

**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM #** \_\_\_\_\_  
**Project #** \_\_\_\_\_  
**Legistar #** 16321

DATE SUBMITTED: <u>3/31/2010</u>	<b>Action Requested</b>
UDC MEETING DATE: <u>4/7/2010</u>	<input type="checkbox"/> Informational Presentation
	<input type="checkbox"/> Initial Approval and/or Recommendation
	<input checked="" type="checkbox"/> Final Approval and/or Recommendation

**PLEASE PRINT!**

**PLEASE PRINT!**

PROJECT ADDRESS: 1501-1507 WRIGHT STREET / 3502-3534 STRAUER STREET  
ALDERMANIC DISTRICT: \_\_\_\_\_

OWNER/DEVELOPER (Partners and/or Principals) COMMUNITY DEVELOPMENT AUTHORITY  
25 MARTIN LUTHER KING JR BLVD #318  
MADISON WI 53703

ARCHITECT/DESIGNER/OR AGENT: DIMENSION IV - MADISON, LLC  
6515 GRAND TETON PLAZA #120  
MADISON WI 53719

CONTACT PERSON: JIM GERSICH  
Address: 6515 GRAND TETON PLAZA #120  
MADISON WI 53719  
Phone: 608.829.4444  
Fax: 608.829.4445  
E-mail address: jgersich@dimensionivmadison.com

**TYPE OF PROJECT:**  
(See Section A for:)

- Planned Unit Development (PUD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Community Development (PCD)
  - General Development Plan (GDP)
  - Specific Implementation Plan (SIP)
- Planned Residential Development (PRD)
- New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
- School, Public Building or Space (Fee may be required)
- New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 Sq. Ft.
- Planned Commercial Site

(See Section B for:)

- New Construction or Exterior Remodeling in C4 District (Fee required)

(See Section C for:)

- R.P.S.M. Parking Variance (Fee required)

(See Section D for:)

- Comprehensive Design Review\* (Fee required)
- Street Graphics Variance\* (Fee required)
- Other \_\_\_\_\_



\*Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

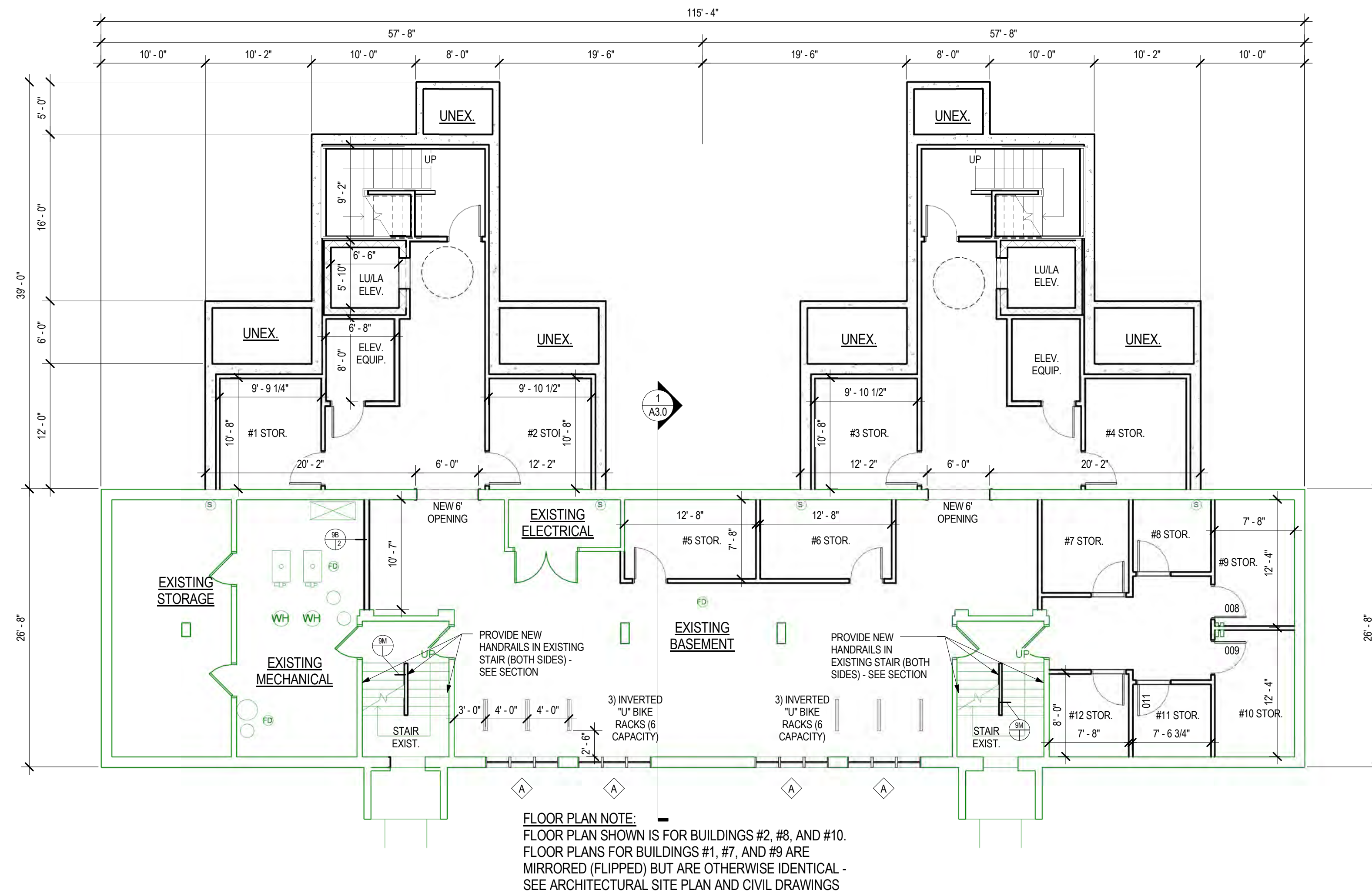
Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.

**TRUAX PARK  
REDEVELOPMENT -  
PHASE I  
Madison WI**

1501-1507 WRIGHT STREET  
3502-3534 STRAUBEL STREET  
MADISON WI

FINISH LEGEND	
ACR	ACRYLIC
CPT	CARPET TILE
EXP	EXPOSED CONCRETE
GYP	GYPSUM BOARD
GWB	GYPSUM WALL BOARD
LP	LAMINATE PANELS
P	PAINT
PL	PLASTIC LAMINATE
RB	RUBBER
SV	SHEET VINYL
SC	SEALED CONCRETE
TR	TRANSITION STRIP
VB	VINYL BASE
WD	WOOD

- FLOOR PLAN GENERAL NOTES**
- SEE SHEET A5.0 FOR LARGE SCALE PLANS.
  - SEE SHEET A5.0 FOR INTERIOR ELEVATIONS.
  - PROVIDE VERTICAL CONTROL JOINTS (CJS) FULL HEIGHT OF WALL AT BOTH JAMBS OF ALL INTERIOR DOOR AND WINDOW FRAMES AT ALL METAL STUD/GYPSUM BOARD PARTITIONS, TYPICAL. OTHER CJ LOCATIONS AS INDICATED ON PLANS.
  - VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS. GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER, TYPICAL.
  - GENERAL CONTRACTOR TO PROVIDE CONCRETE EQUIPMENT PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIPMENT. VERIFY SIZE/PROFILE/LOCATION WITH PLUMBING/MECHANICAL/ELECTRICAL.
  - GENERAL CONTRACTOR TO INSTALL FOAM FILLER AT ALL MASONRY WALL CONTROL/EXPANSION JOINTS AND SEAL BOTH SIDES (WALL REINFORCING TO DISCONTINUE AT JOINTS).
  - GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN WOOD/METAL STUDS AS REQUIRED FOR CASEWORK/HANDRAIL/TOILET ACCESSORIES ETC. MOUNTING.
  - PROVIDE VINYL CARPET EDGE AT ALL CARPET TO DISSIMILAR FLOOR MATERIALS UNLESS NOTED OTHERWISE (U.N.O.).
  - REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL CONTROL JOINTS.
  - VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC CONTRACTOR.
  - ADA CLEARANCE CIRCLES AND BOXES SHOWN ON PLAN ARE FOR INFORMATION PURPOSES ONLY.
  - DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.



**COMMON AREA ROOM FINISH SCHEDULE**

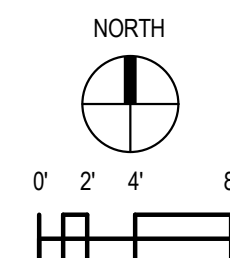
Number	Location Name	Floor Finish		Wall Finish				Ceiling Finish		Cabinetry			Comments
		Field	Base	North	East	South	West	Soffit	Ceiling Material	Base	Countertop	Upper	
COMMON SPACES													
-	STAIR EXIST.	RB	RB	P	P	P	P	-	P	-	-	-	EXISTING
-	STAIR NEW	RB	RB	P	P	P	P	-	P	-	-	-	-
-	LANDING	RB	RB	P	P	P	P	-	P	-	-	-	-
-	ELEVATOR CAB	RB	-	LP	LP	LP	LP	-	ACR	-	-	-	-

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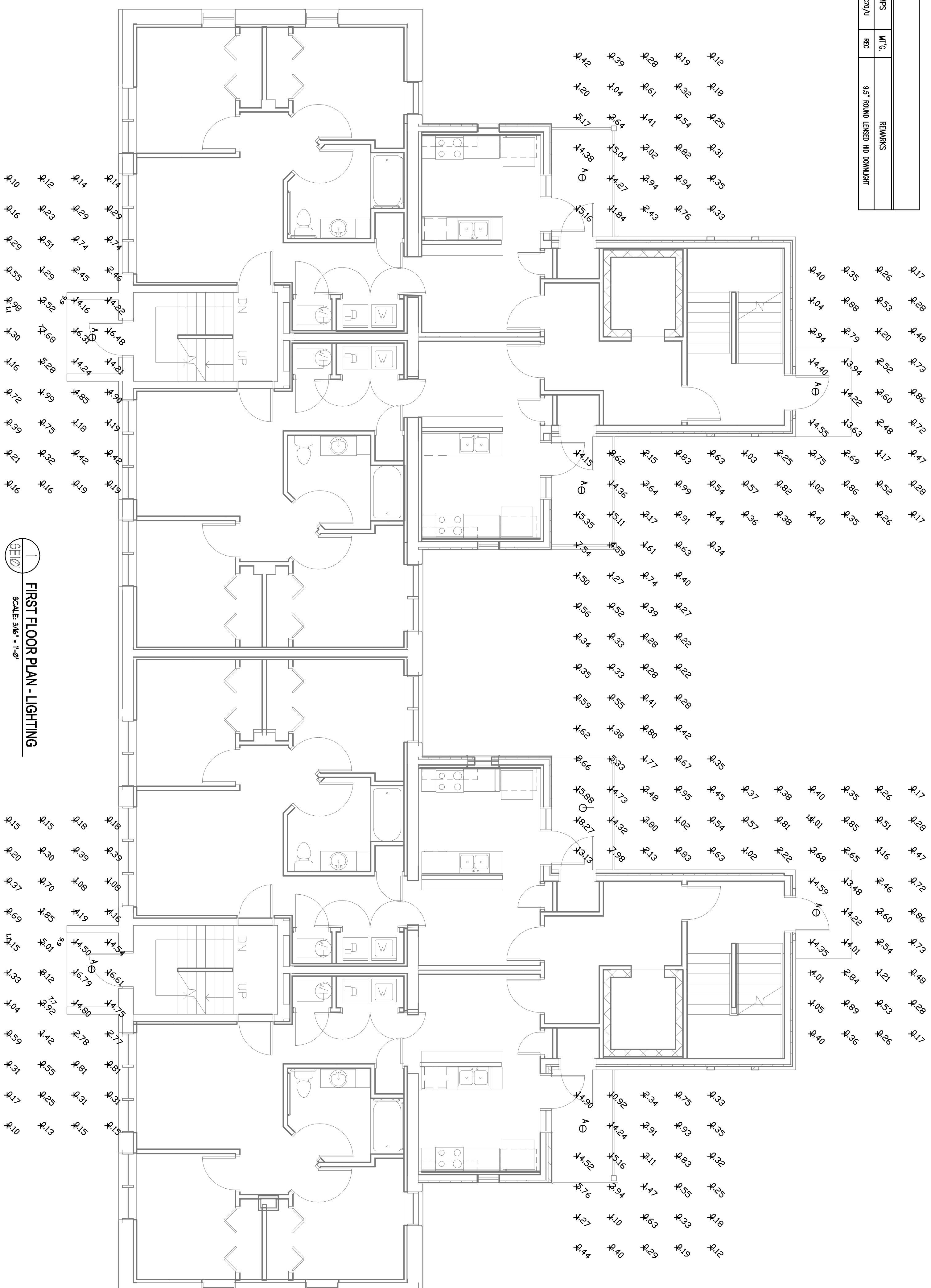
PROJECT # 09023

**BASEMENT FLOOR  
PLAN**



**A1.0**

FIXTURE SCHEDULE				
TYPE	MANUFACTURER	CATALOG NO.	VOLTS	LAMPS
A	HALO	MR4-S5-1000P	120	1-4W(270)
				REC
				REMARKS
				9.5" ROUND LENSED HO DOWNLIGHT



1  
FIRST FLOOR PLAN - LIGHTING  
SCALE: 3/8" = 1'-0"

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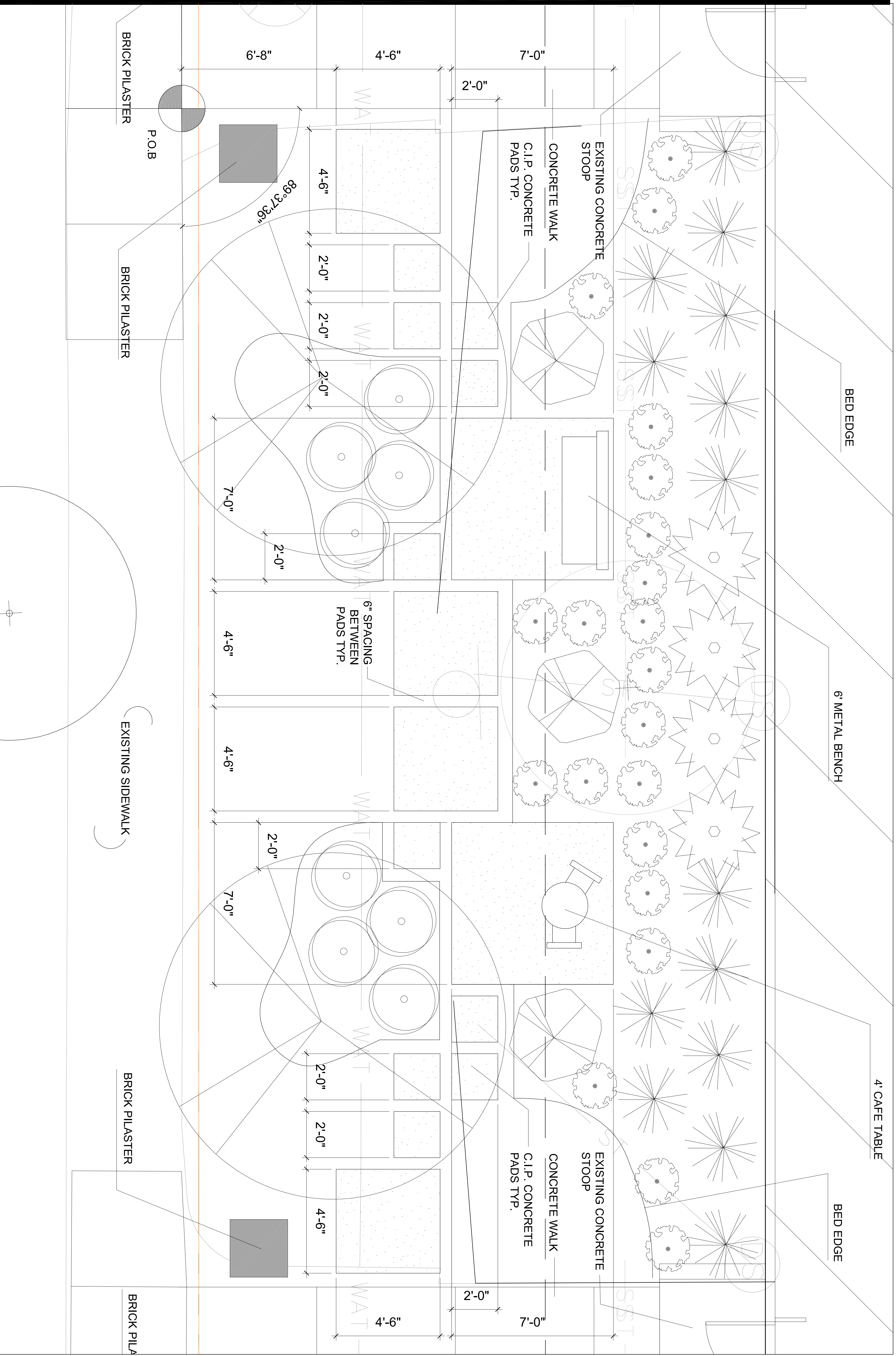
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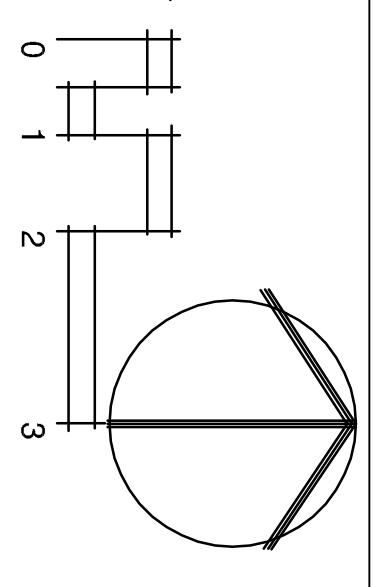
BUILDING EXTERIOR  
PHOTOMETRIC PLAN

**SE101**





**TYPICAL BUILDING FOUNDATION PAVING ENLARGEMENT**



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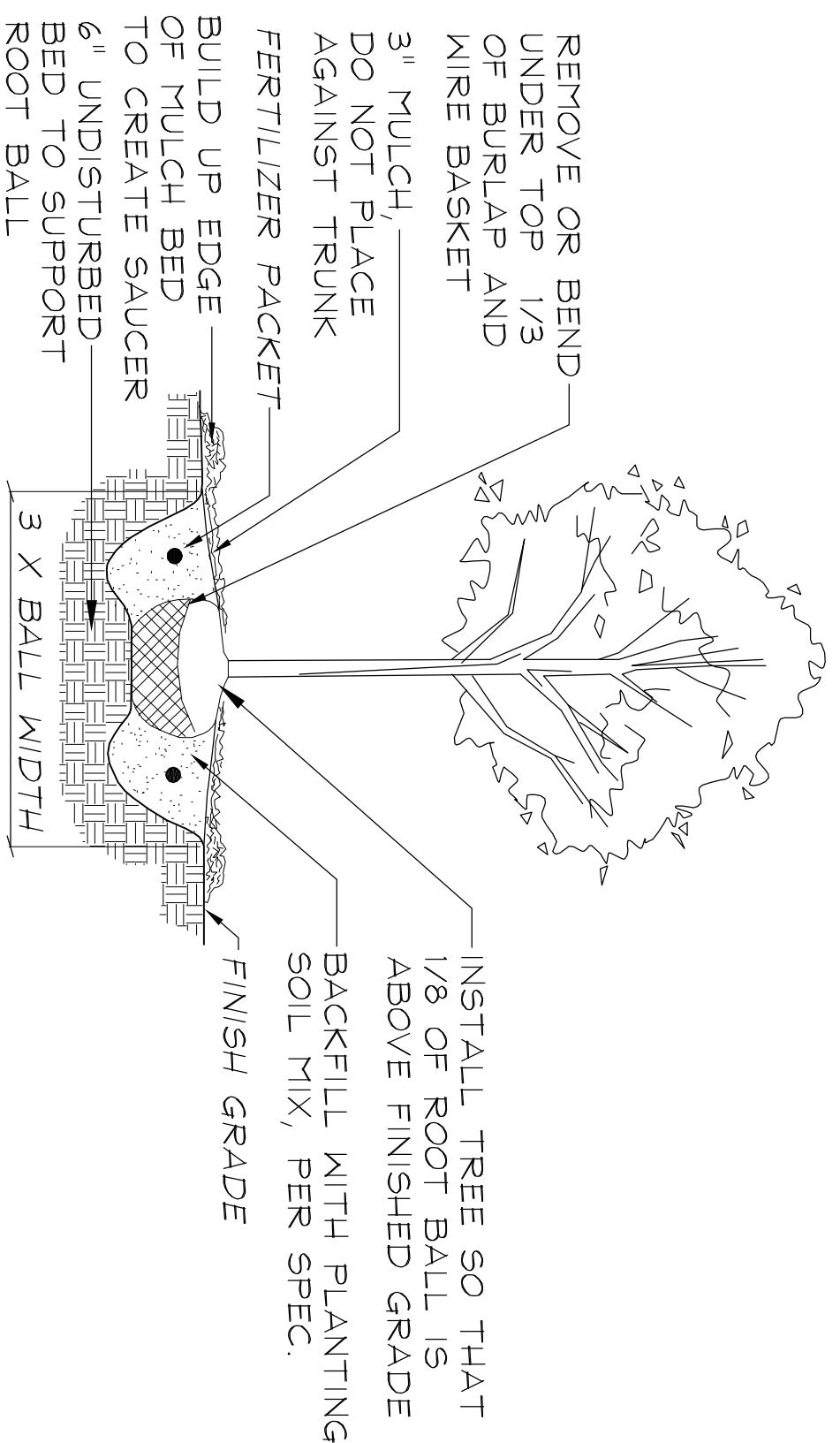
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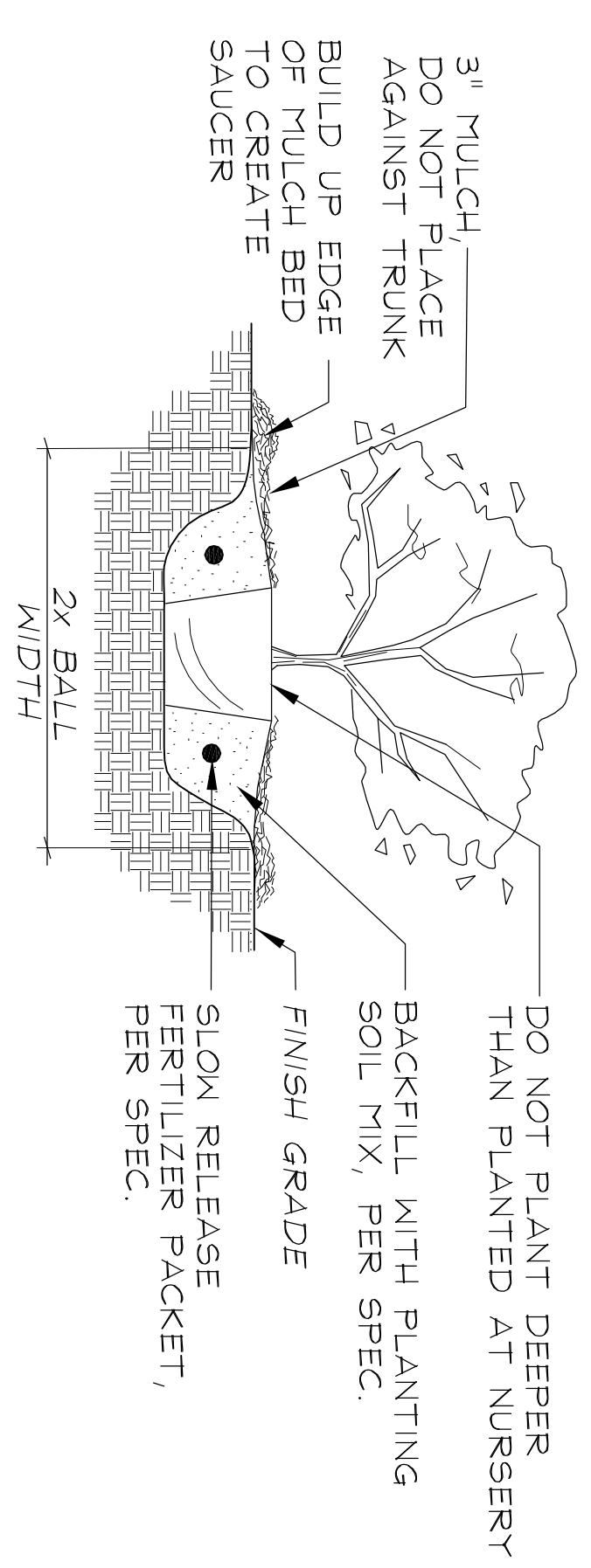
PROJECT # 09023  
**TYPICAL  
 FOUNDATION PAVING  
 ENLARGEMENT**  
 SCALE: 1/2" = 1'-0"  
**L.9**



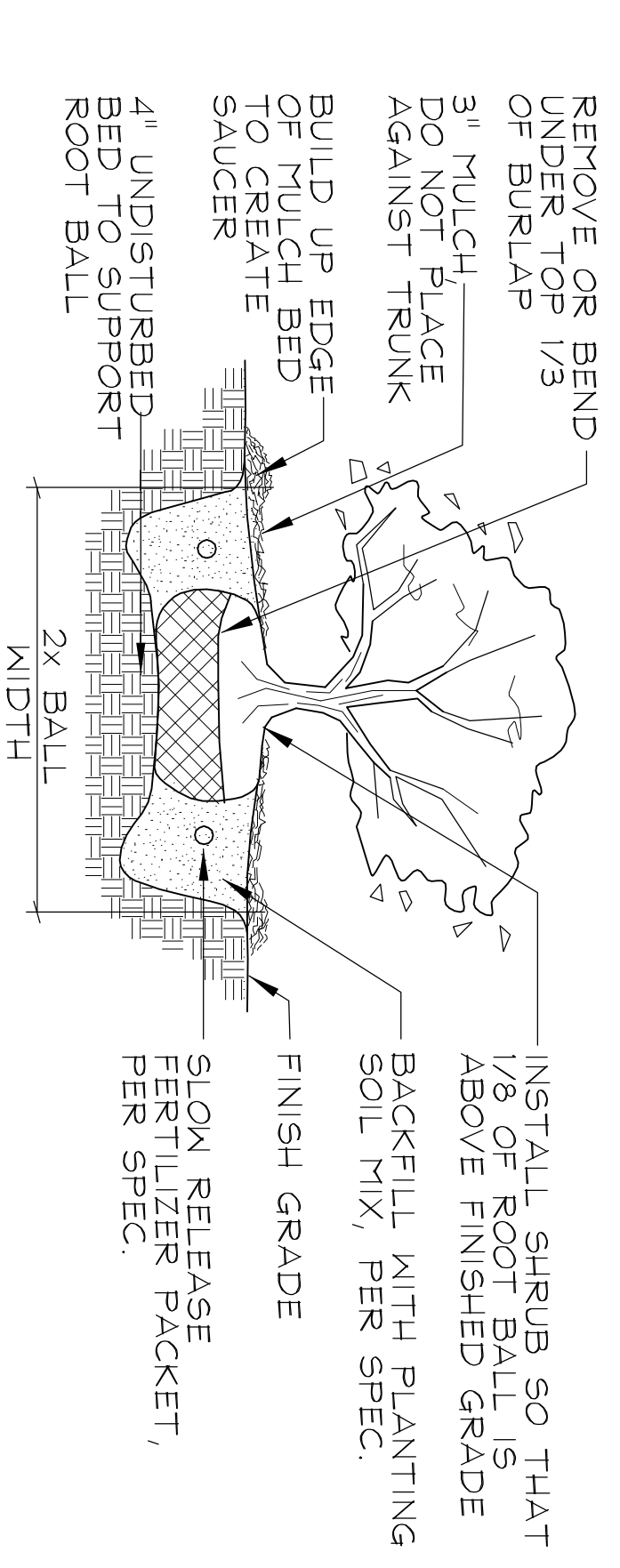




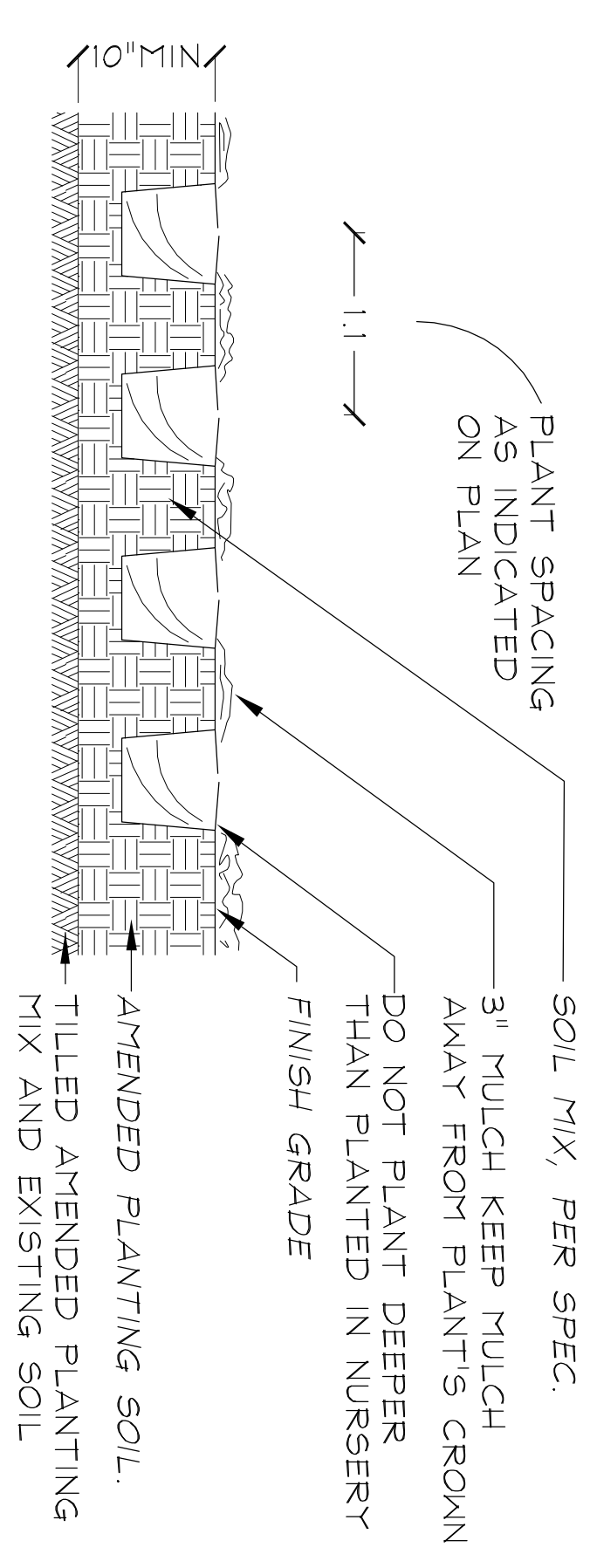
1 B&B TREE PLANTING DETAIL  
L7 NTS



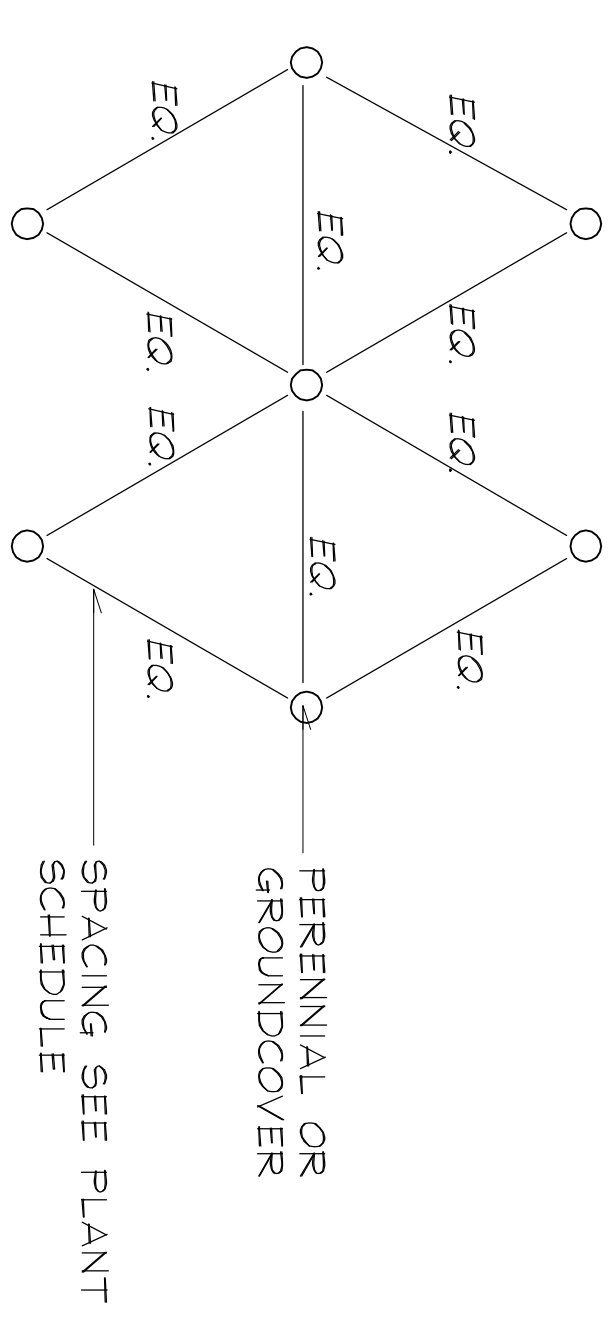
2 CONTAINER PLANTING DETAIL  
L7 NTS



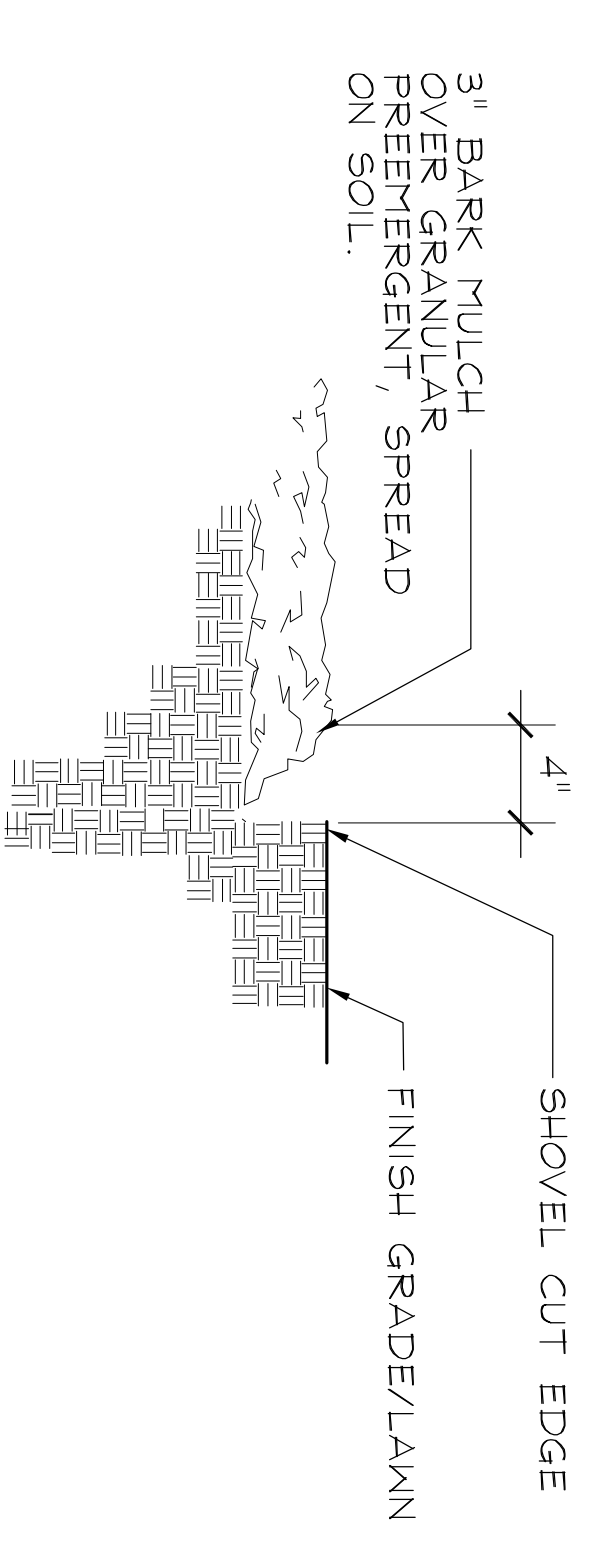
3 B&B SHRUB PLANTING DETAIL  
L7 NTS



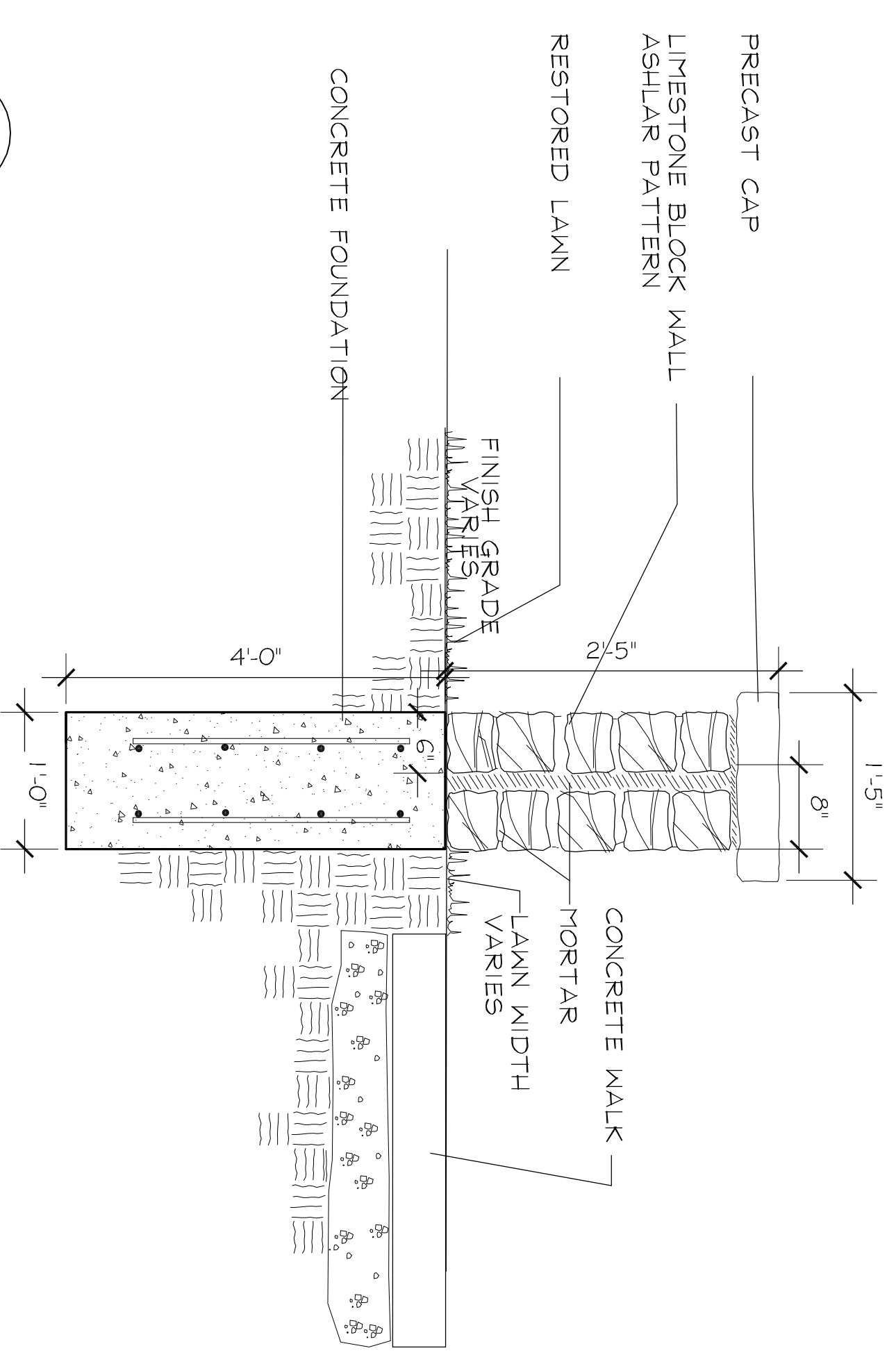
4 GROUNDCOVER / PERENNIAL PLANTING DETAIL  
L7 NTS



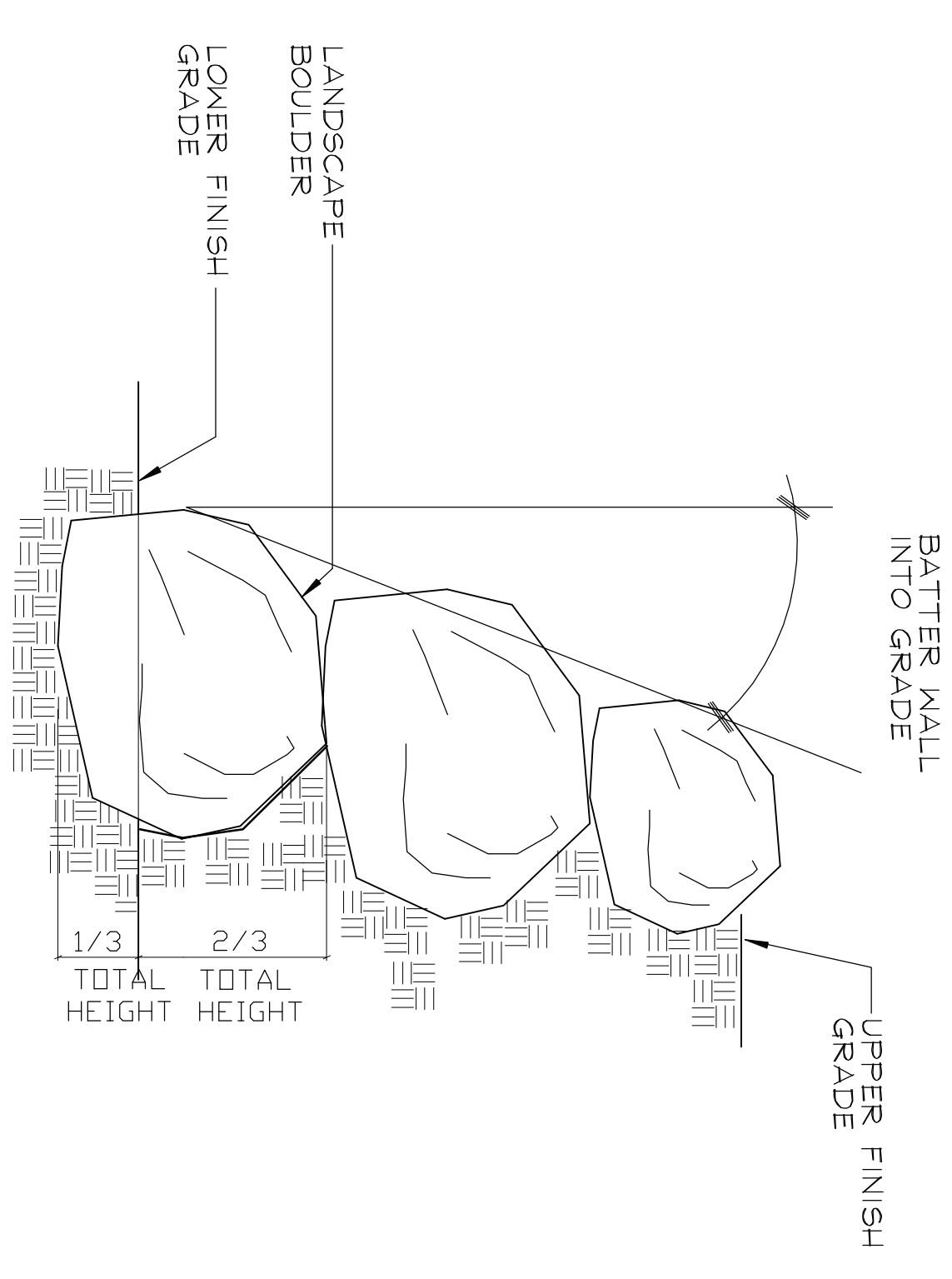
5 PERENNIAL/GROUNDCOVER SPACING DETAIL  
L7 NTS



6 BARK MULCH/SHOVEL CUT EDGE DETAIL  
L7 NTS



7 TYPICAL PEDESTRIAN LIGHT  
L7 NTS



8 BOULDER WALL DETAIL  
L7 NTS

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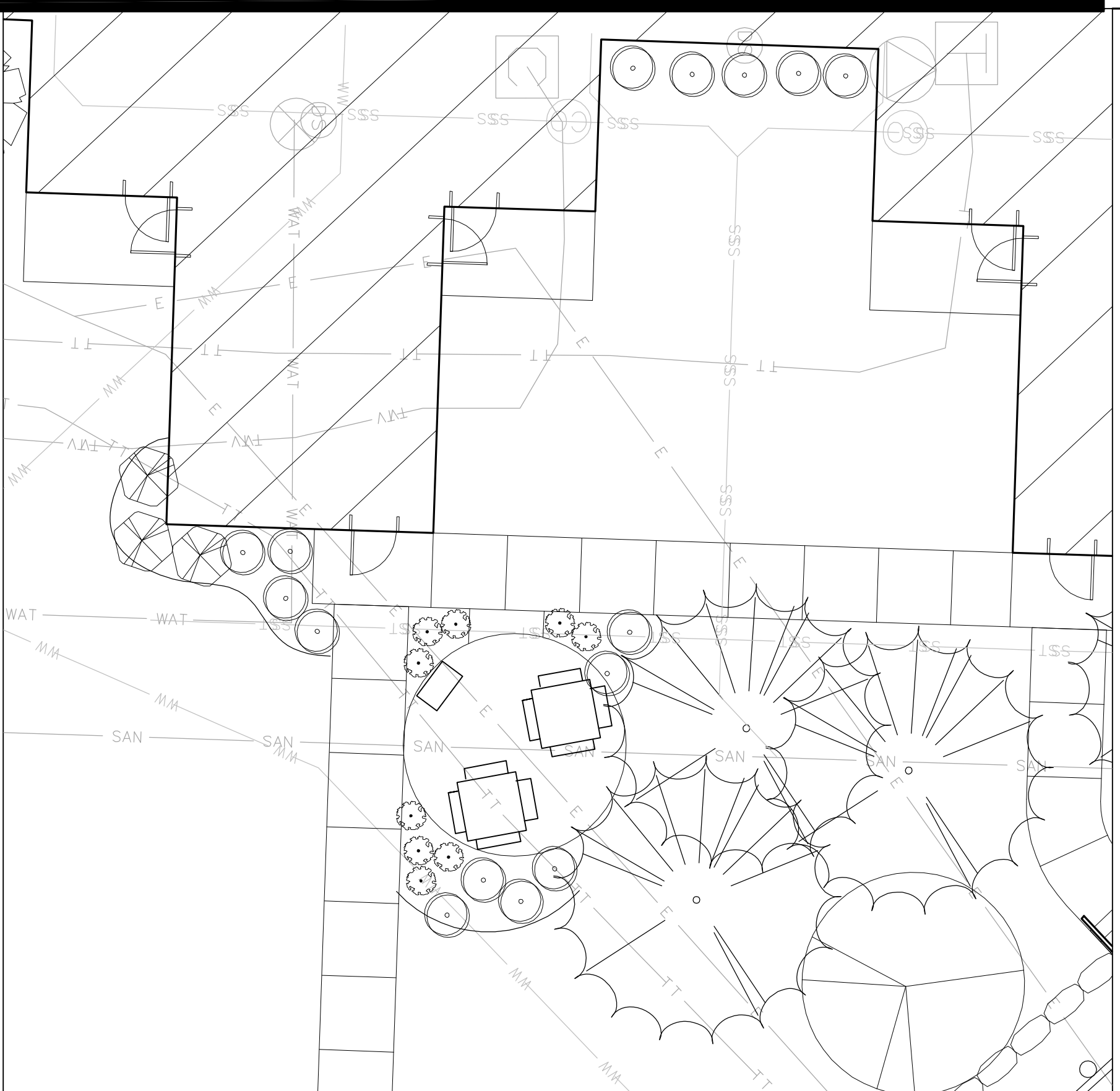
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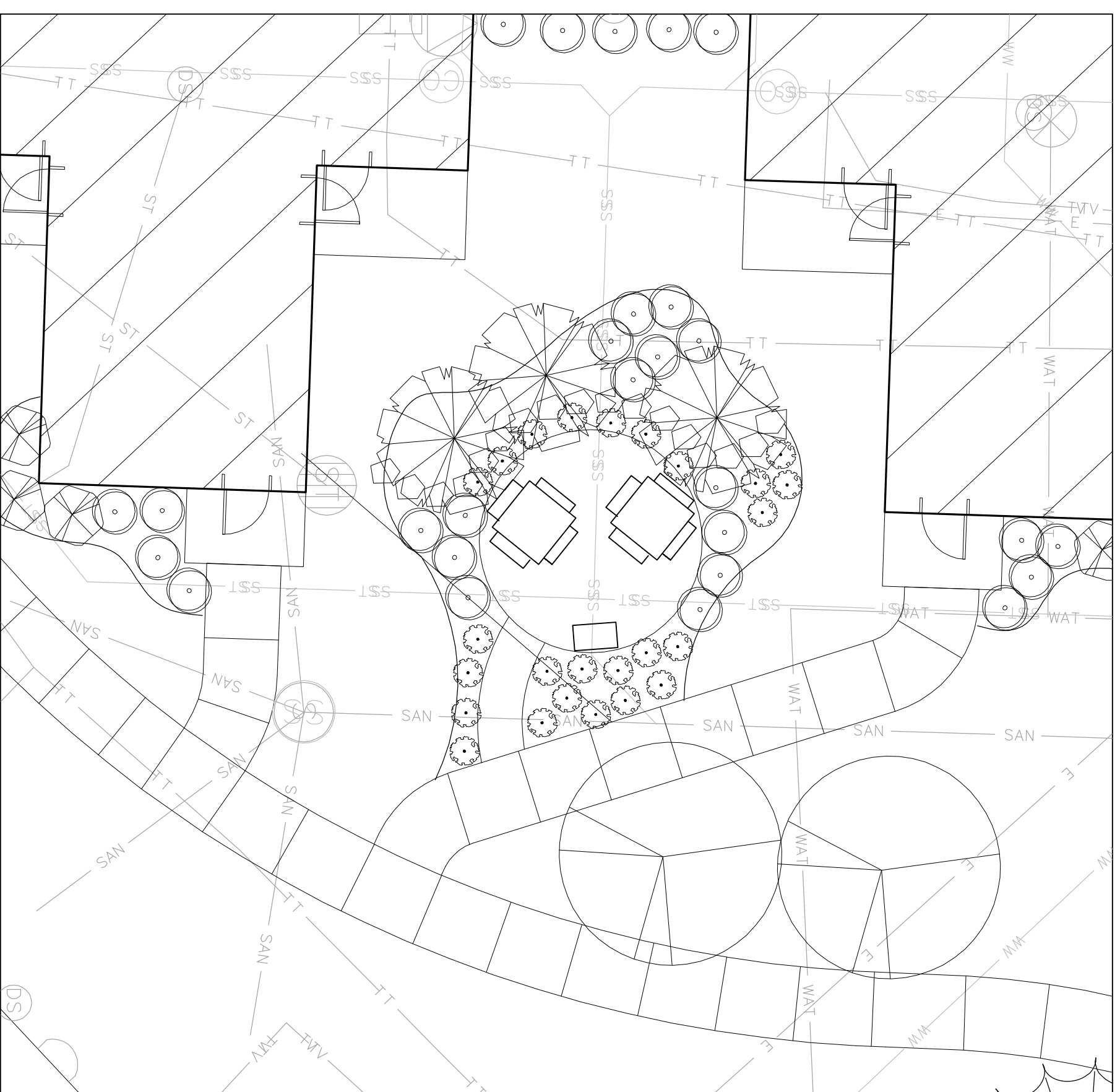
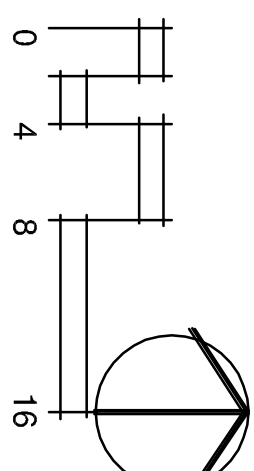
PROJECT # 09023  
LANDSCAPE DETAILS  
SCALE: AS NOTED  
**L.7**

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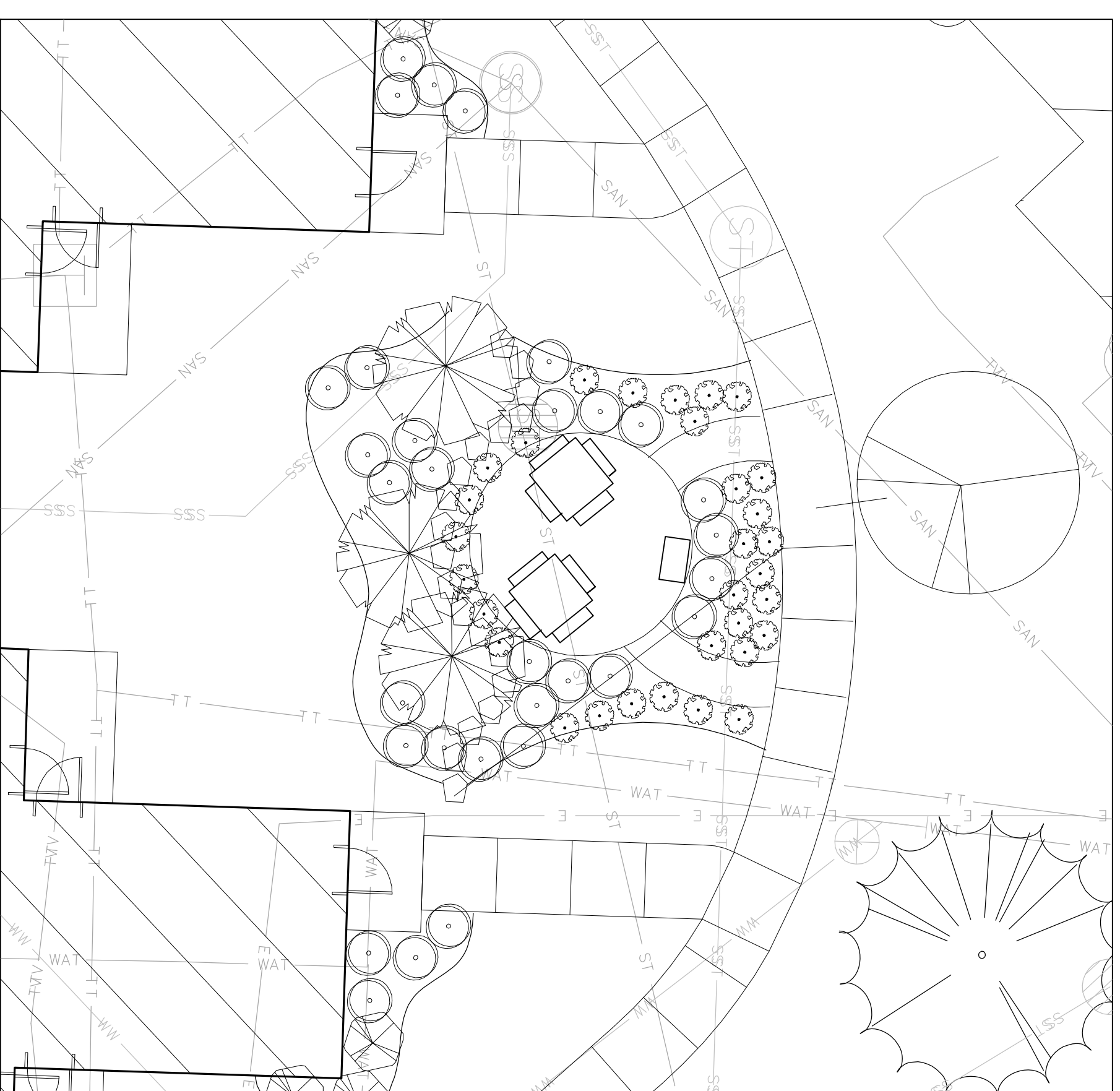
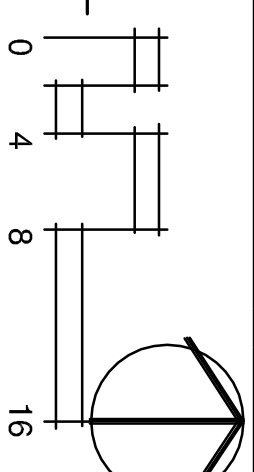




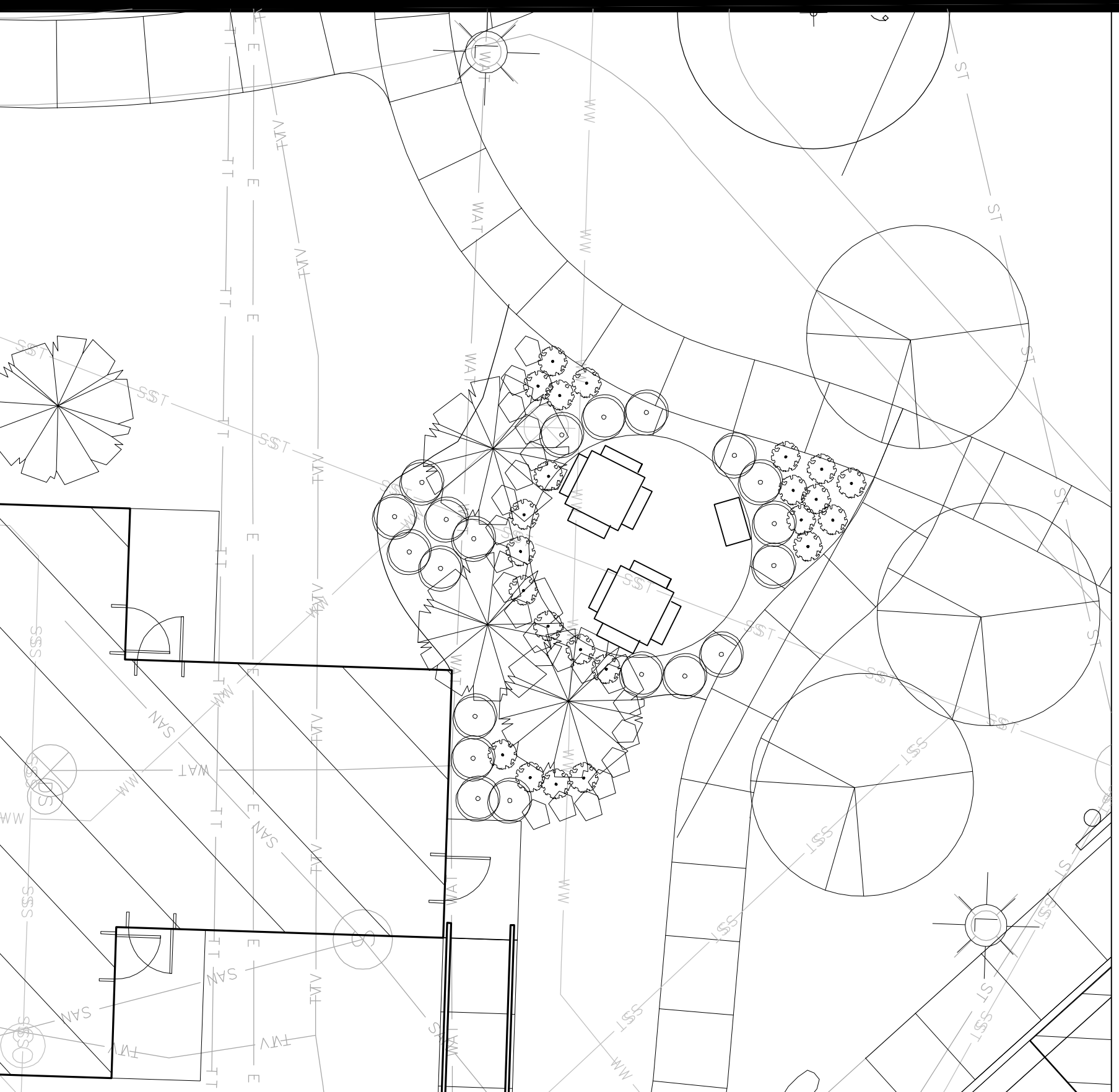
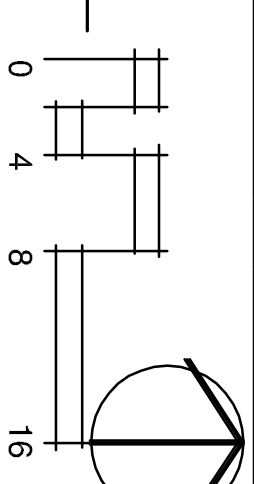
PATIO AREA BUILDING 1



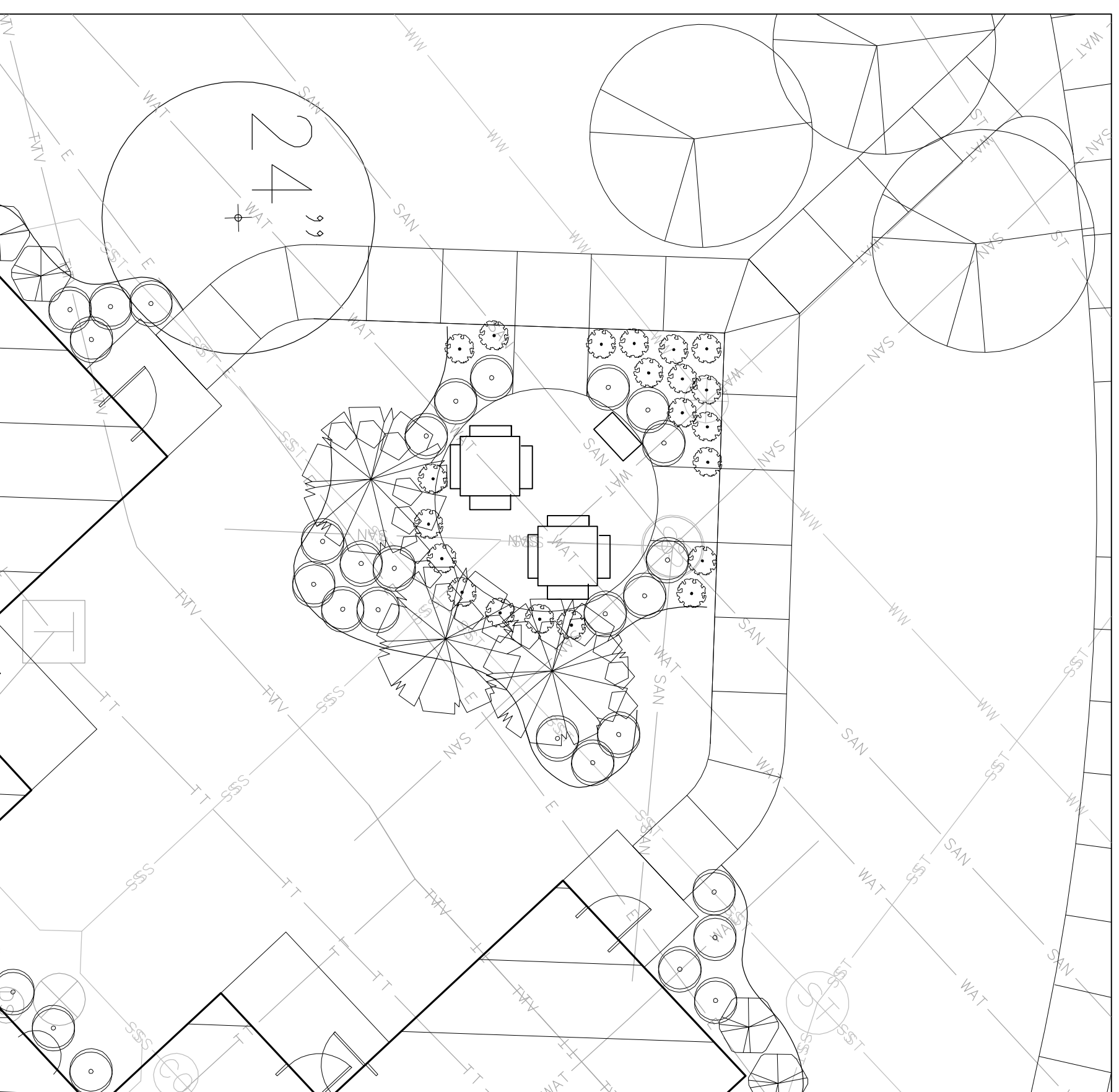
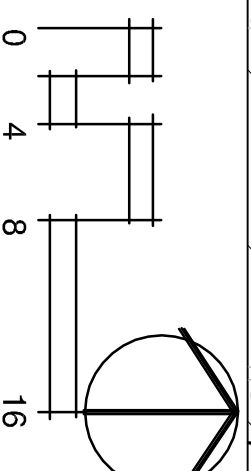
PATIO AREA BUILDING 2



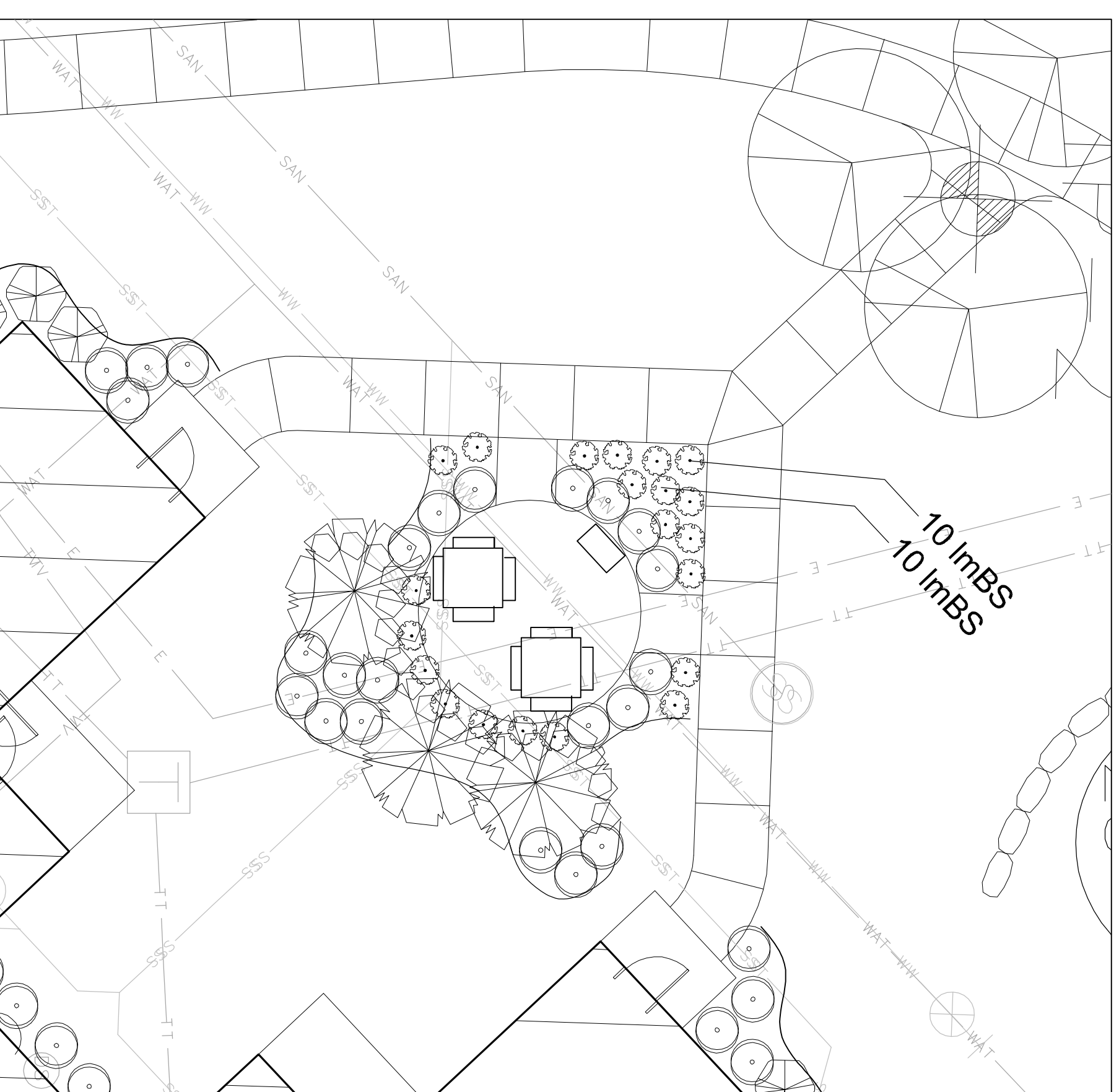
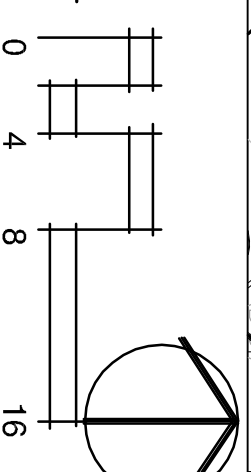
PATIO AREA BUILDING 7



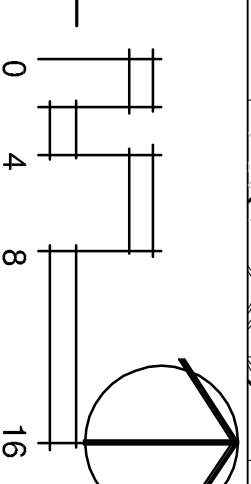
PATIO AREA BUILDING 8



PATIO AREA BUILDING 9



PATIO AREA BUILDING 10



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PROJECT # 09023  
 PATIO AREA  
 ENLARGEMENT PLAN  
 SCALE: 1/8" = 1'-0"

**L.6**

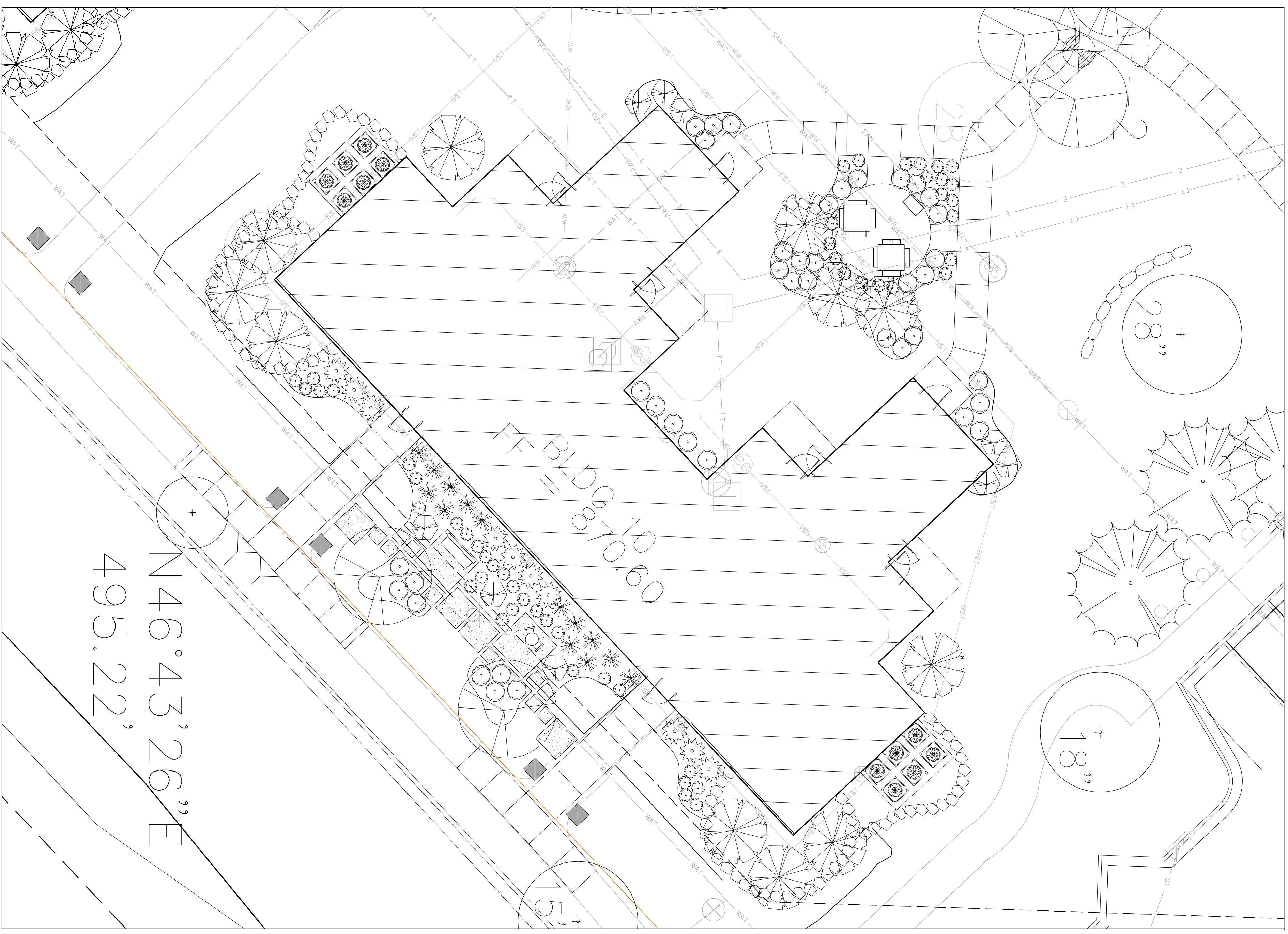
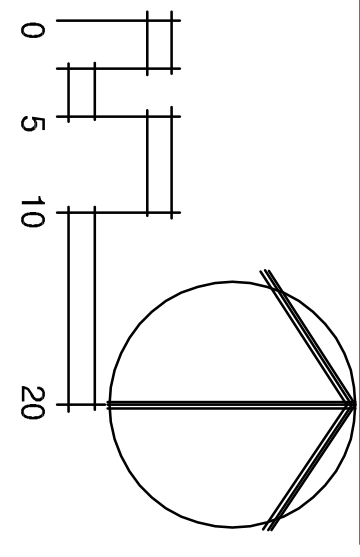




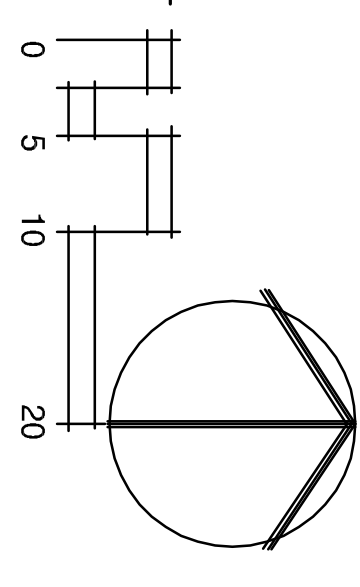




BUILDING 9 LANDSCAPE ENLARGEMENT



BUILDING 10 LANDSCAPE ENLARGEMENT



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**LANDSCAPE PLAN  
 ENLARGEMENT**  
 SCALE: 1" = 10'

**L.4**



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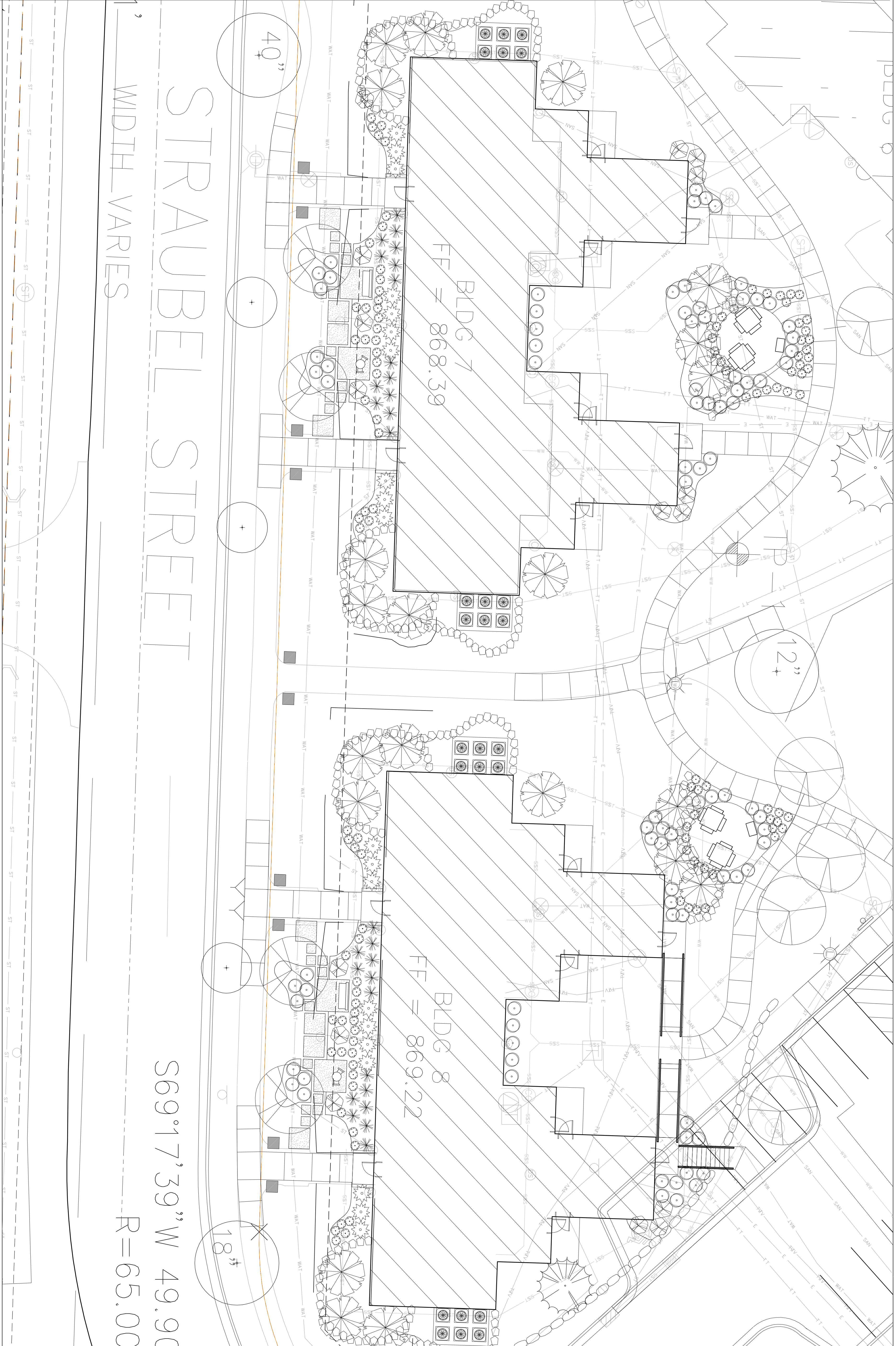
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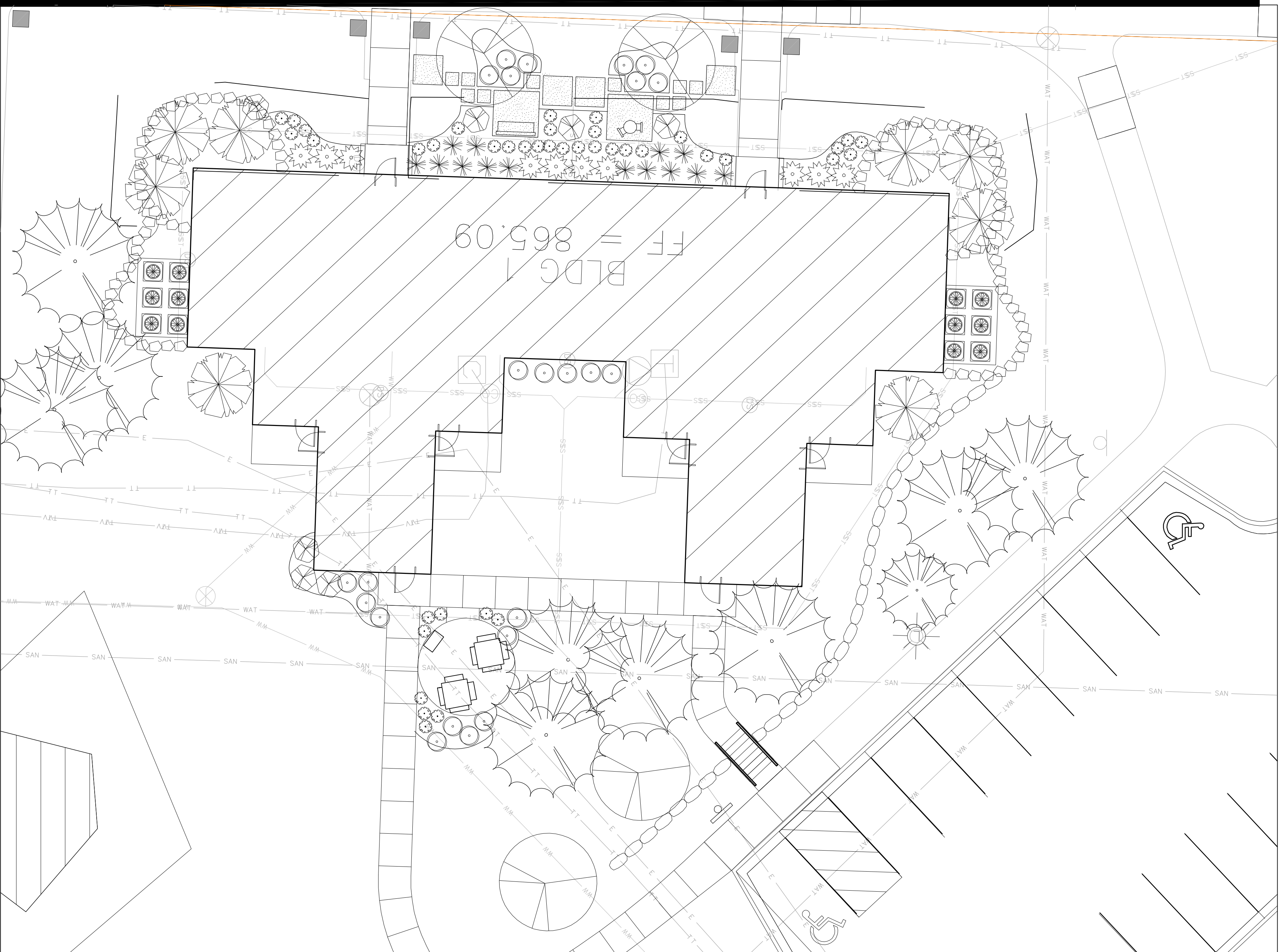
**LANDSCAPE PLAN  
ENLARGEMENT**  
SCALE: 1" = 10'



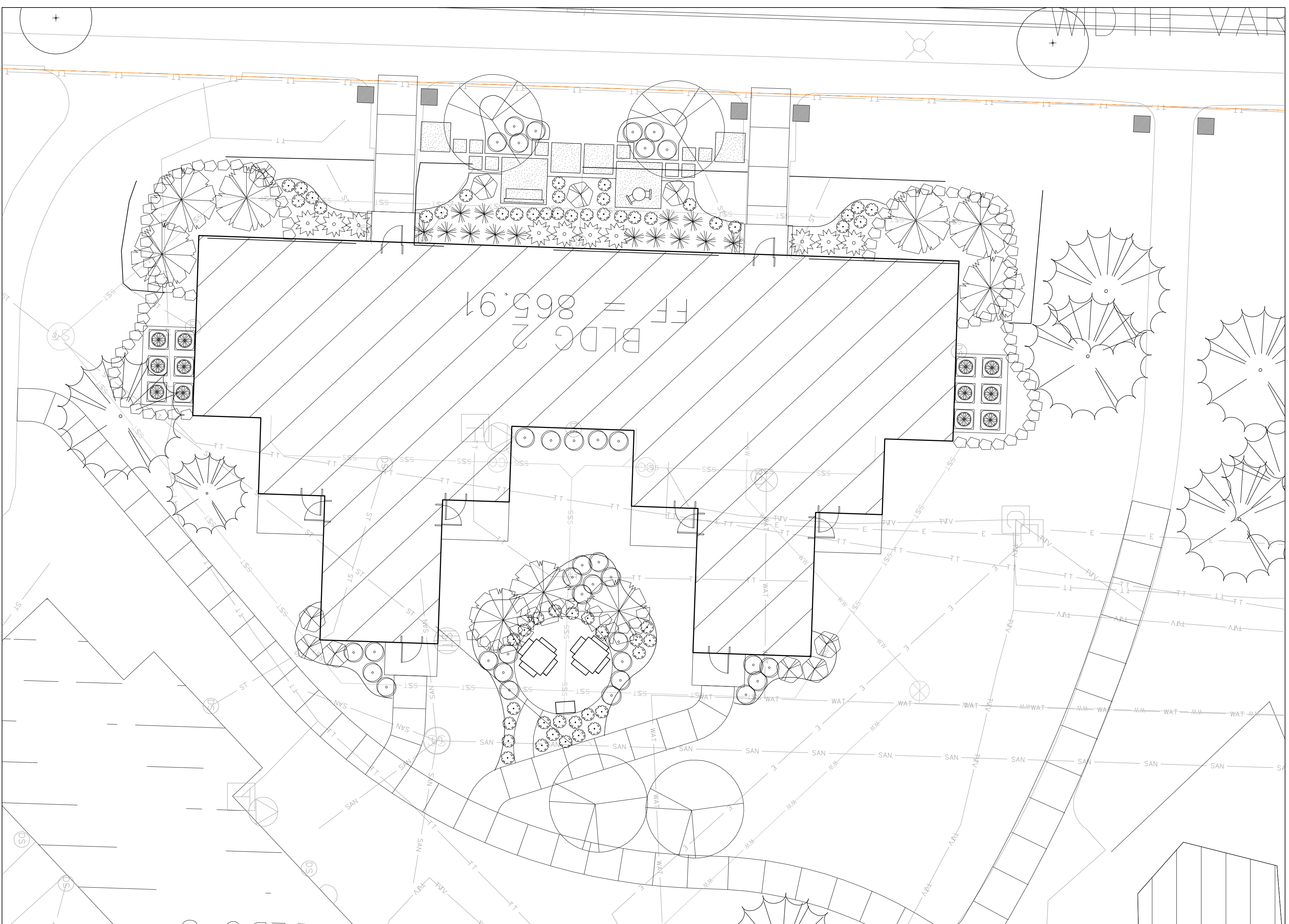
**BUILDING 7 + 8 LANDSCAPE ENLARGEMENT**

**L.3**





BUILDING 1 LANDSCAPE ENLARGEMENT



BUILDING 2 LANDSCAPE ENLARGEMENT

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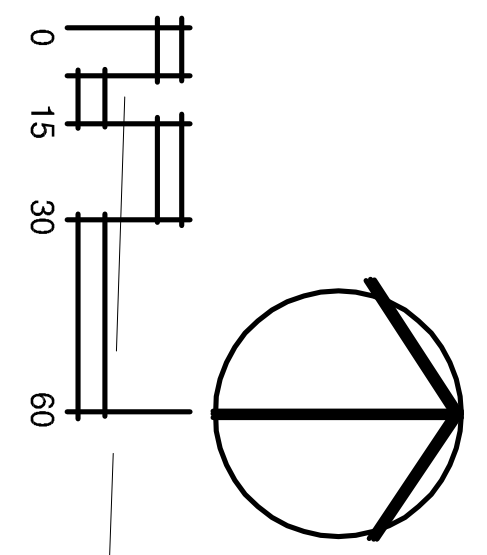
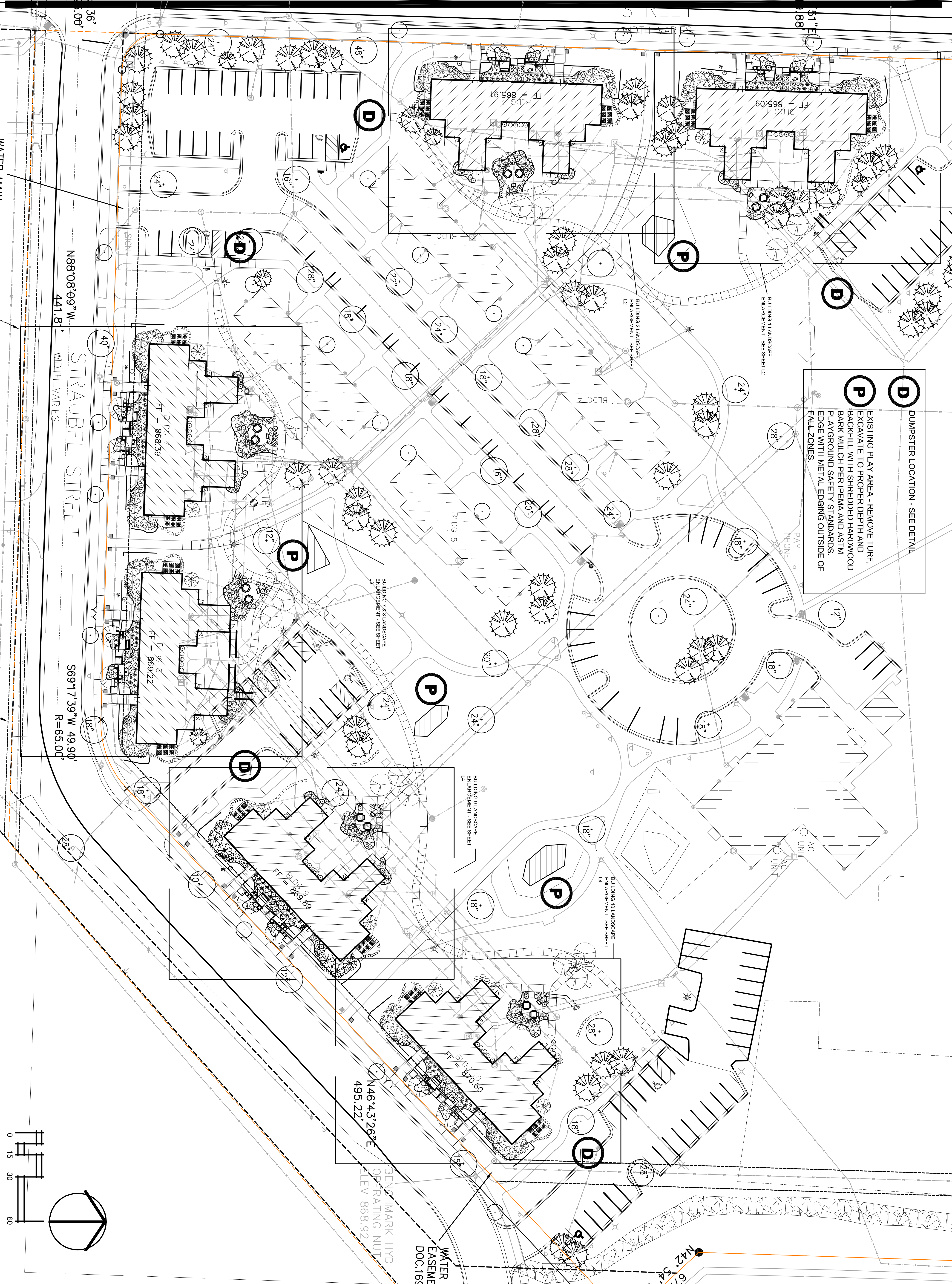
PROJECT # 09023  
 LANDSCAPE PLAN  
 ENLARGEMENT  
 SCALE: 1" = 10'

**L.2**



**D** DUMPSTER LOCATION - SEE DETAIL

**P** EXISTING PLAY AREA - REMOVE TURF, EXCAVATE TO PROPER DEPTH AND BACKFILL WITH SHREDED HARDWOOD BARK MULCH PER IPEDMA AND ASTM PLAYGROUND SAFETY STANDARDS. EDGE WITH METAL EDGING OUTSIDE OF FALL ZONES.



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**OVERALL  
 LANDSCAPE PLAN**  
 SCALE: 1" = 30'

**L.1**



TYPE:

CATALOG#:

**DESCRIPTION**

A low brightness shallow plenum downlight for use with 50 to 100W HID lamps. Fresnel lens provides focused, controlled light distribution. Prismatic lens provides a wider, more diffuse light pattern. Highly efficient reflector designs allow maximum utilization of HID light sources and shallow mounting.

**SPECIFICATION FEATURES**

- A...Reflector**  
Specular clear reflector with a spun parabolic contour. Positive reflector mounting via keyed holes and screws.
- B...Trim Ring**  
Painted die-cast aluminum

**SPECIFICATION FEATURES**

- with choice of white or black baffle.
- C...Housing/Mounting Frame**  
Precision die-cast aluminum 1 1/2" deep collar accommodates varying dimensions of ceiling materials. .060 stamped steel mounting frame.
- D...Mounting**  
Pre-installed telescoping mounting bars are suitable for T-bar ceilings or wood joists.
- E...Conduit Fittings**  
Die-cast screw tight connectors.
- F...Socket**  
4KV pulse rated medium base screw shell socket.
- G...Junction Box**  
U.L. listed for four in, four out
- #12 at 90°C pull through branch wiring.** Positioned to allow straight conduit runs. Five 1/2" and two 3/4" knockouts are provided. Access to junction box through removal of reflector.
- H...Ballast**  
Quick mount plug-in thermally protected ballast with dual tap for 120/277V. Ballast secures to mounting frame with spring lock.
- I...Insulation Detector**  
Self resetting insulation detector opens circuit if insulation is improperly installed.
- Labels**  
U.L. listed, C.S.A. certified, standard damp label, IBEW union made.

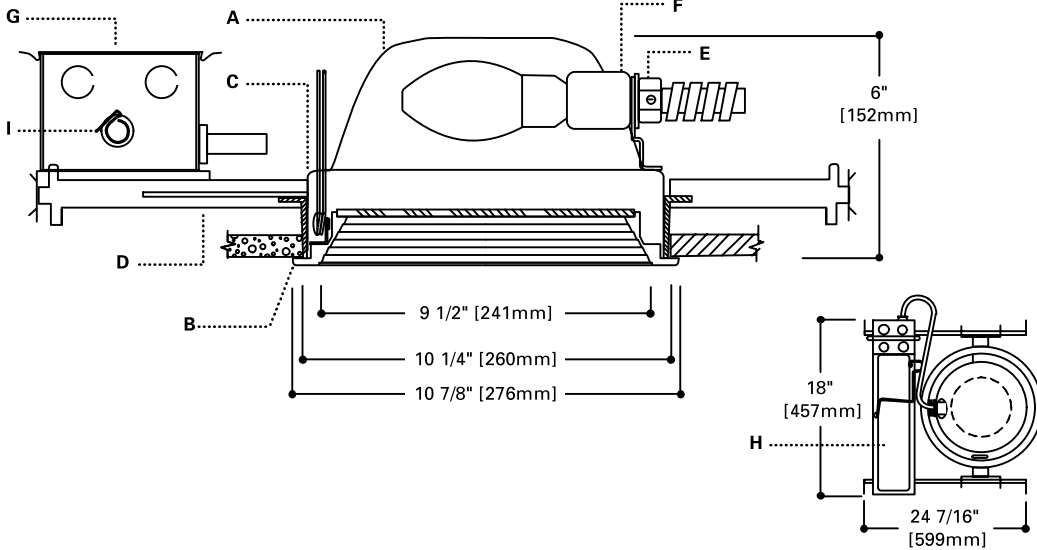


**M6043S-10002P  
-10012P**

**1 0 0 W H P S  
1 0 0 W M H  
9 1/2" LENS**

**ENERGY DATA**

<b>Ballast 720</b>	<b>Lamp 50W MH</b>
Input Watts: 72W	
Operating/Starting /Open Circuit Current:	
120V= 0.65A / 0.80A/1.15A	
277V= 0.30A / 0.35A/0.50A	
Power Factor: 90% Sound Rating B	
Min. Starting Temperature: -20°F (-30°C)	
<b>Ballast 730</b>	<b>Lamp 70W MH</b>
Input Watts: 94W	
Operating/Starting /Open Circuit Current:	
120V= 0.85A / 0.53A/1.59A	
277V= 0.37A / 0.27A/0.72A	
Power Factor: 90% Sound Rating B	
Min. Starting Temperature: -20°F (-30°C)	
<b>Ballast 731E</b>	<b>Lamp 70W MH</b>
Input Watts: 82W	
Max Current-120V: 0.83A	
Power Factor: 90%	
T.H.D.: <30%; Sound Rating: A	
Min Starting Temperature: -20°F (-30°C)	
<b>Ballast 741E</b>	<b>Lamp 100W MH</b>
Input Watts: 116W	
Max Current-120V: 1.30A	
Power Factor: 90%	
T.H.D.: <30%; Sound Rating: A	
Min Starting Temperature: -20°F (-30°C)	
<b>Ballast 740</b>	<b>Lamp 100W MH</b>
Input Watts: 125W	
Operating/Starting /Open Circuit Current:	
120V= 1.10A / 2.20A/2.40A	
277V= 0.48A / 0.95A/1.05A	
Power Factor: 90% Sound Rating B	
Min. Starting Temperature: -20°F (-30°C)	
<b>Ballast 620</b>	<b>50W HPS</b>
Input Watts: 65	
Operating/Starting Current:	
120V= 0.65 / 0.70	
277V= 0.30 / 0.35	
Power Factor: 90%	
<b>Ballast 630</b>	<b>70W HPS</b>
Input Watts: 90	
Operating/Starting Current:	
120V= 0.82 / 1.00	
277V= 0.36 / 0.50	
Power Factor: 90%	
<b>Ballast 640</b>	<b>100W HPS</b>
Input Watts: 125	
Operating/Starting Current:	
120V= 1.10 / 1.45	
277V= .50 / .65	
Power Factor: 90%	



**ORDERING INFORMATION**

**SAMPLE NUMBER: M6043S-630-10002P**  
Complete unit consists of housing, ballast and trim.

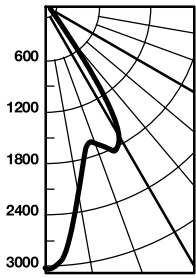
Housing	Options	Ballast	Trims	Accessories
<b>M6043S</b>				
M6043S=Shallow Plenum Lensed Downlight	F=Fuse Q=Quartz X=Quartz (Socket Only)	620=50W HPS 120/277V 630=70W HPS 120/277V 640=100W HPS 120/277V 720=50W MH 120/277V 730=70W MH 120/277V 731E=70W MH 120V Electronic 740=100W MH 120/277V 741E=100W MH 120V Electronic	Regressed Fresnel Lens 10002P=White Trim Ring, Black Baffle 10002PWH=White Trim Ring, White Baffle  Regressed Prismatic Lens 10012P=White Trim Ring, Black Baffle 10012PWH=White Trim Ring, White Baffle	Field Installable Fuse Kit FK3=3 Amp (300V Max.) FK5=5 Amp (300V Max.) FK10=10 Amp (125V Max.)  1 1/2" C-Channel Bar Hangers HB26=26" Long HB50=50" Long  Slope Adapter HSA-10-XX=Specify Slope

**NOTES:** Accessories should be ordered separately.  
For additional options please consult your Cooper Lighting Representative.  
Alzak is a registered trademark of Aluminum Company of America.



**PHOTOMETRICS**

**Candlepower Distribution**



Test No. H30017  
**M6043S -10002P**  
 Lamp=LU100/D/MED  
 Lumens=9500  
 Spacing Criteria=0.9  
 Efficiency=62.9%

**Candlepower**

Deg.	CD
0	3647
5	3703
15	4037
25	2475
35	2383
45	1131
55	660
65	315
75	107
85	1
90	0

**Average Luminance**

Deg.	CD/SQ M
45	34961
55	25151
65	16292
75	9036
85	251

**Cone of Light**

Distance to Illuminated Plane	Initial Nadir Footcandles	Beam Diameter
4'6"	180	4'0"
5'6"	121	5'0"
6'6"	86	6'0"
8'0"	57	7'6"
10'0"	36	9'5"
12'0"	25	11'6"

Beam diameter is to 50% of maximum footcandles, rounded to the nearest half-foot. Footcandle values are initial, apply appropriate light loss factors where necessary.

**Zonal Lumen Summary**

Zone	Lumens	%Lamp	%Luminaire
0-30	2648	27.9	44.3
0-40	4044	42.6	67.6
0-60	5535	58.3	92.6
0-90	5980	62.9	100.0
90-180	0	0.0	0.0
0-180	5980	62.9	100.0

**Coefficient of Utilization**

rc rw RCR	80%				70%				50%				30%				10%				0%			
	70	50	30	10	50	30	10	50	10	50	10	50	10	50	10	50	10	50	10	50	10			
0	75	75	75	75	73	73	73	70	70	67	67	64	64	63	63	63	63	63	63	63	63	63		
1	70	68	66	64	67	65	63	64	61	62	59	59	58	56	56	56	56	56	56	56	56	56		
2	65	61	58	55	60	57	55	58	53	56	52	54	51	50	50	50	50	50	50	50	50	50		
3	61	56	52	48	55	51	48	53	47	51	46	50	46	44	44	44	44	44	44	44	44	44		
4	57	51	46	43	50	46	42	48	42	47	41	46	41	40	40	40	40	40	40	40	40	40		
5	53	46	42	38	46	41	38	44	38	43	37	42	37	36	36	36	36	36	36	36	36	36		
6	49	42	38	34	42	37	34	41	34	40	34	39	33	32	32	32	32	32	32	32	32	32		
7	46	39	34	31	39	34	31	38	31	36	30	36	30	29	29	29	29	29	29	29	29	29		
8	44	36	32	28	36	31	28	35	28	34	28	34	28	27	27	27	27	27	27	27	27	27		
9	41	34	29	26	33	29	26	33	26	32	26	31	26	25	25	25	25	25	25	25	25	25		
10	39	31	27	24	31	27	24	31	24	30	24	29	24	23	23	23	23	23	23	23	23	23		

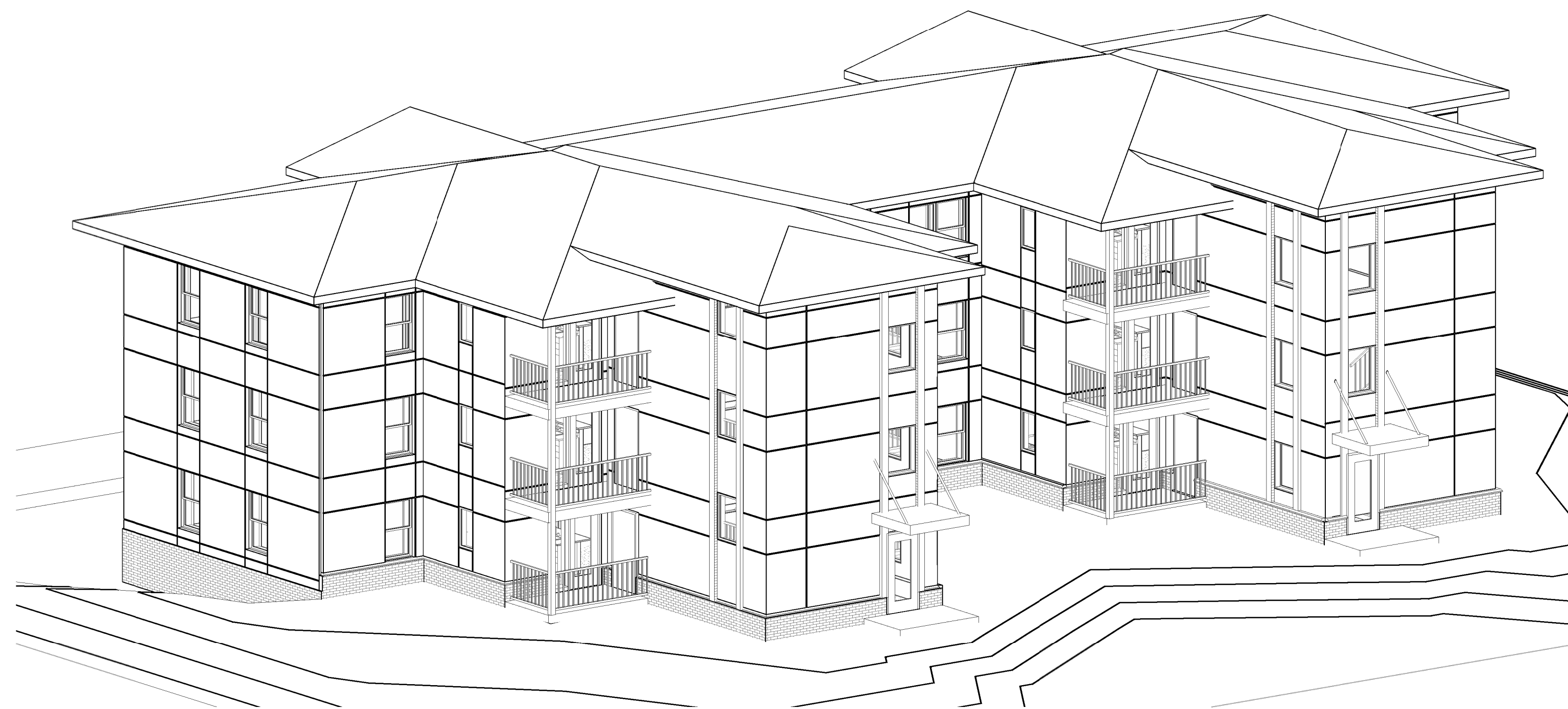
rc=Ceiling reflectance, rw=Wall reflectance, RCR=Room cavity ratio CU Data Based on 20% Effective Floor Cavity Reflectance.



2 3D - FRONT ELEVATION

**TRUAX PARK  
 REDEVELOPMENT -  
 PHASE I  
 Madison WI**

1501-1507 WRIGHT STREET  
 3502-3534 STRAUBEL STREET  
 MADISON WI



1 3D - REAR ELEVATION

**ABBREVIATION LIST**

AFF.	ABOVE FINISHED FLOOR
EXG or EXIST.	EXISTING
LULA	LIMITED USE/LIMITED APPLICATION
ELEV.	ELEVATOR
ND	NOT DETERMINED ??????????
O.C.	ON CENTER
REQD	REQUIRED
SIM.	SIMILAR
T.O.W.	TOP OF WALL
TYP.	TYPICAL
UNEX.	UNEXCAVATED

DATE OF ISSUE: 03-31-2010

**PRELIMINARY  
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 CONSTRUCTION**

PROJECT # 09023

**3D VIEWS &  
 ABBREVIATION LIST**

TRUAX PARK REDEVELOPMENT - PHASE I

Madison WI

Architecture & Engineering: Dimension IV - Madison Design Group  
 6515 Grand Teton Plaza, Suite 120  
 Madison, WI 53719

Civil Engineering: Edge Consulting Engineers, Inc.  
 624 Water Street  
 Prairie Du Sac, WI 53578

MEPFP Engineering Consultant: Native Engineering, Inc.  
 601 Knightsbridge Road  
 Waunakee, WI 53597

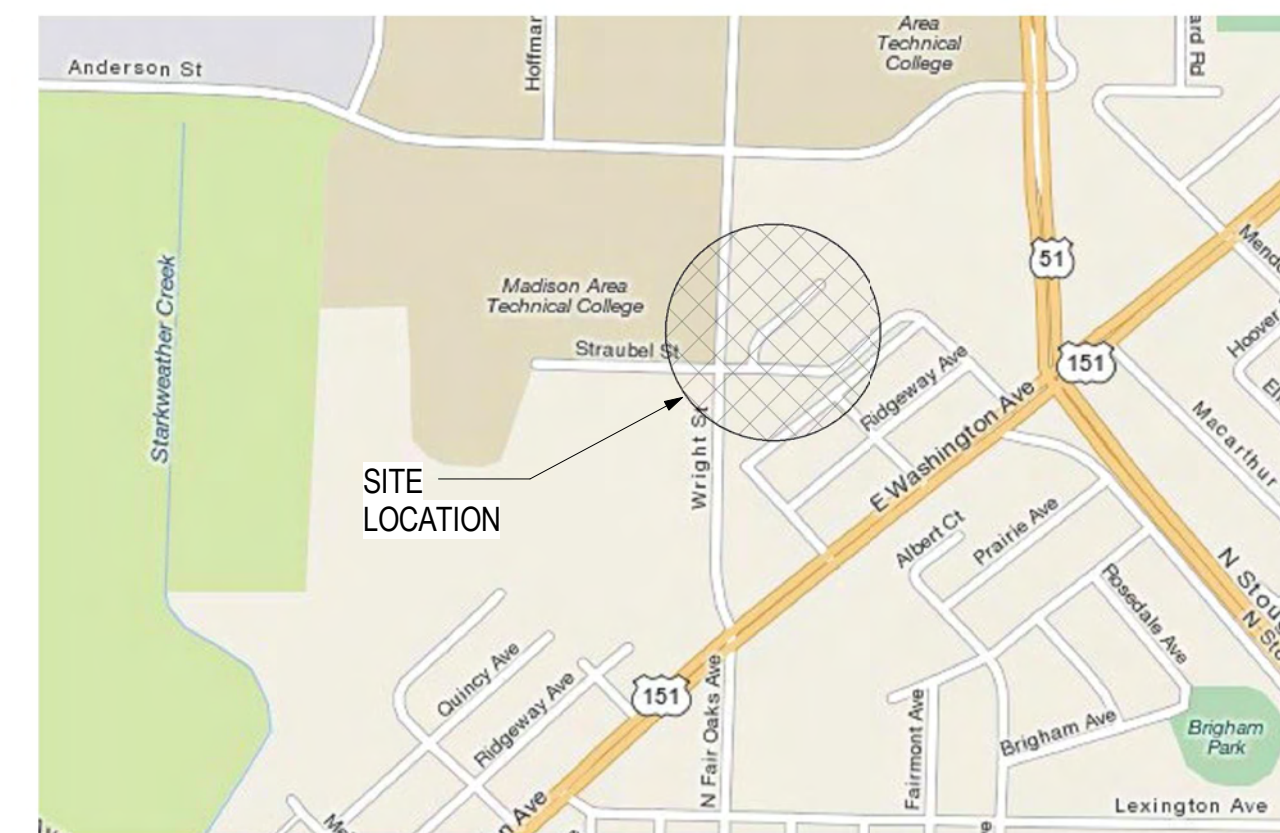
Landscape Architecture: KSA - Kate Stalker Associates  
 Madison, WI 53704

**PROJECT INFORMATION:**

**PROJECT DESCRIPTION:**  
 ADDITION AND REMODEL TO (6) EXISTING 12-UNIT APARTMENT BUILDINGS DEPICTED AS BUILDINGS 1,2,7,8,9, AND 10 - SEE ARCHITECTURAL SITE PLAN. BUILDINGS 3-6 TO REMAIN UNALTERED

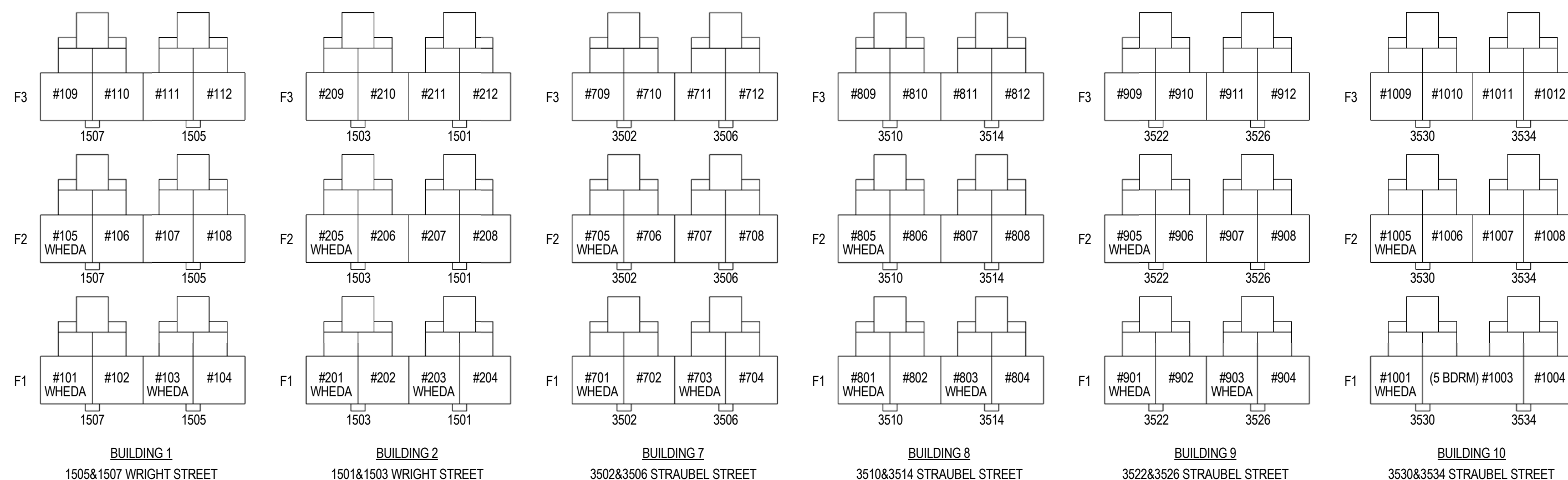
**CODE INFORMATION:**  
 BUILDINGS TO BE REVIEWED UNDER THE 2006 INTERNATIONAL EXISTING BUILDING CODE (IEBC)

**BUILDING INFORMATION:**  
 EXISTING BUILDING CLASSIFICATION: IIB  
 BUILDING ADDITION CLASSIFICATION TYPE: VB (NON-SEPARATED)  
 BUILDING USE: GROUP R-2 RESIDENTIAL  
 BUILDING HEIGHT: 3 STORIES + BASEMENT  
 EXISTING BUILDING AREA: 3,160 S.F. PER FLOOR (NOT INCLUDING REAR BALCONIES)  
 BUILDING ADDITION AREA: 2,040 S.F. PER FLOOR (INCLUDING NEW REAR BALCONIES)  
**TOTAL BUILDING AREA: 5,200 S.F. PER FLOOR**  
 EXISTING BUILDING AND ADDITIONS ARE TO BE SPRINKLERED PER NFPA-13R

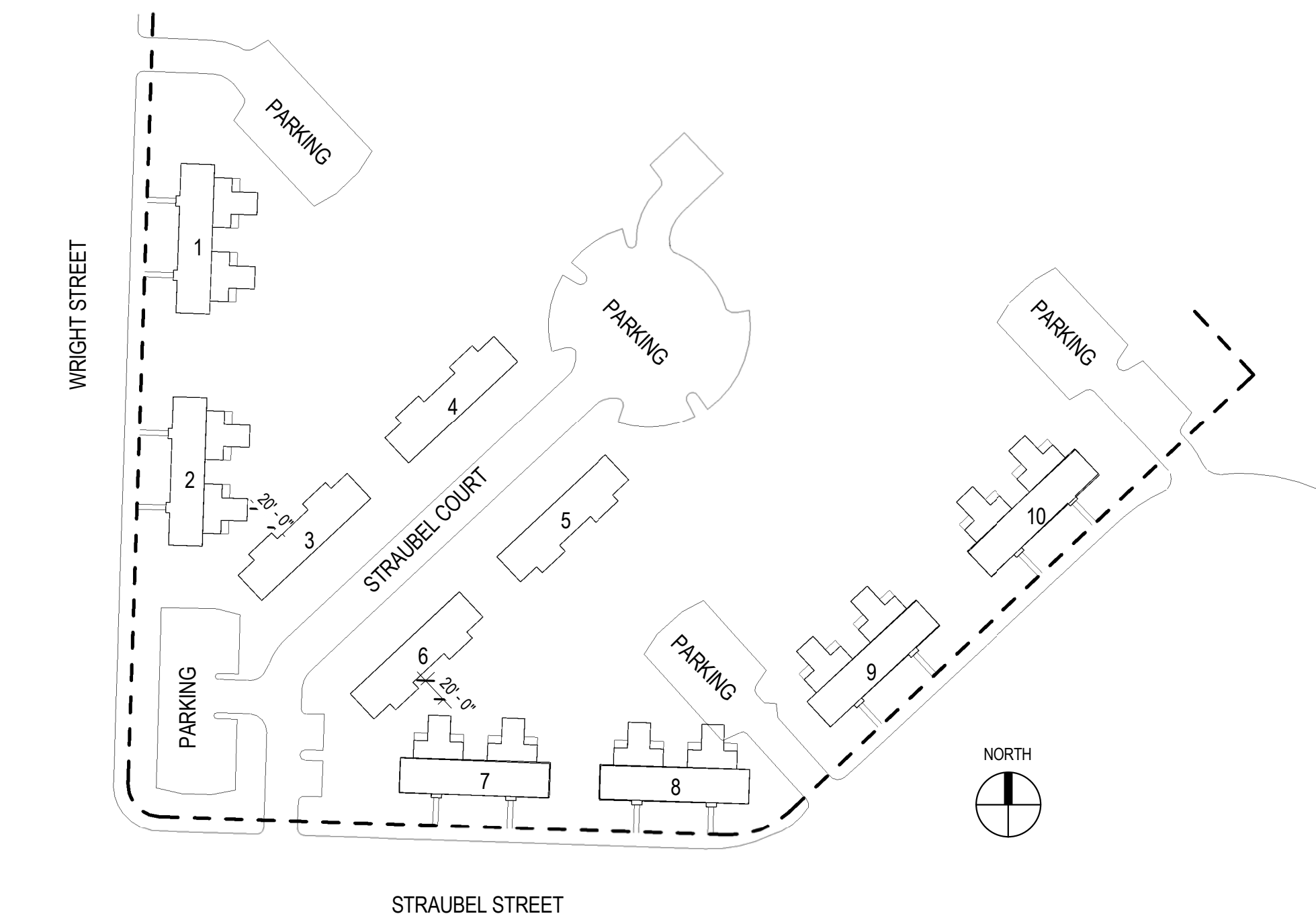


**LIST OF DRAWINGS**

Sheet Number	Sheet Name
<b>GENERAL</b>	
G0.1	COVER SHEET
G0.2	3D VIEWS & ABBREVIATION LIST
<b>CIVIL</b>	
C1.0	OVERALL DEMO PLAN
C1.1	BUILDING 1&2 DEMO PLAN
C1.2	BUILDING 7&8 DEMO PLAN
C1.3	BUILDING 9&10 DEMO PLAN
C2.0	OVERALL SITE PLAN
C2.1	BUILDING 1&2 SITE PLAN
C2.2	BUILDING 7&8 SITE PLAN
C2.3	BUILDING 9&10 SITE PLAN
C3.1	BUILDING 1&2 GRADING PLAN
C3.2	BUILDING 7&8 GRADING PLAN
C3.3	BUILDING 9&10 GRADING PLAN
C4.1	BUILDING 1&2 UTILITY PLAN
C4.2	BUILDING 7&8 UTILITY PLAN
C4.3	BUILDING 9&10 UTILITY PLAN
<b>LANDSCAPING</b>	
L.1	OVERALL LANDSCAPE PLAN
L.2	LANDSCAPE PLAN ENLARGEMENT
L.3	LANDSCAPE PLAN ENLARGEMENT
L.4	LANDSCAPE PLAN ENLARGEMENT
L.5	TYPICAL BUILDING LANDSCAPE PLAN
L.6	PATIO AREA LANDSCAPE PLANS
L.7	LANDSCAPE DETAILS
L.8	LANDSCAPE MATERIALS LIST
L.9	TYPICAL FOUNDATION PAVING ENLARGEMENT
<b>DEMOLITION</b>	
D1.0	BASEMENT AND FIRST FLOOR DEMOLITION PLANS
D1.1	SECOND & THIRD FLOOR AND ROOF DEMOLITION PLANS
<b>ARCHITECTURAL</b>	
A1.0	BASEMENT FLOOR PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A1.4	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A3.0	BUILDING SECTIONS
A5.0	LARGE SCALE FLOOR PLANS
A5.1	LARGE SCALE FLOOR PLAN 5-BEDROOM UNIT
<b>MEP</b>	
SE-101	LIGHTING PHOTOMETRIC PLAN



NOTE: ALL THE '01, '03, AND '05 STANDARD UNITS ARE DESIGNATED AS WHEDA UNITS  
 71 TOTAL UNITS / 17 WHEDA UNITS = 23.9% (20% REQ'D O.K.)



**3 ARCHITECTURAL SITE PLAN**  
 1" = 100'-0"



### DEMOLITION PLAN KEYNOTES

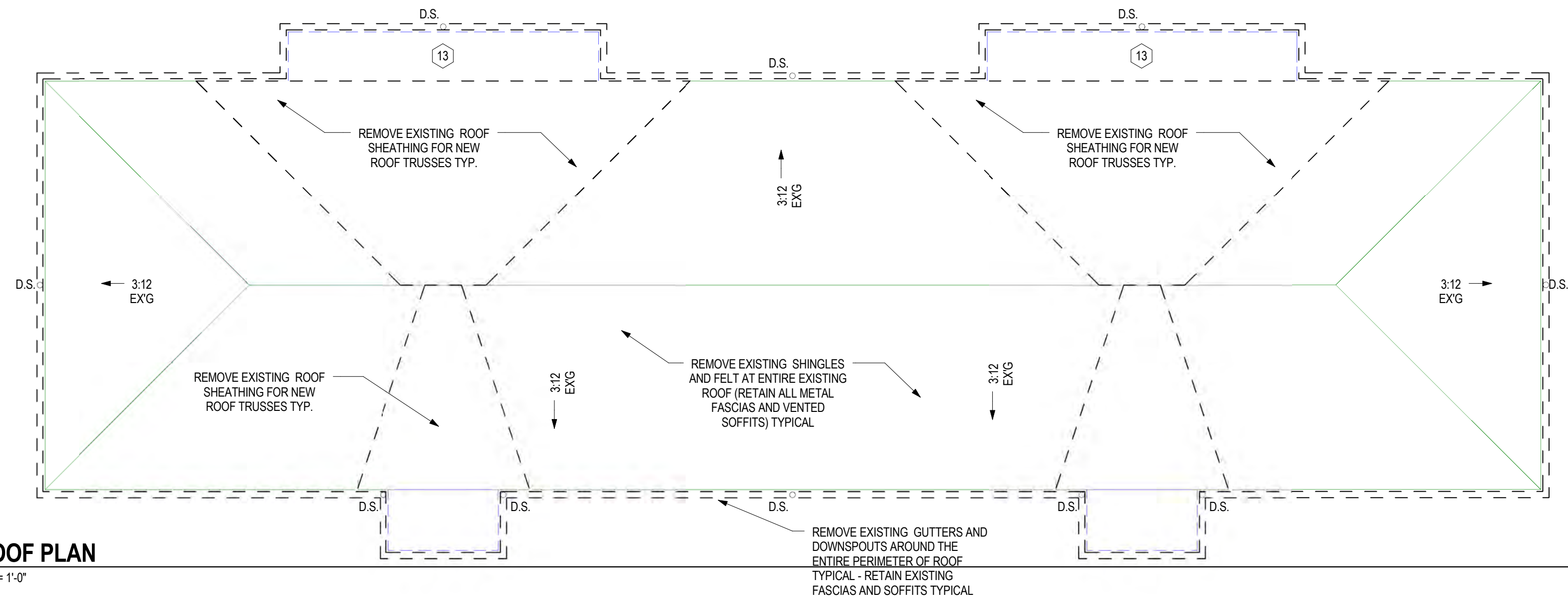
- INDICATES EXISTING WALL, DOOR, FIXTURE, ETC.
- - - INDICATES ITEM TO BE REMOVED
- ① REMOVE WALL
- ② REMOVE PORTION OF WALL AS INDICATED ON PLAN
- ③ REMOVE ENTIRE DOOR AND FRAME
- ④ REMOVE ALL CABINETS AND PLUMBING FIXTURES
- ⑤ REMOVE AND SAVE EXISTING STORAGE LOCKERS
- ⑥ REMOVE EXISTING FOUNDATION WALL AND ASSOCIATED FOOTINGS
- ⑦ REMOVE EXISTING BLOCK INFILL FROM FORMER WINDOW OPENINGS (2H x 7W)
- ⑧ REMOVE AND SAVE EXISTING LAUNDRY EQUIPMENT
- ⑨ REMOVE EXISTING FOUNDATION WALL FOR NEW ELEVATOR DOOR - CONFIRM SIZE, LOCATION, AND HEIGHT WITH ELEVATOR MANUFACTURER
- ⑩ REMOVE AND SALVAGE LAUNDRY COUNTER
- ⑪ REMOVE AND SALVAGE LAUNDRY SINK
- ⑫ REMOVE METAL STAIR GUARD RAIL AND HANDRAILS
- ⑬ REMOVE EXTERIOR BALCONIES AND BALCONY ROOF EXTENSION
- ⑭ REMOVE INTERIOR PARTITION WALLS, CABINETS, PLUMBING FIXTURES, AND DOORS AS INDICATED, REMOVE ALL EXISTING FLOOR FINISHES, REMOVE AND SALVAGE ALL APPLIANCES
- ⑮ REMOVE EXISTING 1x WALL FURRING AND PLASTER BOARD WALL FINISH AT ALL EXISTING EXTERIOR WALLS TYPICAL. - REMOVE AND SAVE EXISTING SOLID WINDOW SILLS TYP. - REMOVE EXISTING WINDOW BLINDS TYP.
- ⑯ REMOVE AND SALVAGE EXISTING WINDOW FOR RE-USE.
- ⑰ REMOVE EXISTING CEILING FURRING (12") AND FINISH AT EXISTING BATHROOM CEILINGS (FLOORS F1 AND F2 ONLY)

### DEMOLITION GENERAL NOTES

1. MAINTAIN ALL EXIT DOORS IN UNOBSTRUCTED OPERABLE CONDITION WITH SAFE PASSAGE WAY FROM THE BUILDING. COORDINATE WITH THE LOCAL FIRE MARSHAL.
2. PROVIDE AND MAINTAIN BARRICADES, GATES, OR OTHER MEANS OF MAINTAINING PUBLIC SAFETY AT ALL AREAS OF CONSTRUCTION OR DEMOLITION.
3. COORDINATE STORAGE LOCATIONS FOR SALVAGED EQUIPMENT WITH OWNER.
4. ALL STRUCTURES SHOWN DASHED ON THIS PLAN SHALL BE COMPLETELY REMOVED FROM THE SITE AND DISPOSED OF BY THE THIS CONTRACT UNLESS OTHERWISE NOTED. THIS SHALL INCLUDE ALL ELECTRICAL, MECHANICAL, OR PLUMBING WITHIN THE REMOVED STRUCTURE. TERMINATE MEP AS REQUIRED. VERIFY GENERAL CONDITIONS IN FIELD PRIOR TO BIDDING.
5. PREPARATION FOR NEW FINISHES SHALL INCLUDE REMOVAL OF FINISHES, REMOVAL OF TAPES, GLUES (MASTIC), NAILS, ETC. PATCHING OF HOLES AND CRACKS, AND UP TO 1" OF LEVELER COMPOUND IF REQUIRED TO PROVIDE AN ACCEPTABLE SURFACE FOR NEW FINISH INSTALLATION.
6. REMOVAL OF ALL EXISTING CHALK BOARD, MARKER BOARD, OR BULLETIN BOARDS AND OTHER MISC. EQUIPMENT ON REMOVED WALLS. SALVAGE TO OWNER, SOME TO BE RELOCATED BY CONTRACTOR. SEE NEW PLANS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING, ETC. REQUIRED FOR REMOVAL WORK. WORK TO BE CERTIFIED BY STRUCTURAL ENGINEER IF REQUIRED.
8. SEE MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION SHEETS TO COORDINATE REMOVAL WORK.
9. WORK WHICH RENDERS THE EXISTING BUILDING NON-WEATHER TIGHT SHALL BE FITTED TO PROVIDE WEATHER TIGHT STRUCTURE PRIOR TO NEW WORK BEING INSTALLED WITHIN.
10. ALL EXISTING ROOM NUMBERS AND NAMES SHOWN ON THIS PLAN ARE FOR INFORMATIONAL AND COORDINATION PURPOSES.
11. DOORS WITH NUMBERS ARE FOR SALVAGE AND RELOCATION. COORDINATE WITH REMODEL PLAN AND DOOR SCHEDULE.
12. COORDINATE REMOVAL AND PATCHING SHOWN WITH MECHANICAL, PLUMBING AND ELECTRICAL REMOVAL AND PATCHING DRAWINGS.
13. OWNER WILL REMOVE LOOSE FURNISHINGS FROM THE SITE PRIOR TO START OF CONSTRUCTION.
14. CONTRACTOR SHALL SALVAGE FIXED EQUIPMENT ITEMS AND SET THEM IN A DESIGNATED LOCATION FOR THE OWNER TO REMOVE TO STORAGE. ITEMS TO BE REINSTALLED WILL BE DELIVERED TO THE JOB SITE BY THE OWNER. SALVAGE ITEMS INCLUDE DOORS, WINDOWS, FRAMES, CHALKBOARDS, MARKER BOARDS, TACK BOARDS, WALL MOUNTED PROJECTION SCREENS, COAT RACKS AND OTHER MISCELLANEOUS ITEMS AS DIRECTED BY THE OWNER. ALSO SEE REMOVAL AND REMODELING NOTES.
15. CONTRACTOR SHALL INSTALL TEMPORARY FRAME SPREADERS ON DOOR FRAMES TO BE SALVAGED, STORED AND REINSTALLED.

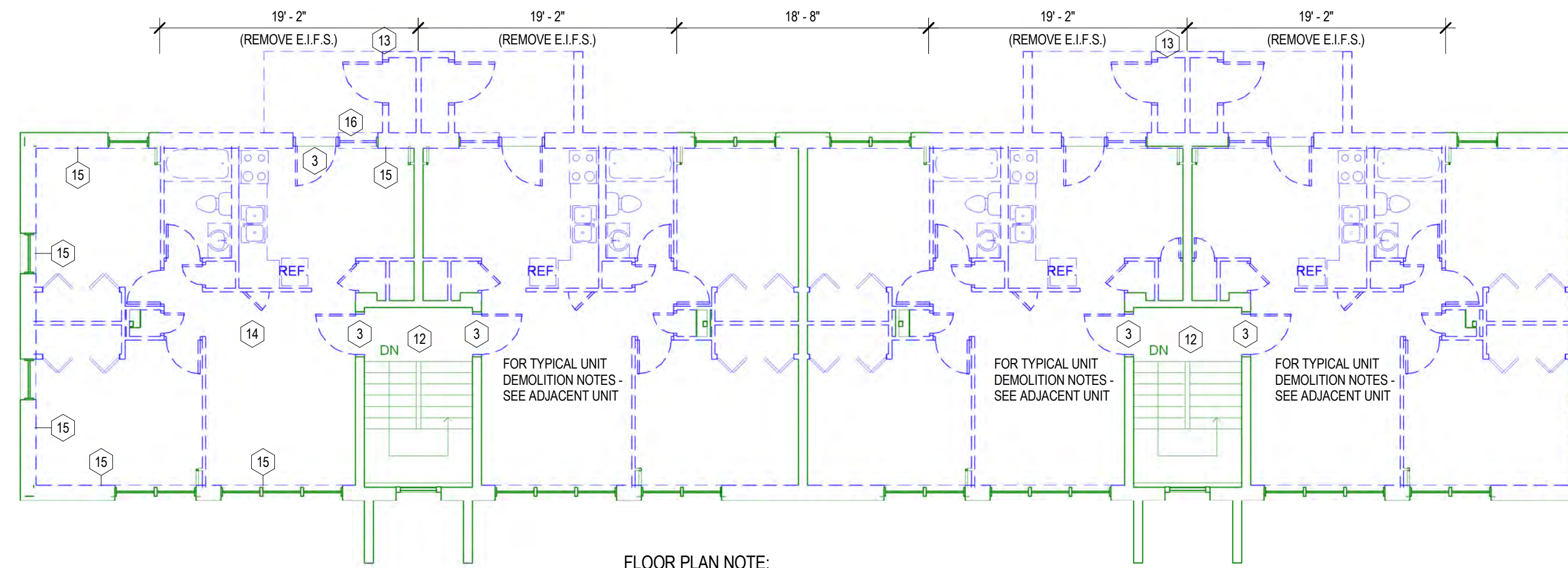
### 3 ROOF PLAN

1/8" = 1'-0"



### 2 THIRD FLOOR DEMOLITION

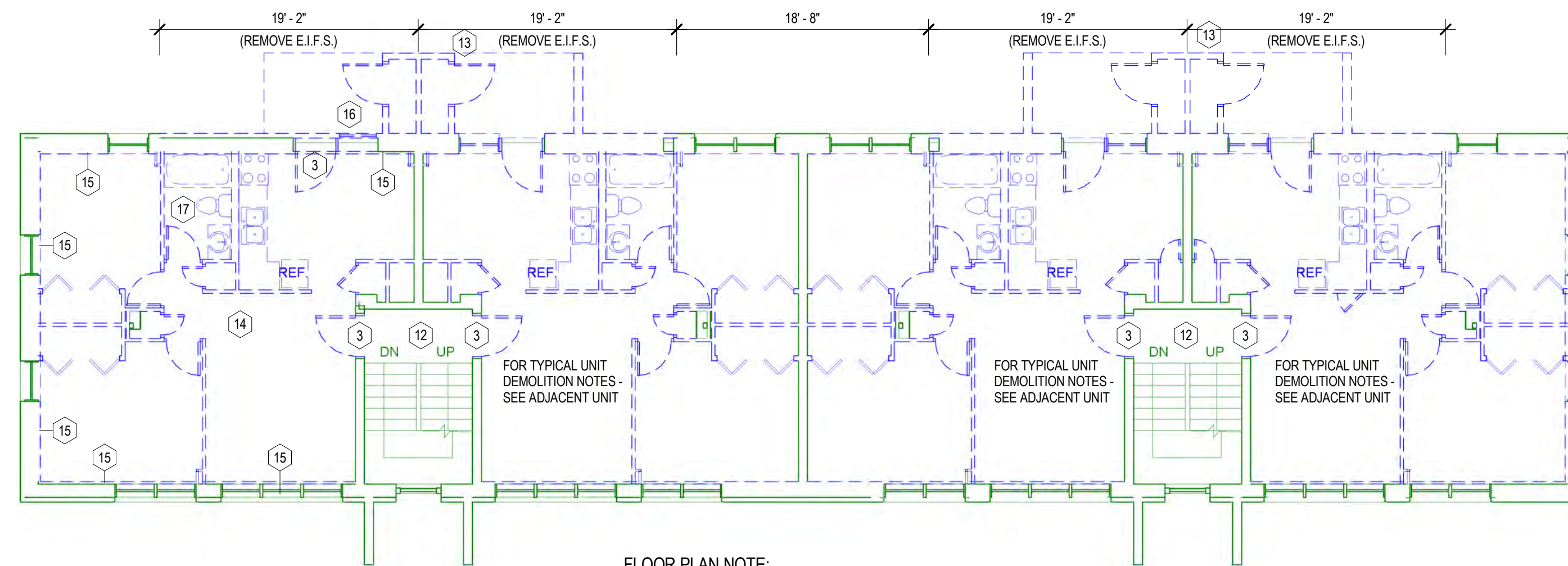
1/8" = 1'-0"



**FLOOR PLAN NOTE:**  
FLOOR PLAN SHOWN IS FOR BUILDINGS #2, #8, AND #10. FLOOR PLANS FOR BUILDINGS #1, #7, AND #9 ARE MIRRORED (FLIPPED) BUT ARE OTHERWISE IDENTICAL - SEE ARCHITECTURAL SITE PLAN AND CIVIL DRAWINGS

### 1 SECOND FLOOR DEMOLITION

1/8" = 1'-0"



**FLOOR PLAN NOTE:**  
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## TRUAX PARK REDEVELOPMENT - PHASE I Madison WI

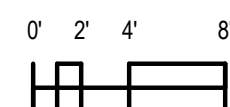
1501-1507 WRIGHT STREET  
3502-3534 STRAUBEL STREET  
MADISON WI

DATE OF ISSUE: 03-31-2010

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PROJECT # 09023

## SECOND & THIRD FLOOR AND ROOF DEMOLITION PLANS



**D1.1**

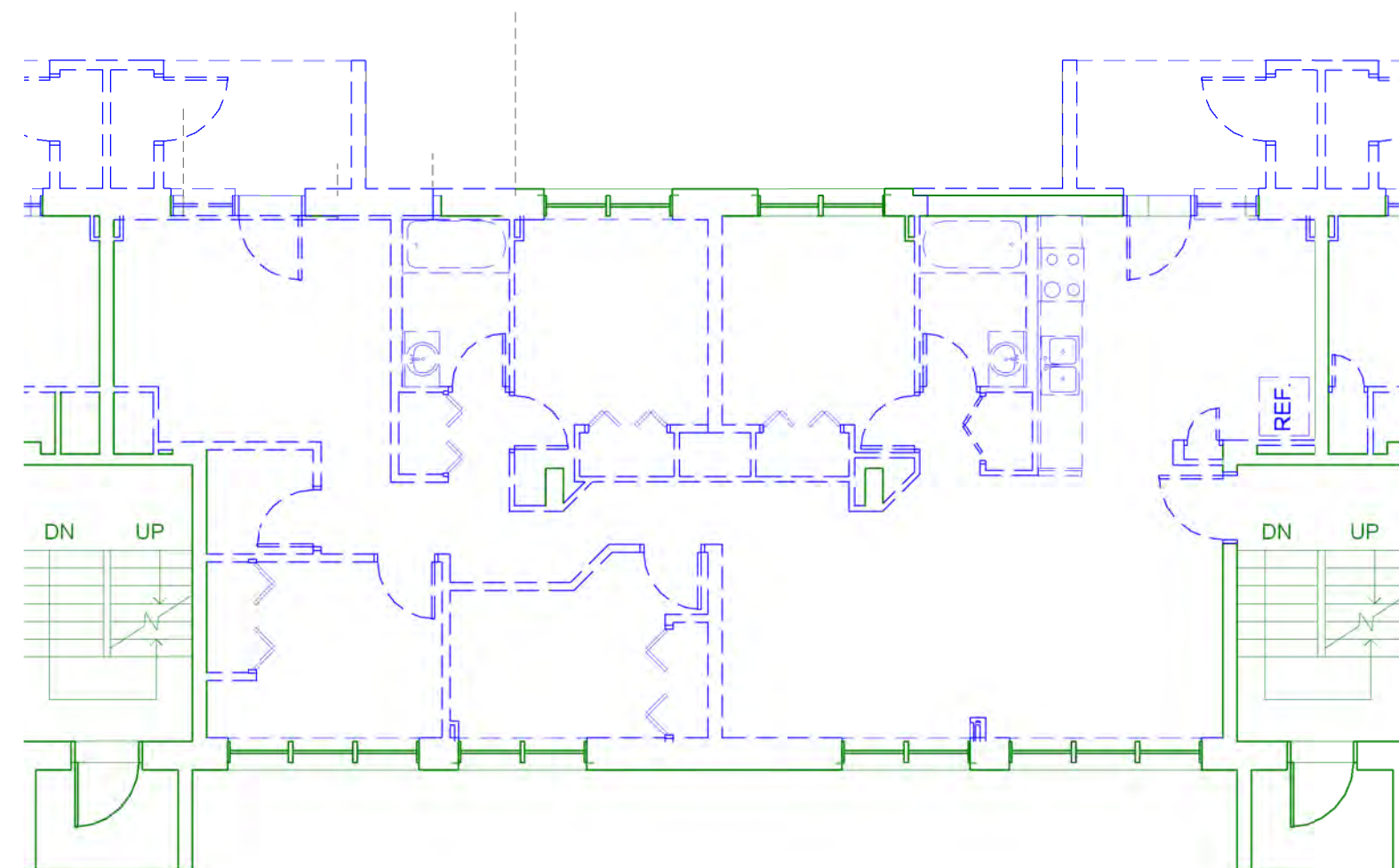


**DEMOLITION PLAN KEYNOTES**

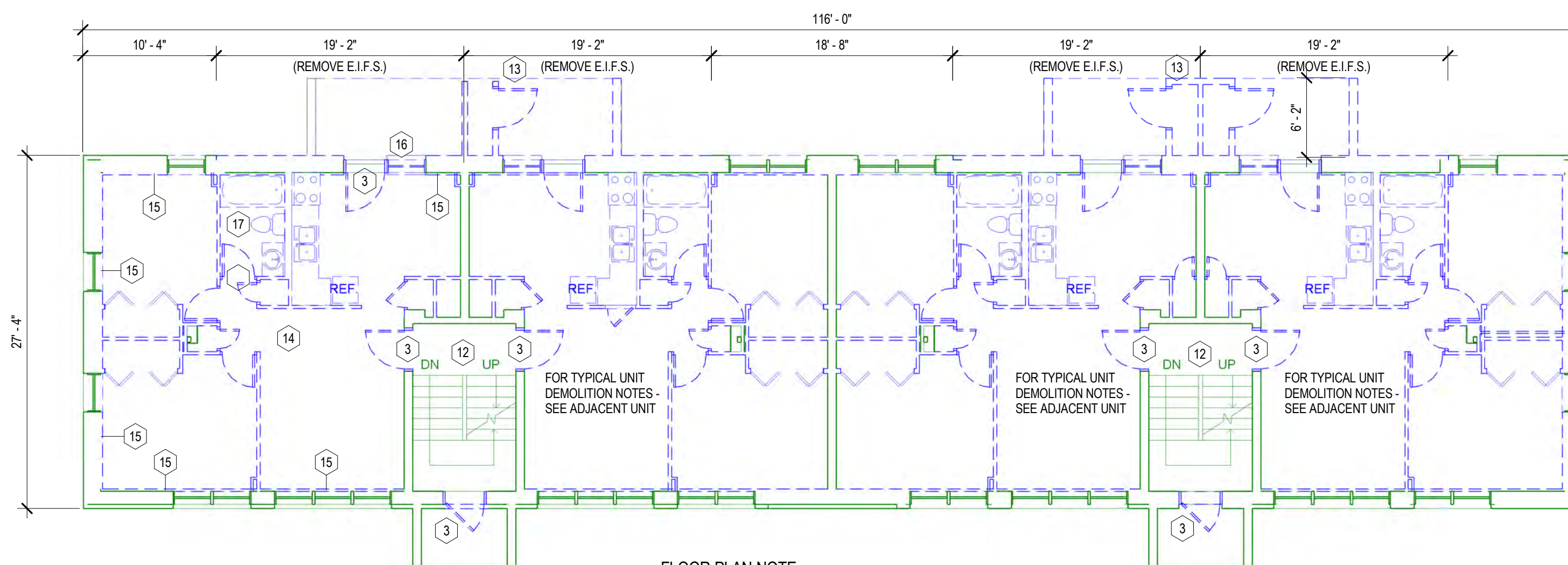
- — — INDICATES EXISTING WALL, DOOR, FIXTURE, ETC.
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- ⑭ REMOVE INTERIOR PARTITION WALLS, CABINETRY, PLUMBING FIXTURES, AND DOORS AS INDICATED. REMOVE ALL EXISTING FLOOR FINISHES. REMOVE AND SALVAGE ALL APPLIANCES
- ⑮ REMOVE EXISTING 1x WALL FURRING AND PLASTRE BOARD WALL FINISH AT ALL EXISTING EXTERIOR WALLS TYPICAL. - REMOVE AND SAVE EXISTING SOLID WINDOW SILLS TYP. - REMOVE EXISTING WINDOW BLINDS TYP.
- ⑯ REMOVE AND SALVAGE EXISTING WINDOW FOR RE-USE.
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5. PREPARATION FOR NEW FINISHES SHALL INCLUDE REMOVAL OF FINISHES, REMOVAL OF TAPES, GLUES (MASTIC), NAILS, ETC. PATCHING OF HOLES AND CRACKS, AND UP TO 1" OF LEVELER COMPOUND IF REQUIRED TO PROVIDE AN ACCEPTABLE SURFACE FOR NEW FINISH INSTALLATION.
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7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING, ETC. REQUIRED FOR REMOVAL WORK. WORK TO BE CERTIFIED BY STRUCTURAL ENGINEER IF REQUIRED.
8. SEE MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION SHEETS TO COORDINATE REMOVAL WORK.
9. WORK WHICH RENDERERS THE EXISTING BUILDING NON-WEATHER TIGHT SHALL BE FITTED TO PROVIDE WEATHER TIGHT STRUCTURE PRIOR TO NEW WORK BEING INSTALLED WITHIN.
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13. OWNER WILL REMOVE LOOSE FURNISHINGS FROM THE SITE PRIOR TO START OF CONSTRUCTION.
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15. CONTRACTOR SHALL INSTALL TEMPORARY FRAME SPREADERS ON DOOR FRAMES TO BE SALVAGED, STORED AND REINSTALLED.

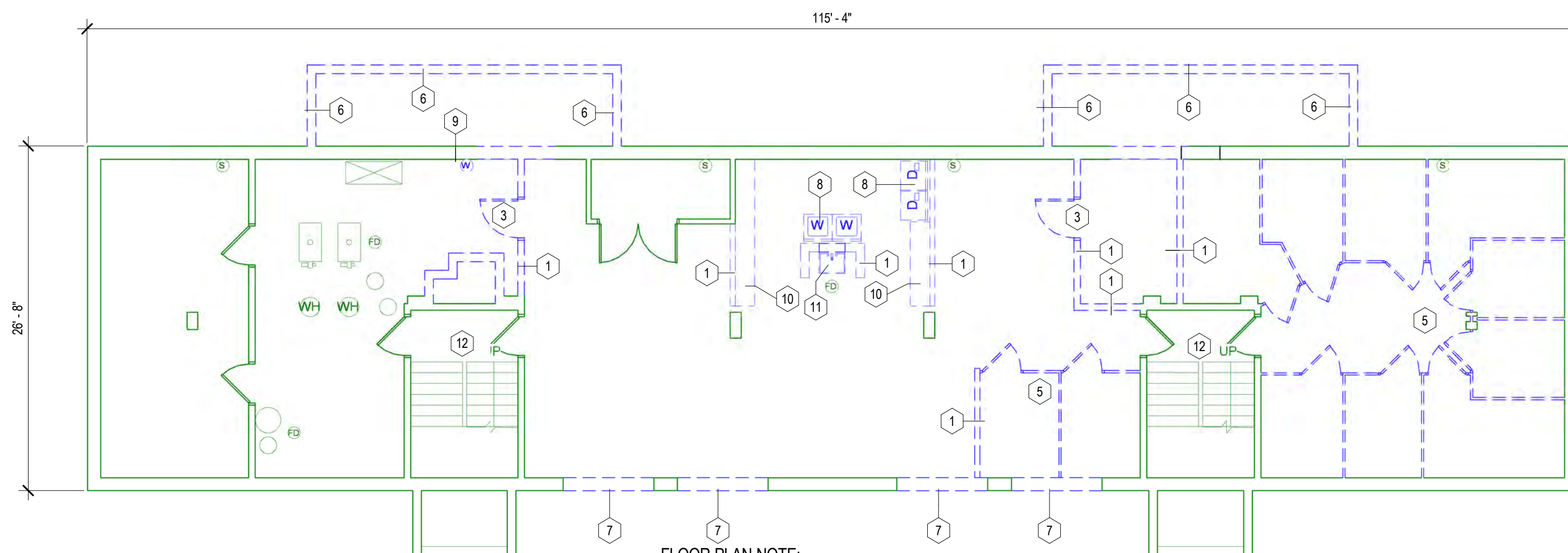


**3 FIRST FLOOR - FIVE BEDROOM UNIT DEMOLITION**  
1/8" = 1'-0"



**2 FIRST FLOOR DEMOLITION**  
1/8" = 1'-0"

FLOOR PLAN NOTE:  
FLOOR PLAN SHOWN IS FOR BUILDINGS #2, #8, AND #10.  
FLOOR PLANS FOR BUILDINGS #1, #7, AND #9 ARE  
MIRRORED (FLIPPED) BUT ARE OTHERWISE IDENTICAL -  
SEE ARCHITECTURAL SITE PLAN AND CIVIL DRAWINGS



**1 BASEMENT FLOOR DEMOLITION**  
1/8" = 1'-0"

FLOOR PLAN NOTE:  
FLOOR PLAN SHOWN IS FOR BUILDINGS #2, #8, AND #10.  
FLOOR PLANS FOR BUILDINGS #1, #7, AND #9 ARE  
MIRRORED (FLIPPED) BUT ARE OTHERWISE IDENTICAL -  
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**TRUAX PARK  
REDEVELOPMENT -  
PHASE I  
Madison WI**

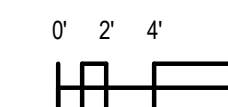
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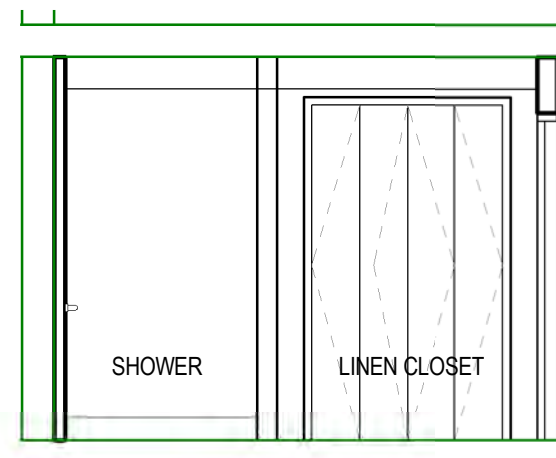
PROJECT # 09023

**BASEMENT AND  
FIRST FLOOR  
DEMOLITION PLANS**

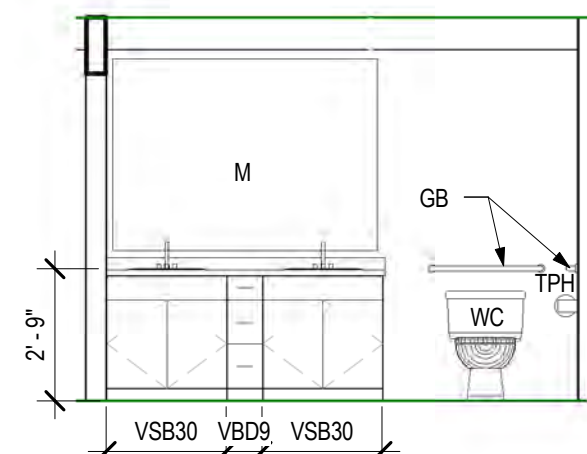


**D1.0**

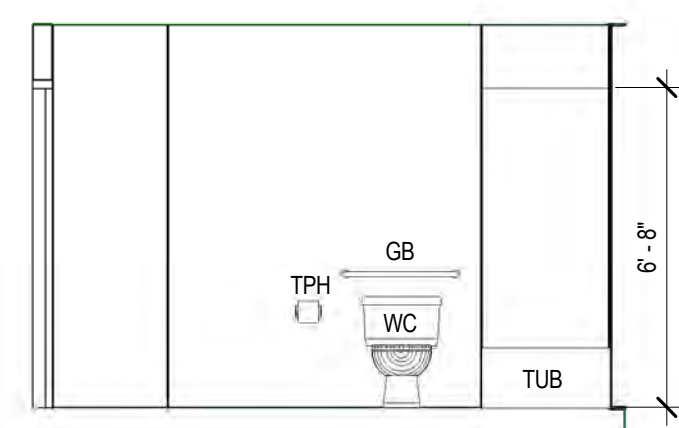




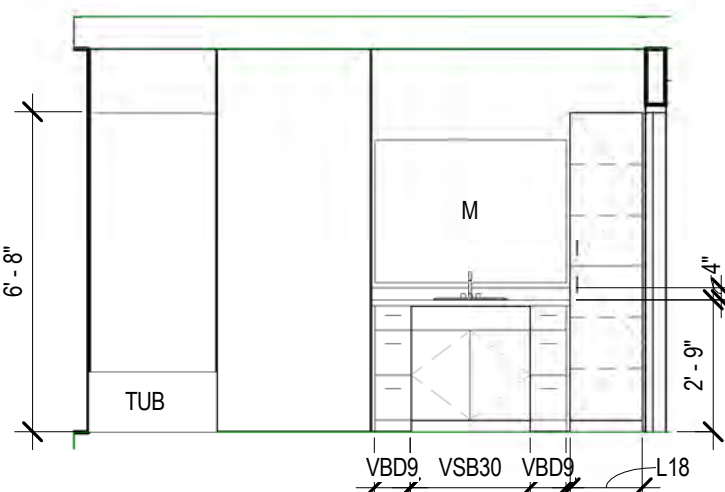
**7 BATH 2 ELEVATION - 5BR UNIT**  
1/4" = 1'-0"



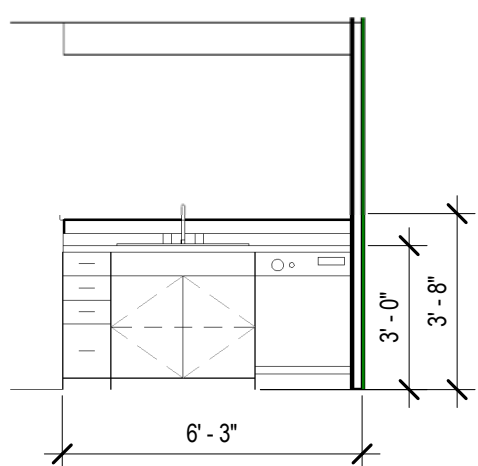
**6 BATH 2 ELEVATION - 5BR UNIT**  
1/4" = 1'-0"



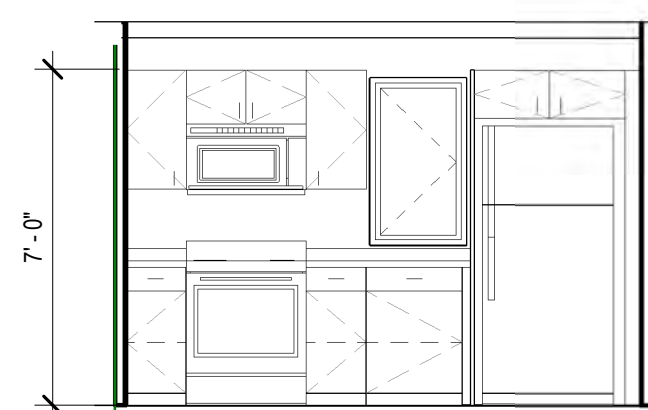
**5 BATH ELEVATION - 5BR UNIT**  
1/4" = 1'-0"



**4 BATH ELEVATION - 5BR UNIT**  
1/4" = 1'-0"



**3 KITCHEN ELEVATION B - 5BR UNIT**  
1/4" = 1'-0"



**2 KITCHEN ELEVATION - 5BR UNIT**  
1/4" = 1'-0"

**UNIT FLOOR PLAN GENERAL NOTES**

1. ALL INTERIOR PARTITION DIMENSIONS ARE TO FACE OF STUD.
2. ADA CLEARANCE CIRCLES AND BOXES SHOWN ON PLAN ARE FOR INFORMATIONAL PURPOSES ONLY.
3. PROVIDE BLOCKING AS NECESSARY FOR MOUNTING THERMOSTATS, GRAB BARS, DOOR STOPS, FINISH CARPENTRY AND TRIM.
4. DEMISING WALLS SHOWN AS 1/2 OF TOTAL WALL THICKNESS.
5. SEE OVERALL PLAN FOR EXTERIOR WALL AND CORE ELEMENT WALL TYPES; EXTERIOR WINDOW AND PATIO DOOR TYPES.
6. COORDINATE HVAC CLOSET SIZES WITH HVAC CONTRACTOR.
7. COORDINATE INTERIOR PARTITION LAYOUT WITH SHOWER, TUB, APPLIANCE, CABINETRY AND VANITY DIMENSIONS.
8. COORDINATE WALL THICKNESS AND FURRING BEHIND WASHERS/DRYERS WITH HVAC AND PLUMBING CONTRACTORS.
9. LOCATE DOORS WITHIN WALLS CENTERED ON WALL, HALL, CLOSET OR 5" FROM ADJACENT WALL UNLESS DIMENSIONED OTHERWISE.
10. PROVIDE AT LEAST ONE LAYER OF GYPSUM BOARD BEHIND ALL MODULAR TUBS AND SHOWERS, BUT NO FEWER LAYERS THAN REQUIRED BY DEMISING, BEARING AND RATED WALL TYPES. ADDITIONAL LAYER OF GYPSUM BOARD TO BE ADDED ABOVE AND ADJACENT TO MODULAR UNITS TO COVER MOUNTING FLANGES AND AS RECOMMENDED BY MANUFACTURER.
11. WHEDA UNITS:  
FIVE FEET TURNING DIAMETER OT T-TURN 36" IN WIDTH IN KITCHEN  
ALL INTERIOR PASSAGE DOORS 36" (MINIMUM 32" CLEAR)  
CLOSETS: 30"x48" CLEAR FLOOR SPACE FOR PARALLEL OR FORWARD APPROACH  
SINK COUNTERTOP TO BE BUILT SELF SUPPORTING & BASE CABINET EASILY REMOVABLE

**ACCESSORY SCHEDULE - BATHROOMS**

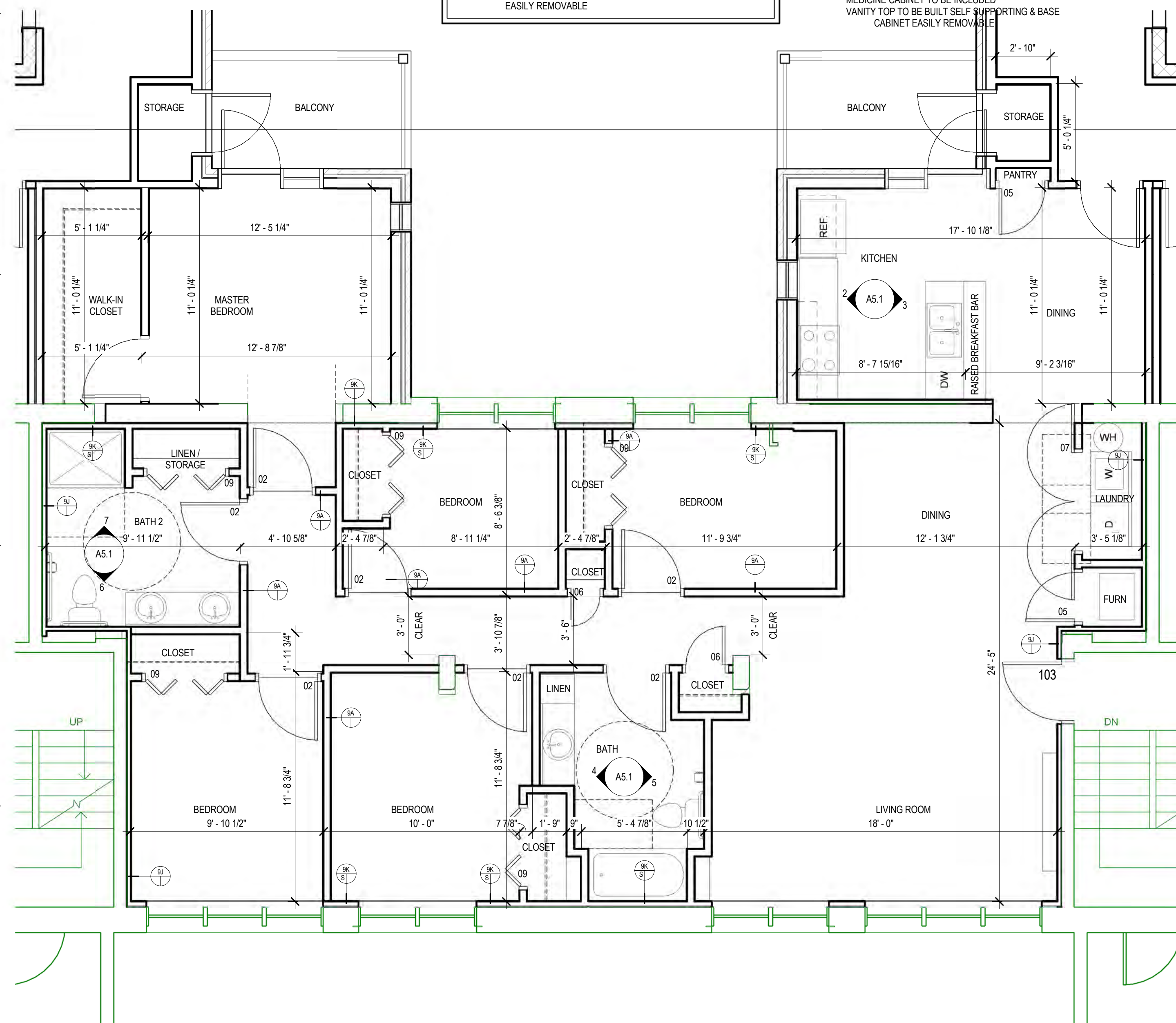
ABBREVIATION	ITEM	REMARKS
CAB	CABINET	-
CS	COUNTER WITH UNDER SINK	-
GB18H	18" GRAB BAR - HORIZONTAL	-
LAV	LAVATORY	-
M	MIRROR - FULL LENGTH OF VANITY	-
TPH	TOILET PAPER HOLDER	-
WC	WATER CLOSET	-

**SCHEDULE NOTES:**

1. MOUNT MIRROR SO THAT THE BOTTOM IS AT TOP OF BASE

**GENERAL BATHROOM NOTES:**

1. PROVIDE BLOCKING AS NECESSARY FOR MOUNTING THERMOSTATS, GRAB BARS, DOOR STOPS FINISH CARPENTRY AND TRIM CABINETS, SHELVING, AND ALL ACCESSORIES AND FIXTURES
2. DASHED ADA CLEARANCE AREA, CIRCLES, RECTANGLES SHOWN FOR INFORMATIONAL PURPOSES ONLY
3. REFER TO PLUMBING DRAWINGS FOR PLUMBING FIXTURES
4. SEE A5.0 FOR ALL HEIGHTS GIVEN BY ELEVATION AND SCHEDULE NOTES FOR ADDITIONAL INFORMATION
5. WHEDA UNITS:  
5 FEET TURNING DIAMETER OR T-TURNS 36" IN WIDTH  
BATH TUB/SHOWER STALL WITH OFFSET CONTROLS.  
ROLL-IN SHOWERS WITH TRENCH DRAINS OR LOW CURB SHOWERS  
MEDICINE CABINET TO BE INCLUDED  
VANITY TOP TO BE BUILT SELF SUPPORTING & BASE CABINET EASILY REMOVABLE



**1 ENLARGED FLOOR PLAN - 5 BEDROOM UNIT**  
1/4" = 1'-0"

**TRUAX PARK  
REDEVELOPMENT -  
PHASE I  
Madison WI**

1501-1507 WRIGHT STREET  
3502-3534 STRAUBEL STREET  
MADISON WI

DATE OF ISSUE: 03-31-2010

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PROJECT # 09023

**LARGE SCALE  
FLOOR PLAN  
5-BEDROOM UNIT**

**A5.1**



**FLOOR FINISH GENERAL NOTES**

- A. PROVIDE TRANSITION STRIP BETWEEN DISSIMILAR FLOOR FINISHES. SEE SPECIFICATIONS FOR FURTHER INFORMATION
- B. REFER TO STRUCTURAL DRAWINGS FOR CONTROL JOINT LOCATIONS
- C. CLOSETS TO HAVE FINISH SIMILAR TO THE ADJACENT SPACE
- D. FLOOR FINISH TO CONTINUE BELOW REMOVABLE CABINETS TYP.

**UNIT ROOM FINISH SCHEDULE**

Location	Floor Finish		Wall Finish				Ceiling Finish		Cabinetry			Comments
	Name	Field	Base	North	East	South	West	Soffit	Ceiling Material	Base	Countertop	
LIVING ROOM	SV	VB	P	P	P	P	P	P	-	-	-	-
DINING	SV	VB	P	P	P	P	-	P	-	-	-	-
KITCHEN	SV	VB	P	P	P	P	-	P	OAK	PL	OAK	-
LAUNDRY	SV	VB	P	P	P	P	-	P	-	-	-	-
BATH	SV	VB	P	P	P	P	-	P	-	-	-	-
BEDROOM	CPT	VB	P	P	P	P	-	P	-	-	-	-

**FINISH LEGEND**

ACR	ACRYLIC
CPT	CARPET TILE
EXP	EXPOSED CONCRETE
GYP	GYPSUM BOARD
GWB	GYPSUM WALL BOARD
LP	LAMINATE PANELS
P	PAINT
PL	PLASTIC LAMINATE
RB	RUBBER
SV	SHEET VINYL
SC	SEALED CONCRETE
TR	TRANSITION STRIP
VB	VINYL BASE
WD	WOOD

**TRUAX PARK REDEVELOPMENT - PHASE I**  
Madison WI

1501-1507 WRIGHT STREET  
3502-3534 STRAUBEL STREET  
MADISON WI

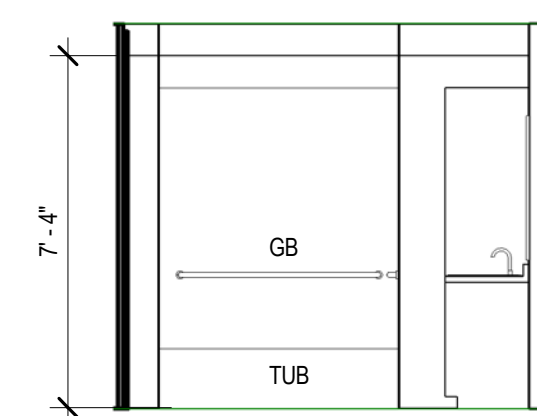
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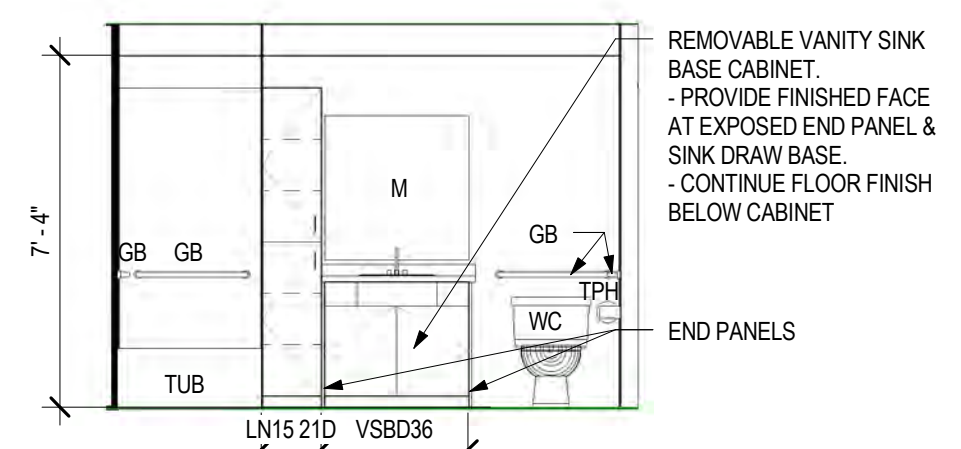
PROJECT # 09023

**LARGE SCALE FLOOR PLANS**

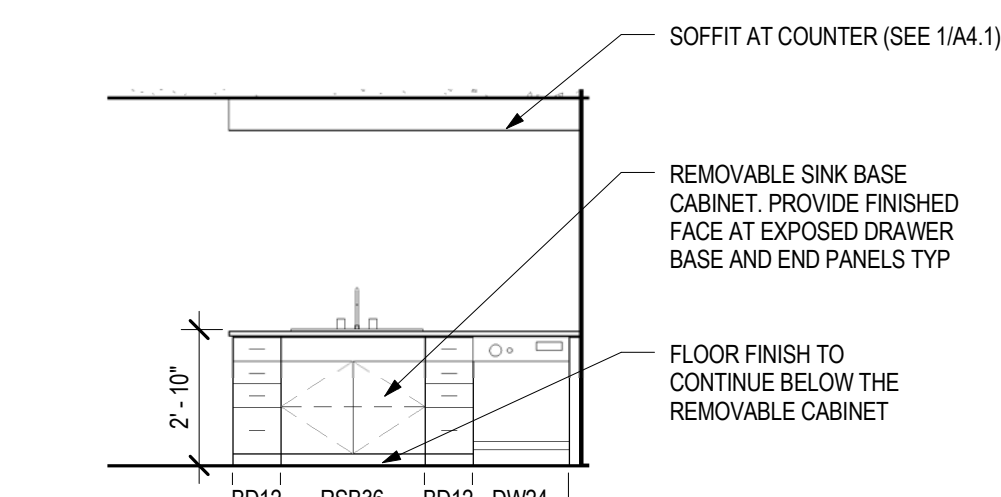
**A5.0**



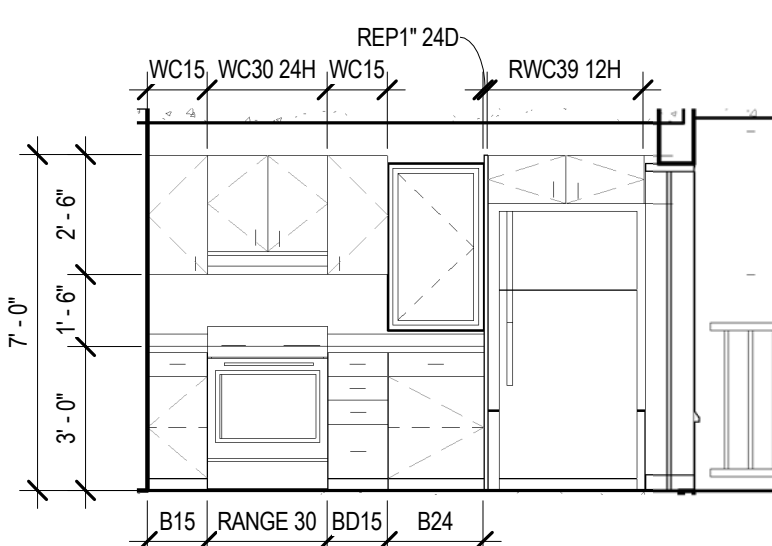
**9 BATH ELEVATION - WHEDA UNIT**  
1/4" = 1'-0"



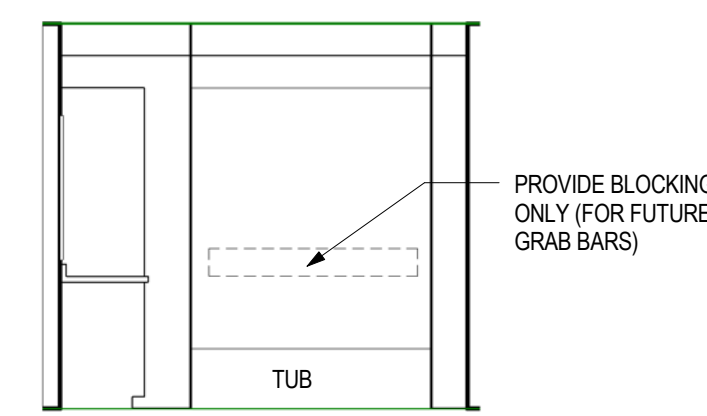
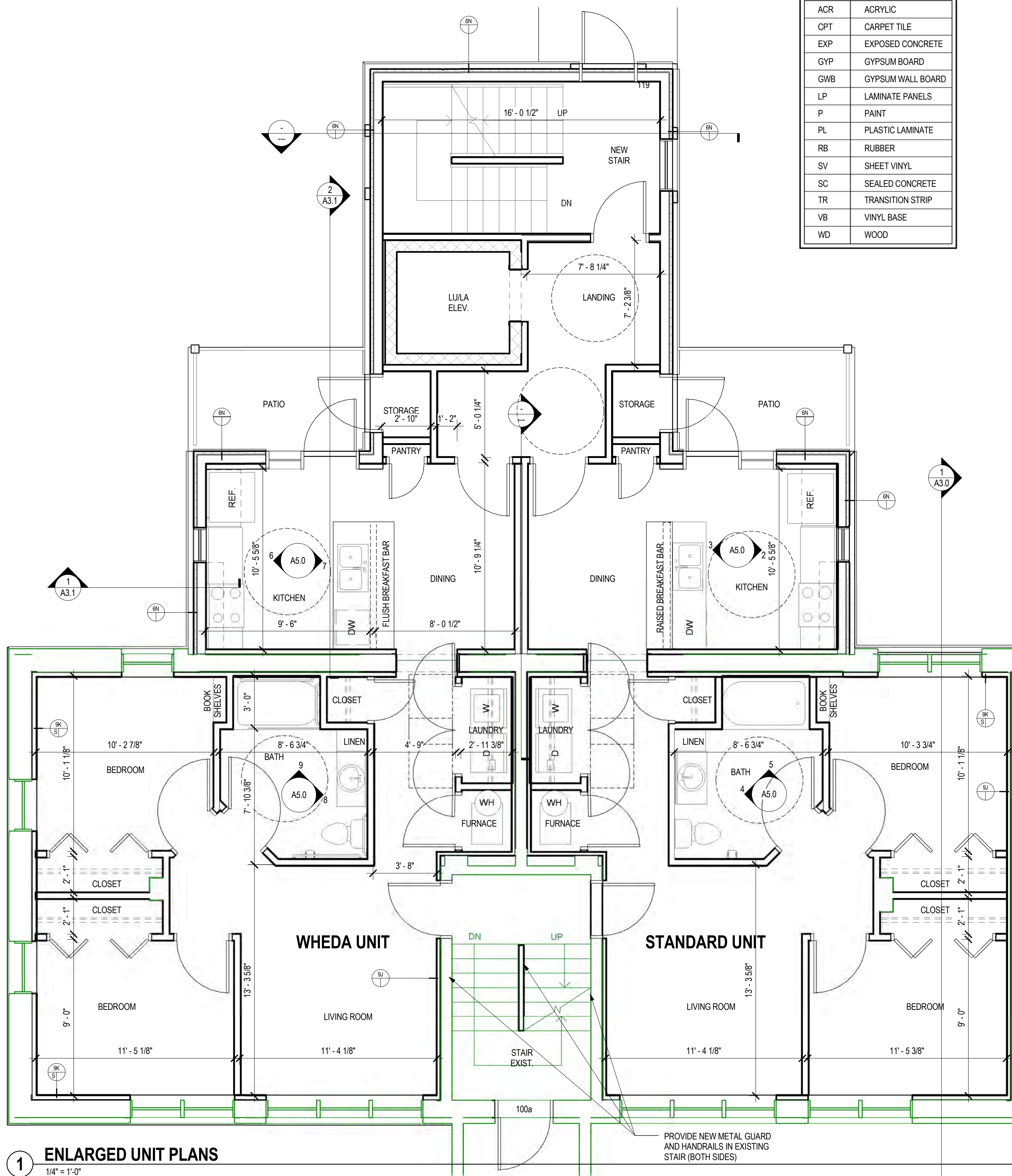
**8 BATH ELEVATION - WHEDA UNIT**  
1/4" = 1'-0"



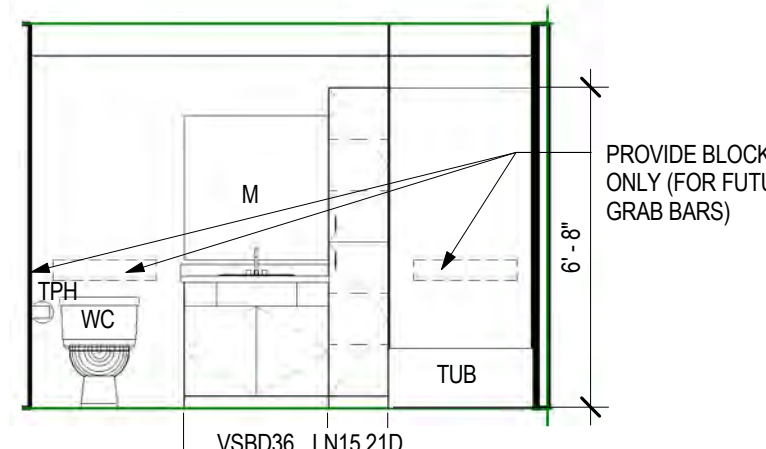
**7 KITCHEN ELEVATION - WHEDA UNIT**  
1/4" = 1'-0"



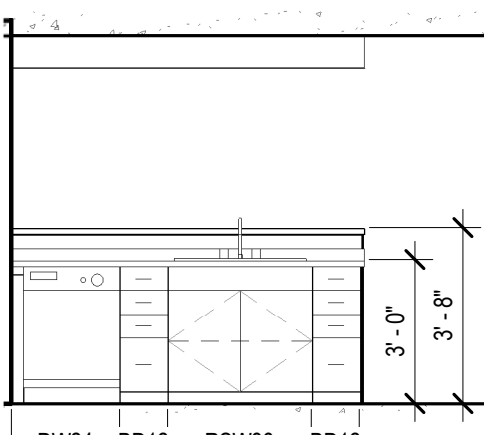
**6 KITCHEN ELEVATION - WHEDA UNIT**  
1/4" = 1'-0"



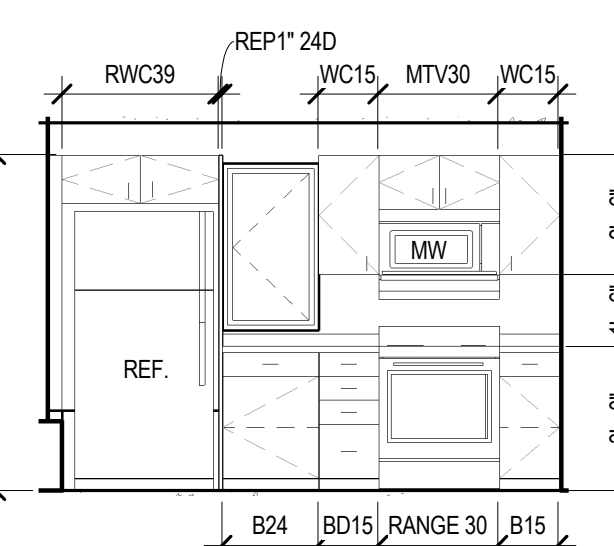
**5 BATH ELEVATION - STANDARD UNIT**  
1/4" = 1'-0"



**4 BATH ELEVATION - STANDARD UNIT**  
1/4" = 1'-0"

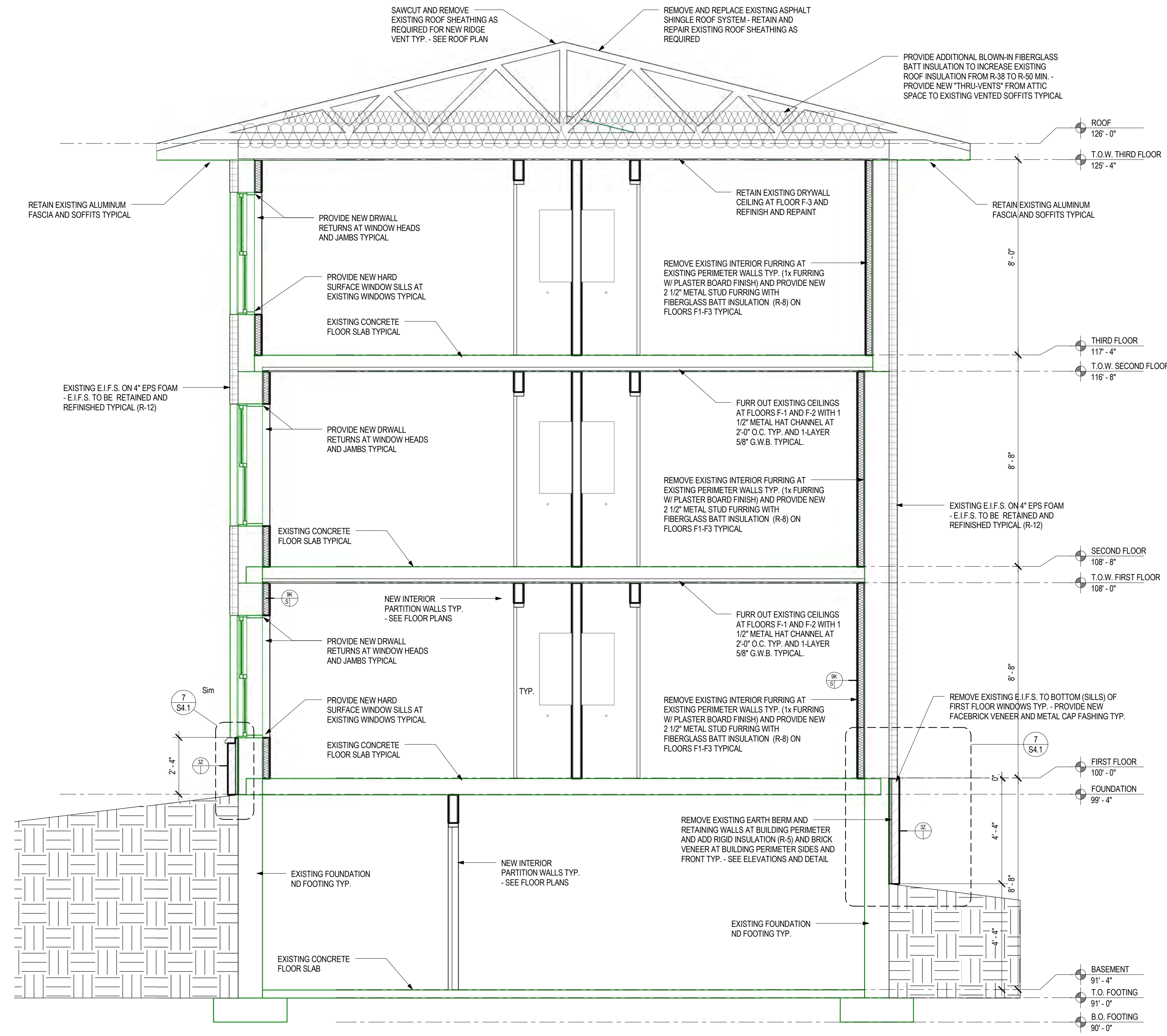


**3 KITCHEN ELEVATION - STANDARD UNIT**  
1/4" = 1'-0"



**2 KITCHEN ELEVATION - STANDARD UNIT**  
1/4" = 1'-0"





**1** TRANSVERSE BUILDING SECTION  
 3/8" = 1'-0"

**TRUAX PARK  
 REDEVELOPMENT -  
 PHASE I  
 Madison WI**  
 1501-1507 WRIGHT STREET  
 3502-3534 STRAUBEL STREET  
 MADISON WI

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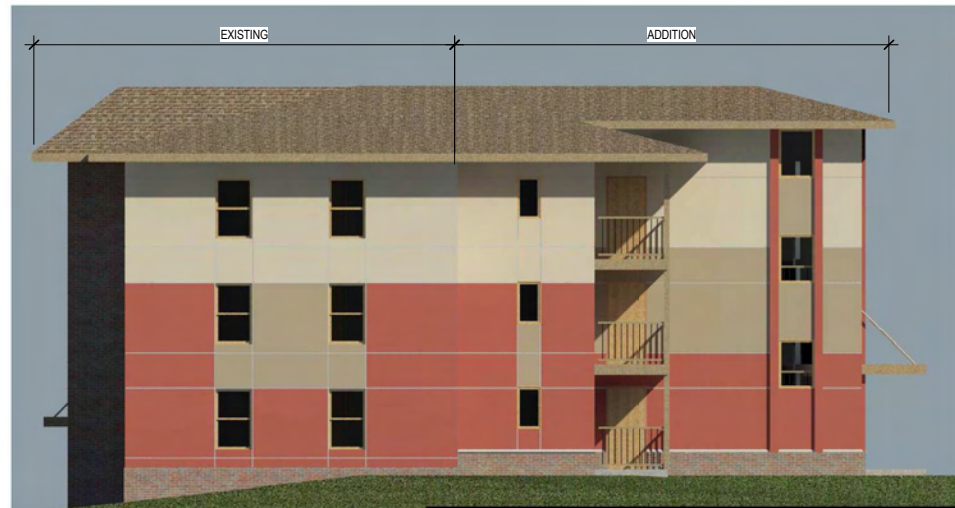
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PROJECT # 09023

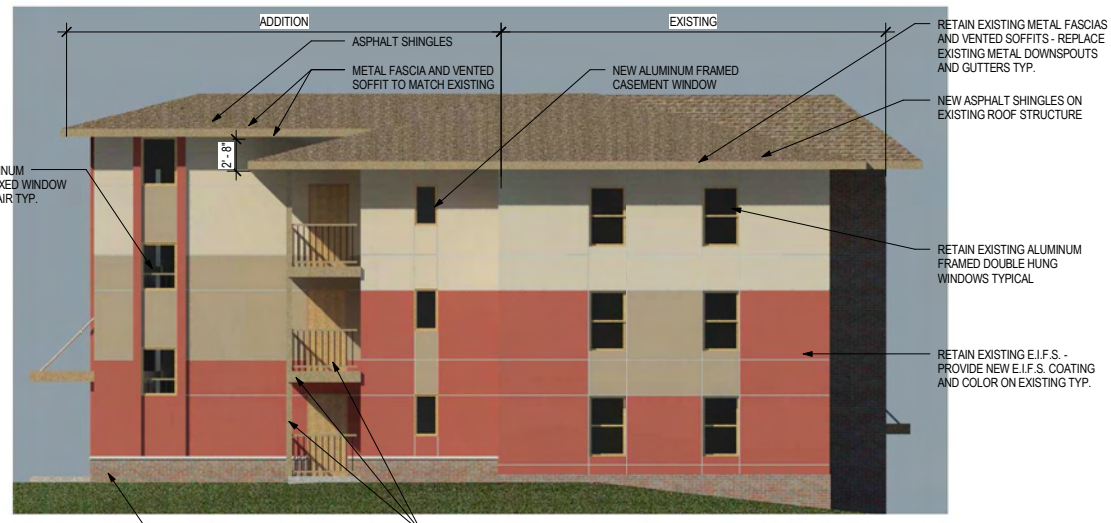
**BUILDING  
 SECTIONS**

**A3.0**





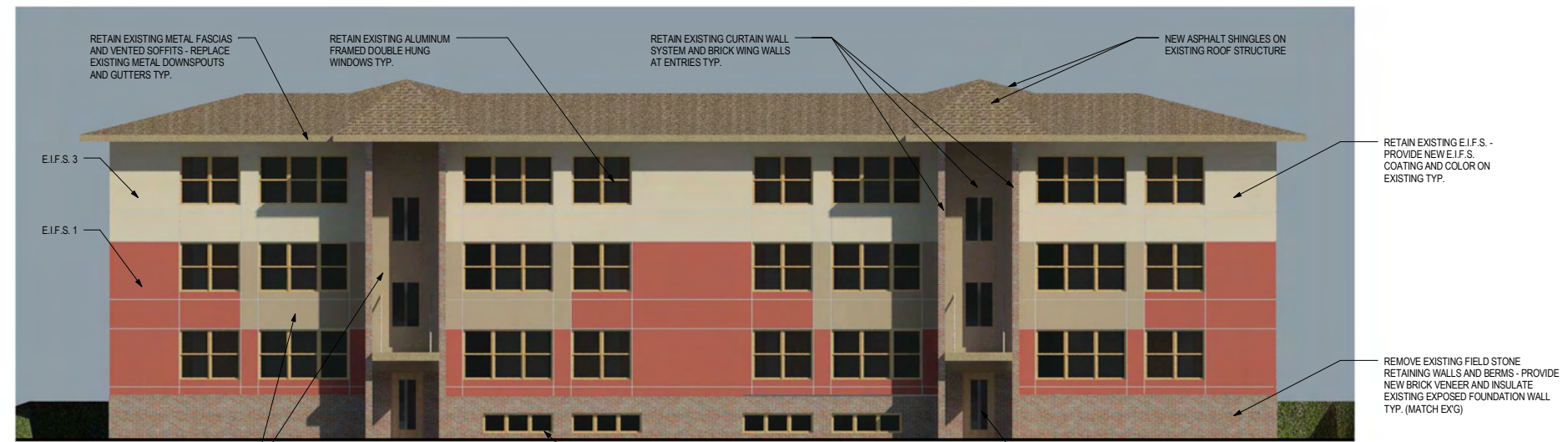
**4 RIGHT SIDE ELEVATION**  
1/8" = 1'-0"



**3 LEFT SIDE ELEVATION**  
1/8" = 1'-0"



**2 REAR ELEVATION**  
1/8" = 1'-0"



**1 FRONT ELEVATION**  
1/8" = 1'-0"

**TRUAX PARK REDEVELOPMENT - PHASE I**  
Madison WI  
1501-1507 WRIGHT STREET  
3502-3534 STRAUBEL STREET  
MADISON WI

DATE OF ISSUE: 03-31-2010

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PROJECT # 09023

**EXTERIOR ELEVATIONS**

**A2.0**



**TRUAX PARK  
 REDEVELOPMENT -  
 PHASE I  
 Madison WI**

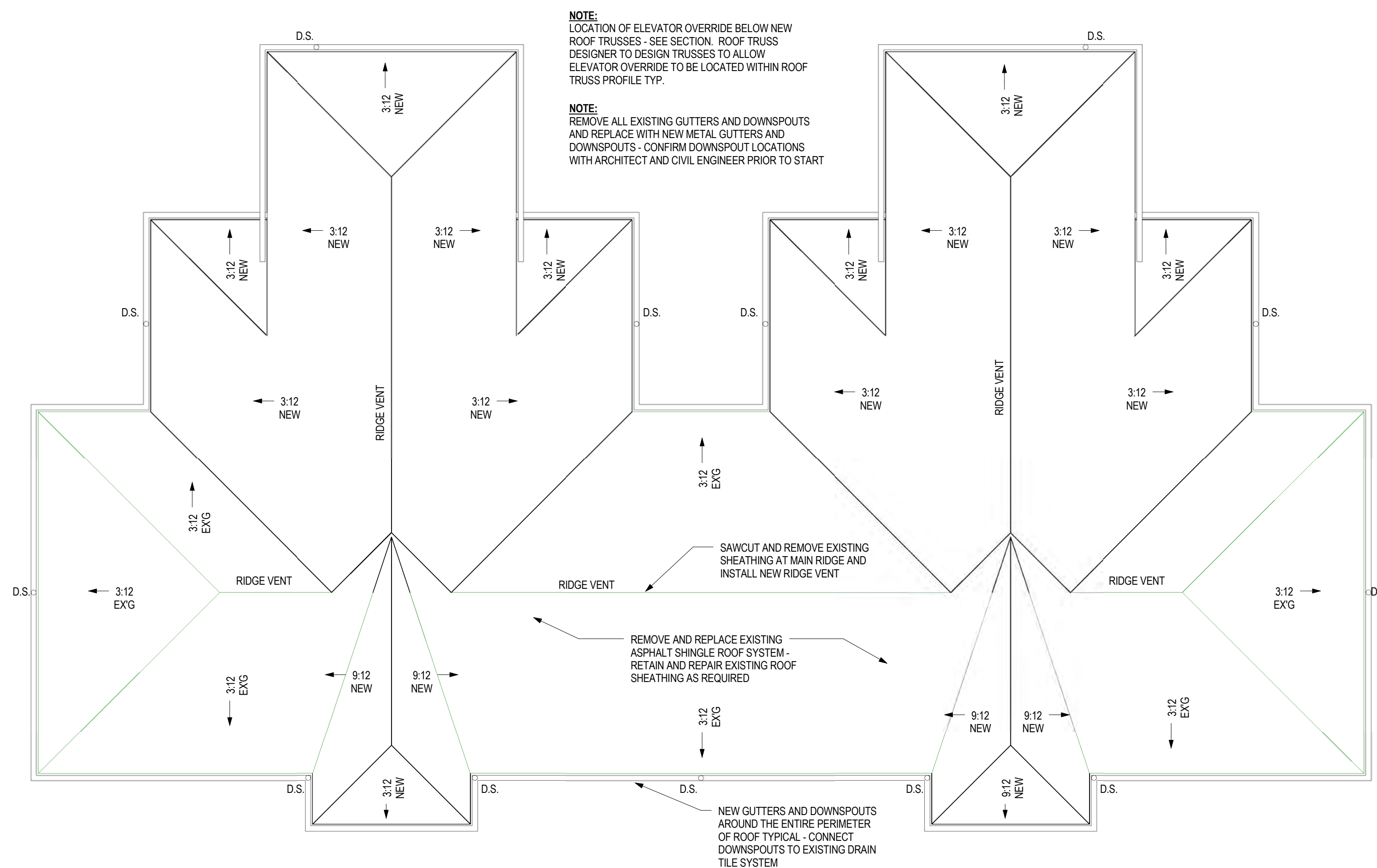
1501-1507 WRIGHT STREET  
 3502-3534 STRAUBEL STREET  
 MADISON WI

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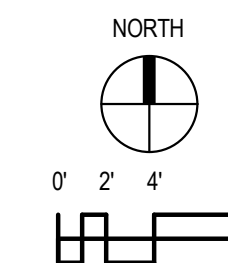
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PROJECT # 09023

ROOF PLAN



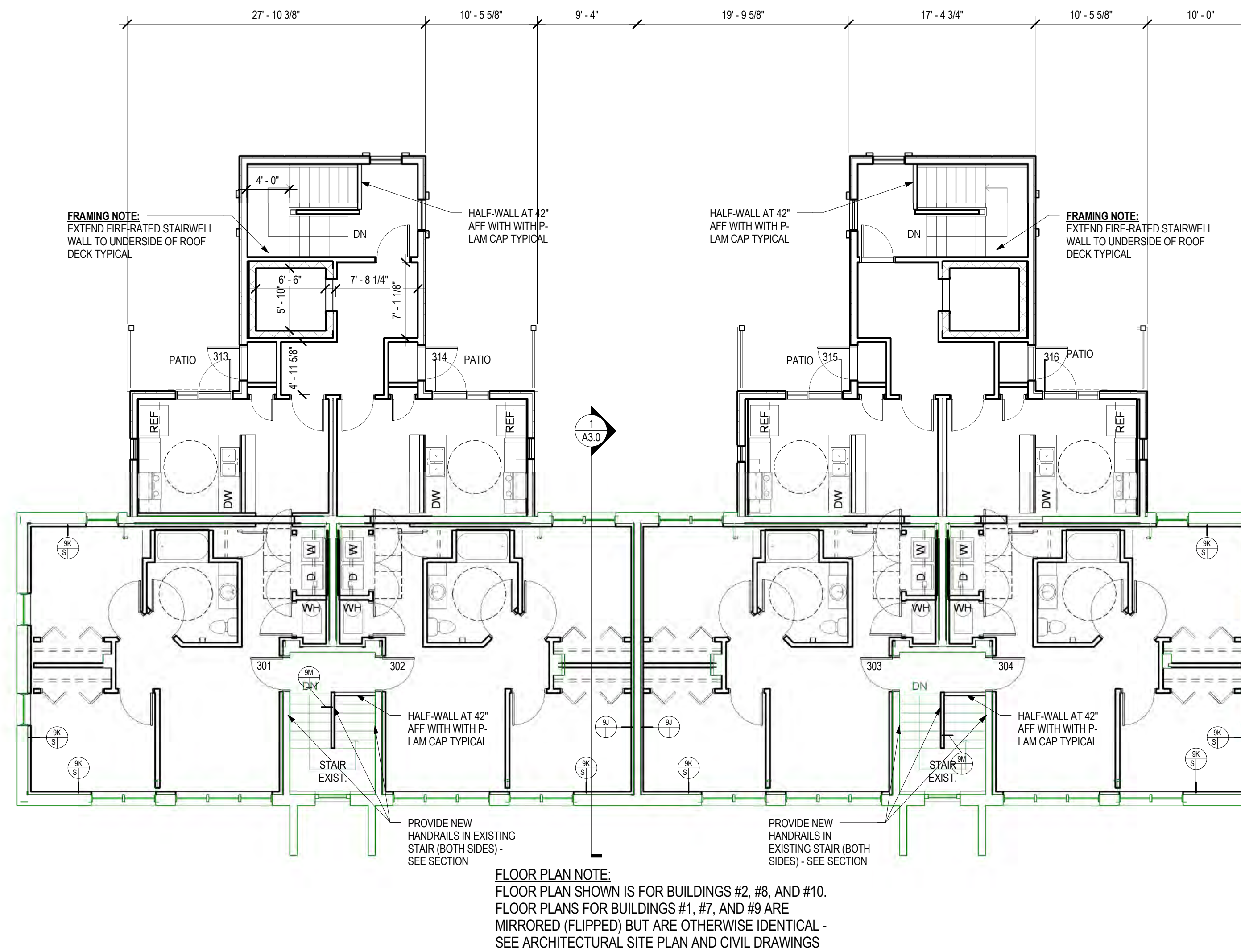
**1 ROOF PLAN**  
 1/8" = 1'-0"



**A1.4**

**TRUAX PARK  
 REDEVELOPMENT -  
 PHASE I  
 Madison WI**

1501-1507 WRIGHT STREET  
 3502-3534 STRAUBEL STREET  
 MADISON WI



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THIRD FLOOR PLAN

**1 THIRD FLOOR PLAN**  
 1/8" = 1'-0"



**TRUAX PARK  
 REDEVELOPMENT -  
 PHASE I  
 Madison WI**

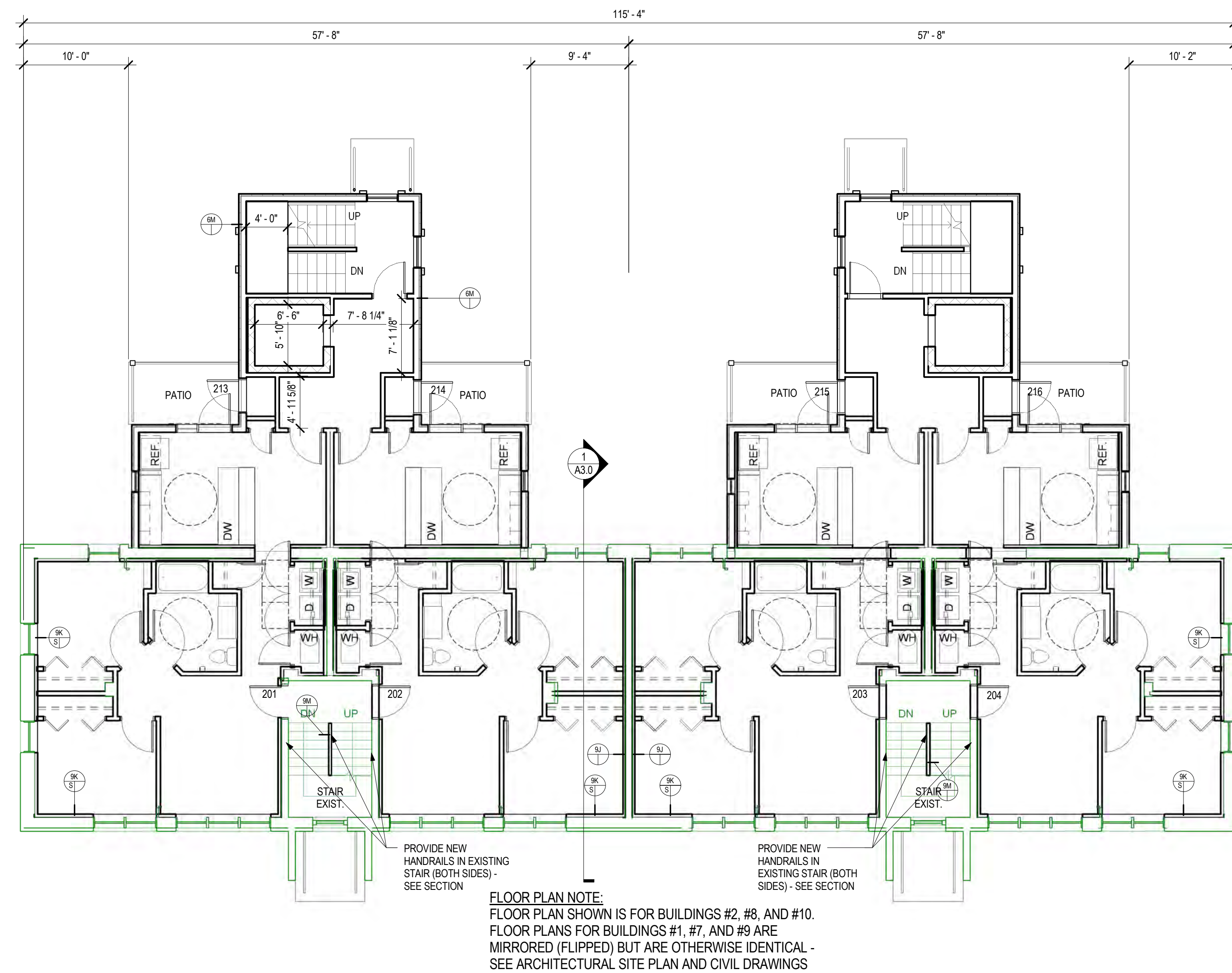
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**SECOND FLOOR  
 PLAN**



**1 SECOND FLOOR PLAN**  
 1/8" = 1'-0"



**TRUAX PARK  
 REDEVELOPMENT -  
 PHASE I  
 Madison WI**

1501-1507 WRIGHT STREET  
 3502-3534 STRAUBEL STREET  
 MADISON WI

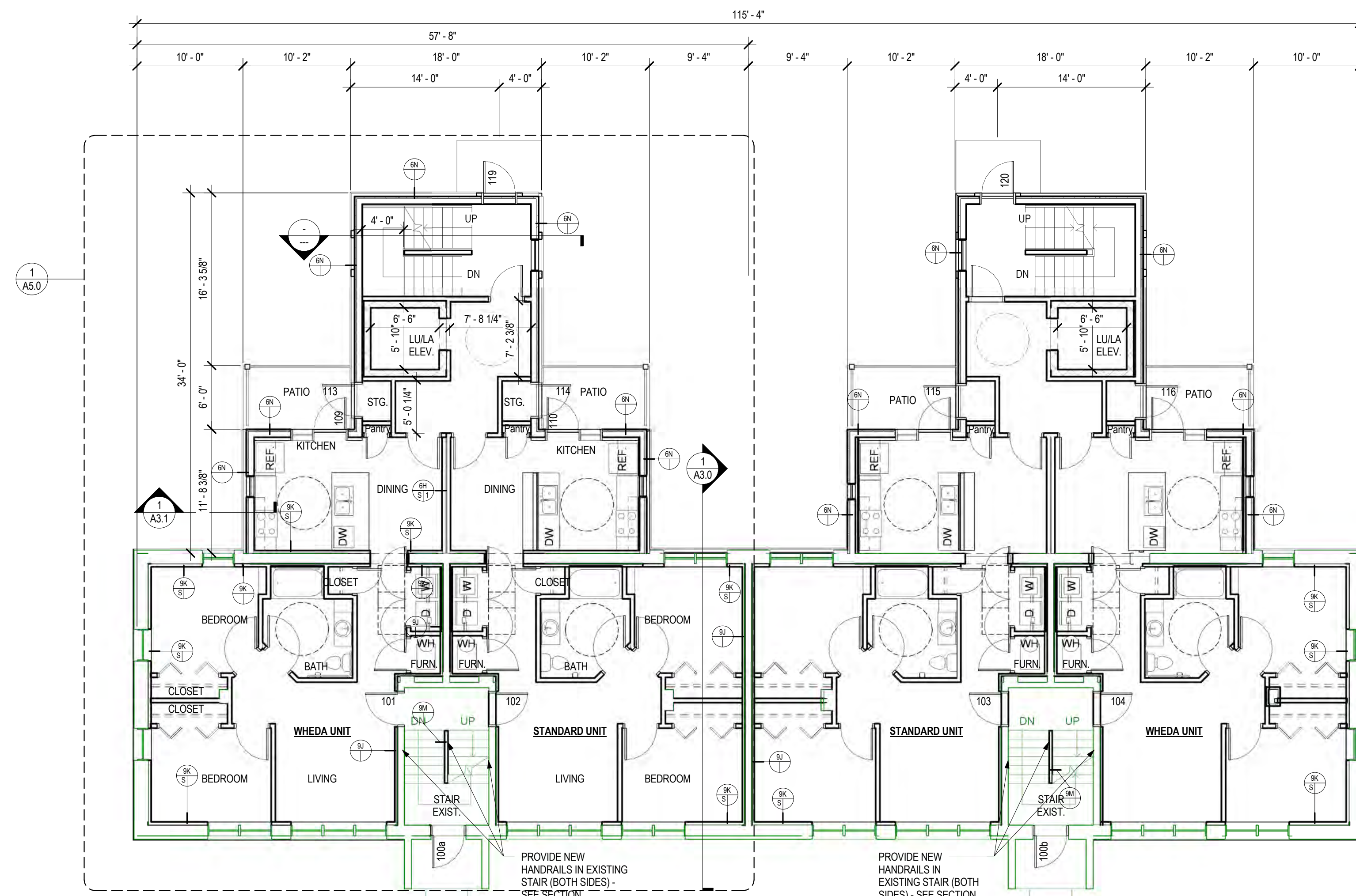
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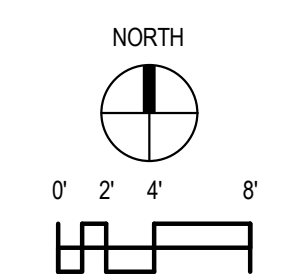
FIRST FLOOR PLAN

- FLOOR PLAN GENERAL NOTES**
- SEE SHEET A5.0 FOR LARGE SCALE PLANS.
  - SEE SHEET A5.0 FOR INTERIOR ELEVATIONS.
  - PROVIDE VERTICAL CONTROL JOINTS (C/J'S) FULL HEIGHT OF WALL AT BOTH JAMBS OF ALL INTERIOR DOOR AND WINDOW FRAMES AT ALL METAL STUD/GYPSUM BOARD PARTITIONS, TYPICAL. OTHER CJ LOCATIONS AS INDICATED ON PLANS.
  - VERIFY SIZE AND LOCATIONS OF ALL MECHANICAL OPENINGS. GENERAL CONTRACTOR TO PAINT AND SEAL LOUVER PERIMETER, TYPICAL.
  - GENERAL CONTRACTOR TO PROVIDE CONCRETE EQUIPMENT PADS/CURBS AS REQUIRED FOR MECHANICAL/ELECTRICAL EQUIPMENT. VERIFY SIZE/PROFILE/LOCATION WITH PLUMBING/MECHANICAL/ELECTRICAL.
  - GENERAL CONTRACTOR TO INSTALL FOAM FILLER AT ALL MASONRY WALL CONTROL EXPANSION JOINTS AND SEAL BOTH SIDES (WALL REINFORCING TO DISCONTINUE AT JOINTS).
  - GENERAL CONTRACTOR TO PROVIDE WOOD BLOCKING BETWEEN WOOD/METAL STUDS AS REQUIRED FOR CASEWORK/HANDRAIL/TOILET ACCESSORIES ETC. MOUNTING.
  - PROVIDE VINYL CARPET EDGE AT ALL CARPET TO DISSIMILAR FLOOR MATERIALS UNLESS NOTED OTHERWISE (I.N.O.).
  - REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL CONTROL JOINTS.
  - VERIFY ALL ACTUAL CHASE DIMENSIONS WITH HVAC CONTRACTOR.
  - ADA CLEARANCE CIRCLES AND BOXES SHOWN ON PLAN ARE FOR INFORMATION PURPOSES ONLY.
  - DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.



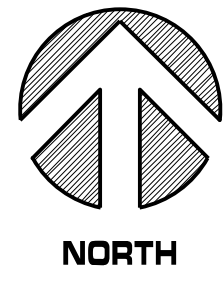
FLOOR PLAN NOTE:  
 FLOOR PLAN SHOWN IS FOR BUILDINGS #2, #8, AND #10.  
 FLOOR PLANS FOR BUILDINGS #1, #7, AND #9 ARE  
 MIRRORED (FLIPPED) BUT ARE OTHERWISE IDENTICAL -  
 SEE ARCHITECTURAL SITE PLAN AND CIVIL DRAWINGS

**1 FIRST FLOOR PLAN**  
 1/8" = 1'-0"



**A1.1**





WRIGHT STREET

PROPERTY LINE

PROPERTY LINE

REMOVE EXISTING ASPHALT (8,045 S.F.)

PLAYGROUND EQUIPMENT

REMOVE EX. TREES

REMOVE EX. RETAINING WALLS & LANDSCAPING

REMOVE EX. TREES

REMOVE EX. RETAINING WALLS & LANDSCAPING

REMOVE EX. TREES

REMOVE EX. TREES

PLAYGROUND EQUIPMENT

EXISTING ASPHALT TO REMAIN

REMOVE EX. TREE

REMOVE EXISTING ASPHALT (1,500 S.F.)

REMOVE EX. TREE

REMOVE EX. RETAINING WALLS & LANDSCAPING

REMOVE EXISTING ASPHALT (12,054 S.F.)

BENCHMARK HYD OPERATING NUT ELEV 868.82

REMOVE EX. RETAINING WALLS & LANDSCAPING

STRAUBEL STREET

REMOVE EX. RETAINING WALLS & LANDSCAPING

STRAUBEL STREET

PROPERTY LINE

BENCHMARK HYD OPERATING NUT ELEV 868.92

REMOVE EX. RETAINING WALLS & LANDSCAPING

REMOVE EXISTING ASPHALT (7,671 S.F.)

REMOVE EX. TREE

PLAYGROUND EQUIPMENT

COMMUNITY GARDENS

PROPERTY LINE

EAST EMCC MADISON COMMUNITY CENTER

870.62

GRAVEL PATH

ARCHITECT:

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Community Development Authority  
215 Martin Luther King Jr. #318  
Madison, WI 53703  
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CDA TRUAX PARK APARTMENTS

WRIGHT STREET  
MADISON, WISCONSIN

DATE OF ISSUE: 03/31/10

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PROJECT #: 09023

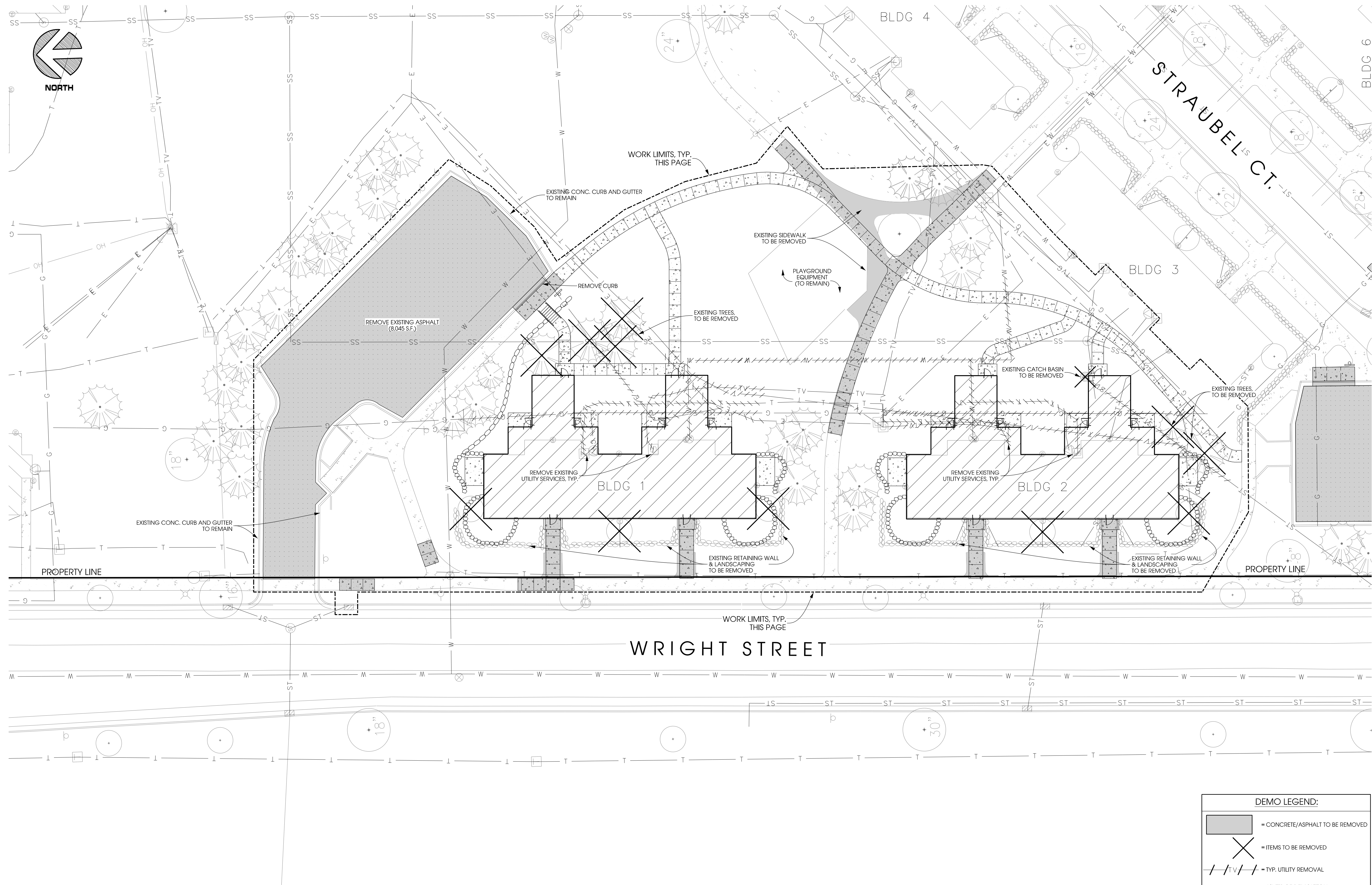
OVERALL DEMO PLAN

**DEMO LEGEND:**  
X = ITEMS TO BE REMOVED  
[Hatched Area] = CONCRETE/ASPHALT TO BE REMOVED

40' 0 40' 80'  
SCALE: 11" x 17" - 1" = 80'  
22" x 34" - 1" = 40'

**C1.0**





NORTH

BLDG 4

BLDG 6

STRAUBEL CT.

BLDG 3

BLDG 1

BLDG 2

WRIGHT STREET

WORK LIMITS, TYP. THIS PAGE

WORK LIMITS, TYP. THIS PAGE

REMOVE EXISTING ASPHALT (8,045 S.F.)

EXISTING CONC. CURB AND GUTTER TO REMAIN

REMOVE CURB

EXISTING SIDEWALK TO BE REMOVED

PLAYGROUND EQUIPMENT (TO REMAIN)

EXISTING TREES TO BE REMOVED

EXISTING CATCH BASIN TO BE REMOVED

EXISTING TREES TO BE REMOVED

REMOVE EXISTING UTILITY SERVICES, TYP.

REMOVE EXISTING UTILITY SERVICES, TYP.

EXISTING CONC. CURB AND GUTTER TO REMAIN

EXISTING RETAINING WALL & LANDSCAPING TO BE REMOVED

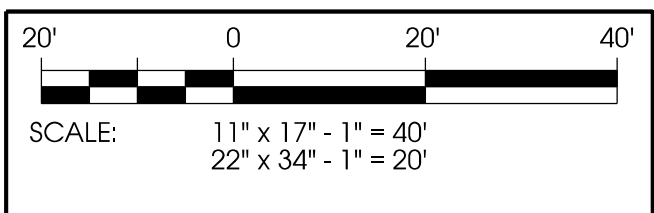
EXISTING RETAINING WALL & LANDSCAPING TO BE REMOVED

PROPERTY LINE

PROPERTY LINE

**DEMO LEGEND:**

	= CONCRETE/ASPHALT TO BE REMOVED
	= ITEMS TO BE REMOVED
	= TYP. UTILITY REMOVAL
	= LIMITS OF DEMOLITION
	= SAW CUT LINE



ARCHITECT:  
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**CDA TRUAX PARK APARTMENTS**  
 WRIGHT STREET  
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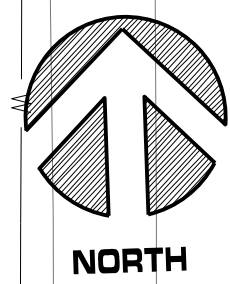
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PROJECT #: 09023

**BLDG 1 & 2  
 DEMO PLAN**

**C1.1**





WRIGHT STREET

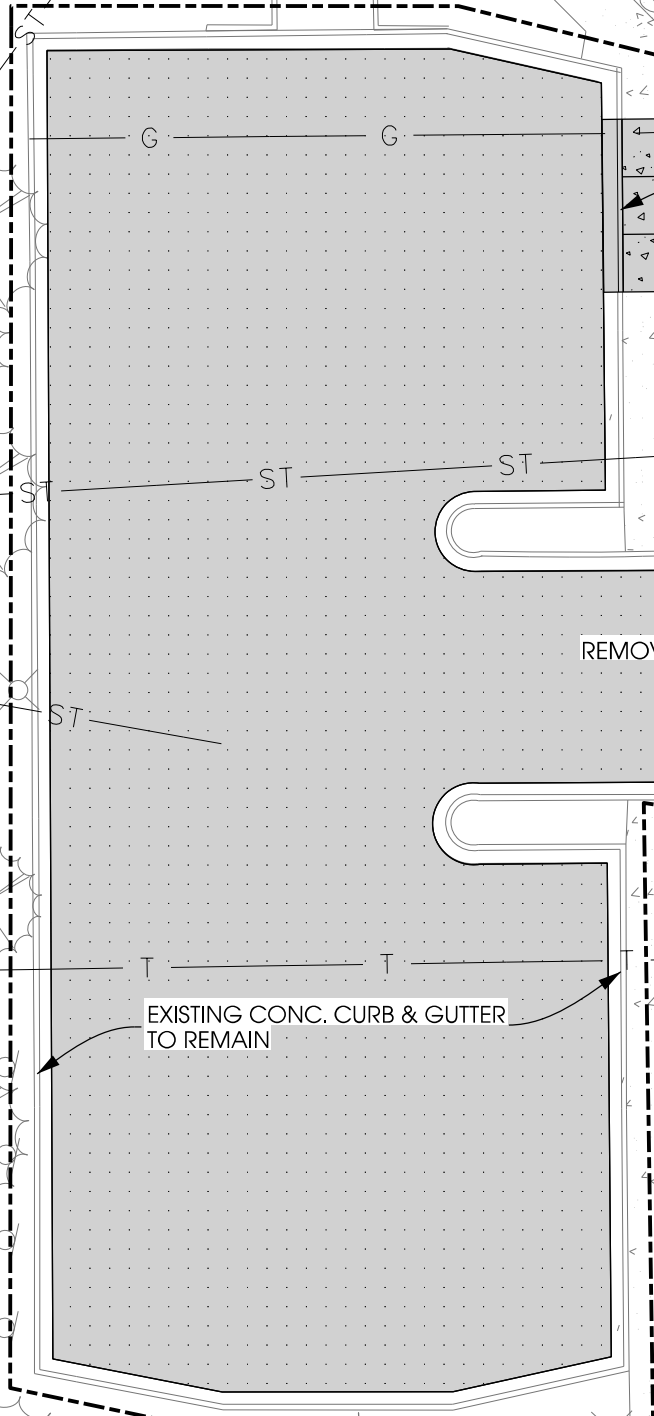
STRAUBEL CT. ST.

STRAUBEL STREET

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE



BLDG 6

BLDG 7

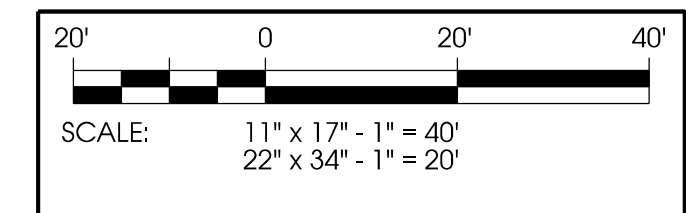
BLDG 8

WORK LIMITS, TYP. THIS PAGE

WORK LIMITS, TYP. THIS PAGE

**DEMO LEGEND:**

	= CONCRETE/ASPHALT TO BE REMOVED
	= ITEMS TO BE REMOVED
	= TYP. UTILITY REMOVAL
	= LIMITS OF DEMOLITION
	= SAW CUT LINE



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**CDA TRUAX PARK APARTMENTS**  
 WRIGHT STREET  
 MADISON, WISCONSIN

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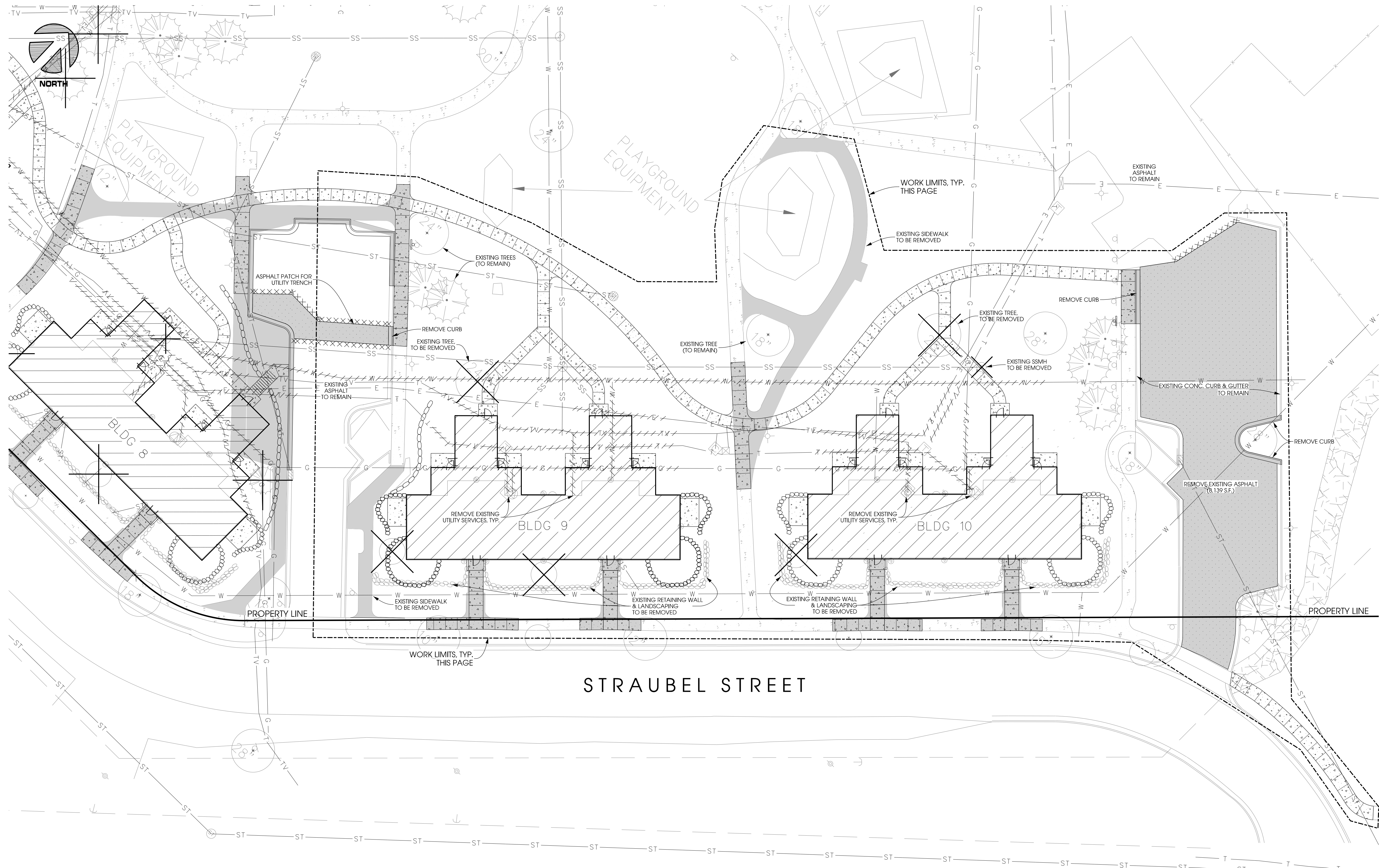
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PROJECT #: 09023

**BLDG 7 & 8 DEMO PLAN**

**C1.2**





ARCHITECT:  
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 dimensivmadison.com

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**CDA TRUAX PARK APARTMENTS**  
 WRIGHT STREET  
 MADISON, WISCONSIN

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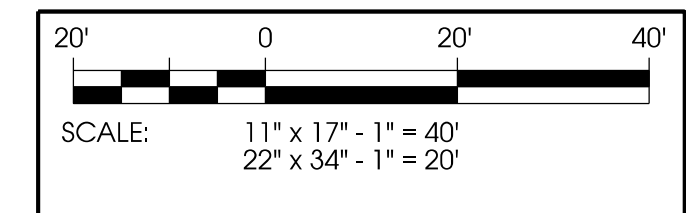
PROJECT #: 09023

**BLDG 9 & 10  
 DEMO PLAN**

**C1.3**

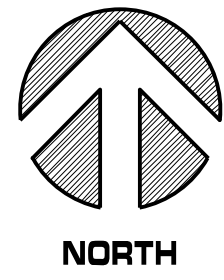
**DEMO LEGEND:**

	= CONCRETE/ASPHALT TO BE REMOVED
	= ITEMS TO BE REMOVED
	= TYP. UTILITY REMOVAL
	= LIMITS OF DEMOLITION
	= SAW CUT LINE

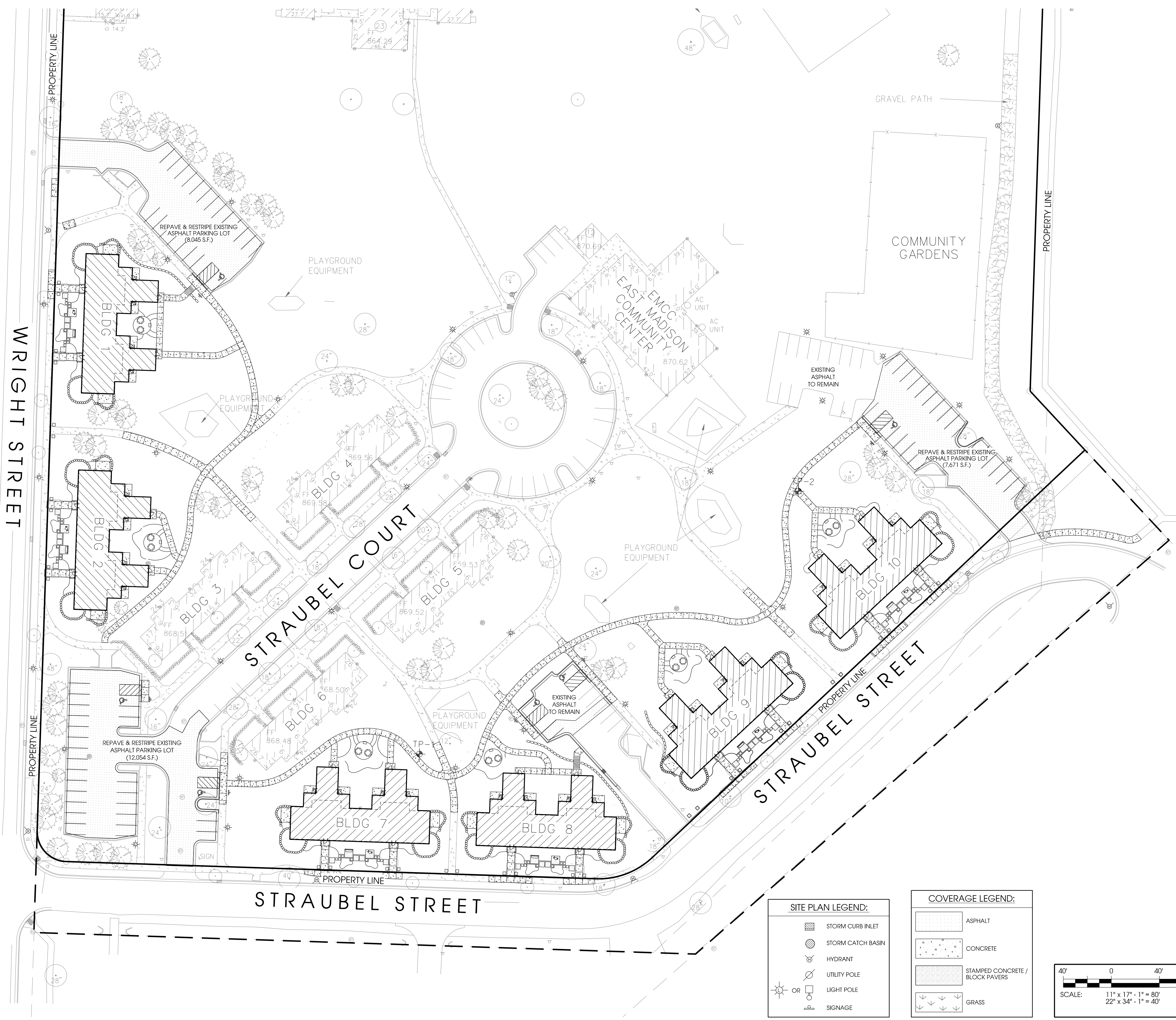


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WRIGHT STREET

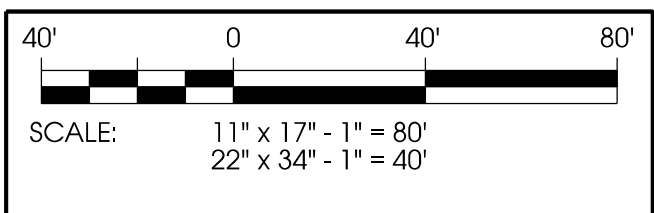


**SITE PLAN LEGEND:**

	STORM CURB INLET
	STORM CATCH BASIN
	HYDRANT
	UTILITY POLE
	LIGHT POLE
	SIGNAGE

**COVERAGE LEGEND:**

	ASPHALT
	CONCRETE
	STAMPED CONCRETE / BLOCK PAVERS
	GRASS



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 WRIGHT STREET  
 MADISON, WISCONSIN

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PROJECT #: 09023

OVERALL SITE PLAN

**C2.0**

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BLDG 4

BLDG 6

STRAUBEL CT.

BLDG 3

BLDG 1

BLDG 2

WRIGHT STREET

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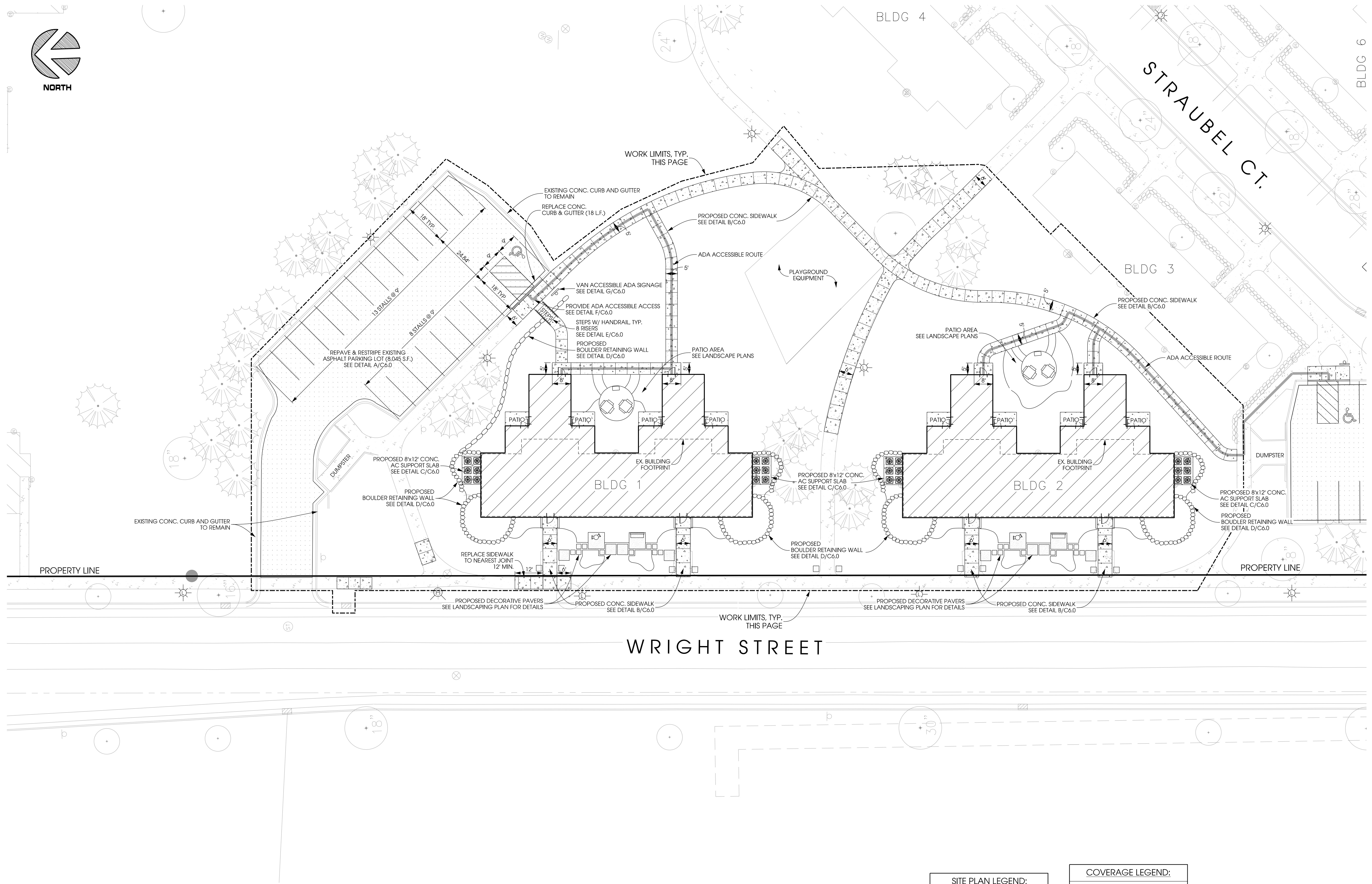
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WRIGHT STREET  
MADISON, WISCONSIN

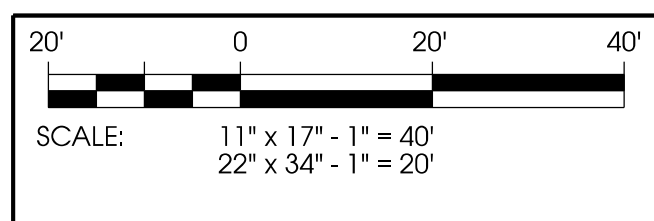


**SITE PLAN LEGEND:**

	STORM CURB INLET
	STORM CATCH BASIN
	HYDRANT
	UTILITY POLE
	LIGHT POLE
	SIGNAGE

**COVERAGE LEGEND:**

	ASPHALT
	CONCRETE
	STAMPED CONCRETE / BLOCK PAVERS
	GRASS



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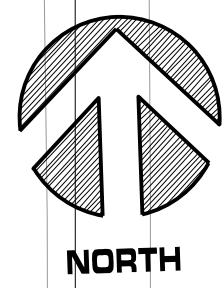
PROJECT #: 09023

BLDG 1 & 2  
SITE PLAN

**C2.1**

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NORTH

WRIGHT STREET

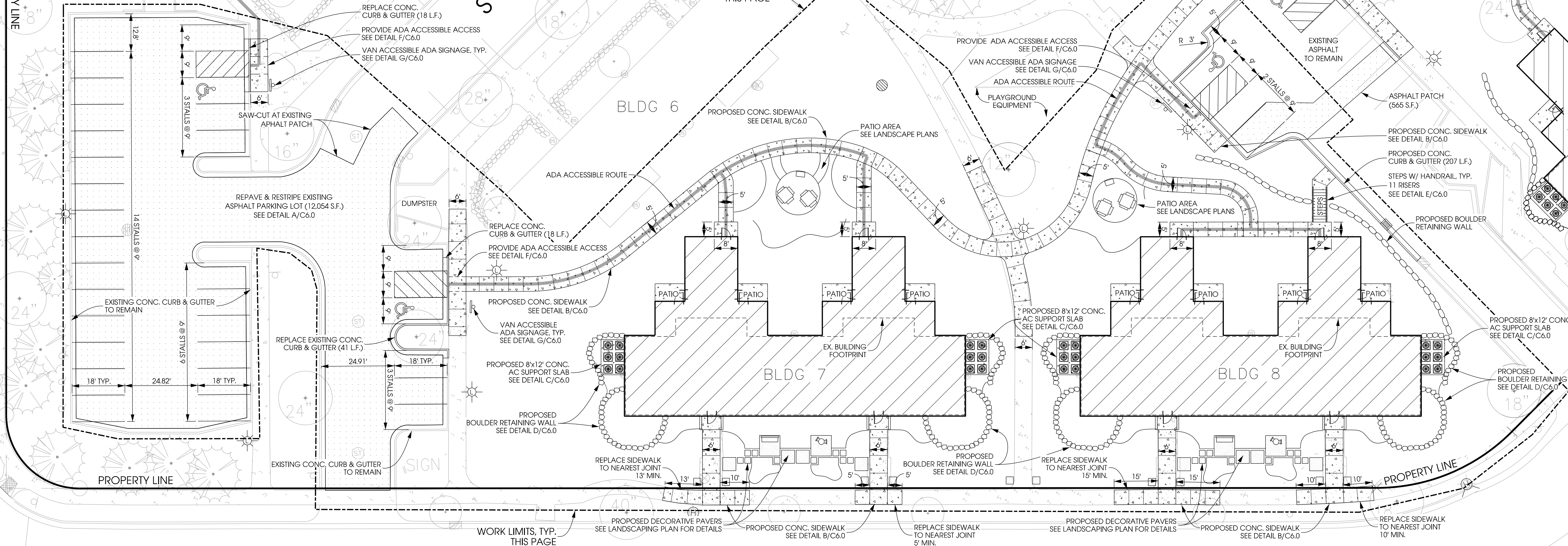
STRAUBEL CT.

STRAUBEL STREET

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE



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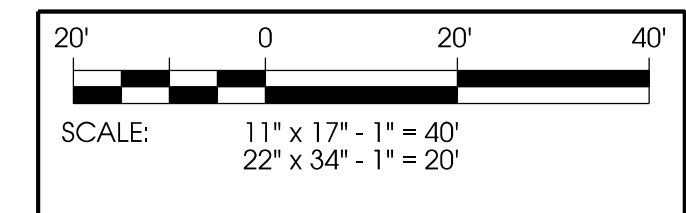
**BLDG 7 & 8 SITE PLAN**

**SITE PLAN LEGEND:**

	STORM CURB INLET
	STORM CATCH BASIN
	HYDRANT
	UTILITY POLE
	LIGHT POLE
	SIGNAGE

**COVERAGE LEGEND:**

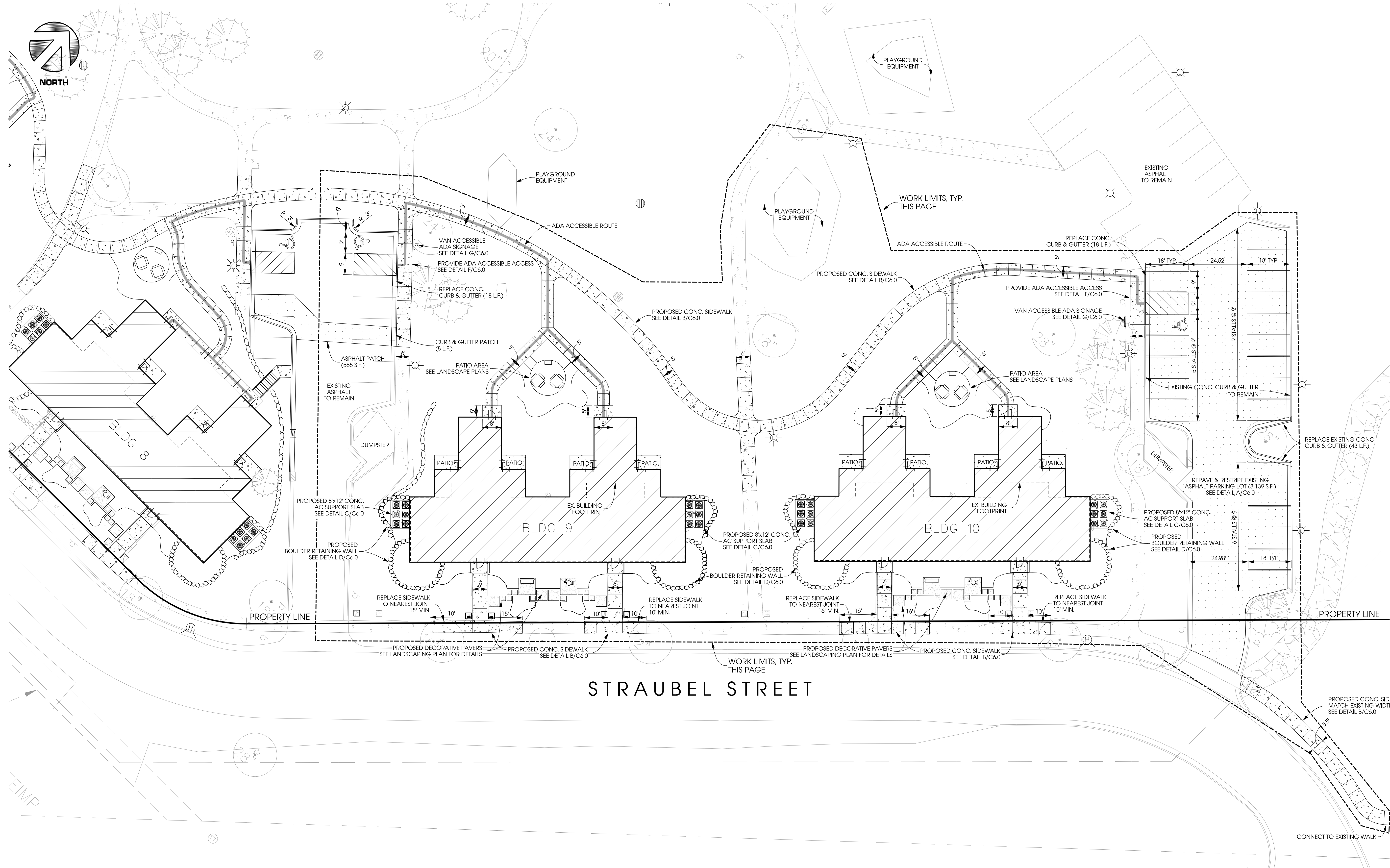
	ASPHALT
	CONCRETE
	STAMPED CONCRETE / BLOCK PAVERS
	GRASS



**C2.2**

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 MADISON, WISCONSIN

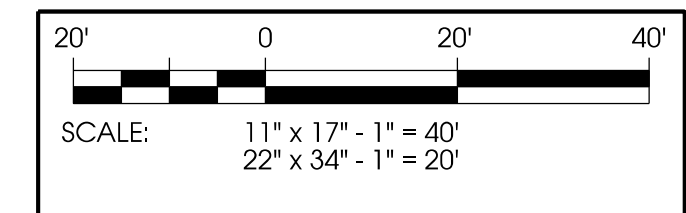
**STRAUBEL STREET**

**SITE PLAN LEGEND:**

	STORM CURB INLET
	STORM CATCH BASIN
	HYDRANT
	UTILITY POLE
	LIGHT POLE
	SIGNAGE

**COVERAGE LEGEND:**

	ASPHALT
	CONCRETE
	STAMPED CONCRETE / BLOCK PAVERS
	GRASS



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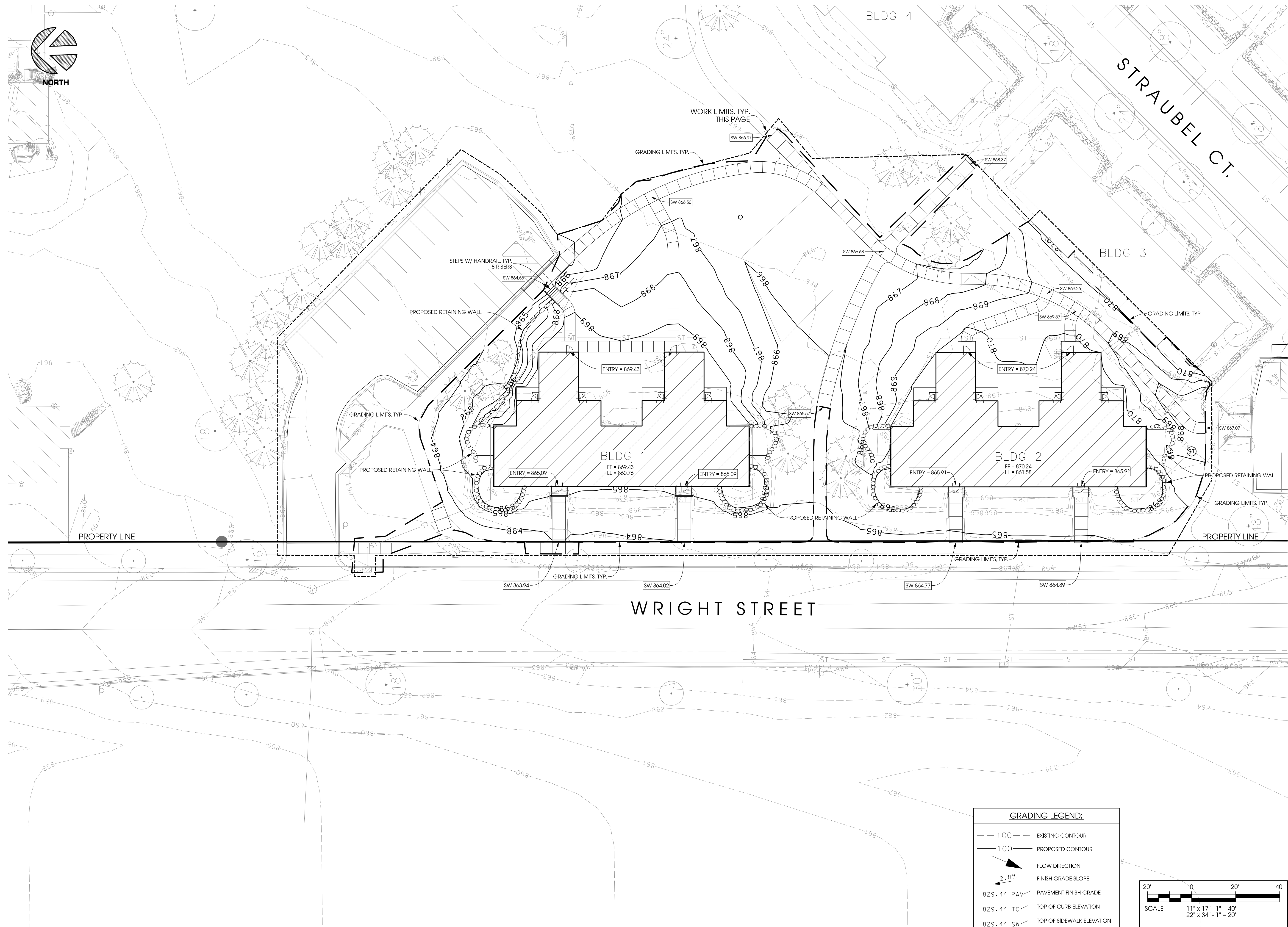
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**BLDG 9 & 10  
SITE PLAN**

**C2.3**

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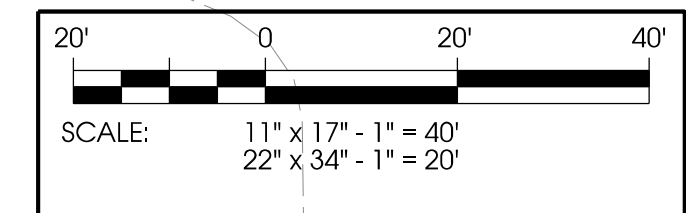
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**GRADING LEGEND:**

--- 1 00 ---	EXISTING CONTOUR
— 1 00 —	PROPOSED CONTOUR
→	FLOW DIRECTION
2.8%	FINISH GRADE SLOPE
829.44 PAV	PAVEMENT FINISH GRADE
829.44 TC	TOP OF CURB ELEVATION
829.44 SW	TOP OF SIDEWALK ELEVATION



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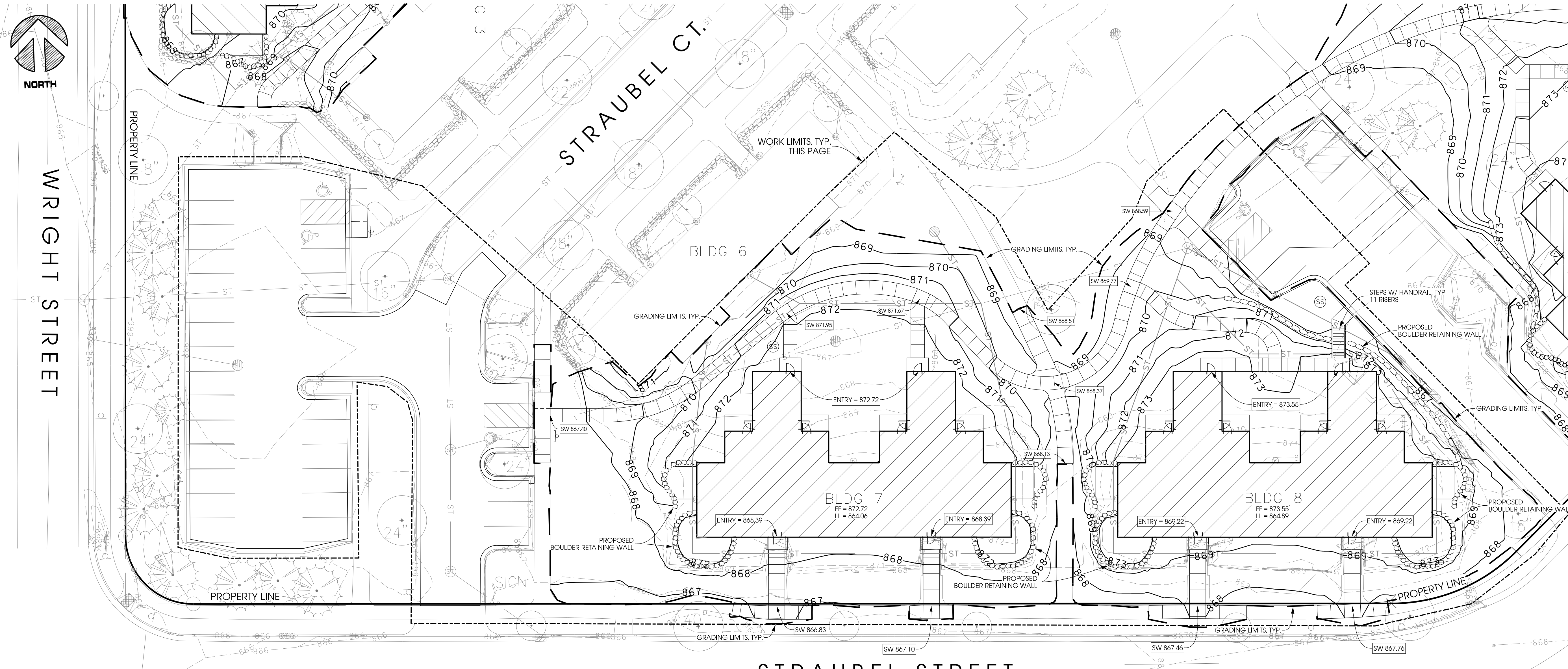
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**BLDG 1 & 2  
 GRADING PLAN**

**C3.1**

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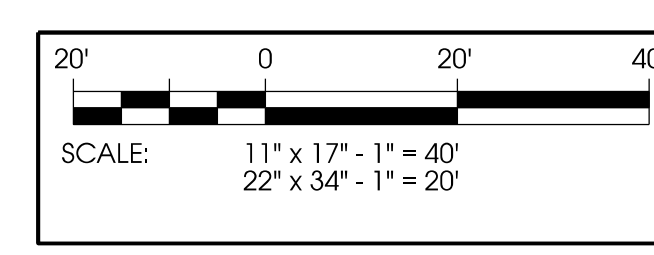
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**CDA TRUAX PARK APARTMENTS**  
 WRIGHT STREET  
 MADISON, WISCONSIN

**STRAUBEL STREET**

**GRADING LEGEND:**

--- 100 ---	EXISTING CONTOUR
— 100 —	PROPOSED CONTOUR
→	FLOW DIRECTION
↘ 2.8%	FINISH GRADE SLOPE
829.44 PAV	PAVEMENT FINISH GRADE
829.44 TC	TOP OF CURB ELEVATION
829.44 SW	TOP OF SIDEWALK ELEVATION



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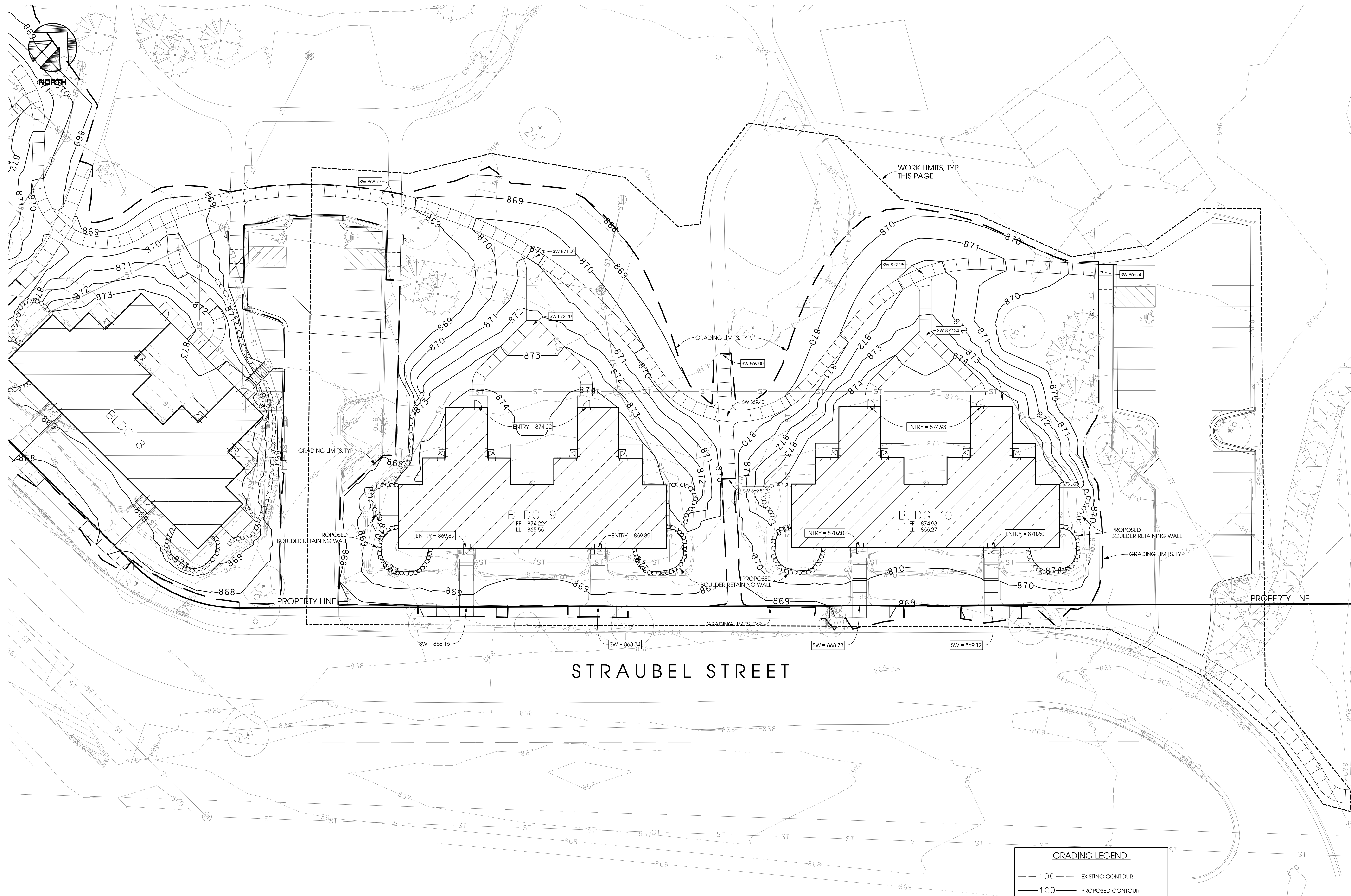
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**BLDG 7 & 8  
 GRADING PLAN**

**C3.2**





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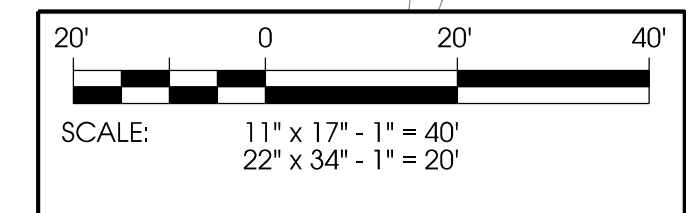
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 WRIGHT STREET  
 MADISON, WISCONSIN

**GRADING LEGEND:**

--- 100 ---	EXISTING CONTOUR
— 100 —	PROPOSED CONTOUR
→	FLOW DIRECTION
2.8%	FINISH GRADE SLOPE
829.44 PAV	PAVEMENT FINISH GRADE
829.44 TC	TOP OF CURB ELEVATION
829.44 SW	TOP OF SIDEWALK ELEVATION



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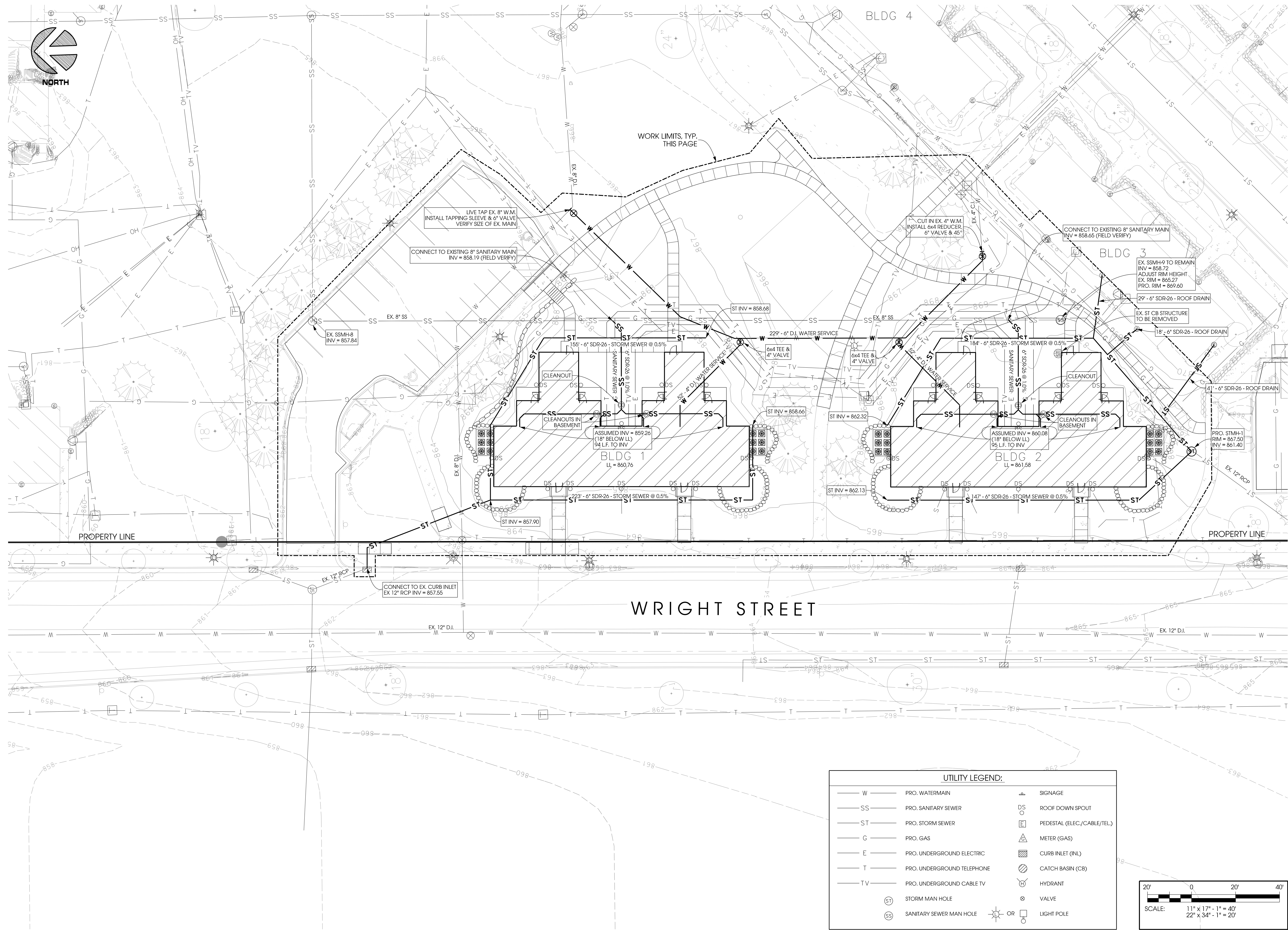
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**BLDG 9 & 10  
 GRADING PLAN**

**C3.3**

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BLDG 4

BLDG 3

BLDG 1  
LL = 860.76

BLDG 2  
LL = 861.58

WRIGHT STREET

PROPERTY LINE

PROPERTY LINE

WORK LIMITS, TYP.  
THIS PAGE

LIVE TAP EX. 8" W.M.  
INSTALL TAPPING SLEEVE & 6" VALVE  
VERIFY SIZE OF EX. MAIN

CONNECT TO EXISTING 8" SANITARY MAIN  
INV = 858.19 (FIELD VERIFY)

CUT IN EX. 4" W.M.  
INSTALL 6x4 REDUCER,  
6" VALVE & 45°

CONNECT TO EXISTING 8" SANITARY MAIN  
INV = 858.65 (FIELD VERIFY)

EX. SSMH-9 TO REMAIN  
INV = 858.72  
ADJUST RIM HEIGHT  
EX. RIM = 865.27  
PRO. RIM = 869.60

EX. SSMH-8  
INV = 857.84

ST INV = 858.68

ST INV = 858.66

ST INV = 862.32

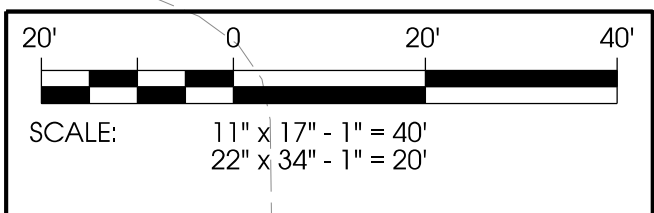
ST INV = 862.13

CONNECT TO EX. CURB INLET  
EX 12" RCP INV = 857.55

PRO. STMH-1  
RIM = 867.50  
INV = 861.40

UTILITY LEGEND:

W	PRO. WATERMAIN	▲	SIGNAGE
SS	PRO. SANITARY SEWER	DS	ROOF DOWN SPOUT
ST	PRO. STORM SEWER	□	PEDESTAL (ELEC./CABLE/TEL)
G	PRO. GAS	△	METER (GAS)
E	PRO. UNDERGROUND ELECTRIC	▨	CURB INLET (INL)
T	PRO. UNDERGROUND TELEPHONE	○	CATCH BASIN (CB)
TV	PRO. UNDERGROUND CABLE TV	⊕	HYDRANT
⊙	STORM MAN HOLE	⊗	VALVE
⊙	SANITARY SEWER MAN HOLE	⊙	LIGHT POLE



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WRIGHT STREET  
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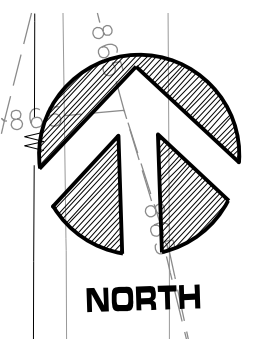
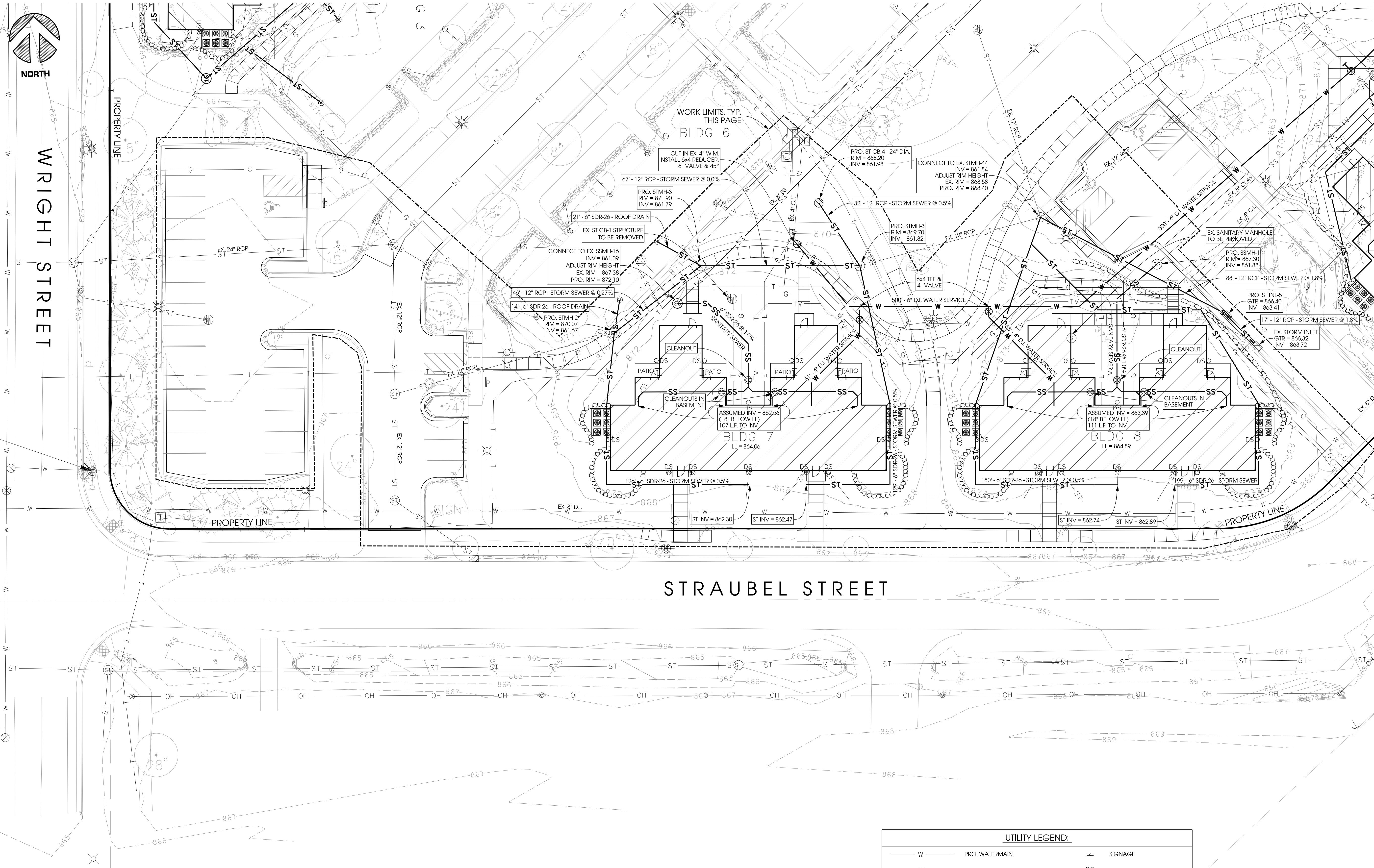
PROJECT #: 09023

**BLDG 1 & 2  
UTILITY PLAN**

**C4.1**

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WRIGHT STREET

STRAUBEL STREET

WORK LIMITS, TYP. THIS PAGE

BLDG 6

BLDG 7

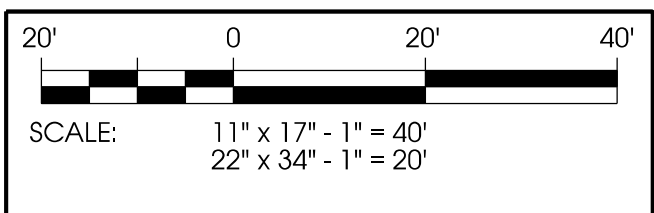
LL = 864.06

BLDG 8

LL = 864.89

UTILITY LEGEND:

— W —	PRO. WATERMAIN	— S —	PRO. SANITARY SEWER	— ST —	PRO. STORM SEWER	— G —	PRO. GAS	— E —	PRO. UNDERGROUND ELECTRIC	— T —	PRO. UNDERGROUND TELEPHONE	— TV —	PRO. UNDERGROUND CABLE TV	⊙	STORM MAN HOLE	⊙	SANITARY SEWER MAN HOLE	⊙	OR	⊙	LIGHT POLE	⊙	SIGNAGE	⊙	ROOF DOWN SPOUT	⊙	PEDESTAL (ELEC./CABLE/TEL.)	⊙	METER (GAS)	⊙	CURB INLET (INL.)	⊙	CATCH BASIN (CB)	⊙	HYDRANT	⊙	VALVE
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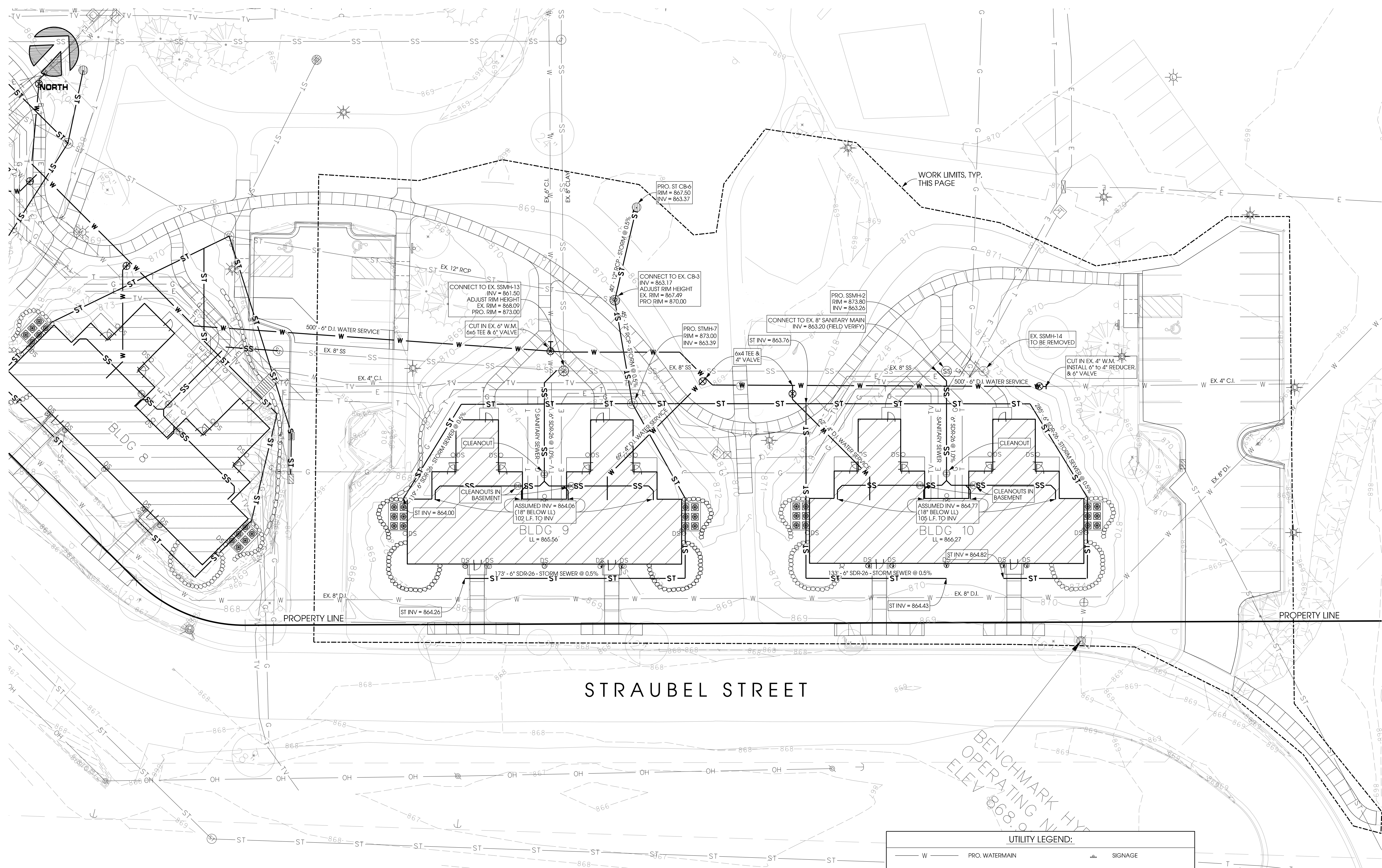
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BLDG 7 & 8  
 UTILITY PLAN

**C4.2**

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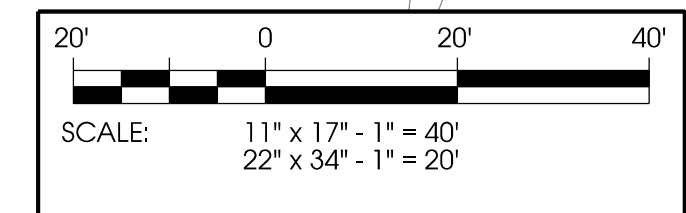
PROJECT #: 09023

**BLDG 9 & 10  
 UTILITY PLAN**

**C4.3**

**UTILITY LEGEND:**

W	PRO. WATERMAIN	+	SIGNAGE
SS	PRO. SANITARY SEWER	DS	ROOF DOWN SPOUT
ST	PRO. STORM SEWER	□	PEDESTAL (ELEC./CABLE/TEL)
G	PRO. GAS	△	METER (GAS)
E	PRO. UNDERGROUND ELECTRIC	▨	CURB INLET (INL)
T	PRO. UNDERGROUND TELEPHONE	○	CATCH BASIN (CB)
TV	PRO. UNDERGROUND CABLE TV	⊕	HYDRANT
⊙	STORM MAN HOLE	⊗	VALVE
⊕	SANITARY SEWER MAN HOLE	☀	OR
		□	LIGHT POLE



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