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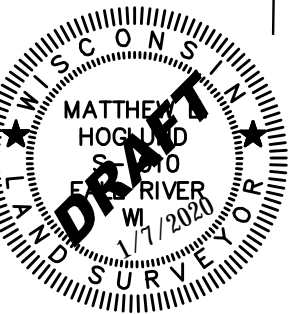
**DANE COUNTY  
CERTIFIED SURVEY MAP #**

Outlot 1 of CSM No. 13698, Outlot 16 of Cardinal Glenn and a part of the NW 1/4 of the NE 1/4 of Section 28, T.7N., R.8E., City of Madison, Dane County, Wisconsin

C.S.M. No. \_\_\_\_\_

Doc. No. \_\_\_\_\_

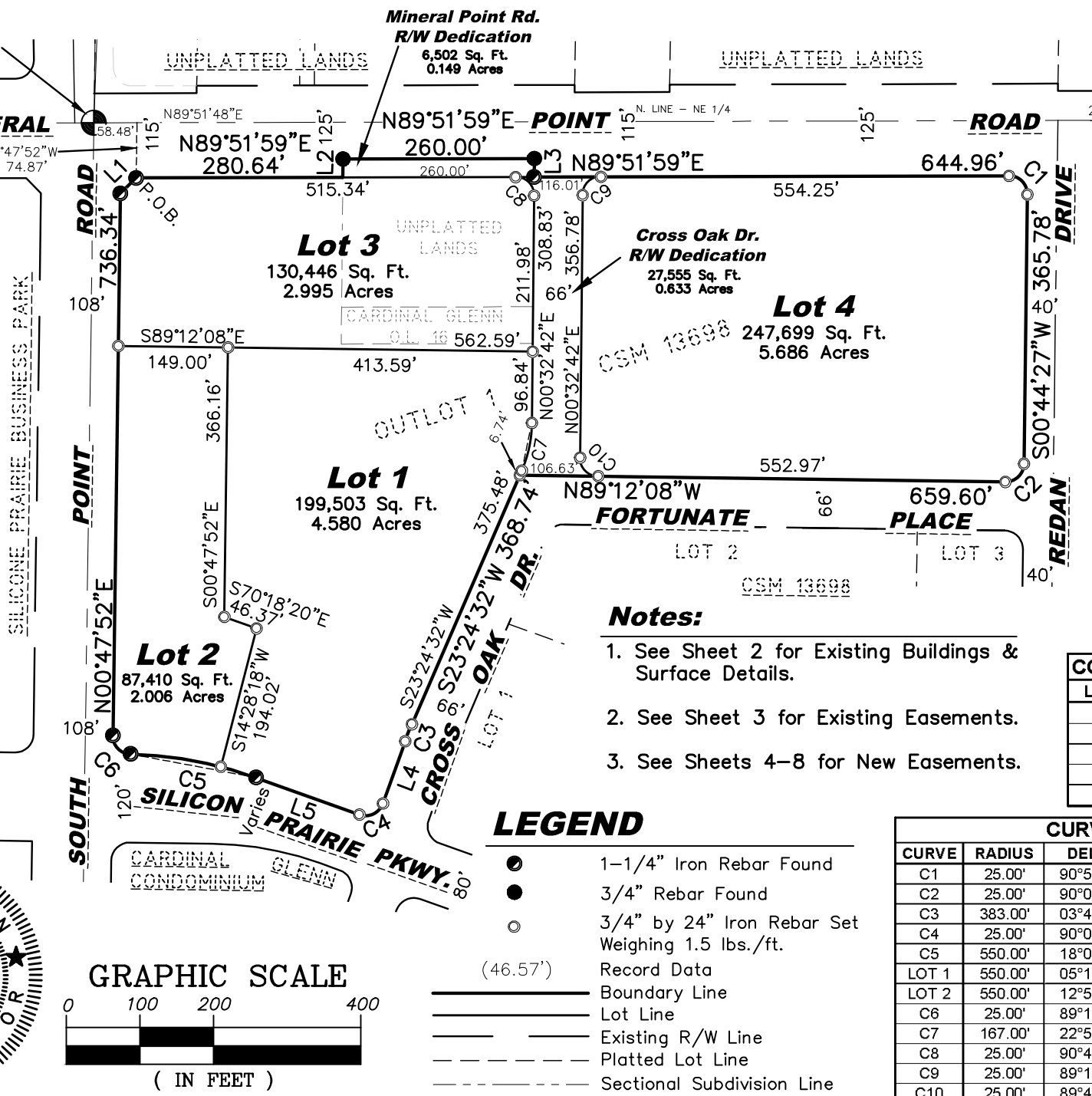
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Bearings are referenced to the North line of the NE 1/4 of Section 28, which is recorded to bear N89°51'48"E on CSM 13698 on the Dane County Coordinate System

N 1/4 Cor.  
Sec. 28-7-8  
Fd. Alum. Mon.  
Dane Co. Coords.  
N=477,580.33  
E=776,310.68

NE Cor.  
Sec. 28-7-8  
Fd. Alum. Mon.  
Dane Co. Coords.  
N=483,025.74  
E=807,926.39

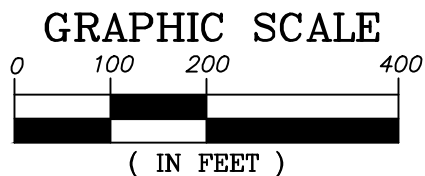


**Notes:**

1. See Sheet 2 for Existing Buildings & Surface Details.
2. See Sheet 3 for Existing Easements.
3. See Sheets 4-8 for New Easements.

**LEGEND**

- 1-1/4" Iron Rebar Found
- 3/4" Rebar Found
- 3/4" by 24" Iron Rebar Set Weighing 1.5 lbs./ft.
- Record Data
- Boundary Line
- Lot Line
- - - Existing R/W Line
- - - Platted Lot Line
- - - Sectional Subdivision Line



**COURSE DATA TABLE**

LINE	COURSE
L1	N45°19'50"E - 29.91'
L2	N00°32'48"E - 25.01'
L3	S00°32'48"W - 25.01'
L4	S19°41'40"W - 89.72'
L5	N70°18'20"W - 149.14'

**CURVE DATA TABLE**

CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	25.00'	90°51'40"	39.65'	S44°41'47"E - 35.62'
C2	25.00'	90°02'51"	39.29'	S45°46'10"W - 35.37'
C3	383.00'	03°42'49"	24.82'	S21°33'06"W - 24.82'
C4	25.00'	90°00'54"	39.28'	S64°41'40"W - 35.36'
C5	550.00'	18°05'54"	173.73'	N79°21'17"W - 173.01'
LOT 1	550.00'	05°13'22"	50.14'	N72°55'01"W - 50.12'
LOT 2	550.00'	12°52'32"	123.59'	N81°57'58"W - 123.34'
C6	25.00'	89°12'27"	38.92'	N43°48'11"W - 35.11'
C7	167.00'	22°51'50"	66.64'	N11°58'37"E - 66.20'
C8	25.00'	90°40'43"	39.57'	N44°47'39"W - 35.56'
C9	25.00'	89°19'28"	38.98'	N45°12'27"E - 35.15'
C10	25.00'	89°44'50"	39.16'	N44°19'43"W - 35.28'

**Owner/Subdivider:**  
Welton Family Limited Partnership  
Attn: Paul Molinaro  
702 N. Blackhawk Avenue, Suite 109  
Madison, WI 53705

**QUAM ENGINEERING, LLC**

4604 SIGGLEKOW ROAD - SUITE A McFARLAND, WI 53558  
608-838-7750 www.quamengineering.com

SHEET 1 OF 11

Project # WE-13-19

**DRAFT**

**DANE COUNTY  
CERTIFIED SURVEY MAP #**

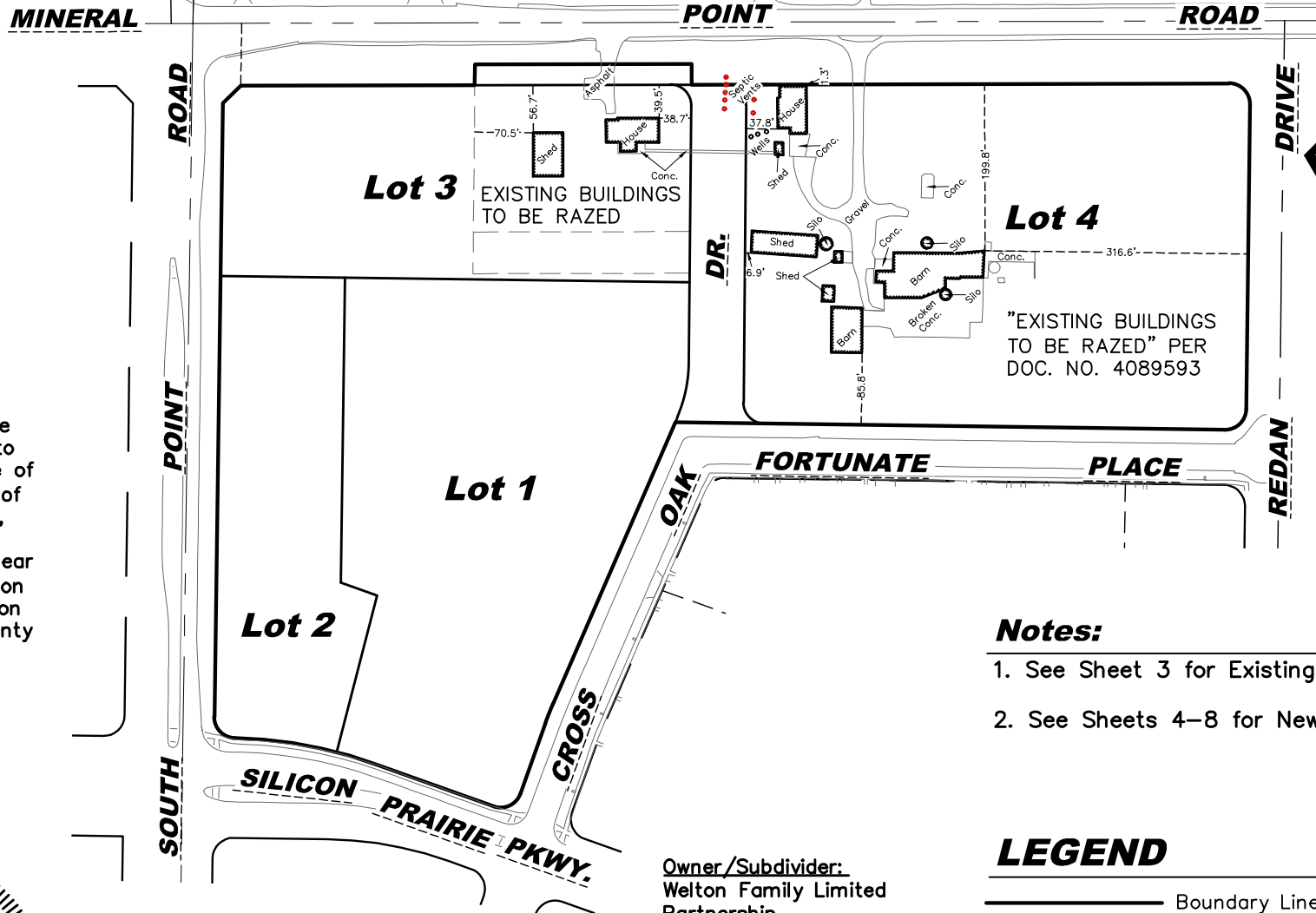
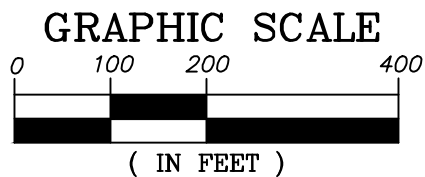
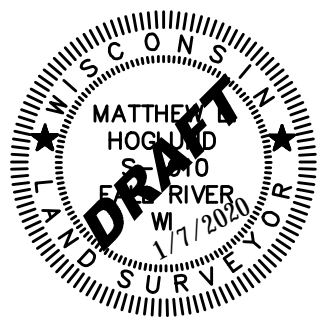
C.S.M. No. \_\_\_\_\_

Outlot 1 of CSM No. 13698, Outlot 16 of Cardinal Glenn and a part of the NW 1/4 of the NE 1/4 of Section 28, T.7N., R.8E., City of Madison, Dane County, Wisconsin

Doc. No. \_\_\_\_\_

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Bearings are referenced to the North line of the NE 1/4 of Section 28, which is recorded to bear N89°51'48"E on CSM 13698 on the Dane County Coordinate System



**Notes:**

1. See Sheet 3 for Existing Easements.
2. See Sheets 4-8 for New Easements.

**LEGEND**

- Boundary Line
- Lot Line
- - - Existing R/W Line
- - - Platted Lot Line
- - - Sectional Subdivision Line

**Owner/Subdivider:**  
Welton Family Limited Partnership  
Attn: Paul Molinaro  
702 N. Blackhawk Avenue, Suite 109  
Madison, WI 53705

**EXISTING BUILDINGS & SURFACE DETAILS**

**DRAFT**

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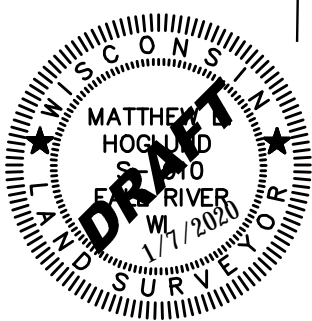
**DANE COUNTY  
CERTIFIED SURVEY MAP #**

C.S.M. No. \_\_\_\_\_

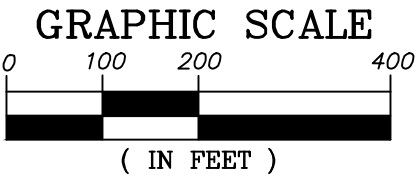
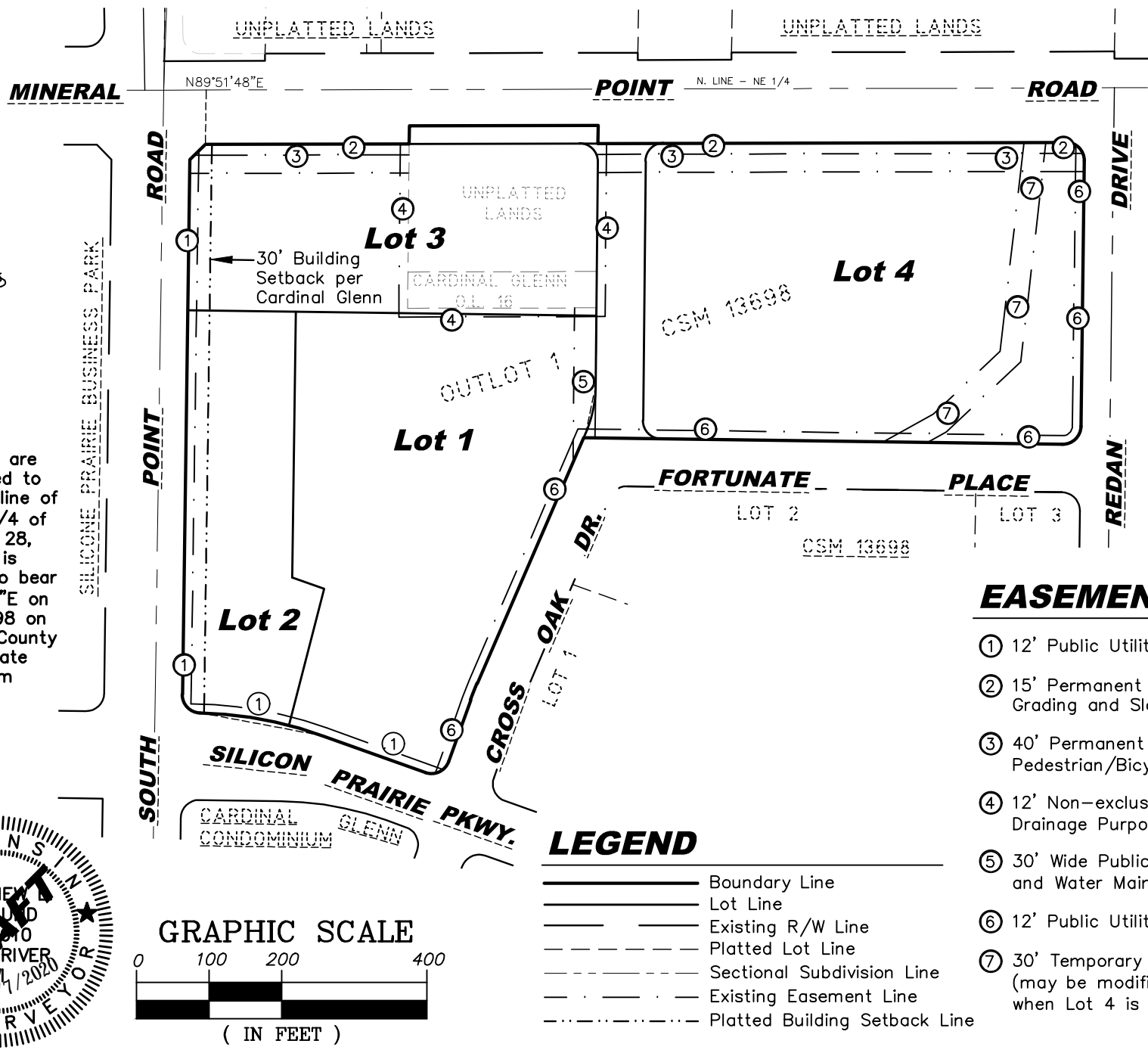
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Outlot 1 of CSM No. 13698, Outlot 16 of Cardinal Glenn and a part of the NW 1/4 of the NE 1/4 of Section 28, T.7N., R.8E., City of Madison, Dane County, Wisconsin



Bearings are referenced to the North line of the NE 1/4 of Section 28, which is recorded to bear N89°51'48"E on CSM 13698 on the Dane County Coordinate System



**LEGEND**

	Boundary Line
	Lot Line
	Existing R/W Line
	Platted Lot Line
	Sectional Subdivision Line
	Existing Easement Line
	Platted Building Setback Line

- EASEMENT NOTES:**
- ① 12' Public Utilities Easement per Cardinal Glenn
  - ② 15' Permanent Limited Easement for Grading and Sloping Purposes
  - ③ 40' Permanent Limited Easement for Pedestrian/Bicycle Purposes (to be Released)
  - ④ 12' Non-exclusive Easement for Drainage Purposes (to be Released)
  - ⑤ 30' Wide Public Sanitary Sewer, Storm Sewer and Water Main Easement (to be Released)
  - ⑥ 12' Public Utilities Easement per CSM 13698
  - ⑦ 30' Temporary Public Stormwater Easement (may be modified w/City Engineer approval when Lot 4 is developed)

**EXISTING EASEMENTS**

**QUAM ENGINEERING, LLC**  
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 608-838-7750 www.quamengineering.com  
 Project # WE-13-19

# DANE COUNTY CERTIFIED SURVEY MAP #

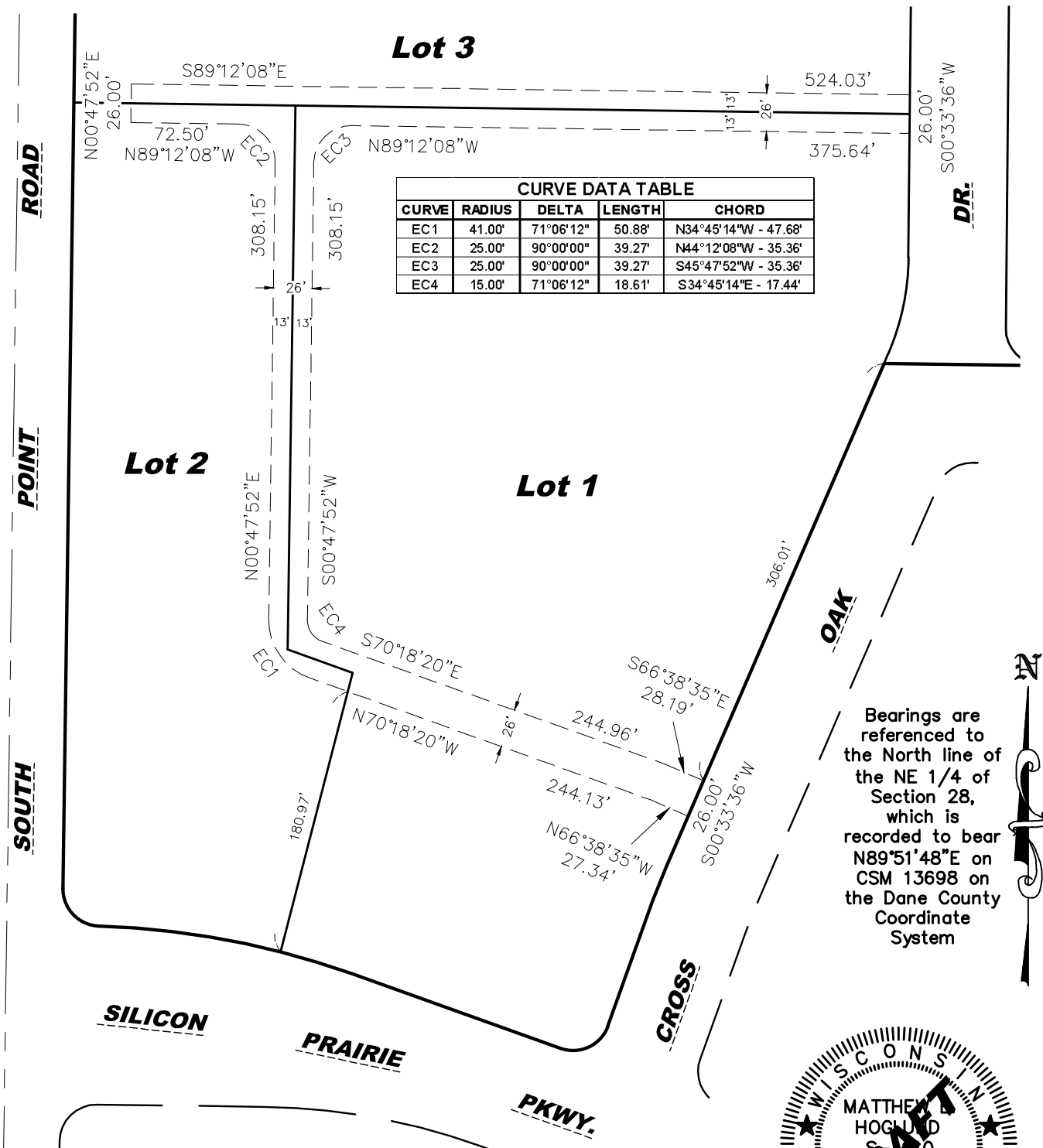
C.S.M. No. \_\_\_\_\_

Outlot 1 of CSM No. 13698, Outlot 16 of Cardinal Glenn and a part of the NW 1/4 of the NE 1/4 of Section 28, T.7N., R.8E.,  
City of Madison, Dane County, Wisconsin

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## INGRESS/EGRESS EASEMENTS

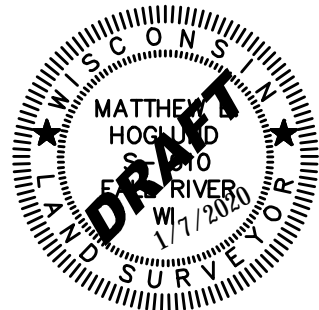


### LEGEND

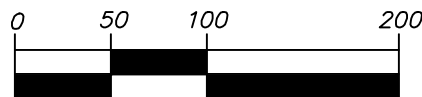
- Boundary Line
- Lot Line
- Existing R/W Line
- - - Sectional Subdivision Line
- - - Ingress/Egress Easement Line

### Notes:

Non-exclusive Private Ingress/Egress Easement for the benefit of Lots 1, 2, and 3.



### GRAPHIC SCALE



( IN FEET )

## QUAM ENGINEERING, LLC

4604 SIGGLEKOW ROAD — SUITE A McFARLAND, WI 53558

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Project # WE-13-19

**DANE COUNTY  
CERTIFIED SURVEY MAP #**

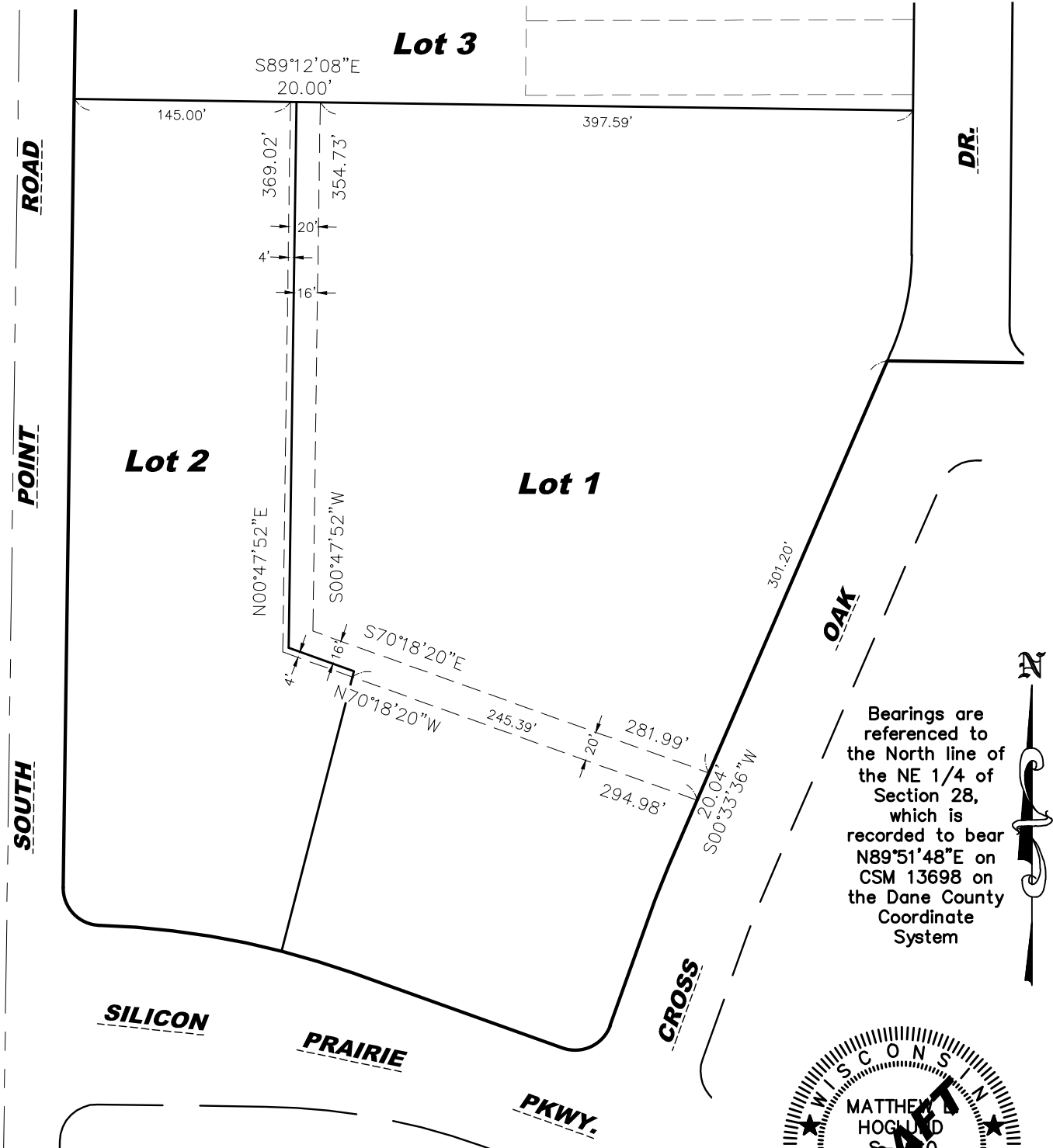
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Outlot 1 of CSM No. 13698, Outlot 16 of Cardinal Glenn and a part of the NW 1/4 of the NE 1/4 of Section 28, T.7N., R.8E.,  
City of Madison, Dane County, Wisconsin

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**SANITARY SEWER EASEMENTS**



Bearings are referenced to the North line of the NE 1/4 of Section 28, which is recorded to bear N89°51'48"E on CSM 13698 on the Dane County Coordinate System



**LEGEND**

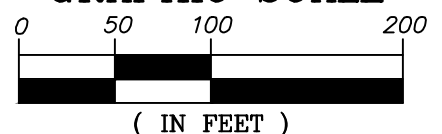
- Boundary Line
- Lot Line
- Existing R/W Line
- Sectional Subdivision Line
- Sanitary Sewer Easement Line

**Notes:**

Non-exclusive Private Sanitary Sewer Easement for the benefit of Lots 1, 2 and 3.



**GRAPHIC SCALE**



**QUAM ENGINEERING, LLC**

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Project # WE-13-19

# DANE COUNTY CERTIFIED SURVEY MAP #

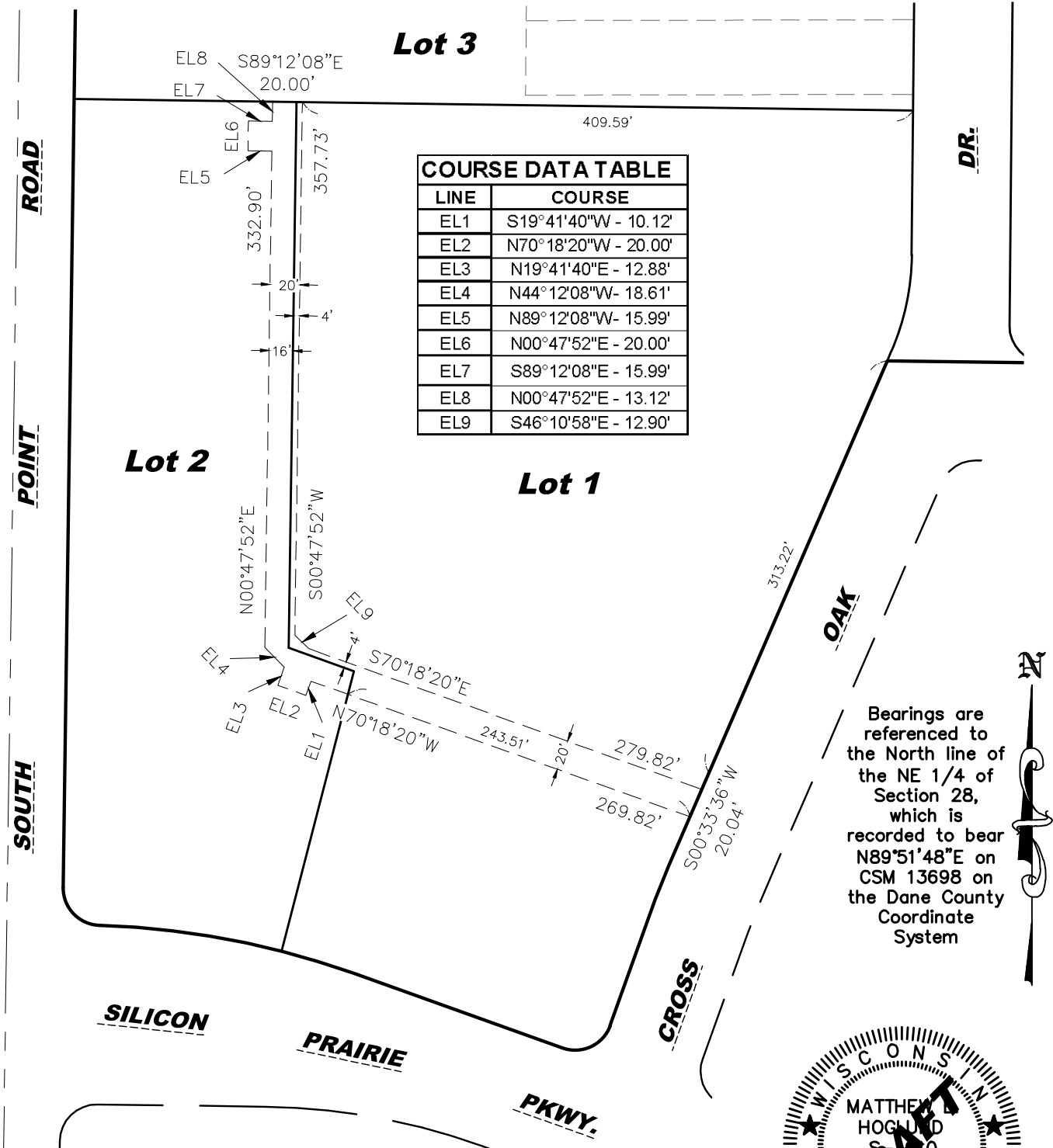
Outlot 1 of CSM No. 13698, Outlot 16 of Cardinal Glenn and a part of the NW 1/4 of the NE 1/4 of Section 28, T.7N., R.8E.,  
City of Madison, Dane County, Wisconsin

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## WATER EASEMENTS



LINE	COURSE
EL1	S19°41'40"W - 10.12'
EL2	N70°18'20"W - 20.00'
EL3	N19°41'40"E - 12.88'
EL4	N44°12'08"W - 18.61'
EL5	N89°12'08"W - 15.99'
EL6	N00°47'52"E - 20.00'
EL7	S89°12'08"E - 15.99'
EL8	N00°47'52"E - 13.12'
EL9	S46°10'58"E - 12.90'

Bearings are referenced to the North line of the NE 1/4 of Section 28, which is recorded to bear N89°51'48"E on CSM 13698 on the Dane County Coordinate System

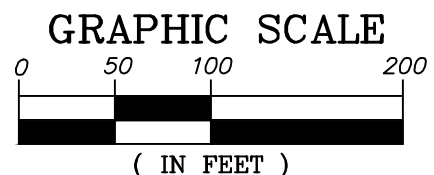
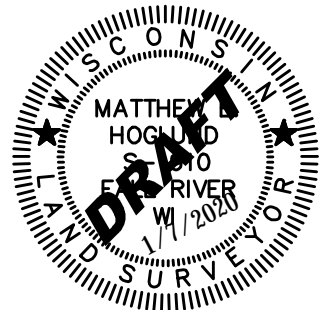


### LEGEND

- Boundary Line
- Lot Line
- Existing R/W Line
- Sectional Subdivision Line
- Water Utility Easement Line

### Notes:

Non-exclusive Private Water Utility Easement for the benefit of Lots 1, 2 and 3.



## QUAM ENGINEERING, LLC

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Project # WE-13-19

**DANE COUNTY  
CERTIFIED SURVEY MAP #**

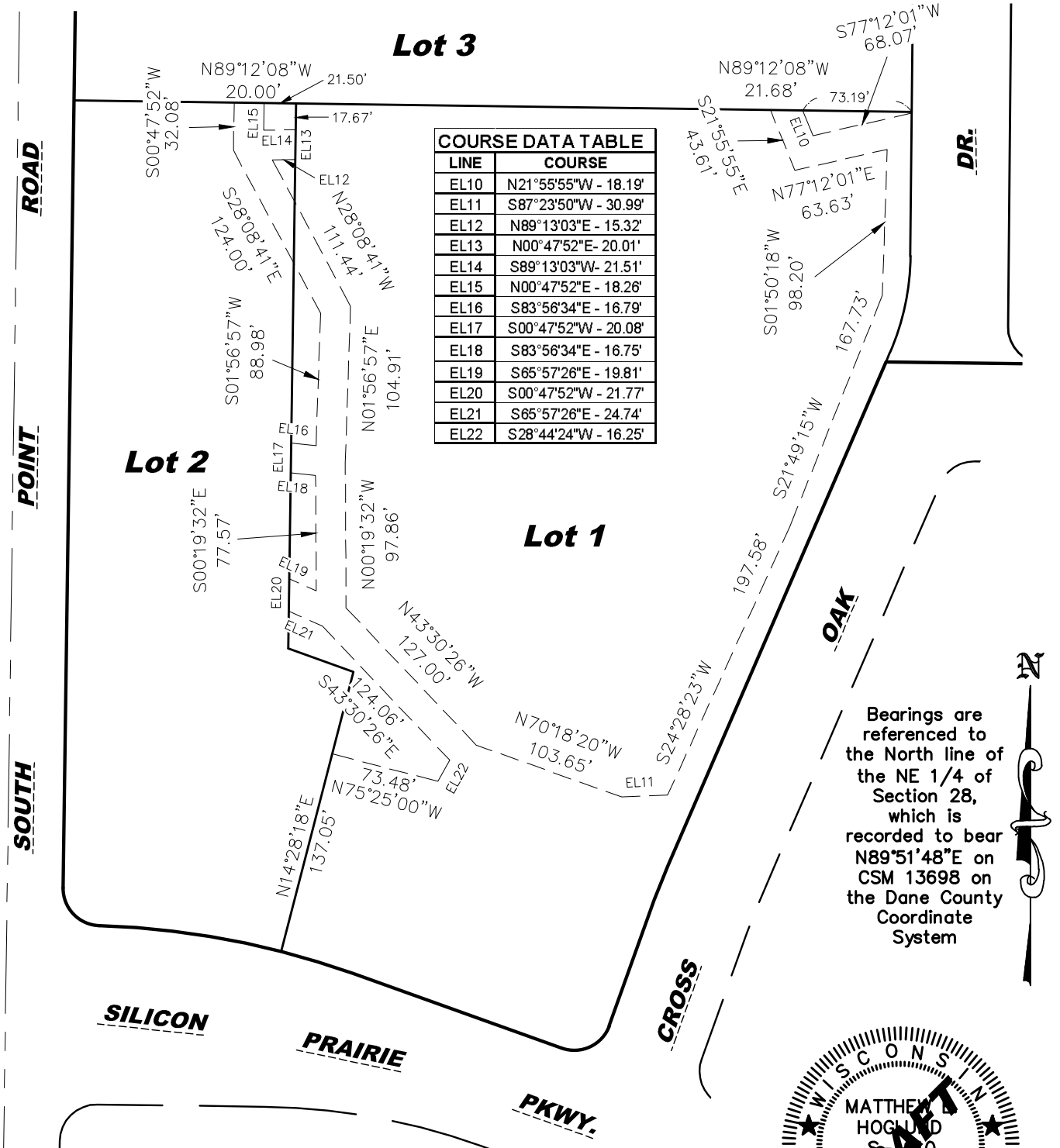
Outlot 1 of CSM No. 13698, Outlot 16 of Cardinal Glenn and a part of the NW 1/4 of the NE 1/4 of Section 28, T.7N., R.8E.,  
City of Madison, Dane County, Wisconsin

C.S.M. No. \_\_\_\_\_

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**STORMWATER EASEMENTS**



LINE	COURSE
EL10	N21°55'55"W - 18.19'
EL11	S87°23'50"W - 30.99'
EL12	N89°13'03"E - 15.32'
EL13	N00°47'52"E - 20.01'
EL14	S89°13'03"W - 21.51'
EL15	N00°47'52"E - 18.26'
EL16	S83°56'34"E - 16.79'
EL17	S00°47'52"W - 20.08'
EL18	S83°56'34"E - 16.75'
EL19	S65°57'26"E - 19.81'
EL20	S00°47'52"W - 21.77'
EL21	S65°57'26"E - 24.74'
EL22	S28°44'24"W - 16.25'

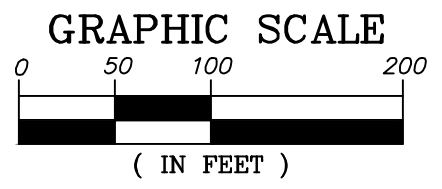
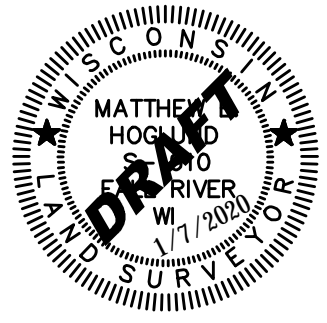
Bearings are referenced to the North line of the NE 1/4 of Section 28, which is recorded to bear N89°51'48"E on CSM 13698 on the Dane County Coordinate System

**LEGEND**

- Boundary Line
- Lot Line
- Existing R/W Line
- Sectional Subdivision Line
- Stormwater Easement Line

**Notes:**

Non-exclusive Private Stormwater Easement for the benefit of Lots 1, 2 and 3.

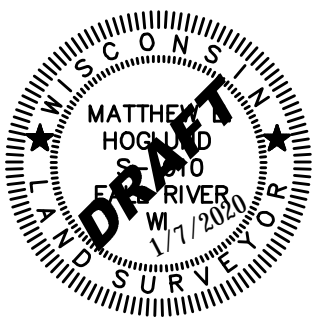


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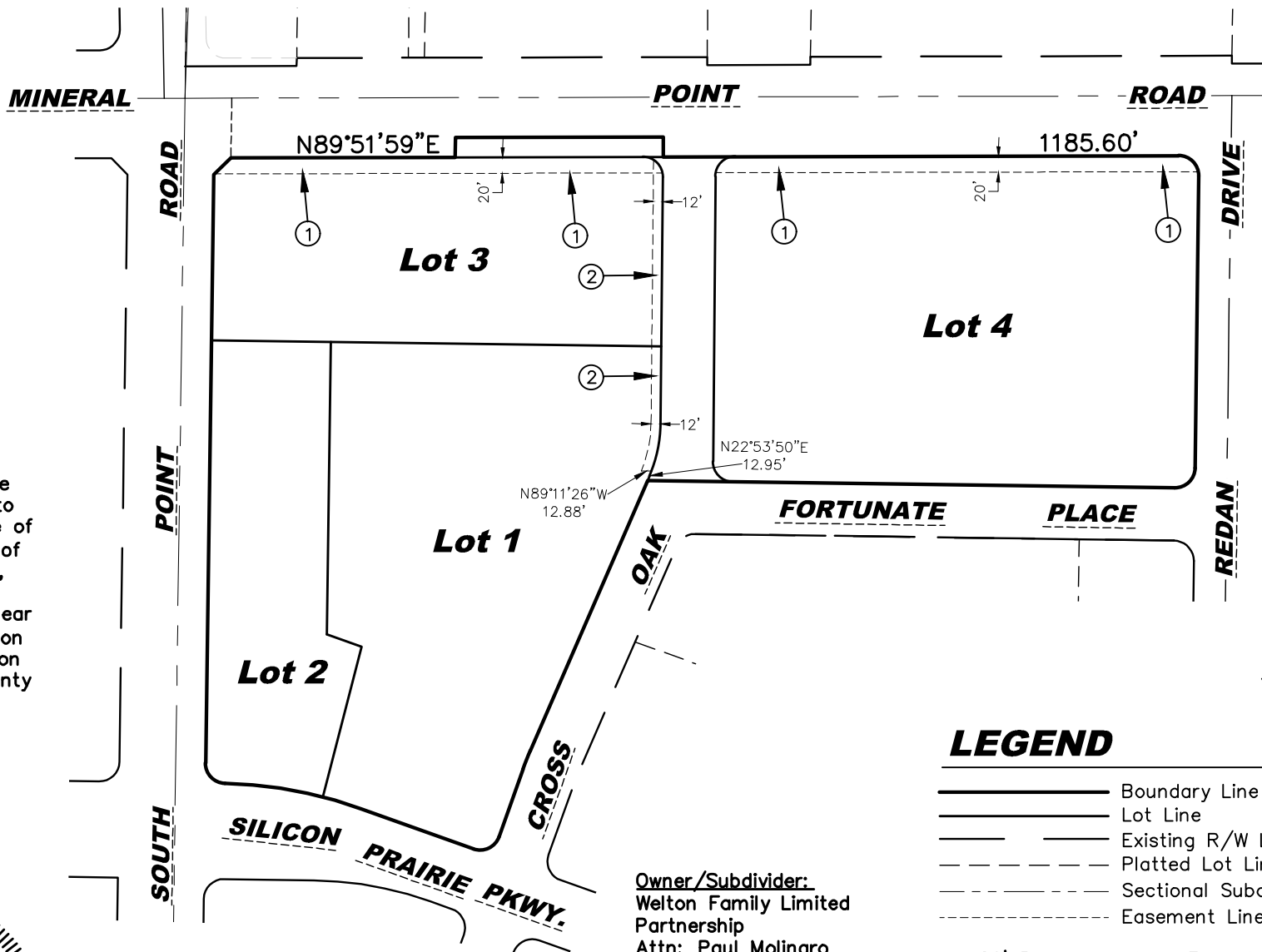
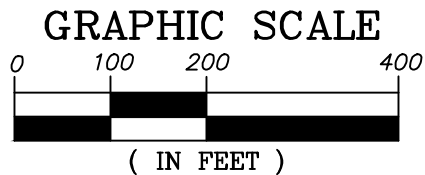
**DANE COUNTY  
CERTIFIED SURVEY MAP #**

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Outlot 1 of CSM No. 13698, Outlot 16 of Cardinal Glenn and a part of the NW 1/4 of the NE 1/4 of Section 28, T.7N., R.8E., City of Madison, Dane County, Wisconsin.



Bearings are referenced to the North line of the NE 1/4 of Section 28, which is recorded to bear N89°51'48"E on CSM 13698 on the Dane County Coordinate System



**Owner/Subdivider:**  
Welton Family Limited Partnership  
Attn: Paul Molinaro  
702 N. Blackhawk Avenue, Suite 109  
Madison, WI 53705

**LEGEND**

- Boundary Line
- Lot Line
- Existing R/W Line
- Platted Lot Line
- Sectional Subdivision Line
- Easement Line

- ① 20' Permanent Non-Exclusive Limited Easement for Pedestrian/Bicycle Purposes Dedicated to the Public
- ② 12' Non-Exclusive Public Utility Easement Dedicated to the Public

**BIKE TRAIL & UTILITY EASEMENTS**

**QUAM ENGINEERING, LLC**

4604 SIGGLEKOW ROAD - SUITE A McFARLAND, WI 53558  
608-838-7750 www.quamengineering.com

**DRAFT**



Drawn By: MEH  
Project # WE-13-19

## **DANE COUNTY CERTIFIED SURVEY MAP #**

### **Outlot 1 of CSM No. 13698, Outlot 16 of Cardinal Glenn and a part of the NW 1/4 of the NE 1/4 of Section 28, T.7N., R.8E., City of Madison, Dane County, Wisconsin**

#### **SURVEYOR'S CERTIFICATE:**

I, Matthew E. Hoglund, Registered Land Surveyor, do hereby certify to the best of my knowledge and belief that I have surveyed, divided, and mapped the following Certified Survey, being: Outlot One (1) of Certified Survey Map No. 13698, recorded in the office of the Register of Deeds in Volume 90 of Certified Survey Maps on Pages 117 through 124 as Document No. 5065270 of Dane County Records; Outlot Sixteen (16) of Cardinal Glenn, recorded in the office of the Register of Deeds in Volume 58-083A of Plats on Pages 421 through 425 as Document No. 4089593 of Dane County Records; together with a part of the Northwest one-quarter of the Northeast one-quarter of Section 28, Township 7 North, Range 8 East, City of Madison, Dane County Wisconsin, being more particularly described as follows:

**COMMENCING** at the North 1/4 Corner of said Section 28; thence, along the North line of said Northeast one-quarter, North 89°51'48" East, 58.48 feet; thence South 00°47'52" West, 74.87 feet to the **POINT OF BEGINNING**, being an angle point in the boundary of said Outlot 1 lying on the existing Southerly right-of-way line of Mineral Point Road; thence, along said Southerly right-of-way line, the following courses:

1. North 89°51'59" East, 280.64 feet;
2. North 00°32'48" East, 25.01 feet;
3. North 89°51'59" East, 260.00 feet;
4. South 00°32'48" West, 25.01 feet;
5. North 89°51'59" East, 644.96 feet to a point on the Westerly right-of-way line of Redan Drive, being the beginning of a tangent curve, being concave Southwesterly, having a radius of 25.00 feet and a chord which bears South 44°41'47" East, 35.62 feet;

thence, along said Westerly right-of-way line, Southeasterly, 39.65 along the arc of said curve through a central angle of 90°51'40" to the point of tangency thereof; thence, continuing along said Westerly right-of-way line, South 00°44'27" West, 365.78 feet to a point on the Northerly right-of-way line of Fortunate Place, being the beginning of a tangent curve, being concave Northwesterly, having a radius of 25.00 feet and a chord which bears South 45°46'10" West, 35.37 feet; thence, along said Northerly right-of-way line, Southwesterly, 39.29 along the arc of said curve through a central angle of 90°02'51" to the point of tangency thereof; thence, continuing along said Northerly right-of-way line, North 89°12'08" West, 659.60 feet to a point on the Westerly right-of-way line of Cross Oak Drive; thence, along said Westerly right-of-way line, South 23°24'32" West, 368.74 feet to the beginning of a tangent curve, being concave Southeasterly, having a radius of 383.00 feet and a chord which bears South 21°33'06" West, 24.82 feet; thence, along continuing said Westerly right-of-way line, Southwesterly, 24.82 along the arc of said curve through a central angle of 03°42'49" to the point of tangency thereof; thence, continuing along said Westerly right-of-way line, South 19°41'40" West, 89.72 feet to a point on the Northerly right-of-way line of Silicon Prairie Parkway, being the beginning of a tangent curve, being concave Northwesterly, having a radius of 25.00 feet and a chord which bears South 64°41'40" West, 35.36 feet; thence, along said Northerly right-of-way line, Westerly, 39.28 along the arc of said curve through a central angle of 90°00'54" to the point of tangency thereof; thence, continuing along said Northerly right-of-way line, North 70°18'20" West, 149.14 feet to the beginning of a tangent curve, being concave Southerly, having a radius of 550.00 feet and a chord which bears North 79°21'17" West, 173.01 feet; thence, along continuing said Northerly right-of-way line, Westerly, 173.73 feet along the arc of said curve through a central angle of 18°05'54" to a point on the Easterly right-of-way line of South Point Road, being a point of reverse curvature with a curve, being concave Northeasterly, having a radius of 25.00 feet and a chord which bears North 43°48'11" West, 35.11 feet; thence, along said Easterly right-of-way line, Northwesterly, 38.92 along the arc of said curve through a central angle of 89°12'27" to the point of tangency thereof; thence, continuing along said Easterly right-of-way line, North 00°47'52" East, 736.34 feet; thence, continuing along said Easterly right-of-way line, North 45°19'50" East, 29.91 feet to the **POINT OF BEGINNING**.

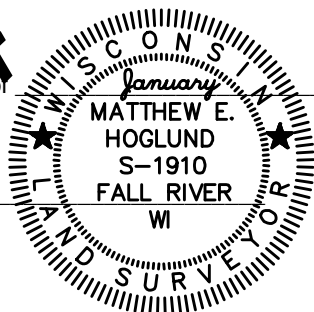
Said Parcel contains 699,115 square feet or 16.049 acres, more or less.

**BEING SUBJECT TO** all other easements or agreements, if any, of record and/or fact.

I further certify, to the best of my knowledge and belief, that this map is a correct representation of all exterior boundaries of the land surveyed and the subdivision thereof made; that I have made such survey, land division, and map by the direction of Paul Molinaro of Welton Family Limited Partnership, the owner of said land; that I have fully complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes and the City of Madison Subdivision Regulations in surveying, dividing, and mapping the same.

Dated this 7<sup>th</sup> day of January, 2020.

DRAFT



Quam Engineering, LLC  
By: Matthew E. Hoglund  
P.L.S. S-1910

Drawn By: MEH  
Project # WE-13-19

**DANE COUNTY  
CERTIFIED SURVEY MAP # \_\_\_\_\_**

**Outlot 1 of CSM No. 13698, Outlot 16 of Cardinal Glenn and a part of the  
NW 1/4 of the NE 1/4 of Section 28, T.7N., R.8E., City of Madison, Dane  
County, Wisconsin**

**CORPORATE OWNERS CERTIFICATE:**

Welton Family Limited Partnership, duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said partnership caused the land described on this Certified Survey Map to be surveyed, divided, mapped, and dedicated as represented on this map. Welton Family Limited Partnership does further certify that this map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

City of Madison

IN WITNESS WHEREOF, the said Welton Family Limited Partnership has caused these presents to be signed by Paul Molinaro, Managing Partner, at \_\_\_\_\_, Wisconsin, and its corporate seal to be hereunto affixed on this \_\_\_\_\_, day of \_\_\_\_\_, 20\_\_.

In the presence of: \_\_\_\_\_

STATE OF WISCONSIN)  
COUNTY DANE) SS

Personally came before me this \_\_\_ day of \_\_\_\_\_, 20\_\_\_, Paul Molinaro, Managing Partner of the above named Limited Liability Partnership, to me known to be the person who executed the foregoing instrument, and to me known to be a partner of said Limited Partnership and acknowledged that he executed the foregoing instrument as such officer as the deed of said Partnership, by its authority.

(Notary Seal) \_\_\_\_\_ Notary Public, \_\_\_\_\_, Wisconsin

My commission expires \_\_\_\_\_.

**CITY OF MADISON COMMON COUNCIL CERTIFICATE:**

Resolved, that this Certified Survey Map located in the City of Madison was hereby approved by Enactment Number \_\_\_\_\_, File ID Number \_\_\_\_\_, adopted on the \_\_\_ day of \_\_\_\_\_, 2020, and said Enactment further provided for the acceptance of those lands dedicated and rights conveyed by said Certified Survey Map to the City of Madison for public use.

Dated this \_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Maribeth Witzel-Behl, City Clerk  
City of Madison, Dane County, Wisconsin



**CITY OF MADISON PLAN COMMISSION CERTIFICATE:**

Approved for recording per the Secretary of the City of Madison Plan Commission.

C.S.M. No. \_\_\_\_\_

Doc. No. \_\_\_\_\_

Vol. \_\_\_\_\_ Page \_\_\_\_\_

\_\_\_\_\_  
By: Secretary of the Plan Commission

\_\_\_\_\_  
Date

Drawn By: MEH  
Project # WE-13-19

**DANE COUNTY  
CERTIFIED SURVEY MAP # \_\_\_\_\_**

**Outlot 1 of CSM No. 13698, Outlot 16 of Cardinal Glenn and a part of the  
NW 1/4 of the NE 1/4 of Section 28, T.7N., R.8E., City of Madison, Dane  
County, Wisconsin**

**CONSENT OF CORPORATE MORTGAGEE:**

State Bank of Cross Plains, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping, and dedication of the land described on this map, and does hereby consent to the above certificate of Welton Family Limitd Partnership, owner.

IN WITNESS WHEREOF, the said State Bank of Cross Plains has caused these presents to be signed by

\_\_\_\_\_, its \_\_\_\_\_, and countersigned by  
\_\_\_\_\_, its \_\_\_\_\_, at \_\_\_\_\_, Wisconsin,  
and its corporate seal to be hereunto affixed on this \_\_\_\_\_, day of \_\_\_\_\_, 20\_\_.

In the presence of:

\_\_\_\_\_ (Corporate Seal)

By: \_\_\_\_\_, Date: \_\_\_\_\_  
(Title)

By: \_\_\_\_\_, Date: \_\_\_\_\_  
(Title)



STATE OF WISCONSIN)  
\_\_\_\_\_ COUNTY) SS

Personally came before me this \_\_\_ day of \_\_\_\_\_, 20\_\_, \_\_\_\_\_, its  
\_\_\_\_\_, and countersigned by \_\_\_\_\_, its \_\_\_\_\_  
of the above named corporation, to me known to be the persons who executed the foregoing instrument,  
and to me known to be such \_\_\_\_\_ and \_\_\_\_\_  
of said corporation, and acknowledged that they executed the foregoing instrument as such officers as  
the deed of said corporation, by its authority.

(Notary Seal) \_\_\_\_\_ Notary Public, \_\_\_\_\_, Wisconsin

My commission expires \_\_\_\_\_.

**REGISTER OF DEEDS CERTIFICATE:**

Received for recording this \_\_\_ day of \_\_\_\_\_, 20\_\_, at \_\_\_\_\_ o'clock \_\_M. and  
recorded in Volume \_\_\_\_\_ of Certified Survey Maps on Pages \_\_\_\_\_  
as Document No. \_\_\_\_\_.

\_\_\_\_\_  
Kristi Chlebowski, Dane County Register of Deeds