

**APPLICATION FOR  
URBAN DESIGN COMMISSION  
REVIEW AND APPROVAL**

**AGENDA ITEM#** \_\_\_\_\_  
**Project #** \_\_\_\_\_

DATE SUBMITTED: <u>March 25, 2009</u>	<b>Action Requested</b>
UDC MEETING DATE: <u>April 1, 2009</u>	<input type="checkbox"/> Informational Presentation
	<input checked="" type="checkbox"/> Initial Approval and/or Recommendation
	<input type="checkbox"/> Final Approval and/or Recommendation

PROJECT ADDRESS: 1308 West Dayton Street (South Campus Union)

ALDERMANIC DISTRICT: 8

OWNER/DEVELOPER (Partners and/or Principals):

State of Wisconsin, Dept. of Administration

UW System Board of Regents

University of Wisconsin - Madison

ARCHITECT/DESIGNER/OR AGENT:

Wally Johnson

Workshop Architects

1736 North Second Street

Milwaukee, WI 53212

414-272-8822      414-272-8812 (fax)

WallyJ@WorkShopArchitects.com

CONTACT PERSON:

Gary A. Brown, ASLA – Director, Campus Planning

Address: 610 Walnut Street; Madison, WI 53726

Phone: 608-263-3023      Fax: 608-265-3139

E-mail address: gbrown@fpm.wisc.edu

TYPE OF PROJECT:

(See Section A for:)

- Planned Unit Development (PUD)
    - General Development Plan (GDP)
    - Specific Implementation Plan (SIP)
  - Planned Community Development (PCD)
    - General Development Plan (GDP)
    - Specific Implementation Plan (SIP)
  - Planned Residential Development (PRD)
  - New Construction or Exterior Remodeling in an Urban Design District \* (A public hearing is required as well as a fee)
  - School, Public Building of Space (fee may be required)
  - New Construction or Addition to or Remodeling of a Retail, Hotel or Motel Building Exceeding 40,000 S.F.
  - Planned Commercial Site
- (See Section B for:)
- New Construction or Exterior Remodeling in C4 District (Fee required)
- (See Section C for:)
- R.P.S.M. Parking Variance (Fee required)
- (See Section D for:)
- Comprehensive Design Review\* (Fee Required)
  - Street Graphics Variance\* (Fee Required)
- Other \_\_\_\_\_

\* Public Hearing Required (Submission Deadline 3 Weeks in Advance of Meeting Date)

Where fees are required (as noted above) they apply with the first submittal for either initial or final approval of a project.



## Letter of Intent

### REZONING REQUEST Planned Unit Development (PUD-SIP) for the New South Campus Union

Application Submittal Date: March 18, 2009 for Plan Commission May 18, 2009

This is an application for a rezoning from PUD-GDP to PUD-SIP for a new 291,500 GSF campus union facility located at 1308 West Dayton Street. The project is currently in final construction document preparation with a projected construction start date of June 2009. Asbestos abatement and demolition of the existing buildings started in February 2009 to prepare the site for construction. The project will be completed for occupancy in March 2011.

#### Application Materials

Cover Letter  
Application Form  
Legal Description  
Letter of Intent (this document)  
Zoning Text  
Small format bound set of drawings  
Large format bound set of drawings

#### Project Participants

##### **Owner:**

**State of Wisconsin Department of Administration**  
Contact: Sam Calvin, Project Manager  
Phone: 608-267-2710  
E-mail: sam.calvin@wisconsin.gov  
Agency: University of Wisconsin System  
Board of Regents  
Room 1860 Van Hise Hall  
1220 Linden Drive  
Madison, WI 53706

##### **Owner's Contact:**

**University of Wisconsin – Madison**  
Facilities Planning and Management  
9<sup>th</sup> Floor WARF Building  
610 Walnut Street  
Madison, WI 53726  
Phone: 608-263-3000  
Fax: 608-265-3139  
Attn: Julie Grove/Angela Pakes Ahlman  
E-Mail: jgrove@fpm.wisc.edu; apakes@fpm.wisc.edu

---

#### Facilities Planning & Management

9<sup>th</sup> Flr. WARF Building University of Wisconsin-Madison 610 Walnut Street Madison, Wisconsin 53726-2397  
(608) 263-3000 FAX (608) 265-3139 TTY (608) 265-5147

**Architect:** **Workshop Architects**  
1736 North Second Street  
Milwaukee, WI 53212  
Phone: 414-272-8822  
Fax: 414-272-8812  
Attn: Wally Johnson  
E-Mail: wallyj@workshoparchitects.com

**Landscape Architect:** **Graef**  
125 South 84<sup>th</sup> Street #401  
Milwaukee, WI 53214  
Phone: 414-259-1500  
Fax: 414-259-0037  
Attn: Joseph Pepitone  
E-Mail: joseph.pepitone@gasai.com

**Surveyor:** **Jenkins Survey & Design**  
161 Horizon Drive, Suite 101  
Verona, WI 53593  
Phone: 608-848-5060  
Fax: 608-848-2255  
Attn: Dave Sampson  
E-Mail: dave.sampson@jsdinc.com

**Structural Engineers:** **Graef**  
125 South 84<sup>th</sup> Street #401  
Milwaukee, WI 53214  
Phone: 414-259-1500  
Fax: 414-259-0037  
Attn: Loei Badreddline, PE  
E-Mail: loei.badreddline@gasai.com

**Mechanical Engineers:** **Arnold & O'Sheridan, Inc.**  
1111 Deming Way, Suite 200  
Madison, WI 53711  
Phone: 608-821-1500  
Fax: 608-821-8501  
Attn: Alex Barghout, PE  
E-Mail: abarghout@arnoldandosheridan.com

**Electrical Engineers:** **Arnold & O'Sheridan, Inc.**  
4125 N. 124<sup>th</sup> Street  
Brookfield, WI 53045  
Phone: 262-783-6130  
Fax: 262-783-5121  
Attn: Irina Ragozin  
E-Mail: iragozin@arnoldandosheridan.com

**Plumbing:** **Arnold & O'Sheridan, Inc.**  
4125 N. 124<sup>th</sup> Street  
Brookfield, WI 53045  
Phone: 262-783-6130  
Fax: 262-783-5121  
Attn: Brad Hanson  
E-Mail: bhanson@arnoldandosheridan.com

**Contractor(s):** CG Schmidt, Inc. (construction manager)  
11777 West Lake Park Drive  
Milwaukee, WI 53224-3047  
Phone: 414-577-1177  
Fax: 414-577-1155  
Attn: Dan Davis, Senior Vice President  
E-Mail: DanD@cgschmidt.com

**Building Use, Area, and Occupancy**

The existing Union South facility, constructed in 1971, consists of a 3-story, 113,000 GSF mostly concrete building which has outlived its useful life. Elsewhere on the site includes the 1964 Hi-Ray Hall which is an old 3-story walk up student dormitory with basement converted into academic program space and the prior privately owned Randall Towers apartment complex (19,000 GSF). All three existing buildings will be removed as part of this project. This PUD/GDP request included a request to demolish the three buildings prior to receiving final approval of the SIP drawings for this project. The existing Union South building continues to provide both programmatic and long term maintenance challenges for the university. After a significant master plan study of all Wisconsin Union facilities, it was determined that the most cost effective and prudent measure in providing new, state-of-the-art facilities for the campus users, was to remove the existing facilities and build a new and expanded facility on the existing site.

The proposed new facility will include the following uses: dining facilities, café/grill and adjacent 2<sup>nd</sup> floor outdoor dining terrace (total capacity of 585), a coffee shop, indoor climbing/bouldering wall, shower/changing facilities, a bowling alley with 8 lanes, a recreation center with table games, a large banquet room (Badger Hall) to accommodate 2,000 people standing and 875 for banquet seating, pre-function spaces, a small theatre for campus films (360 fixed seats), several conference/meeting rooms (total capacity for 370), offices, student organization spaces, catering offices and a large production kitchen, 60 guest (hotel) rooms, an art gallery, a small convenience store/market, food kiosks, storage spaces, bike and moped parking, and approximately 182 underground parking spaces. Future connections to the proposed regional rail system are also being designed into the facility along the north side of the building and the existing rail tracks. A bike station of approximately 1,700 GSF containing a small maintenance repair facility is also planned for future development but is unfunded at this time.

Outside the east side of the building, along the vacated North Orchard Street, the opportunity for small outdoor farmers markets, art fairs and potential food carts are being planned along a pedestrian-bicycle mall / fire lane. This vacated section of North Orchard Street, between West Dayton Street and Campus Drive/West Johnson Street, will be turned into a pedestrian mall that will provide fire/emergency access for the building.

Events within the building that could spill out onto the south plaza and upper floor terraces include seminars, workshops, receptions, weddings, social gatherings, etc. The main south plaza will also be home to the UW Marching Band and Badger Bash on football Saturdays in the fall. Outdoor food and beverage vending by the Wisconsin Union, including alcohol sales, may be part of any of these events. Outdoor Wisconsin Union retail vending (T-shirts, souvenirs, etc.) during major events is also possible. Additionally, the large south plaza and upper grill terrace will host small musical events and movie nights when weather permits. These types of events in the summer could run from 9:00 p.m. until 12:00 midnight. It should be noted that the Wisconsin Union needs to respect their overnight guests in the guest rooms and that outdoor music and noise will be kept to a minimum after 11:00 p.m.

The main users of the current Union South building, on a typical day during the academic year, include approximately 6,000 faculty/staff, grad students and undergraduate students. That number is expected rise to around 9,000 daily with the new South Campus Union. Hours of operation are 7:00 a.m. to 2:00 a.m. every day of the week with some shorter hours during academic break periods.

Building Signage will follow campus standards of either ground mounted signs or on-building mounted signage.

The site will provide 232 bicycle parking spaces on the west, east and north sides of the building. Moped parking (approximately 33 spaces) will be accommodated along the Orchard Street mall just north of West Dayton Street.

Parking management is addressed in accordance with the overall University Master Plan on a campus-wide basis, not by individual building. This facility will provide approximate 182 underground parking spaces with a mixture of permit spaces and visitor (hourly) spaces. The 2005 Campus Master Plan recommends consolidating surface parking lots into structured parking ramps to allow for more infill development and improved land use on campus. Parking

for individuals with disabilities will be provided in the underground parking ramp as well. Loading/unloading, pick-up/drop-off, taxi and short term delivery parking will be accommodated off the southeast corner of the building in a small turn around area.

A separate underground loading dock, with access off North Randall Avenue, will include room for 3 full size semi-trailer trucks and 2 panel truck dock spaces. This area will also include room for dumpsters and recycling facilities.

From a maintenance standpoint, trash removal is handled by University custodial staff on a daily basis with servicing of dumpsters in the underground service/loading dock area. Equipment storage is handled all within the confines of the building. Snow removal on all walks and access drives for the existing and proposed building is administered by University Environmental Services staff. Building custodial staff are responsible for snow and ice removal near the building entrances and on the walks leading immediately into the building.

The 2005 Campus Master Plan identifies this site as the proposed future Union redevelopment with associated parking. The master plan further recommends a future relocation of the Wendt Engineering Library to the west on the Engineering campus and provide a new major green space and open area for the new Union. This future phase may be done in 10 to 15 years and may include additional underground parking. The master plan also suggests connections to a regional transportation system (commuter rail & regional bus systems). The current site design includes planning for the future commuter rail system with room for dual rail lines, loading platforms, etc. on the north end of the building in an expanded railroad right-of-way.

A bus pull-off is planned for the west side of North Randall Avenue, south of Engineering Drive, to provide space for two buses loading/unloading passengers along with the necessary bus shelters and seating for waiting passengers. This will be provided under a separate State project (Randall-Dayton Utilities project). This area can also serve local Metro buses including the campus bus routes. The existing bus stop on Campus Drive, just east of North Randall Avenue, will need to be relocated after discussions with Madison Metro staff. Currently, it has been suggested to be moved to the east to a point just west of the Orchard/Campus Drive intersection.

Pedestrian crossing improvements as part of this project include adding traffic signals to the intersection of Campus Drive and North Orchard Street similar to work that has been done on the University Avenue/Johnson Street pair at the East Campus Mall (formerly N. Murray St.). The intersection will be colored concrete with painted cross walks to visually reinforce the importance of this pedestrian crossing.

#### **Legal Description of Site**

See Attached.

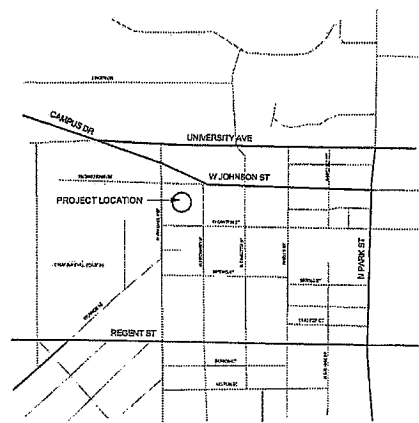


**Zoning Text**  
**Planned Unit Development (PUD-SIP)**  
**for the New South Campus Union, 1308 West Dayton Street**

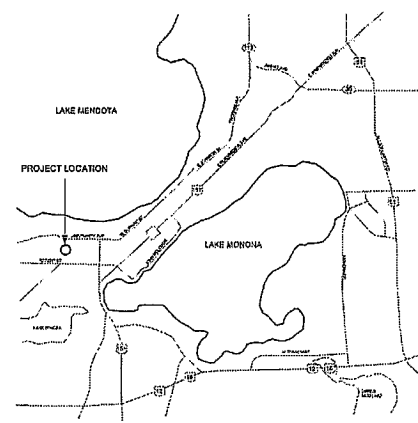
- Statement of Purpose** This zoning district is established to allow for the construction of the South Campus Union and to accommodate, encourage and promote an appropriate social, meeting, dining and guest room environment suitable for a mostly adult population in the southwest portion of the University of Wisconsin-Madison campus while maintaining an intensity of land use compatible with the surrounding neighborhood and enhancing the aesthetic quality of the campus.
- Permitted Uses** The permitted uses of this district are university union and university library facilities. Outdoor dining facilities associated with university union, athletic and other similar university events will be provided as shown on the approved plans and are a permitted use. Outdoor performance venues (movie nights, small musical acts, etc.) are a permitted use and will be accommodated as shown on the approved plans. Private vending (farmers market, food carts, apparel/souvenir sales, etc.) are also a permitted use and as allowed under City of Madison General Ordinances Chapter 9. Uses accessory to the permitted uses are also allowed.
- Lot Area, Bulk and Yard Requirements:** Lot area, building height, floor area ratio; front, side and rear yards; and open space shall be as shown on the approved plans.
- Off-Street Parking and Loading:** Off-street parking will be provided in an underground parking garage with access off West Dayton Street. Short term active loading will be provided off the southeast corner of the building. Deliveries will be accommodated in an underground service area located in the northwest corner of the building with access off North Randall Avenue. Adjacent sidewalks serve as the accessible routes to the major building entrances which are being made fully accessible for people with disabilities.
- Bicycle Parking:** Bicycle and moped parking will be provided as shown on the approved plans.
- Landscaping:** Landscaping will be as shown on the approved plans and installed by the general contractor or his subcontractor under the contract awarded by the State. The approved landscape plans and specs will be part of the project bid documents.
- Lighting:** Site lighting will be provided as shown on the approved plans with all lighting to be sharp cutoff fixtures to reduce up-lighting and impacts to the night sky.
- Signage:** Building signage will be as shown on the approved plans.
- Alterations & Revisions:** No alteration or revision of this Planned Unit Development shall be permitted unless approved by the City Plan Commission. However, the Zoning Administrator may approve minor alterations which are approved by the Director of Planning and Development and the district Alderperson and are compatible with the concept stated in the underlying Planned Unit Development plan approved by the Plan Commission.

# UNIVERSITY OF WISCONSIN MADISON

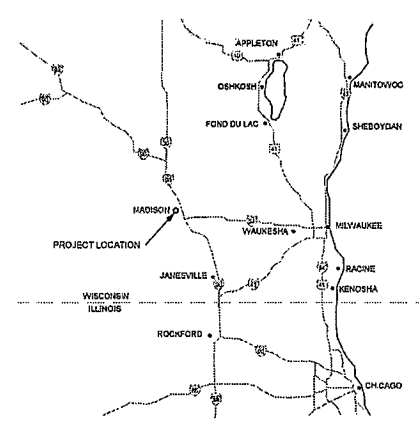
# NEW SOUTH CAMPUS UNION



PROJECT SITE



CITY OF MADISON



CENTRAL WISCONSIN

**OWNER**  
STATE OF WISCONSIN  
DEPARTMENT OF ADMINISTRATION  
DIVISION OF STATE FACILITIES  
101 EAST WILSON ST., 7TH FLOOR  
MADISON, WISCONSIN 53702  
PHONE 608.266.2731  
FAX 608.267.2710

**AGENCY**  
UNIVERSITY OF WISCONSIN - MADISON  
CAPITAL PLANNING & DEVELOPMENT  
FACILITIES PLANNING & MANAGEMENT  
9TH FLOOR WARF  
610 WALNUT STREET  
MADISON, WI 53726  
PHONE 608.263.3000  
FAX 608.265.3139

**CONSTRUCTION MANAGER**  
CG SCHMIDT INC.  
11777 WEST LAKE PARK DRIVE  
MILWAUKEE, WI 53224-3021  
PHONE 414.577.1064  
FAX 414.577.1155

**ARCHITECT**  
WORKSHOP ARCHITECTS  
1736 NORTH SECOND STREET  
MILWAUKEE, WI 53212  
PHONE 414.272.8822  
FAX 414.272.8812

MOODY NOLAN INC  
300 SPRUCE STREET, SUITE 300  
COLUMBUS, OH 43215  
PHONE 614.461.4664  
FAX 614.280.8881

**PLUMBING ENGINEER**  
ARNOLD AND O'SHERIDAN  
111 DEMING WAY  
MADISON, WI 53717  
PHONE 608.821.8500  
FAX 608.821.8501

**STRUCTURAL ENGINEER**  
GRAEF  
ONE HONEY CREEK CORP. CTR.  
125 S. 84TH STREET, SUITE 401  
MILWAUKEE, WI 53214  
PHONE 414.259.1500  
FAX 414.259.0037

**CIVIL ENGINEER**  
GRAEF  
ONE HONEY CREEK CORP. CTR.  
125 S. 84TH STREET, SUITE 401  
MILWAUKEE, WI 53214  
PHONE 414.259.1500  
FAX 414.259.0037

**SITE SURVEYOR**  
JSD PROFESSIONAL SERVICES, INC.  
MADISON REGIONAL OFFICE  
161 HORIZON DRIVE, SUITE 101  
VERONA, WI 53593  
PHONE 608.848.5060  
FAX 608.848.2255

**LANDSCAPE ARCHITECT**  
OLIN PARTNERSHIP  
150 S. INDEPENDENCE MALL W. PUBLIC  
LEDGER BUILDING SUITE 1123  
PHILADELPHIA, PA 19106  
PHONE 215.440.0030  
FAX 215.440.0041

**FOOD SERVICE**  
RICCA NEWMARK DESIGN  
9430 TURNBERRY DRIVE  
POTOMAC, MD 20854  
PHONE 303.221.0500  
FAX 303.221.0800

**MECHANICAL ENGINEER**  
ARNOLD AND O'SHERIDAN  
111 DEMING WAY  
MADISON, WI 53717  
PHONE 608.821.8500  
FAX 608.821.8501

**ELECTRICAL ENGINEER**  
ARNOLD AND O'SHERIDAN  
4125 N. 124TH STREET  
BROOKFIELD, WI 53005-1837  
PHONE 262.783.6130  
FAX 262.783.5121

**ENVIRONMENTAL / ABATEMENT**  
LIESCH ASSOCIATES, INC.  
14665 W. LISBON ROAD, SUITE 2A  
BROOKFIELD, WI 53713  
PHONE 262.373.0819  
FAX 262.364.2514

## WISC. UNION REDEVELOPMENT NEW SOUTH CAMPUS UNION CITY OF MADISON UDC SUBMITTAL

### SHEET INDEX

#### TITLE / GENERAL INFORMATION

T000 TITLE SHEET & SHEET INDEX

#### CIVIL

3-C000 SITE SURVEY  
3-C050A SITE SURVEY

#### LANDSCAPE

3-L8100 OVERALL LANDSCAPE SITE MATERIALS PLAN  
3-L8101 SOUTH WEST LANDSCAPE MATERIALS SITE PLAN  
3-L8101A PLAZA DETAIL LAYOUT SITE PLAN  
3-L8102 NORTH WEST LANDSCAPE MATERIALS SITE PLAN  
3-L8103 NORTH EAST LANDSCAPE MATERIALS SITE PLAN  
3-L8104 SOUTH EAST LANDSCAPE MATERIALS SITE PLAN  
3-L8200 OVERALL LANDSCAPE PLANTING PLAN

#### ARCHITECTURAL

A201 FLOOR PLAN, LEVEL B2  
A202 FLOOR PLAN, LEVEL B1  
A203 FLOOR PLAN, LEVEL 1  
A204 FLOOR PLAN, LEVEL 2  
A205 FLOOR PLAN, LEVEL 3  
A206 FLOOR PLAN, LEVEL 4  
A207 FLOOR PLAN, LEVEL 5  
A208 FLOOR PLAN, LEVEL 6  
A400 OVERALL EXTERIOR ELEVATIONS  
A401 ELEVATION - SOUTH  
A402 ELEVATION - EAST  
A403 ELEVATION - WEST  
A404 ELEVATION - NORTH

WISCONSIN ARCHITECTS, INC.  
 MOODY NOLAN ARCHITECTS, INC.  
 RICCANEWMARK DESIGN  
 ARNOLD AND O'SHERIDAN  
 LIESCH ASSOCIATES, INC.  
 JSD PROFESSIONAL SERVICES, INC.  
 GRAEF  
 WORKSHOP ARCHITECTS

**PRELIMINARY:  
NOT FOR CONSTRUCTION**

Project Title:  
**WISC. UNION REDEVELOPMENT  
NEW SOUTH CAMPUS UNION**  
 Address:  
**1308 W DAYTON STREET  
MADISON, WI 53715**

State of Wisconsin  
 Department of Administration  
 Division of State Facilities  
 UNIVERSITY OF WISCONSIN - MADISON

Revisions:	No.	Date	By:	Description:

Scale: 12" = 1'-0"

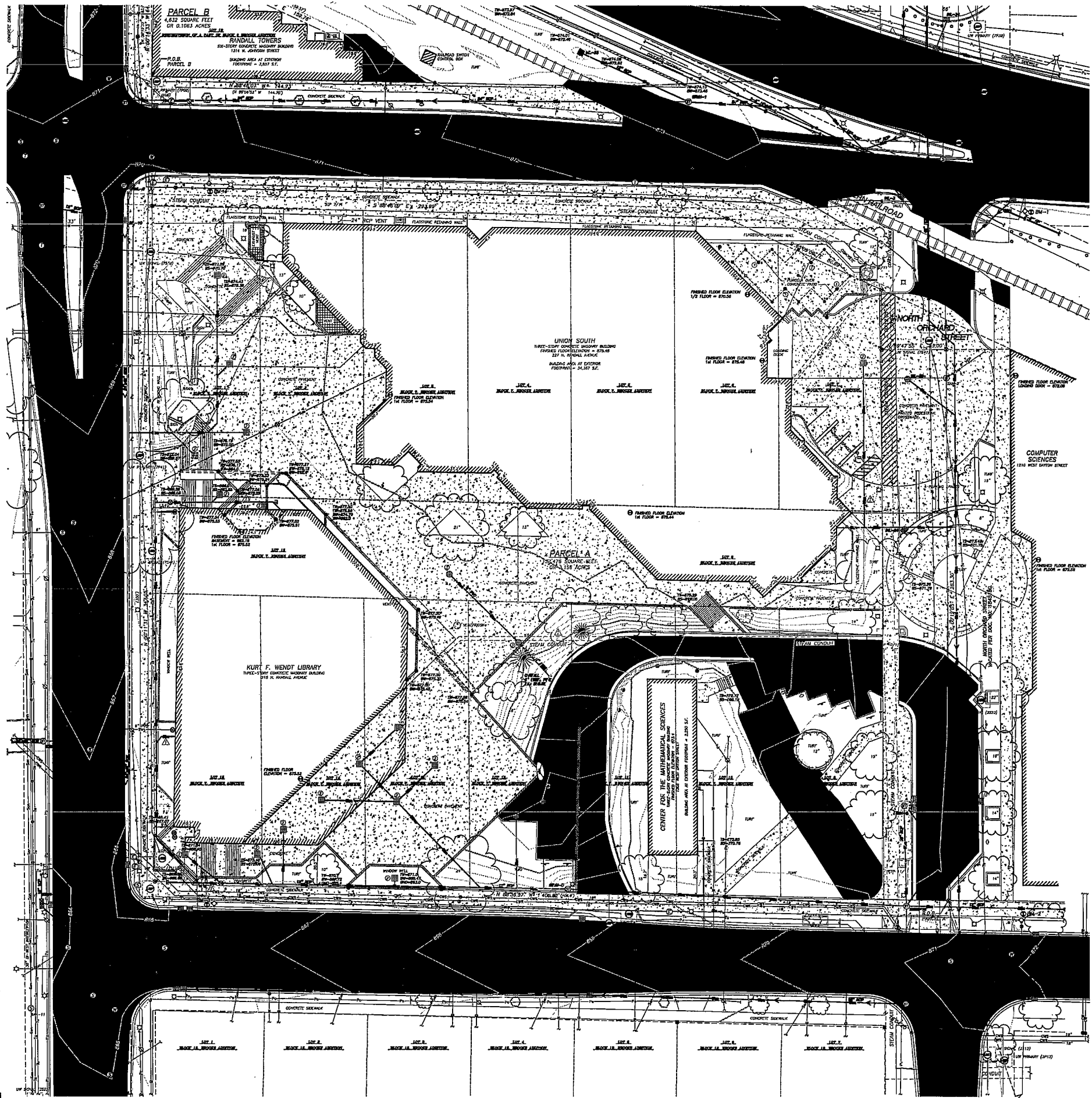
Graphic Scale:

DSF Number: 07E4J

Set Type:

Date Issued: 3-18-09

Sheet Number: **T000**



- LEGEND**
- 3/4" REBAR FOUND
  - 1" IRON PIPE FOUND
  - DRILL HOLE SET
  - BM-1 BENCHMARK
  - F.F. FINISHED FLOOR ELEVATION
  - SIGN
  - BOLLARD
  - PARKING METER
  - WATER OR GAS VALVE
  - FIRE HYDRANT
  - SANITARY OR STORM SEWER CLEANOUT
  - SANITARY SEWER MANHOLE
  - STORM SEWER MANHOLE
  - 18" PRIMARY MANHOLE
  - 18" SIGNAL MANHOLE
  - STORM SEWER INLET
  - TRAFFIC SIGNAL
  - RAILROAD SIGNAL
  - TELEPHONE MANHOLE
  - ELECTRIC MANHOLE
  - UTILITY MANHOLE
  - NG&E MANHOLE
  - LIGHT POLE
  - UTILITY PEDESTALS
  - SATELLITE DISH
  - HANDICAP PARKING STALL
  - SHRUB
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - SPOT ELEVATION
  - BUILDINGS
  - PROPERTY LINE
  - PLATTED LINE
  - RIGHT OF WAY LINE
  - CENTERLINE
  - EASEMENT LINE
  - WATER LINE
  - CHILLED WATER SUPPLY
  - CHILLED WATER RETURN
  - SANITARY SEWER
  - STORM SEWER
  - UNDERGROUND ELECTRICAL POWER
  - OVERHEAD ELECTRICAL POWER
  - UNDERGROUND FIBER OPTIC
  - UNDERGROUND TELEPHONE
  - UNDERGROUND CABLE
  - GAS MAIN
  - FENCE
  - CONCRETE CURB & GUTTER
  - PAVEMENT EDGE
  - RETAINING WALL
  - INDEX CONTOUR
  - INTERMEDIATE CONTOUR
  - UN STEAM TUNNEL
  - ( ) RECORDED INFORMATION

- NOTES**
1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. THE WEEK OF MARCH 24, 2009.
  2. BEARINGS FOR THIS SURVEY AND MAP ARE BASED ON UNIVERSITY OF WISCONSIN HORIZONTAL DATUM. ELEVATIONS ARE BASED ON NAVD 88.
  3. CONTOUR INTERVAL IS ONE FOOT.
  4. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPROPRIATELY LOCATING DIGGERS HOTLINE FIELD MARKERS (PROJECT NO. 20081104569 AND 20081104574) AND BY REFERENCE TO UTILITY RECORDS AND MAPS.
  5. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE AT 1.800.228.2111.
  6. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
  7. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
  8. ELEVATIONS SHOWN ALONG CURB REFERENCE THE TOP BACK OF CURB.
  9. A TITLE REPORT WAS NOT PROVIDED FOR THIS SURVEY.

**LEGAL DESCRIPTION (AS SURVEYED)**

**PARCEL A**

LOT 13, RESUBDIVISION OF A PART OF BLOCK 6, BROOKS' ADDITION, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SECTION 22, AFORSAID; THENCE NORTH 39°02'04" WEST, 1532.89 FEET TO THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF WEST DAYTON STREET AND THE CENTER LINE OF WICKED NORTH ORCHARD STREET; THENCE ALONG THE SAID NORTH RIGHT-OF-WAY LINE NORTH 88°38'57" WEST, 405.82 FEET TO THE EAST RIGHT-OF-WAY LINE OF NORTH RANDALL AVENUE; THENCE ALONG THE SAID EAST RIGHT-OF-WAY LINE NORTH 00°11'31" WEST, 347.68 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF WEST JOHNSON STREET; THENCE ALONG THE SAID SOUTH RIGHT-OF-WAY LINE OF WEST JOHNSON STREET, THENCE ALONG THE SAID WEST RIGHT-OF-WAY LINE OF NORTH RANDALL AVENUE, EXTENDED SOUTH NORTH 02°14'33" WEST, 86.02 FEET TO THE NORTH RIGHT-OF-WAY LINE OF WEST JOHNSON STREET AND THE POINT OF BEGINNING; THENCE SOUTHWESTERLY NORTH 07°43' WEST ALONG SAID LINE, 64.02 FEET TO THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF THE WISCONSIN AND SOUTHERN RAILROAD; THENCE ALONG THE SAID SOUTHWESTERLY RIGHT-OF-WAY LINE, SOUTH 89°23'04" WEST, 48.89 FEET TO THE WEST RIGHT-OF-WAY LINE OF NORTH ORCHARD STREET; THENCE ALONG THE SAID WEST RIGHT-OF-WAY LINE OF NORTH RANDALL AVENUE, EXTENDED SOUTH NORTH 02°14'33" WEST, 86.02 FEET TO THE NORTH RIGHT-OF-WAY LINE OF WEST JOHNSON STREET; THENCE ALONG THE SAID NORTH RIGHT-OF-WAY LINE OF WEST JOHNSON STREET, THENCE ALONG THE SAID WEST RIGHT-OF-WAY LINE OF WEST DAYTON STREET AND THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 137,476 SQUARE FEET OR 3.158 ACRES.

**PARCEL B**

LOT 13, RESUBDIVISION OF A PART OF BLOCK 6, BROOKS' ADDITION, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SECTION 22, AFORSAID; THENCE NORTH 39°02'04" WEST, 1532.89 FEET TO THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF WEST DAYTON STREET AND THE CENTER LINE OF WICKED NORTH ORCHARD STREET; THENCE ALONG THE SAID NORTH RIGHT-OF-WAY LINE NORTH 89°23'04" WEST, 405.82 FEET TO THE EAST RIGHT-OF-WAY LINE OF NORTH RANDALL AVENUE; THENCE ALONG THE SAID EAST RIGHT-OF-WAY LINE NORTH 00°11'31" WEST, 347.68 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF WEST JOHNSON STREET; THENCE ALONG THE SAID WEST RIGHT-OF-WAY LINE OF NORTH RANDALL AVENUE, EXTENDED SOUTH NORTH 02°14'33" WEST, 86.02 FEET TO THE NORTH RIGHT-OF-WAY LINE OF WEST JOHNSON STREET AND THE POINT OF BEGINNING; THENCE SOUTHWESTERLY NORTH 07°43' WEST ALONG SAID LINE, 64.02 FEET TO THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF THE WISCONSIN AND SOUTHERN RAILROAD; THENCE ALONG THE SAID SOUTHWESTERLY RIGHT-OF-WAY LINE, SOUTH 89°23'04" WEST, 48.89 FEET TO THE WEST RIGHT-OF-WAY LINE OF NORTH ORCHARD STREET; THENCE ALONG THE SAID WEST RIGHT-OF-WAY LINE OF NORTH RANDALL AVENUE, EXTENDED SOUTH NORTH 02°14'33" WEST, 86.02 FEET TO THE NORTH RIGHT-OF-WAY LINE OF WEST JOHNSON STREET; THENCE ALONG THE SAID NORTH RIGHT-OF-WAY LINE OF WEST JOHNSON STREET, THENCE ALONG THE SAID WEST RIGHT-OF-WAY LINE OF WEST DAYTON STREET AND THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 4,632 SQUARE FEET OR 0.1053 ACRES.

**SURVEYOR'S CERTIFICATE**

I, JOHN KREBS, REGISTERED LAND SURVEYOR, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF WITH THE INFORMATION PROVIDED.

**CALL DIGGERS HOTLINE**  
1-800-245-8111 TOLL FREE

**UNIVERSITY OF WISCONSIN**  
DIVISION OF STATE FACILITIES

**STATE OF WISCONSIN**  
DIVISION OF STATE FACILITIES

CENTER OF SECTION 22-7-9 FOUND CITY OF MADISON MONUMENT S 89°07'08" E 2634.78'



PREPARED FOR:  
STATE OF WISCONSIN  
101 E. WILSON ST.  
MADISON, WI 53703

**CONSTRUCTION BID PACKAGE #3**

State of Wisconsin  
Department of Administration  
Division of State Facilities

UNIVERSITY OF WISCONSIN - MADISON

PROJECT TITLE:  
**WISC. UNION REDEVELOPMENT**

SHEET TITLE:  
**NEW SOUTH CAMPUS UNION**

SHEET NUMBER:  
**3-C000**

DATE:  
**2-23-09**

SCALE:  
**AS NOTED**

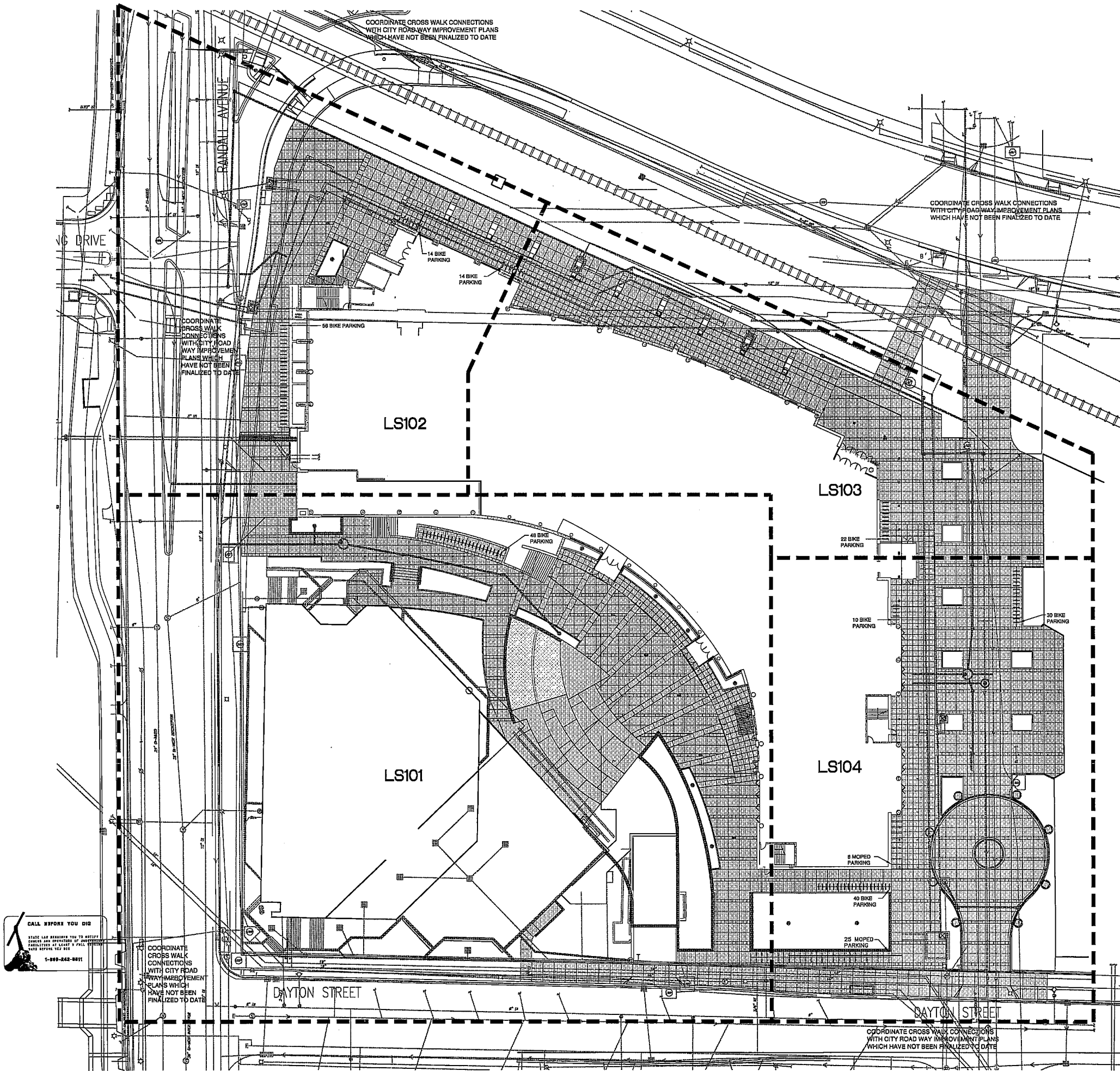
DSP NUMBER:  
**07E4J**

SET TYPE:  
**FR**

SHEET NUMBER:  
**3-C000**







LAYOUT AND MATERIALS NOTES:

- ALL SHOWN CONTROL POINTS, BASELINES, BENCHMARKS, PROPERTY LINES, TREE STAKES, SETBACKS, EXISTING CONDITIONS TO REMAIN, AND NEWLY BUILT ADJACENT CONSTRUCTION (BY OTHERS) SHALL BE VERIFIED BY A PROFESSIONALLY CERTIFIED SURVEYOR (P.C.S.) AS A PART OF THIS CONTRACT. ANY DEVIATIONS FROM INFORMATION SHOWN OR CONFLICTS WITH PROPOSED IMPROVEMENTS SHALL REQUIRE THE OWNER'S REPRESENTATIVE TO BE NOTIFIED IMMEDIATELY WITH WRITTEN FOLLOW UP (WITHIN 24 HOURS), DESCRIBING ANY DEVIATION OR VARIATIONS FROM THE PROPOSED LAYOUT AS DESCRIBED IN THESE PLANS. WRITTEN APPROVAL TO PROCEED MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DEMOLITION OR NEW CONSTRUCTION.
- ALL WORK SHOWN SHALL BE FIELD STAKED OR OTHERWISE DENOTED AND SUBJECT TO FIELD VERIFICATION REVIEW, AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION OR DEMOLITION. FIELD STAKING OF ALL PROPOSED WORK AND ADJACENT CONSTRUCTION (EVEN IF FUTURE WORK BY OTHERS) MAY BE REQUIRED BY THE OWNER'S REPRESENTATIVE PRIOR TO APPROVAL OF ALL IMPROVEMENTS AND ADEQUATE STAKES SHALL BE PROVIDED BY THIS CONTRACTOR.
- TO EXPEDITE THE LAYOUT OF THE SITE, "LAYOUT COORDINATES AND/OR GRIDS" MAY HAVE BEEN ESTABLISHED AS SHOWN. FOR THE PURPOSE OF DESIGN, THESE POINTS SHALL BE FIELD STAKED BY THE SURVEYOR AS A PART OF THIS CONTRACT AT THE CONTRACTOR'S EXPENSE. THE LAYOUT OF THESE STAKES SHALL ACCURATELY OCCUR IN LOCATIONS DETERMINED BY THE OWNER'S REPRESENTATIVE AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THIS PROJECT. THE ESTABLISHMENT OF THESE POINTS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION IN THOSE AREAS AND WILL ASSIST THE CONTRACTOR IN THE LAYOUT OF ALL SITE IMPROVEMENTS AS SHOWN ON THE DRAWING OR OTHERWISE.
- THE CONSTRUCTION TOLERANCES FOR THIS PROJECT ARE MINIMAL AND THE DIMENSIONS SHOWN ARE TO BE STRICTLY ADHERED TO.
- COMPUTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS, AND LARGE SCALE OVER SMALL SCALE DRAWINGS. DIMENSIONS SHOWN WITH (+) SHALL BE THE ONLY LAYOUT INFORMATION ALLOWED TO VARY, AND MAY ONLY VARY TO THE TOLERANCE GIVEN OR TO +/- 1" IF NO DIMENSION IS GIVEN.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE "COMPLETE-IN-PLACE" SYSTEMS AND A COMPLETE PROJECT, AND ANY INTERMITTENT OR PERIODIC APPROVALS RECEIVED FOR PORTIONS OF WORK, STAKES, GRADIES, OR FORMS (BY THE OWNER'S REPRESENTATIVES, ARCHITECTS, ENGINEERS, OR OTHERS) SHALL NOT WAIVE THE CONTRACTOR'S REQUIREMENTS TO COMPLY WITH THE INTENT OF ANY AND ALL PORTIONS OF THIS CONTRACT.
- EXISTING CONDITIONS FOR THIS PLAN ARE BASED ON A SURVEY BY JENKINS SURVEY & DESIGN 4-8-2008.
- VERTICAL DATUM IS CITY OF MADISON DATUM. APPROXIMATE ELEVATIONS BASED ON MEAN SEA LEVEL OF 1928 CAN BE OBTAINED BY ADDING 580.69 FEET ALGEBRAICALLY TO THE MMSD DATUM ELEVATIONS.
- UNDERGROUND STRUCTURES AND UTILITIES, PAVING AND BUILDINGS HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION.
- SAWOUT ALL PAVEMENT, CURBS AND GUTTER AND SIDEWALK PRIOR TO STARTING REMOVALS.
- THE LOCATION OF EXISTING UTILITIES ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR IS FULLY RESPONSIBLE FOR LOCATING AND AVOIDING ALL UNDERGROUND AND ABOVE GROUND UTILITY STRUCTURES AND FACILITIES.
- ALL RADIUS DIMENSIONS FOR CURB AND GUTTER ARE GIVEN TO THE FACE OF CURB. ALL ELEVATIONS ALONG CURB AND GUTTER ARE GIVEN TO THE FLANGE/EDGE OF PAVEMENT.
- SMOOTH AND EVEN JOINTS SHALL BE PROVIDED WHERE MATCHING EXISTING PAVEMENT AND SIDEWALK BY SAWCUTTING.
- ALL DIMENSIONS GIVEN ARE TO CENTERLINE OF JOINTS. ALL JOINTS ARE AT 90 DEGREES UNLESS NOTED OTHERWISE. ALL JOINTS ARE BASED ON THE BUILDING GRID PATTERN. THEY MUST ALIGN AS SHOWN ON PLAN.
- REFER TO UTILITY DRAWINGS FOR STUBS THROUGH FOUNDATION WALLS.
- SEE SITE ELECTRICAL/TELECOM PLANS FOR ALL LIGHTING INFORMATION.

LAYOUT PLAN LEGEND

- SHEET MATCH LINE
- CONCRETE STAIRS (Symbol: 3-LA105)
- HAND RAIL (Symbol: 1-LA105)
- CONCRETE PAVING (Symbol: 2-LA105)
- RETAINING WALL (Symbol: 1-LA105)
- CURB PLANTERS (Symbol: 11-LA105)
- PROPOSED U-BIKE RACK (Symbol: 9-LA105)
- PROPOSED MOPED RACK (Symbol: 9-LA105)

MOODY MOLAN  
CONSULTING ENGINEERS, INC.

Consultant:

**GR&EF**

CONSTRUCTION BID PACKAGE #3

State of Wisconsin  
Department of Administration  
Division of State Facilities

UNIVERSITY OF WISCONSIN - MADISON

Project Title: **WISC. UNION REDEVELOPMENT  
NEW SOUTH CAMPUS UNION**

Project Location: **1308 W. DAYTON STREET  
MADISON, WI 53715**

Sheet Title: **OVERALL LANDSCAPE SITE MATERIALS PLAN**

No.	Date	By	Description

Scale: 1" = 20'-0"

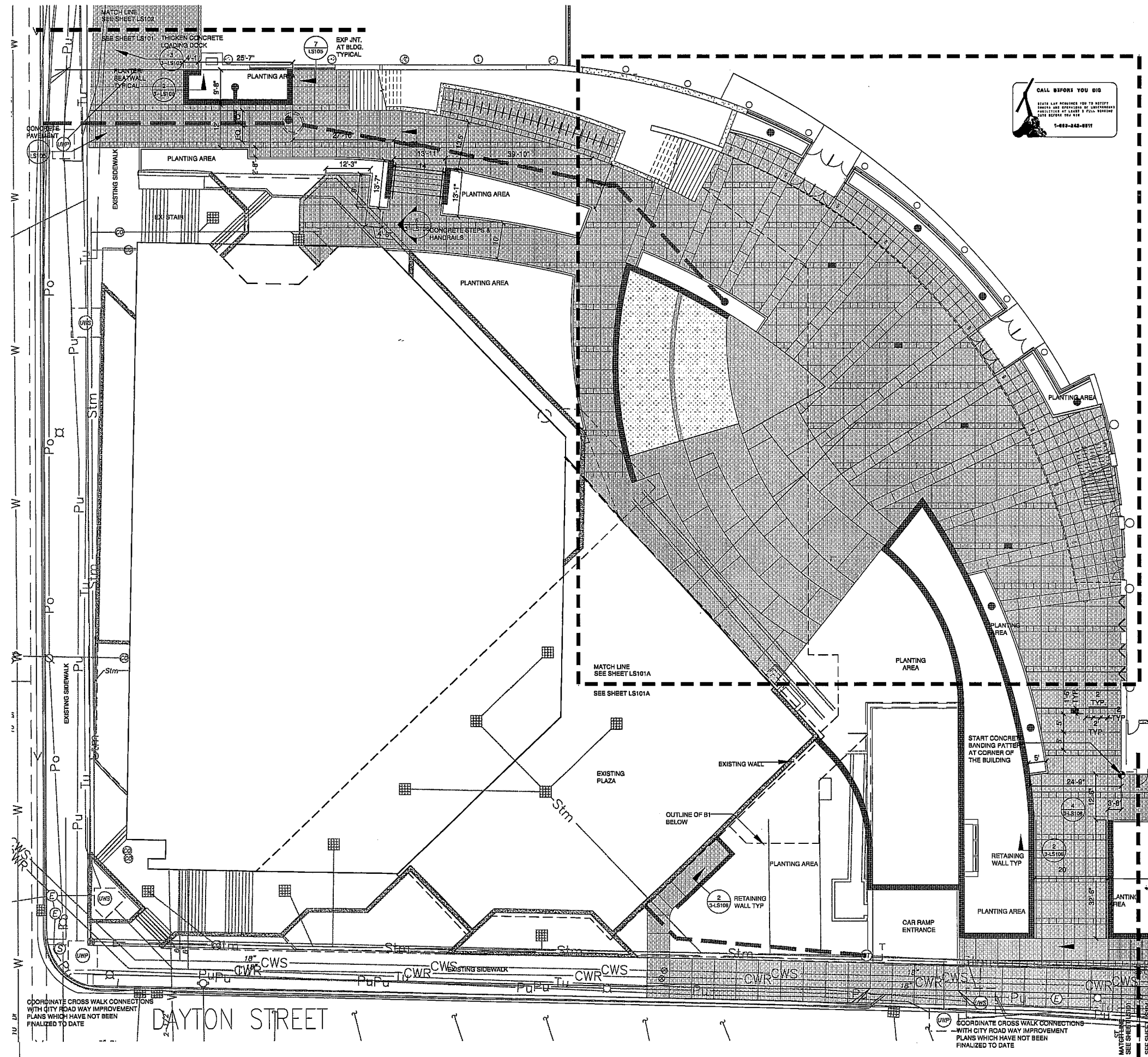
Graphic Scale: 0' 5' 10' 20' 30'

DSF Number: 07E4J

Set Type: FR

Date Issued: FEB 23, 2009

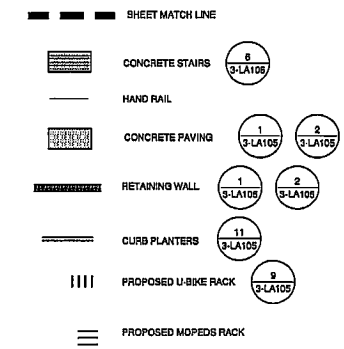
Sheet Number: **3-LS100**



LAYOUT AND MATERIALS NOTES:

- ALL SHOWN CONTROL POINTS, BASELINES, BENCHMARKS, PROPERTY LINES, TREE STAKES, SETBACKS, EXISTING CONDITIONS TO REMAIN, AND NEWLY BUILT ADJACENT CONSTRUCTION (BY OTHERS) SHALL BE VERIFIED BY A PROFESSIONALLY CERTIFIED SURVEYOR (P.L.S.) AS A PART OF THIS CONTRACT. ANY DEVIATIONS FROM INFORMATION SHOWN OR CONFLICTS WITH PROPOSED IMPROVEMENTS SHALL REQUIRE THE OWNERS REPRESENTATIVE TO BE NOTIFIED IMMEDIATELY WITH WRITTEN FOLLOW UP (WITHIN 24 HOURS), DESCRIBING ANY DEVIATION OR VARIATIONS FROM THE PROPOSED LAYOUT AS DESCRIBED IN THESE PLANS. WRITTEN APPROVAL TO PROCEED MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DEMOLITION OR NEW CONSTRUCTION.
- ALL WORK SHOWN SHALL BE FIELD STAKED OR OTHERWISE DENOTED AND SUBJECT TO FIELD VERIFICATION REVIEW, AND APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO ANY CONSTRUCTION OR DEMOLITION. FIELD STAKING OF ALL PROPOSED WORK AND ADJACENT CONSTRUCTION (EVEN IF FUTURE WORK BY OTHERS) MAY BE REQUIRED BY THE OWNERS REPRESENTATIVE PRIOR TO APPROVAL OF ALL IMPROVEMENTS AND ADEQUATE STAKES SHALL BE PROVIDED BY THIS CONTRACTOR.
- TO EXPEDITE THE LAYOUT OF THE SITE, "LAYOUT COORDINATES AND/OR GRIDS" MAY HAVE BEEN ESTABLISHED AS SHOWN. FOR THE PURPOSE OF DESIGN, THESE POINTS SHALL BE FIELD STAKED BY THE SURVEYOR AS A PART OF THIS CONTRACT AT THE CONTRACTORS EXPENSE. THE LAYOUT OF THESE STAKES SHALL ACCURATELY OCCUR IN LOCATIONS DETERMINED BY THE OWNERS REPRESENTATIVE AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THIS PROJECT. THE ESTABLISHMENT OF THESE POINTS SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO ANY CONSTRUCTION IN THOSE AREAS AND WILL ASSIST THE CONTRACTOR IN THE LAYOUT OF ALL SITE IMPROVEMENTS AS SHOWN ON THE DRAWING OR OTHERWISE.
- THE CONSTRUCTION TOLERANCES FOR THIS PROJECT ARE MINIMAL AND THE DIMENSIONS SHOWN ARE TO BE STRICTLY ADHERED TO.
- COMPUTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS, AND LARGE SCALE OVER SMALL SCALE DRAWINGS. DIMENSIONS SHOWN WITH (+/-) SHALL BE THE ONLY LAYOUT INFORMATION ALLOWED TO VARY, AND MAY ONLY VARY TO THE TOLERANCE GIVEN OR TO +/- 1" IF NO DIMENSION IS GIVEN.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE "COMPLETE-IN-PLACE" SYSTEMS AND A COMPLETE PROJECT, AND ANY INTERMITTENT OR PERIODIC APPROVALS RECEIVED FOR PORTIONS OF WORK, STAKES, GRADES, OR FORMS (BY THE OWNERS REPRESENTATIVES, ARCHITECTS, ENGINEERS, OR OTHERS) SHALL NOT WAIVE THE CONTRACTORS REQUIREMENTS TO COMPLY WITH THE INTENT OF ANY AND ALL PORTIONS OF THIS CONTRACT.
- EXISTING CONDITIONS FOR THIS PLAN ARE BASED ON A SURVEY BY JENKINS SURVEY & DESIGN 4-8-2008.
- VERTICAL DATUM IS CITY OF MADISON DATUM. APPROXIMATE ELEVATIONS BASED ON MEAN SEA LEVEL OF 1929 CAN BE OBTAINED BY ADDING 580.60 FEET ALGEBRAICALLY TO THE MMSD DATUM ELEVATIONS.
- UNDERGROUND STRUCTURES AND UTILITIES, PAVING AND BUILDINGS HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION.
- SAWCUT ALL PAVEMENT, CURB AND GUTTER AND GUTTER AND SIDEWALK PRIOR TO STARTING REMOVALS.
- THE LOCATION OF EXISTING UTILITIES ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR IS FULLY RESPONSIBLE FOR LOCATING AND AVOIDING ALL UNDERGROUND AND ABOVE GROUND UTILITY STRUCTURES AND FACILITIES.
- ALL RADIUS DIMENSIONS FOR CURB AND GUTTER ARE GIVEN TO THE FACE OF CURB. ALL ELEVATIONS ALONG CURB AND GUTTER ARE GIVEN TO THE PLANE/EDGE OF PAVEMENT.
- SMOOTH AND EVEN JOINTS SHALL BE PROVIDED WHERE MATCHING EXISTING PAVEMENT AND SIDEWALK BY SAWCUTTING.
- ALL DIMENSIONS GIVEN ARE TO CENTERLINE OF JOINTS. ALL JOINTS ARE 90 DEGREES UNLESS NOTED OTHERWISE. ALL JOINTS ARE BASED ON THE BUILDING GRID PATTERN, THEY MUST ALIGN AS SHOWN ON PLAN.
- REFER TO UTILITY DRAWINGS FOR STUBS THROUGH FOUNDATION WALLS.
- SEE SITE ELECTRICAL/TELECOM PLANS FOR ALL LIGHTING INFORMATION.

LAYOUT PLAN LEGEND



Consultant:

**GRAEF**

1000 East Capitol Street  
Madison, WI 53703  
608.261.1100  
www.graef.com

CONSTRUCTION BID PACKAGE #3

State of Wisconsin  
Department of Administration  
Division of State Facilities

UNIVERSITY OF WISCONSIN - MADISON

Project Title: **WISC. UNION REDEVELOPMENT  
NEW SOUTH CAMPUS UNION**

Project Location: **1308 W. DAYTON STREET  
MADISON, WI 53715**

Street Title: **SOUTH WEST LANDSCAPE MATERIALS  
SITE PLAN**

Revisions:	No.	Date	By	Description

Scale: 1" = 10'-0"

Graphic Scale: 0 2.5 5 10 15

DSP Number: 07E4J

Set Type: FR

Date Issued: FEB 23, 2009

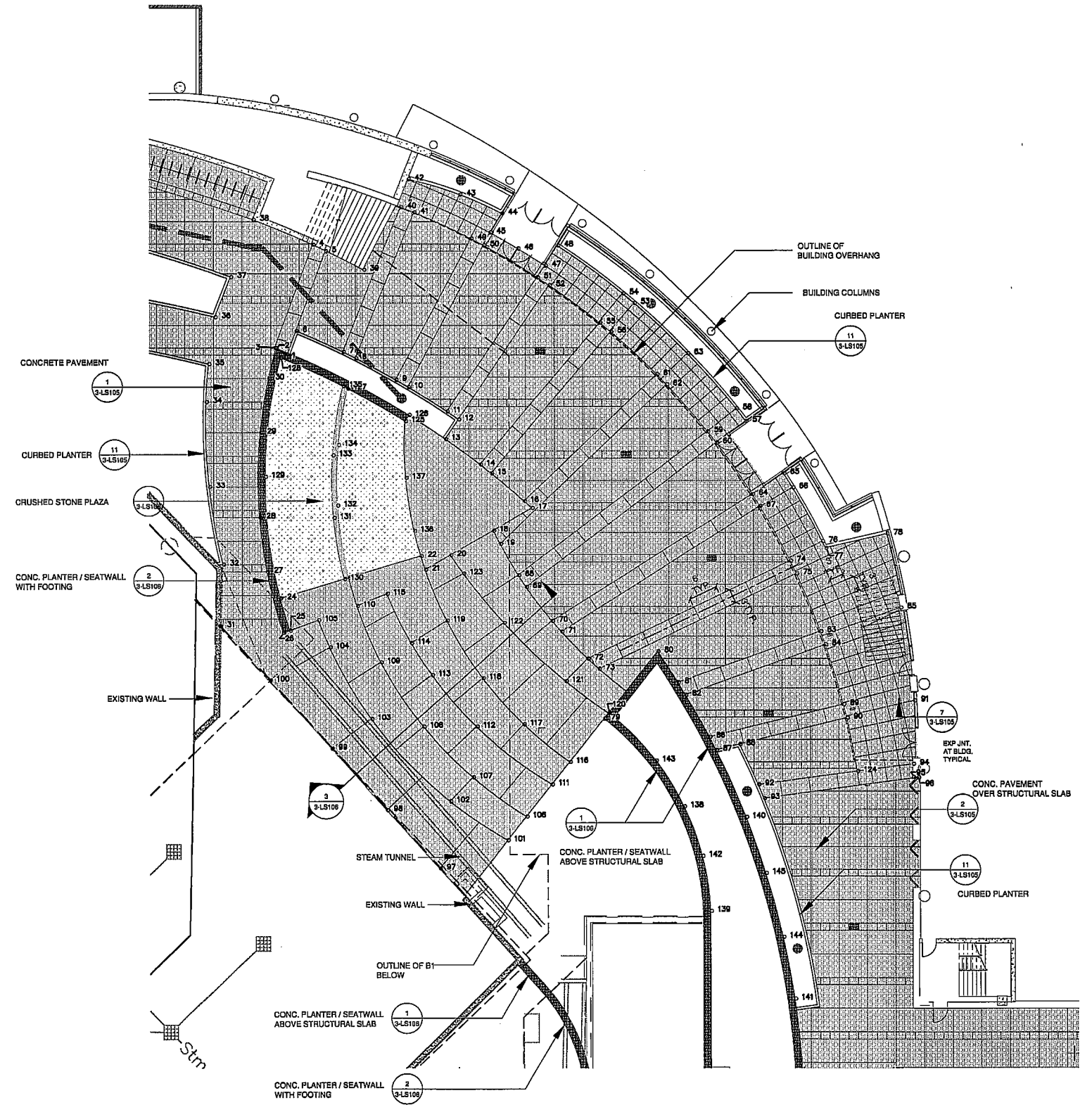
Sheet Number: **3-LS101**

# LAYOUT AND MATERIALS NOTES:

- ALL SHOWN CONTROL POINTS, BASELINES, BENCHMARKS, PROPERTY LINES, TREE STAKES, SETBACKS, EXISTING CONDITIONS TO REMAIN, AND NEWLY BUILT ADJACENT CONSTRUCTION (BY OTHERS) SHALL BE VERIFIED BY A PROFESSIONALLY CERTIFIED SURVEYOR (P.L.S.) AS A PART OF THIS CONTRACT. ANY DEVIATIONS FROM INFORMATION SHOWN OR CONFLICTS WITH PROPOSED IMPROVEMENTS SHALL REQUIRE THE OWNER'S REPRESENTATIVE TO BE NOTIFIED IMMEDIATELY WITH WRITTEN FOLLOW UP (WITHIN 24 HOURS), DESCRIBING ANY DEVIATION OR VIOLATIONS FROM THE PROPOSED LAYOUT AS DESCRIBED IN THESE PLANS. WRITTEN APPROVAL TO PROCEED MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DEMOLITION OR NEW CONSTRUCTION.
- ALL WORK SHOWN SHALL BE FIELD STAKED OR OTHERWISE DESIGNATED AND SUBJECT TO FIELD VERIFICATION REVIEW, AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION OR DEMOLITION. FIELD STAKING OF ALL PROPOSED WORK AND ADJACENT CONSTRUCTION (EVEN IF FUTURE WORK BY OTHERS) MAY BE REQUIRED BY THE OWNER'S REPRESENTATIVE PRIOR TO APPROVAL OF ALL IMPROVEMENTS AND ADEQUATE STAKES SHALL BE PROVIDED BY THIS CONTRACTOR.
- TO EXPEDITE THE LAYOUT OF THE SITE, "LAYOUT COORDINATES AND/OR GRIDS" MAY HAVE BEEN ESTABLISHED AS SHOWN. FOR THE PURPOSE OF DESIGN, THESE POINTS SHALL BE FIELD STAKED BY THE SURVEYOR AS A PART OF THIS CONTRACT AT THE CONTRACTOR'S EXPENSE. THE LAYOUT OF THESE STAKES SHALL ACCURATELY OCCUR IN LOCATIONS DETERMINED BY THE OWNER'S REPRESENTATIVE AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THIS PROJECT. THE ESTABLISHMENT OF THESE POINTS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION IN THOSE AREAS AND WILL ASSIST THE CONTRACTOR IN THE LAYOUT OF ALL SITE IMPROVEMENTS AS SHOWN ON THE DRAWING OR OTHERWISE.
- THE CONSTRUCTION TOLERANCES FOR THIS PROJECT ARE MINIMAL AND THE DIMENSIONS SHOWN ARE TO BE STRICTLY ADHERED TO.
- COMPUTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS, AND LARGE SCALE OVER SMALL SCALE DRAWINGS. DIMENSIONS SHOWN WITH (+/-) SHALL BE THE ONLY LAYOUT INFORMATION ALLOWED TO VARY, AND MAY ONLY VARY TO THE TOLERANCE GIVEN OR TO +/- 1" IF NO DIMENSION IS GIVEN.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE "COMPLETE-IN-PLACE" SYSTEMS AND A COMPLETE PROJECT, AND ANY INTERMITTENT OR PERIODIC APPROVALS RECEIVED FOR PORTIONS OF WORK, STAKES, GRADES, OR FORMS (BY THE OWNER'S REPRESENTATIVE, ARCHITECTS, ENGINEERS, OR OTHERS) SHALL NOT WAIVE THE CONTRACTOR'S REQUIREMENTS TO COMPLY WITH THE INTENT OF ANY AND ALL PORTIONS OF THIS CONTRACT.
- EXISTING CONDITIONS FOR THIS PLAN ARE BASED ON A SURVEY BY JENKINS SURVEY & DESIGN 4-8-2008.
- VERTICAL DATUM IS CITY OF MADISON DATUM. APPROXIMATE ELEVATIONS BASED ON MEAN SEA LEVEL OF 1929 CAN BE OBTAINED BY ADDING 580.60 FEET ALGEBRAICALLY TO THE MMSD DATUM ELEVATIONS.
- UNDERGROUND STRUCTURES AND UTILITIES, PAVING AND BUILDINGS HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION.
- SAWOUT ALL PAVEMENT, CURB AND GUTTER AND SIDEWALK PRIOR TO STARTING REMOVALS.
- THE LOCATION OF EXISTING UTILITIES ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR IS FULLY RESPONSIBLE FOR LOCATING AND AVOIDING ALL UNDERGROUND AND ABOVE GROUND UTILITY STRUCTURES AND FACILITIES.
- ALL RADIUS DIMENSIONS FOR CURB AND GUTTER ARE GIVEN TO THE FACE OF CURB. ALL ELEVATIONS ALONG CURB AND GUTTER ARE GIVEN TO THE FLANGE EDGE OF PAVEMENT.
- SMOOTH AND EVEN JOINTS SHALL BE PROVIDED WHERE MATCHING EXISTING PAVEMENT AND SIDEWALK BY SAWCUTTING.
- ALL DIMENSIONS GIVEN ARE TO CENTERLINE OF JOINTS. ALL JOINTS ARE AT 90 DEGREES UNLESS NOTED OTHERWISE. ALL JOINTS ARE BASED ON THE BUILDING GRID PATTERN, THEY MUST ALIGN AS SHOWN ON PLAN.
- REFER TO UTILITY DRAWINGS FOR STUBS THROUGH FOUNDATION WALLS.
- SEE SITE ELECTRICAL/TELECOM PLANS FOR ALL LIGHTING INFORMATION.

Point #	Northing	Easting
1	185.9461	148.4182
2	188.0394	148.4439
3	186.0394	146.1361
4	207.9191	154.1905
5	208.5254	158.8743
6	189.6235	150.8547
7	185.1498	160.6245
8	183.9130	163.3209
9	179.1941	171.8709
10	177.9751	174.4613
11	172.5070	182.6097
12	170.8128	185.0857
13	188.8633	182.2949
14	181.2595	189.8347
15	159.3999	191.9868
16	153.4743	199.9732
17	151.9928	200.9102
18	147.2824	192.4206
19	144.3912	183.8793
20	142.0188	183.3416
21	138.9533	178.0947
22	141.8119	177.1248
23	137.2456	161.8234
24	132.9032	147.2725
25	128.0414	148.2848
26	128.5734	147.8398
27	138.6394	144.4889
28	150.0384	142.9481
29	168.0384	143.1083
30	179.5364	144.8578
31	127.0384	134.6829
32	140.0384	135.3045
33	158.5384	132.4316
34	174.5384	131.7760
35	182.9993	132.3060
36	192.5731	133.6499
37	201.8873	136.0277
38	213.2070	141.8306
39	202.5883	185.0519
40	216.8694	172.9389
41	214.7740	175.7218
42	221.8183	174.5022
43	218.9580	185.4020
44	214.5896	194.2520
45	210.4818	191.7501
46	207.0589	197.8528
47	203.4681	203.4407
48	207.7346	208.0152
49	209.2058	187.7442
50	207.8033	190.3981
51	200.9905	201.7790
52	189.3217	204.2999
53	168.5830	222.0898
54	197.5787	219.7915
55	191.3505	214.8577
56	189.4232	217.1867
57	170.4454	248.7280
58	173.0828	243.6844
59	168.2828	237.5828
60	185.0899	239.4278
61	180.3766	228.8578
62	178.2176	228.9406
63	184.8378	233.4283
64	154.9229	247.0499
65	159.3814	253.8998
66	155.3506	255.5740
67	152.3883	249.8594
68	137.7813	197.7179
69	135.2797	199.3721
70	128.0811	204.7901
71	125.7790	208.7612
72	120.0730	212.2423
73	117.8635	214.8032

Point #	Northing	Easting
74	140.7602	255.0509
75	138.0788	256.2372
76	144.9025	281.8859
77	143.4915	282.5893
78	146.8270	279.8585
79	107.2404	215.8827
80	121.8090	228.9728
81	114.8884	231.2851
82	112.3829	232.8778
83	125.8518	261.4943
84	123.0285	262.5088
85	130.8045	278.4571
86	103.3944	237.8998
87	100.8478	239.2950
88	101.8823	244.2725
89	110.3314	268.3289
90	107.4169	267.0380
91	111.1703	281.2927
92	83.2318	248.2318
93	80.3954	249.4277
94	87.8442	281.0248
95	84.8307	281.0209
96	84.7804	282.0893
97	75.8391	180.9780
98	87.8901	168.8581
99	100.8468	158.0858
100	118.4478	148.0108
101	81.4907	198.3321
102	89.7478	183.1784
103	107.2018	166.8205
104	122.4712	157.7247
105	128.2473	165.3173
106	88.5314	199.3823
107	84.7993	188.0188
108	105.8682	177.8428
109	119.3078	168.8696
110	131.2813	163.5873
111	83.3184	204.7029
112	105.5778	188.8282
113	118.6910	179.4318
114	123.3794	175.0884
115	133.8392	169.9723
116	98.0788	208.4513
117	108.0788	188.8280
118	118.8308	193.1454
119	128.1509	182.5672
120	108.4184	218.5907
121	115.2527	207.6225
122	127.7100	194.8115
123	138.1384	188.0888
124	86.0892	269.2459
125	170.4403	173.8406
126	171.7137	174.8333
127	177.4030	181.8504
128	183.9222	147.4268
129	188.7687	144.1347
130	138.8584	160.8844
131	149.8922	158.6190
132	162.8093	159.4189
133	163.2099	158.4107
134	165.3789	159.5905
135	177.8800	160.0478
136	147.1581	175.7211
137	158.4310	173.9748
138	88.6550	232.5063
139	88.5143	238.1303
140	88.3878	245.8440
141	47.8699	255.9198
142	78.2044	238.3934
143	88.3878	228.5908
144	80.9959	253.4622
145	74.5518	249.8108



## LAYOUT PLAN LEGEND

- SHEET MATCH LINE
- CONCRETE STAIRS
- HAND RAIL
- CONCRETE PAVING
- RETAINING WALL
- CURB PLANTERS
- PROPOSED USER RACK
- PROPOSED MOPED RACK



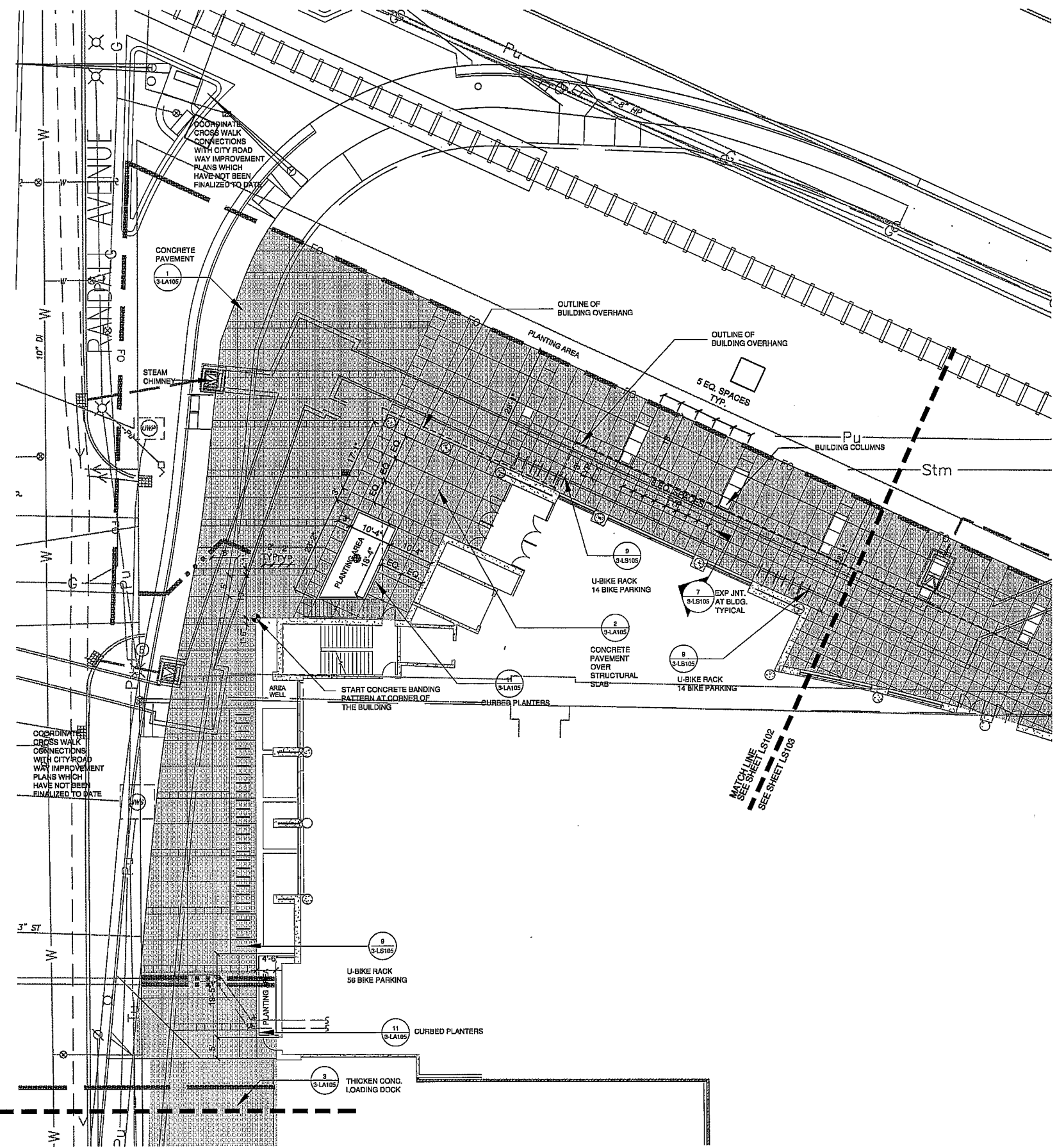
CONSULTANT: **GRAEF** CONSULTANTS  
 2000 State Street, Madison, WI 53703  
 608-261-1100  
 www.graef.com

**CONSTRUCTION BID PACKAGE #3**  
 State of Wisconsin  
 Department of Administration  
 Division of State Facilities

PROJECT: WISC. UNION REDEVELOPMENT  
 NEW SOUTH CAMPUS UNION  
 1308 W. DAYTON STREET  
 MADISON, WI 53716  
 SHEET TITLE: PLAZA DETAIL LAYOUT  
 SITE PLAN

No.	Date	By	Description

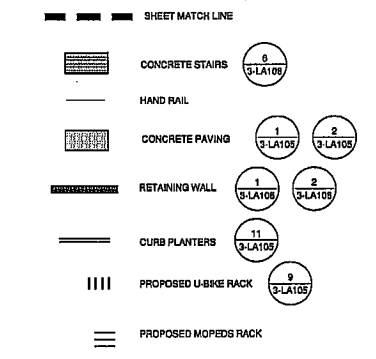
Scale: 1" = 10'-0"  
 Graphical Scale: 0 2.5 5 10 15  
 DSP Number: 07E4J  
 Set Type: FR  
 Date Issued: FEB 23, 2009  
 Sheet Number: **3-LS101A**



LAYOUT AND MATERIALS NOTES:

1. ALL SHOWN CONTROL POINTS, BASELINES, BENCHMARKS, PROPERTY LINES, TREE STAKES, SETBACKS, EXISTING CONDITIONS TO REMAIN, AND NEWLY BUILT ADJACENT CONSTRUCTION (BY OTHERS) SHALL BE VERIFIED BY A PROFESSIONALLY CERTIFIED SURVEYOR (PLS) AS A PART OF THIS CONTRACT. ANY DEVIATIONS FROM INFORMATION SHOWN OR CONFLICTS WITH PROPOSED IMPROVEMENTS SHALL REQUIRE THE OWNER'S REPRESENTATIVE TO BE NOTIFIED IMMEDIATELY WITH WRITTEN FOLLOW UP (WITHIN 24 HOURS), DESCRIBING ANY DEVIATION OR VARIATIONS FROM THE PROPOSED LAYOUT AS DESCRIBED IN THESE PLANS. WRITTEN APPROVAL TO PROCEED MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DEMOLITION OR NEW CONSTRUCTION.
2. ALL WORK SHOWN SHALL BE FIELD STAKED OR OTHERWISE DENOTED AND SUBJECT TO FIELD VERIFICATION, REVIEW, AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION OR DEMOLITION. FIELD STAKING OF ALL PROPOSED WORK AND ADJACENT CONSTRUCTION (EVEN IF FUTURE WORK BY OTHERS) MAY BE REQUIRED BY THE OWNER'S REPRESENTATIVE PRIOR TO APPROVAL OF ALL IMPROVEMENTS AND ADEQUATE STAKES SHALL BE PROVIDED BY THIS CONTRACTOR.
3. TO EXPEDITE THE LAYOUT OF THE SITE, "LAYOUT COORDINATES AND/OR GRIDS" MAY HAVE BEEN ESTABLISHED AS SHOWN. FOR THE PURPOSE OF DESIGN, THESE POINTS SHALL BE FIELD STAKED BY THE SURVEYOR AS A PART OF THIS CONTRACT AT THE CONTRACTOR'S EXPENSE. THE LAYOUT OF THESE STAKES SHALL ACCURATELY OCCUR IN LOCATIONS DETERMINED BY THE OWNER'S REPRESENTATIVE AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THIS PROJECT. THE ESTABLISHMENT OF THESE POINTS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION IN THOSE AREAS AND WILL ASSIST THE CONTRACTOR IN THE LAYOUT OF ALL SITE IMPROVEMENTS AS SHOWN ON THIS DRAWING OR OTHERWISE.
4. THE CONSTRUCTION TOLERANCES FOR THIS PROJECT ARE MINIMAL AND THE DIMENSIONS SHOWN ARE TO BE STRICTLY ADHERED TO.
5. COMPUTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS, AND LARGE SCALE OVER SMALL SCALE DRAWINGS. DIMENSIONS SHOWN WITH (+/-) SHALL BE THE ONLY LAYOUT INFORMATION ALLOWED TO VARY, AND MAY ONLY VARY TO THE TOLERANCE GIVEN OR TO +/- 1" IF NO DIMENSION IS GIVEN.
6. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE "COMPLETE-IN-PLACE" SYSTEMS AND A COMPLETE PROJECT, AND ANY INTERMITTENT OR PERIODIC APPROVALS RECEIVED FOR PORTIONS OF WORK, STAKES, GRIDS, OR FORMS (BY THE OWNER'S REPRESENTATIVES, ARCHITECTS, ENGINEERS, OR OTHERS) SHALL NOT WAIVE THE CONTRACTOR'S REQUIREMENTS TO COMPLY WITH THE INTENT OF ANY AND ALL PORTIONS OF THIS CONTRACT.
7. EXISTING CONDITIONS FOR THIS PLAN ARE BASED ON A SURVEY BY JENKINS SURVEY & DESIGN 4-9-2008.
8. VERTICAL DATUM IS CITY OF MADISON DATUM. APPROXIMATE ELEVATIONS BASED ON MEAN SEA LEVEL OF 1928 CAN BE OBTAINED BY ADDING 569.66 FEET ALGEBRAICALLY TO THE MMSD DATUM ELEVATIONS.
9. UNDERGROUND STRUCTURES AND UTILITIES, PAVING AND BUILDINGS HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION.
10. SAWCUT ALL PAVEMENT, CURB AND GUTTER AND SIDEWALK PRIOR TO STARTING REMOVALS.
11. THE LOCATION OF EXISTING UTILITIES ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR IS FULLY RESPONSIBLE FOR LOCATING AND AVOIDING ALL UNDERGROUND AND ABOVE GROUND UTILITY STRUCTURES AND FACILITIES.
12. ALL RADIUS DIMENSIONS FOR CURB AND GUTTER ARE GIVEN TO THE FACE OF CURB. ALL ELEVATIONS ALONG CURB AND GUTTER ARE GIVEN TO THE FLANGE EDGE OF PAVEMENT.
13. SMOOTH AND EVEN JOINTS SHALL BE PROVIDED WHERE MATCHING EXISTING PAVEMENT AND SIDEWALK BY SANDCUTTING.
14. ALL DIMENSIONS GIVEN ARE TO CENTERLINE OF JOINTS. ALL JOINTS ARE AT 90 DEGREES UNLESS NOTED OTHERWISE. ALL JOINTS ARE BASED ON THE BUILDING GRID PATTERN; THEY MUST ALIGN AS SHOWN ON PLAN.
15. REFER TO UTILITY DRAWINGS FOR STUBS THROUGH FOUNDATION WALLS.
16. SEE SITE ELECTRICAL/TELECOM PLANS FOR ALL LIGHTING INFORMATION.

LAYOUT PLAN LEGEND



MATCH LINE  
SEE SHEET LS102  
SEE SHEET LS101

MOODY NOLAN  
WORKSHOP ARCHITECTS, INC.  
CONSULTANTS

**GRAF**

**CONSTRUCTION BID PACKAGE #3**

State of Wisconsin  
Department of Administration  
Division of State Facilities

UNIVERSITY OF WISCONSIN - MADISON

Project Title:  
**WISC. UNION REDEVELOPMENT  
NEW SOUTH CAMPUS UNION**

Project Location:  
**1308 W. DAYTON STREET  
MADISON, WI 53715**

Sheet Title:  
**NORTH WEST LANDSCAPE MATERIALS  
SITE PLAN**

Revisions:			
No.	Date	By	Description

Scale: 1" = 10'-0"

Graphic Scale: 0 2.5 5 10 15

DIST. Number: 07E4J

Set Type: FR

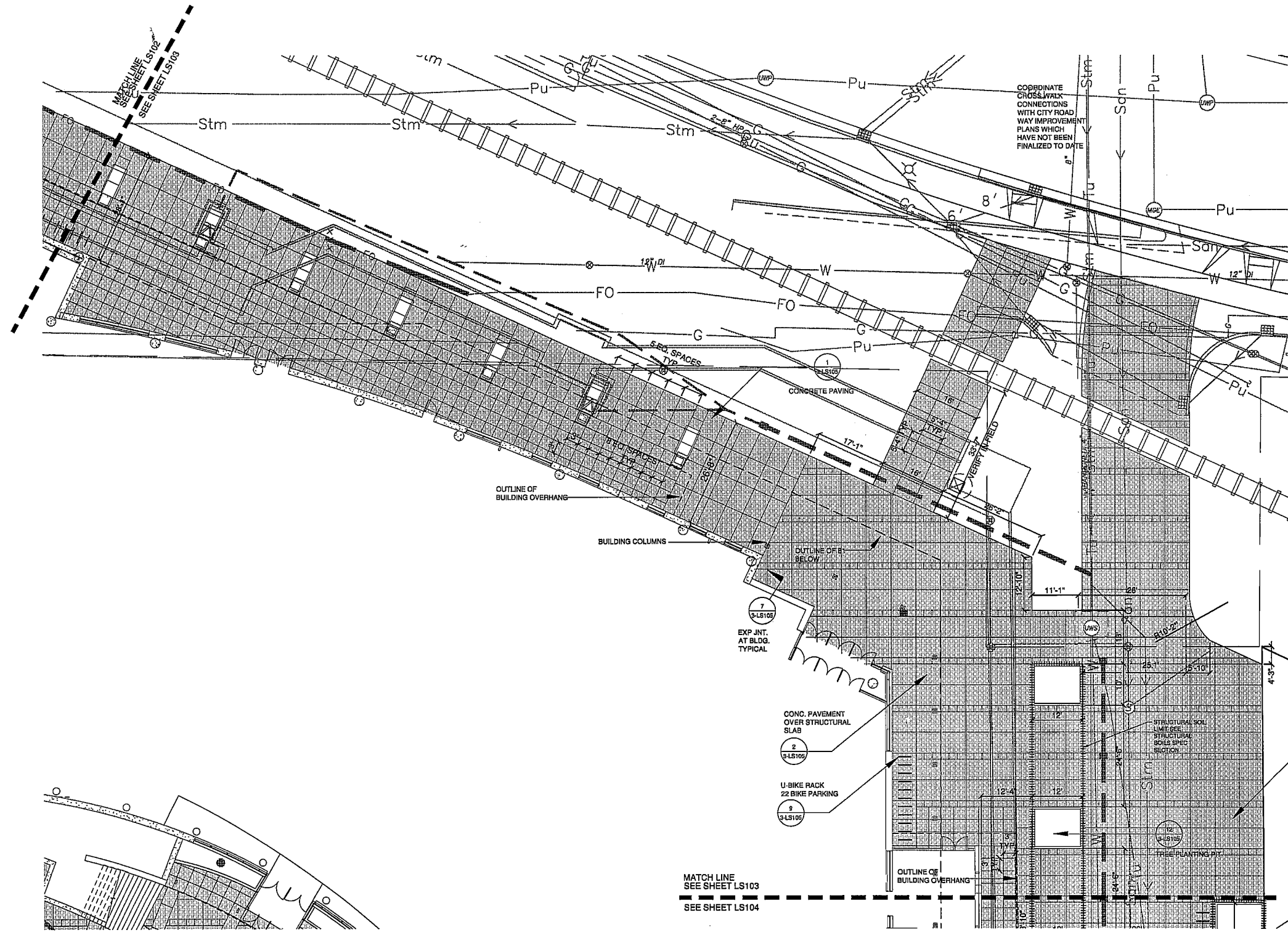
Date Issued: FEB 23, 2009

Sheet Number: **3-LS102**



LAYOUT AND MATERIALS NOTES:

- ALL SHOWN CONTROL POINTS, BASELINES, BENCHMARKS, PROPERTY LINES, TREE STAKES, SETBACKS, EXISTING CONDITIONS TO REMAIN, AND NEWLY BUILT ADJACENT CONSTRUCTION BY OTHERS SHALL BE VERIFIED BY A PROFESSIONALLY CERTIFIED SURVEYOR (P.L.S.) AS A PART OF THIS CONTRACT. ANY DEVIATIONS FROM INFORMATION SHOWN OR CONFLICTS WITH PROPOSED IMPROVEMENTS SHALL REQUIRE THE OWNER'S REPRESENTATIVE TO BE NOTIFIED IMMEDIATELY WITH WRITTEN FOLLOW UP (WITHIN 24 HOURS), DESCRIBING ANY DEVIATION OR VARIATIONS FROM THE PROPOSED LAYOUT AS DESCRIBED IN THESE PLANS. WRITTEN APPROVAL TO PROCEED MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DEMOLITION OR NEW CONSTRUCTION.
- ALL WORK SHOWN SHALL BE FIELD STAKED OR OTHERWISE DENOTED AND SUBJECT TO FIELD VERIFICATION REVIEW, AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION OR DEMOLITION. FIELD STAKING OF ALL PROPOSED WORK AND ADJACENT CONSTRUCTION (EVEN IF FUTURE WORK BY OTHERS) MAY BE REQUIRED BY THE OWNER'S REPRESENTATIVE PRIOR TO APPROVAL OF ALL IMPROVEMENTS AND ADEQUATE STAKES SHALL BE PROVIDED BY THIS CONTRACTOR.
- TO EXPEDITE THE LAYOUT OF THE SITE, "LAYOUT COORDINATES AND/OR GRIDS" MAY HAVE BEEN ESTABLISHED AS SHOWN. FOR THE PURPOSE OF DESIGN, THESE POINTS SHALL BE FIELD STAKED BY THE SURVEYOR AS A PART OF THIS CONTRACT AT THE CONTRACTOR'S EXPENSE. THE LAYOUT OF THESE STAKES SHALL ACCURATELY OCCUR IN LOCATIONS DETERMINED BY THE OWNER'S REPRESENTATIVE AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THIS PROJECT. THE ESTABLISHMENT OF THESE POINTS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION IN THOSE AREAS AND WILL ASSIST THE CONTRACTOR IN THE LAYOUT OF ALL SITE IMPROVEMENTS AS SHOWN ON THE DRAWING OR OTHERWISE.
- THE CONSTRUCTION TOLERANCES FOR THIS PROJECT ARE MINIMAL AND THE DIMENSIONS SHOWN ARE TO BE STRICTLY ADHERED TO.
- COMPUTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS, AND LARGE SCALE OVER SMALL SCALE DRAWINGS. DIMENSIONS SHOWN WITH (+) SHALL BE THE ONLY LAYOUT INFORMATION ALLOWED TO VARY, AND MAY ONLY VARY TO THE TOLERANCE GIVEN OR TO +/- 1" IF NO DIMENSION IS GIVEN.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE "COMPLETE-IN-PLACE" SYSTEMS AND A COMPLETE PROJECT, AND ANY INTERMITTENT OR PERIODIC APPROVALS RECEIVED FOR PORTIONS OF WORK, STAKES, GRADES, OR FORMS (BY THE OWNER'S REPRESENTATIVE, ARCHITECTS, ENGINEERS, OR OTHERS) SHALL NOT WAIVE THE CONTRACTOR'S REQUIREMENTS TO COMPLY WITH THE INTENT OF ANY AND ALL PORTIONS OF THIS CONTRACT.
- EXISTING CONDITIONS FOR THIS PLAN ARE BASED ON A SURVEY BY JENKINS SURVEY & DESIGN 4-8-2008.
- VERTICAL DATUM IS CITY OF MADISON DATUM. APPROXIMATE ELEVATIONS BASED ON MEAN SEA LEVEL OF 1989 CAN BE OBTAINED BY ADDING 580.60 FEET ALGEBRAICALLY TO THE MMSD DATUM ELEVATIONS.
- UNDERGROUND STRUCTURES AND UTILITIES, PAVING AND BUILDINGS HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION.
- SAWCUT ALL PAVEMENT, CURB AND GUTTER AND SIDEWALK PRIOR TO STARTING REMOVALS.
- THE LOCATION OF EXISTING UTILITIES ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR IS FULLY RESPONSIBLE FOR LOCATING AND AVOIDING ALL UNDERGROUND AND ABOVE GROUND UTILITY STRUCTURES AND FACILITIES.
- ALL RADIUS DIMENSIONS FOR CURB AND GUTTER ARE GIVEN TO THE FACE OF CURB. ALL ELEVATIONS ALONG CURB AND GUTTER ARE GIVEN TO THE FLANGE/EDGE OF PAVEMENT.
- SMOOTH AND EVEN JOINTS SHALL BE PROVIDED WHERE MATCHING EXISTING PAVEMENT AND SIDEWALK BY SAWCUTTING.
- ALL DIMENSIONS GIVEN ARE TO CENTERLINE OF JOINTS. ALL JOINTS ARE AT 90 DEGREES UNLESS NOTED OTHERWISE. ALL JOINTS ARE BASED ON THE BUILDING GRID PATTERN. THEY MUST ALIGN AS SHOWN ON PLAN.
- REFER TO UTILITY DRAWINGS FOR STUBS THROUGH FOUNDATION WALLS.
- SEE SITE ELECTRICAL/TELECOM PLANS FOR ALL LIGHTING INFORMATION.



LAYOUT PLAN LEGEND

- SHEET MATCH LINE
- [Hatched Box] CONCRETE STAIRS (1 3-LA105)
- [Dashed Line] HAND RAIL
- [Grid Pattern] CONCRETE PAVING (1 3-LA105, 2 3-LA105)
- [Thick Line] RETAINING WALL (1 3-LA105, 2 3-LA105)
- [Double Line] CURB PLANTERS (11 3-LA105)
- [Vertical Lines] PROPOSED U-BIKE RACK (9 3-LA105)
- [Horizontal Lines] PROPOSED MOPED RACK

CONSULTANT:  
**GR&E**  
1000 North East Wisconsin Avenue  
Madison, WI 53715  
608.261.1000  
www.grand.com

**CONSTRUCTION BID PACKAGE #3**

State of Wisconsin  
Department of Administration  
Division of State Facilities

UNIVERSITY OF WISCONSIN - MADISON  
Agency / Institution

WISC. UNION REDEVELOPMENT  
NEW SOUTH CAMPUS UNION  
Project Location:  
3008 W. DAYTON STREET  
MADISON, WI 53715  
Sheet Title:  
NORTH EAST LANDSCAPE MATERIALS  
SITE PLAN

Revisions:			
No.	Date	By	Desc/Fac

Scale: 1" = 10'-0"

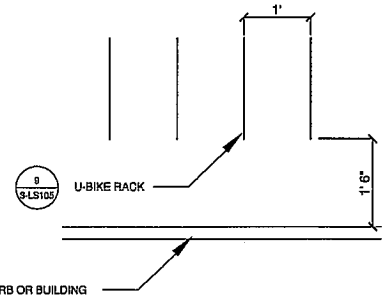
Graphic Scale: 0 2.5 5 10 15

DSP Number: 07E4J

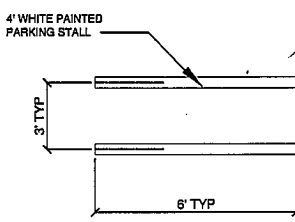
Set Type: FR

Date Issued: FEB 23, 2009

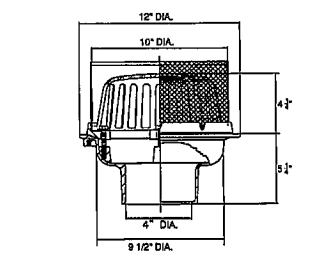
Sheet Number: **3-LS103**



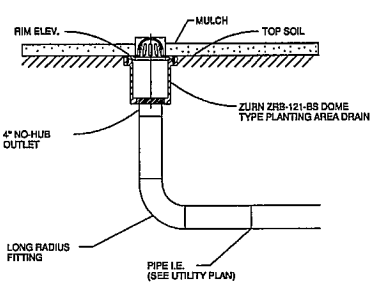
1 TYPICAL BIKE PARKING SPACING  
3-LS104



2 TYPICAL MOPED PARKING SPACING  
3-LS104

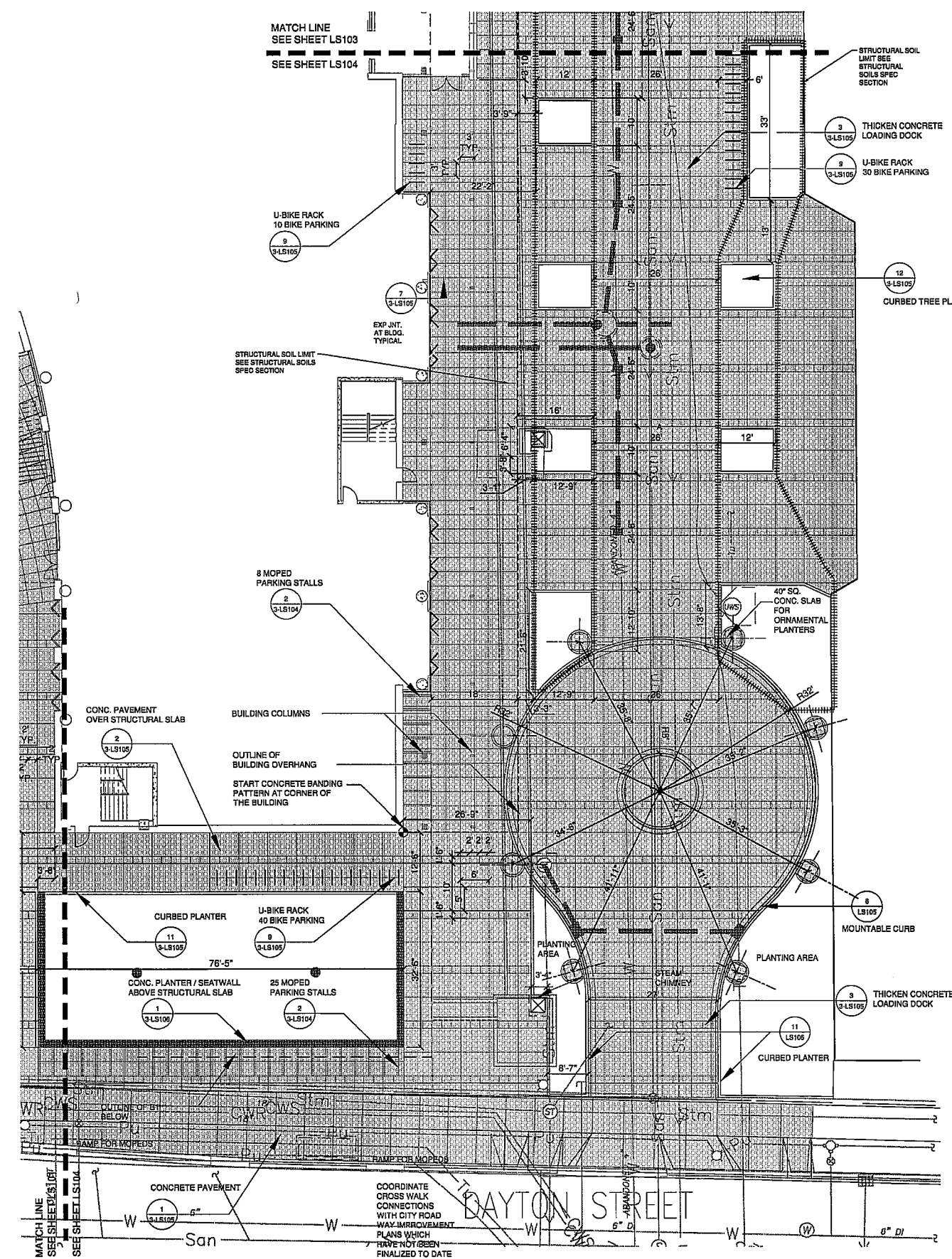


3 PLANTING AREA DRAIN  
3-LS104



3 PLANTING AREA DRAIN  
3-LS104

CALL BEFORE YOU DIG  
STATE LAW REQUIRES YOU TO VERIFY  
THE LOCATION AND DEPTH OF ALL UTILITIES  
BEFORE YOU DIG  
1-800-242-8811



LAYOUT AND MATERIALS NOTES:

- ALL SHOWN CONTROL POINTS, BASELINES, BENCHMARKS, PROPERTY LINES, TREE STAKES, SETBACKS, EXISTING CONDITIONS TO REMAIN, AND NEWLY BUILT ADJACENT CONSTRUCTION (BY OTHERS) SHALL BE VERIFIED BY A PROFESSIONALLY CERTIFIED SURVEYOR (P.C.S.) AS A PART OF THIS CONTRACT. ANY DEVIATIONS FROM INFORMATION SHOWN OR CONFLICTS WITH PROPOSED IMPROVEMENTS SHALL REQUIRE THE OWNER'S REPRESENTATIVE TO BE NOTIFIED IMMEDIATELY WITH WRITTEN FOLLOW UP (WITHIN 24 HOURS), DESCRIBING ANY DEVIATION OR VARIATIONS FROM THE PROPOSED LAYOUT AS DESCRIBED IN THESE PLANS. WRITTEN APPROVAL TO PROCEED MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DEMOLITION OR NEW CONSTRUCTION.
- ALL WORK SHOWN SHALL BE FIELD STAKED OR OTHERWISE DENIED AND SUBJECT TO FIELD VERIFICATION REVIEW, AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION OR DEMOLITION. FIELD STAKING OF ALL PROPOSED WORK AND ADJACENT CONSTRUCTION (EVEN IF FUTURE WORK BY OTHERS) MAY BE REQUIRED BY THE OWNER'S REPRESENTATIVE PRIOR TO APPROVAL OF ALL IMPROVEMENTS AND ADEQUATE STAKES SHALL BE PROVIDED BY THIS CONTRACTOR.
- TO EXPEDITE THE LAYOUT OF THE SITE, "LAYOUT COORDINATES AND/OR GRIDS" MAY HAVE BEEN ESTABLISHED AS SHOWN. FOR THE PURPOSE OF DESIGN, THESE POINTS SHALL BE FIELD STAKED BY THE SURVEYOR AS A PART OF THIS CONTRACT AT THE CONTRACTOR'S EXPENSE. THE LAYOUT OF THESE STAKES SHALL ACCURATELY OCCUR IN LOCATIONS DETERMINED BY THE OWNER'S REPRESENTATIVE AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THIS PROJECT. THE ESTABLISHMENT OF THESE POINTS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION IN THOSE AREAS AND WILL ASSIST THE CONTRACTOR IN THE LAYOUT OF ALL SITE IMPROVEMENTS AS SHOWN ON THE DRAWING OR OTHERWISE.
- THE CONSTRUCTION TOLERANCES FOR THIS PROJECT ARE MINIMAL AND THE DIMENSIONS SHOWN ARE TO BE STRICTLY ADHERED TO.
- COMPUTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS, AND LARGE SCALE OVER SMALL SCALE DRAWINGS. DIMENSIONS SHOWN WITH (+) SHALL BE THE ONLY LAYOUT INFORMATION ALLOWED TO VARY, AND MAY ONLY VARY TO THE TOLERANCE GIVEN OR TO +/- 1" IF NO DIMENSION IS GIVEN.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE "COMPLETE-IN-PLACE" SYSTEMS AND A COMPLETE PROJECT, AND ANY INTERMITTENT OR PERIODIC APPROVALS RECEIVED FOR PORTIONS OF WORK, STAKES, GRADES, OR FORMS (BY THE OWNER'S REPRESENTATIVE, ARCHITECTS, ENGINEERS, OR OTHERS) SHALL NOT WAIVE THE CONTRACTOR'S REQUIREMENTS TO COMPLY WITH THE INTENT OF ANY AND ALL PORTIONS OF THIS CONTRACT.
- EXISTING CONDITIONS FOR THIS PLAN ARE BASED ON A SURVEY BY JENKINS SURVEY & DESIGN 4-8-2008.
- VERTICAL DATUM IS CITY OF MADISON DATUM. APPROXIMATE ELEVATIONS BASED ON MEAN SEA LEVEL OF 1929 CAN BE OBTAINED BY ADDING 583.69 FEET ALGEBRAICALLY TO THE MMSD DATUM ELEVATIONS.
- UNDERGROUND STRUCTURES AND UTILITIES, PAVING AND BUILDINGS HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION.
- SAW CUT ALL PAVEMENT, CURB AND GUTTER AND SIDEWALK PRIOR TO STARTING REMOVALS.
- THE LOCATION OF EXISTING UTILITIES ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR IS FULLY RESPONSIBLE FOR LOCATING AND AVOIDING ALL UNDERGROUND AND ABOVE GROUND UTILITY STRUCTURES AND FACILITIES.
- ALL RADIUS DIMENSIONS FOR CURB AND GUTTER ARE GIVEN TO THE FACE OF CURB. ALL ELEVATIONS ALONG CURB AND GUTTER ARE GIVEN TO THE FLANGE EDGE OF PAVEMENT.
- SMOOTH AND EVEN JOINTS SHALL BE PROVIDED WHERE MATCHING EXISTING PAVEMENT AND SIDEWALK BY SAWCUTTING.
- ALL DIMENSIONS GIVEN ARE TO CENTERLINE OF JOINTS. ALL JOINTS ARE AT 90 DEGREE UNLESS NOTED OTHERWISE. ALL JOINTS ARE BASED ON THE BUILDING GRID PATTERN. THEY MUST ALIGN AS SHOWN ON PLAN.
- REFER TO UTILITY DRAWINGS FOR STUBS THROUGH FOUNDATION WALLS.
- SEE SITE ELECTRICAL/TELECOM PLANS FOR ALL LIGHTING INFORMATION.

LAYOUT PLAN LEGEND

- SHEET MATCH LINE
- CONCRETE STAIRS (3-LS105)
- HAND RAIL
- CONCRETE PAVING (3-LS106, 2-LA105)
- RETAINING WALL (3-LS108, 2-LA108)
- CURB PLANTERS (3-LS109, 11-LS109)
- PROPOSED U-BIKE RACK (3-LA106)
- PROPOSED MOPEDS RACK
- CONCRETE STAIRS (3-LS105)
- HAND RAIL
- CONCRETE PAVING (3-LS106, 2-LA105)
- RETAINING WALL (3-LS108, 2-LA108)
- CURB PLANTERS (3-LS109, 11-LS109)
- PROPOSED U-BIKE RACK (3-LA106)
- PROPOSED MOPEDS RACK

CONSULTANT  
**GR&E**  
The Green Group  
2000 Park Drive  
Madison, WI 53706  
608.261.1234  
www.grandee.com

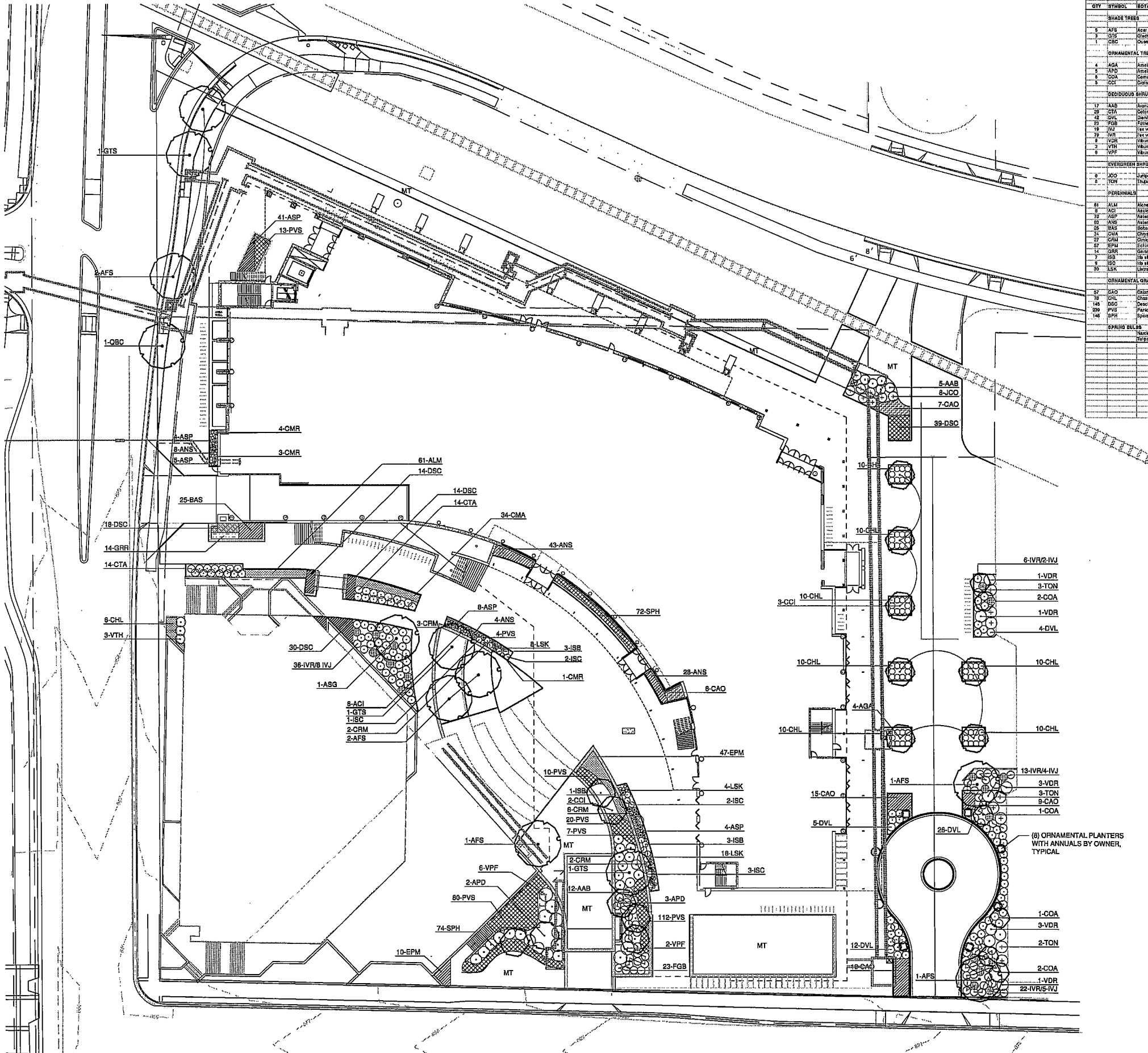
CONSTRUCTION BID PACKAGE #3

State of Wisconsin  
Department of Administration  
Division of State Facilities  
UNIVERSITY OF WISCONSIN - MADISON

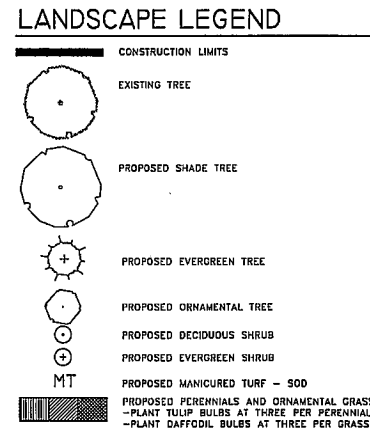
PROJECT: WISC. UNION REDEVELOPMENT  
NEW SOUTH CAMPUS UNION  
308 W. DAYTON STREET  
MADISON, WI 53715  
SOUTH EAST LANDSCAPE MATERIALS  
SITE PLAN

No.	Date	By	Description

Scale: 1" = 10'-0"  
Graphic Scale: 0 2.5 5 10 15  
DSP Number: 07E4J  
Set Type: FR  
Date Issued: FEB 23, 2009  
Sheet Number: 3-LS104



QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MATERIALS
<b>SHADE TREES</b>						
3	AFS	Acer x Fraxinus 'Green	Green Leaf Maple	24" BB	as shown	24" x 24"
1	GTS	Quercus laevis 'Rubra' 'Shadblow'	Shadblow	24" BB	as shown	24" x 24"
1	DSC	Quercus laevis 'Rubra'	Shadblow	24" BB	as shown	24" x 24"
<b>ORNAMENTAL TREES</b>						
4	ACA	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
1	APD	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
1	COA	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
1	COA	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
<b>DECIDUOUS SHRUBS</b>						
17	AAB	Abies balsamea 'Millenium'	Balsam Fir	24" BB	5'	24" x 24"
18	ACA	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
19	ACI	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
20	ACI	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
21	ACI	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
22	ACI	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
23	ACI	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
24	ACI	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
25	ACI	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
26	ACI	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
27	ACI	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
28	ACI	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
29	ACI	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
30	ACI	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
<b>EVERGREEN SHRUBS</b>						
1	JCO	Juniperus communis 'Blue Glow'	Blue Glow Juniper	24" BB	5'	24" x 24"
2	TON	Thuja occidentalis 'Hopi'	Hopi Cedar	24" BB	5'	24" x 24"
<b>PERENNIALS</b>						
1	ALM	Alopecurus pratensis	Lady's Mantle	1" qt	24"	18" x 24"
2	ACI	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
3	ASB	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
4	ANS	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"
5	BAJ	Begonia xanthophylla 'Karmel'	Yellow Begonia	1" qt	24"	18" x 24"
6	CMA	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
7	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
8	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
9	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
10	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
11	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
12	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
13	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
14	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
15	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
16	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
17	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
18	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
19	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
20	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
21	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
22	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
23	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
24	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
25	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
26	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
27	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
28	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
29	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
30	CRM	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
<b>ORNAMENTAL GRASSES</b>						
1	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
2	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
3	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
4	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
5	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
6	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
7	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
8	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
9	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
10	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
11	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
12	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
13	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
14	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
15	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
16	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
17	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
18	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
19	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
20	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
21	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
22	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
23	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
24	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
25	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
26	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
27	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
28	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
29	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
30	CAO	Chamaemelum nobile 'Tardiflorum'	Chamaemelum	1" qt	24"	18" x 24"
<b>SPRING BULBS</b>						
1	AFS	Asplenium adnigrum 'Marmott' 'Marmott'	Asplenium	10" clump BB	as shown	24" x 24"



MOOREHEAD & MOODY HOLLAN  
CONSULTANTS  
CONSTRUCTION ARCHITECTS, INC.

CONSTRUCTION BID PACKAGE #3

State of Wisconsin  
Department of Administration  
Division of State Facilities

Project Title:  
WISC. UNION REDEVELOPMENT  
NEW SOUTH CAMPUS UNION  
1308 W. DAYTON STREET  
MADISON, WI 53715  
Overall Landscape Planting Plan

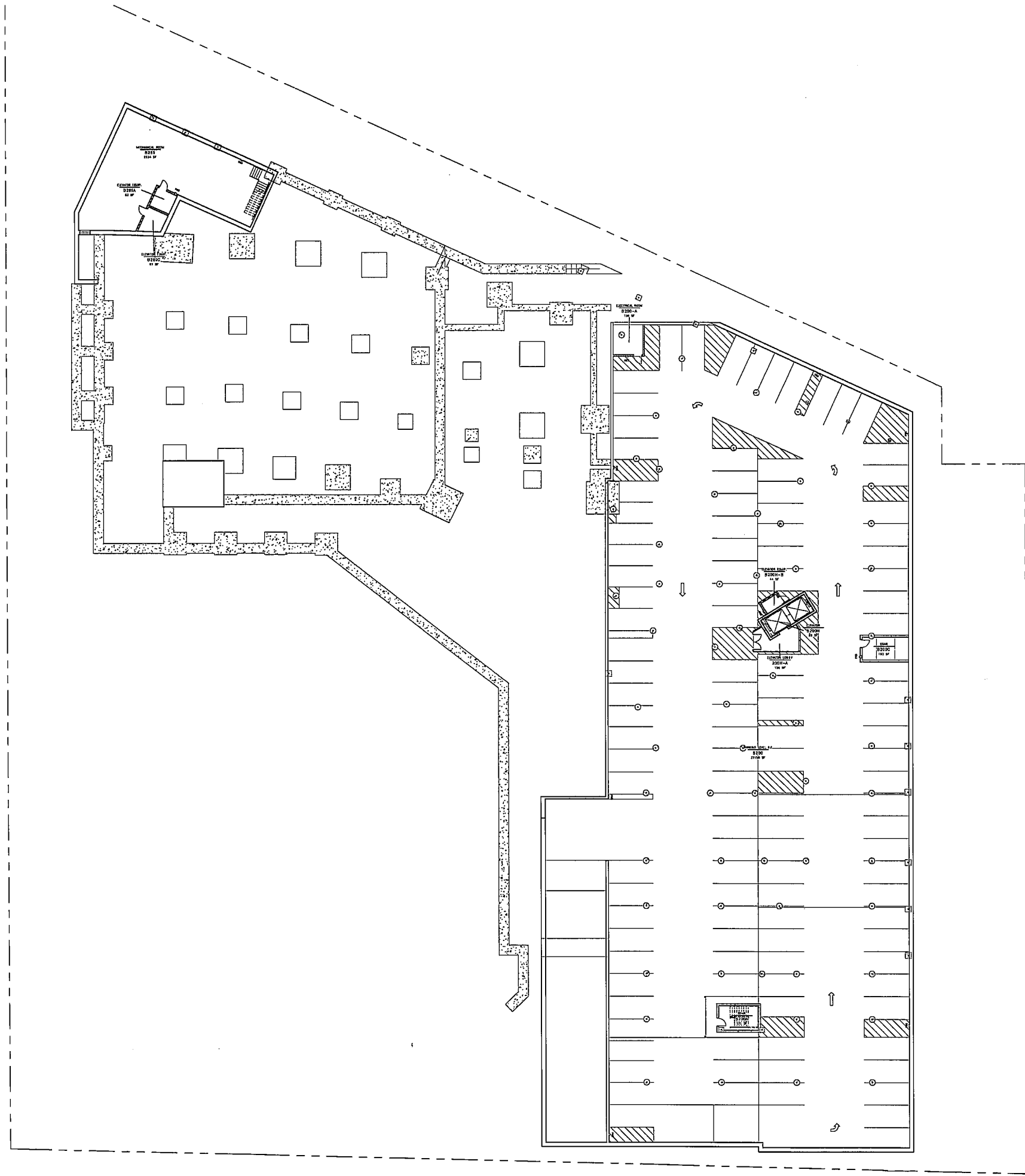
CALL BEFORE YOU DIG  
STATE LAW REMINDS YOU TO NOTIFY  
OWNERS AND OPERATORS OF UNDERGROUND  
UTILITIES AT LEAST A FEW HOURS  
BEFORE YOU DIG  
800-842-8811

No.	Date	By	Description

Scale: 1" = 20'-0"  
Graphic Scale: 0' 5' 10' 20' 30'  
DSP Number: 07E4J  
Set Type: FR  
Date Issued: FEB 23, 2009  
Sheet Number: 3-LS300

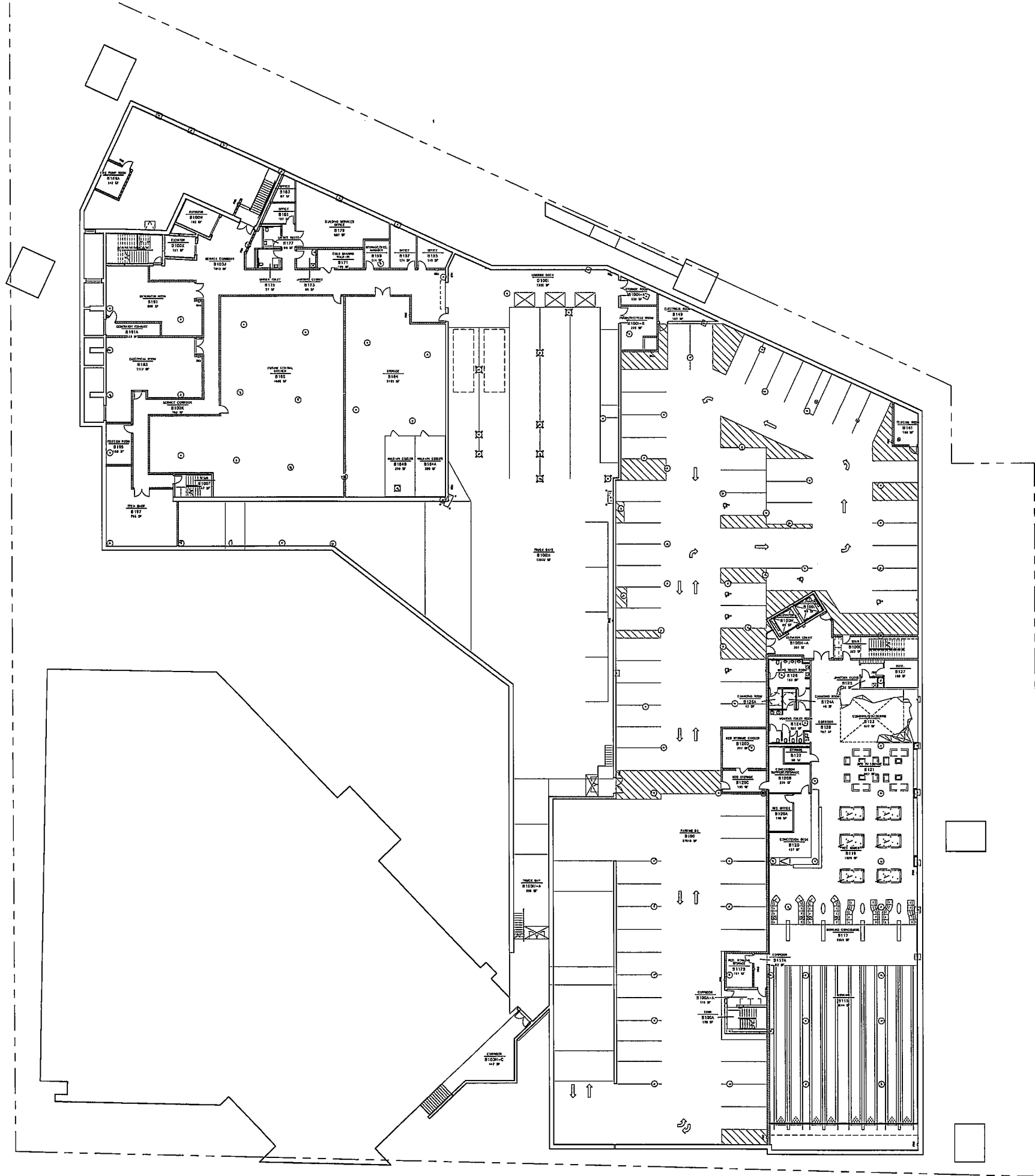



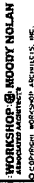
1 LEVEL B2 OVERALL FLOOR PLAN



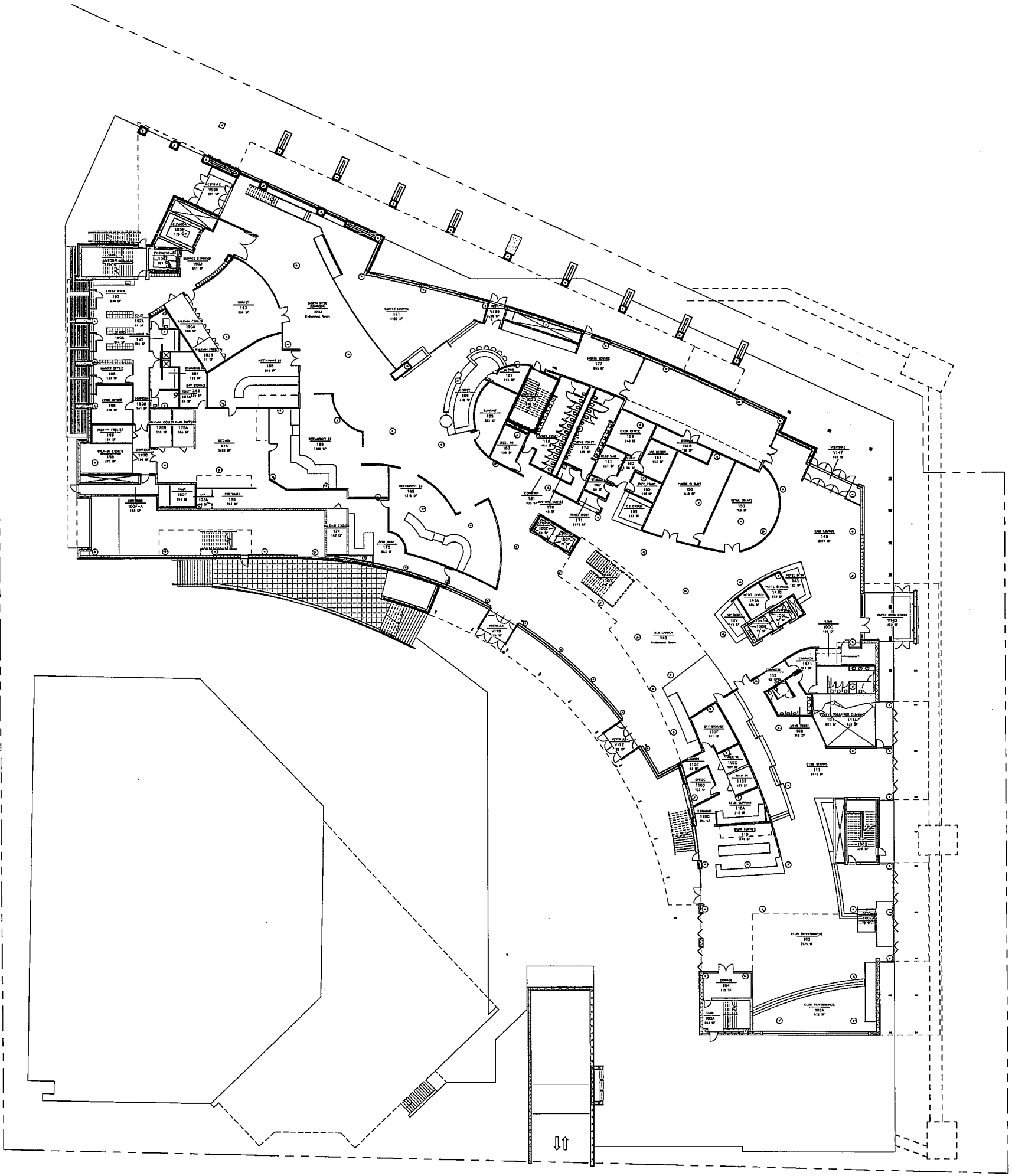
<p>Project Title:  <b>WISC. UNION REDEVELOPMENT          NEW SOUTH CAMPUS UNION</b>          Project Location:  <b>1308 W DAYTON STREET          MADISON, WI 53715</b></p>		<p>State of Wisconsin          Department of Administration          Division of State Facilities</p>	<p><b>PRELIMINARY;          NOT FOR CONSTRUCTION</b></p>	<p><b>WORKSHOP &amp; WOODY NOLAN          ARCHITECTS</b>  <small>ARCHITECTS INC.</small></p>																																																
<p>Agency / Institution:  <b>UNIVERSITY OF WISCONSIN</b></p>		<p>MADISON</p>	<p>UNIVERSITY OF WISCONSIN          MADISON</p>																																																	
<p>Sheet Title:  <b>FLOOR PLAN LEVEL B2</b></p>		<p>Scale: 1/16" = 1'-0"</p>																																																		
<p>Revision:</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>By</th> <th>Description</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>		No.	Date	By	Description																																													<p>Graphic Scale</p>		
No.	Date	By	Description																																																	
<p>DSF Number: 07E4J</p>		<p>Scale: 1/16" = 1'-0"</p>																																																		
<p>Date Issued: 3-2-09</p>		<p>Scale: 1/16" = 1'-0"</p>																																																		
<p>Sheet Number: A201</p>		<p>Scale: 1/16" = 1'-0"</p>																																																		

1 LEVEL B1 OVERALL FLOOR PLAN  
3/18/10



 Agency / Institution UNIVERSITY OF WISCONSIN    MADISON		State of Wisconsin Department of Administration Division of State Facilities		<b>PRELIMINARY:          NOT FOR CONSTRUCTION</b>		 WORKSHOP @ MOODY NOLAN ARCHITECTS, INC. <small>2500 MONROE STREET, MADISON, WI 53706</small>	
PROJECT TITLE: <b>WISC. UNION REDEVELOPMENT          NEW SOUTH CAMPUS UNION</b>				PROJECT LOCATION: <b>1308 W. DAYTON STREET          MADISON, WI 53715</b>			
SHEET TITLE: <b>FLOOR PLAN    LEVEL B1</b>				Scale    1/16" = 1'-0"			
Revisions:				DSF Number    07E4J			
No.	Date	By	Description	Set Type			
				Date Issued    3-2-09			
SHEET NUMBER: <b>A202</b>							

1 LEVEL 1 OVERALL FLOOR PLAN



MOODY NOLAN  
ARCHITECTS  
1000 UNIVERSITY AVENUE  
MADISON, WISCONSIN 53706

PRELIMINARY:  
NOT FOR CONSTRUCTION

State of Wisconsin  
Department of Administration  
Division of State Facilities



Agency / Institution: UNIVERSITY OF WISCONSIN MADISON

Project Name: WISC. UNION REDEVELOPMENT  
NEW SOUTH CAMPUS UNION  
1308 W. DAYTON STREET  
MADISON, WI 53715

Sheet Title: FLOOR PLAN LEVEL 1

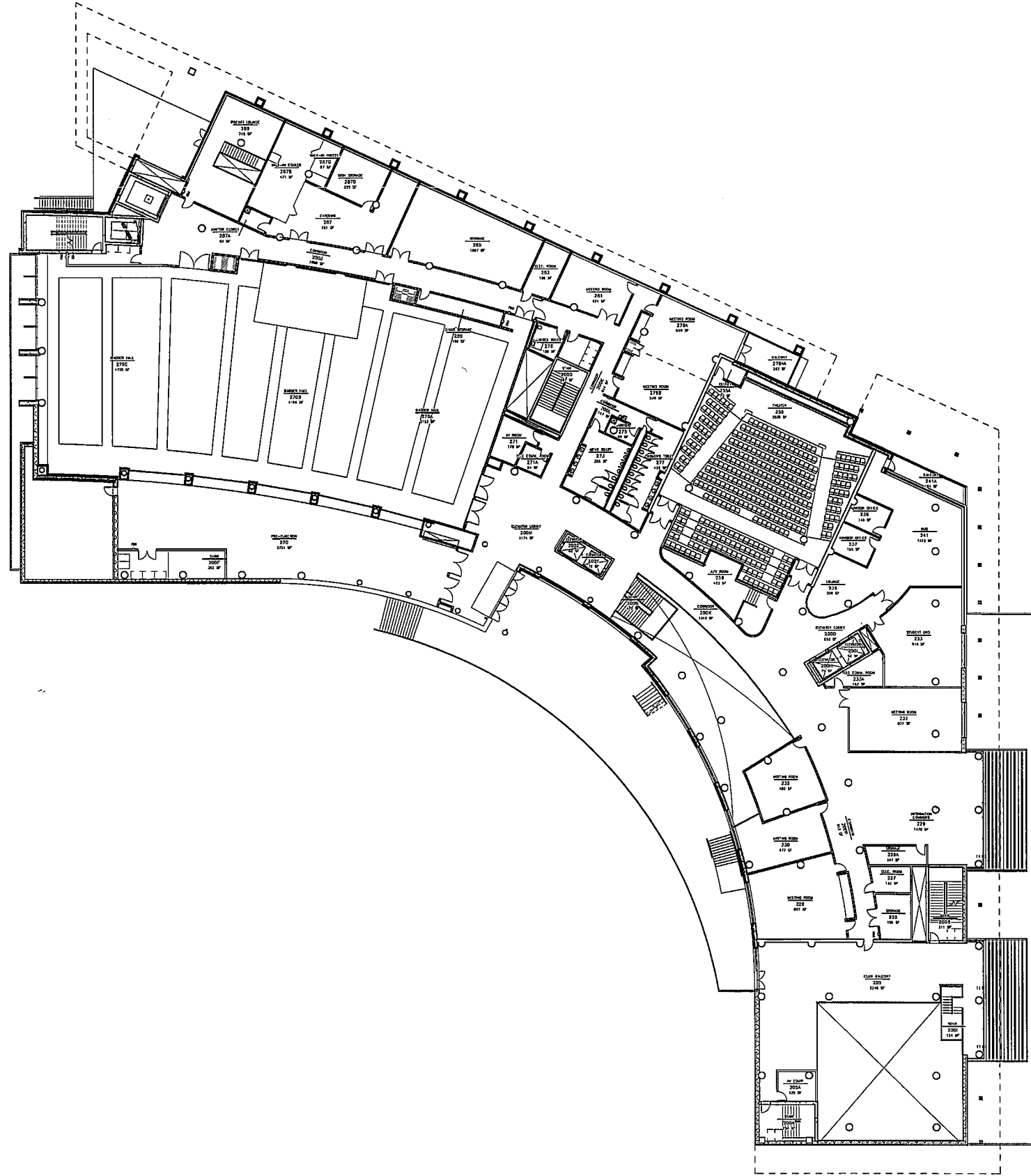
Revisions:

No.	Date	By	Description

Scale	1/16" = 1'-0"
Graphic Scale	
DSF Number	07E4J
Set Type	
Date Issued	3-2-09
Sheet Number	A203

1 LEVEL 2 OVERALL FLOOR PLAN

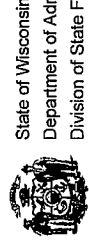
1/16" = 1'-0"



Project Title:  
**WISC. UNION REDEVELOPMENT  
NEW SOUTH CAMPUS UNION**  
Project Location:  
1308 W DAYTON STREET  
MADISON, WI 53715

Client:  
**State of Wisconsin  
Department of Administration  
Division of State Facilities**

Agency / Institution:  
UNIVERSITY OF WISCONSIN MADISON

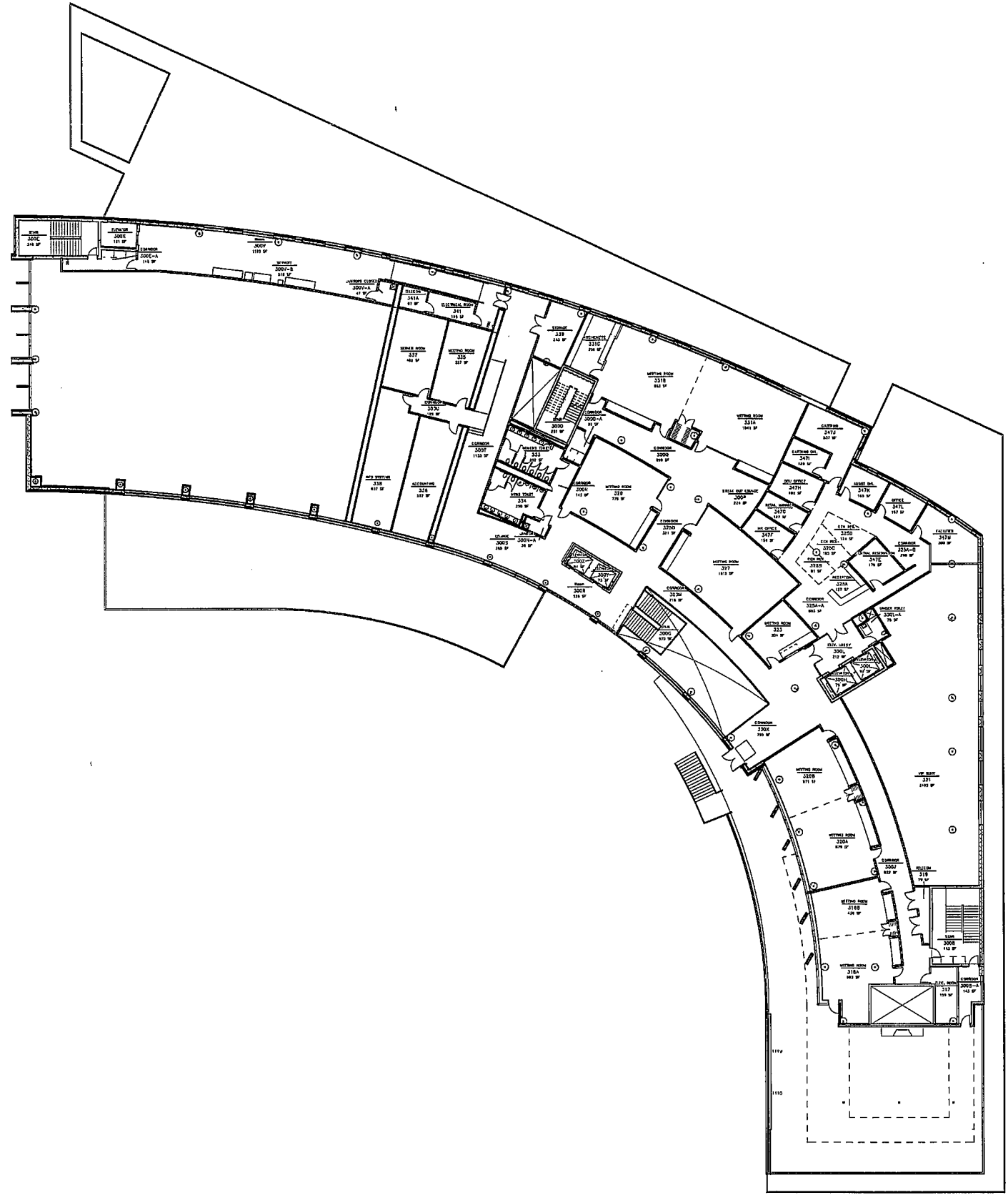


PRELIMINARY:  
NOT FOR CONSTRUCTION

WORKSHOP @ **MURPHY NOLAN**  
ARCHITECTS  
1000 W. MONROE ST. SUITE 300  
MADISON, WISCONSIN 53706

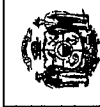
Revisions:			
No.	Date	By	Description

Scale	1/16" = 1'-0"
Graphic Scale	
DSF Number	07E4J
Set Type	
Date Issued	3-2-09
Sheet Number	A204



1 LEVEL 3 OVERALL FLOOR PLAN

1/8"=1'-0"



State of Wisconsin  
Department of Administration  
Division of State Facilities

Agency / Institution:  
UNIVERSITY OF WISCONSIN MADISON

Project Title:  
WISC. UNION REDEVELOPMENT  
NEW SOUTH CAMPUS UNION  
1308 W DAYTON STREET  
MADISON, WI 53715  
Sheet Title:  
FLOOR PLAN LEVEL 3

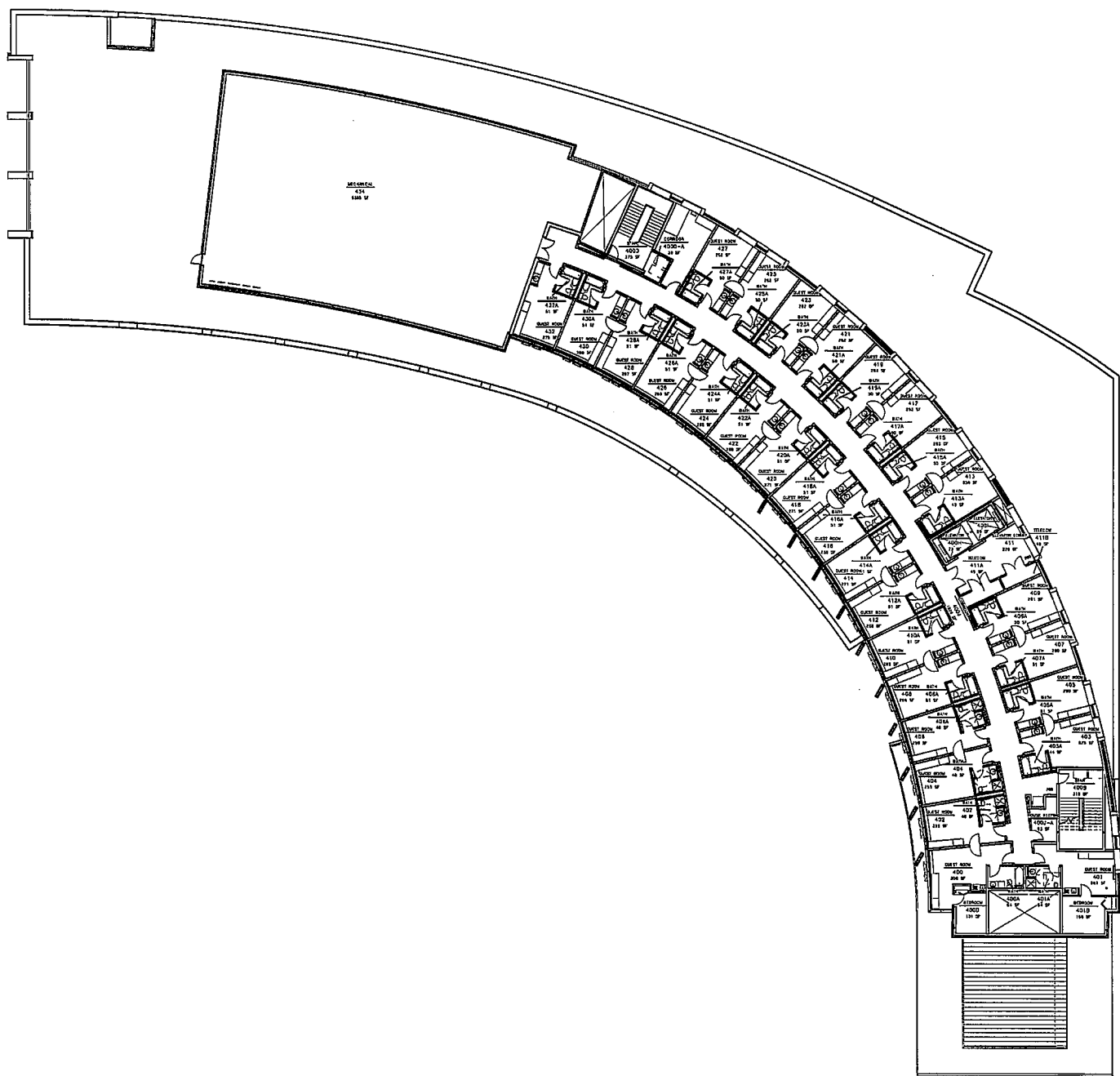
Rev.	Date	By	Description

Scale	1/16" = 1'-0"
Graphic Scale	
DSF Number	07E4J
Set Type	
Date Issued	3-2-09
Sheet Number	A205

PRELIMINARY:  
NOT FOR CONSTRUCTION

WORKSHOP & MOODY HOLLAN  
MANAGEMENT SERVICES  
A CORPORATION WORKSHOP ARCHITECTS, INC.

**1** LEVEL 4 OVERALL FLOOR PLAN



Scale	1/16" = 1'-0"
Graphic Scale	
DSF Number	07E4J
Set Type	
Date Issued	3-2-09
Sheet Number	A206

Revisions:			
No.	Date	By	Description

Project Title:  
**WISC. UNION REDEVELOPMENT**  
**NEW SOUTH CAMPUS UNION**  
 1306 W DAYTON STREET  
 MADISON, WI 53715  
 Street Title:  
 FLOOR PLAN LEVEL 4

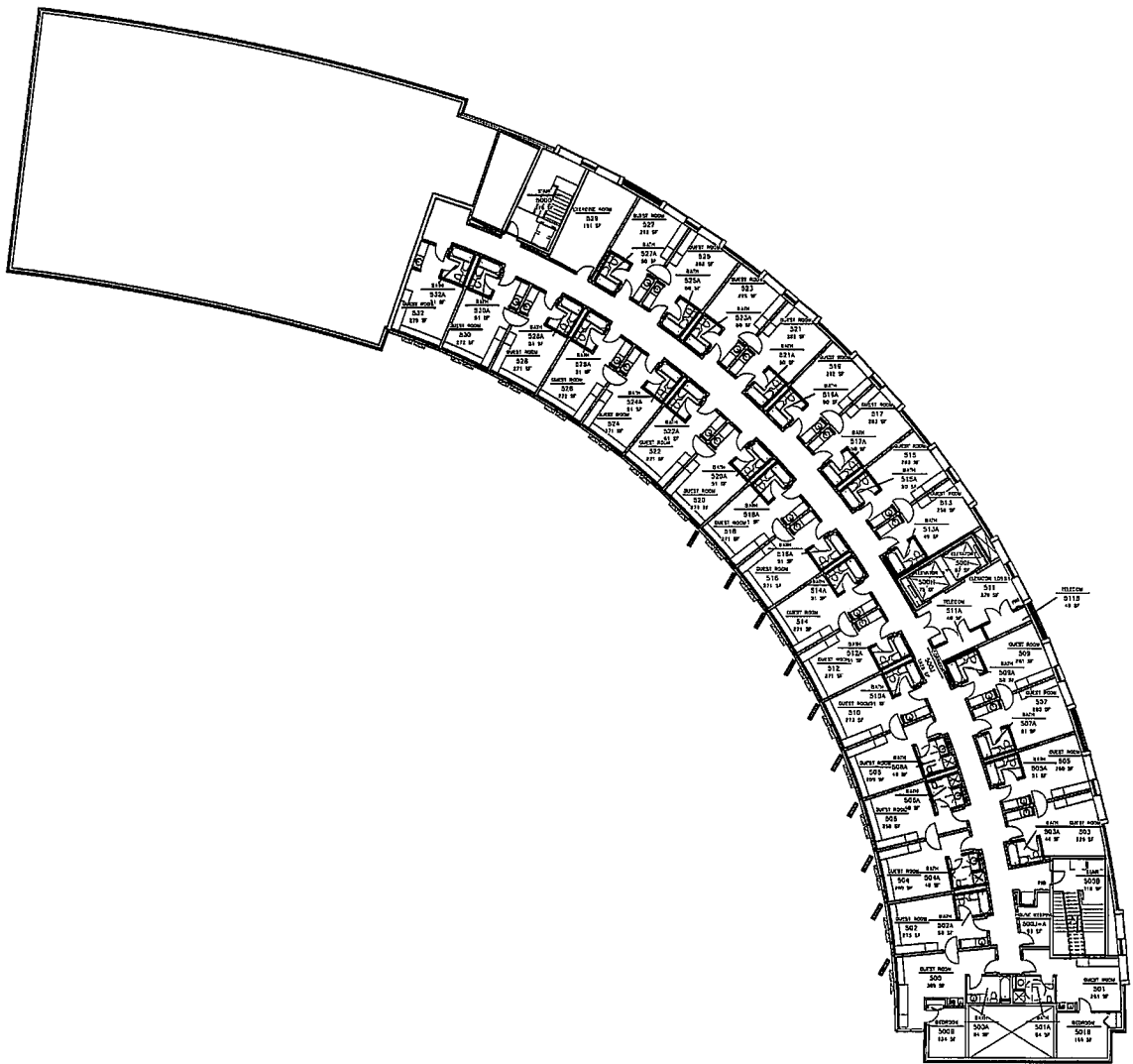


State of Wisconsin  
 Department of Administration  
 Division of State Facilities

Agency / Institution: UNIVERSITY OF WISCONSIN MADISON

**PRELIMINARY:  
 NOT FOR CONSTRUCTION**

WORKSHEET BY: ROBERT NOLAN  
 DATE: 03/02/09  
 PROJECT: WISC. UNION REDEVELOPMENT



**1** LEVEL 5 - OVERALL FLOOR PLAN  
1/2" = 1'-0"

State of Wisconsin  
 Department of Administration  
 Division of State Facilities



Agency / Institution:  
 UNIVERSITY OF WISCONSIN MADISON

Project Title:  
**WISC. UNION REDEVELOPMENT  
 NEW SOUTH CAMPUS UNION**  
 Project Location:  
**1308 W DAYTON STREET  
 MADISON, WI 53715**

Sheet Title:  
 FLOOR PLAN LEVEL 5

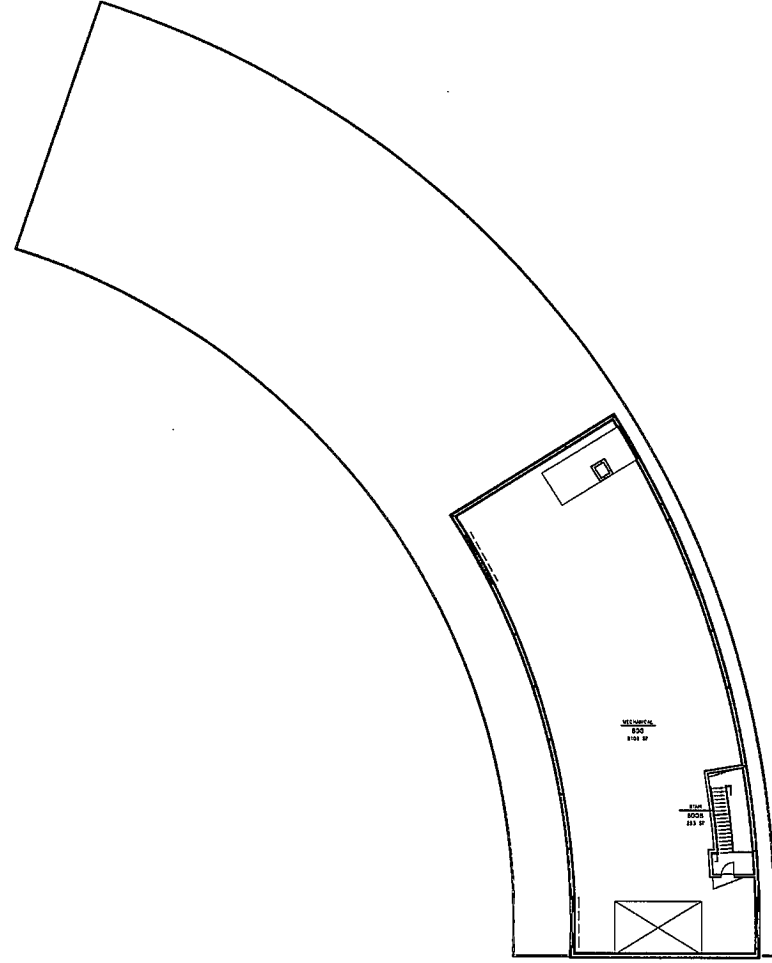
**PRELIMINARY:  
 NOT FOR CONSTRUCTION**

**MUSKIELOFF & REDDY INDIAN**  
 ARCHITECTS  
 2000 UNIVERSITY DRIVE  
 MADISON, WISCONSIN 53706-1000  
 TEL: 608/263-1234 FAX: 608/263-1235

No.	Date	By	Description

Scale	1/16" = 1'-0"
Graphic Scale	
DSF Number	07E4J
Set Type	
Date Issued	3-2-09
Sheet Number	A207


1 LEVEL 6 - OVERALL FLOOR PLAN  
1/16" = 1'-0"



No.	Date	By	Description

Scale: 1/16" = 1'-0"  
 Graphical Scale:  
 DSR Number: 07E4J  
 Set Type:  
 Date Issued: 3-2-09  
 Sheet Number: A208

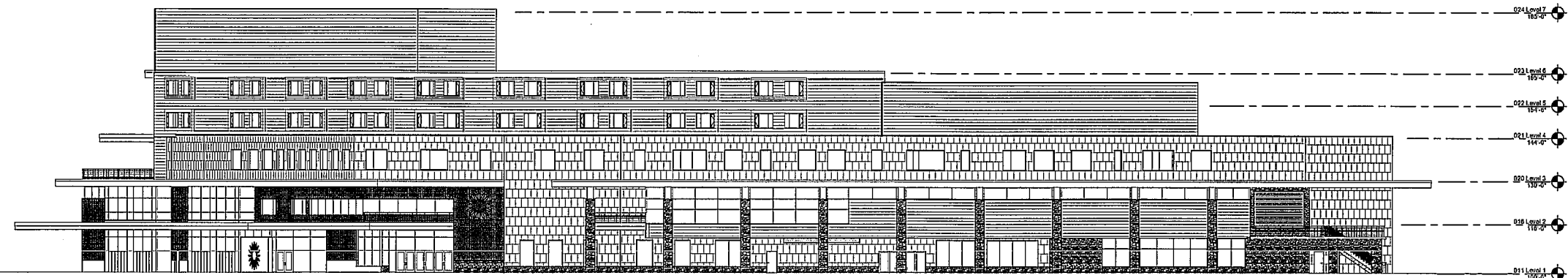
Project Title:  
**WISC. UNION REDEVELOPMENT  
 NEW SOUTH CAMPUS UNION**  
 1308 W DAYTON STREET  
 MADISON, WI 53715  
 Sheet Title:  
 FLOOR PLAN LEVEL 6

 State of Wisconsin  
 Department of Administration  
 Division of State Facilities  
 Agency / Institution:  
 UNIVERSITY OF WISCONSIN MADISON

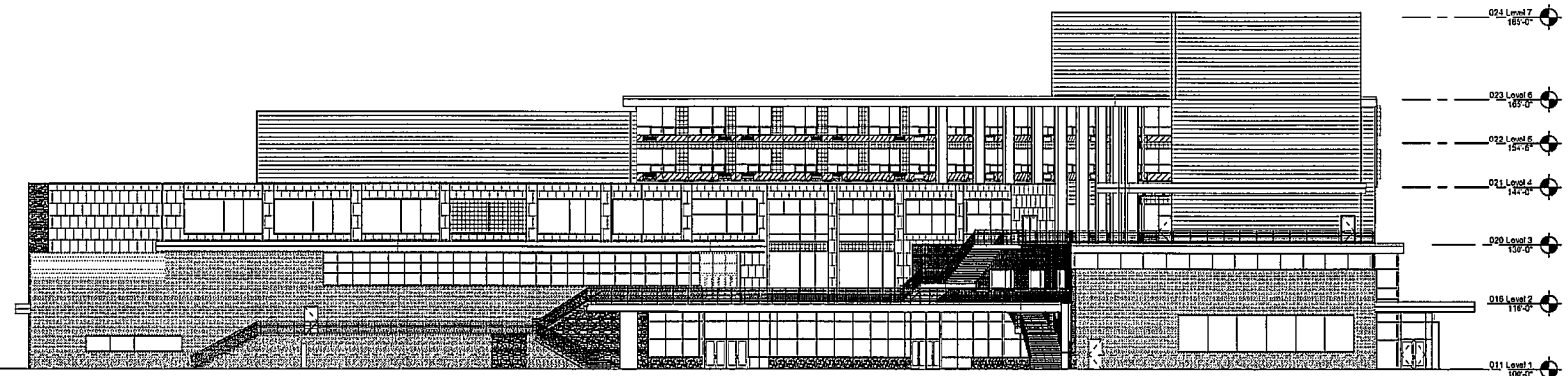
**PRELIMINARY:  
 NOT FOR CONSTRUCTION**

**WOLFGANG B. BOOBY NOLAN**  
 ARCHITECT  
 2500 UNIVERSITY AVENUE  
 MADISON, WISCONSIN 53706-1500

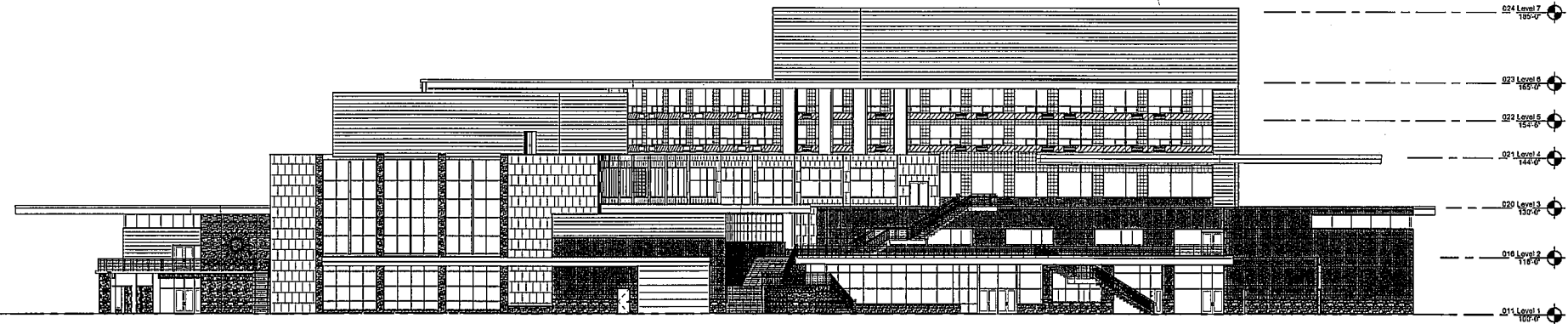




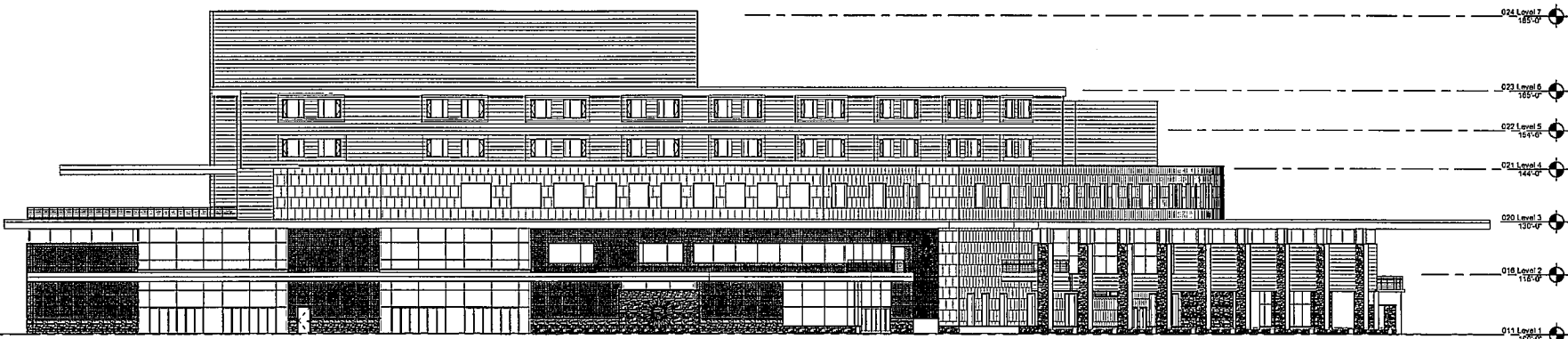
1 OVERALL NORTH ELEVATION  
1/8"=1'-0"



2 OVERALL SOUTH ELEVATION  
1/8"=1'-0"



3 OVERALL WEST ELEVATION  
1/8"=1'-0"

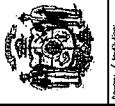


4 OVERALL EAST ELEVATION  
1/8"=1'-0"

WORKSHOP BY MOODY NOLAN  
ARCHITECTS INC.  
© 2008 MOODY NOLAN ARCHITECTS, INC.

PRELIMINARY;  
NOT FOR CONSTRUCTION

State of Wisconsin  
Department of Administration  
Division of State Facilities

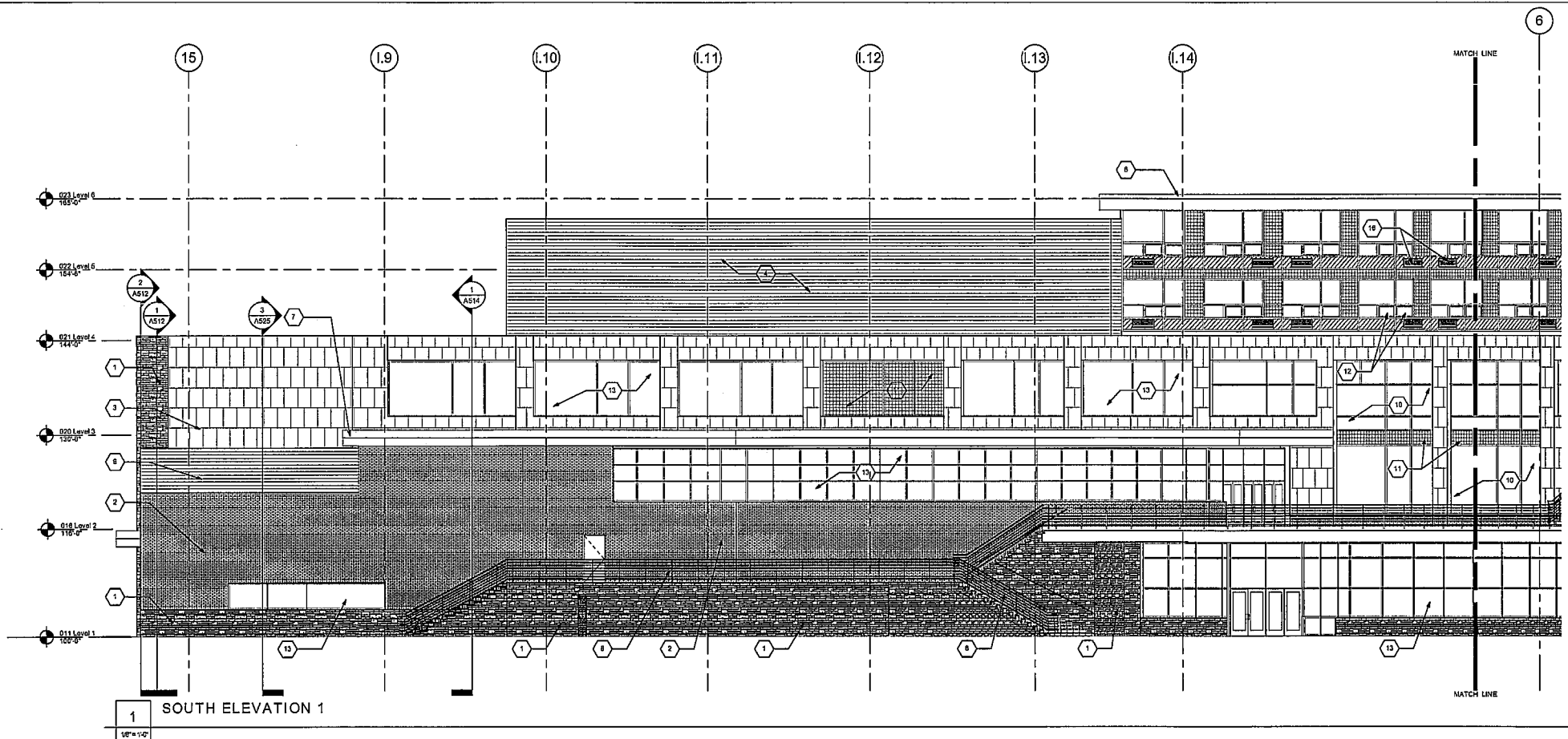


UNIVERSITY OF WISCONSIN MADISON  
Agency / Institution

Project No: WISC. UNION REDEVELOPMENT  
NEW SOUTH CAMPUS UNION  
1308 W DAYTON STREET  
MADISON, WI 53715  
Sheet Title: Overall Exterior Elevations

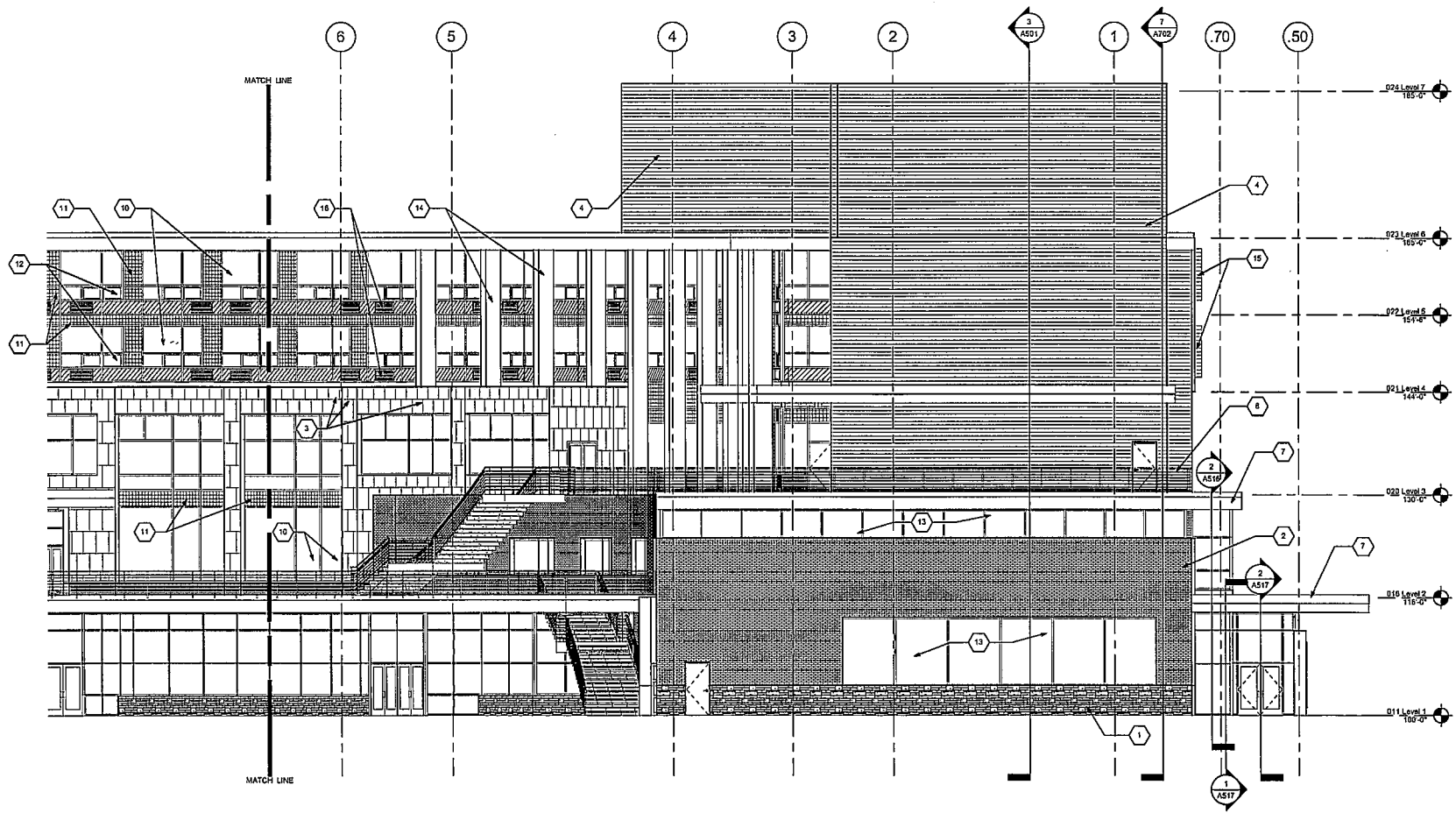
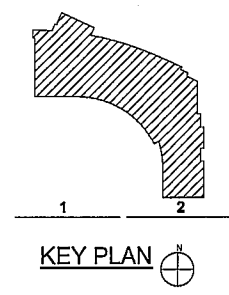
Revisions	No.	Date	By	Checked

Scale	1/16" = 1'-0"
Graphic Scale	
RISF Number	07E4J
Set Type	PR
Date Issued	12-01-08
Sheet Number	A400



1 SOUTH ELEVATION 1  
1/8" = 1'-0"

- ELEVATION KEY NOTES:**
1. RANDOM ASHLAR VENEER
  2. BRICK VENEER
  3. CUT STONE VENEER
  4. INSULATED METAL PANEL
  5. FORMED METAL WINDOW PANEL
  6. METAL CAP FLASHING
  7. METAL FASCIA
  8. METAL RAILING
  9. METAL SCREEN SYSTEM
  10. GLAZING PANEL
  11. SPANDREL PANEL
  12. HOPPER WINDOW
  13. STOREFRONT SYSTEM
  14. SUN FIN
  15. BAY WINDOW UNIT
  16. LOUVERS



2 SOUTH ELEVATION 2  
1/8" = 1'-0"

MOOREHEAD & MOONEY ARCHITECTS, INC.

PRELIMINARY:  
NOT FOR CONSTRUCTION

State of Wisconsin  
Department of Administration  
Division of State Facilities

UNIVERSITY OF WISCONSIN MADISON

Project: WISC. UNION REDEVELOPMENT  
NEW SOUTH CAMPUS UNION  
1308 W DAYTON STREET  
MADISON, WI 53715

Sheet Title: Elevation South

Revisions			
No.	Date	By	Remarks

Scale: 1/8" = 1'-0"

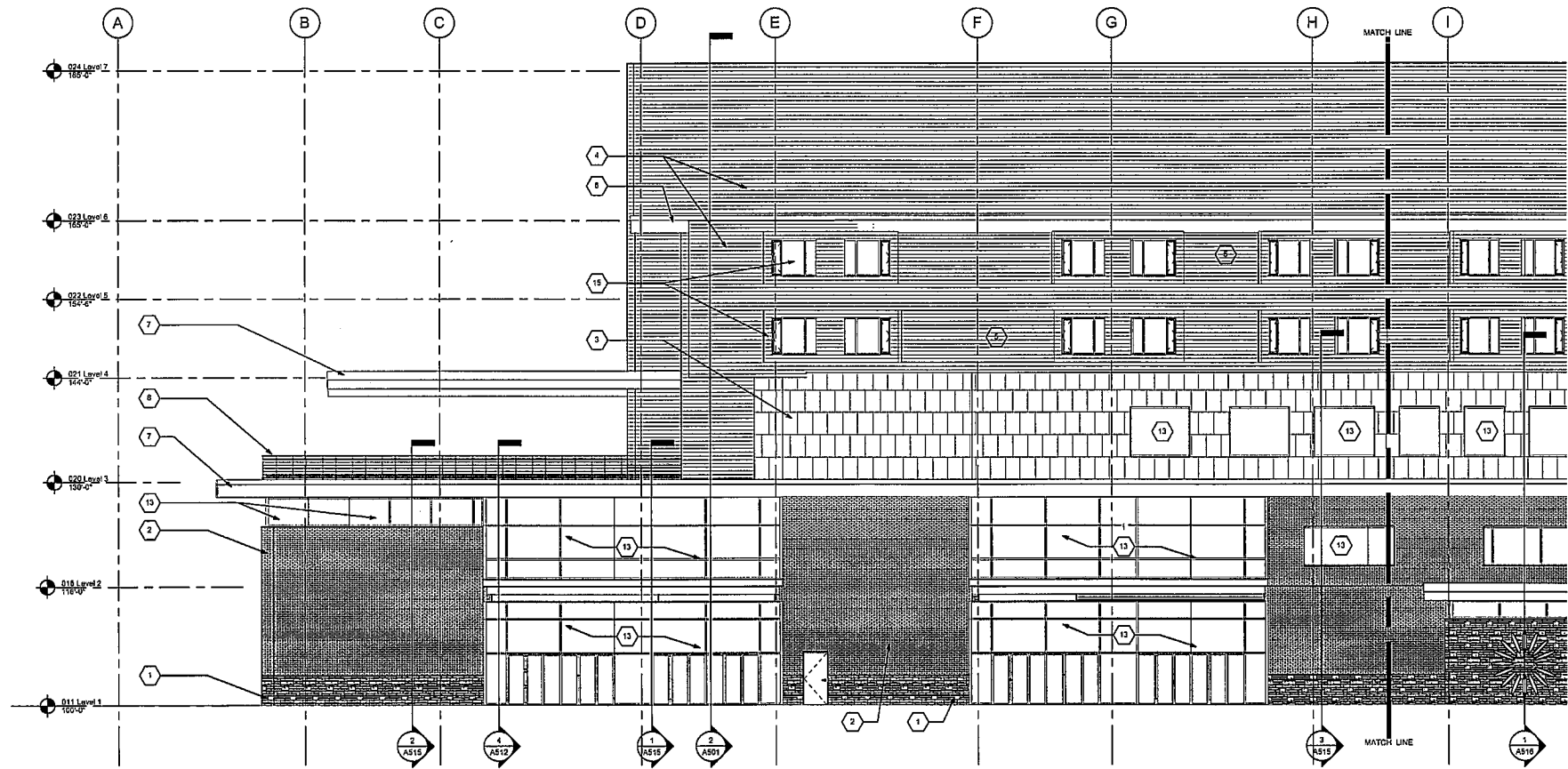
Graphic Scale

DSP Number: 07E4J

Set Type: PR

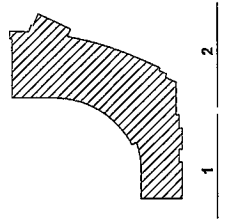
File Issued: 12-01-08

Sheet Number: A401

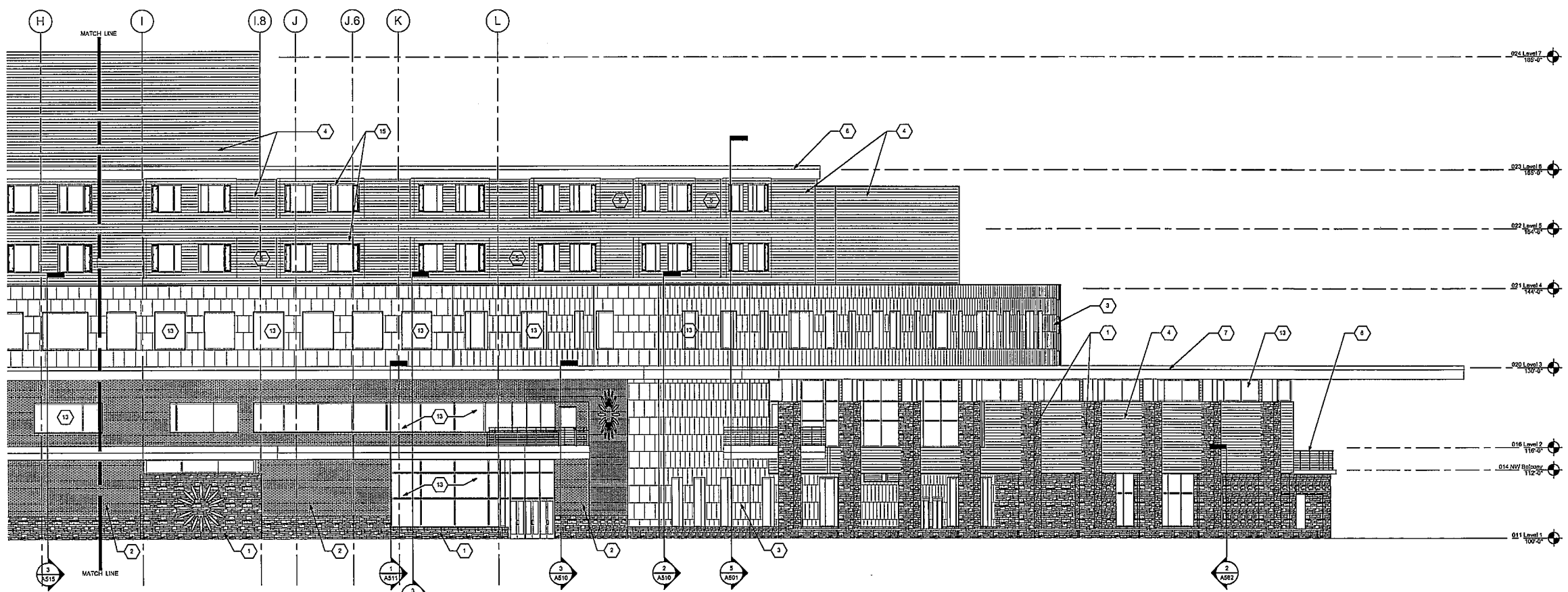


1 EAST ELEVATION 1  
1/8" = 1'-0"

- ELEVATION KEY NOTES:**
1. RANDOM ASHLAR VENEER
  2. BRICK VENEER
  3. CUT STONE VENEER
  4. INSULATED METAL PANEL
  5. FORMED METAL WINDOW PANEL
  6. METAL CAP FLASHING
  7. METAL FASCIA
  8. METAL RAILING
  9. METAL SCREEN SYSTEM
  10. CURTAINWALL GLAZING
  11. CURTAINWALL SPANDREL PANEL
  12. CURTAINWALL HOPPER WINDOW
  13. STOREFRONT SYSTEM
  14. SUN FIN
  15. BAY WINDOW UNIT
  16. LOUVERS



KEY PLAN



2 EAST ELEVATION 2  
1/8" = 1'-0"

WISCONSIN UNIVERSITY OF WISCONSIN  
MADISON, WISCONSIN

**PRELIMINARY:  
NOT FOR CONSTRUCTION**

State of Wisconsin  
Department of Administration  
Division of State Facilities

UNIVERSITY OF WISCONSIN  
MADISON

Project: WISC. UNION REDEVELOPMENT  
NEW SOUTH CAMPUS UNION  
1308 W DAYTON STREET  
MADISON, WI 53715

Sheet Title: Elevation East

No.	Date	By	Checked

Scale: 1/8" = 1'-0"

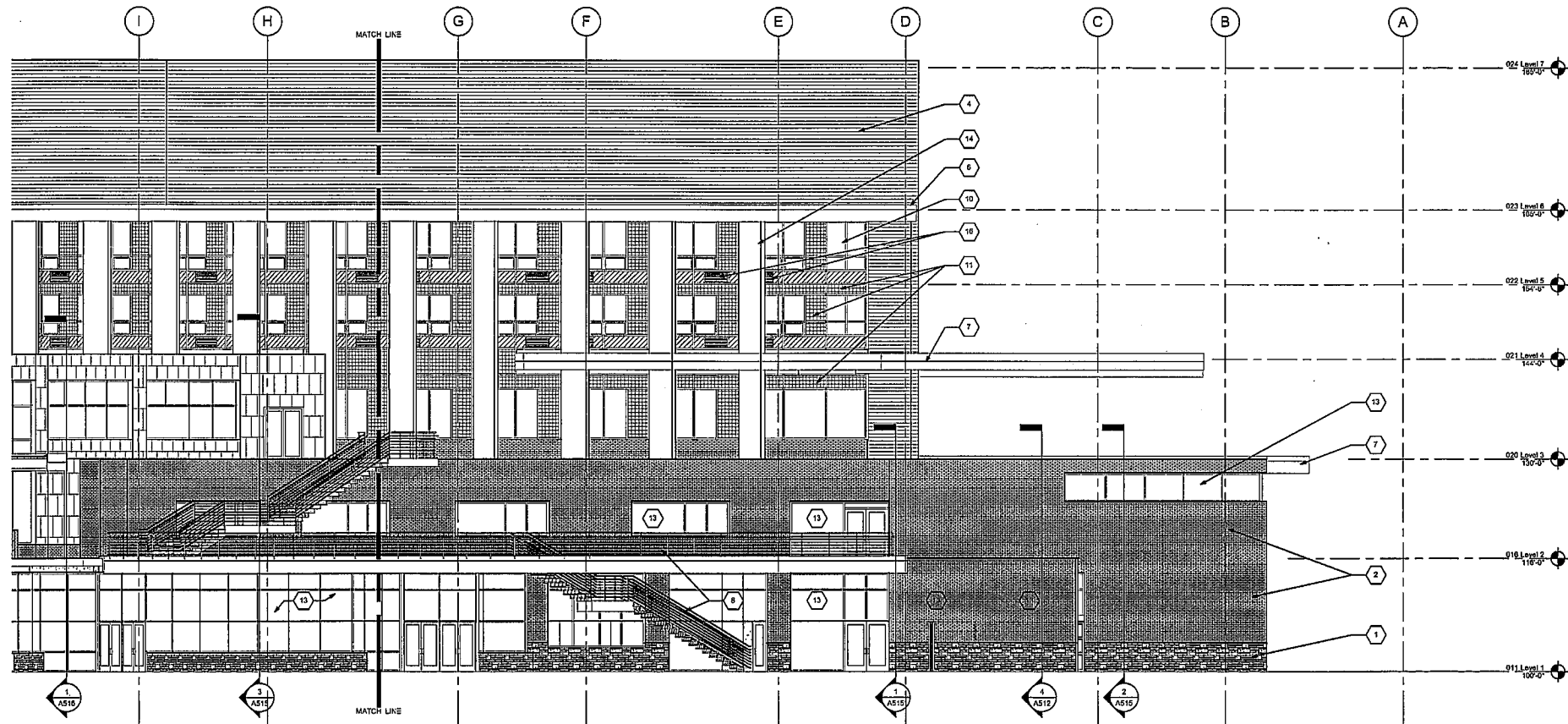
Graphic Scale

DSF Number: 07E4J

Set Type: PR

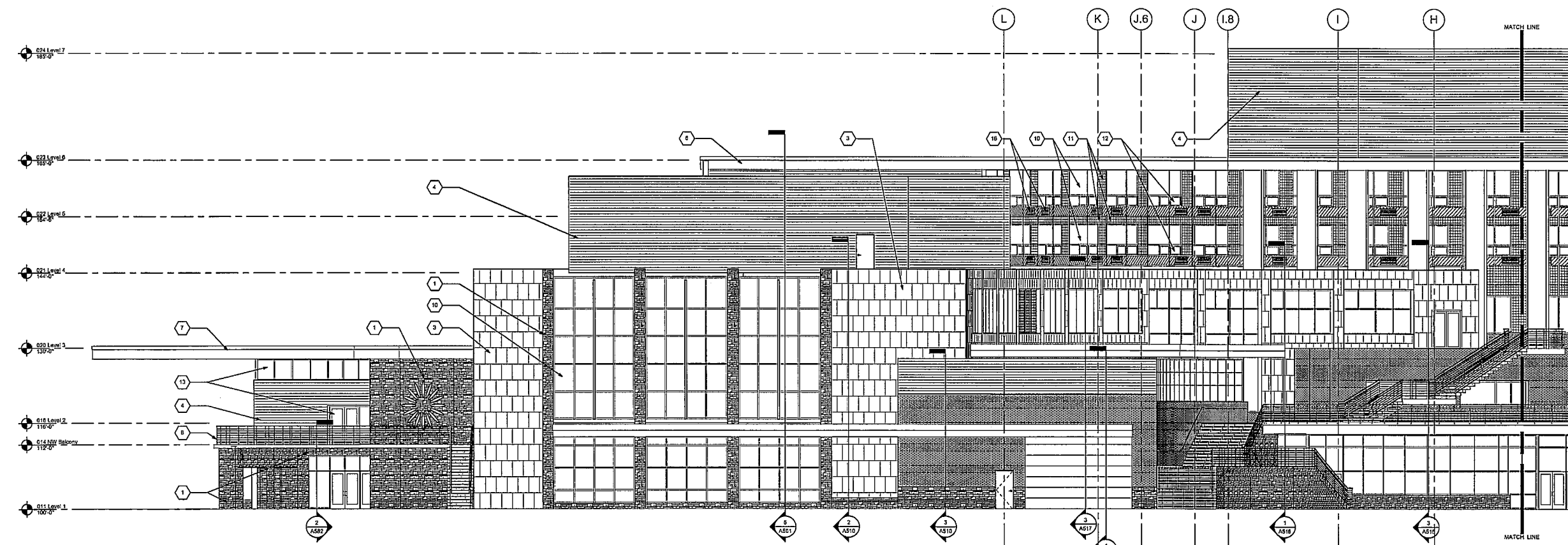
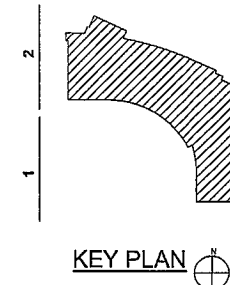
Date Issued: 12-01-08

Sheet Number: A402



1 WEST ELEVATION 1  
1/8" = 1'-0"

- ELEVATION KEY NOTES:
1. RANDOM ASHLAR VENEER
  2. BRICK VENEER
  3. CUT STONE VENEER
  4. INSULATED METAL PANEL
  5. FORMED METAL WINDOW PANEL
  6. METAL CAP FLASHING
  7. METAL FASCIA
  8. METAL RAILING
  9. METAL SCREEN SYSTEM
  10. CURTAINWALL GLAZING
  11. CURTAINWALL SPANDREL PANEL
  12. CURTAINWALL HOPPER WINDOW
  13. STONEFRONT SYSTEM
  14. SUN FIN
  15. BAY WINDOW UNIT
  16. LOULVERS



2 WEST ELEVATION 2  
1/8" = 1'-0"

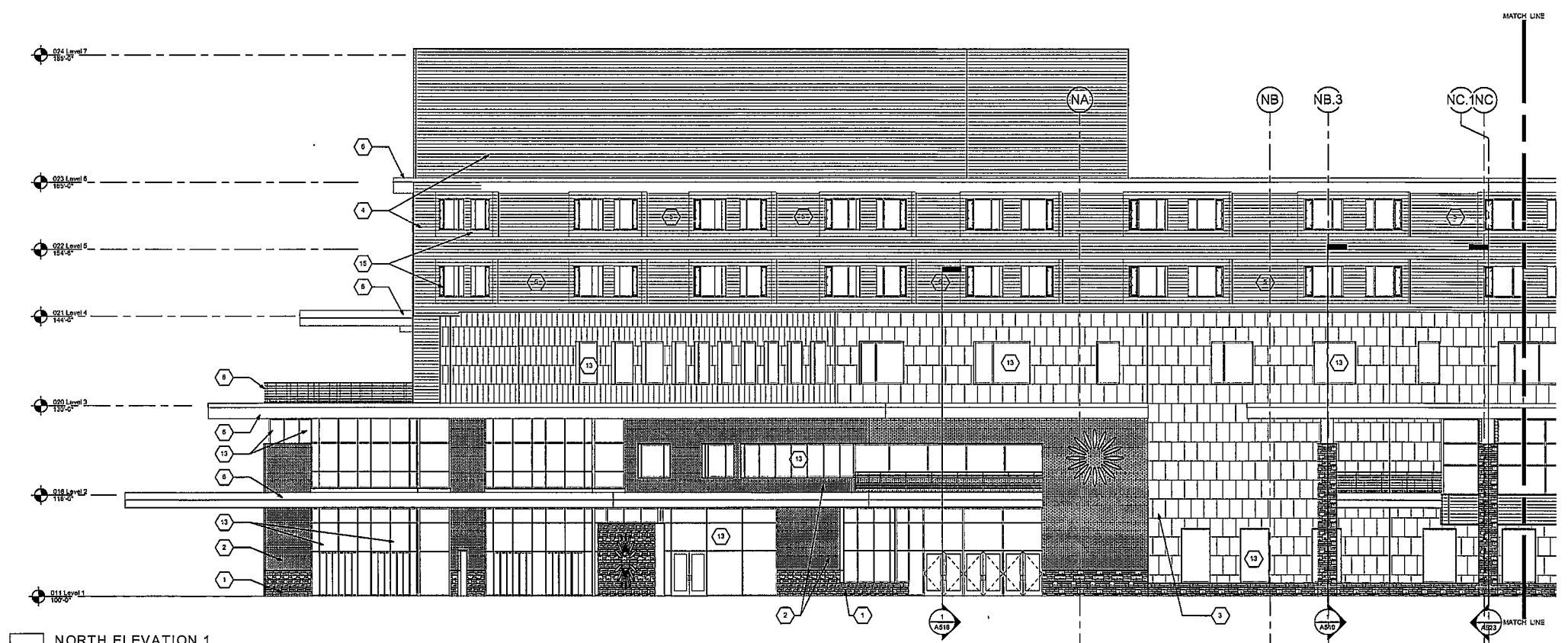
**PRELIMINARY:  
NOT FOR CONSTRUCTION**

State of Wisconsin  
Department of Administration  
Division of State Facilities  
UNIVERSITY OF WISCONSIN MADISON

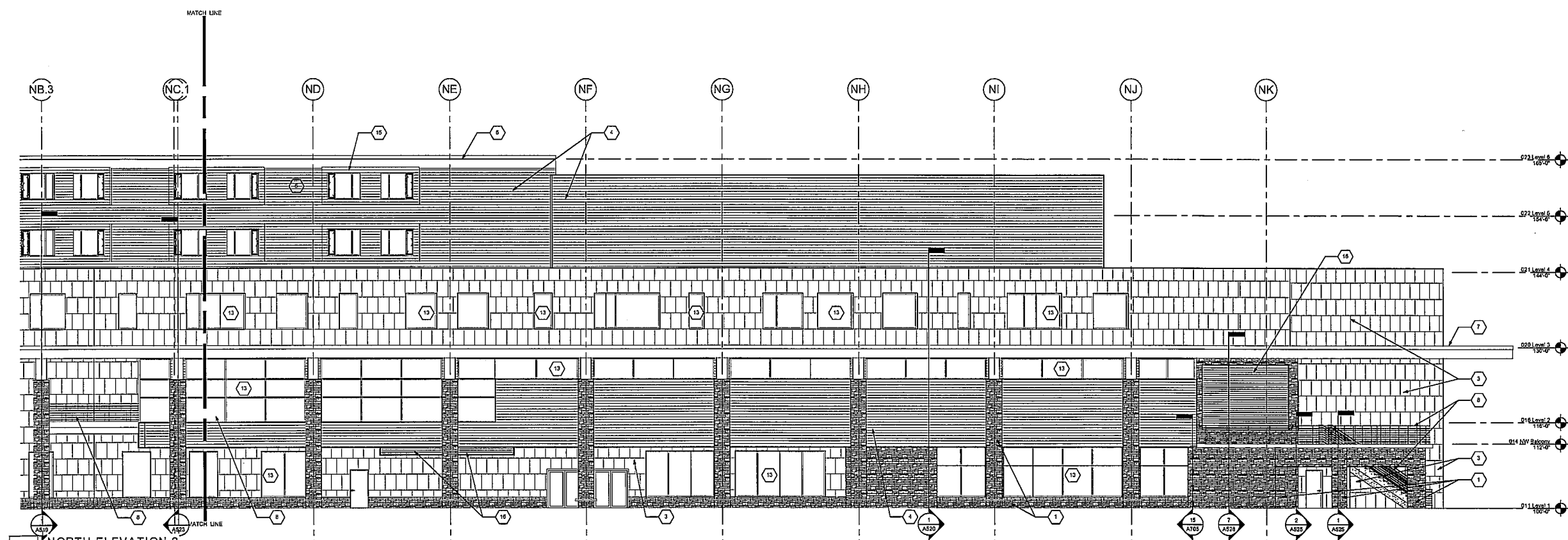
Project Title:  
**WISC. UNION REDEVELOPMENT  
NEW SOUTH CAMPUS UNION**  
1308 W DAYTON STREET  
MADISON, WI 53715  
Sheet Title:  
Elevation West

Revisions:			
No.	Date	By	Description

Scale	1/8" = 1'-0"
Graphic Scale	
DSP Number	07E4J
Set Type	PR
Date Issued	12-01-08
Sheet Number	A403



1 NORTH ELEVATION 1  
1/8" = 1'-0"



2 NORTH ELEVATION 2  
1/8" = 1'-0"

- ELEVATION KEY NOTES:
1. RANDOM ASHLAR VENEER
  2. BRICK VENEER
  3. CUT STONE VENEER
  4. INSULATED METAL PANEL
  5. FORMED METAL WINDOW PANEL
  6. METAL CAP FLASHING
  7. METAL FASCIA
  8. METAL RAILING
  9. METAL SCREEN SYSTEM
  10. CURTAINWALL GLAZING
  11. CURTAINWALL SPANDREL PANEL
  12. CURTAINWALL HOPPER WINDOW
  13. STOREFRONT SYSTEM
  14. SUNFIN
  15. BAY WINDOW UNIT
  16. LOUVERS

MOODY NOLAN  
ARCHITECTS  
1000 UNIVERSITY AVENUE, SUITE 200  
MADISON, WISCONSIN 53706

PRELIMINARY:  
NOT FOR CONSTRUCTION

State of Wisconsin  
Department of Administration  
Division of State Facilities

UNIVERSITY OF WISCONSIN MADISON

Project No: WISC. UNION REDEVELOPMENT  
NEW SOUTH CAMPUS UNION  
1308 W DAYTON STREET  
MADISON, WI 53715

Sheet No: North  
Elevation

Rev/Date:	No.	By:	Checked:

Scale: 1/8" = 1'-0"

Graphic Scale: 07E4J

DSF Number: PR

Soil Type: 12-01-08

Sheet Number: A404

