plan Commission review.
- Please read all pages of the application completely and fill in all required fields.
- This application form may also be completed online at www.cityofmadison.com/planning/plan.htm
- All zoning application packages should be filed directly with the Zoning Administrator's Desk.
- All applications will be reviewed against the applicable standards found in the City Ordinances to determine if the project can be approved.



FOR OFFICE USE ONLY:

Amt. Paid SSO - Receipt No. 70173
 Date Received 4/26/06
 Received By MWT
 Parcel No. 0710-063-1505-8
 Aldermanic District 12 - Brian Benford
 GQ UDC - 4
 Zoning District C2

For Complete Submittal

Application Letter of Intent
 IDUP _____ Legal Descript.
 Plan Sets Zoning Text _____
 Alder Notification Waiver
 Ngrbrhd. Assn Not. Waiver _____
 Date Sign Issued _____

1. Project Address: 1894 E. Washington Ave. **Project Area in Acres:** .25
Project Title (if any): PrairieFire BioFuels Cooperative

2. This is an application for: (check at least one)

Zoning Map Amendment (check only ONE box below for rezoning and fill in the blanks accordingly)

Rezoning from _____ to _____ Rezoning from _____ to PUD/PCD-SIP
 Rezoning from _____ to PUD/PCD-GDP Rezoning from PUD/PCD-GDP to PUD/PCD-SIP

Conditional Use **Demolition Permit** **Other Requests** (Specify): _____

3. Applicant, Agent & Property Owner Information:

Applicant's Name: PrairieFire BioFuels Cooperative Company: _____
 Street Address: 1894 E. Washington Ave City/State: Madison, WI Zip: 53703
 Telephone: (608) 441-5454 Fax: () Email: info@prairiefirebiofuels.org

Project Contact Person: Amelia Royko Maurer Company: _____
 Street Address: 342 S. Madison St. City/State: Evansville, WI Zip: 53536
 Telephone: (608) 882-0397 Fax: () Email: ameliaroyko@hotmail.com

Property Owner (if not applicant): McGrath Associates
 Street Address: 103 N. Hamilton St. City/State: Madison, WI Zip: 53703

4. Project Information:

Provide a general description of the project and all proposed uses of the site: See attached letter of intent

Development Schedule: Commencement date of approval Completion February 2007

5. Required Submittals:

Site Plans submitted as follows below and depicts all lot lines; existing, altered, demolished or proposed buildings; parking areas and driveways; sidewalks; location of any new signs; existing and proposed utility locations; building elevations and floor plans; landscaping, and a development schedule describing pertinent project details:

- **Seven (7) copies** of a full-sized plan set drawn to a scale of one inch equals 20 feet (collated and folded)
- **Seven (7) copies** of the plan set reduced to fit onto 11 inch by 17 inch paper (collated, stapled and folded)
- **One (1) copy** of the plan set reduced to fit onto 8 1/2 inch by 11 inch paper

Letter of Intent: Twelve (12) copies describing this application in detail but not limited to, including: existing conditions and uses of the property; development schedule for the project; names of persons involved (contractor, architect, landscaper, business manager, etc.); types of businesses; number of employees; hours of operation; square footage or acreage of the site; number of dwelling units; sale or rental price range for dwelling units; gross square footage of building(s); number of parking stalls, etc.

Legal Description of Property: Lot(s) of record or metes and bounds description prepared by a land surveyor.

Filing Fee: \$ 550 See the fee schedule on the application cover page. Make checks payable to: *City Treasurer.*

IN ADDITION, THE FOLLOWING ITEMS MAY ALSO BE REQUIRED WITH YOUR APPLICATION; SEE BELOW:

For any applications proposing demolition of existing (principal) buildings, photos of the structure(s) to be demolished shall be submitted with your application. Be advised that a *Reuse and Recycling Plan* approved by the City's Recycling Coordinator is required to be approved by the City prior to issuance of wrecking permits.

A project proposing **ten (10) or more dwelling units** may be required to comply with the City's Inclusionary Zoning requirements outlined in Section 28.04 (25) of the Zoning Ordinance. A separate **INCLUSIONARY DWELLING UNIT PLAN** application detailing the project's conformance with these ordinance requirements shall be submitted concurrently with this application form. Note that some IDUP materials will coincide with the above submittal materials.

A *Zoning Text* must accompany **all** Planned Community or Planned Unit Development (PCD/PUD) submittals.

FOR ALL APPLICATIONS: All applicants are required to submit copies of all items submitted in hard copy with their application (including this application form, the letter of intent, complete plan sets and elevations, etc.) as **INDIVIDUAL** Adobe Acrobat PDF files compiled either on a non-returnable CD to be included with their application materials, or in an e-mail sent to pcapplications@cityofmadison.com. The e-mail shall include the name of the project and applicant. Applicants who are unable to provide the materials electronically should contact the Planning Unit at (608) 266-4635 for assistance.

6. Applicant Declarations:

Conformance with adopted City plans: Applications shall be in accordance with all adopted City of Madison plans:

→ The site is located within the limits of _____ Plan, which recommends: _____ for this property.

Pre-application Notification: Section 28.12 of the Zoning Ordinance requires that the applicant notify the district alder and any nearby neighborhood or business associations by mail no later than **30** days prior to filing this request:

→ List below the Alderperson, Neighborhood Association(s), Business Association(s) AND dates you sent the notices:

Brian Benford, Alderman Dist 12: notice waiver 4/21/2006 - see attached email. Robert Gibbons, Emerson/East N.A. ←

If the alder has granted a waiver to this requirement, please attach any such correspondence to this form.

Pre-application Meeting with staff: Prior to preparation of this application, the applicant is required to discuss the proposed development and review process with Zoning Counter and Planning Unit staff; note staff persons and date.

Planner Tim Parks Date 4/17/06, 4/24/06 | Zoning Staff Jon Leach, Kathy Voeck Date 4/17/06, 4/24/06

The signer attests that this form has been completed accurately and all required materials have been submitted:

Printed Name Amelia Royko Maurer Date 4/26/06 10

Signature:  Relation to Property Owner tenant's representative

Authorizing Signature of Property Owner  Date 4/26/06

PrairieFire BioFuels Cooperative Statement of Intent for the Property Located at 1894 E. Washington Ave

PrairieFire BioFuels Cooperative is a member owned organization dedicated to providing a reliable source of B100 biodiesel to its members and the public, diesel car repair service, and educational outreach on topics related to the production and consumption of biofuels. The property located at 1894 E. Washington Ave. affords us the rare opportunity to accomplish all three of these objectives.

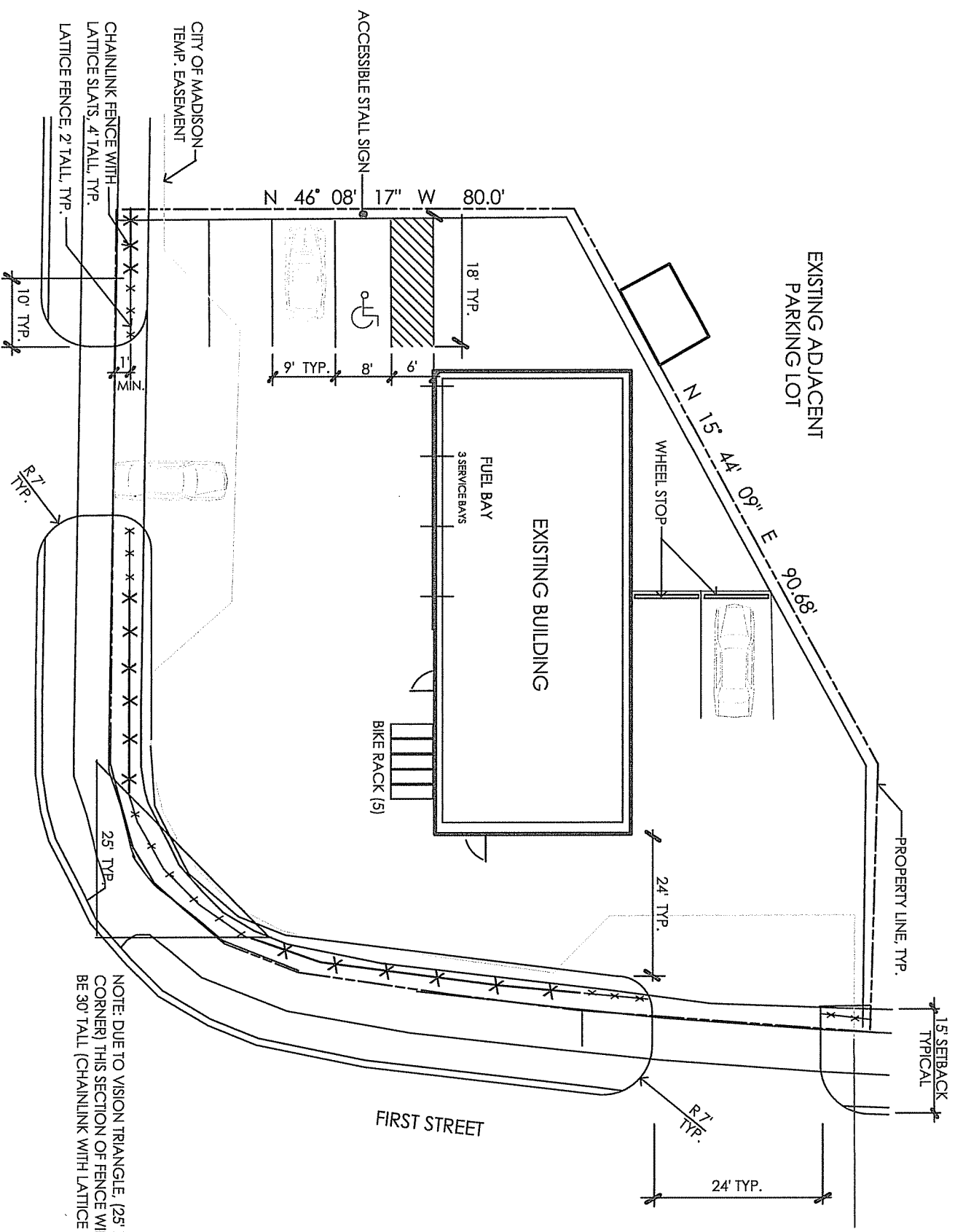
First, it represents a convenient, high profile location for small-scale retail sales of biodiesel. However, given that the only people who can use biodiesel are diesel car owners, a constituency that makes up less than 2 to 3 percent of all vehicles on the road in the US according to Diesel Technology Forum, an industry trade group, and that of those diesel owners only a small fraction are aware of the availability of biodiesel, our projected traffic load related to fuel sales will be quite light. We expect no more than 2-3 fueling events per hour of operation when the fuel is finally made available. Nevertheless, it is still advantageous for the co-op to have a high visibility location in order to raise awareness of biodiesel as an alternative fuel source.

Second, because of its former life as an oil change shop, the property is perfectly suited to one of our other top priorities, the facilitation of co-op members maintaining their diesel vehicles. Trained mechanics will be assisting in the routine up-keep of member vehicles by performing light maintenance and education about how to keep these durable vehicles chugging safely and happily down the road. The same numbers quoted above apply here as well and we project our overall load from repairs to be very light.

Finally, and perhaps most importantly, this site allows us to conduct educational forums and workshops on topics related to biofuel production and use. Because biodiesel (or *transesterified* vegetable oil as it is technically called) is relatively novel to the general public despite being around since 1853 (oddly enough, prior to the invention of the diesel engine itself), one of our core missions is education and outreach. By conducting seminars on what biodiesel is, how it can be used in place of petroleum based diesel, and how safe and clean it is, we hope to gain wider acceptance and demand for this fuel. The configuration of the property at 1894 E. Washington Ave. allows us to conduct hands-on demonstrations, which are the best educational format for topics as technically onerous as car engines and fuel production.

As a matter of assurance, we do not intend to alter the physical structure of the property in any way other than to hang a temporary banner in place of the old Care Care Clinic signage. We will be installing a small-volume fuel storage and dispensing tank (<300 gallons), but this is also a temporary structure that will leave the premises when the co-op finds its next home. We will however comply with any requirements regarding screening and parking. In no way will we endeavor to configure the property such that the right-of-way of the surrounding pedestrian thoroughfare could be infringed upon. In terms of our hours of operation, the co-op expects to conduct business during normal business hours (7-7) with the occasional weekend educational workshop when

we eventually get up to full speed. The co-op wishes to comply with any and all safety regulations that may apply to it. We look forward to being good neighbors.



NOTE: DUE TO VISION TRIANGLE, (25' FROM CORNER) THIS SECTION OF FENCE WILL NEED TO BE 30' TALL (CHAINLINK WITH LATTICE SLATS).



PRAIRIEFIRE BIOFUELS CO-OP
 1894 E. Washington Ave.
 Madison, WI 53704

26 APRIL 2006

SITE PLAN
 SCALE: 1"=20'